



Staff Report

PLANNING DIVISION

To: Salt Lake City Planning Commission
From: Cassie Younger, Senior Planner, cassie.younger@slc.gov
Date: September 23, 2026
Re: PLNPCM2026-00539

Design Review

PROPERTY ADDRESS: 950 W 1000 N
PARCEL ID: 08-26-258-014-0000
MASTER PLAN: Northwest Community, Rose Park Small Area Plan
ZONING DISTRICT: MU-2 Mixed Use 2 District
PROPERTY SIZE: .35 acres/ 15,246 square feet

REQUEST:

Jaebeom Hyun, representing the property owner, is requesting design review of a three-story mixed-use building in the Rose Park neighborhood. The project consists of nearly 3,000 square feet of commercial space and 16 residential units. This property is located in a Mixed Use 2 District. The development is requesting the following modifications to the design standards:

1. Ground floor square footage over 5,000 or 10,000 total floor area for a total of 19,314 square feet total floor area
2. Building facade length of 135'9" (137'6" maximum)
3. Ground floor ceiling height of 10' (12' required)
4. Enhanced Active ground floor depth of 21'11" - 23'10" (25' required)

RECOMMENDATION:

Staff recommends approval of the request with the following conditions:

1. Complete lighting and signage plan to be approved by staff during time of Building Permit.

ATTACHMENTS:

- A. [ATTACHMENT A: Vicinity Map](#)
- B. [ATTACHMENT B: Applicant Submittal](#)
- C. [ATTACHMENT C: Property and Vicinity Photos](#)
- D. [ATTACHMENT D: MU-2 District Standards](#)
- E. [ATTACHMENT E: Design Review Standards](#)
- F. [ATTACHMENT F: Public Process & Comments](#)
- G. [ATTACHMENT G: Department Review Comments](#)

PROJECT DESCRIPTION

Existing Conditions & Neighborhood Context

The subject property is located in Rose Park, near the entrance to I-15, on the corner of 1000 North and Victoria Way. The neighborhood is predominantly single-family homes, with the intersection of 900 W and 1000 N serving as a primary commercial node, with a cluster of MU-3 and MU-2 districts. The property is currently a donut shop, which will remain as one of the tenants after redevelopment. The restaurant El Cabrito is next door to the subject property and across the street on Victoria Way is a local bar, the Paris Social. A mix of housing types are along Victoria Way to the north, as well as a nonconforming sign manufacturing warehouse. South on 1000 N are primarily single-family homes.

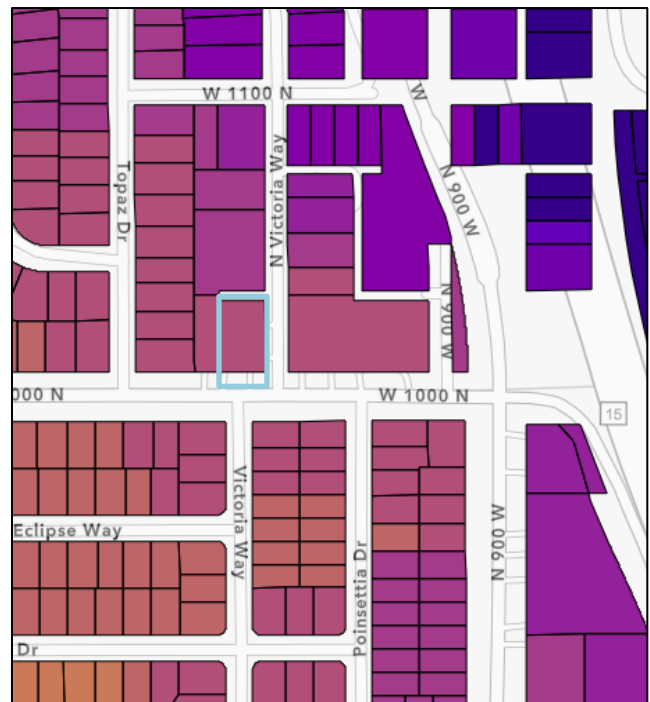


Despite the proximity to this commercial node, this area is only consider “Somewhat” walkable, according to Walkable SLC, with 8 amenities within a 15 minute walk.

This location can be accessed by Bus Route 1 and the 900 W and 1000 N bike lanes.



Zoning context of subject property



Walkable SLC Map of subject Property

Project Summary

La Esquina is a three-story mixed-use building with approximately 2,750 square feet of ground floor commercial space and 16 residential units on the upper floors. 20 parking stalls are provided, including 6 provided in first story garages for the units. The unit mixes includes studios, one and two-bedrooms. The ground floor retail will host a donut shop, which is the current business on the property, a salon, and a future retail space.

The building consists of white brick, black and white metal paneling, and small portions of black stucco throughout the facades. Awnings are provided over the ground floor entrances to visually frame commercial entryways, while the residential lobby entrance is differentiated by a recessed doorway and black paneling.

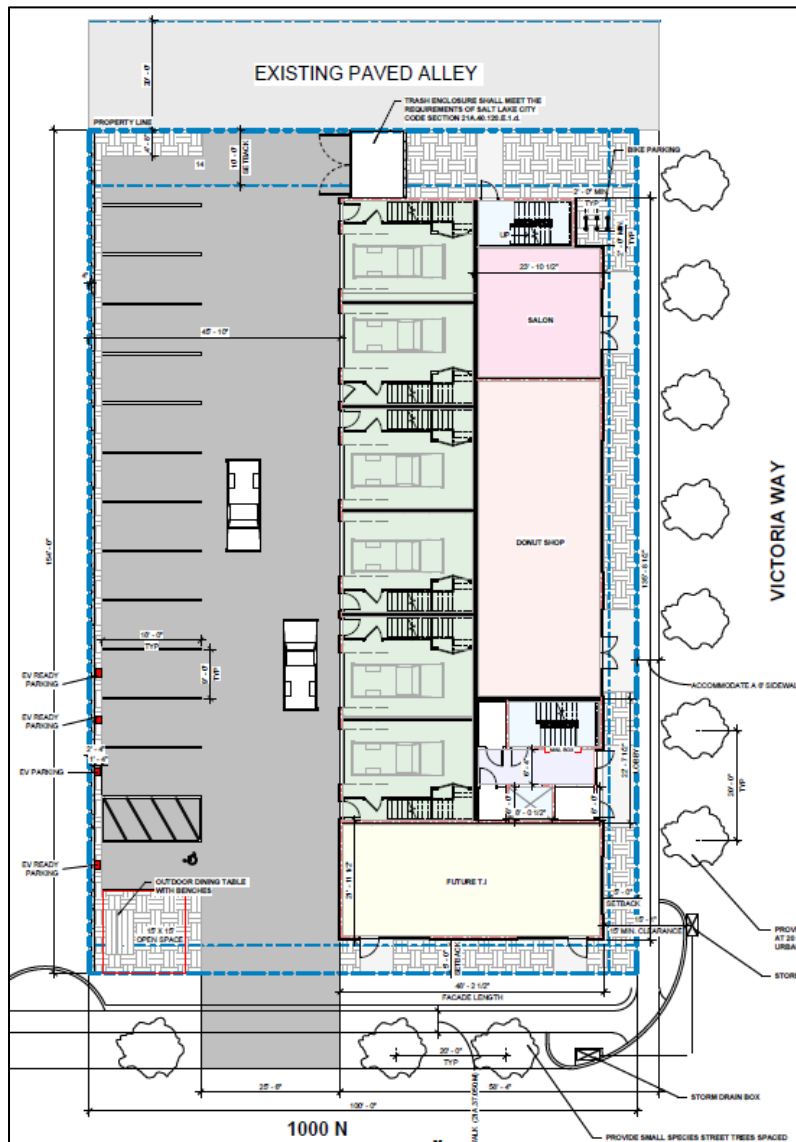
Six of the 16 units have their own private garage on the ground floor. The other residential and commercial parking spaces will be shared among the 14 provided spaces in the parking lot to the west of the building. The property can also be accessed by the existing paved alley on the north side of the lot, which assists with vehicle circulation on the site.

Quick Facts

- 3 stories (29')
- 2,750 SF commercial space
- 20 parking stalls
- Total 16 residential units:
- 6 two-bedroom
- 6 one-bedroom
- 4 studios



Rendering of proposed project



Site plan of the proposed project

APPROVAL PROCESS AND COMMISSION AUTHORITY

This project is subject to Design Review approval per Salt Lake City Code Chapter 21A.59. The Design Review process requires review and approval from the Planning Commission before the proposal can proceed with a building permit. The Planning Commission may approve the Design Review request as proposed or may impose conditions necessary or appropriate for the Design Review to comply with the standards. The Planning Commission may deny an application for a Design Review if it finds that the proposal does not meet the purpose or standards for Design Review in Chapter 21A.59.

KEY CONSIDERATIONS

The key considerations listed below were identified through the analysis of the project:

1. How the proposal implements city goals and policies identified in adopted plans.
2. Design Review Requests

Consideration 1: How the proposal implements city goals and policies identified in adopted plans.

[Plan Salt Lake](#)

Plan Salt Lake is a comprehensive, citywide plan designed to manage the City's growth. The plan establishes a set of policies and initiatives that work to carry out a shared vision for the future. The following goals and initiatives support the proposed development:

Growth

- Locate new development in areas with existing infrastructure and amenities, such as transit and transportation corridors.
- Promote infill and redevelopment of underutilized land
- Encourage a mix of land uses
- Accommodate and promote an increase in the City's population

Housing

- Increase diversity of housing types for all incomes levels throughout the city
- Direct new growth towards areas with existing infrastructure and services that have the potential to be people-oriented

Economy

- Support the growth of small businesses, entrepreneurship and neighborhood business nodes.

The proposed project meets these goals by developing underutilized land with existing infrastructure, and providing a mix of commercial and residential units. The building is pedestrian oriented and brings a variety of housing types to this neighborhood, which is primarily single-family homes. The three commercial spaces retain an existing business and add more small-scale commercial businesses in this area.

Rose Park Small Area Plan (2001)

The Rose Park Small Area Plan emphasizes the need for neighborhood commercial in this area, where some existing commercial retail already exists and many properties are underutilized and suitable for redevelopment.

A policy goal states:

- Develop a new low-medium density mixed-use zone for the neighborhood commercial node.

For architectural compatibility, the following policies are recommended:

- Building design, color, shape and size should be compatible with the color, shape and size of buildings in the surrounding area including the use of traditional “Rose Park Brick” as part of the façade of new structures.
- Encourage building designs that are human in scale, promote pedestrian circulation and facilitate pleasant interaction along the street.
- Design and orient buildings to be pedestrian friendly.
- Provide public amenities such as seating, plazas, outdoor dining, and bicycle parking.



The proposed project is in line with these policies by providing pedestrian friendly, mixed-use development in the main “neighborhood commercial” area of this neighborhood. Brick is used and is proposed to be white to match the adjacent white building Paris Social next door to the east. Bike parking and seating are provided in the front and corner yards.

Northwest Plan (1992)

The current Northwest Plan, adopted in 1992, also recognized the intersection of 1000 N and 900 W as a node in need of neighborhood commercial revitalization. The plan indicates importance of maintaining these commercial nodes to keep neighborhood thriving and close to essential services, although many were in need of urban design upgrades around the neighborhood. The proposed redevelopment project retains its commercial tenant, as well as adding two others and 16 residential units to the area. The project also adds landscaping, park strip improvements, and many desired urban design elements, as well as increases walkability in the area. An updated Northwest Plan is under consideration by the City Council and is expected to be voted on in October.

Consideration 2: Design Review Requests

Façade length over 110'

Building Façade lengths can only be requested to increase up to 25% of the allowed maximum 110', which is 137'6". The proposed façade length is 135'9" along Victoria Way.

The façade length along Victoria Way consists of white brick, black and white metal paneling, and a small portion of black stucco. As outlined in Design Review Standard E, long facades should be designed to reduce the perceived length of the facade and provide visual interest.



East Elevation along Victoria Way

The proposed design includes a series by a series of black metal paneling and stucco that frame residential windows on the upper floors, which helps to break up the building wall. The black metal paneling sections project from the wall plane approximately 1', which minimizes the appearance of a flat and uninterrupted wall. The awning provides accents the commercial entryways, while the residential entrance can be distinguished by a recessed entrance with black metal paneling that differs from the rest of the white brick along the ground floor façade. The last 8'9" of the façade is recessed 4', which further reduces the visual length of the building.

This series of plane changes, material changes, and a variety of entrances and ground floor windows, break up the façade to reduce monotony while remaining pedestrian friendly along the street frontage.

Ground floor height of 10'

The applicant is requesting a minimum floor to ceiling height of 10' on the ground floor, when the requirement for Enhanced Active Use is 12'. The proposed floor to ceiling height is 10'6"- 11' with an open ceiling. This modification accommodates a three-story building while remaining under the maximum height for MU-2 at 30'. The overall commercial character of the building remains with a ground floor height of approximately 11' (measured floor-to-floor), and ceiling height of 10'6".

Minimum depth of Retail 25'

The retail spaces along Victoria Way are approximately 23'10" and the retail spaces along 1000 N are approximately 21' 11" deep. Enhanced active uses are required to have 25' of depth. In order to allow garage spaces, adequate width of a drive aisle, the site constraints do not allow for this depth on the site. The commercial tenant space, identified as small retail, will remain around 1000 square feet.

Gross Floor Area & Compatibility

The MU-2 requires Design Review for buildings with over 5,000 square feet on the ground floor or over 10,000 square feet gross floor area. The ground floor of the proposed building is approximately 6,438 SF and the total gross floor area is approximately 19,314. Additionally, the proposed height and width of new buildings should be visually compatible with the buildings found on the block face.

This project remains under the MU-2 maximum of 30' in height. The intent of the zoning district aims to provide neighborhood serving retail that are appropriate in size. While existing retail in this corridor is smaller in scale, the adjacent MU-3 allows for similarly sized buildings, so future development is anticipated to match the height and bulk of this project.

The proposed building will be larger than many of the older, existing commercial buildings on the block. The block face consists of single-story commercial development. Many of them have a gross floor area over 10,000 square feet, like the Paris Social bar and other connected commercial tenants, and a sign warehouse facility on Victoria Way. Redevelopment of some of these surrounding properties is anticipated under the new MU zoning. The existing community and general plans support mixed use and small retail development in this area.



Paris Social and El Cabrito, the commercial buildings along the 1000 N block face



Sign Manufacturing Warehouse along Victoria Way. This block transitions to single-family residential further north

STAFF RECOMMENDATION

The proposal is generally in line with the intended purpose of the MU-2 zoning district, meets the established Design Review standards, and is compatible with the city's various general plans. The requested modifications adhere to the applicable standards of review outlined in 21A.59, and efforts have been made to address and mitigate these modifications by incorporating design elements aimed at enhancing the pedestrian experience, street-facing façade, and architectural features.

NEXT STEPS

Approval of the Request

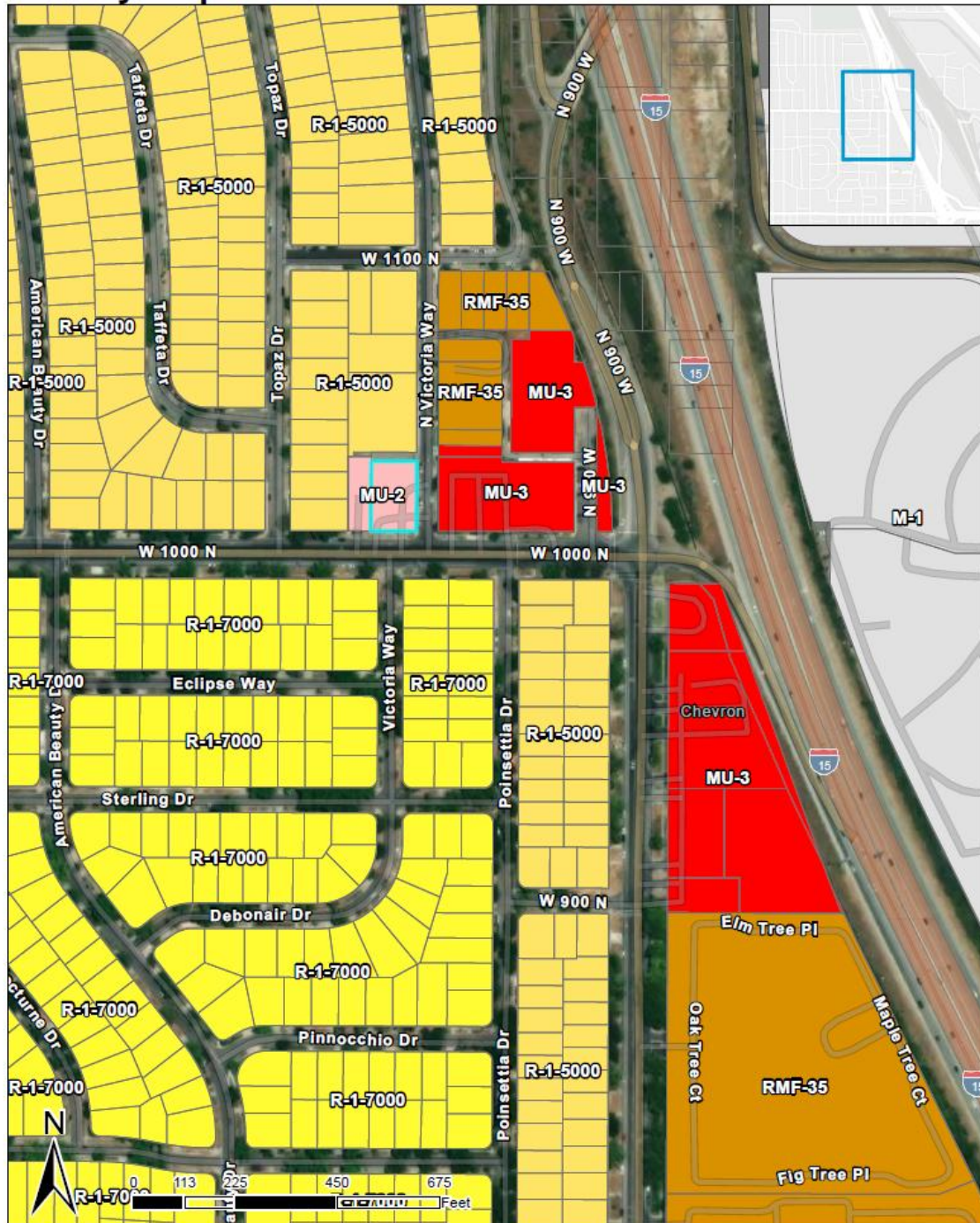
If the design review is approved, the applicant may proceed with the project after meeting all standards and conditions required by all City Departments and the Planning Commission to obtain all necessary building permits.

Denial of the Design Review Request

If the design review is denied, the applicant cannot proceed with the project as designed and will be required to meet the design standards of the underlying zoning ordinance in order to develop the property.

ATTACHMENT A: Vicinity Map

Vicinity Map



Salt Lake City Planning Division 8/28/2026

ATTACHMENT B: Plan Set



Project Narrative

Project Name: La Esquina

Project Address: 1000 N. 950 W, Salt Lake City, Utah 84116

Applicant Name: Jae Hyun

09.03.2026

Project Description

La Esquina is a proposed mixed-use development located at **1000 N. 950 W., Salt Lake City, Utah**, on a **15,400-square-foot (154' × 100') corner lot** within the **MU-2 (Mixed Use)** zoning district. The project is proposed as a single-phase development consisting of a three-story building with a maximum height of approximately 30 feet.

The proposed building contains approximately **19,314 square feet of gross floor area**. The first floor contains approximately **6,438 square feet of gross floor area**, including the residential garages, with approximately **3,801 square feet of occupiable floor area** excluding the garages. Because the project exceeds the thresholds established in **Section 21A.25.020.C.2**, Design Review approval is required.

The project includes approximately **2,747 square feet of neighborhood-serving commercial space**, consisting of a donut shop, salon, and future tenant space, together with **sixteen residential rental units** (six two-bedroom, six one-bedroom, and four studio units).

A total of **twenty off-street parking spaces** are provided, including fourteen shared parking spaces and six residential garage spaces. The project also provides one ADA-accessible parking space, one EV parking space, three EV-ready parking spaces, and six bicycle parking spaces, meeting or exceeding applicable code requirements.

The site provides approximately **2,017 square feet of landscaping**, exceeding the required **1,540 square feet**, including the required **15-foot by 15-foot open space**.

Overall, the project is designed to create a pedestrian-oriented mixed-use development that complements the surrounding neighborhood while supporting the goals and intent of the MU-2 zoning district.

Compliance with MU-2 Design Standards

Enhanced Active Use (Section 21A.37.050.A) - See Plan & Elevation Sheet A110.1

1000 North

The entire street-facing façade along 1000 North measures **48'-2 1/2"**, and **100%** of the frontage is occupied by qualifying commercial uses, fully satisfying the requirements of **Section 21A.37.050.A.1**.

Victoria Way

The proposed street-facing façade measures **135'-8 1/2"**, remaining within the maximum façade length permitted through Design Review (**137'-6"**).

The residential lobby occupies approximately **23.5%** of the total street-facing façade, remaining below the maximum **25%** lobby frontage permitted by **Section 21A.37.050.A.2.a**.

Except for the lobby frontage, the remainder of the Victoria Way street-facing façade consists entirely of qualifying commercial uses, satisfying the Enhanced Active Use requirements.

Ground Floor Durable Exterior Materials (Section 21A.37.050.B.3) - See Plan & Elevation Sheet A201, Page 6

1000 North

The ground-floor non-glazed wall area totals **320 square feet**.

A minimum of **224 square feet (75%)** of durable exterior materials is required.

The proposed design provides **320 square feet of qualifying durable exterior materials**, including brick and metal panel, exceeding the required minimum.

Victoria Way

The ground-floor non-glazed wall area totals **882 square feet**.

A minimum of **618 square feet (75%)** of durable exterior materials is required.

The proposed design provides **759 square feet of qualifying durable exterior materials**, including brick and metal panel, exceeding the required minimum.

Upper Floor Durable Exterior Materials (Section 21A.37.050.B.4) - See Plan & Elevation Sheet A201, Page 6

1000 North

The upper-floor non-glazed wall area totals **667 square feet**.

A minimum of **467 square feet (70%)** of durable exterior materials is required.

The proposed design provides **603 square feet of qualifying durable exterior materials**. Only **64 square feet of the upper-floor façade consists of stucco**, exceeding the required standard.

Victoria Way

The upper-floor non-glazed wall area totals **1,922 square feet**.

A minimum of **1,346 square feet (70%)** of durable exterior materials is required.

The proposed design provides **1,629 square feet of qualifying durable exterior materials**, exceeding the required minimum. Only **293 square feet of the upper-floor façade consists of stucco**, exceeding the required standard.

Ground Floor Glazing (Section 21A.37.050.C.1) - See Plan & Elevation Sheet A201, Page 6

1000 North

The applicable façade area between **3 feet and 8 feet above grade** totals **241 square feet**.

A minimum glazing area of **96.5 square feet (40%)** is required.

The proposed design provides approximately **130 square feet of glazing**, exceeding the minimum requirement.

Victoria Way

The applicable façade area between **3 feet and 8 feet above grade** totals **684 square feet**.

A minimum glazing area of **274 square feet (40%)** is required.

The proposed design provides approximately **365 square feet of glazing**, exceeding the minimum requirement.

Upper Floor Glazing (Section 21A.37.050.C.2) - See Plan & Elevation Sheet A201, Page 6

1000 North

The applicable upper-floor façade area totals **815 square feet**.

A minimum glazing area of **122 square feet (15%)** is required.

The proposed design provides approximately **153 square feet of glazing**, exceeding the minimum requirement.

Victoria Way

The applicable upper-floor façade area totals **2,325 square feet**.

A minimum glazing area of **349 square feet (15%)** is required.

The proposed design provides approximately **403 square feet of glazing**, exceeding the minimum requirement.

Blank Walls (Section 21A.37.050.E) - See Plan & Elevation Sheet A201

The project complies with the blank wall requirements of **Section 21A.37.050.E**.

No uninterrupted blank wall exceeding **15 feet** in length is provided along any street-facing façade.

Design Review Requests

1. Building Size

Pursuant to **Section 21A.25.020.C.2**, Design Review approval is required for buildings exceeding **5,000 square feet** on the first floor or **10,000 square feet** of total floor area.

The proposed building contains approximately **6,438 square feet** on the first floor and **19,314 square feet** of total gross floor area.

Accordingly, Design Review approval is respectfully requested for the proposed building size.

2. Façade Length Increase Along Victoria Way

The MU-2 zoning district limits street-facing building façades to **110 feet**. Through Design Review, an increase of up to **25%** is permitted, allowing a maximum street-facing façade length of **137'-6"**.

The proposed Victoria Way façade measures **135'-8 1/2"**, remaining within the maximum façade length permitted through Design Review.

Ground Floor Active Use (Section 21A.37.060.E.1) - See Plan & Elevation Sheet A110.1

The project maintains the required active-use frontage.

The residential lobby occupies approximately **23.5%** of the Victoria Way street frontage, remaining below the maximum **25%** permitted by the Design Standards. The remainder of the street-facing façade consists entirely of qualifying commercial uses, satisfying the Enhanced Active Use requirements.

Significant Changes in Wall Plane and Massing (Sections 21A.37.060.E.2.a & b) - See Plan & Elevation Page 5

The proposed design complies with **Sections 21A.37.060.E.2.a** and **21A.37.060.E.2.b** by incorporating changes in the wall plane and building massing along the Victoria Way frontage.

At the east corner of the building and around the residential entrance, portions of the façade are recessed and varied in depth, creating visual breaks that divide the long street-facing façade into smaller architectural components. In addition, the projecting metal-panel elements on the second and third floors provide further depth and articulation, reducing the appearance of a flat, uninterrupted façade. Together, these massing changes reduce the perceived scale of the building while reinforcing a pedestrian-oriented streetscape.

A vertical architectural element is also incorporated at the apartment entrance. This feature further breaks up the long façade while emphasizing the residential entrance and lobby area. It also creates a clear visual distinction between the residential entrance and the ground-floor commercial entrances, strengthening the architectural hierarchy and making the building's different uses easier to identify.

The changes in wall plane and massing are further emphasized through variations in exterior materials. These material transitions reinforce the architectural articulation, create a rhythmic façade composition, and enhance visual interest along the streetscape.

Canopies are provided at the entrances to further emphasize and clearly identify the building entry points. In addition to contributing to the architectural character of the façade, the canopies serve a practical purpose by providing pedestrians with protection from rain, snow, and direct sunlight.

3. Modification to Minimum Ground-Floor Height for Enhanced Active Use

Pursuant to **Section 21A.37.040**, the applicant requests a modification to the minimum **twelve-foot (12'-0") floor-to-ceiling height** required for enhanced active ground-floor-use spaces under **Section 21A.37.050.A.4.b**.

The MU-2 zoning district limits the overall building height to **thirty feet (30'-0")**. Providing the full twelve-foot floor-to-ceiling height at the ground floor would consume a disproportionate portion of the total permitted building height and significantly constrain the two residential floors above. The requested modification allows the project to maintain the intended three-story mixed-use form while continuing to provide functional, publicly accessible, neighborhood-serving commercial spaces at the street level.

The applicant requests approval of a minimum ground-floor floor-to-ceiling height of **ten feet (10'-0")**. Based on the current design, the anticipated floor-to-ceiling height within the commercial tenant spaces will be approximately **ten feet six inches (10'-6") to eleven feet (11'-0")**. An open-ceiling design will be utilized wherever practicable to preserve the greatest possible interior volume, with the structure and building systems exposed and carefully coordinated. The applicant will continue coordinating the architectural, structural, mechanical, electrical, and plumbing systems to maximize the ground-floor height to the greatest extent practicable.

The proposed reduction will not diminish the active-use character or pedestrian orientation of the ground floor. The commercial spaces will remain directly accessible from the adjacent public sidewalks and will provide code-compliant storefront glazing, prominent pedestrian entrances, durable exterior materials, and active commercial uses along both street frontages. The proposed ceiling height will remain appropriate for the anticipated donut shop, salon, and future neighborhood-serving tenant space and will provide a comfortable and functional commercial environment.

The requested modification is limited to the dimensional floor-to-ceiling-height standard and does not reduce the project's compliance with the other Enhanced Active Use requirements. Given the MU-2 district's thirty-foot overall building-height limitation, the proposed minimum ten-foot floor-to-ceiling height represents a practical balance that preserves viable ground-floor commercial space, maintains the intended three-story mixed-use development, and continues to satisfy the purpose and intent of the City's design standards. Approval of the requested modification is respectfully requested.

4. Modification to Minimum Ground-Floor Use Depth

Pursuant to **Section 21A.37.040**, the applicant requests a limited modification to the minimum **twenty-five-foot (25'-0") depth** required for nonresidential ground-floor-use spaces under **Section 21A.37.050.A.4.a(2)**.

The proposed salon and donut shop provide an approximate commercial-space depth of **twenty-three feet ten and one-half inches (23'-10 1/2")**, approximately **one foot one and one-half inches (1'-1 1/2")** less than the required depth. The future tenant space provides an approximate depth of **twenty-one feet eleven and one-half inches (21'-11 1/2")**, approximately **two feet one-half inch (2'-0 1/2")** less than the required depth. The proposed commercial spaces therefore provide approximately **ninety-two to ninety-six percent (92%-96%)** of the required twenty-five-foot depth.

The requested reduction is limited in scope and results from the configuration of the corner site and the need to accommodate the residential lobby, required building circulation, residential garages, utility functions, and an efficient overall building footprint. Providing the full twenty-five-foot depth would require substantial changes to the ground-floor and residential layouts while providing only a limited amount of additional depth within the commercial spaces.

Despite this limited dimensional reduction, the commercial spaces remain functional and commercially viable for the proposed donut shop, salon, and future neighborhood-serving tenant. Each space maintains direct access from the adjacent public sidewalk, transparent storefront glazing, clearly identifiable pedestrian entrances, canopies, durable exterior materials, and an interior configuration capable of supporting its intended commercial use.

The proposed design continues to satisfy the purpose and intent of the ground-floor active-use standard by providing publicly accessible, neighborhood-serving commercial uses along both 1000 North and Victoria Way. The requested modification does not reduce the required active-use frontage or replace qualifying commercial space with parking, storage, utility rooms, or other inactive uses.

The requested modification is limited to a relatively small reduction in the dimensional depth standard and maintains the pedestrian-oriented, mixed-use character intended for the MU-2 zoning district. Approval of the requested modification to permit commercial-space depths ranging from approximately **twenty-one feet eleven and one-half inches to twenty-three feet ten and one-half inches (21'-11 1/2" to 23'-10 1/2")** is respectfully requested.

Design Intent

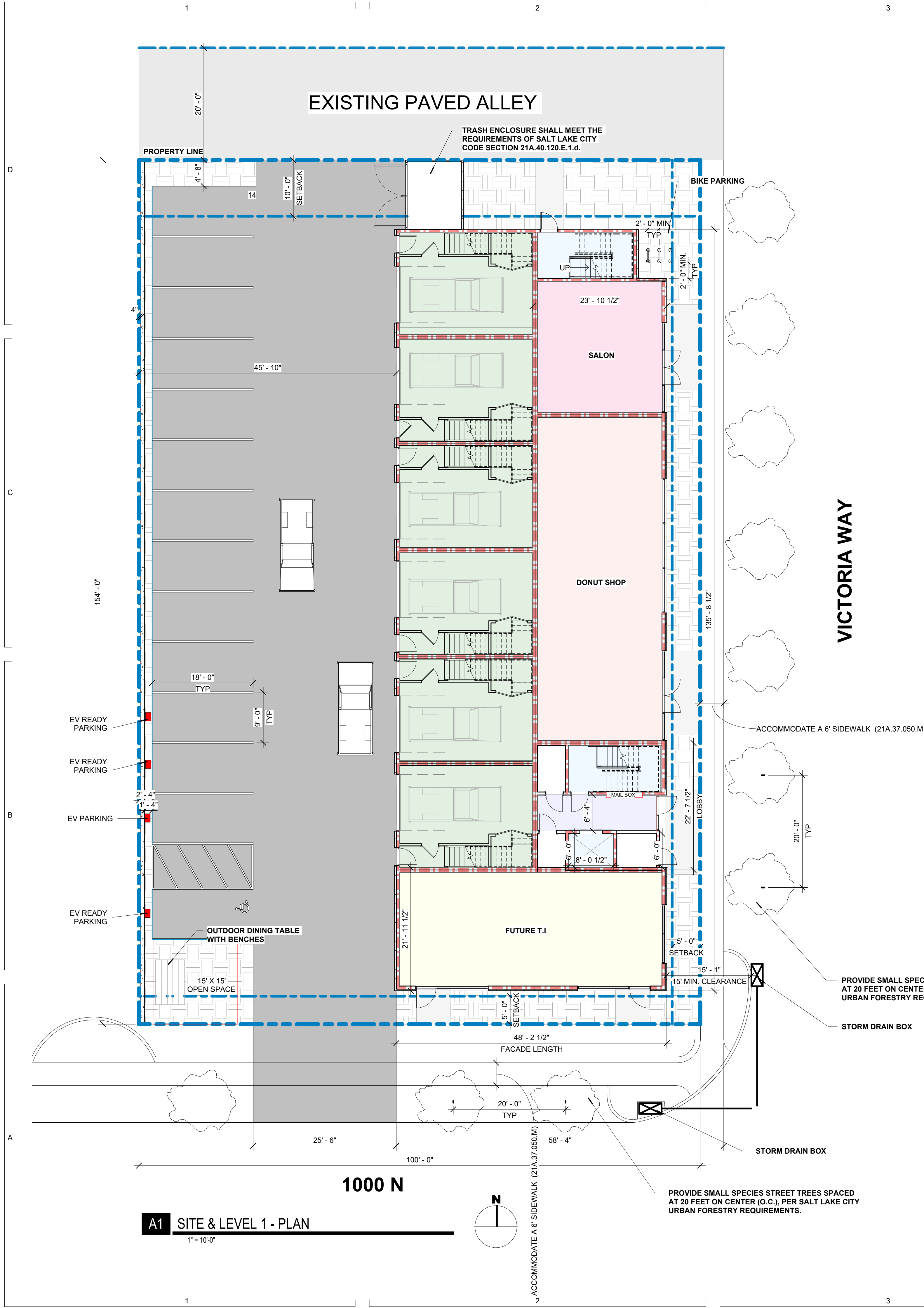
The requested Design Review approvals support an efficient site layout while maintaining the intent of the Salt Lake City Design Standards.

The project complies with the applicable MU-2 Design Standards, including Enhanced Active Use, ground-floor & upper-floor glazing, durable exterior materials, and blank wall limitations. The proposed façade length along Victoria Way remains within the maximum increase permitted through Design Review and incorporates significant architectural articulation, changes in wall plane, varied building massing, pedestrian-oriented entrances, landscaping, and durable exterior materials to reduce the perceived scale of the building and create an engaging streetscape.

Overall, the project reinforces the walkable, mixed-use character envisioned for the MU-2 zoning district while providing neighborhood-serving commercial uses, quality residential development, and an attractive urban environment.

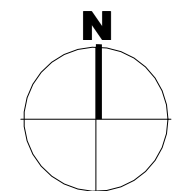
Code Section	Requirement	Proposed	Status
21A.25.020.C.2	Design Review required for buildings exceeding 5,000 SF on the first floor or 10,000 SF total floor area	6,438 SF first floor; 19,314 SF total building area	✓ Design Review Requested
21A.37.050.A.1	Enhanced Active Use	100% (1000 N); Commercial frontage provided along Victoria Way	✓ Complies
21A.37.050.B.3	Ground Floor Durable Materials	100% qualifying durable materials	✓ Complies
21A.37.050.B.4	Upper Floor Durable Materials	91.2% (1000 N); 85.6% (Victoria Way) qualifying durable materials	✓ Complies
21A.37.050.C.1	Ground Floor Glazing	130 SF (1000 N); 380 SF (Victoria Way)	✓ Complies
21A.37.050.C.2	Upper Floor Glazing	153 SF (1000 N); 428 SF (Victoria Way)	✓ Complies
21A.37.050.E	Blank Walls	No blank wall exceeds 15 feet	✓ Complies
21A.37.060.E	Design Review required for Façade Length Increase	135'-8 1/2" proposed (137'-6" maximum allowed through Design Review)	✓ Design Review Requested
21A.37.050.A.4.b	Design Review required 12'-0" minimum floor-to-ceiling height for Enhanced Active Use spaces	10'-0" minimum requested; approximately 10'-6" to 11'-0" anticipated with open ceiling	✓ Design Review Requested
21A.37.050.A.4.a (2)	Design Review required 25'-0" minimum depth for nonresidential ground-floor-use spaces	Approximately 21'-11 1/2" to 23'-10 1/2"	✓ Design Review Requested

9/8/2026 12:39:30 PM



A1 SITE & LEVEL 1 - PLAN

1" = 10'-0"



VICTORIA WAY

LOT SIZE: 15,400 SF (154' X 100')

ZONE: MU-2

BUILDING HEIGHT: 30'

SETBACK:

- FRONT AND CORNER: 5'
- REAR: 20' BUT WE CAN COUNT EXITING ALLEY WIDTH -> 10'
- SIDE: N/A

BICYCLE PARKING: TABLE 21A.44.040-C & 21A.44.040.E

- COMMERCIAL USES - 1 PER 5,000 SF / 2,747 SF -> 1 REQUIRED
- RESIDENTIAL USES - 1 PER 4 UNIT / 16 UNITS -> 4 REQUIRED
- TOTAL: 5 REQUIRED / 6 PROVIDED

OFF STREET PARKING: 21A.44.040

- MULTI-FAMILY - STUDIO AND 1+ BEDROOM = 1 PER DU (16 UNITS = 16 / 6 2 BED UNIT HAVE GARAGE PARKING)
- RESTAURANT - 2 PER 1,000 SF (DONUT SHOP: +/- 1,282 SF = 3)
- OFFICE / BUSINESS - 2 PER 1,000 SF (SALON + FUTURE T.I.): +/- 1,465 SF = 3)

SHARED PARKING REDUCTION FACTORS: TABLE 21A.44.050-A: SHARED PARKING REDUCTION FACTORS:

- MULTI-FAMILY 10 + OFFICE / BUSINESS 3 = 13
- 13 / 1.3 (OTHER NON-RESIDENTIAL) = 10
- TOTAL SHARED PARKING REQUIREMENT: 10 + 3 (RESTAURANT) = 13 REQUIRED / 14 PROVIDED
- TOTAL OFF STREET PARKING: 14 SHARED PARKING + 6 GARAGE PARKING = 20 PARKING

EV PARKING: 21A.44.040.C

- 1 PER 25 PARKING SPACE: 1 REQUIRED / 1 PROVIDED
- EV READY PARKING (20%): 14 (SHARED PARKING) x 20% = 2.8 = 3 PARKING

ACCESSIBLE PARKING: 21A.44.040.D

- 1 PER 25 PARKING SPACE: 1 REQUIRED / 1 PROVIDED

LANDSCAPE:

- 15,400SF(LOT SIZE) OF 10% = 1,540 SF REQUIRED / 2,017 SF PROVIDED (NOT INCLUDED CONCRETE AREA)
- 15 X 15 OPEN SPACE PROVIDED
- NO PARKING LOT LANDSCAPING REQUIRED FOR 14 SPACES (LESS THAN 15) . 21A.48.070

ENHANCED ACTIVE USE CALCULATION: 21A.37.050

- 1000N
 - TOTAL BUILDING FAÇADE: 48'-2 1/2" — 100% COMPLIES WITH THE REQUIREMENT (100% OF THE STREET FRONTAGE IS OCCUPIED BY COMMERCIAL SPACE).
- VICTORIA WAY
 - TOTAL BUILDING FAÇADE: 135' - 8 1/2"
 - A. TOTAL ALLOWED (WITH 25% PLANNING APPROVAL): 137'-6" (BASE ALLOWANCE: 110'-0")
 - B. LOBBY: 22' 7 1/2" + 9' 3 1/2" = 23.5% (25% ALLOWED 21A.37.050.2.A)
 - C. EXCEPT THE LOBBY FRONTAGE, CONSIST OF QUALIFYING COMMERCIAL USES. PERCENTAGE BASED ON TOTAL STREET-FACING FAÇADE LENGTH (135'-8 1/2"), NOT THE BASE MAXIMUM (110'-0").

RESIDENTIAL:

- TOTAL 16 UNITS:
 - 2 BED UNIT X 6
 - 1 BED UNIT X 6
 - STUDIO UNIT X 4

COMMERCIAL:

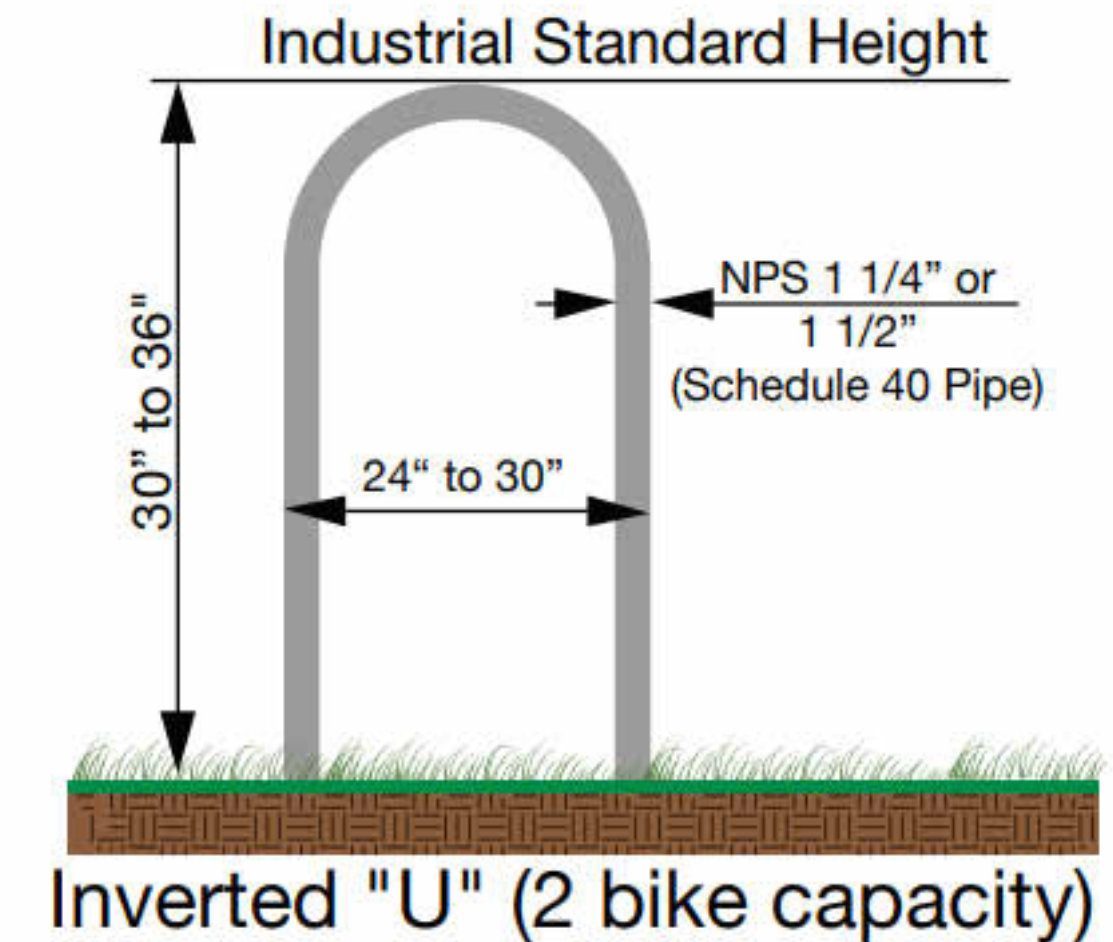
- TOTAL SF: 2,747 SF
 - DONUT SHOP - 1,282 SF
 - SALON - 517 SF
 - FUTURE T.I. - 948 SF

BUILDING SF:

- TOTAL SF: 19,314 SF
 - LEVEL 1: 6,438 SF (W/O GARAGE: 3,801 SF)
 - LEVEL 2: 6,438 SF
 - LEVEL 3: 6,438 SF

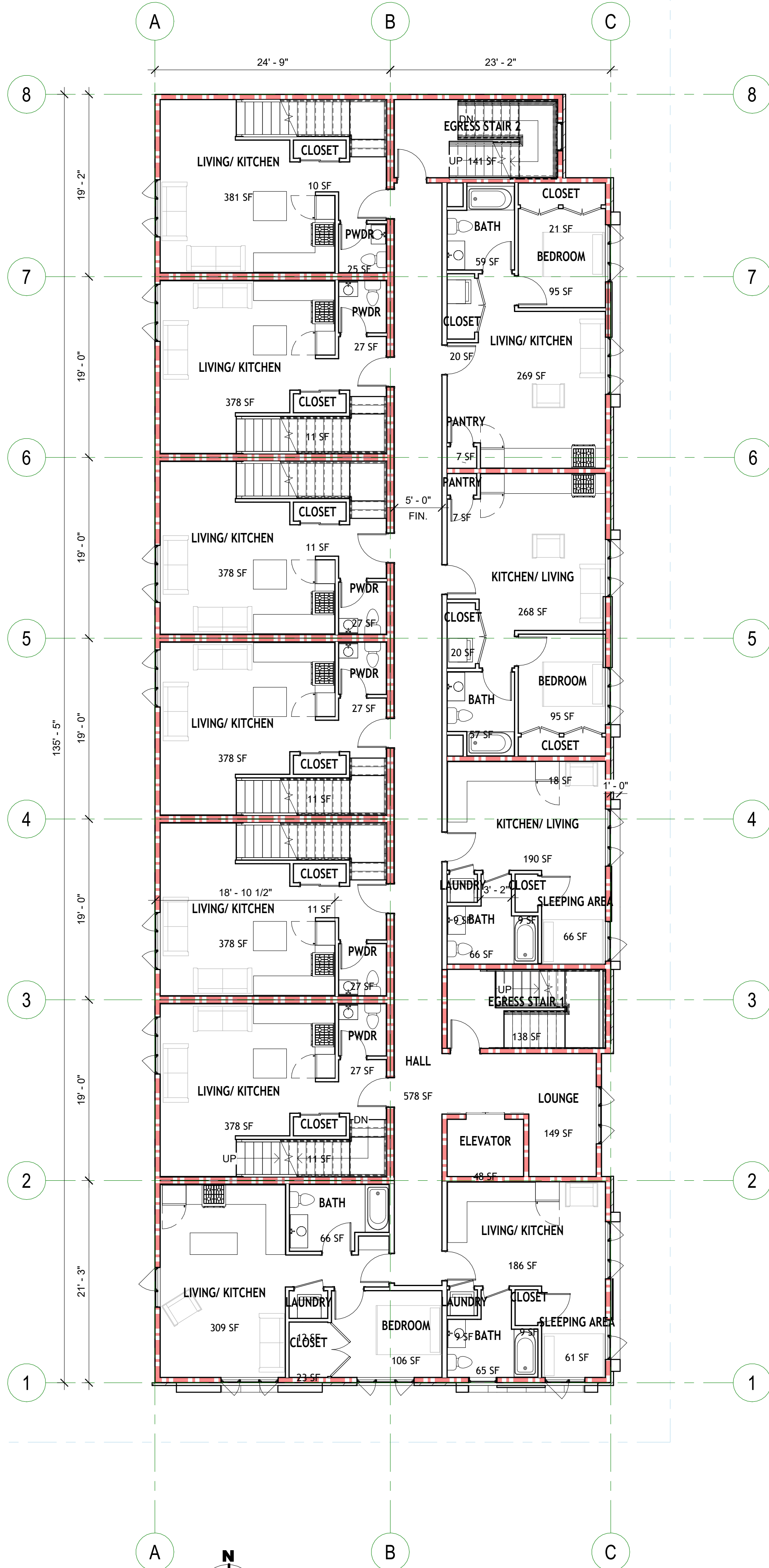
BUILDING SIZE LIMITS: TABLE 21A.25.020.C.2

- BUILDINGS IN EXCESS OF 5,000 GROSS SQUARE FEET OF FLOOR AREA ON THE FIRST FLOOR OR IN EXCESS OF 10,000 GROSS SQUARE FEET OF FLOOR AREA OVERALL SHALL BE ALLOWED ONLY THROUGH THE DESIGN REVIEW PROCESS (CHAPTER 21A.59). THIS INCLUDES ANY ADDITIONS THAT BRING THE FLOOR AREA ABOVE THESE THRESHOLDS. AN UNFINISHED BASEMENT USED ONLY FOR STORAGE OR FOR PARKING SHALL BE ALLOWED IN ADDITION TO THE TOTAL SQUARE FOOTAGE.

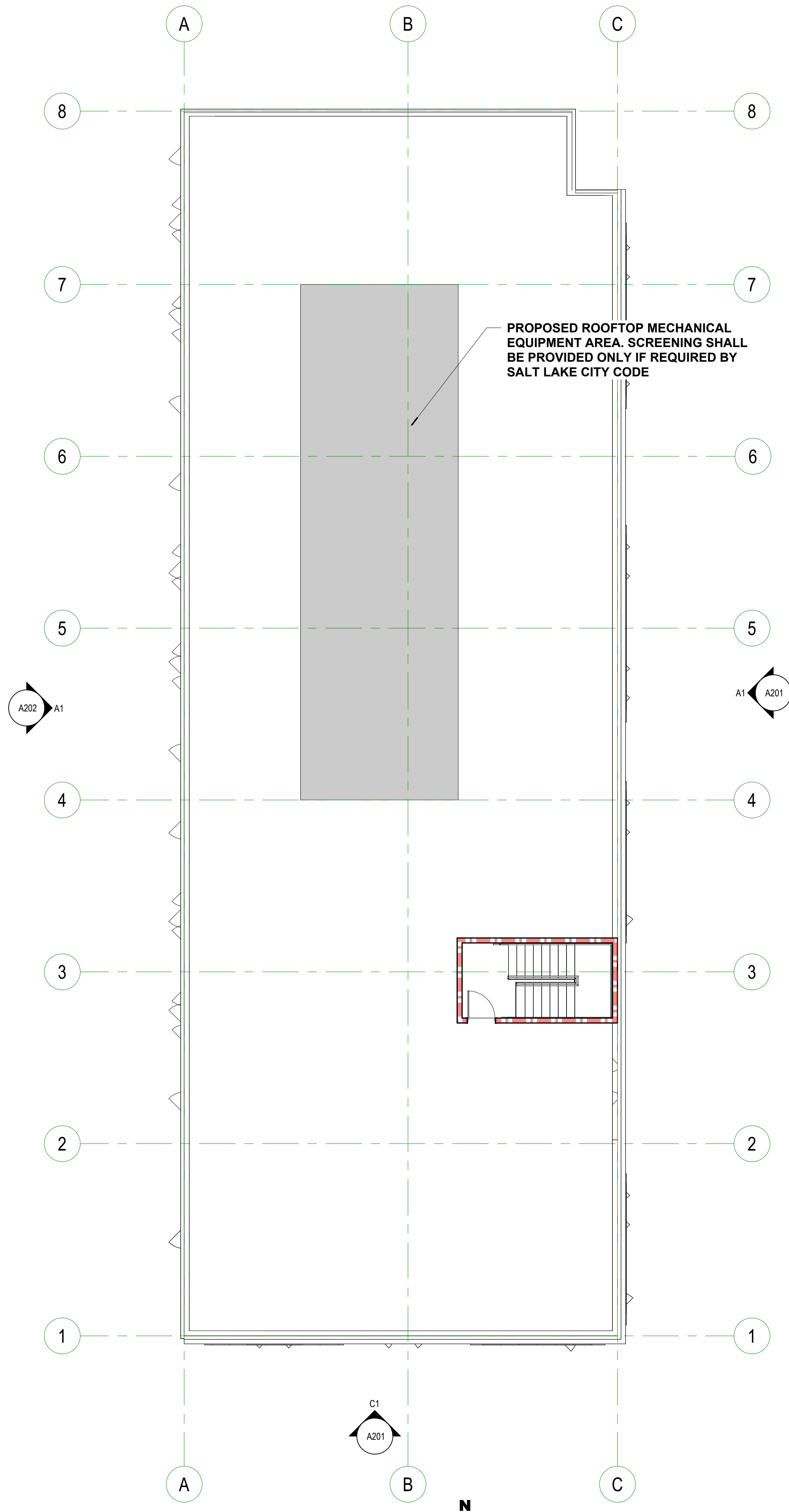


9/3/2026 12:43:33 PM

A1 LEVEL 2 & 3 - PLAN
1/8" = 1'-0"



A4 ROOF - PLAN
1/8" = 1'-0"



ELEVATION MATERIAL LEGEND

	A. WHITE BRICK
	B. WHITE METAL PANEL
	C. BLACK METAL PANEL
	D. BLACK STUCCO
	E. GLAZING/ WINDOW

GROUND FLOOR GLASS: 40% MINIMUM — SECTION 21A.37.050.C.1
UPPER FLOOR GLASS: 15% MINIMUM — SECTION 21A.37.050.C.2
GROUND FLOOR BUILDING MATERIALS: 70% MINIMUM — SECTION 21A.37.050.B.3
UPPER FLOOR BUILDING MATERIALS: 70% MINIMUM — SECTION 21A.37.050.B.4

ROOF ACCESS STAIRWAY TOWER IS PERMITTED TO EXTEND A MAXIMUM OF 16'-0" ABOVE THE MAXIMUM BUILDING HEIGHT, PER SALT LAKE CITY CODE SECTION 21A.36.020.C, TABLE 21A.36.020C.



UPPER FLOOR GLASS: SECTION 21A.37.050.C.2
• TOTAL APPLICABLE UPPER-FLOOR FAÇADE AREA: 815 SF
• GLAZING (15% MINIMUM): 122 SF REQUIRED / **153 SF PROVIDED**

UPPER FLOOR DURABLE MATERIAL: SECTION 21A.37.060.B.4
• TOTAL NON-GLAZED AREA: 667 SF
• DURABLE MATERIAL (70% MINIMUM): 467 SF REQUIRED / **603 SF PROVIDED (BRICK+METAL PANEL)**
• NON-DURABLE MATERIAL: STUCCO 64 SF

GROUND FLOOR GLASS: SECTION 21A.37.050.C.1
• TOTAL APPLICABLE GROUND-FLOOR FAÇADE AREA (3'-8" ABOVE GRADE): 241 SF
• GLAZING (40% MINIMUM): 96.5 SF REQUIRED / **130 SF PROVIDED**

GROUND FLOOR DURABLE MATERIAL: SECTION 21A.37.060.B.4
• TOTAL NON-GLAZED AREA: 320 SF
• DURABLE MATERIAL (70% MINIMUM): 224 SF REQUIRED / **320 SF PROVIDED (BRICK)**

C1 ELEVATION - SOUTH

3/16" = 1'-0"

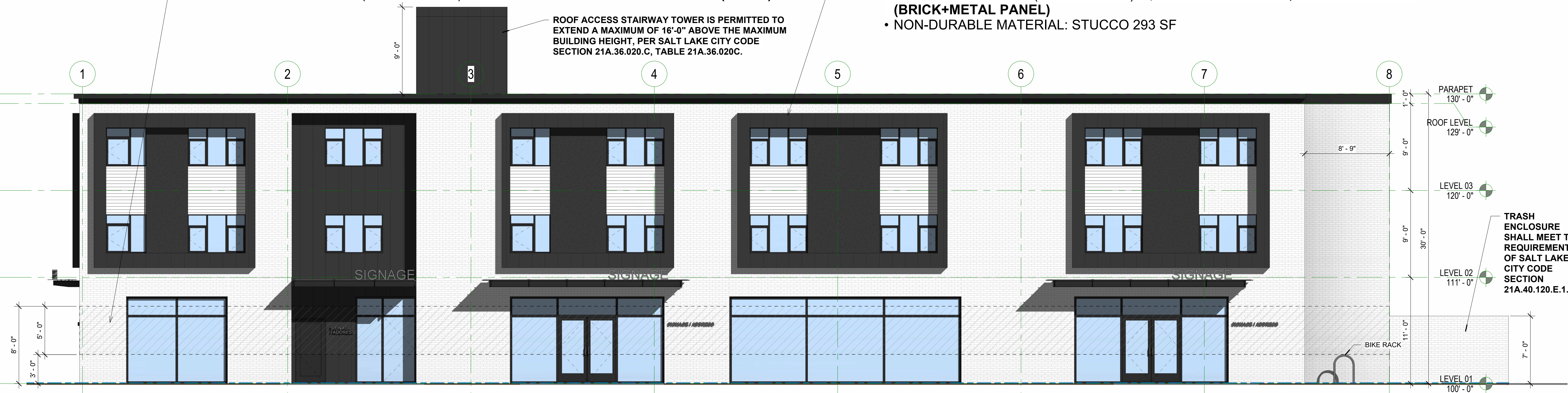
GROUND FLOOR GLASS: SECTION 21A.37.050.C.1
• TOTAL APPLICABLE GROUND-FLOOR FAÇADE AREA (3'-8" ABOVE GRADE): 684 SF
• GLAZING (40% MINIMUM): 274 SF REQUIRED / **365 SF PROVIDED**

GROUND FLOOR DURABLE MATERIAL: SECTION 21A.37.060.B.4
• TOTAL NON-GLAZED AREA: 882 SF
• DURABLE MATERIAL (70% MINIMUM): 618 SF REQUIRED / **759 SF PROVIDED (BRICK)**

ROOF ACCESS STAIRWAY TOWER IS PERMITTED TO EXTEND A MAXIMUM OF 16'-0" ABOVE THE MAXIMUM BUILDING HEIGHT, PER SALT LAKE CITY CODE SECTION 21A.36.020.C, TABLE 21A.36.020C.

UPPER FLOOR GLASS: SECTION 21A.37.050.C.2
• TOTAL APPLICABLE UPPER-FLOOR FAÇADE AREA: 2,325 SF
• GLAZING (15% MINIMUM): 349 SF REQUIRED / **403 SF PROVIDED**

UPPER FLOOR DURABLE MATERIAL: SECTION 21A.37.060.B.4
• TOTAL NON-GLAZED AREA: 1,922 SF
• DURABLE MATERIAL (70% MINIMUM): 1,346 SF REQUIRED / **1,629 SF PROVIDED (BRICK+METAL PANEL)**
• NON-DURABLE MATERIAL: STUCCO 293 SF



A1 ELEVATION - EAST

3/16" = 1'-0"

LA ESQUINA

950 W 1000 N SALT LAKE CITY, UT 84116

DESIGN REVIEW

JOB NUMBER: Project Number
OWNER: Owner
DATE: Issue Date

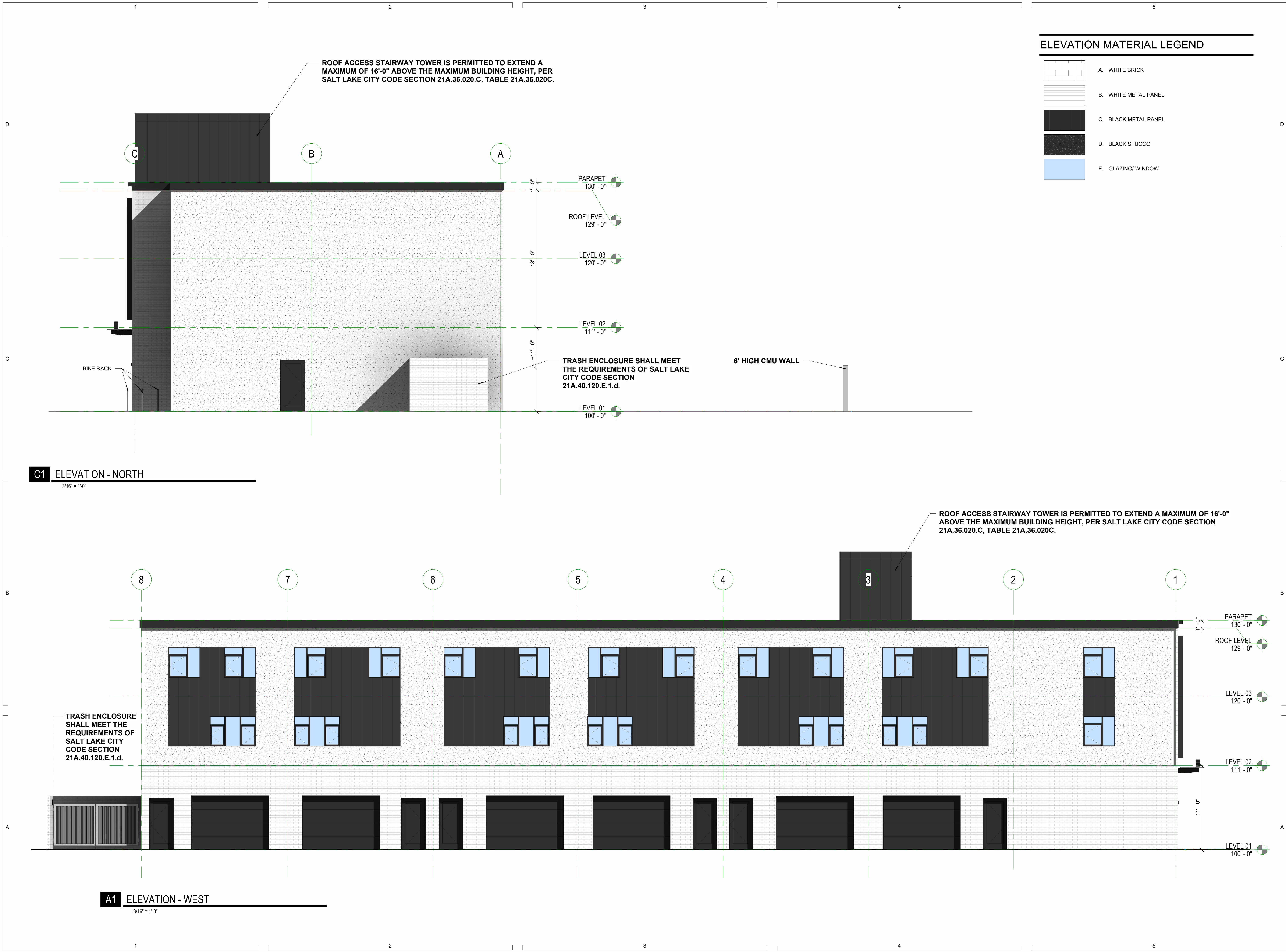
REV DATE DESCRIPTION

TRASH ENCLOSURE SHALL MEET THE REQUIREMENTS OF SALT LAKE CITY CODE SECTION 21A.40.120.E.1.d.

EXTERIOR ELEVATION

A201

9/3/2026 12:44:09 PM

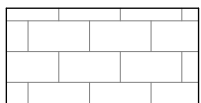


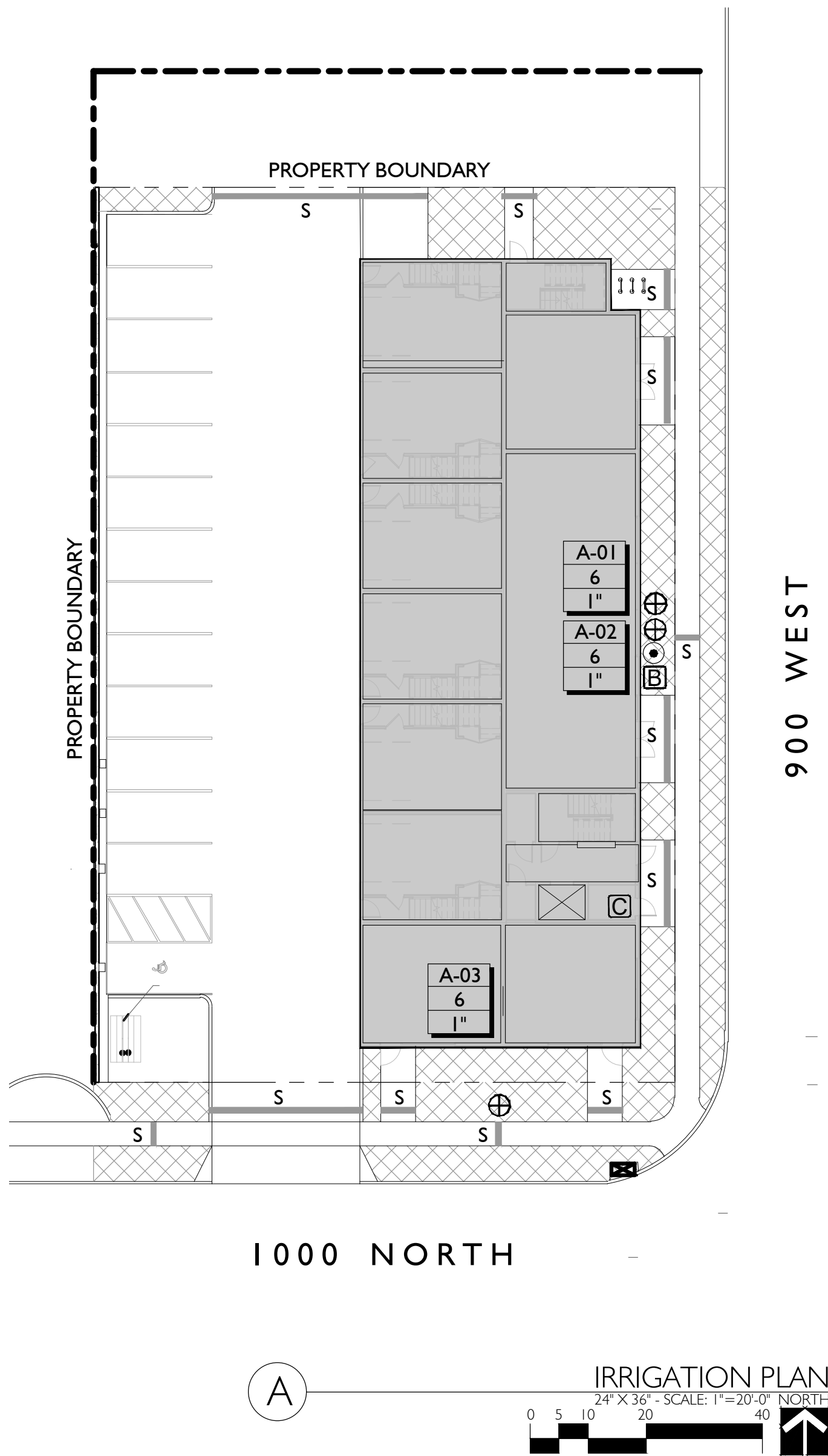
9/3/2026 12:44:15 PM

A
B
C
D



ELEVATION MATERIAL LEGEND

- A. WHITE BRICK
- B. WHITE METAL PANEL
- C. BLACK METAL PANEL
- D. BLACK STUCCO
- E. GLAZING/ WINDOW



IRRIGATION SCHEDULE

SYM. MODEL	
	Drip Emitter - Rainbird Xeri-Bug XB-20PC w/ PC-DIFF-PPL Diffuser Cap - 4 / Tree, 2/Shrub
	Drip Control Zone - Rainbird XCZ-100-PRBCOM
	Quick Coupling Valve Assembly
	Backflow Preventer - 1"
	Controller - Rainbird ESP4ME3 , LNK2 WiFi - 3 Stations w/ WVR2 Rain Sensor is EPA WaterSense Certified Controller
	Lateral Pipe - Schedule 40 PVC
	Mainline - 1" Schedule 40 PVC
	Irrigation Sleeve (See Plan)
	Valve # 26.7 GPM 1 1/2" Valve Size

IRRIGATION PIPE SIZING SCHEDULE

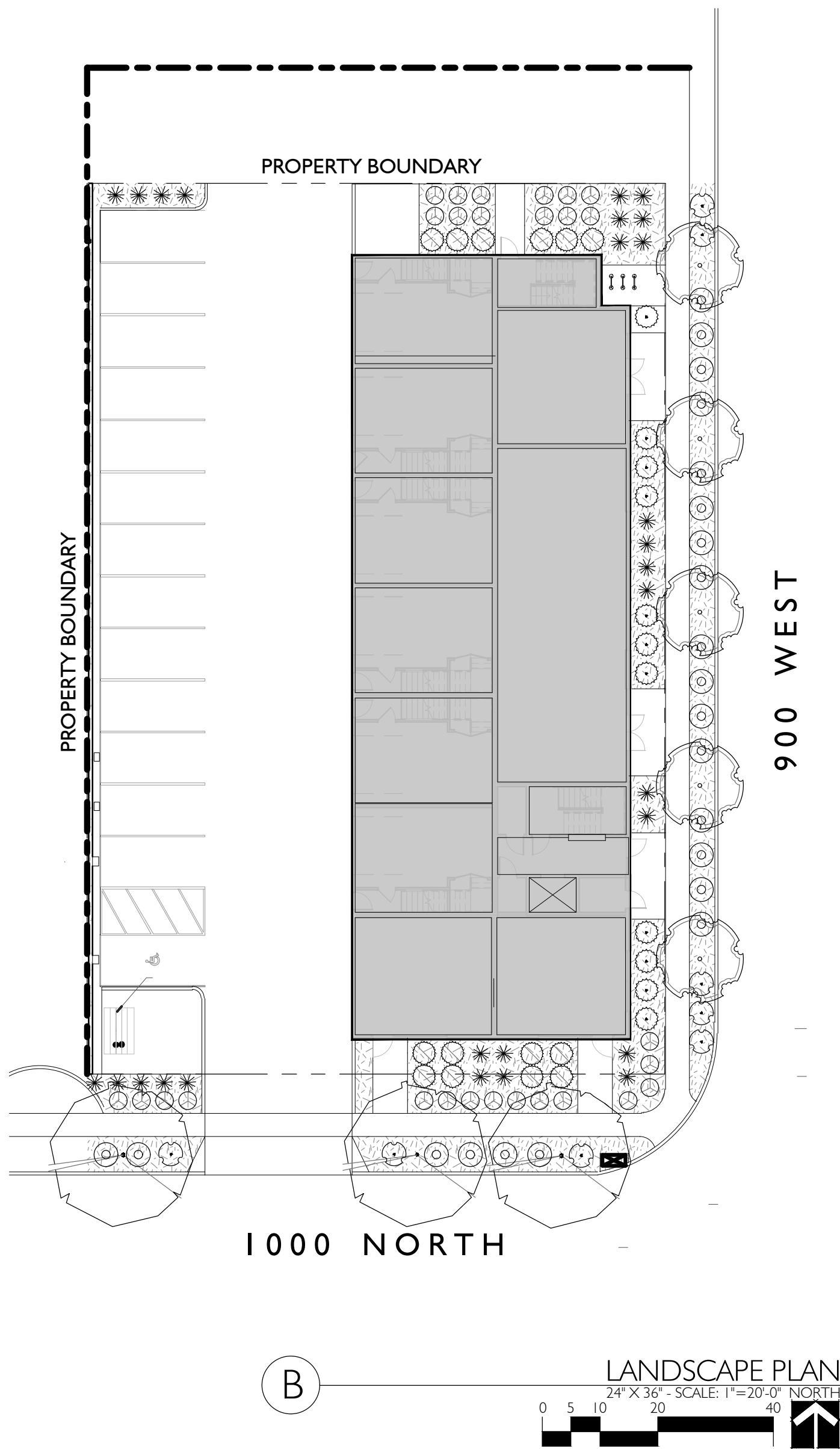
Distance - valve to end of lateral	0 - 160 FT.	160 - 200 FT.	200 - 250 FT.	250 - 300 FT.	300 - 350 FT.
3/4" SCH. 40 PVC PIPE	0 - 8 GPM	0 - 5 GPM	0 - 4 GPM	0 - 4 GPM	0 - 3 GPM
1" SCH. 40 PVC PIPE	8 - 12 GPM	5 - 10 GPM	4 - 9 GPM	4 - 8 GPM	3 - 7 GPM
1-1/4" SCH. 40 PVC PIPE	12 - 22 GPM	10 - 18 GPM	9 - 18 GPM	8 - 16 GPM	7 - 14 GPM
1-1/2" SCH. 40 PVC PIPE	22 - 30 GPM	22 - 30 GPM	18 - 26 GPM	16 - 24 GPM	14 - 22 GPM

LANDSCAPE GENERAL NOTES

- Contractor shall locate and verify the existence of all utilities within project area prior to commencement of work.
- Do not commence planting operation until rough grading has been completed.
- All plants shall bear the same relationship to finished grade as the original grade before digging.
- Pre-emergent herbicide shall be used prior to mulch placement.
- All plant materials shall conform to the minimum guidelines established by the American Standard for Nursery Stock, published by the American Nursery Association, Inc.
- All plants to be balled and burlapped or container grown, unless otherwise noted on the plant list.
- The contractor shall supply all plant material in quantities sufficient to complete the planting shown on the drawings.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf color, fruit and culture only as approved by the Project Representative.
- All turf areas shall receive four inches (4") of topsoil prior to planting. All shrub, groundcover, and perennial beds shall receive four inches (4") of topsoil prior to planting.
- Submit topsoil report prepared by a qualified soil testing laboratory prior to soil placement. Topsoil shall meet the following mechanical analysis:
Sand (0.05 - 2.0 mm Dia.) 20 - 70%
Clay (0.002 - 0.05 mm Dia.) 20 - 70%
The max. retained on a #10 sieve will be 15 percent. the topsoil shall meet the following analysis criteria:
pH Range of 5.5 to 8.2, a min. of 4% and max. of 8% organic matter content and free of stones 3/4" or larger.
Soluble salts <2 dS/m or mmho/cm and sodium absorption ration (sar) <6.

IRRIGATION GENERAL NOTES

- Base drawings for irrigation design have been provided by others.
- Irrigation design based on schematic layout of turf-shrub areas, along with schematic depiction of buildings. Any major deviation in building design and/or turf-shrub areas may require re-design of irrigation system.
- Exact locations of major irrigation components to be approved by the Owner's Representative in the field prior to installation.
- Contact the local underground utility services for utility location and identification.
- Perform excavation in the vicinity of underground utilities with care and if necessary, by hand. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to the Owner.
- Irrigation main line and/or other components are shown schematically in hardscapes for graphic clarity only. All Irrigation components shall be located in landscaped areas
- Quick coupler valves in landscaped areas shall be installed as close as possible to plan locations. Quick coupler valve spacing shall not exceed 200 feet apart to allow for hand watering of plant material.
- Spray sprinklers are designed for 30 PSI at the head. Rotor sprinklers are designed for 50 PSI at the head.
- Not all sleeving necessary to complete this project is shown on plan. Portions of irrigation sleeving may have been previously installed by others. Coordinate location and usage with Owner's Representative.



LANDSCAPE SUMMARY

	REQUIREMENT	REQD.	PROVIDED
PARKSTRIP TREES - 6' Wide 1000 North (76 L.F.)	1 / 40 L.F.	1.9 TREES	3 TREES
PARKSTRIP TREES - 4.4' Wide 900 West (154 L.F.)	1 / 30 L.F.	5.1 TREES	4 TREES
PARKSTRIP LANDSCAPE AREA - 1000 N / 900 W (1,502 S.F.)	33%	500 S.F.	913 S.F.
FRONT YARD LANDSCAPE - (1,269 S.F.)	33%	423 S.F.	546 S.F.

LANDSCAPE SCHEDULE

Qty	Scientific Name	Common Name	Size	Drought Tolerant*	Hydro Zone **
DECIDUOUS TREES					
5	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	2" Cal.	Yes	Td3
3	Zelkova serrata 'Village Green'	Zelkova	2" Cal.	Yes	Td4
EVERGREEN SHRUBS					
14	Mahonia aquifolium compacta	Compact Oregon Grape	2 Gal.	Yes	Se3
11	Prunus laurocerasus 'Cherry Hill'	Cherry Hill Laurel	2 Gal.	Yes	Se3
ORNAMENTAL GRASSES					
56	Calamagrostis x acutifolia 'Karl Foerster'	Karl Foerster Feather Grass	1 Gal.	Yes	Tw2
27	Pennisetum alopecuroides 'Hameln'	Fountain Grass	1 Gal.	Yes	Tw2
GROUNDCOVER					
22	Rhus aromatica 'Gro Low'	Gro Low Sumac	1 Gal.	Yes	Gv1
PERENNIALS					
8	Gaura	Wandflower	1 Gal.	Yes	P2
MULCH					
2,767 S.F. 1" - 2", Over DeWitt PRO5 Weed Barrier, All Planters			3" Min.		

* - Drought Tolerant Plants as Selected from Water Conserving Plants for Salt Lake City
** - Hydrozone as Determined from Salt Lake City Plant List and Hydrozone Schedule or Jordan Valley Conservancy District Conservation Garden Park Waterwise Plant List



LANDSCAPE ARCHITECTURE
& LAND PLANNING

1375 EAST PERRYS HOLLOW RD.
SALT LAKE CITY, UTAH 84103
PH/TXT/MO 801.554.6146
SCOTT@STBDISIGNLLC.COM



ISSUE DESCRIP.	DATE
	9.04.2026

#	REV.	DESCRIPTION	DATE
1			
2			
3			
4			
5			

This drawing, as an instrument of professional service, and shall not be used, in whole or part, for any other project without the written permission of SCOTT THOMAS BLAKE DESIGN L.L.C. Copyright © 2026

LE ESQUINA
950 WEST 1000 NORTH
SALT LAKE CITY, UTAH

LANDSCAPE
PLAN

L101

ATTACHMENT C: Property and Vicinity Photos



Subject property



Subject property



Paris Social bar to east of site



Paris Social bar to east of site



Single family residential south across 1000 N



Sign manufacturing north of project site



El Cabrito restaurant next door

ATTACHMENT D: MU-2 Zoning Standards

Mixed Use District 2

Purpose: The purpose of the MU-2 Mixed Use 2 District is to provide small-scale commercial and mixed-use development located within and serving residential neighborhoods. Buildings in this district are generally no taller than two stories. The main purpose of the district is to provide neighborhood-serving commercial uses; however, residential uses may be allowed as part of a mixed-use development. Development regulations are intended to reinforce the historic scale and design of traditional neighborhood-serving businesses that are oriented toward the pedestrian, restricted in size to promote local orientation, and designed to limit adverse impacts on nearby residential areas. This zone is appropriate in areas supported by applicable general plans and along local streets. This designation may also be appropriate along collector streets in areas with low-scale development patterns.

General Provisions	Standard	Provided	Compliance
Open Space Requirements: A minimum of ten percent (10%) of the lot area shall be provided as open space area, unless otherwise specified in this chapter. Open space area may include landscaped yards, patios, dining areas, common balconies, rooftop gardens, and other similar outdoor living spaces. Private balconies, required parking lot landscaping, or required perimeter parking lot landscaping, shall not be counted toward the minimum open space area requirement, except where specifically authorized by the individual district.	1,540 required	2,017 open space provided in front and corner yards	Complies
A minimum of twenty percent (20%) of the required open space area shall include vegetation. Tree canopy at maturity shall count toward the vegetation area requirement.	20 % 1540 = 308 SF	Approximately 600 SF of vegetation landscaping	Complies
At least one open space area shall have a minimum dimension of fifteen feet (15') by fifteen feet (15'). This does not apply to the row house building form, except when the required open space area is consolidated into a shared common space.		15 x 15 provided in west side of front yard	Complies

Mu-2 Vertical Mixed Use Standards	Standard	Provided	Finding
Height	Maximum: 30 feet	29'	Complies
Front and Corner Side Yard	1. Minimum: 5' 2. Landscape Yard: Provided yards exceeding the minimum shall be landscape yards, subject to Subsection 21A.48.060 .C. 3. Exception: Roof coverings for outdoor dining are allowed to encroach into the required setback.	5-6' The building is located between 5-6 from property lines, with landscape in front yards except for entrances.	Complies
Interior Side Yard	Minimum: 4 feet	45'	Complies
Rear Yard <i>Side/Rear Yard Setback Abutting Alleys: The width of an abutting alley may be counted toward the abutting required side or rear yard setback requirement.</i>	Minimum: 20 feet	10' setback + 10' alley	Complies
Building Form Separation	When multiple building forms are located on a single lot, each building form must be separated by at least 6 feet, measured from exterior walls.	NA	NA
Open Space Area	As required in Subsection 21A.25.010 .D.	See table above	Complies
Maximum Lot Width	The width of a new lot shall not exceed 110 feet. This standard may be modified through the design review process (Chapter 21A.59) or the planned development process (Chapter 21A.55).	NA This is an existing lot.	NA
Building Size Limits	Buildings in excess of 5,000 gross square feet of floor area on the first floor or in excess of 10,000 gross square feet of floor area overall shall be allowed only through the design review process (Chapter 21A.59). This includes any additions that bring the floor area above these thresholds. An unfinished basement used only for storage or for parking shall be	19,920 square feet total building area	Complies with Design Review Approval

	allowed in addition to the total square footage.		
Compatibility	If subject to design review: The proposed height and width of new buildings and additions shall be visually compatible with buildings found on the block face.	See Consideration 2	Complies with Design Review Approval

Off-Street parking Standards	Standard	Provided	Finding
Shared Off street Parking	Shared Parking 6 units have own parking spot 10 Units + 2,750 SF retail (3) = 14 / 1.1 = 13	6 garage stalls + 14 shared	Complies
Bicycle Parking	1 per 4 residential units (16=4) 1 per 5,000 SF commercial units (3,000 = 1)	6	Complies

Design Standards for MU-2

Requirement	Standard	Proposed	Finding
Enhanced Active Ground Floor Use (21A.37.050.A)	75%	South: 100% retail East: 76% retail	Complies
Depth: The minimum depth of the required ground floor use space shall be 25' for mixed use developments	25'	21'-23'10"	Complies with Design Review Approval
Height: For enhanced active ground floor uses, the required ground floor use space shall have a minimum floor-to-ceiling height of twelve feet (12'), unless the underlying zone specifies a greater requirement	12'	10'	Complies with Design Review Approval
Building Materials, ground floor (21A.37.050.B.1)	70%	South: 100% Brick East: 100% brick and metal panel	Complies

Building Materials, upper floors (21A.37.050.B.2)	70%	South: 90% (brick & metal panel) East: 84% (brick and metal panel)	Complies
Glass: ground floor (21A.37.050.C.1)	40%	South: 53% East: 55%	Complies
Glass: Upper floors (%)	15%	South: 18% East: 17%	Complies
Reflective Glass: Ground Floor	0	0	Complies
Building Entrances (21A.37.050.D)	X	South: 2 entrances East: 3 entrances	Complies
Blank wall Maximum Length (21A.37.050.E)	15'	South: 13'9" East: 11'	Complies
Max Length of Street-facing Façade (21A.37.050.F)	110'	South: 48' East: 135'7"	Complies with Design Review Approval
Lighting: exterior (21A.37.050.H)	X		Complies with Conditions
Lighting: parking lot (21A.37.050.I)	X		Complies with conditions
Screening of mechanical equipment (21A.37.050.J)	X		Complies
Screening of service areas (21A.37.050.K)	X		Complies
Parking garages or structures (21A.37.050.M)	X		N/A
Public Improvements 21A.37.050.M	X	6' sidewalk provided	Complies

ATTACHMENT E: Design Review Standards

21A.59.050: Standards for Design Review: In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review with the following exceptions:

- Subsection 21A. 59.050.E is only applicable for modifications to a street facing façade length regulation;
- Subsection 21A. 59.050.G is only applicable for additional building height; and
- A standard in Section 21A.59.050 may be considered met when the proposal complies with a corresponding design standard in Chapter 21A. 37 and both standards align in purpose and intent.

The Finding for each standard is the recommendation of the Planning Division based on the facts associated with the proposal, the discussion that follows, and the input received during the engagement process. Input received after the staff report is published has not been considered in this report.

A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted general plan policies and design guidelines governing the specific area of the proposed development.

Finding: Complies

Discussion:

Purpose: The purpose of the MU-2 Mixed Use 2 District is to provide small-scale commercial and mixed-use development located within and serving residential neighborhoods. Buildings in this district are generally no taller than two stories. The main purpose of the district is to provide neighborhood-serving commercial uses; however, residential uses may be allowed as part of a mixed-use development. Development regulations are intended to reinforce the historic scale and design of traditional neighborhood-serving businesses that are oriented toward the pedestrian, restricted in size to promote local orientation, and designed to limit adverse impacts on nearby residential areas. This zone is appropriate in areas supported by applicable general plans and along local streets. This designation may also be appropriate along collector streets in areas with low-scale development patterns.

This project meets the intent of the MU-2 district by providing neighborhood serving uses and retail, along with residential units not typically provided in this neighborhood. The ground floor is near the sidewalk and oriented towards the pedestrian experience.

Condition(s):

B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot by including:

- 1. Primary entrances that face the public sidewalk (secondary entrances can face a parking lot);**

2. **Building(s) located close to the public sidewalk, following the desired development patterns of the immediate vicinity; and**
3. **Parking located within, behind, or to the side of buildings.**

Finding: Complies

Discussion:

1. Public entrances will face 1000 N and Victoria Way, while garages and residential entrances will face interior to the lot.
2. The building and public entrances are within 5' of the property line, which is adjacent to the public sidewalks.
3. Parking is on the east side of the building, so that the building can be sited close to the street corner property lines.

Condition(s): Complies

C. Building facades shall facilitate pedestrian interest and interaction by including:

1. **Active ground floor uses at or close to the public sidewalk;**
2. **Maximum transparency of street facing facades. Ground floor glass shall not have reflective treatments, be covered by interior walls or opaque signage, or use other similar features that prevent passers-by from seeing inside of the building for non-residential uses;**
3. **Traditional storefront elements such as sign bands, clerestory glazing, articulation, and architectural detail at window transitions on the ground floor. If the ground floor contains residential uses, each primary building entrance and individual unit entrance shall include a defined entry feature;**
4. **Buildings located on corner lots shall incorporate architectural features that emphasize the building's corner, including a prominent building entrance that is publicly accessible, transparent, and unobstructed; and**
5. **Outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces, if provided, should be situated so that they have a direct visual connection to the street or midblock walkway.**

Finding: Complies

Discussion:

1. The ground floor along Victoria Way and 1000 N are occupied with retail spaces, with the building setback approximately 5' from the property line. This proximity to the sidewalk leaves greater accessibility from the pedestrian to these spaces.
2. The ground floor transparency on both street facades is over 50%, many of the windows and entrances contain floor to ceiling glass.
3. The residential entrance is differentiated among the commercial spaces along Victoria Way. Small signage is located on the awnings and the facades to indicate the commercial

entrances. The metal paneling along the façade is protruded, giving the windows a recessed appearance.

4. The building is located on the corner, and both entrances have prominent entryways to each commercial space along each street, with awnings and signage that show clearly the entrances from the street and to pedestrians.
5. While none of the retail spaces have outdoor dining, a table is provided in the open space adjacent the drive aisle. This is situated so it still has direct visual connection to the street.

Condition(s): None

D. Building masses shall be divided into heights and proportions that minimize the perceived mass of the structure and relate to human scale by demonstrating compliance with the following standards:

- 1. Relate building scale and massing to the size and scale of the surrounding buildings, and context of the site, such as alignments with existing foundation lines, established cornice heights, building massing, stepbacks and vertical emphasis;**
- 2. For buildings with more than three stories, compose the design of the building with a distinct base to create a sense of human scale orientation. For buildings taller than 50 feet, the height of the base shall be at least 20 feet. For buildings taller than 100 feet, the minimum base height should be three stories or be consistent with the existing street wall;**
- 3. Include secondary architectural elements such as balconies, porches, vertical bays, belt courses, fenestration or window reveals, and**
- 4. Reflect the scale and solid (wall) to void (window/door openings) ratio of the established character of the neighborhood or that which is desired in the general plan. Windows shall have a consistent spacing pattern and alignment.**

Finding: Complies

Discussion:

1. As described in Consideration #2, the building mass is largely consistent with many of the existing buildings in this area, although it may be taller in height, it remains within the standards of the MU-2 district. The surrounding buildings are strictly commercial, while this proposal provides retail and residential uses. The building still relates to human scale by having a pedestrian friendly ground floor with high transparency, awnings, and multiple entrances.
2. This building is not more than three stories, this standard does not apply
3. The metal paneling along the facades is projected from the wall plane approximately 1', which gives the windows a recessed appearance and the façade a varied plane. The ground floor has high fenestration, at over 50%, with transparent entrances and large floor to ceiling windows for large portions of the façade.
4. This building offers a higher level of transparency than many other buildings in this area, matching more typical mixed-use developments.

Condition(s): None

E. This subsection is only applicable to buildings requesting additional street facing building façade length. Street facing building facades shall contribute to the character of the neighborhood, reinforce the established street wall, promote ground- level activation, create a sense of enclosure, and be designed to minimize negative impacts on the streetscape. The street facing building façade may only be increased up to 25% of the allowed maximum in Section 21A.37.060, subject to the following standards:

- 1. Reductions to the ground floor use requirement of the underlying zoning district, as specified in Section 21A.37.060, are not permitted. For zoning districts without a designated ground floor use requirement, a minimum of 75% of the ground floor shall contain qualifying active uses as defined in Section 21A.37.050.A.**
- 2. Building facades that exceed the maximum street facing façade length shall be designed to reduce the perceived length of the façade and provide visual interest, by including elements such as:**
 - a. Significant changes in wall plane measuring at least 2 feet;**
 - b. Massing changes; or**
 - c. Distinguished roof lines.**
- 3. Exceptions:**
 - a. The following land use are exempt from the maximum increase of 25% of building façade and the reduction in ground floor use provision above: utility buildings and structures (other than the offices for utility providers), stadiums/ arenas, libraries, convention centers, places of worship, government offices, public and private schools, universities, movie theaters, live performance theaters, and other similar general assembly land uses as determined by the zoning administrator.**
 - b. Developments that comply with the affordability level in Table 21A.52.050.G Affordable Housing Incentives may exceed building length by up to 75% of the allowed maximum in Section 21A.37.060. Such developments shall be subject to Subsections 21A.52.050.E and F.**

Finding: Complies

Discussion:

1. No reduction of active ground uses is requested – the percentage of Enhanced Active Uses along Victoria Way is at 78%. Retail is the predominate use on the ground floor along both street frontages – a donut shop, a salon, and future retail tenant are anticipated. The residential entrance/lobby space is not included in the Enhanced Active Use calculation on this façade.
2. The building includes two of the listed methods to reduce the overall size. The metal material is placed in segments along the x façade. These segments vary by 1' from the building plane. The residential entrance is recessed approximately 1'. Additionally, the northern most 8' of the façade are recessed 5', further reducing the visual length of the wall.

3. No Affordable Housing is provided in this project, this standard is not applicable.
Condition(s): None
F. If provided, publicly accessible outdoor spaces shall include at least three of the seven following elements: 1. At least one sitting space for each 250 square feet shall be included in the plaza. Seating shall be a minimum of 16 inches in height and 30 inches in width. Ledge benches shall have a minimum depth of 30 inches; 2. Seasonal shade in the form of permanent shade structures, pergolas, or overhanging building elements such as canopies that enhance comfort and usability of the space; 3. Trees in proportion to the space at a minimum of one tree per 800 square feet. At the time of planting, deciduous trees shall have a minimum trunk size of 1.5 inches in caliper, while evergreen trees shall have a minimum size of 5 feet in height; 4. Water features or public art; 5. Outdoor dining areas; 6. Children's amenity space in the form of playgrounds, splash pads, or other similar features; or 7. Other amenities not listed above that provide a public benefit.
Finding: Complies
Discussion: There will be no publicly accessible outdoor space in this project. Not applicable.
Condition(s): N/A
G. This subsection is only applicable to buildings requesting additional building height, as authorized in the underlying zoning district. Building height shall be modified to relate to human scale and minimize negative impacts by demonstrating compliance with the following standards: 1. Design tall buildings to minimize wind impacts on primary building entrances, parks and open space, and public and private outdoor amenity areas. Design elements may include a wind break above the first level of the building, recessed entryways or vestibules, or canopies; 2. Design and orient buildings to prevent snow, ice, or water from falling directly onto a public sidewalk, public space, neighboring property, or directly onto the walkway leading to the building entrance; 3. Roof-top mechanical equipment shall be screen from public view; and 4. Buildings abutting a landmark site shall feature at least one horizontal element on the street facing façade (base, belt course, frieze, cornice) that aligns with a corresponding element of the historic building. The alignment shall foster visual continuity and respect the historic context.
Finding: Complies

Discussion: This building is not requesting additional building height. This section is not applicable.
Condition(s): N/A
H. Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway. Parking lots and structures shall be setback a minimum of 25 feet from required midblock pedestrian access locations or as required in the underlying zoning district if the underlying zoning requires a larger setback.
Finding: Complies
Discussion: Parking is oriented to the side of the building and vehicle access circulates from 1000 N to the alley on the north of the site, giving greater separation to the pedestrian routes along the streetscape. There is emphasis on the pedestrian experience, with widened sidewalks and bike racks provided near the front of the rental entrances.
Condition(s): None
I. Screening of Service Areas: Service areas, loading facilities, refuse containers, utility meters, and similar areas shall be fully screened from public view or located along a side yard. All screening enclosures viewable from the street shall be either incorporated into the building architecture or shall incorporate building materials and detailing compatible with the building being served.
Finding: Complies
Trash enclosures are located in the rear yard and are enclosed with compatible building materials, white brick, which matches the proposed building materials.
Condition(s): None
J. Site and building lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals. 1. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto abutting properties and uplighting directly to the sky. 2. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.
Finding: Complies
Discussion: To be determined at Building Permit

Condition(s): Complies with Condition #1

K. Streetscape improvements shall be provided as follows:

- 1. Impervious surfaces shall be utilized to differentiate privately-owned public spaces from public spaces. All paving for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards:**
 - a. Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable.**
 - b. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table.**
 - c. Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar-Reflective Index (SRI).**
 - d. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City.**
 - e. Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities.**
 - f. Asphalt shall be limited to vehicle drive aisles.**

Finding: Complies

Discussion:

The proposed sidewalk will be widened to 6' (now approximately 4.5') and will be cement, which differs from the asphalt vehicle areas. No privately owned public spaces are proposed for this site.

Condition(s): None

ATTACHMENT F: Public Process & Comments

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- July 10, 2026 – Property owners and residents within 300 feet of the development were provided early notification of the proposal.
- July 15, 2026 - The Rose Park Community Council was sent the 45 day required notice for recognized community organizations. No response was received.
- July 14- present The project was posted to the Online Open House webpage.

Notice of the public hearing for the proposal included:

- September 10, 2026
 - Public hearing notice sign posted on the property
- September 10, 2026
 - Public hearing notice mailed
 - Public notice posted on City and State websites and Planning Division list serve

Public Input:

5 public comments were received on this petition. Concerns regarding an increase in traffic, the need for larger unit (family sized), and overall compatibility with the neighborhood were brought up.

From: [Martinez, Diana](#)
To: ["Kyle W Orton"](#)
Subject: RE: (EXTERNAL) La Esquina
Date: Monday, July 20, 2026 1:38:00 PM
Attachments: [image001.png](#)

Thank you for your comments. I will make sure that they are forwarded to the Planning Commission.



DIANA MARTINEZ
SENIOR PLANNER
PLANNING DIVISION | SALT LAKE CITY CORPORATION
Office: 801-535-7215
Email: diana.martinez@slc.gov
WWW.SLC.GOV WWW.SLC.GOV/PLANNING

Official correspondence from Salt Lake City will only come from an email ending in “@slc.gov.” Messages from other domains purporting to represent the City should be treated with suspicion. Do not respond, click links, open attachments, or provide personal information.

Disclaimer: The Planning Division strives to give the best customer service possible and to respond to questions as accurately as possible based upon the information provided. However, answers given at the counter and/or prior to application are not binding and they are not a substitute for formal Final Action, which may only occur in response to a complete application to the Planning Division. Those relying on verbal input or preliminary written feedback do so at their own risk and do not vest any property with development rights.

From: Kyle W Orton <kykle25@gmail.com>
Sent: Friday, July 17, 2026 7:57 PM
To: Martinez, Diana <diana.martinez@slc.gov>
Subject: (EXTERNAL) La Esquina

You don't often get email from [REDACTED] [Learn why this is important](#)

Caution: This is an external email. Please be cautious when clicking links or opening attachments.

I am all in favor of this proposal, with a shameless plug that it will be a fantastic opportunity to add bulb outs and/or raised crosswalks at the nearby intersection, both to allow for ease of egress and entrance to the development and to protect the rest of the neighborhood from those entering and exiting the freeway. More density = more better.

Best,
Kyle

From: [Martinez, Diana](#)
To: [REDACTED]
Subject: RE: (EXTERNAL) Public Input Notice - Petition Number PLNPCM2026-00539
Date: Monday, July 20, 2026 1:44:00 PM
Attachments: [image001.png](#)

Thank you for your comments. I will make sure to forward them to the Planning Commission.

The El Cabritos property is not part of this proposal. Only the donut business is included, which will be one of the businesses proposed for the ground-floor businesses of the new building.

This is a private application from the property owners. They want to redevelop the property. This is not a city initiative.

If you have other questions or concerns, please reach out to me.

Thank you.



DIANA MARTINEZ
SENIOR PLANNER
PLANNING DIVISION | SALT LAKE CITY CORPORATION
Office: 801-535-7215
Email: diana.martinez@slc.gov
WWW.SLC.GOV WWW.SLC.GOV/PLANNING

Official correspondence from Salt Lake City will only come from an email ending in “@slc.gov.” Messages from other domains purporting to represent the City should be treated with suspicion. Do not respond, click links, open attachments, or provide personal information.

Disclaimer: The Planning Division strives to give the best customer service possible and to respond to questions as accurately as possible based upon the information provided. However, answers given at the counter and/or prior to application are not binding and they are not a substitute for formal Final Action, which may only occur in response to a complete application to the Planning Division. Those relying on verbal input or preliminary written feedback do so at their own risk and do not vest any property with development rights.

From: [REDACTED]
Sent: Monday, July 20, 2026 7:35 AM
To: Martinez, Diana <diana.martinez@slc.gov>
Subject: (EXTERNAL) Public Input Notice - Petition Number PLNPCM2026-00539

You don't often get email from [REDACTED]. [Learn why this is important](#)

Caution: This is an external email. Please be cautious when clicking links or opening attachments.

Hello Diana,

I wanted to write you about the public input notice we received in the mail. The lot on 950 W 1000 N has been a hub of the community for a long time. We're still fairly new to the neighborhood, but my husband grew up in Salt Lake and I've lived here for 13 years. In that time, Rose Park is the only area I've lived in where I know my neighbors and say hello to others on the street can expect a hello back.

I can't help but attribute part of this friendliness of the neighborhood to areas like the one on 950 W and 1000 N. El Cabritos and the donut shop are community hubs for Spanish, English, and Vietnamese, and other language speakers in the area.

All this is to say I was concerned when I read the notice, mainly about what this development would look like and if it would require these businesses to relocate and whether or not this new development would be within price range for current residents of the area.

Has the city heard much demand for new housing developments from Rose Park residents? Has there been much of a request for housing developments like this from the neighborhood here in Rose Park?

Thank you for sharing this development news with the neighborhood. We live a short walk away from this property and would hate to see it affected negatively.

Best,

Katherine McEntire

From: [Andrea Stringham](#)
To: [Younger, Cassie](#)
Subject: (EXTERNAL) Comment: La Esquina Multi-Family Mixed Development
Date: Monday, August 17, 2026 10:08:20 AM

You don't often get email from [REDACTED] [Learn why this is important](#)

Caution: This is an external email. Please be cautious when clicking links or opening attachments.

To Whom It May Concern,

My name is Andrea Stringham and I am a resident of Rose Park (1313 N Sonata Street). I have lived in the area for over 6 years and my daughter attends Newman Elementary. I utilize 1000 North daily for my commute. I also frequent the Donut House and Buzzed Coffee Shop mobile truck.

I appreciate the planning commission's attention to Rose Park and appreciate the effort they are putting into improving the neighborhood. However, I was disappointed to see the proposed plan for 950 W. 1000 N. and am not in favor of the current design.

Rose Park is a unique neighborhood and its distance to downtown makes it an incredibly desirable location. Many multigenerational families continue to live in the area. Unfortunately, it feels younger families are not getting the opportunity to move in due to rising housing costs and the limited family housing options.

In the Northwest Community Plan
(<https://www.slcdocs.com/Planning/Projects/Community%20Plan%20Updates/Northwest%20Community%20Plan/NW%20Plan%20Draft.pdf>) it's mentioned multiple times the need for 3+ bedroom housing units. This development has ZERO. If we want to attract more families to the area, we need to provide sufficient, affordable housing.

The location of this development is also concerning. 1000 North is a major corridor with the 1-15 onramp within eyesight. Attempting to merge from Victoria Way onto 1000 North is nearly impossible in the morning. Any additional cars could cause the potential for serious safety issues. I would appreciate hearing some solution for this in any future development proposals.

If the council is insistent on moving forward with a mixed use development, may I offer an alternation. Instead of a 16 unit development, consider decreasing the overall units and altering the floor plans to 3 bedroom units instead. This would align more closely with the needs of the area, along with the Northwest Community Plan.

I appreciate your time and attention. I'm also happy to speak with the planning commission with any additional questions and can be reached by this email, or phone at 801-915-6278.

Thank you,

Andrea Stringham

From: [Brooke carrig](#)
To: [Younger, Cassie](#)
Subject: (EXTERNAL)
Date: Monday, August 17, 2026 1:34:49 PM

You don't often get email from [REDACTED] [Learn why this is important](#)

Caution: This is an external email. Please be cautious when clicking links or opening attachments.

Hello,

I am writing as a nearby resident regarding the La Esquina development at 950 W. 1000 N. (PLNPCM2026-00539).

First, I want to say that I am genuinely excited to see new development and investment coming to this area. I think the proposed mixed-use concept, additional housing, and commercial space could be a really positive addition to the neighborhood, and I am very supportive of seeing thoughtful development along 1000 North! Up next hopefully we can get rid of the motel by the freeway...

My primary concern is with the proposed exterior façade and material palette. While I understand that the submitted elevations meet the applicable requirements for glazing and durable materials, the current combination of CMU block, large expanses of white and black metal panel, and black stucco feels very stark and utilitarian for such a prominent corner in a lively neighborhood.

Because this building will have a substantial presence along both 1000 North and Victoria Way, I would love to see the Design Review process encourage a warmer, more residential and neighborhood-oriented architectural treatment. Incorporating warmer materials, greater variation in material and color, additional architectural detailing, or more articulation and depth could make a significant difference without changing the overall scale or function of the project.

I simply think this is an opportunity to create a building that contributes positively to the visual character of the neighborhood for decades to come, and inspire local businesses to keep up with the colorful character of Rose Park rather than one that feels primarily driven by minimum material and façade requirements.

I hope Planning will consider requesting additional refinement of the exterior elevations and material palette as part of the Design Review.

Thank you for the opportunity to provide feedback and for considering the perspective of nearby residents.

Brooke Carrig

[REDACTED]

From: [Elmore, Noah](#)
To: [Younger, Cassie](#)
Subject: FW: (EXTERNAL) Urgent Opposition: Traffic Safety Concerns for "La Esquina" Project (1000 N & Victoria Way)
Date: Wednesday, August 19, 2026 11:15:44 AM
Attachments: [image001.png](#)



NOAH ELMORE, AICP
Principal Planner
PLANNING DIVISION | SALT LAKE CITY CORPORATION
Office: (801) 535-7971
Email: noah.elmore@slc.gov
WWW.SLC.GOV WWW.SLC.GOV/PLANNING

Official correspondence from Salt Lake City will only come from an email ending in "@slc.gov." Messages from other domains claiming to represent the City should be treated as suspicious. Do not respond, click links, open attachments, or provide personal information.

Disclaimer: The Planning Division strives to give the best customer service possible and to respond to questions as accurately as possible based upon the information provided. However, answers given at the counter and/or prior to application are not binding and they are not a substitute for formal Final Action, which may only occur in response to a complete application to the Planning Division. Those relying on verbal input or preliminary written feedback do so at their own risk and do not vest any property with development rights.

From: 4 [REDACTED]
Sent: Wednesday, August 19, 2026 10:24 AM
To: Zoning <zoning@slcgov.com>
Cc: Norris, Nick <nick.norris@slcgov.com>; Gilmore, Kristina <kristina.gilmore@slcgov.com>; Lindquist, Kelsey <kelsey.lindquist@slcgov.com>; Petro, Victoria <victoria.petro@slcgov.com>; Rebollo, Joshua <joshua.rebollo@slcgov.com>; Rose Park Community Council <info@roseparkcommunitycouncil.org>
Subject: (EXTERNAL) Urgent Opposition: Traffic Safety Concerns for "La Esquina" Project (1000 N & Victoria Way)

Some people who received this message don't often get email from [REDACTED].is
[important](#)

Caution: This is an external email. Please be cautious when clicking links or opening attachments.

Dear Salt Lake City Planning Commission and Project Review Staff,

I am a resident living at the top end of Victoria Way. I am writing to formally oppose the design exceptions requested for the "La Esquina" development due to severe,

immediate traffic and safety hazards at this exact intersection.

The current 20-stall parking plan is entirely inadequate and will create a dangerous bottleneck for the following reasons:

Existing Gridlock: Victoria Way is exceptionally narrow. With the existing apartments on this street, cars already park on both sides. This reduces the road to a single lane where only one vehicle can pass at a time.

Dangerous Blind Spots: When the current restaurant is busy, overflow parking spills onto both sides of Victoria Way and down 1000 North, creating massive blind spots for drivers trying to navigate the corner.

Intersection Traffic Jams: Because Victoria Way becomes a single lane when cars are parked on both sides, drivers turning off 1000 North will be forced to stop and wait in the middle of a main thoroughfare for oncoming traffic on Victoria street to clear, causing immediate traffic jams.

Freeway Gridlock & Trap Conditions: During peak morning and evening commuting hours, 1000 North is already heavily congested with vehicles backing up trying to turn East to access the I-15 freeway. Adding a new bottleneck at Victoria Way means residents at the end of the street will be physically blocked from exiting our own neighborhood during rush hour.

Child Cyclist & Pedestrian Safety: 1000 North and also Victoria Way is a highly utilized route for neighborhood children riding bicycles and walking, not only leisurely but also to the elementary school down the street. The massive blind spots created by overflow parking at this corner, combined with the traffic jams turning onto Victoria Way, create an immediate and unacceptable risk of vehicle-cyclist collisions involving neighborhood children.

Emergency Vehicle Access Hazard: Victoria Way is a narrow street, especially closer to the 1000 North area. When overflow parking forces the road down to a single lane and backs up traffic onto 1000 North, it creates a severe safety hazard. Fire trucks, ambulances, and police vehicles will not have the physical clearance required to navigate the street quickly or turn around in an emergency. Also no room for garbage trucks and snow plows.

Loss of Existing Overflow Parking: The vacant parcel behind the donut shop currently acts as the neighborhood's informal overflow parking lot for the busy restaurant next door. Eliminating this lot will immediately force dozens of customer vehicles permanently onto the streets.

New Nightlife & Impaired Driving Risks: The city recently approved the Paris Social Bar directly across the street. Forcing a dense residential complex onto this same narrow corner ignores the high risk of late-night traffic conflicts and impaired driving.

Disruption to Existing Light Industrial Businesses: The proposed layout routes residential and retail parking access through the existing paved alleyway connecting to Victoria Way. This shared path will directly conflict with the heavy machinery, flatbed deliveries, and loading needs of the adjacent established steel business, creating severe operational blockades and commercial safety hazards.

Neighborhood Congestion: As a resident at the end of the street, this overflow will force me and my neighbors to bypass our own road and divert onto surrounding side streets, congesting the rest of the neighborhood.

Because our infrastructure cannot handle this density, I urge the Planning Commission to **Deny the requested size exceptions** and mandate a formal **Traffic Impact Study** that accounts for the lost parking lot, the bar across the street, child safety, overflow parking on the street and neighborhood egress.

Sincerely,

Tammy Grainger



(Top end of Victoria Way/Dupont Ave)

Salt Lake City, UT 84116

Rose Park Resident

ATTACHMENT G: Department Review Comments

This proposal was reviewed by the following departments. Any requirement identified by a City Department is required to be complied with.

Engineering:

No comments

Fire:

7/21/2026 The following comments are not an approval and may not include all items required to meet minimum adopted fire and life safety codes.

*Aerial access shall be provided when building exceeds 30 feet in height as measured from grade plane. Elevations show an exact 30 foot building height which may be above 30 feet when more information is provided at code compliance review.

*When aerial access is required it shall be provided from a road that is at least 26 feet wide, is located parallel to long side of building with distances not less than 15 feet and not greater than 30 feet from the road to building. No overhead obstructions such as trees, power or utility lines shall be located between or over road and building.

*NFPA 13 fire sprinkler system is required. No riser room or FDC location provided

*FDC shall be located on street address side of building.

*Riser rooms shall meet Utah amendments for clearance, access, minimum temperature maintenance and lighting

*Hydrants shall be provided so that appendix B and C requirements for minimum required fire flow and maximum spacing are met.

*As shown, fire department access is acceptable.

Urban Forestry:

Transportation :

Designs standards require widening the existing 4' wide sidewalk to 6' (21A.37.050.M). Sidewalk must be widened toward the property to avoid narrowing the park strip. On 1000 North there is room between the existing sidewalk and the property line to add the additional 2' within the right-of-way. On Victoria way the widening will need to be done on the property. Transportation has no other issues with the proposal.

Building:

No comments

Public Utilities:

Development is required to relocate the public storm drain at the southeast corner of the property so that a minimum of 15 feet is provided between the public storm drain facility and the building. This will be required at the property owner's expense. A plan and profile and engineer's cost estimate must be submitted for review during the building permit process. Design drawings and cost estimate

must be stamped and signed by a professional engineer. The property owner is required to bond for the amount of the approved cost estimate.

Additionally, an easement will be required on the private property to provide SLCDPU access to this area between the public storm drain facility and the building (i.e. 15 feet from all public storm drain to the east and south of the property).

The design of the relocated storm drain; agreement between SLC and the private property owner to install said relocation, including the necessary surety; and establishment of the easement will be required prior to building permit issuance.