



STREET FACADE FROM SOUTH



STREET FACADE FROM NORTH

DESIGN

divelept

454 N 600 W, SLC, UT 84116

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PROPERTY

Name	Area	Acres
	8,166 SF	0.19
	8,166 SF	0.19

PARKING REQUIRED

UNIT TYPE	COUNT	PRKG REQD PER UNIT	TOTAL PARKING REQD
R - 1 BED	12	0.5	6
R - 2 BED	9	1	9
Grand total	21		15

PARKING PROVIDED

TYPE	COUNT
8'6" x 17'6"	16
ADA PARKING	1
ELECTRIC PARKING SPACE	1
18	

CODE ANALYSIS

APPLICABLE CODES AS MODIFIED BY: 2024 UTAH BUILDING CODE
2024 IBC, 2024 IPC, 2024 IMC, 2024 FUEL GAS CODE, 2024 IFC
2024 IECC, 2023 NFPA 70, 2009 ICC A117.1, 2010 ADA STANDARDS

- A. BUILDING INFORMATION:
- | | |
|------------------------------|-----------------------|
| Construction Type(s): | VA |
| Occupancy Classification(s): | R-2, S-2 |
| Fire Sprinklers: | Yes, per NFPA Type 13 |
| Mixed Occupancy: | Yes |
| Special Use and Occupancy: | Yes, R per IBC 420 |

B. BUILDING HEIGHT AND AREA

Building Height & Stories (IBC 506)
Allowed 85' 5 Stories
Provided 51'-4" 4 Stories

Building Max Allowable Area
A₁ = R-2 OCCUPANCY = 36,000 SF

BUILDING AREA

	AREA
LEVEL 1 - GND FL	6,918 SF
LEVEL 2	6,389 SF
LEVEL 3	6,378 SF
LEVEL 4	6,378 SF
TOTAL BLDG AREA:	26,062 SF

ZONING ANALYSIS

ZONING JURISDICTION: SALT LAKE CITY
ZONE: D-2

SETBACKS:
FRONT YARD 0' MIN. 10' MAX.
SIDE YARD 0' MIN.
REAR YARD 0' MIN.
SEE SHEET A001 FOR PROVIDED YARDS

MAX BUILDING HEIGHT REQ'D
120' (OVER 65' REQUIRES DESIGN REVIEW)
SEE SHEET A200 FOR PROVIDED BUILDING HEIGHT

PARKING: (TABLE 21A.44.030)

IN D2 ZONE MINIMUM PARKING PER 21A.44.040B.7
REQ. PARKING = 5 SPACE PER 1 BED
1 SPACE PER 2+ BED
15 STALLS

MAXIMUM PARKING SPACES
2 SPACE PER 1 BED AND STUDIO
3 SPACE PER 2+ BED
51 STALL ALLOWED MAX

TOTAL PROPOSED PARKING
18 SPACES - MEETS MINIMUM AND MAXIMUM

ADA PARKING
SECTION 21A.44.020
TOTAL PROPOSED ADA
1-25 = 1 SPACE REQUIRED
1 SPACE

BICYCLE PARKING
SECTION 21A.44.40.E
PROPOSED BIKE PARKING
1 STALL PER 3 UNITS REQ'D
7 STALLS REQUIRED [21/3=7]
8 STALLS

ELECTRICAL VEHICLE PKG.
SECTION 21A.44.040.B.A
PROPOSED ELECTRICAL PKG.
1-25 = 1 SPACE REQ.
TWO SPACE

SHEET INDEX.

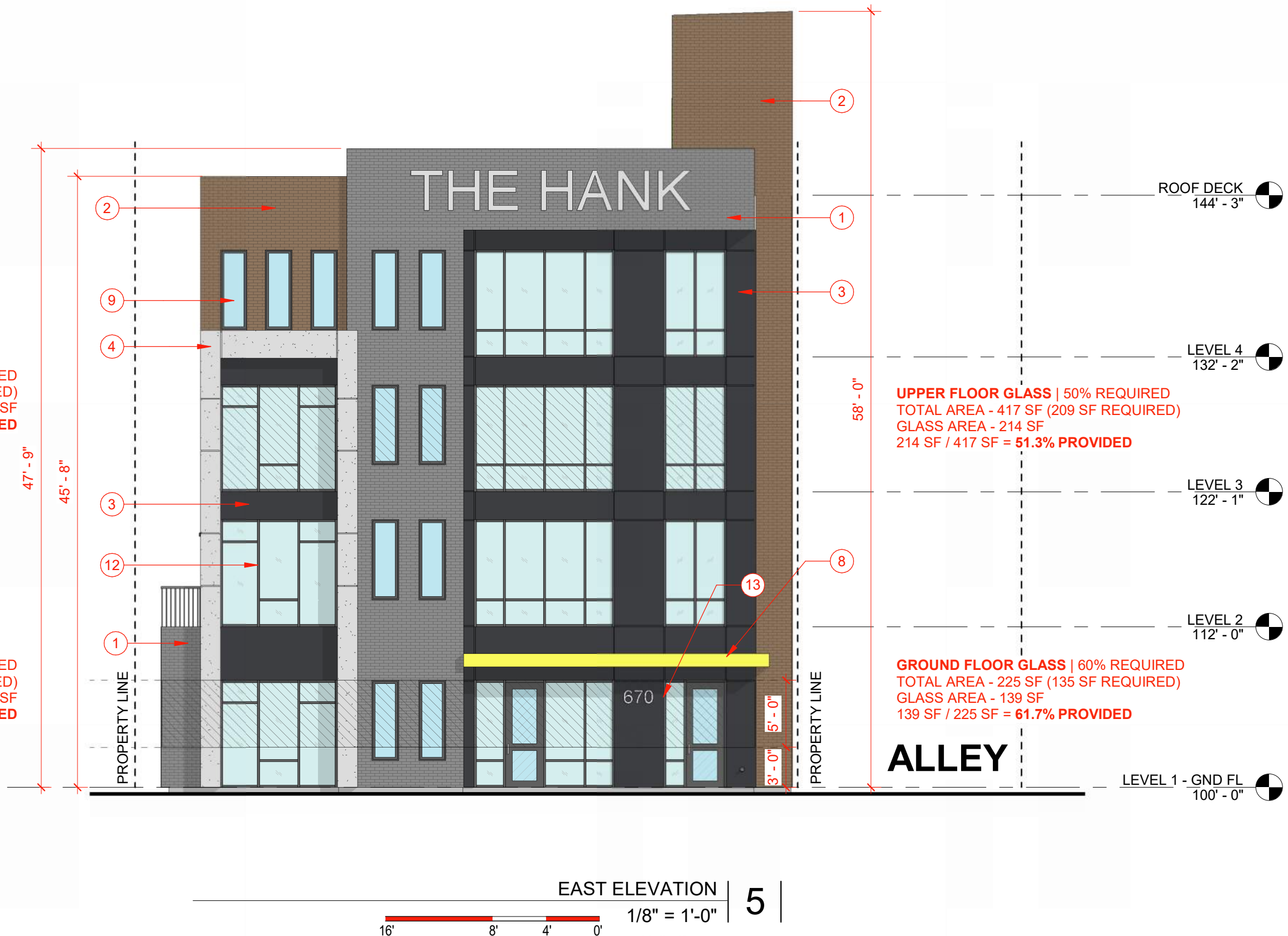
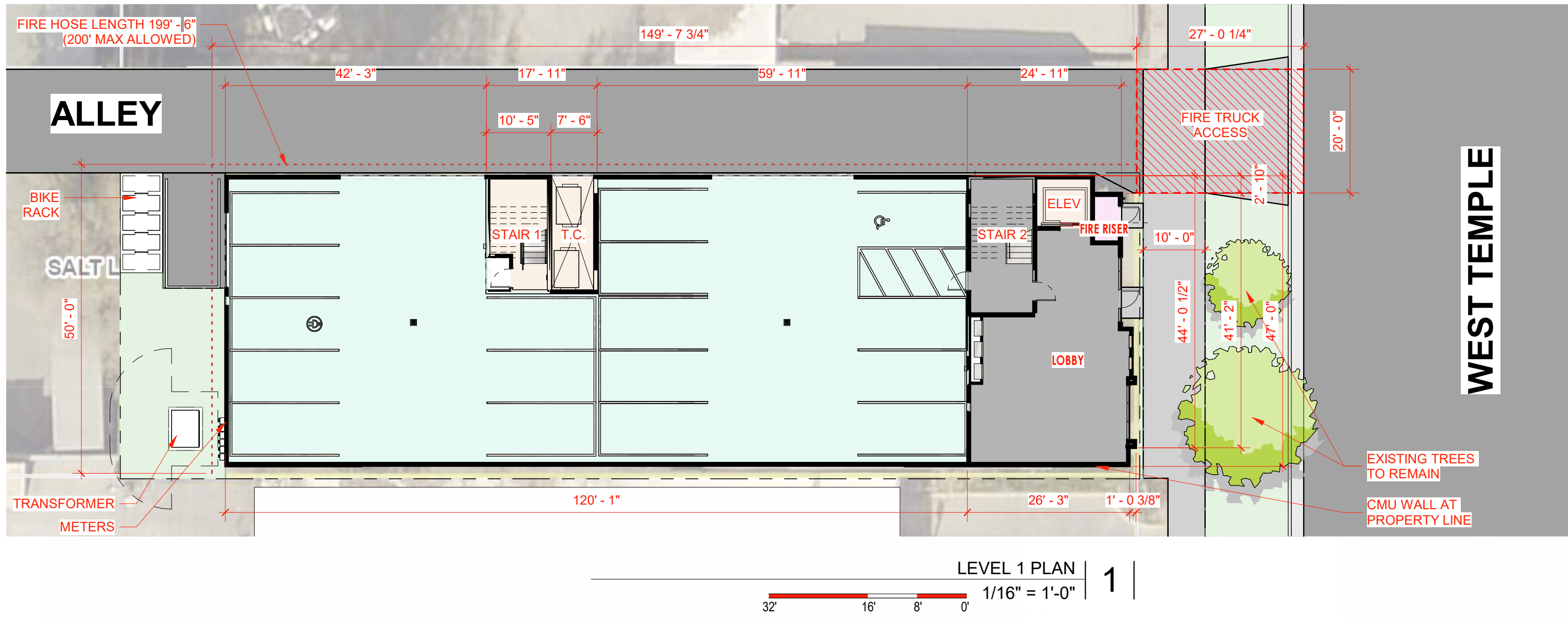
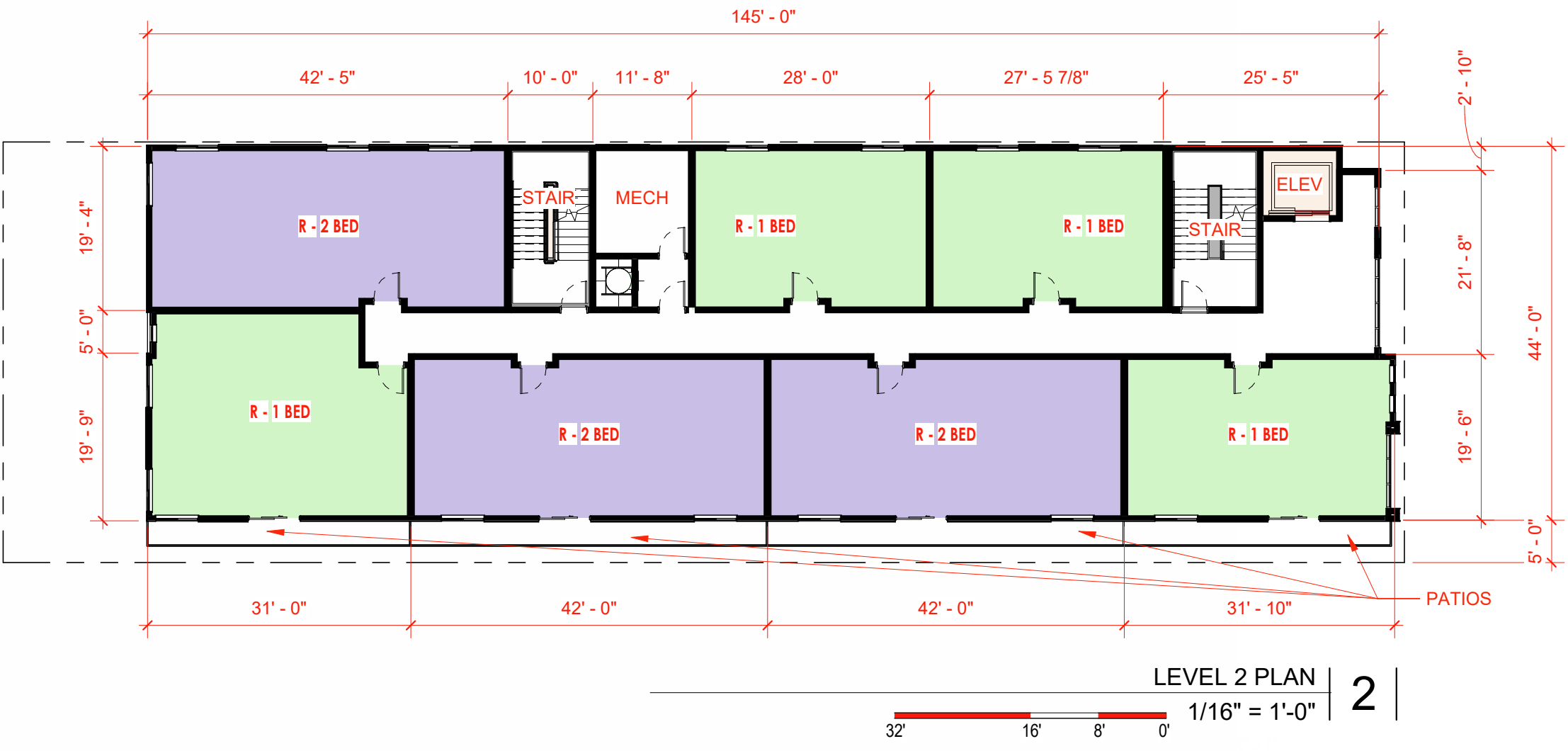
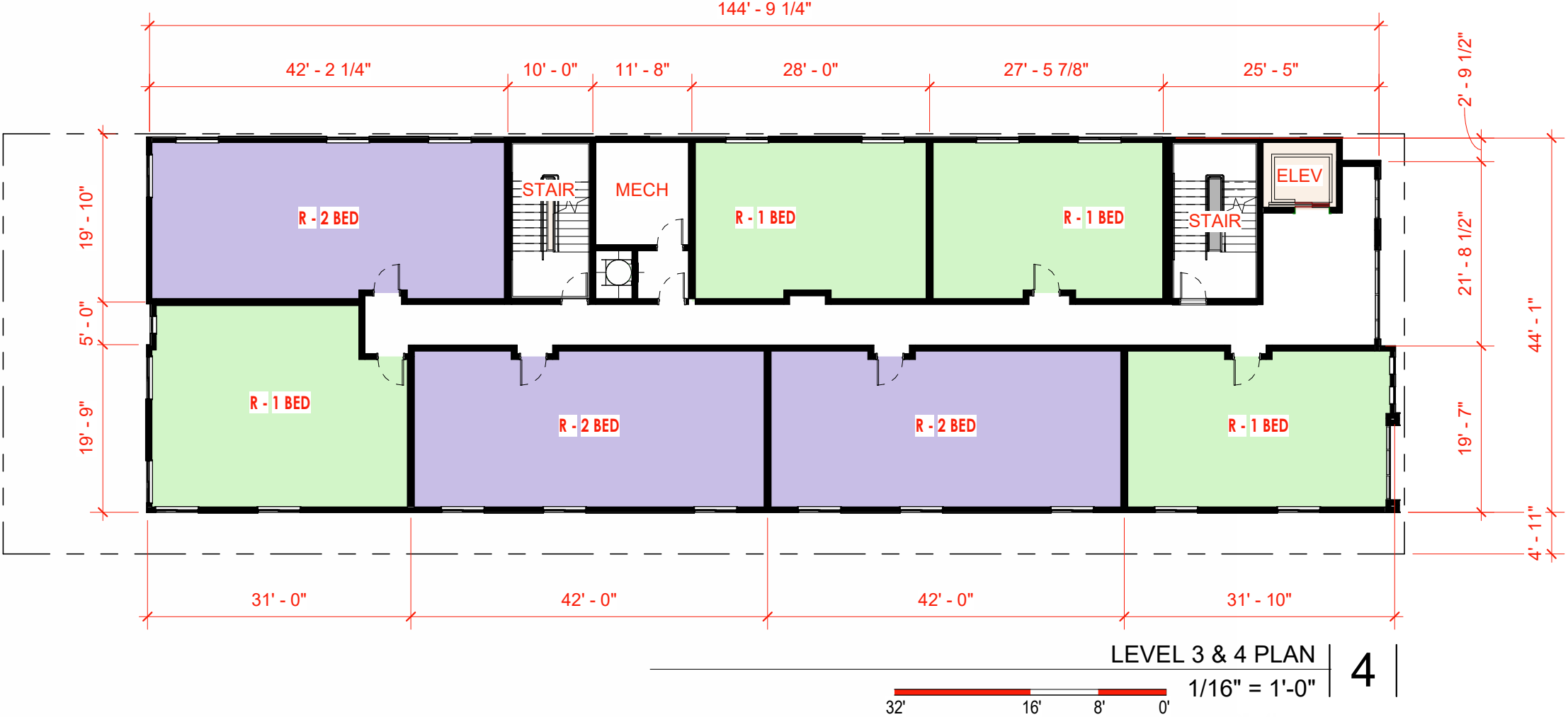
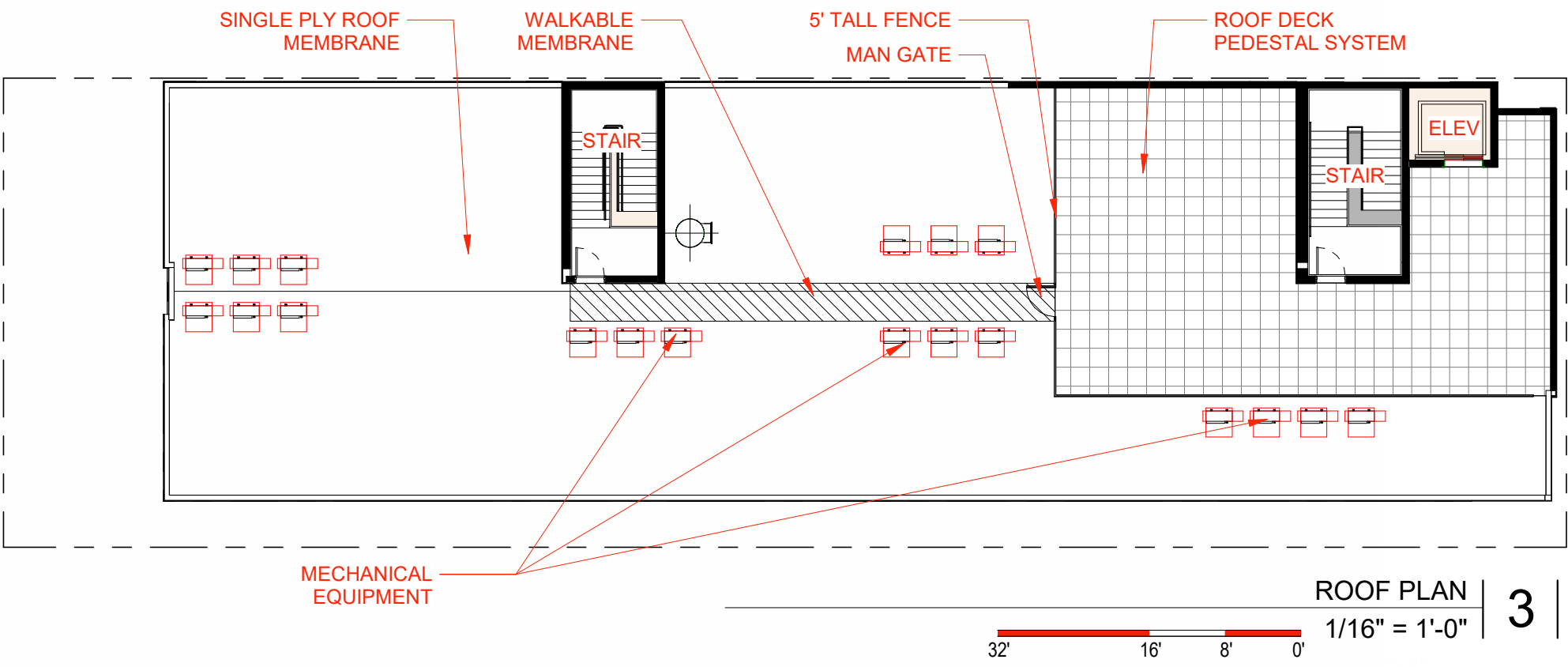
A.000 COVER
A.001 PLANS AND ELEVATIONS
A.200 ELEVATIONS
A.300 SECTIONS
4
Grand total: 4

THE HANK

No.	Date	Description
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NOT FOR CONSTRUCTION

OWNER: WASTACH GROUP
PROJECT ADDRESS: 662 S WEST TEMPLE
SALT LAKE CITY, UT 84101
CITY PERMIT #: BLD20XX-XXXX
ARCH PROJECT #: 26-15
A.C.B.I.: JDH
PHASE: DESIGN REVIEW
PUBLISH DATE: 03 JUNE 2026
SHEET SCALE: As indicated
SHEET NAME: COVER

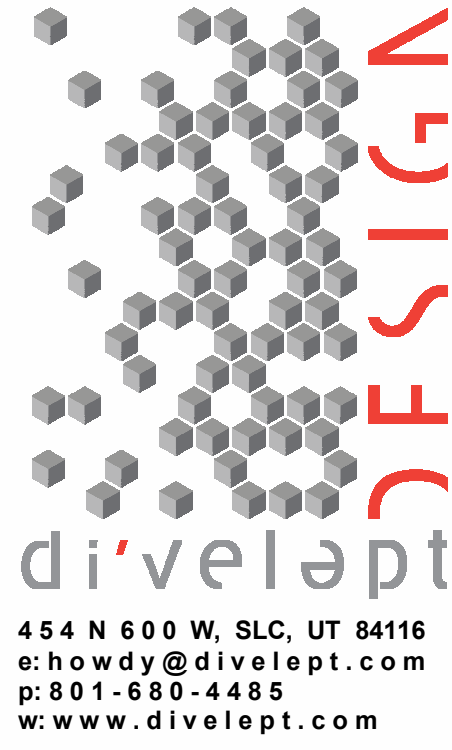


THE HANK

No.	Date	Description
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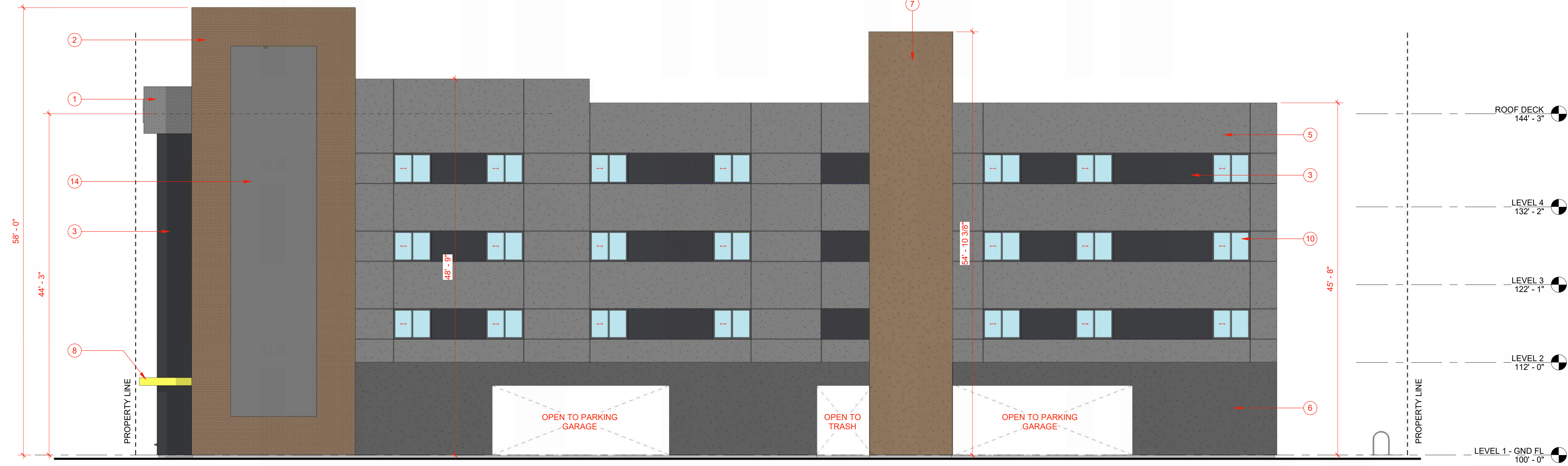
NOT FOR CONSTRUCTION

OWNER: WASTACH GROUP
PROJECT ADDRESS: 662 S WEST TEMPLE SALT LAKE CITY, UT 84101
CITY PERMIT #: BLD20XX-XXXXX
ARCH PROJECT #: 26-15
A.O.B.I.: JDH
PHASE: DESIGN REVIEW
PUBLISH DATE: 03 JUNE 2026
SHEET SCALE: As indicated
SHEET NAME: PLANS AND ELEVATIONS
SHEET NUMBER: A.001
DIVLEPT DESIGN LLC © 2026



KEYNOTES

- 1 BRICK VENEER - DARK GREY
- 2 BRICK VENEER - BROWN
- 3 FIBER CEMENT BOARD - BLACK
- 4 STUCCO - LIGHT GREY
- 5 STUCCO - DARK GREY
- 6 STUCCO - BLACK
- 7 STUCCO - BROWN, MATCH TO BROWN BRICK
- 8 FRAMED AWNING
- 9 WINDOW - FIXED
- 10 WINDOW - OPERABLE
- 14 MURAL



NORTH ELEVATION | 2 |
16' 8' 4' 0' 1/8" = 1'-0"



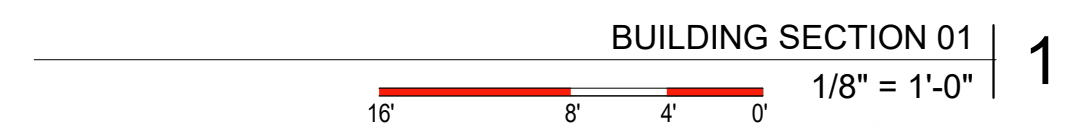
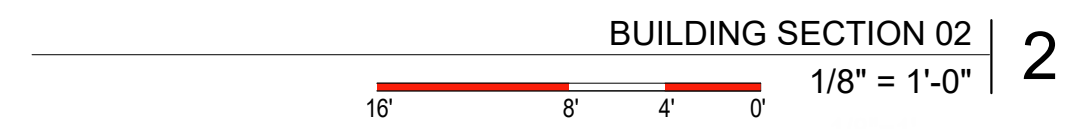
SOUTH ELEVATION | 1 |
16' 8' 4' 0' 1/8" = 1'-0"

THE HANK

No.	Date	Description
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PROFESSIONAL SEAL:

OWNER:	WASTACH GROUP
PROJECT ADDRESS:	662 S WEST TEMPLE SALT LAKE CITY, UT 84101
CITY PERMIT #:	BLD20XX-XXXXX
ARCH PROJECT #:	26-15
A.O.B.I.:	JDH
PHASE:	DESIGN REVIEW
PUBLISH DATE:	03 JUNE 2026
SHEET SCALE:	1/8" = 1'-0"
SHEET NAME:	ELEVATIONS

[illegible]

WASTACH GROUP

PROJECT ADDRESS:

662 S WEST TEMPLE

SALT LAKE CITY, UT 84101

PERMIT #:

BLD20XX-XXXX

PROJECT #:

26-15

DATE:

JDH

REVISION:

DESIGN REVIEW

ISSUE DATE:

03 JUNE 2026

GRAPHIC SCALE:

1/8" = 1'-0"

PROJECT NAME:

A.300

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CODE SECTION COMPLIANCE TABLE

Section	Standard	Requirements	Response
Downtown General Provisions 21A.30.010			
21A.030.010.F	Midblock Walkways	No midblock walkway on this parcel	Complies
21A.030.010.G	All sidewalks need to be 10' min.	Sidewalk width will be expanded to 10' across the width of the site	Complies
21A.030.010.H	Landscape Buffers	No conditions for buffers apply to this site.	Complies
D-2 Downtown Support District 21A.30.030			
21A.030.030.C	Lot Size	Minimum lot area: No minimum	Complies
21A.030.030.D	Maximum Building Height	65 feet without Design Review, 120 feet with Design Review approval from the Planning Commission	Complies 58 feet 0 inches to the top of the parapet
21A.030.030.E	Front/Corner/Side/Rear Yard Setbacks	Front & Corner: No Min, 10' Max Interior Side: No Minimum Rear: No Minimum	Complies Front (West Temple): 7" Min 3'-0" Max
Design Standards 21A.37.050			
21A.37.050.A	Ground Floor	Enhanced Active Use: 80% required in D-2 Zones	Does Not Comply

21A.37.050.B	Building Materials	Ground Floor Material 80% Durable Materials Required Upper Floor Materials 50% Durable Materials Required	Complies See elevations on A001
21A.37.050.C	Glass	Ground Floor Glass 60% Glass Required Upper Floor Glass 50% Glass Required	Complies See elevations on A001. No reflective glass is included in the project.
21A.37.050.D	Building Entrances	At least one building entrance required for each street facing building frontage. 40' between building entrances	Complies The building's main entrance is located along West Temple. The building is only 45' W so it meets the entrance every 40' requirement.
21A.37.050.E	Max Length of Blank Wall	Blank wall allowed 20' Max	Complies The largest section of blank wall is 3'-8". See elevations on A001.
21A.37.050.F	Maximum Length of Street Facing Facades	Max Allowed is 200' Long	Complies The building is 44' W
21A.37.050.G	Upper Level Front Setback	Street facing facades of buildings over eighty five feet (85') in height shall have an upper level stepback with a minimum depth 10'.	Complies The building is less than 85' tall so a setback is not required.

21A.37.050.H	Exterior Lighting	All exterior lighting shall be shielded and directed down to prevent light trespass onto adjacent properties. Exterior lighting shall not strobe, flash, or flicker.	Complies All on-site lighting will be directed towards illuminating the structure or signage. As a condition of Design Review approval, the applicant will work with staff to finalize the lighting plan.
21A.37.050.I	Parking Lot Lighting	If a parking lot/structure is adjacent to a residential zoning district or land use, any poles for the parking lot/structure security lighting are limited to sixteen feet (16') in height and the globe must be shielded and the lighting directed down to minimize light encroachment onto adjacent residential properties or into upper level residential units in multi-story buildings. Lightproof fencing is required adjacent to residential properties.	Complies Parking will be integrated into the building and there will not be a standalone parking lot or structure.
21A.37.050.J	Screening of Mechanical Equipment	All mechanical equipment for a building shall be screened from public view and sited to minimize their visibility and impact.	Complies All mechanical equipment will be located on the roof or in the rear yard setback.
21A.37.050.K	Screening Of Service Area	Service areas, loading facilities, refuse containers, utility meters, and similar areas shall be screened from public view or located along a side or rear yard.	Complies All refuse containers on the site will be integrated into the building footprint on the ground level.
21A.37.050.L	Parking Garage	Parking structures shall be designed to conceal the view of all parked cars and drive ramps and improve visual character when adjacent to a public street or other public space.	Complies The parking garage is setback 25' from the street face with the lobby in between it and the sidewalk. It is not visible from the adjacent public street.

			It is clad in durable materials.
21A.37.050.M	Public Improvements		Complies Sidewalk will be 10' wide see A001
Design Review Standards 21A.59.050			
21A.59.050.A	Development Intent	Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the city's adopted "urban design element" and adopted general plan policies and design guidelines governing the specific area of the proposed development.	Complies This project is increasing the area's density, bringing residents who can work and shop at the surrounding commercial business. As a medium sized building, the project is helping create the transitions between high and low density areas.
21A.59.050.B	Sidewalk Oriented	Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot by including: 1. Primary entrances that face the public sidewalk (secondary entrances can face a parking lot); 2. Building(s) located close to the public sidewalk, following the desired development patterns of the immediate vicinity; and 3. Parking located within, behind, or to the side of buildings.	Complies This project's facade is on West Temple. We have created a facade that engages the streetscape and helps to create a sense of place as the area becomes more developed. The vehicular entrance is off an alleyway on the North side of the building, keeping cars separated from the pedestrian entries.
21A.59.050.C	Building Facade Interest	Building facades shall facilitate pedestrian interest and interaction by including: 1. Active ground floor uses at or close to the public sidewalk; 2. Maximum transparency of street facing facades. Ground floor glass shall not have reflective treatments, be	Complies All of the ground floor of this project is along either a public street or the public access easement. We have endeavored to make sure that all of these frontages are

		covered by interior walls or opaque signage, or use other similar features that prevent passers-by from seeing inside of the building for non-residential uses; 3. Traditional storefront elements such as sign bands, clerestory glazing, articulation, and architectural detail at window transitions on the ground floor. If the ground floor contains residential uses, each primary building entrance and individual unit entrance shall include a defined entry feature; 4. Buildings located on corner lots shall incorporate architectural features that emphasize the building's corner, including a prominent building entrance that is publicly accessible, transparent, and unobstructed; and 5. Outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces, if provided, should be situated so that they have a direct visual connection to the street or midblock walkway.	primarily filled with active uses while balancing the required needs of any building. Particular care has been spent along the 300 W facade to balance the competing conditions of having residential use along a major street.
21A.59.050.D	Building Mass	Building masses shall be divided into heights and proportions that minimize the perceived mass of the structure and relate to human scale by demonstrating compliance with the following standards: 1. Relate building scale and massing to the size and scale of the surrounding buildings, and context of the site, such as alignments with existing foundation lines, established cornice heights, building massing, stepbacks and vertical emphasis; 2. For buildings with more than three stories, compose the design of a building with a distinct base to create a sense of human scale orientation. For buildings taller than fifty feet (50'), the height of the base shall be at least twenty feet (20'). For buildings taller than one hundred feet (100'), the minimum base height should be three stories or be	Complies The building facade has been broken in distinct sections to make the scale more relatable The front facade is primarily clad in brick to give a visual weight and a very tactile, durable material, with accents of stucco and fiber cement paneling. The North and South sides of the building have different designs and color usage. The South has a clearly defined base, middle, top accent that wraps around the building. On the North side there is only a base and top, but the top section has been broken up by the stair shafts and section of accent material

		consistent with the existing street wall; 3. Include secondary architectural elements such as balconies, porches, vertical bays, belt courses, fenestration or window reveals; and 4. Reflect the scale and solid (wall) to void (window/door openings) ratio of the established character of the neighborhood or that which is desired in the general plan. Windows shall have a consistent spacing pattern and alignment.	at the windows. The change of materials between the North and South sides of the building also contributes to a facade that doesn't feel monotonous.
21A.59.050.E	Building Facade Length	This subsection is only applicable to buildings requesting additional street facing building facade length. Street facing building facades shall contribute to the character of the neighborhood, reinforce the established street wall, promote ground-level activation, create a sense of enclosure, and be designed to minimize negative impacts on the streetscape. The street facing building facade may only be increased up to twenty five percent (25%) of the allowed maximum in Section 21A.37.060, subject to the following standards: 1. Reductions to the ground floor use requirement of the underlying zoning district, as specified in Section 21A.37.060, are not permitted. For zoning districts without a designated ground floor use requirement, a minimum of seventy five percent (75%) of the ground floor shall contain qualifying active uses as defined in Section 21A.37.050.A. 2. Building facades that exceed the maximum street facing facade length shall be designed to reduce the perceived length of the facade and provide visual interest, by including elements such as: a. Significant changes in wall plane measuring at least two feet (2'); b. Massing changes; or c. Distinguished roof lines.	Complies The street facing facade is only 44' long.

		3. Exemptions: a. The following land use are exempt from the maximum increase of twenty five percent (25%) of building façade and the reduction in ground floor use provision above: utility buildings and structures (other than the offices for utility providers), stadiums/arenas, libraries, convention centers, places of worship, government offices, public and private schools, universities, movie theaters, live performance theaters, and other similar general assembly land uses as determined by the zoning administrator. b. Developments that comply with the affordability level in Table 21A.52.050.G Affordable Housing Incentives may exceed the building length by up to seventy five percent (75%) of the allowed maximum in Section 21A.37.060. Such developments shall be subject to Subsections 21A.52.050.E and F.	
21A.59.050.F	Publicly Accessible Outdoor Spaces	If provided, publicly accessible outdoor spaces shall include at least three (3) of the seven (7) following elements: 1. At least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30"); 2. Seasonal shade in the form of permanent shade structures, pergolas, or overhanging building elements such as canopies that enhance comfort and usability of the space; 3. Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet. At the time of planting, deciduous trees shall have a minimum trunk size of one and a half inches (1.5") in caliper, while evergreen trees shall have a minimum size of five	Complies None are provided.

		feet (5') in height; 4. Water features or public art; 5. Outdoor dining areas; 6. Children's amenity space in the form of playgrounds, splash pads, or other similar features; or 7. Other amenities not listed above that provide a public benefit.	
21A.59.050.G	Additional Building Height	This subsection is only applicable to buildings requesting additional building height, as authorized in the underlying zoning district. Building height shall be modified to relate to human scale and minimize negative impacts by demonstrating compliance with the following standards: 1. Design tall buildings to minimize wind impacts on primary building entrances, parks and open space, and public and private outdoor amenity areas. Design elements may include a wind break above the first level of the building, recessed entryways or vestibules, or canopies; 2. Design and orient buildings to prevent snow, ice, or water from falling directly onto a public sidewalk, public space, neighboring property, or directly onto the walkway leading to the building entrance; 3. Roof-top mechanical equipment shall be screened from public view; and 4. Buildings abutting a landmark site shall feature at least one horizontal element on the street facing façade (base, belt course, frieze, cornice) that aligns with a corresponding element of the historic building. The alignment shall foster visual continuity and respect the historic context.	Complies Additional Height is not being requested.

21A.59.050.H	Parking and On Site Circulation	Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway. Parking lots and structures shall be setback a minimum of twenty five feet (25') from required midblock pedestrian access locations or as required in the underlying zoning district if the underlying zoning requires a larger setback.	Complies The parking is set back 25' from the facade of the building. The parking is set back 25' from the facade of the building.
21A.59.050.I	Screening of Service Areas	Service areas, loading facilities, refuse containers, utility meters, and similar areas shall be fully screened from public view or located along a side yard. All screening enclosures viewable from the street shall be either incorporated into the building architecture or shall incorporate building materials and detailing compatible with the building being served	Complies Mechanical equipment will be located on the roof and the electrical equipment will be located in the rear setback and on the West elevation, only visible from the back of the site. Refuse containers are inside a trash room in the building.
21A.59.050.J	Site and Building Lighting	Site and building lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals. 1. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto abutting properties and uplighting directly to the sky. 2. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.	Complies All on-site lighting will be directed towards illuminating the structure or signage.
21A.59.050.K	Street Improvements	Impervious surfaces shall be utilized to differentiate privately-owned public spaces from public spaces. All paving for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards: a. Use materials that are durable (withstand wear, pressure, damage),	Complies The widened sidewalk area will be concrete.

		require a minimum of maintenance, and are easily repairable or replaceable. b. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table. c. Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar-Reflective Index (SRI). d. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City. e. Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities. f. Asphalt shall be limited to vehicle drive aisles. (Ord. 51- 25, 2025: Ord. 70-24, 2024: Ord. 24B-23, 2023: Ord. 24-23, 2023: Ord. 14-19, 2019)	
Other Relevant Code Sections			
21A.48.060.D	Landscape Yards	Any lot abutting a lot in a residential district shall conform to the landscape buffer yard requirements	Complies The lot is not abutting a residential district.

21A.44	Off Street Parking & Loading	Minimum off-street parking for multi-family residential: Studios: 0 stall per unit One-Bedrooms: .5 stall per unit Two-Bedrooms or more: 1 stalls per unit Maximum parking allowance Residential Use: Studios & One-Bedrooms: 2 stall per unit Two-Bedrooms or more: 3 stalls per unit Accessible Parking Stalls: Pursuant to Salt Lake City Off Street Parking Manual Electric vehicle charging stations: 1 space per 25 stalls provided 20% EV Ready Bike Parking: Residential Uses: 1 per 3 units	Complies Residential parking stalls: Min. required: 15 Max. allowed: 51 Accessible vehicle stalls: Min. required: 1 Proposed: 1 Electric vehicle stalls: Min. required: 1 Proposed: 1 Bike Parking Min. required: 7 Off Street Loading Areas: Min. required: o Short Loading Berths Proposed: o Short Loading Berths
21A.46.110	Signage		Complies A flat sign is proposed for West Temple frontage. As a condition of approval, the applicant will work with staff and Building Services to finalize the signage plan.

VICINITY MAP

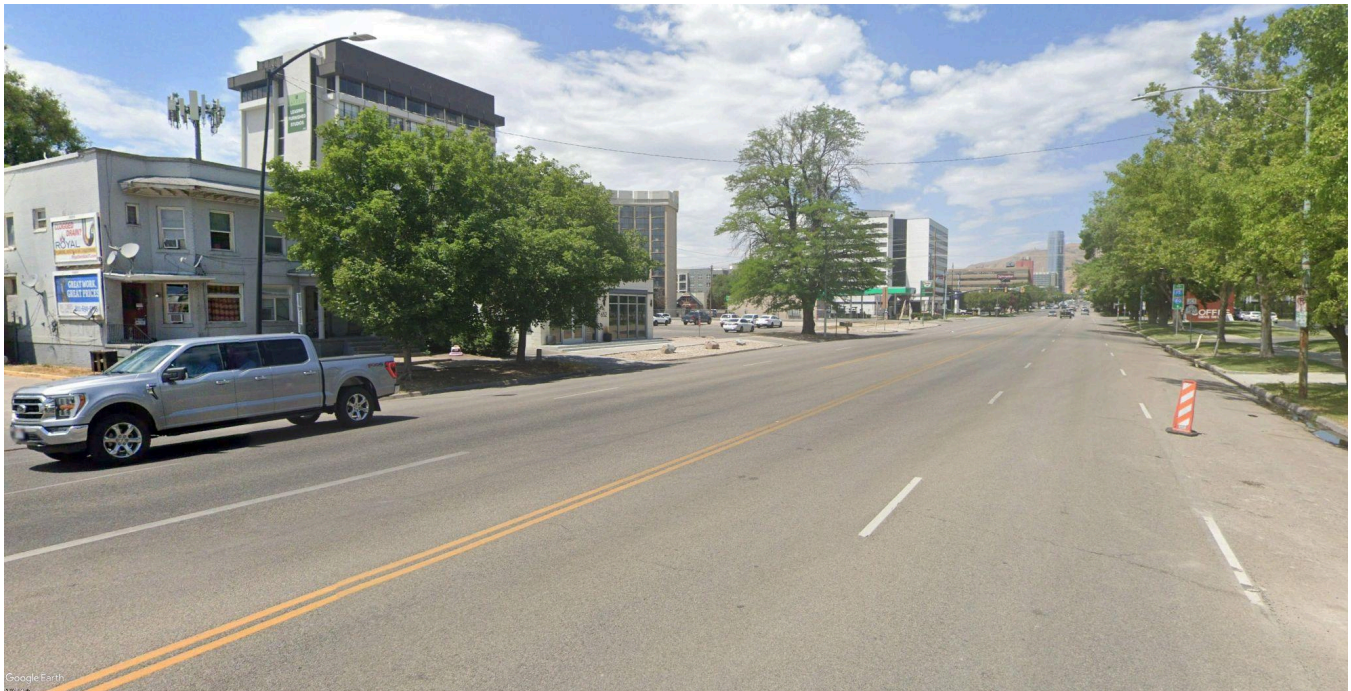


CONTEXT PHOTOS

Property to the South



Subject Property from South



Subject Property from East

