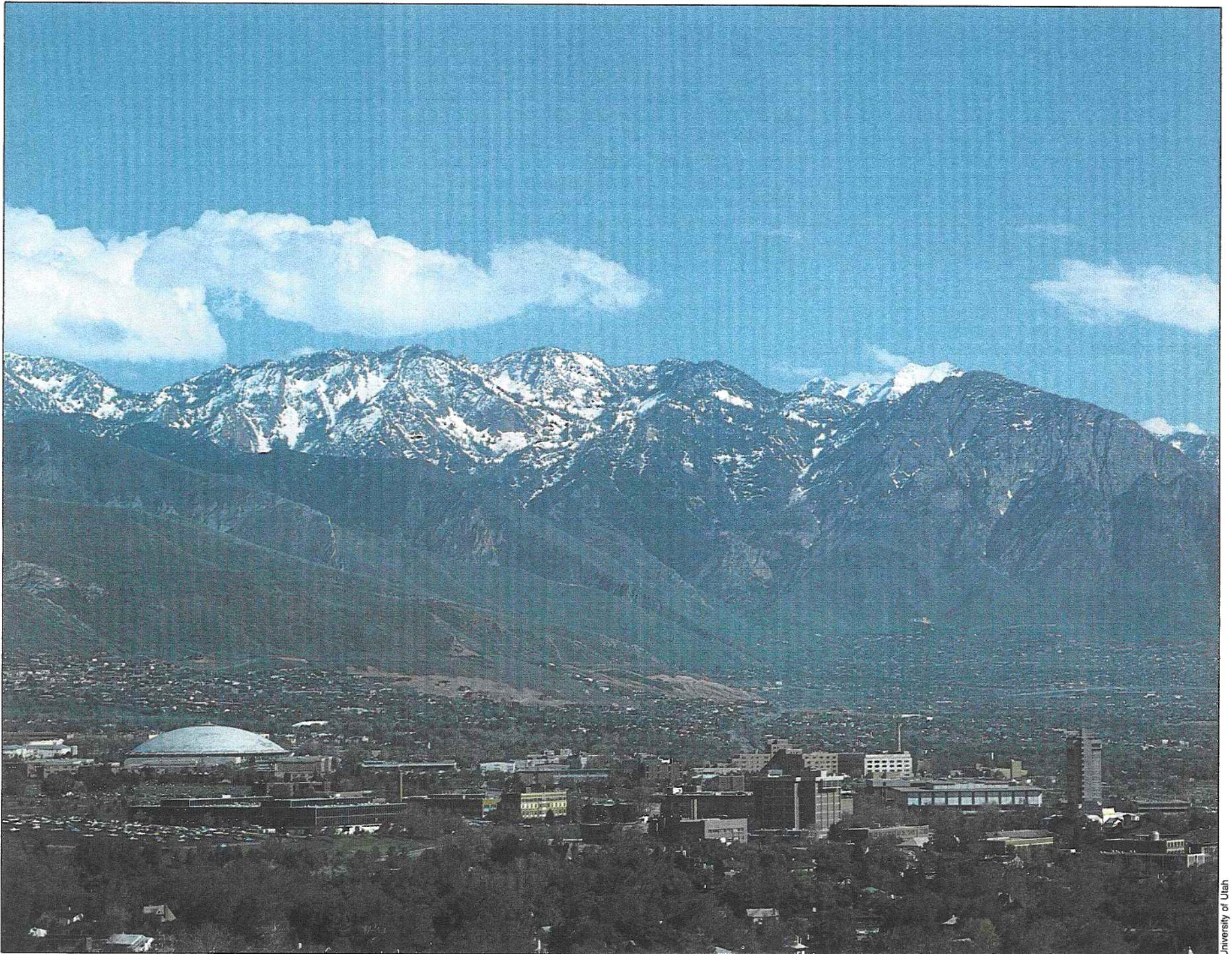


EAST BENCH



University of Utah

A southeastern view of the East Bench area reveals a panorama from the University of Utah in the foreground to new residential development in the foothills.

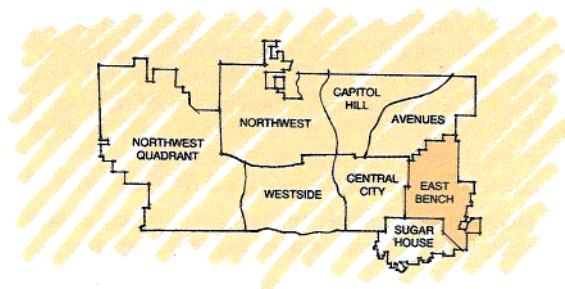
Introduction

THE East Bench Community is considered one of the most desirable residential areas of the Salt Lake Valley. Neighborhoods are attractive, and elevated bench areas provide panoramic views of the valley, mountains, and the Great Salt Lake. Housing in the community ranges from older, distinctive homes in the Yale-Harvard area in the western fringe of the community to new homes of contemporary design on slopes of the eastern foothills. Virtually all housing in the East Bench Community is in good condition. There are few serious structural problems or visual blight.

In addition to housing, the East Bench Community contains numerous major public institutions. The University of Utah, University Medical Center, Research Park, Fort Douglas, and the Veterans Administration Hospital are all located in the East Bench Community. Sunnyside Avenue at approximately 850 South, separates the public institutions to the north from the residential community to the south.

Purpose

The East Bench Master Plan is a comprehensive guide to community growth and development. The plan is general in that it provides direction for land use issues, and specific in the area of necessary capital improvements and programs for plan implementation. Salt Lake City prepared city-wide master plans in 1942 and 1967. The East Bench Community Plan updates and refines the general 1967 Salt Lake City Master Plan.



Planning Process

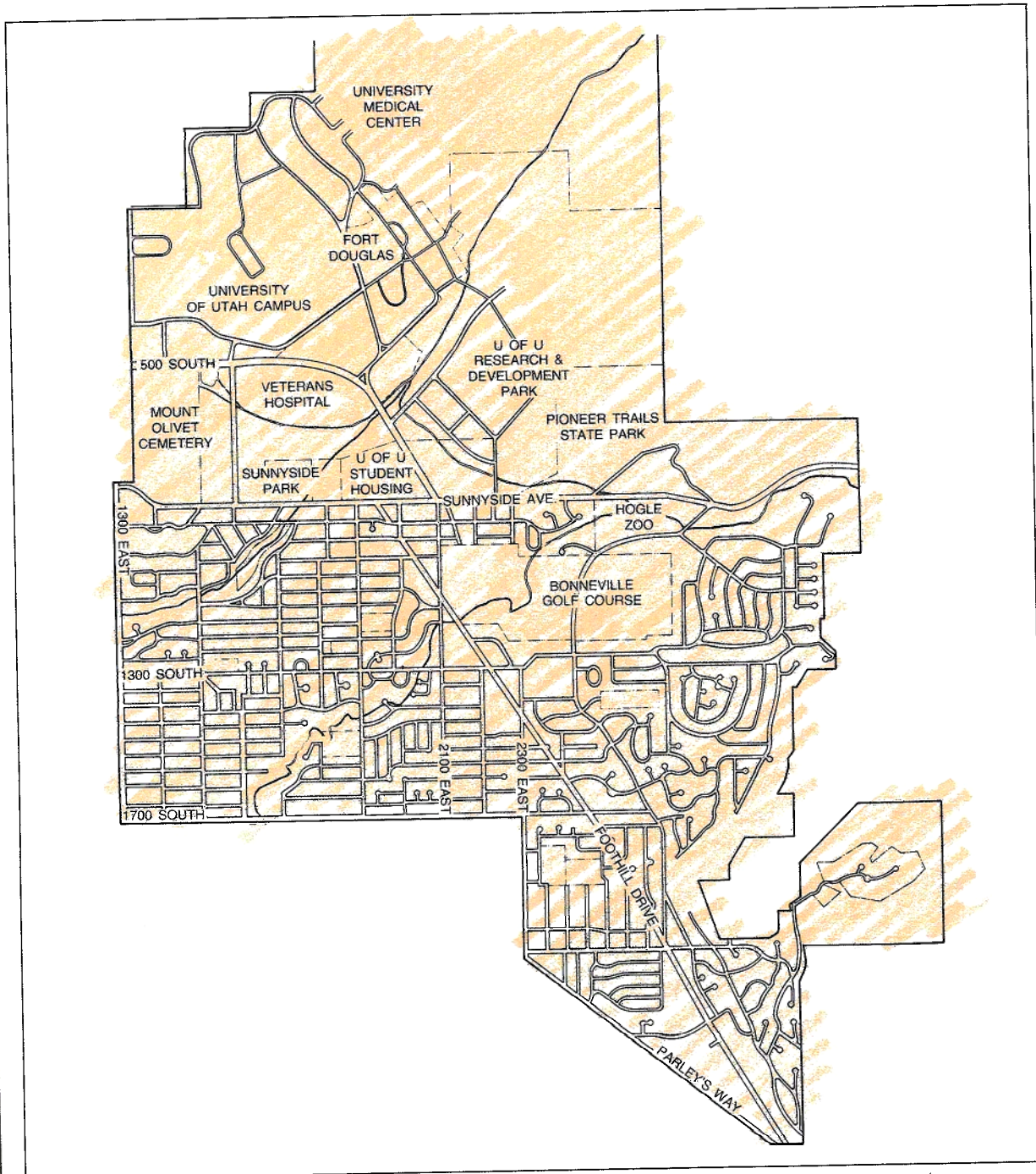
The East Bench Community Master Plan process was initiated with the organization of East Bench Master Plan Citizen Task Force Committees and development of the Citizen Goals, Objectives and Strategies Report completed in 1982. Planning Commission approval of the citizen goals document was followed by the Research Report, published in December 1983. Direction the Planning Commission

received from citizens of the community and analysis of community conditions and trends are the basis for master plan issues and recommendations. The master plan includes actions and strategies that respond to goals, objectives, and issues identified in preceding documents.

Completion of the East Bench Community Master Plan sets the stage for further master plan refinements. An "agent planner" will be assigned to the area to continually monitor and update the plan. Additional "plans" are an outgrowth of plan recommendations. They will take the form of redevelopment plans, target area plans or tactical neighborhood studies.

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Housing and Residential Land Use

Planning Goal*. *Maintain and enhance the community's quality housing and residential neighborhoods.*

Introduction

THE East Bench Community is known for its desirable residential neighborhoods and quality housing. Some of the finest homes in the Salt Lake Valley are located in this community. This chapter will recommend actions to maintain and enhance these desirable community characteristics.



Residential neighborhoods in the East Bench Community are some of the finest in the Salt Lake Valley.

*Planning goals were established during the citizen participation phase of the planning process.

Residential Land Use Policy

Residential land use policy proposed for the East Bench Community in this study reinforces the city's existing policy of maintaining established residential land use patterns and avoiding incompatible uses. Land use in the East Bench Community has remained relatively stable during the last decade. There is little opportunity or justification to alter established land use patterns. Conditions are generally very compatible.

Strategies for Maintaining and Improving Housing and Residential Land Use Patterns

Single-Family Dwellings and Duplexes

The predominance of good quality housing, attractive neighborhoods, restrictive zoning and the lack of vacant property indicate that major development or redevelopment in the established community is very unlikely. Infill development will be limited to a few vacant sites. Single-family homes and duplexes on these scattered lots will make up a large portion of new construction.

There are relatively few conflicts with land use patterns in the East Bench Community. Single-family neighborhoods are generally well buffered from larger apartments and nonresidential uses. The concern most often stated by East Bench residents, relates to illegal conversion of single-family homes into duplexes. These usually don't meet zoning and building codes. Although a large majority of the community is zoned to accommodate duplexes, approximately 90 percent of all structures in the community are single-family dwellings, and many lots in the "R-2" areas are not large enough to meet the minimum legal requirements for a two-unit dwelling.¹

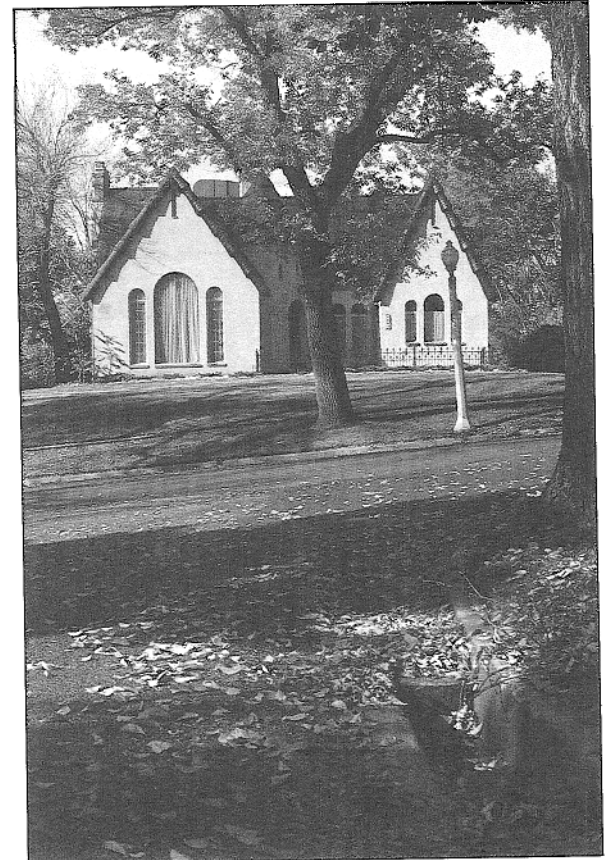
The two duplex related problems in the "R-2" Zone are:

- Conversion from a single-family home to duplex without permits and compliance with zoning and building codes;
- Inadequate lot area and open space requirements for duplexes within the present "R-2" zone.

Increasing costs of home ownership and recent economic problems are making the creation of a second unit more attractive and in many cases an economic necessity. Unfortunately, on the surface, the "R-2" zoning designation implies a right to have a two-unit dwelling.

¹Salt Lake City Land Use Inventory Report, Year End 1983.

Problems resulting from these conversions include traffic and street parking congestion, parking in front yard areas, substandard open space and play areas for children, and possible life safety problems associated with creating a second unit without permits and related inspections. The 6,000 square foot minimum lot area "R-2" zoning requirement is also a problem. It is difficult to provide the required four parking stalls in the rear yard of a typical 6,000 square foot lot. If parking can be provided, it often requires hardsurfacing the entire rear yard leaving no room for landscaped open space.



A typical home in the East Bench Community.

The following code problems are often observed in second units that have been created without permits:

- Electrical code violations;
- No separate heating systems for each unit (If original unit has a forced air heating system.);
- No one-hour fire safety wall separating the units;
- No smoke detectors;
- Inadequate ceiling height;
- Inadequate egress windows from basement rooms.

The city should consider the following steps to resolve these problems:

- Improve zoning and building code enforcement;
- Change "R-2" zoning to "R-1" in some areas;
- Increase minimum standards of the "R-2" zone to require larger lot area and more usable open space;
- Change the "R-2" zoning nomenclature to dispel the duplex impression.

Improved Enforcement. More effective enforcement could solve the problem of illegal duplexes. Because of funding priorities, however, zoning enforcement is limited to responding to complaints. This method identifies a very small percentage of the actual violations and makes it worth the risk to convert without permits. Effective zoning enforcement requires some form of systematic or regular inspection of problem areas in the city to find violations. This must be accompanied by an equitable method of property-owner notification and rapid follow-through legal action. Enforcement is especially important in areas within the East Bench where the violations are slowly creeping into existence. If not controlled, the problem may eventually affect the community's traditional residential qualities.

Change "R-2" Zoning to "R-1." Many areas of the East Bench Community that are presently zoned "R-2," consist primarily of single-family dwellings on lots that comply to all provisions of the "R-1" zoning district. Many of these areas are worthy of preservation as single-family dwelling neighborhoods. The city should consider requests for changing zoning from "R-2" to "R-1" in these areas subject to compliance with the following provisions:

- Strong property owner support;
- Predominant single-family dwelling make-up; and
- Minimum lot sizes of 7,000 square feet.

Increase Minimum Standards of the "R-2" Zone. The city should increase the minimum standards for duplexes in the "R-2" zoning district. The most important element to re-evaluate is minimum lot size. Lot size should be increased to 7,000 or 8,000 square feet for a duplex with

a minimum usable open space requirement of 600 square feet per unit in the rear yard. This would ensure sufficient open space in addition to driveway and parking areas. However, "R-2" zoning revisions will not change the tendency to convert homes to duplexes illegally. More stringent regulations may actually increase illegal conversions unless enforcement is also increased.

Change the "R-2" Zoning Nomenclature. "R-2" zoning is often misperceived by property owners and the real estate community. Many people are not aware that a second unit is permitted only after the property owner submits a site plan for approval demonstrating compliance with lot area, parking and other requirements. They apparently assume that "R-2" zoning guarantees the right to have a two-family dwelling without compliance to minimum standards.

The city should consider changing the "R-2" nomenclature as the means of resolving the perception problem. Perhaps an LD (low density) or similar less descriptive title will help resolve this problem. Rather than assuming that "R-2" means duplex, new nomenclature will result in inquiries to the Planning Department, and an improved understanding.

Rear Alleys in Residential Neighborhoods

The city encourages closure of unused alleys subject to all abutting property owners supporting the closure. Alleys have traditionally provided access to parking, garbage pickup and coal delivery and are very common in older areas of the city. However, many of these alley uses have been eliminated. Coal is no longer used for most home heating, and garbage pickup and parking are generally from the front street. Unused alleys become litter-strewn weed patches and are great hiding places for vandals, burglars and other criminals. They also present a fire hazard. The policy of encouraging closure of unused alleys should be continued in the East Bench Community.

Multiple-Family Dwellings

There are very few vacant sites zoned to accommodate multiple-family dwellings in the East Bench. Residential "R-5" zoning at the mouth of Emigration Canyon is the only sizable area where there is vacant property with higher density development potential, and steep terrain

will prohibit development in much of the undeveloped portions of this area.

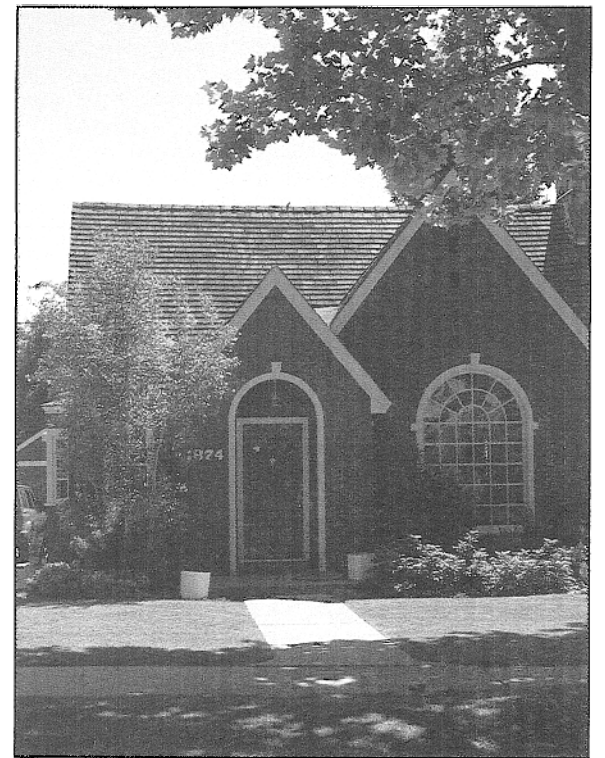
The East Bench Citizen Housing Committee generally supports multiple family developments where they won't harm surrounding neighborhoods, and city officials agree that the East Bench should provide a reasonable amount of such housing. Identifying specific sites in this long range plan, however, is difficult and unwise because it encourages speculation and creates unnecessary neighborhood concern and controversy. Conditions may change the suitability of specific sites, or other sites may become available to satisfy needs. Rather than identifying specific sites for higher density in this study, zoning change compatibility considerations outlined in Appendix I should be used to evaluate potential sites when the city receives requests for zoning change.

This approach should not be interpreted as a means of accommodating numerous multiple-family developments in East Bench. Zoning changes for multiple-family dwellings should be considered sparingly, and only to accommodate projects that community residents endorse as being in the community's best interest. The Planning Commission and the City Council should use these criteria to see that zoning changes and new developments are in the best interest of the city and community.

Residential "R-5" zoning at the intersection of Wasatch and Crestview Drives is a concern of neighboring residents. This "R-5" zoning, consisting of approximately 3 1/3 acres, was established years ago to accommodate the existing Mountain Fuel Supply facility. At that time, "R-5" zoning was necessary for a public utility facility. The present concern is in regards to the density potential if the Mountain Fuel facility is ever abandoned. "R-5" zoning permits multiple family dwellings with a maximum density of 50 dwelling units per acre and 45 feet maximum height; much greater than density and height of the surrounding residential neighborhood. A more restrictive residential zone limiting density and scale to that of the surrounding area should be considered. Expansion of the neighboring "R-2A" zone may be a reasonable solution.

Public Assisted Housing

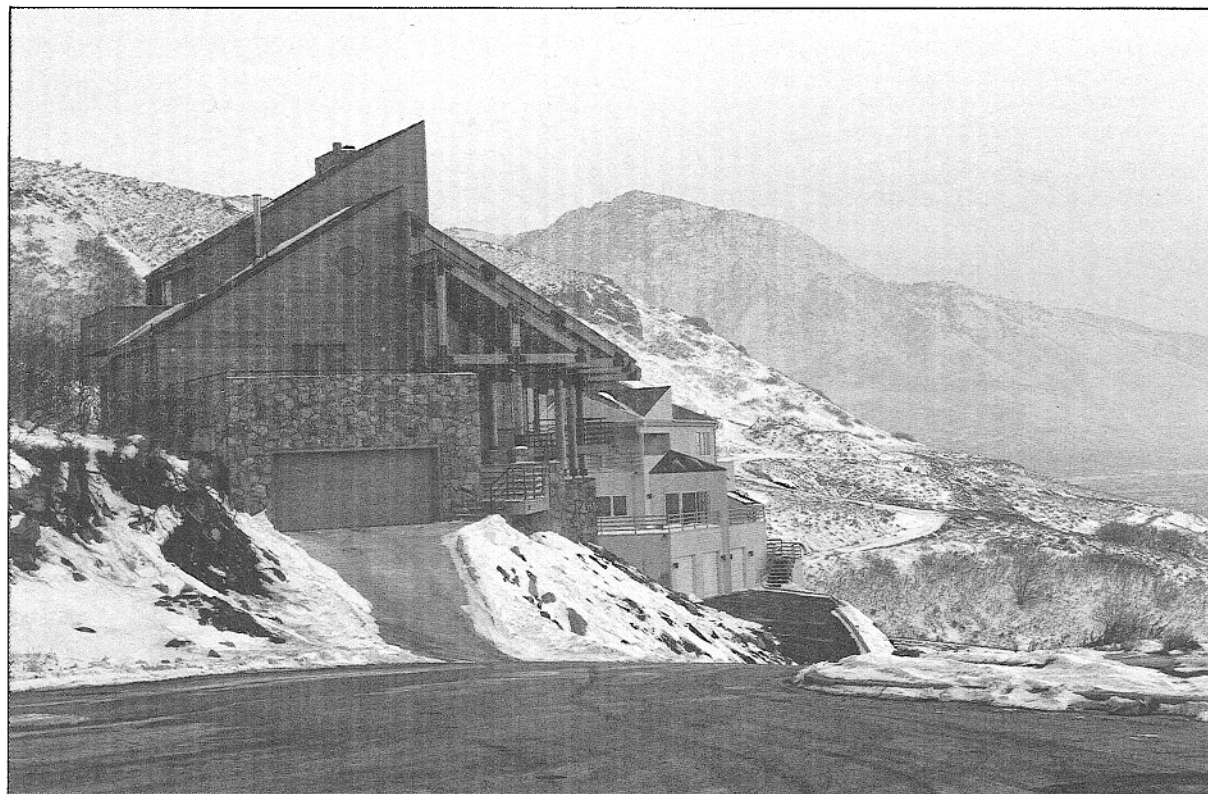
High land costs and the lack of property zoned for multiple-family dwellings have deterred the development of public housing in the East Bench. There is both citizen support and need for such housing. Elderly housing, for



About 90 percent of all structures in the East Bench Community are single-family dwellings.

instance, would provide an alternative to the elderly resident who is forced to leave the East Bench area to seek assisted housing. An elderly complex in the community would enable elderly persons to remain near friends and familiar surroundings.

As with other multiple-family dwellings, however, potential sites for elderly housing are very limited. A further limiting factor is the elderly's need to be within walking distance of essential retail services. The Salt Lake City Housing Authority should seek ways to provide assisted housing in the East Bench Community. Perhaps redevelopment of a business property along 2100 South between 2100 East and 2300 East Streets would be appropriate.



New residential development in the foothills should be restricted to low density.

Annexation and Foothill Development

Planning Goal. *Preserve the present unique scenic beauty, environmental habitat, recreational use, and accessibility of the Wasatch foothills, and ensure city control over foothill development in the East Bench Community.*

Introduction

THIS section analyzes the development potential of privately-owned foothill properties east of existing development and includes recommendations for appropriate land uses for publicly-owned mountainous land. There are approximately 1,400 acres of undeveloped, privately-owned property between the fringe of existing development and Wasatch National Forest boundaries.

One of the unique natural features of Salt Lake City is its setting against the Wasatch Mountains. Continued development of the open foothill slopes will result in the loss of an important non-renewable aesthetic and recreational resource, and damage to the city's attractive natural setting. Perceived public sentiment is to restrict continued development to extremely low density that does not impair the natural qualities of these areas.

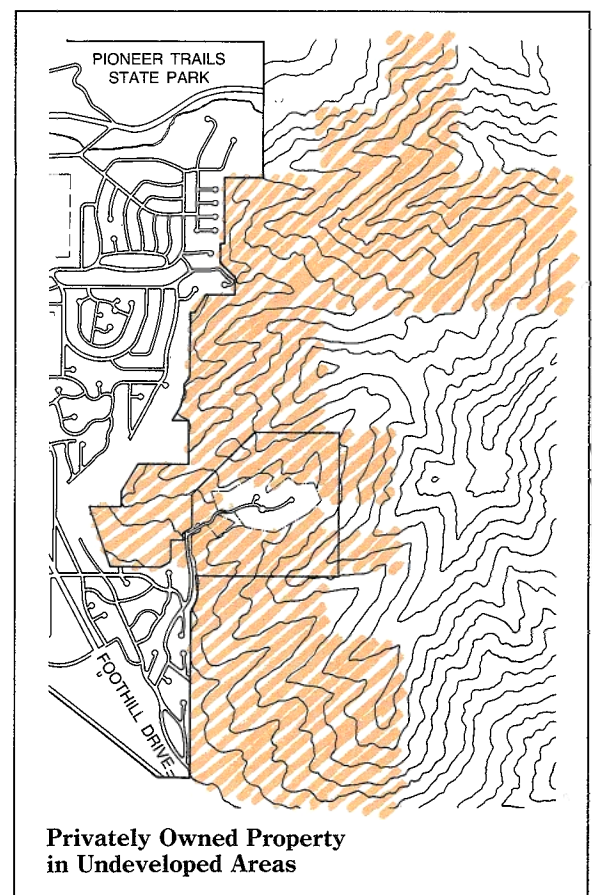
Annexation Policy

Most undeveloped foothill property east of the city is under the jurisdiction of Salt Lake County. Development under county jurisdiction is possible but not likely. Salt Lake City is the only government jurisdiction with the ability to provide urban services, and annexation is a vital first step in the development process.

In 1979 the Utah State Legislature established a state policy on annexation (10-2-401 UCA). This law sets forth annexation standards and procedures and grants municipalities a limited form of extraterritorial jurisdiction

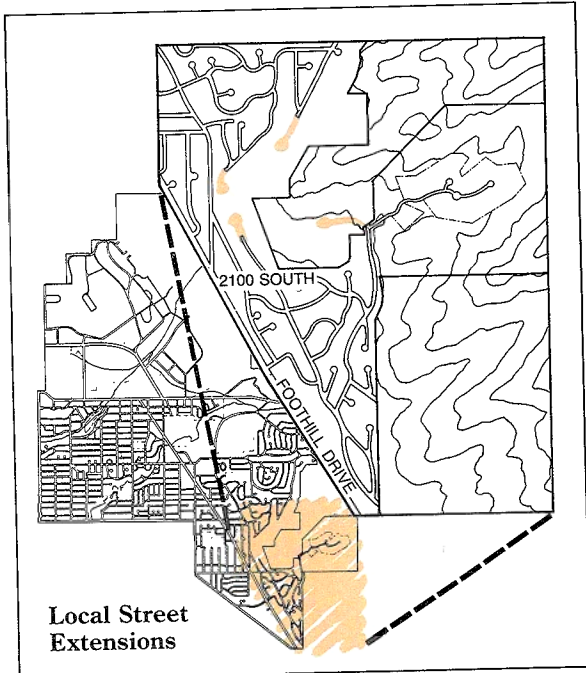
on new urban developments* within one-half mile of their boundaries if the municipality has identified the area for municipal expansion in an Annexation Policy Declaration. To maintain control over foothill development, the city should:

- Amend its Annexation Policy Declaration to encompass the privately-owned East Bench foothills as the means of having control over future development proposals.
- Restrict urban development beyond the one-half-mile area, to encompass all of the privately-owned foothill property. This could be accomplished through an interlocal agreement, under the State Interlocal Cooperation Act.



*Urban development is defined as a housing subdivision involving more than 15 residential units averaging less than one acre per unit or a commercial development for which cost projections exceed \$750,000.

- Seek an official agreement of resolution with the county to ensure that smaller residential developments will also be referred to the city for annexation and development approval. Annexation should even be required for a single-family home. The county should not issue any building permits in this area. The city should refuse to provide water or sewer services to accommodate development of property outside city boundaries.



Areas of Potential Development

Slope is one of the most important factors in determining development potential. From a geologic standpoint, 40 percent slope is the maximum that should accommodate development. Although there may be engineering solutions for building on slopes in excess of 40 percent, other factors make construction impractical. Factors such as adapting dwellings to the site, access to parking from the street, grading transition between properties, and providing usable outdoor living space are all difficult on steeper slopes.

The figure on this page identifies three general areas where slopes less than 40 percent exist. They are:

- Portions of Spring Canyon;
- The south facing slope west of the city water tanks;
- The area east of the Benchmark Subdivision.

Even these areas with less than 40 percent slope may not be suitable for development due to potential soil and geologic problems (see the table below). Geologic conditions are mapped and discussed in detail in the Research Report. These constraints must be investigated further on a site-by-site basis before development potential can be conclusively determined. A more detailed geologic analysis may also identify other development constraints.

There are a few small areas within present city boundaries that will eventually be developed. Devonshire Drive has recently been extended to accommodate Devonshire Place, an eleven-lot single-family dwelling subdivision. The cul-de-sac design at the end of this subdivision will preclude future extensions. Scenic Drive and Lakeline Drive will likely be extended short distances to accommodate a few more homes (see the figure above). At one time, Devonshire Drive and Lakeline Drive were proposed to connect, as were Scenic Drive and Mohawk Way. Because of traffic concerns, extension of these streets has been an issue of much debate in recent years. However, most neighboring residents agree with the Planning Division that their connection must not be permitted and that a cul-de-sac design is the best solution. The Site Development Ordinance also imposes problems for these connections because of steep slopes and other geologic concerns. These streets should be formally terminated using a permanent cul-de-sac design.

Development Constraint Matrix for Properties with Development Potential

	Spring Canyon	West of Watertanks North of 2100 South	East of Benchmark Subdivision
Soils susceptible to slippage	■		■
Soil shrink-swell potential	■	■	■
Landslide or mud flow potential	■	■	■
Documented faults	■	■	■
Slopes near 40 percent	■	■	■

Source: U. S. Geological Survey

Strategies for Properties With Development Potential

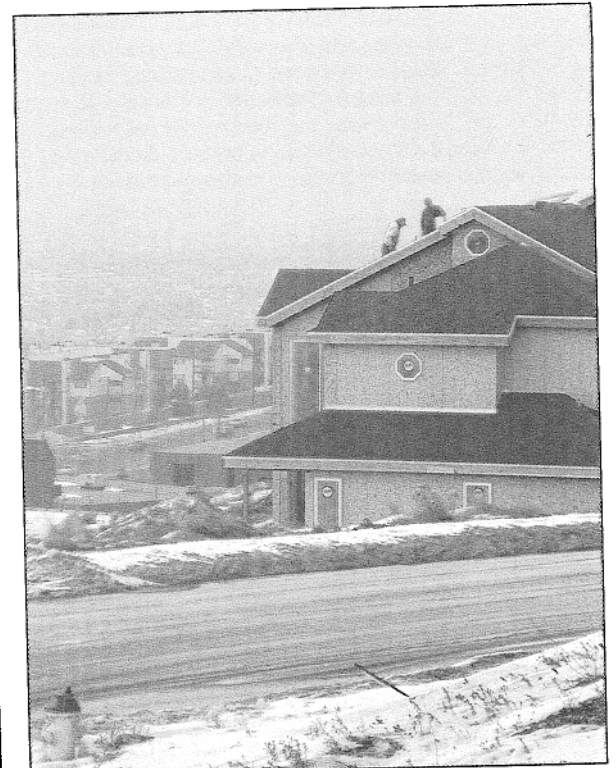
Even though development potential has not been conclusively determined, the city should plan to either eventually accommodate development, expand regulations to encompass aesthetic considerations as the means of precluding development, or acquire these properties for public open space. If property owners can document compliance with the site development and other applicable city ordinances, the community and city should expect to accommodate development proposals.

Residents participating in the planning process express opposition to any development of Spring Canyon and areas east of Benchmark. They believe that these properties are essential to the aesthetic qualities of the foothills and should be retained as part of the city's natural, undeveloped mountainous backdrop; even if geologic constraints can be satisfied. Residents support public acquisition of these areas, and suggest creating an East Bench Community Special Assessment District to acquire these areas if other funds are not available.

If any foothill properties do develop, the city should either acquire title or obtain open space and vegetation easements over portions of the property exceeding 40 percent slope, and other undevelopable areas, such as ravines. In some cases, only a small portion of a property may be developable. Accommodating development within developable portions of a property will enable the city to control future development of the remainder of the property. Property owners would have the option of either granting preservation easements to the city or donating undevelopable portions of their property to the city to take advantage of tax incentives. The city should continue to pursue ordinances requiring park space dedication or funds in lieu of park space dedication as a requirement for all subdivision approvals.

The city should also require that money obtained from the sale of any city-owned foothill property go into a fund to acquire other foothill lands.*

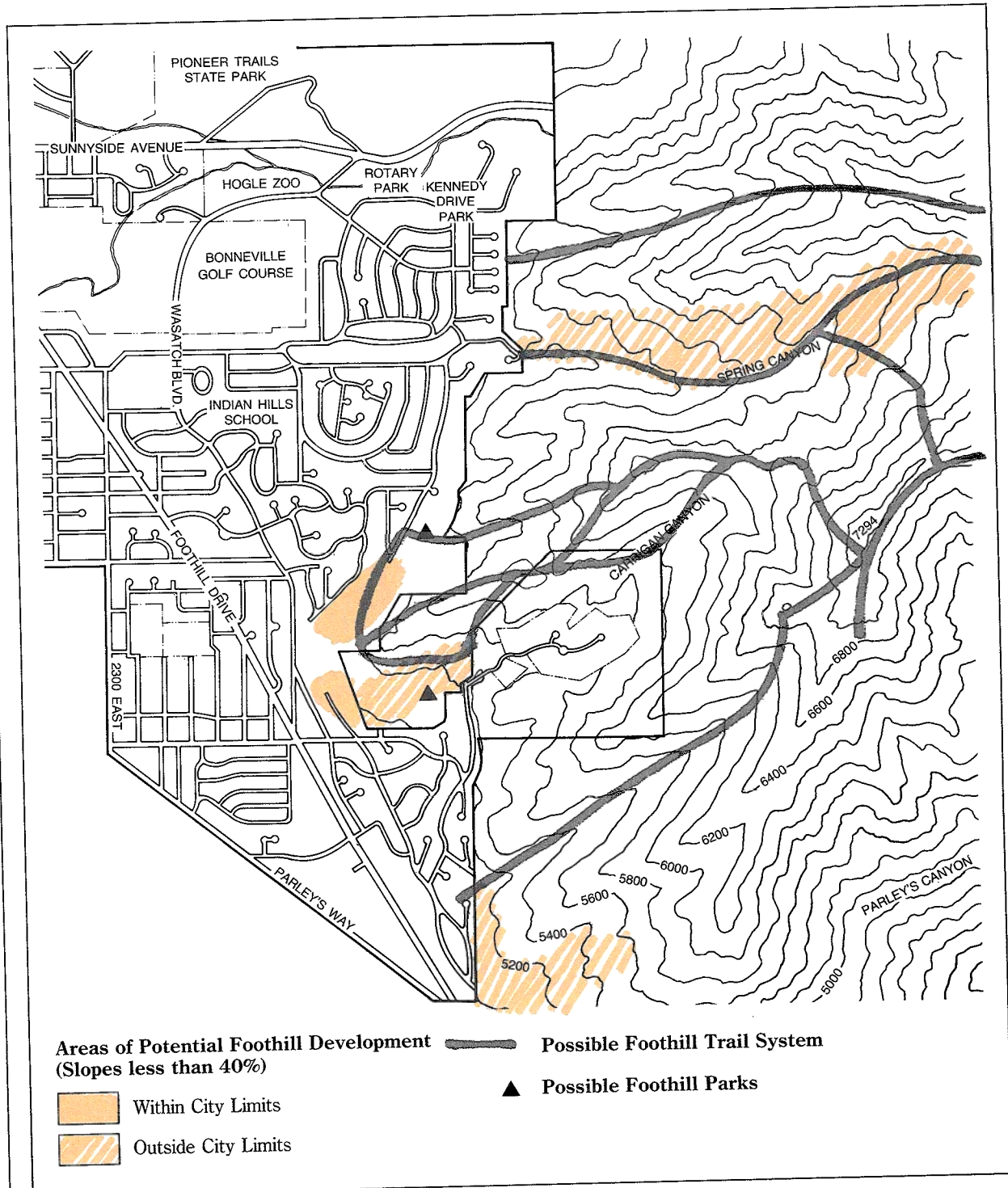
*The sale of any city-owned foothill land is generally discouraged. Occasionally, however, some properties are determined to have no value to the city for any use. The sale of these surplus properties is often in the city's best interest. The statement above should not be interpreted as advocating the sale of city-owned property, but to ensure that revenue from property sales is used to acquire other foothill properties that are a more valuable city resource.



Restricting new home development to areas that are geologically sound is in the best interest of the city and its residents.

Recommended Densities for Foothill Development. The three areas that have development potential should be limited to a maximum density of 4 units per gross acre or less as physical conditions dictate. Single-family homes or planned-unit developments with single-family home densities are recommended. This low density recommendation is based on geologic constraints, limited and narrow access roads, and public interest in protecting against larger structures that may interfere with views of the city's natural mountainous backdrop.

Limiting development to areas that are geologically sound, and restricting development to low density is clearly in the best interest of the city and its residents.



Development Scars. Some areas of recent East Bench subdivision development have numerous cuts and fills created during construction of roads and lot grading. Erosion control provisions of the city's Site Development Ordinance require revegetation of all cuts and fills created in the development process. This requirement should be expanded to include aesthetic as well as erosion considerations. Development scars created by all development should be promptly revegetated. The city should require that all subdivision and development plans include revegetation plans even if aesthetic issues are the only concern.

Foothills are also scarred by off-road vehicles, school letters, etc. The Urban Design section addresses these concerns.

Recommendations for Areas Considered Undevelopable

Consistent with existing city policy, areas that are considered undevelopable from a geologic standpoint should be preserved as natural foothill open space. The city should work with the state and federal governments to acquire privately-owned property for public open space and recreation purposes.

If public acquisition is not possible, then having the land under city control through annexation and foothill zoning is next best. The city's "P-1" Foothill Protection Zone would be an appropriate zone for such areas. The "P-1" requirement of one dwelling unit for each 16 acres is based upon the average density that steep mountainous terrain may support without jeopardizing its fragile geologic conditions and aesthetic qualities. This approach will provide some development potential for property owners, but includes safeguards to ensure that development will not damage the natural character of surrounding mountainous areas.

The following actions are also recommended to help protect undevelopable areas:

- Owners of foothill property should deed all undevelopable property to the city as a condition of approving the subdivision of developable portions of their property. Considerable tax incentives exist for such property donations.
- Public utility systems should be designed to accommodate approved subdivisions only. The city should not approve large lines designed to extend into undevelopable areas.
- Streets in foothill subdivisions should be designed to terminate in the subdivision rather than stubbed for extension into undevelopable areas.
- Trail head access, including areas for public parking, should be provided in appropriate areas to facilitate public access to foothill trails.

Publicly-Owned Mountainous Properties

Vast acreage of National Forest property lies to the east of the city. The forest property is typically steep mountainous terrain accessible only by foot trails. The mountainous backdrop is essential to the city's character and must be preserved. The city must voice a strong policy that all public lands above present development lines along the Wasatch Front remain in public ownership, be undeveloped, and have public pedestrian access. The city should instigate an interlocal agreement among appropriate federal, state, and local government agencies to ensure that Salt Lake City has the first right to acquire any publicly-owned property that comes up for sale.

Recreation Proposals for the Foothills

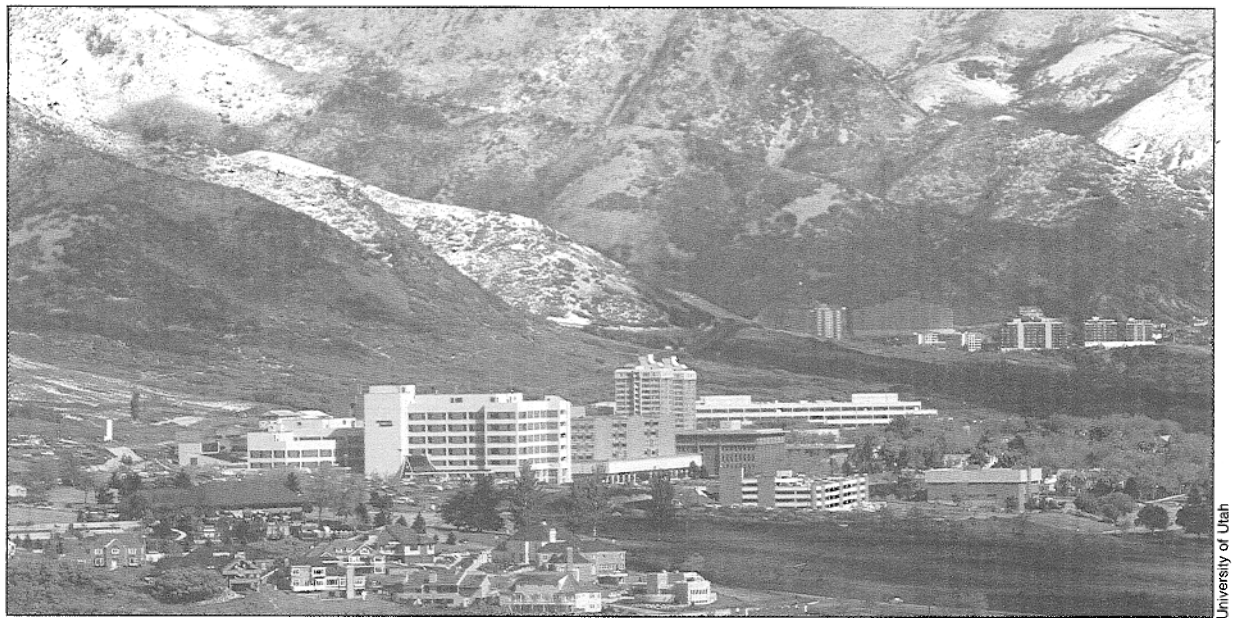
Trails System

A comprehensive trail network penetrating the Wasatch foothills would be a very desirable amenity for city residents. The figure to the left identifies a possible trail system for the East Bench foothills including the location of two small parks that would provide trail head access.

The trails identified generally follow ridges and canyon bottoms. Some are established and others are not. Some of the trails identified may not be incorporated into the trails system, but access to all trail heads should be preserved until the city completes a city-wide Open Space Plan.

A Trails Element should be included in the Open Space Plan. The Open Space Plan will encompass the entire city including foothill areas in the East Bench, Avenues, and Capitol Hill Communities. The Trails Element should include the following:

- Inventory of established trails including function and condition;
- Indication of which trails need to be preserved;
- Identification of desirable new trails;
- Policy and strategies for trail maintenance;
- Documentation of public/private land;
- Commitment to obtain easements over private land;
- Policy regarding appropriate use of trails;



The natural mountain backdrop to the east of the city is essential to the city's character and must be preserved.

- Involvement of Salt Lake County, the U.S. Forest Service, and other government jurisdictions to ensure that the trails system will be acknowledged and protected by all entities; and
- Policy requiring necessary trail easements in all new subdivisions.

Foothill Parks

Citizens participating in the planning process endorse the development of parks along the foothills that would provide view vistas and access to foothill trails. High property values and limited suitable property will likely prohibit development of numerous trailhead parks, but the city should strive to develop the two proposed. Since there is a need for additional neighborhood-oriented park facilities in all East Bench neighborhoods, parks along the foothills should be designed as multi-purpose facilities intended to provide the following:

- Parking and pedestrian access to foothill trails;
- A public view area where panoramic views of the city can be enjoyed; and
- A neighborhood recreation facility with a play field, picnic tables, playground equipment, etc. to help meet recreation needs for the immediate neighborhood.

The figure on page 4 identifies the two possible locations for foothill parks. Preference is given to the area west of the city water tanks. There is a fairly large area from which a suitable park site could be selected, and this general area will probably develop with homes in the future. A park could be incorporated into the design of a new subdivision. Residents hope that the city will obtain at least a two-acre facility that would include a sports play field, in addition to trailhead access, parking, and other amenities. A play field will be subject to selecting a site with minimal slopes.

The second site is along the east side of Devonshire Drive. Because of steep terrain and costly acquisition of established residential lots, this area is not as promising as the other.

Because of the sloping topography, traditional park design may not be possible at the proposed foothill sites. However, this should not be a deterrent. A unique design on the natural sloping terrain is anticipated and desired.

Mountain Recreation Area

A "Mountain Recreation Area" designation should be established for all publicly-owned property on the Wasatch Front between Emigration and Parley's Canyons. This designation will acknowledge and reinforce the policy of preserving public lands along the Wasatch Front for public recreation use. The city should take the lead in initiating communication between appropriate county, state and federal agencies to create the "recreation area" designation. The city must acquire and encourage dedication of property for this purpose. Consideration of a special assessment district may be justified because of the strong public support for preservation of these lands. Lack of action may result in the eventual development of some of these fragile mountainous properties.

Wildlife Preservation

East Bench foothills provide an important habitat for numerous wildlife species and a critical winter habitat for mule deer. Recent hard winters have forced deer into existing subdivisions to browse on trees, shrubs, and other vegetation around homes. In some areas damage to ornamental vegetation is extensive.

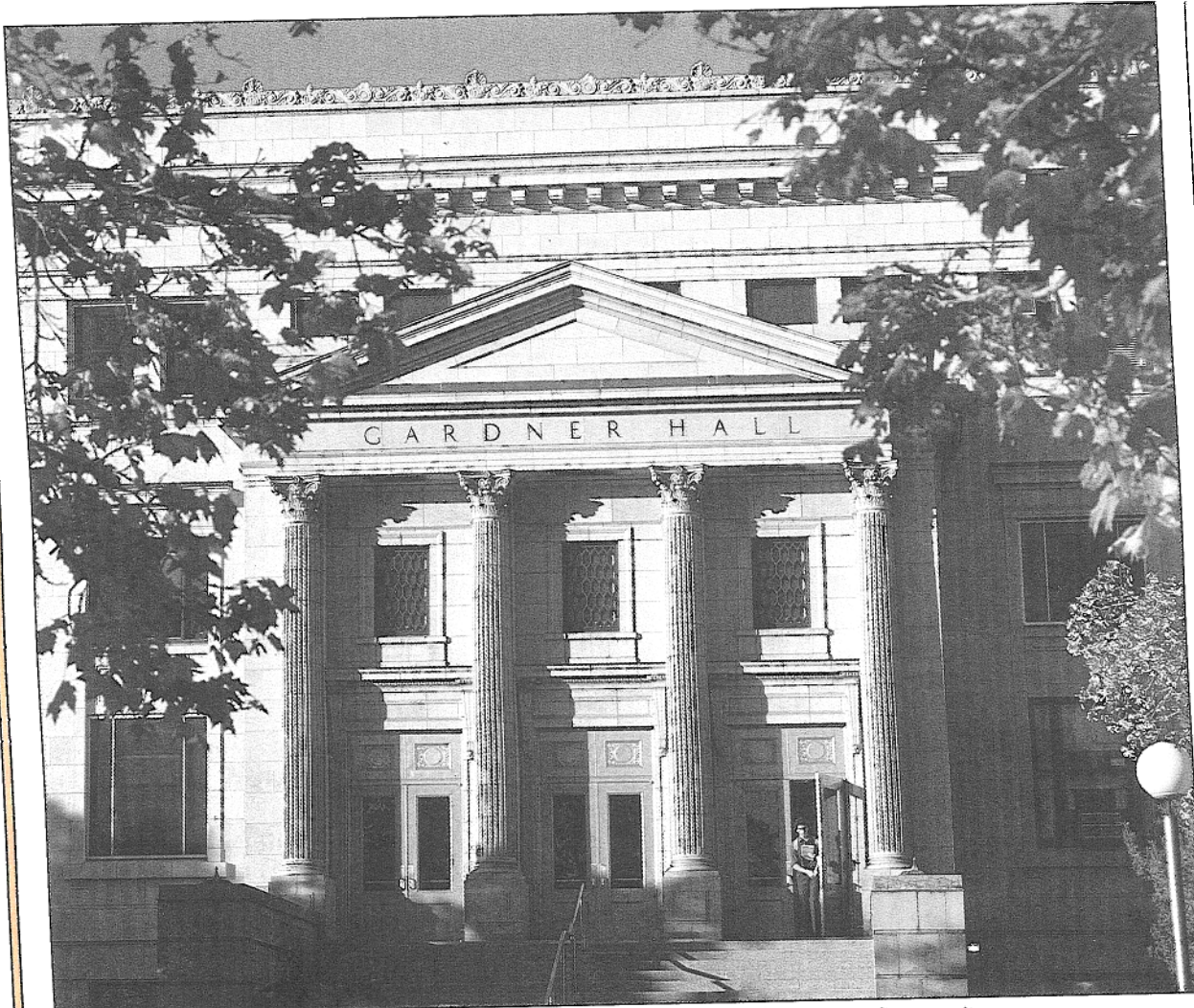
Development may continue regardless of the effect on wildlife, and owners of foothill properties will continually have problems with deer during harsh winters. The following steps are recommended as a means of improving compatibility between deer herds and foothill developments.

- Provide a deer feeding and grazing area as part of each subdivision.
- Cluster homes to preserve larger open areas.
- Plant types of vegetation that can be protected from deer by wrapping with burlap during winter months.
- Plant vegetation for deer grazing in undeveloped foothill areas.
- Fence areas of critical concern to keep deer out.

The city and state should work with property owners to accomplish these tasks. City ordinances should be modified to require feeding areas. Developers should design projects with habitat preservation in mind and fence critical areas, such as areas containing expensive landscaping, to keep deer out. The state should continue to revegetate foothill areas and assist all private efforts to protect wildlife habitat.



A critical winter habitat for mule deer exists in the East Bench foothills.



The University of Utah and other large public land uses are located in the East Bench Community.

Non-Residential Land Use

Planning Goal. Provide for needed community services while minimizing the impact of non-residential land uses on the residential community.

Introduction

THIS section identifies actions and strategies for maintaining and improving East Bench land use patterns. It discusses how to provide adequate area for land uses necessary to support the residential community, and how to mitigate impacts of continued institutional growth around the University of Utah.

Business/Commercial Uses

Approximately two percent of total community acreage is occupied by business uses. Neighborhood Business "B-3" is the only zoning district in the East Bench Community that permits business or commercial uses, and with only one or two exceptions all "B-3" properties in the East Bench Community are developed. The "B-3" zone permits residential, office and retail uses. Wholesale, warehouse and other general commercial uses are not

Land Use Inventory

Use Type	Acres	Percent of Total
Single-Family	1,217.41	23.39
Duplex	131.45	2.53
Multiple-Family	98.96	1.90
General Commercial	44.68	.86
Service Commercial	52.87	1.02
Light Industry	5.80	.11
Institutional	903.46	17.36
Parks & Recreation	589.49	11.33
Utilities	5.63	.11
Transportation	616.37	11.84
Vacant Floor Area	5.51	.11
Vacant Land	1,508.83	28.99
Water Area	2.47	.05
Under Construction	21.31	.41
TOTAL*	5,204.24	100.00

Source: Salt Lake City Planning Commission Land Use Records.
*Note: Including Census Tract 14.

permitted. Most "B-3" properties are occupied by retail businesses. A few sites are occupied by offices and apartments.

Many residents desire additional services in the community. A hardware store and medical offices are among the uses most commonly mentioned. Since nearly all properties zoned for business are occupied, most new business development will require either redevelopment of existing sites or a change of zoning to accommodate business activities in locations previously zoned for residential use.

Redevelopment or at least renovation of some business properties in the East Bench area is quite likely and is considered the most desirable approach to meeting future business needs in the community. Two-level buildings, structured parking, and other provisions of the "B-3" zone provide considerably more development potential than present use levels at many sites.

Major zoning changes in the East Bench Community are neither anticipated nor encouraged. Changes involving expansion of existing business sites in response to documented needs should be reviewed cautiously and approved sparingly. The city should not approve any zoning change that will result in the removal of homes. The community is so completely developed that a change of zoning in most areas would negatively impact surrounding residential properties. Efforts to change residential zoning should be limited, and considerations should include impacts on the immediate neighborhood along with merits of the proposed change. More efficient use of existing business properties is the preferred approach to meet future business needs. More specific zoning compatibility considerations are outlined in Appendix I.

Expansion of non-conforming businesses is a related concern. The non-conforming use ordinance states that expansion of non-conforming uses is not permitted. The Board of Adjustment should reinforce this ordinance by carefully scrutinizing requests for expansion. In most cases, such expansions would be undesirable to surrounding property owners.

Public/Semi-Public Land Uses

The East Bench Community contains some of the city's largest public/semi-public land uses including the University of Utah, Research Park, Fort Douglas, the Veteran's Hospital, and a National Guard facility. Collectively they significantly influence the character of the community. This section evaluates traffic and land use implications associated with these major facilities and recommends actions to improve the relationship between these facilities and the community.*

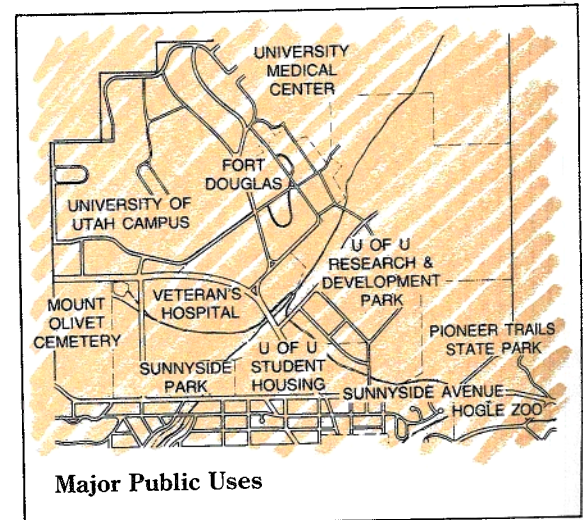
Traffic

Traffic is one of the most significant impacts associated with the public institutions in the East Bench. The University alone has a student and employee population comparable to the total residential population of the

community. As the public institutions grow, traffic will continue to increase.

The Transportation and Circulation chapter of this report identifies strategies to cope with the problems of increasing traffic. Not all of the traffic in the East Bench Community is generated by the University of Utah/Research Park complex. The Central Business District generates much of the traffic coming through the community. However, increasing student and employment levels at the University, Research Park, and neighboring public institutions, contribute significantly to increasing levels of traffic congestion. Unfortunately, traffic accessing these facilities through the East Bench Community is traveling through the city's most desirable residential neighborhoods. The need to move automobiles through the northeast quadrant of the city is in direct conflict with the city's policies of preserving the quality of its residential neighborhoods. The city must take an active role in protecting the quality of East Bench neighborhoods rather than waiting for traffic conditions to get so bad that there are no solutions other than major street improvements. The city should initiate the following steps to deal with traffic generated by the University of Utah/Research Park complex.

- Maintain coordination committees with all the major institutions in the University area to stay abreast of their plans and improvement proposals.
- Establish a city policy of not accepting any state proposal to acquire additional rights-of-way to widen 1300 East, Foothill Drive, or any other street in the East Bench Community.
- Limit institutional growth in the University of Utah/Research Park area to the capacity of 1300 East and Foothill Drive and other major streets serving these institutions. The city should conduct a study to determine maximum acceptable traffic volumes on 1300 East, Foothill Drive, and other affected streets. The study should take into account increased traffic volumes that could be accommodated through potential improvements within the existing rights-of-way and the point at which through-traffic will begin to filter through residential streets. The city should then instigate an interlocal agreement with officials of the University, Research Park, and other institutions in the area, outlining a policy of limiting growth to the predetermined capacity of the major streets serving these facilities. These institutions must also incorporate provisions for resolving traffic problems in their long range planning. They must plan for strategies such as a satellite campus in another area of the valley, a University sponsored park and ride program, or state involvement in other forms of mass transit that will reduce traffic volumes in the northeast quadrant of the city.
- Explore options such as denying water and sewer service to these institutions if they refuse to cooperate with the city in its efforts to seek alternatives to the private automobile and to protect its residential neighborhoods from negative impacts associated with commuter traffic.
- Take an aggressive position in the pursuit of transportation alternatives that will reduce the volume of commuter traffic traveling through the city's residential neighborhoods.



Housing

The increasing employee and student population adds to the already high demand and relatively high cost of housing in the East Bench. This high demand is an economic benefit to existing homeowners and the community in general. High property values provide incentives for property maintenance and generally attract occupants that are able to provide necessary maintenance. High housing demand, however, has resulted in illegal apartment conversions and associated congestion that is creating detrimental effects in some East Bench neighborhoods. The University of Utah must continue to provide on-campus student housing. Both dormitory and married apartment units have been very successful. Student housing greatly relieves housing pressures in nearby neighborhoods.

*These facilities are discussed in more detail in the Research Report.

Retail Services

As the public employee/student population continues to grow, the need for services such as restaurants, retail shopping and lodging will also increase. East Bench citizens addressed this issue during citizen task force meetings and generally agreed that the major institutions must provide basic on-site services for employees such as a cafeteria or credit union as a means of reducing traffic and demand for additional retail property in surrounding residential neighborhoods. However, institutional properties must maintain an institutional character to minimize adverse impacts on residential neighbors. Retail employee services must be incorporated into institutional facilities so that there is no exterior evidence of such use and no advertising to attract the general public. The city can go a long way toward encouraging the on-site uses by taking a strong stand on not expanding business zoning within the community.

Historic Preservation

The city must take strong action whenever necessary to preserve the integrity of significant public facilities. Facilities such as Fort Douglas are an inherent part of the city's heritage and must be preserved. The Salt Lake City

Planning Commission and Historic Landmark Committee regulate construction, demolition, and alteration of all designated historic buildings and sites. Even though Fort Douglas is on the Salt Lake City Historic Register, we could have difficulty saving it if the Federal Government decided to close it down. It's unlikely that a major landmark like Fort Douglas would ever be eliminated, but smaller less prominent sites could conceivably be lost if the city does not voice strong objections.

Energy

Land use issues relating to energy evolve around traffic and circulation, subdivision layout, building location and design, solar access, and adaptation of solar technology. Since the East Bench Community is basically developed, there are not as many opportunities for energy conservation as in areas where there is more significant development potential. Nevertheless, the city can play one or more of the following roles to affect energy use within the community.

- Advertise and support energy conservation techniques such as car-pooling, home insulation, site design, etc.

- Help remove barriers to wise energy use by proposing bicycle paths and by modifying building regulations which unnecessarily constrain solar energy or earth structures, etc.
- Require energy efficiency in new and rehabilitated housing which employs public funds.
- Work with residents interested in constructing greenhouses, solar panels, and other energy efficiency systems. This is especially important when remodeling existing dwellings that are already built to minimum site specifications. The city needs to help citizens find ways to retrofit their properties without sacrificing other equally important provisions of the zoning regulations.

Most lots along the East Bench foothills have adequate solar access, but most are not being designed to take advantage of it. There is also ample opportunity for retrofitting existing homes, but very few solar improvements are occurring. Zoning requirements are generally not obstacles for solar retrofitting. The Salt Lake City Board of Adjustment looks favorably toward solar energy factors when considering requests for variance from city zoning ordinances.



Thirteenth East is a popular route for downtown commuters and University of Utah students, but traffic flow improvements should be sensitive to the residential character of the street.

Traffic and Circulation

Planning Goal. *Maintain an efficient circulation system that minimizes traffic volumes on local streets.*

Introduction

THIS section analyzes existing and anticipated traffic and circulation conditions on East Bench Community streets, and recommends actions to improve the efficiency and safety of all modes of circulation in the community.

Planning Issues

Proximity to downtown Salt Lake City, the University of Utah, and other public institutions has resulted in increasing volumes of traffic on East Bench Community streets in recent years. Residential development in Emigration Canyon and continued development at Research Park, along with increasing enrollment and employment at the University of Utah and other institutions, will increase traffic pressures further. Completion of the I-215 Belt Route will provide alternative routes from the southeastern area of the valley into downtown. However, traffic on Foothill Drive and other streets in the East Bench Community will continue to increase.

City policy regarding traffic generated by the major institutions in the University of Utah/Research Park area is outlined on page 6. This policy calls for an eventual ceiling on growth in this area that is based on a predetermined capacity of arterial streets such as Foothill Drive and 1300 East. This section identifies numerous improvements that can be made to these streets to improve traffic flow. However, these improvements should be limited to existing rights-of-way. They must not include acquisition of additional right-of-way for additional lanes and increased traffic volumes. These streets extend through some of the city's most desirable residential neighborhoods, and a major planning goal is to preserve the quality of these neighborhoods.

In addition to providing access to the University area, streets in the East Bench Community are utilized for commuting into the Central Business District and other destinations. Therefore, we must expect to deal with increasing traffic pressures through the northeast quadrant of the city in future years regardless of the level of future development in the University area. State and city officials must determine how to handle the increasing commuter traffic and associated traffic congestion without adversely impacting residential neighborhoods. There is not a simple solution that solves all related problems. This is one of the city's most important transportation issues to be addressed in the next few years. The section "Proposed Local Streets" on page 10 elaborates further on recent proposals to address the problem.

Street Classification System

Salt Lake City categorizes streets into a functional classification system based upon the National Highway Functional Classification. Streets are categorized into one of four functional classes:

Major Arterial Streets: Streets and highways serving large volumes of traffic between major activity centers. Access to adjacent land is limited or completely prohibited. (The city's major arterial designation is synonymous with the principal arterial designation used by the Utah State Department of Transportation.)

Minor Arterial Streets: Streets which interconnect and augment the major arterial streets and provide service for trips of moderate length with less travel mobility and with more emphasis on land access than major arterials. These streets provide the circulation between communities and activity centers but ideally should not penetrate identifiable neighborhoods.

Collector Streets. Streets which provide access to neighborhoods and collect traffic from local streets and channel it into the arterial systems. Collector streets provide both land access and local traffic movements within residential neighborhoods, commercial areas, and industrial areas.

Local Streets. Streets which primarily provide direct access to abutting land and to higher street systems. Local streets offer the lowest level of mobility. Service to

through-traffic should be discouraged.

Classifying streets in this manner aids in the management and design of the transportation system. Land use and circulation decisions must be examined comprehensively to assure a compatible relationship. The street classification system responds to long-range community land use objectives and provides the mechanics for improved traffic circulation.

Transportation System Management (TSM)

The City Public Works Department prepared a Capital Improvement Street Needs Study in November 1982 that identifies street improvement needs, proposed improvement schedules, and cost estimates. The study recommends improvements at numerous intersections in the East Bench Community as part of the Transportation System Management (TSM) Program (see table below). The study recommends that because TSM projects yield great capacity and safety benefits they be given top priority during the first phase of a recommended five phase, twenty-year improvement program. Recommended street improvements other than TSM intersection improvements are identified in this study's Public Facilities chapter.

Foothill Drive and 1300 East Streets are state highways. The city provides input and encourages the state to make modifications or improvements to these streets when necessary, but the responsibility for improvements, signalization, striping and street signage belongs to the state. Therefore, TSM type improvement proposals are only provided for these streets where they intersect with city streets.

Transportation System Management (TSM) Improvements

Intersection	TSM Improvement Type*	Cost Estimate
1700 South - 1300 East	3	\$30,000
Uintah School Turnout	2	15,000
1300 South - Foothill	3-4	90,000
2100 South - 2300 East	4	25,000
Guardsman - Sunnyside	3	25,000
2300 East - Foothill	1-2	unknown
Sunnyside - Wasatch	5	6,000
University - 400 South	1	12,500
University - 200 South	4	3,600

*TSM Improvement Types (1982)

1. Signal improvements.
2. Alignment change.
3. Left turn lane.
4. Channelize islands.
5. Guardrail.

Major Arterial Street System

Analysis of the community, and projected traffic volumes, confirms that the only realistic approach to moving more automobiles through the East Bench Community is to improve the existing arterial streets such as Foothill Drive and 1300 East. However, improvements on these streets must stop short of private property acquisition for street widening. The city must insist on alternatives that will preclude increasing traffic volumes rather than to widen streets that bisect residential neighborhoods.

Source: Salt Lake City Capital Improvements Street Needs Study, 1982.

Foothill Drive

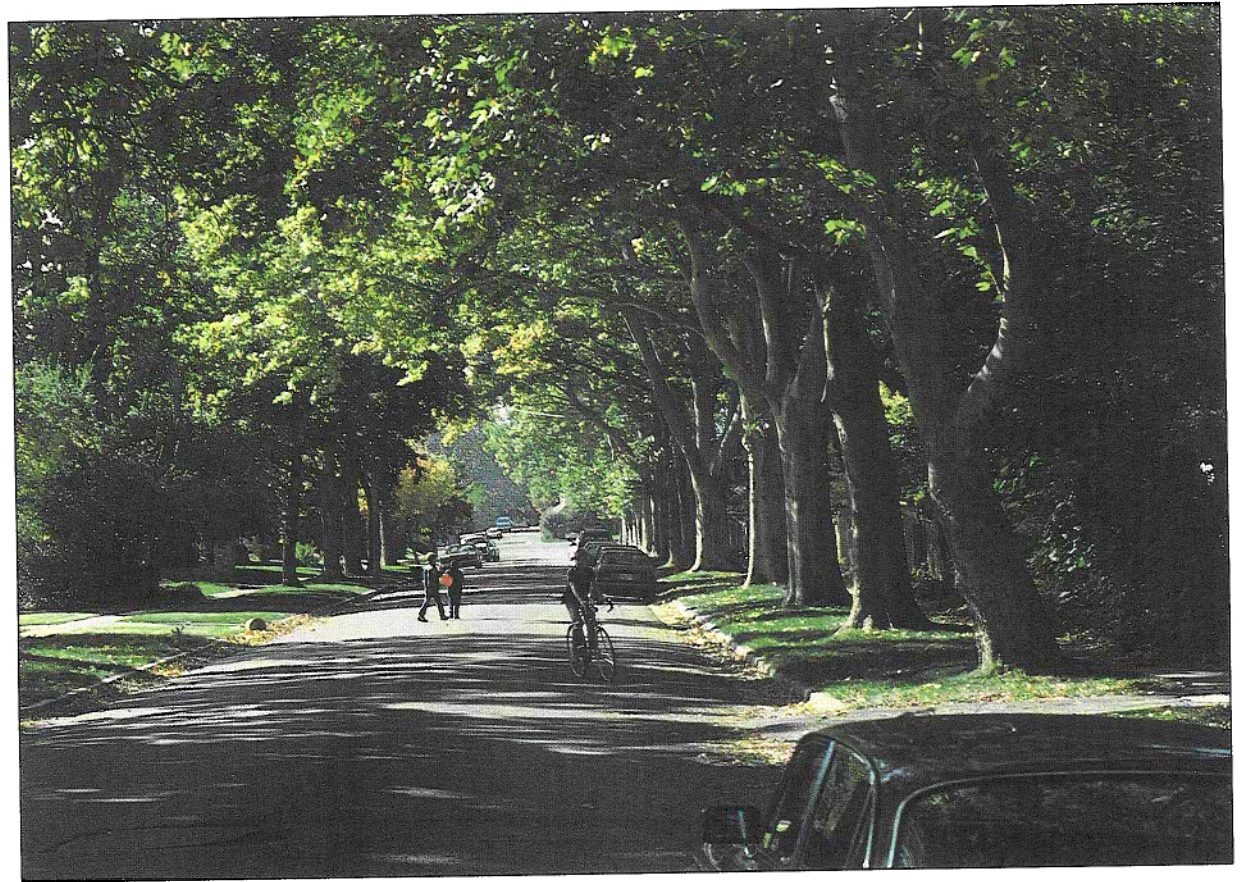
Foothill Drive is the only street in the East Bench Community designated as a major arterial (see figure below). Its primary function is to move traffic. The Utah State Department of Transportation predicts that traffic on the street at the intersection of Sunnyside Avenue will increase from 41,000 average daily trips (ADT) in 1986 to approximately 50,000 by 1995. Steps have already been taken to improve traffic flow near this intersection. The traffic signals along Foothill Drive have been coordinated since 1983 through the use of time-base coordinators that allow more precise signal timing and have improved the efficiency of traffic flow.

Recently completed improvements to Foothill Drive between Sunnyside Avenue and Wakara Way have improved traffic flow along Foothill as well as access into Research Park. These improvements include:

- A fourth northbound lane between Sunnyside Avenue and Wasatch Boulevard with free flow turn lanes into and out of Wakara Way and onto Wasatch Boulevard;
- A new traffic signal at Wakara Way; and
- Improved signalization at Wasatch Boulevard.

The following are among actions that are underway or should be considered to further improve Foothill Drive safety, efficiency and its effects on the area:

- Increase enforcement of traffic and parking regulations;
- Close minor intersections;
- Include curb, gutter and sidewalk improvements as a part of all street improvement projects;
- Widen the street pavement to create additional lanes to the extent possible without acquiring property (left turn lanes are specifically desirable);
- Restrict additional commercial frontage and higher density residential development on Foothill Drive;
- Stagger work hours at major employment centers downtown and at the University complex to avoid peak-hour congestion;
- Connect Foothill traffic signals to city computer system;
- Eliminate on-street parking where necessary to clear a peak-hour lane;



A typical residential street in the East Bench Community.

particular concern in the area between 1300 and 2100 South where children from the east have to cross Foothill Drive to get to Beacon Heights Elementary and Hillside Junior High Schools. Pedestrian access across Foothill Drive to shopping facilities is also dangerous and difficult. Elevated center medians are needed at periodic intersections to provide a pedestrian free zone in the center of the street. The city should approach the state to see if these elevated medians could be constructed; at least at major intersections.

A pedestrian overpass or underpass is another option that should be considered at the time that additional traffic lanes are developed. Additional traffic lanes will substantially complicate safe pedestrian access across Foothill Drive. These solutions would resolve the pedestrian access problem, but each are associated with other problems. A pedestrian overpass is generally not accepted as an aesthetically pleasing addition to the streetscape. An overpass could also block views and cause other neighborhood concerns. An underpass or tunnel poses even greater problems. A pedestrian tunnel often becomes a haven for undesirables and a criminal element involved with muggings, robberies, etc. These solutions must be carefully evaluated before they are developed at Foothill Drive.

Property acquisition along Foothill Drive for street widening is strongly discouraged and should only be pursued as a last resort. Many front yards along Foothill Drive are already minimal. Widening the street and further reducing front yard setbacks would affect the desirability of adjacent homes and the streetscape appearance.

Minor Arterial Street System

This section discusses issues regarding minor arterial streets in the East Bench Community.

dwelling. Large trees line the street enhancing the residential streetscape appearance.

Thirteenth East is very congested during peak hours, and traffic must occasionally wait more than one traffic signal cycle at the 900, 1300 and 1700 South intersections. Widening the street to the extent necessary for additional traffic lanes would require removing many of the large street trees and possibly acquiring portions of residential front yards. Community residents oppose such a widening because it would damage the appearance, value, and stability of neighboring homes. Improvements are needed for better traffic flows on 1300 East. However, it is also important that 1300 East retain its residential character. It is recommended that the following measures be pursued to improve 1300 East traffic flow.

- Eliminate on-street parking — at least during peak traffic hours — so that two full lanes of traffic can function in each direction.
- Stringently enforce traffic and parking ordinances.
- Modify critical intersections to accommodate improved traffic flow. (TSM improvements are proposed for the 1700 South - 1300 East intersection. Other intersections may also require improvement as traffic volumes increase.)
- Change traffic direction in one lane during peak hours to increase the street's capacity (reversible lane).

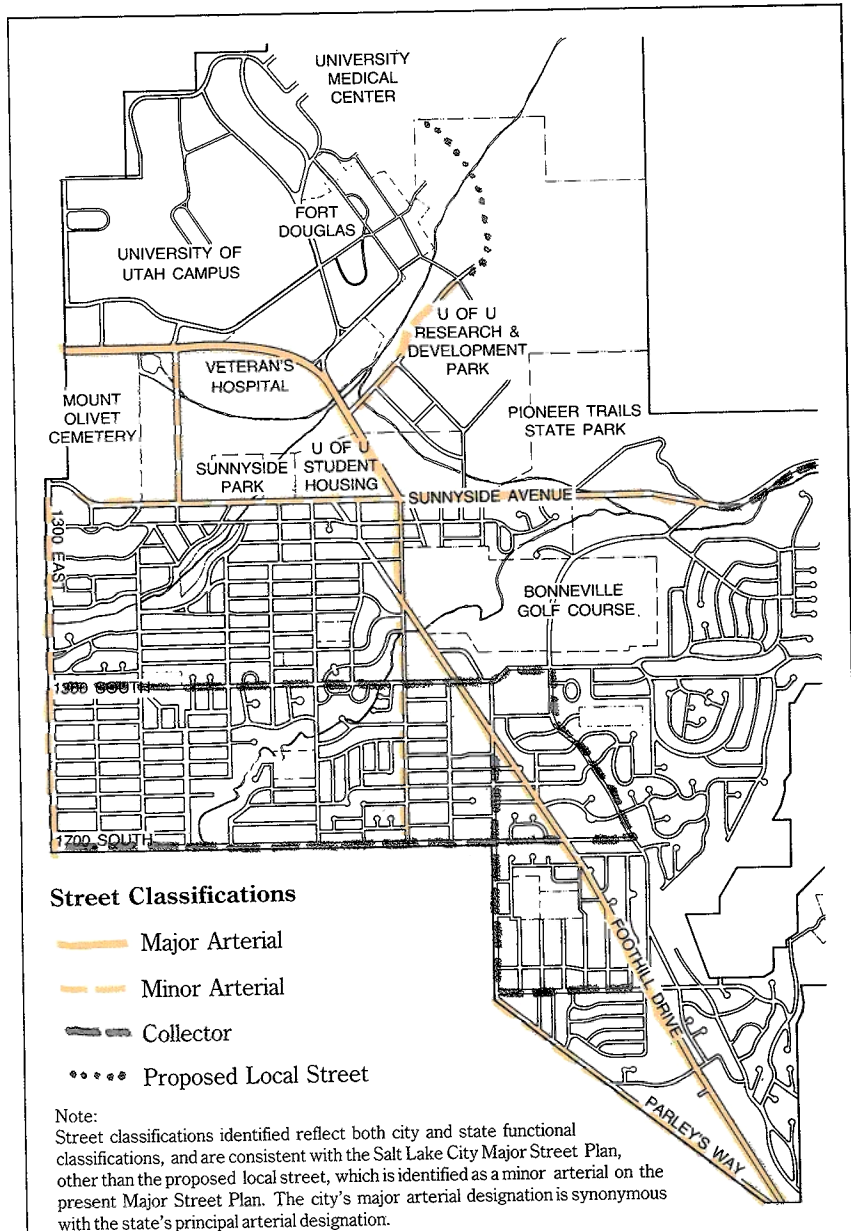
Sunnyside Avenue

Sunnyside Avenue provides access into the downtown area from the East Bench and access to Emigration Canyon. East of Wasatch Drive it is a collector street, and west of Wasatch it serves as a minor arterial. It becomes Emigration Canyon Road near the city limits. Sunnyside Avenue is the only direct access into Emigration Canyon from the city. Present average daily traffic on Sunnyside Avenue at the mouth of the canyon is 2,800. Between Foothill Drive and Guardsman Way, the traffic volume is approximately 13,000.

Increasing traffic volumes on Foothill Drive will increase the number of vehicles on Sunnyside Avenue. City traffic engineers indicate, however, that Sunnyside Avenue is capable of accommodating anticipated traffic volumes without widening the street right-of-way.

From the land use standpoint, Sunnyside Avenue is well suited as an arterial. It is a wide street, and frontage on the north side of Sunnyside consists exclusively of public institutions; i.e. the National Guard Armory, Mt. Olivet Cemetery, University Student Housing, Research Park, and the Pioneer Trails State Park. Most other streets in the East Bench Community are narrow, tree-lined streets with single-family homes fronting both sides. Sunnyside Avenue should continue to function as access to the major institutions and as an arterial to the downtown area from East Bench.

High traffic volumes and speed along Sunnyside Avenue inhibit pedestrian traffic between Sunnyside Park and the residential neighborhood to the south. The city should consider either an underpass or overpass to facilitate pedestrian access between the park and the adjacent residential neighborhood subject to resolving previously stated overpass/underpass issues with area residents. Improved pedestrian access will be especially important if a recreation complex develops next to Sunnyside Park.



Street Classifications

- Major Arterial
- Minor Arterial
- Collector
- Proposed Local Street

Note: Street classifications identified reflect both city and state functional classifications, and are consistent with the Salt Lake City Major Street Plan, other than the proposed local street, which is identified as a minor arterial on the present Major Street Plan. The city's major arterial designation is synonymous with the state's principal arterial designation.

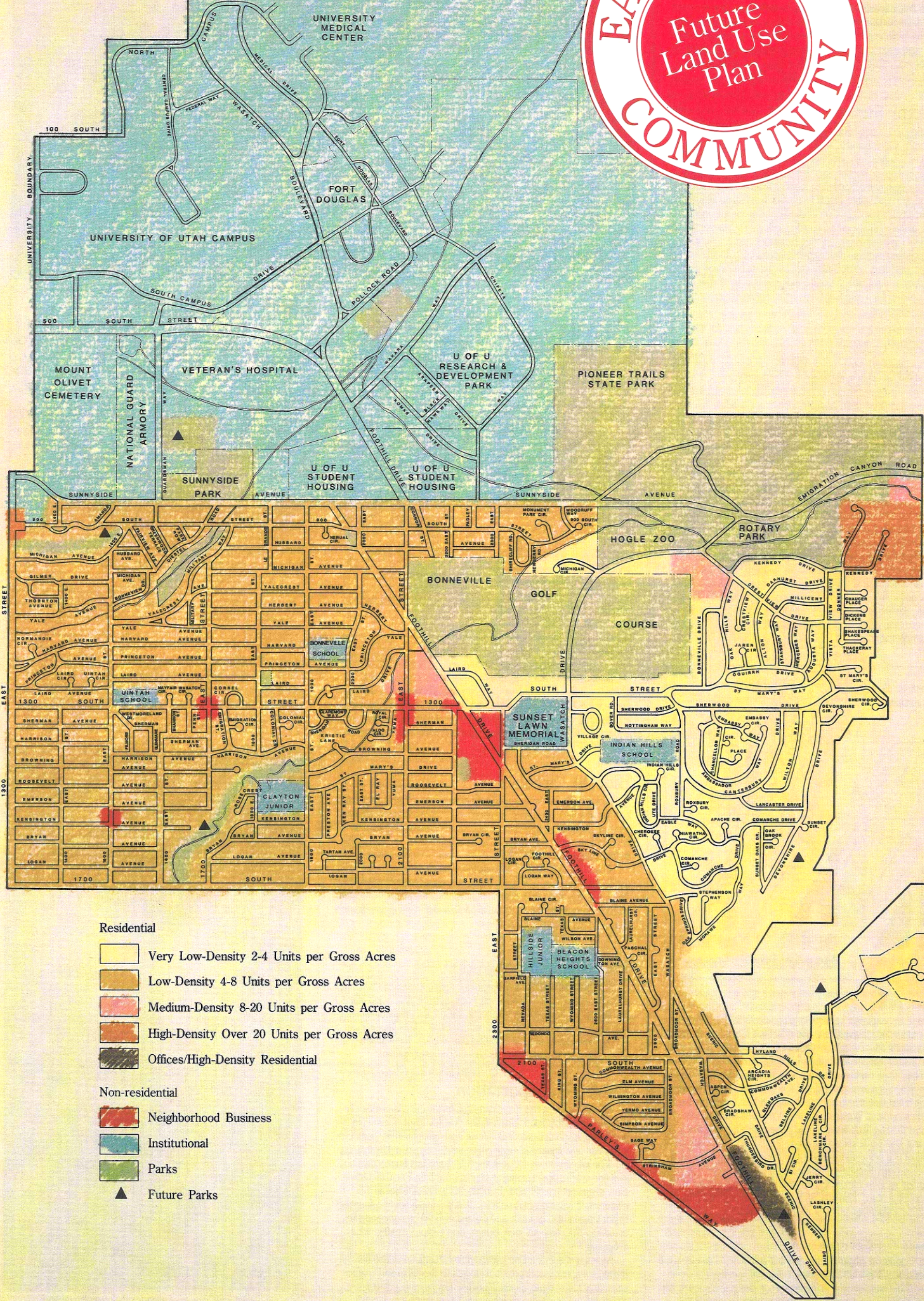
- Construct center medians where possible to reduce the potential for left hand turns on Foothill Drive south of 2100 South thereby improving both traffic flows and traffic safety in this area; and
- Include a street tree and parking strip landscaping program with all future street improvement projects.

In addition to the actions above, residents express concern regarding pedestrian access across Foothill Drive. Because of the width of the street and high traffic volumes, pedestrian access is difficult and hazardous. This is a

1300 East Street

Thirteenth East is the only street west of the Foothill Drive/I-215 corridor providing direct access over the I-80 freeway to the University of Utah from points south. Seventeenth and 2100 East Streets provide indirect access through less convenient routes. Thirteenth East is also a popular route for downtown commuters because of access to and across I-80. However, 1300 East is a narrow street consisting of only one lane in each direction at some points, and land use along 1300 East is predominately single-family

EAST BENCH Future Land Use Plan COMMUNITY



- Residential**
- Very Low-Density 2-4 Units per Gross Acres
 - Low-Density 4-8 Units per Gross Acres
 - Medium-Density 8-20 Units per Gross Acres
 - High-Density Over 20 Units per Gross Acres
 - Offices/High-Density Residential
- Non-residential**
- Neighborhood Business
 - Institutional
 - Parks
 - Future Parks

Parley's Way

Parley's Way, extending southeasterly from 2100 South to the Foothill Drive/I-215/I-80 Interchange, is one of the main access routes into the city from the east and carries approximately 10,000 vehicles per day. Parley's Way easily handles present traffic volumes, and traffic congestion is rare. Resident concerns are directed toward street appearance rather than function. Recent curb, gutter and sidewalk improvements have improved both appearance and function of the street, but the city should contribute further by planting street trees, developing a center median, and enforcing parking strip landscaping ordinances. The Urban Design chapter of this plan elaborates on possible design schemes for Parley's Way.

Collector Streets

The figure on page 8 identifies collector streets in the East Bench Community. Collector streets provide the most direct access to arterial streets from local streets.

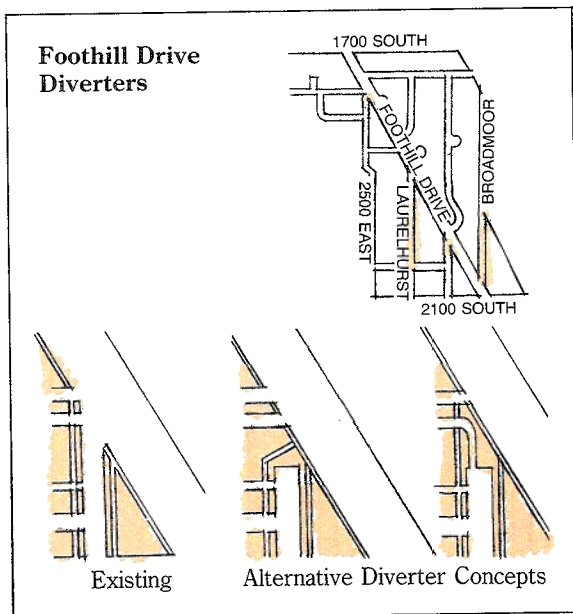
Most of the collector streets south of Sunnyside Avenue were originally designed as residential streets, and most are narrow, tree-lined avenues providing frontage for single-family homes. Congested conditions are evident in some areas during peak traffic hours. To preserve the residential environment, street improvements must be within existing rights-of-way when possible. Restricting on-street parking, widening streets for turn lanes at intersections, and other strategies similar to those recommended for 1300 East Street will help improve traffic flow on collectors.

Local Streets

All unclassified streets on the Major Street Plan are local streets, most of which serve residential areas. Local streets are designed for low traffic volumes and emphasize land access rather than accommodating through traffic. Local streets in the East Bench are generally adequate to accommodate present and anticipated traffic loads.

The city and the state should consider closing vehicular access from some local streets to Foothill Drive. Streets such as Laurelhurst and 2600 East approach Foothill Drive at awkward angles. Eliminating access will improve traffic flow on Foothill Drive and make the closed streets more desirable for residents. Closing the streets will not hamper local circulation because of easy access to Foothill Drive from intersections at 1700 South or 2100 South Streets.

The figure below illustrates Foothill Drive parking strip extensions across the entrance to local streets as one means of eliminating awkward angle intersections. The intersections would be replaced with curb and gutter, sidewalk, lawn, and trees. This type of proposal will require extensive neighborhood input and a public hearing before implementation.



Wasatch Drive

Residents express several concerns regarding Wasatch Drive, extending through Bonneville Golf Course. Wasatch Drive is in need of curb, gutter, and sidewalk. This is a popular route for walking and jogging. However, pedestrians are forced to walk in the road during winter months when grass along side of the road is not accessible. There is also no off-street parking for the baseball fields on the west side of Wasatch Drive. Vehicles park all along the street during little league and other organized games, furthering the pedestrian hazard. The Parks Department is aware of the parking lot need and indicates that a parking lot here is both feasible and desirable. The need for this parking lot is also identified in the Parks and Recreation section of this plan. The city should give these street and parking lot improvements a high priority.

Proposed Local Streets

The figure on page 8 identifies a proposed street that would connect Foothill Drive with the University Medical Center. This street is the remnant of the proposed 11th Avenue extension. Transportation planners originally

envisioned the 11th Avenue extension as an arterial that would link Foothill Drive with 11th Avenue to facilitate improved traffic flows in and through the University of Utah area. Because of the likelihood that an arterial in this area would become a major "through traffic" corridor negatively impacting residential neighborhoods in the East Bench and Avenues communities, residents and citizen groups in these areas have expressed considerable opposition to the arterial proposal. Because of this opposition, any future roadway extending from Wakara Way will likely be considered a local street even though the current Major Street Plan identifies it as a future minor arterial.

The present proposal, which would facilitate traffic movement from Foothill Drive to the Medical Center, would not include a link that would provide convenient access between Foothill Drive and 11th Avenue. The present proposal calls for a roadway from Foothill Drive to terminate at the Medical Center parking lot. Residents in the Avenues Community also feel that if a roadway extends to the University from 11th Avenue, it should be restricted to a two-lane local street providing access to the University, but not creating a link with Foothill Drive.

Because of the controversial nature of this roadway proposal, no definite decisions have been made and no funding has been allocated for these projects. However, increasing traffic volumes in the northeast quadrant remains one of the city's biggest traffic related challenges. How do we handle increasing commuter traffic and associated congestion without adversely impacting residential neighborhoods? Transportation planners must continue to explore the feasibility of long-range solutions such as one of several mass transit options, and we must also pursue the eventual need to limit growth in the University area. We must also continue to pursue more immediate solutions. City and state officials must arrive at both short and long-range solutions that realistically address circulation system needs, and planning goals of preserving established neighborhoods. As previously mentioned, proposals to acquire additional right-of-way to widen residential streets such as 1300 East or to develop the 11th Avenue extension as an arterial connecting with Foothill Drive are not acceptable from the standpoint of neighborhood preservation.

Bicycle Circulation

Increasing interest in bicycle circulation in recent years has prompted renewed interest in safe and convenient bicycle routes. Bicycling is not only a popular form of recreation, but commuting to work by bike is becoming increasingly common.

The "Bicycle Path" figure identifies existing and proposed bicycle paths as identified in the Salt Lake City Park and Recreation Master Plan and some possible bicycle routes that have been identified through this East Bench Community planning process.

Pedestrian Circulation

The most important element of a pedestrian circulation system is good sidewalks on each street and controlled crosswalks at busy intersections. Sidewalk snow clearance is also important during winter months. The Research Report identifies streets lacking sidewalks. New sidewalks on these streets should be top priority projects.

Public Transportation

Bus service in the East Bench Community is generally good. The proposed University transit improvements including bus turn-around areas and information services will improve existing service to and from the University.

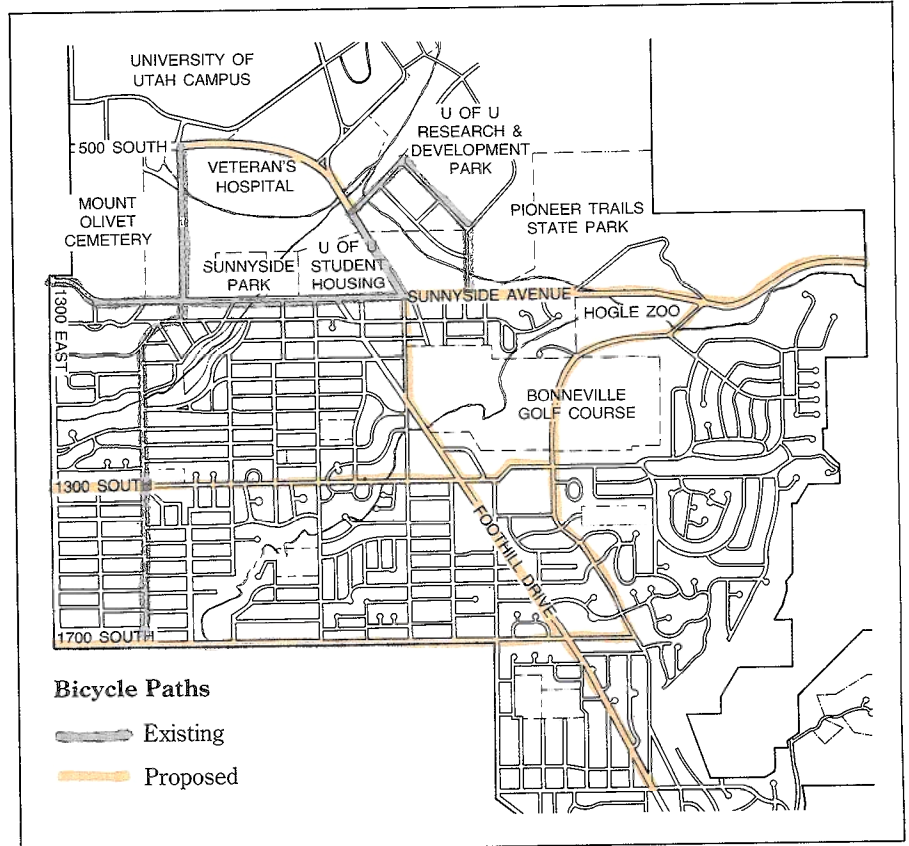
The city must work with the UTA so that buses don't impede traffic flow on major streets such as Foothill Drive. Bus stops in travel lanes on these streets should be eliminated whenever possible. Bus stops should be located in parking lanes, or curb and gutter should be recessed to create a bus bay so that buses don't block traffic when stopping.

Mass transit must be given more attention in the future. If the University complex continues to develop and traffic pressures increase along Foothill Drive and 1300 East, alternatives such as an improved bus system, a park and

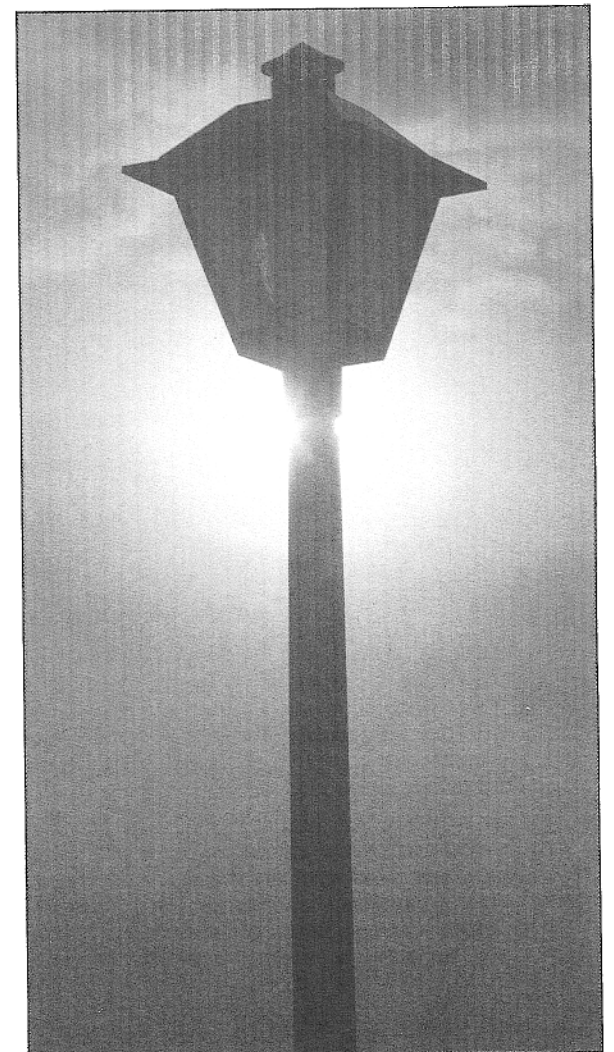
ride program, or development of a subway or other rail system, with associated peripheral parking lots, will become more viable circulation solutions. From the land use planning standpoint, preservation of the quality of residential neighborhoods in the East Bench Community is the primary concern. Solutions other than the private automobile must be pursued as alternatives to expanding highways through established residential neighborhoods.

Street Lighting

The city provides street lighting primarily for traffic safety. All new subdivisions must include street lighting with the initial development at the developer's expense. Street lights are desirable at all street intersections. Midblock lights should be installed where there is no other light within 300 feet, and there is support from a majority of property owners within 150 feet of the proposed light. Uniform lighting is provided along major streets. Any additional lighting should be accommodated through special lighting improvement districts wherein property owners



participate financially in costs of the additional lighting. The City Division of Transportation administers the city's street lighting program. The present street lighting program should be maintained as the means of accommodating lighting needs.



Special street lighting in a residential neighborhood.



Children playing at Sunnyside Park.

Public Utilities and Facilities

(Capital Improvement Program)

Planning Goal. Provide and maintain adequate and functional street, storm drainage, public utility, park, and public safety systems.

Introduction

THIS section includes strategies to maintain and enhance existing public facilities and utilities and to accomplish new facility needs. Proposals are a combination of projects being presently planned by various city departments, and needs that have been identified through the East Bench Community planning process. Likewise, some proposals have been approved and funding secured, while others are being introduced for the first time in this document.

The 1985-86 through 1991-92 Salt Lake City Capital Improvement Plan (CIP), adopted in August, 1985, identifies projects approved for capital expenditure during the current fiscal year and pre-planned projects to be approved on an annual basis thereafter. Projects identified in this plan that include an implementation schedule are generally approved and reflected in the Capital Improvement Plan. However, public utility improvement projects, i.e., water and sanitary sewer system improvements, are funded through the Public Utility Enterprise Fund, and not reflected in the general Capital Improvement Program.

Capital improvement planning and programming is an ongoing process. City needs and priorities are being constantly re-evaluated. Projects and schedules identified in this plan are, therefore, subject to modification, but major changes are not anticipated.

Parks and Recreation

The East Bench Community contains several fine park and recreation facilities. The "Parks" map identifies existing and proposed parks. The Research Report contains a complete inventory of facilities at each park.

Proposed Park Improvements

The Parks Department has requested funds to improve several East Bench parks. The table below identifies the parks, funds requested, funding years, and type of improvements planned. Estimated costs for proposed park

improvements total \$740,000. Cost figures are estimates anticipating present values.

Park improvement proposals reflect the city's commitment to provide top quality recreation amenities. The Parks Department should coordinate all improvement proposals with East Bench residents to assure that improvements meet community needs and desires. Improvements not presently funded are not included in the city's Capital Improvement Program that extends through 1992. These improvements will, therefore, not occur before 1992 unless changes are made through budget revisions.

New Park Developments

In addition to recreation proposals for the foothills, the city is planning to develop additional new parks in the East Bench Community in the near future. These parks will meet recreation needs in areas that have been lacking in park space through the years.

Kennedy Drive Park.

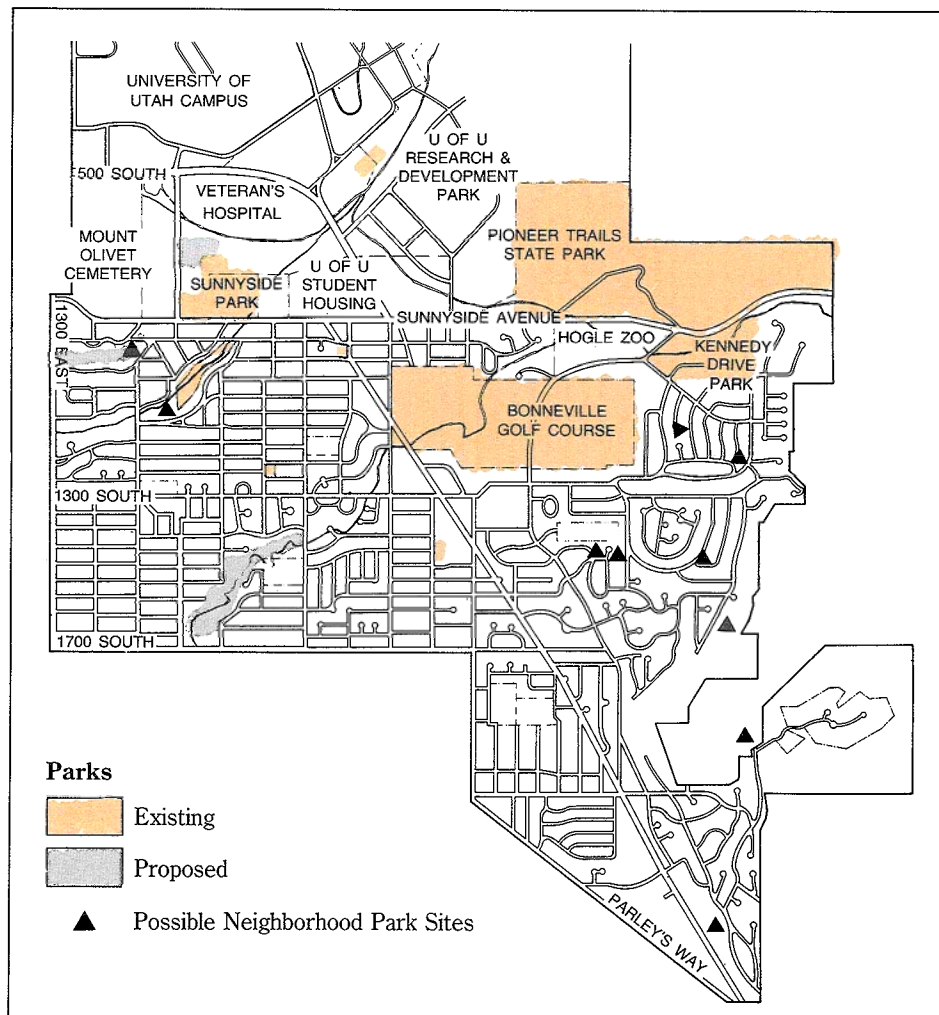
The city has recently completed development of a neighborhood park along Kennedy Drive. This project involved relocating Kennedy Drive, subdividing surplus city property on the south side of Kennedy Drive into single-family dwelling lots, and using funds from the lot sales to help pay to relocate the street and develop the park. This park consists primarily of landscaping and walkways, with minimal facilities. It has a beautiful setting where panoramic views of the city can be enjoyed.

1600 East-1700 South Park Site. The city plans to develop a park along Emigration Creek north of 1700 South. Access and frontage onto 1700 South must be obtained, however, before the park can be developed. Property for access will have to be acquired from the adjacent Wasatch Presbyterian Church.

This park will be designed to also serve as a storm runoff detention basin in the city's flood control system. As presently proposed, park improvements will cost approximately \$461,000 and detention basin improvements including land easements are estimated at \$500,000.

Sunnyside Park Expansion. The city plans to develop some type of recreation facility on 12.5 acres of undeveloped property adjacent to Sunnyside Park as soon as all interests can agree on the type of facility and an adequate funding source can be secured. The Federal Bureau of Land Management owns this property and has agreed to lease the land to the city for development of a park or recreation facility, subject to some type of recreation use being developed in the near future. A group of East Bench citizens propose a recreation complex consisting of an indoor aquatic center, gymnasium, multi-purpose room, meeting rooms, etc. This group has formed a steering committee to plan and pursue funding for this facility. They are presently exploring the feasibility of a joint venture with funding being provided by Salt Lake City Corporation, the Salt Lake City Board of Education, and private donations. A special service district bond was proposed as the means of funding the project, but the City Council has not taken action on this approach, and it will likely not be approved. East Bench residents are generally in favor of a recreation facility in their community, but would likely oppose any funding approach that would require their financial participation.

There is not a public swimming pool or other type of public indoor recreation facility in the East Bench



Community. A recreation complex would be a welcome amenity. Given the community need, the city should provide all possible support and assistance in planning and assessing the feasibility of a recreation facility, and pursuing possible funding sources. Options such as a public/private partnership should be pursued, wherein the city would lease the property for a private recreation development that would be available for public use. Tennis facilities at Forest Dale Golf Course are an example of this type of approach. Funding questions must be resolved, however, before the city commits to project development.

Other Recreation Needs

As in many other areas of the city, the East Bench is in need of small neighborhood parks. Some areas have no neighborhood parks at all. The figure above identifies the location of possible sites for small parks. The city should work with adjacent neighborhoods to determine the desirability and feasibility of developing two or three of these lots into small parks. Those with most potential are identified on the Future Land Use map.

As a general policy, the city should acquire park sites as soon as possible after determining their suitability. Increasing property values of the few vacant sites in the East Bench Community will make property acquisition

Park	Cost Estimate	Year Funded	Proposed Improvements
Park Improvement Proposals			
Miller Park	\$ 50,000	1987-88	stabilize paths and modify vegetation to alleviate crime problems
Bonneville Park	150,000	1989-90	improve drainage, parking and tennis courts, develop a softball diamond
Laird Park	40,000	1990-91	automatic irrigation, upgrade playground
Sunnyside Park	250,000	1990-91	upgrade playground, lighting and landscaping, automatic irrigation, renovate restrooms
Washington Park*	250,000	1991-92	renovate picnic areas, construct restrooms, install playground equipment, and upgrade playfields
TOTAL:	\$740,000		

*In Parley's Canyon

increasingly expensive. The city should consider establishing a land-banking program wherein funds could be held for property acquisition of this type.

Joint Use of Public School Facilities. School playgrounds provide many recreation opportunities that supplement public park facilities. Dilworth School and the adjacent Dilworth Park are an excellent example of joint use. The city should negotiate with the Board of Education to obtain public access to all outdoor school facilities on off-school hours, weekends, and during the summer for organized youth sports as well as individual activities.

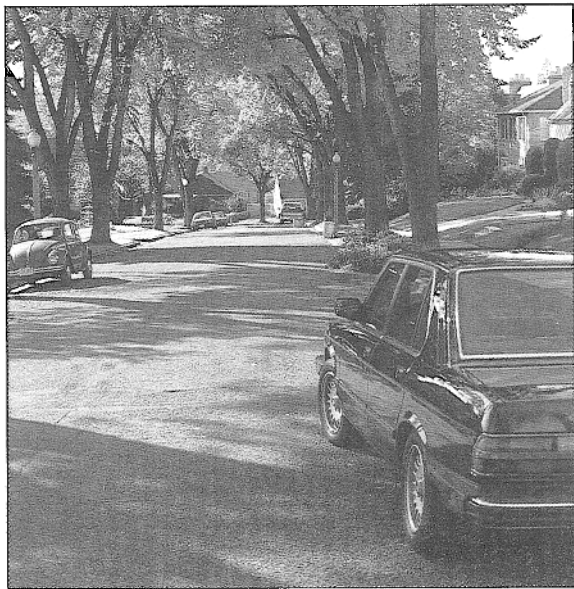
Streets and Street Facilities

Nearly all streets in the East Bench Community have curb, gutter and sidewalk. Street conditions in the community are generally good, although facilities in the older areas are exhibiting signs of age and deterioration. The few streets lacking curb and gutter are identified in the Research Report. They should be given high improvement priority.

The majority of street improvement projects are funded through Special Improvement Districts wherein the city and adjacent property owners share improvement costs. Major streets are generally improved with gasoline tax funds.

Appendix II identifies streets in the East Bench Community that the Public Works Department proposes to improve between now and 1992. It also lists streets that are in need of various improvements but have not been funded.

Appendix II does not include state highways such as Foothill Drive and 1300 East. Only a few local street improvement needs are identified. A detailed condition



Most streets in older areas of the community are lined with mature street trees.

survey is needed to determine local street improvement needs. Most of the street facilities west of 1600 East are old, and many will require improvements in future years. A condition survey should include cost estimates and priority ranking.

The St. Mary's area has developed special problems with street failure. Poor soil stability and underground springs have resulted in cracked and broken sidewalks, curb and gutter, and road surface. The Public Works Department has been correcting these problems, but more problems may occur. Future development proposals in all foothill areas will be subject to more extensive soil tests than previously required; and, hopefully, these types of problems won't be repeated. The city must require developers to mitigate all possible problems relating to geologic conditions even if the potential for problems is remote. Otherwise, the city will likely bear responsibility for the costs of resolving expensive problems, and property owners will also suffer inconvenience and expense.

Culinary Water System

The Salt Lake City Department of Public Utilities has an ongoing planning program to ensure an adequate water supply for city residents. The city's water system in East Bench is in generally good condition. There are some pressure problems, however, and continual improvements and maintenance will be necessary as the system ages.

Planned Water Projects

The city is in the process of constructing a 16-inch high pressure supply line extending out of Parley's Canyon and north along Lakeline Drive. This new line will eliminate some expensive pumping costs from existing lines and bring additional water into the East Bench area. A 36"-48" water supply line has been constructed along 2100 East from 500 South and Guardsman Way to the Terminal Reservoir at 3300 South and I-215. This line will supplement Parley's lower conduit supply to the 1500 East Reservoir.

Two new water reservoirs are being developed in the East Bench Community. The St. Mary's Reservoir will be located in Spring Canyon, and the Fort Douglas Reservoir was recently completed at the mouth of Red Butte Canyon. The St. Mary's Reservoir is scheduled for construction in fiscal year 1988-89.

Access to St. Mary's Reservoir. Residents participating in this plan support the concept of maintaining public pedestrian access into the foothills and are desirous of having access to the St. Mary's Reservoir proposed for a site in Spring Canyon. However, representatives of the Public Utilities Department indicate that the Spring Canyon property owner intends to limit access to the reservoir to public utility vehicles for necessary maintenance only. They indicate that public access into the canyon would not be possible at this time. From the planning standpoint, public pedestrian access into Spring Canyon is desirable and should be pursued in the future if an opportunity for obtaining public access ever arises.

Additional Water System Improvement Needs

Two main supply lines, Parley's lower conduit and Parley's high line conduit, were installed at the turn of the century as non-pressure conduits. These lines need to be supplemented with additional supply lines, one of which is the new 36"-48" line on 2100 East. The Oakhills Pump Station does not have any water storage for the area it serves, and it does not have a back-up power source in the event of a power outage. These deficiencies will be corrected with construction of the St. Mary's Reservoir in Spring Canyon.

The East Bench water system is old in many areas. System maintenance and water main replacement will become increasingly important and costly as the age of the system increases.

Sanitary Sewer System

Salt Lake City is improving its sanitary sewer system. The existing sewage treatment plant at 1800 North is in the process of being enlarged by 11 million gallons per day (mgd) to a new capacity of 56 mgd. This expansion should be completed in 1988. These improvements will provide necessary capacity to handle all future East Bench Community growth.

New sanitary sewer lines planned for the East Bench Community in the 1980's are as follows:

	Cost	Year
2396 South, 2750 to 2800 East	\$ 30,000	86-87
Parley's Way, 2400 to 2442 East	30,000	86-87
Sunnyside Ave., 1975 to 2000 East	30,000	87-88
2323 South, 2620 to 2640 East	30,000	not funded
2100 South, 2821 to 2860 East	35,000	not funded
Broadmoor, 1955 to 2025 South	50,000	not funded
2830 East, 2225 to 2270 South	40,000	not funded
TOTAL	\$245,000	

In addition to planned improvements, the city must plan for ongoing sewer system maintenance. Since many lines were installed in the early 1900's, maintenance will become increasingly important and costly in future years.

Storm Drainage

Record flooding during the spring and summer of 1983 reminded everyone of the importance of a good storm drainage and detention system. Salt Lake City has an ongoing storm drainage program. The Public Works Department is requesting funding for detention basins in the East Bench Community. The two proposed locations and estimated construction costs are as follows:

Emigration Creek 1700 South-1600 East	\$500,000
Red Butte Creek 1500 East	\$300,000

The 1700 South-1600 East site would be designed for joint use with the proposed park at this location. The cost estimate for detention basin development includes funds necessary for land easements. As previously mentioned, park development is identified as a separate project.

The city is also in the process of preparing storm drainage master plans for three drainage areas in the East Bench vicinity. The Mid-City Drainage Plan, completed in June of 1985, encompasses the University and surrounding areas. Drainage plans are also being prepared for the Red Butte and Emigration drainages. These plans greatly assist the city in making decisions regarding drainage system improvements necessary to handle drainage and avoid potential hazard and damage resulting from inadequate drainage facilities.

In addition to specific projects, the Salt Lake City Engineering Division estimates that miscellaneous storm drainage construction needs in the East Bench Community may total \$2,000,000 through the 1980's. The University has also recently secured \$780,000 in state funds to improve drainage in the immediate vicinity of the University.

Police Department

The Police Department indicates that crime in most categories is remaining relatively stable. Only a few crime categories are showing increased activity. A top priority for the Police Department in coming years is to maintain current levels of response time and service without increasing costs. This can be accomplished through successful prevention programs such as Neighborhood Watch.

The Police Department is considering a proposal to centralize its functions to increase efficiency. If implemented, centralization will involve closing the current east side station at 1486 South 1100 East and relocating to a new facility closer to the center of the city.

Fire Department

The Salt Lake City Fire Department is planning several future facility improvements and service modifications in the East Bench Community. Proposals include the following.

- Move Station #4 to a new site, possibly 11th Avenue above Lindsey Park. The proposed location will better serve the University of Utah and Fort Douglas areas. This new station is scheduled for fiscal years 1989-1990, with a cost estimate of \$830,000.
- Replace Fire Station #10 (approximately 1100 South Foothill Drive) with a new station near Sunnyside Avenue and Foothill Drive, possibly in Research Park. The new station would be larger, with the capability of housing a ladder truck. The new station is proposed for the early 1990's with an estimated cost of \$850,000. Funding for this new station has not been secured.
- Vacate and relocate equipment from Station #15 located on the University campus, near the Medical Center, after implementation of above proposals.

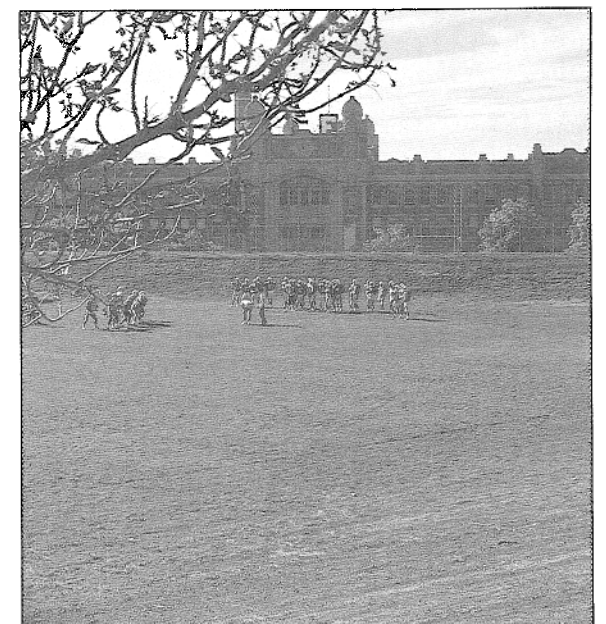
Water supply sufficient to fight fire is a constant concern of the Fire Department. The 1300 South-Foothill Drive area has had noticeable water supply problems and is a concern. The Salt Lake City Public Utilities and Fire Departments are working closely to develop adequate fire flows for the East Bench.

The potential for brush fires in the East Bench Community is also a real concern. Homes built in clusters of scrub oak along the foothills, and grass and brush in undeveloped foothills, pose some serious fire dangers. The city must require developers to install adequate fire protection in areas where the fire potential is high. Fire hydrants, fire breaks, water sprinkling systems, and fire resistant roofing requirements should be considered to provide the needed protection.

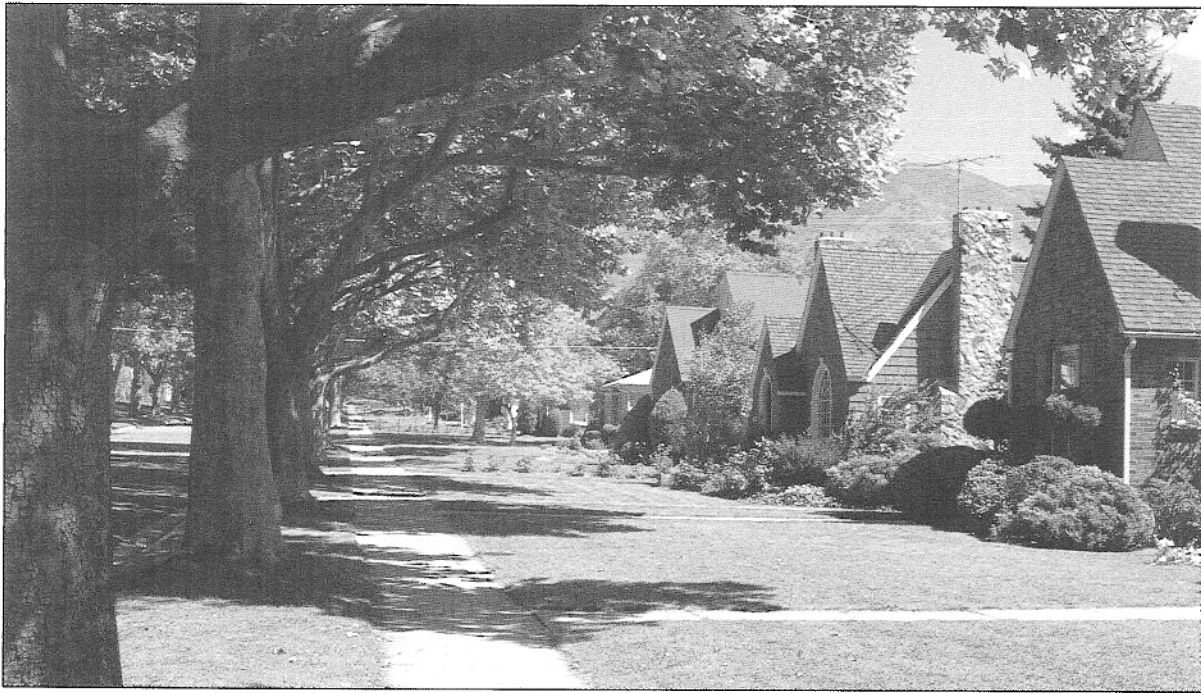
Public Schools

The East Bench Research Report indicates that school age population in the East Bench area is stabilizing and past declining trends will likely reverse in future years. Fortunately, the Salt Lake City Board of Education is planning for a possible school age population increase by retaining ownership of several recently closed schools in the city. Because of high property values and little vacant land in the East Bench Community, property acquisition for a new school would be very costly and would likely involve acquisition of homes. The city strongly encourages the Board of Education to maintain school properties for future schools or other public use.

To facilitate this, the city recently adopted an ordinance permitting interim uses in closed public school buildings. The city may permit, as a conditional use, the temporary use of office space for limited public or private charitable or educational uses. This conditional use possibility should greatly facilitate continued Board of Education ownership. Permitting interim uses will provide rental income, building occupancy, and facility maintenance until such time as future school needs can be determined.



East High School.



Maintaining the delightful character of East Bench neighborhoods requires vigilant city and community effort.

Urban Design

Planning Goal. Enhance the visual and aesthetic qualities and create a sense of visual unity within the community.

Introduction

URBAN design is concerned with the functional and visual relationships between people and their physical environment and the ways those relationships can be improved. The urban design process involves the following steps:

- Defining and assessing elements that help create the urban environment;
- Defining and assessing trends and pressures that may influence environmental change; and
- Formulating strategies that will help enhance visual and aesthetic qualities and create a sense of visual unity within an urban area.

Community elements that have created the East Bench urban environment and trends that may influence environmental change have been discussed throughout this study. This chapter concentrates on strategies to enhance the East Bench Community environment.

East Bench urban design analysis is structured around four major community elements:

- Natural Character;
- Residential Character;
- Business Character; and
- Public Facilities.

Strategies for Preserving the Community's Natural Character

The Wasatch foothills are a very important natural resource. The city must preserve the unique scenic beauty, environmental habitat, recreational use and accessibility of the Wasatch foothills. Issues relating to foothill preservation include the following:

- Foothill Residential Development;
- Off-road Vehicles;
- Hillside Graffiti;
- View Protection; and
- Gullies and Drainage Channels.

Foothill Residential Development. Residential development in upper foothill areas is probably the greatest threat to disrupting the natural foothill environment. As indicated in the Annexation and Foothill Development section, some additional development will occur. The majority of the foothills, however, will remain undeveloped. The city must take a firm position on restricting development to only those areas that are geologically sound. From the urban design standpoint, the city should instigate the following measures as a means of assuring that foothill development is as compatible as possible with the foothill environment.

- Comply with all provisions of the Site Development Ordinance.
- Permit planned unit developments (PUD's) wherein units may be clustered and open space maximized. The PUD approach will also require Planning Commission review, providing an opportunity for the city to critique plans before they are approved as well as an opportunity for public comment. The PUD approach should not be

viewed as a means of increasing density.

- Utilize non-reflective glass and building materials to lessen glare and color contrast.
- Keep cuts and fills to a minimum. Natural vegetation should be preserved, and structures should be tucked into hillsides rather than perched on knolls and other prominent, visible areas. Location and height of foothill development should be such that development blends into natural features to the extent possible.
- Require that foothill trail access and trailhead facilities, such as off-street parking and garbage receptacles, are designed into each new development at appropriate locations.

Off-Road Vehicles. Hillside scars resulting from off-road vehicles are a problem along the Wasatch Front. City and county regulations prohibit off-road vehicles from operating on the hillsides, but enforcement is difficult. The city and county should increase enforcement and prosecution efforts regarding off-road vehicles in the foothills. Property owners can assist by locking gates at the entrances to foothill trails and roads and reporting violations.

Hillside Graffiti. School letters and other hillside graffiti detract from natural character. Citizens recommend that school letters be removed and hillsides restored to natural conditions. School letters on hillsides is such a strong tradition that action by the city without good cause will only alienate students and school officials. The best approach for dealing with school letters is organized citizen efforts to communicate with the schools through the Parent Teacher Association. Any action should be citywide — all schools should remove letters.

View Protection. "View lots" in the East Bench are generally those that are well sited for views of the Salt Lake Valley to the west. Some lots are also suited for dramatic views of nearby mountains and canyons. It is impossible to guarantee unobstructed views from foothill lots without creating ordinances so restrictive that many lots may not be buildable. The city has addressed the view issue by adopting a view protection clause in the Foothill Overlay "F-1" Zone that will help protect views. This new ordinance limits building heights to a 25-foot maximum height for a flat-roofed structure and 30 feet to the peak of a structure with a pitched roof. Areas encompassed by the "F-1" Overlay are limited to foothill subdivisions along the urban fringe. If these height limitations prove to be successful in accomplishing their intended purposes in the "F-1" areas, similar height restrictions may be considered for other "R-1" and "R-2" areas in the East Bench Community.

The subdivision ordinance must also be re-evaluated with regards to view protection. Lot location, orientation, and grades are critical to view protection. In many cases, it is impossible to design homes with views if the subdivision has not been properly designed.

Gullies and Drainage Channels. Several deep gullies traverse the East Bench Community along the Red Butte and Emigration Creek channels. Miller Park is in one of these gullies, and other potential park sites are scattered along these channels. These natural undeveloped gullies add a unique character to East Bench neighborhoods that should be preserved. The city should adopt a policy of maintaining ownership of presently owned gullies, such as Miller Park, and keep them in their natural state for public recreation use. The city must strive, however, to solve all vandalism and burglary problems associated with these areas.

Gateway View — Information Center

Salt Lake City does not have a gateway into the city that lets visitors know they have arrived. A rest stop along

one of the entrance roadways could orient visitors, provide visitor information, and be designed as an aesthetically pleasing amenity for the East Bench. The center could include picnic tables, restrooms, and an information booth containing information about visitor attractions in the Salt Lake Valley. Design and location of the gateway center should be similar to a small freeway rest area.

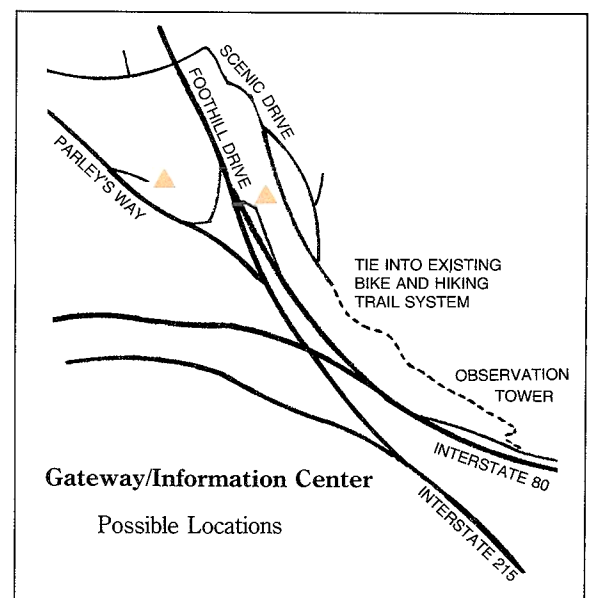
A gateway center should be located near the entrance to the city where panoramic views of the city and valley can be enjoyed. A location near the mouth of Parley's Canyon is ideal. The figure below identifies the three possible locations. The site along I-80 is preferred. It is owned by the state and is more spacious than the others, and access from I-80 is convenient for visitors.

A disadvantage to the I-80 site is that downtown Salt Lake City is not visible without a short walk. The facility layout would have to include a pedestrian trail onto a nearby ridge for a panoramic view of the valley.

The site on the east side of Foothill Drive is the second choice. This site provides a panoramic view. The disadvantage is that visitors must exit the freeway, then get back to the freeway by crossing Foothill Drive. This would be awkward and possibly unacceptable to city and state transportation officials.

The Parley's Way site involves acquisition of a portion of the K-Mart property. Views here would not be as good as from the east side of Foothill Drive and access problems are similar. The Parley's Way site should be considered only if the other sites prove unworkable.

A visitor's center at the Salt Lake Valley's eastern entrance is an amenity that should be provided by Salt Lake City, Salt Lake County, and the State of Utah with the shared financial participation. The county and state will benefit from the project, and the city should request their involvement in planning and development.



Strategies for Enhancing Residential Character

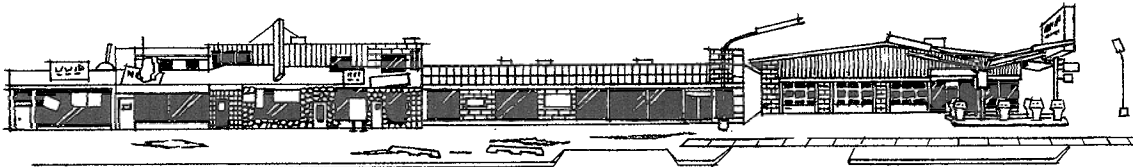
East Bench residential neighborhoods have a delightful character. Even though there is a wide variety of housing age, size, and style, most properties contribute to the community's quality environment. These desirable neighborhoods have not happened by chance. A strong sense of neighborhood identity along with proper application of subdivision, building, and zoning regulations have played an important role in establishing the community's character.

Maintaining quality neighborhoods requires vigilant effort. A lax attitude by the community or city could result in noticeable decline. The following are among the most noticeable negative elements detracting from residential character:

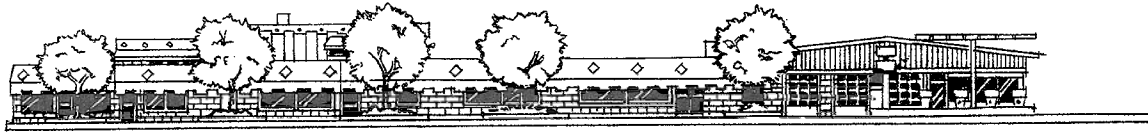
- Illegal curb cuts and hardsurfacing to accommodate front or side yard parking;
- Lack of parking strip, lawn and/or yard maintenance;
- The use of rocks, woodchips, paving, etc. in parking strips;
- Building remodeling or additions that are not compatible with the design of the original structure or neighboring homes;
- New structures that are not compatible with the design of surrounding homes;
- High fences or vegetation in front yards that create a traffic hazard and fortress-like appearance; and
- A lack of street trees.

Existing city ordinances adequately address problems with front and side yard parking, recreation vehicle storage and high fences. Inadequate enforcement, however, has permitted violations to exist in some areas. The solution to these problems is a commitment from city officials for increased zoning enforcement. Adequate funding and more enforcement personnel are needed; and a systematic, comprehensive enforcement program is necessary to adequately enforce the existing codes. Such a program could be very effective.

Commercial Design Theme



Existing Condition



Possible Design Solution

Incompatible structures and additions are not widespread in the East Bench Community, but there are a few noticeable intrusions. Building additions that do not have matching exterior building materials or continuation of original roof lines give an "add on" appearance. The addition of solar collectors placed in highly visible areas, exposed metal chimney flues, and large areas of mirrored glass, and other artificial building materials have also become more noticeable in recent years. These are most noticeable in older neighborhoods where traditional building design and materials are predominant.

The older Harvard-Yale area contains many buildings of architectural and historical significance. Conditions may warrant creating a conservation or historic district in this area where the city would review all new buildings, additions, or alterations for compatibility with established neighborhood character. The city is in the process of conducting a survey of the community to document sites of architectural and historical significance and to evaluate the potential for establishing a historic district.

Other than the Harvard-Yale area, the city should not impose restrictive design guidelines on residential development. The city could work with neighborhood groups concerned with design by providing technical assistance in developing neighborhood design guidelines, and disseminating information to property owners as a means of encouraging good design. Such guidelines should not be too detailed or restrictive and would not be mandatory.

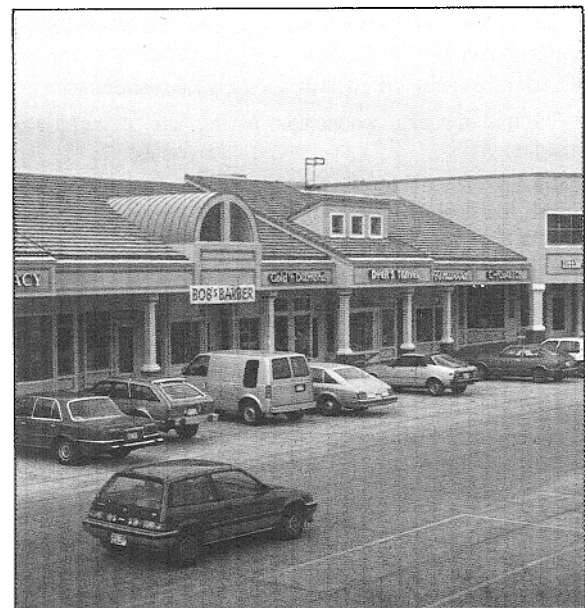
Strategies for Enhancing the Appearance of Business Properties

East Bench business properties have no consistent design theme. Many businesses are in older structures that lack amenities such as landscaping and parking. Some properties are well maintained, but many are not. In general, business properties do not make a positive aesthetic contribution to surrounding neighborhoods.

There are two design-related levels of concern with business properties:

- Property maintenance; and
- Design modifications to establish an East Bench design theme.

Property Maintenance. Business properties must be well maintained and should provide adequate landscaping and parking. The city must take a more active role in insisting that business properties be maintained. Stringent enforcement of existing ordinances should improve the visual appearance of these areas. The city should require that properties be improved to at least meet minimum landscaping, parking and vehicular access standards as a condition when issuing any building permit.



Foothill Village, a business development in the East Bench area, has recently enhanced its appearance with a renovation of its exterior facade.

Business Design Theme. A step beyond maintenance is design modifications to establish an East Bench design theme wherein business properties use similar styled awnings, roof treatment, signage, compatible color schemes and other inexpensive means to create a community business identity. Implementation of a design theme would help visually link separate but adjoining buildings together to enhance the appearance of small retail centers and would improve the general appearance and identity of retail businesses in the East Bench Community. Property improvements consistent with an established community design theme not only enhance property appearance, but also provide a more enjoyable shopping experience and increased customer patronage. The figure above illustrates before-and-after treatment of a small business area.

The city should initiate a design theme program through the following steps.

- Invite all business property owners in the East Bench Community to an initial explanatory meeting. City representatives should explain the purpose of the design theme concept, determine the amount of support, and discuss design alternatives. The program should provide long-range design guidelines for property improvements when property owners are ready to make improvements. There would not be mandatory improvement requirements.
- Select a small commercial corner or strip as a demonstration project wherein a theme could be established and improvements made. The city could assist in preparing design alternatives, coordinating with property owners, and pursuing financing alternatives. If the demonstration project is successful, the city should continue to provide design assistance to interested property owners.
- Devise a financial incentive as part of the business theme program to encourage property owner participation. A low interest revolving fund or similar low interest loan program is a possibility.

Rear Facade and Yard Treatment. Design of rear facades and maintenance of rear yard areas is a problem common to business properties in the East Bench. Most businesses in the East Bench back onto adjacent residential properties or in some cases, such as Foothill Village, the rear faces a street. Rear facades generally lack good design features. Most are solid walls with few windows. The city should consider an ordinance that requires rear facade materials and design to match the front. When facing a street, building facades should have a store-front appearance with display windows and related treatment.

Rear yards are also the first to become cluttered with business storage, building materials, etc. that often result in a junkyard appearance. Zoning and other code enforcement can ensure proper maintenance and eliminate outdoor storage at all East Bench business properties.

Signage. Signs play an important role in the appearance and character of properties they occupy. Sign location, scale, and design are also a major element utilized in creating an identifiable community theme. In general, signs should be integrated and harmonious with the buildings and sites they occupy. The Salt Lake City Sign Ordinance is a very successful tool for regulating location of signs. The Sign Ordinance, however, cannot regulate design.

The city should work with business owners to develop sign guidelines as part of creating an East Bench business design theme. Sign companies will also often conduct seminars to help businesses develop ideas for signage design that could be used throughout the community to further the community theme concept.

It is not intended that all businesses change signs immediately to conform to theme guidelines. However, guidelines developed with participation of property owners should be followed when signs are replaced or new signs installed.

Excessive signs or loud flashy signs are discouraged, as are large product-oriented and portable signs. Identification signs utilizing international service symbols are encouraged as are signs flat against buildings incorporated into building facades.

Public Facilities and Urban Design

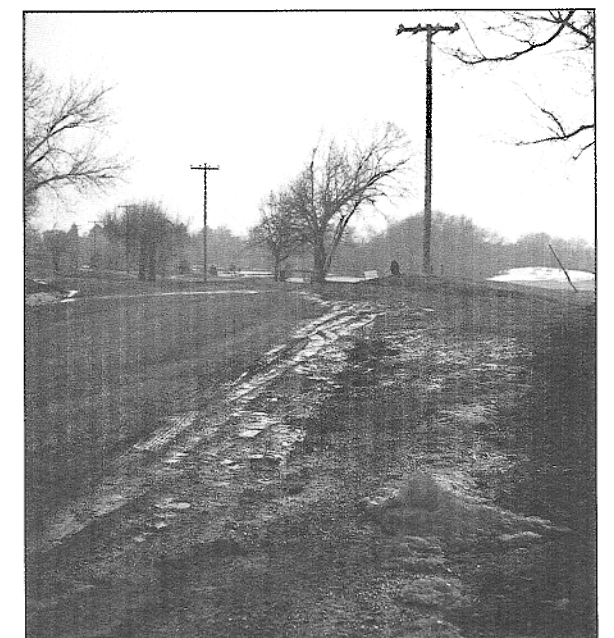
Curb, Gutter, and Sidewalks. Curb, gutter and sidewalks are essential to an attractive streetscape. Fortunately, most streets in East Bench have these facilities and conditions are generally good. Streets lacking curb, gutter, and sidewalk should receive top priority for improvement.

Landscaped Public Rights-of-Way. Parking strips along some streets in the East Bench Community are not well landscaped or maintained. Streets lacking curb and gutter are particularly shabby because there is no means of protecting landscaping from encroaching vehicles. Foothill Drive and Parley's Way are examples of streets needing parking strip improvements. Parley's Way has recently received curb and gutter, and portions of Foothill Drive have been improved. The lack of parking strip landscaping is very noticeable, however, and since these streets provide primary access into the city, they should be the most attractive streets in the city. The figure below illustrates a streetscape without curb, gutter and sidewalk improvements.

Shrubs and trees should also be included in right-of-way landscaping along these major streets. Higher vegetation will create a boulevard atmosphere and help hide rear yards of double frontage lots. The city should also consider landscaped center medians on Parley's Way.

Property owners must be occasionally reminded that they are responsible for parking strip maintenance. Even though parking strips are in the public right-of-way, the city would have to raise taxes substantially to maintain them. City ordinances require that adjacent private property owners maintain lawn in these strips.

Street Trees. Tree-lined streets greatly enhance the appearance of neighborhoods. Property owners should take the initiative to plant approved trees in parking strips. The Salt Lake City Urban Forester regulates the type and location of street trees. Clean trees of proper size and spacing are essential to a successful program. The Parks Department plants some parking strip trees, but they cannot keep up with the demand. Property owners can contact the Urban Forester to obtain information on appropriate trees and obtain permission to plant trees in the parking strip adjacent to their property.



A street lacking curb and gutter is both aesthetically and functionally undesirable.

Summary

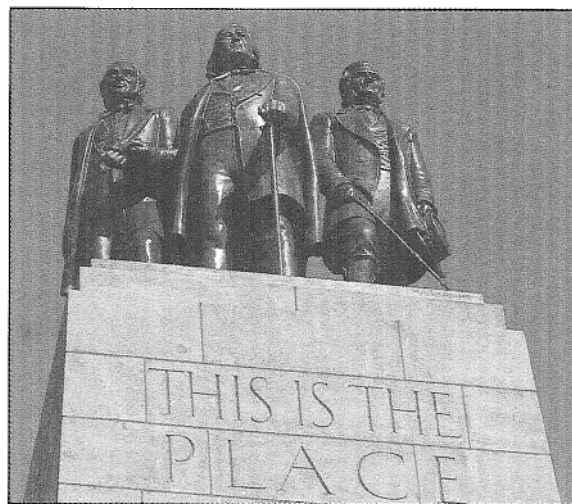
Maintenance of a quality urban environment in the East Bench Community will require a continued effort by the city and community residents. The following summarize opportunities for improvements in all areas of the community.

- Foothill areas considered undevelopable should be protected from urban encroachment, and foothill scars and graffiti should be removed.
- Residential neighborhoods and properties should be the target of ongoing zoning and housing code enforcement efforts.
- Innovative programs should be developed to provide guidelines for the design of new homes and home additions to ensure compatible scale and design.
- Neighborhood business properties should be maintained to compliment rather than detract from their residential settings.
- Landscaping, street tree planting, and infrastructure improvements should be pursued as the means of visually complementing the appearance of private properties.

If implemented, recommendations outlined in this section should be very effective in maintaining and enhancing the urban form and visual appearance of the East Bench Community.

Summary

THE East Bench Community offers a promising future for its residents. A reasonable effort by the city and community residents will maintain and enhance the quality neighborhoods and life style that residents have enjoyed through the years. There are many challenges for the future. Streets and infrastructure must be upgraded in response to increased demands. The city must also respond to increasing traffic problems in a manner that will protect its residential neighborhoods. Housing and neighborhood maintenance will require effective regulations, such as increased zoning and building code enforcement; also a commitment from owners to



This Is the Place Monument, located near the entrance to Emigration Canyon.

maintain their properties. The city cannot maintain neighborhoods unless property owners are committed to maintenance of their properties.

Sites for new multiple-family housing and businesses are very limited. New developments must be sensitive to neighborhood scale and design, while satisfying needs and expectations of the developer. Compatibility with the immediate neighborhood is essential. New developments should not adversely impact residential neighbors.

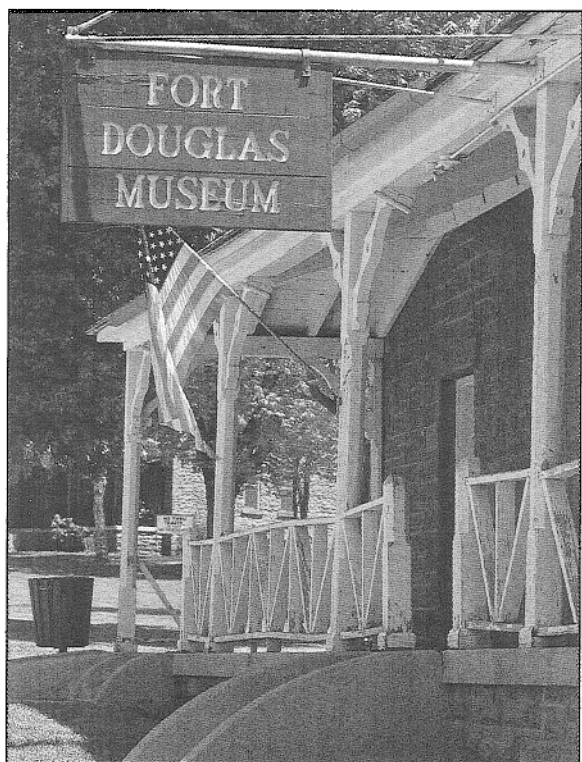
Urban design will play an increasingly important role in neighborhood maintenance and preservation. As the community finishes developing, emphasis will continue to shift from regulating new development to managing and preserving established neighborhoods. Even though neighborhood preservation has been an important concern since the last decade, tools to effectively manage neighborhood stability are continually being developed and refined. Innovative approaches to implementing urban design concepts and proposals may be the solution to many of the problems that the East Bench Community will continue to face.

Appendix I

Zoning Change Compatibility Considerations

PROPOSALS to change zoning for new multiple family residential, or business uses should be evaluated with the following considerations.

- Proponents must demonstrate that any zoning change is clearly justified by the substantive provisions of this master plan.
- There must be a demonstrated need for the new multiple-family/business proposal and documented community support. Property owners must address the issue of housing/business need in the whole city perspective and why the proposed site is the best location with regard to the best interest of the community and city.
- Property must be on a street that can handle the additional traffic.
- The site must be large enough for adequate open space and parking without overcrowding the lot.
- Multiple-family/business projects must be of a density, scale and design that will not negatively impact neighboring residential properties.
- Multiple-family units should not develop in areas with strong low density character. Multiple-unit structures should be combined with or be adjacent to non-residential activities such as retail centers, parks, and schools.
- Zoning should not be changed to accommodate a new business unless it is adjacent to an existing business.
- "Spot or strip" zoning to accommodate new businesses is strongly discouraged.
- New businesses should be designed to be a logical extension of adjacent businesses, maintaining complimentary building design and landscaping motifs.



Fort Douglas, an old but active army base, is located in the East Bench Community.

Appendix II

Capital Improvement Program Summary Tables

PROJECTS identified in the following tables are a combination of projects being presently planned by the city, and needs that have been identified through the planning process. Projects that include funding dates have been approved, and are included in the Capital Improvement Plan, or funded by the Public Utility Enterprise Fund. Projects that are not scheduled have not been funded.

Park Improvement and Development Proposals

Project	Cost Estimate	Year Funded
Miller Park	\$ 50,000	1987-1988
Bonneville Park	150,000	1989-1990
Sunnyside Park	250,000	1990-1991
1600 East-1700 South	461,000	1990-1991
Laird Park	40,000	1990-1991
Washington Park	250,000	1991-1992
Sunnyside Recreation Center	Two million	Not Funded
Foothill View Parks	Cost Unknown	Not Funded
Gateway Visitor Center	Cost Unknown	Not Funded

Street Improvement Proposals

Street Improvement Projects	Cost Estimate	Year Funded
Research Park Street Improvements	\$ 700,000	1986-1987
Sunnyside Avenue (Foothill-Wasatch)	1,900,000	1989-1990
Wasatch Drive (1300 South to Sunnyside Avenue)	Cost Unknown	Not Funded
Guardsman Way	Cost Unknown	Not Funded
Citywide Sidewalk Replacement Program	Cost Unknown	Ongoing

Transportation System Management (TSM) Intersection Improvements

Project	Cost Estimate	Year Funded
1700 South-1300 East	\$ 30,000	1986-1987
Uintah School Turnout*	15,000	1986-1987
1300 South-Foothill	90,000	1987-1988
2100 South-2300 East*	25,000	Not Funded
Guardsman-Sunnyside	25,000	Not Funded
2300 East-Foothill	Unknown	Not Funded
Sunnyside-Wasatch	6,000	Not Funded
University-400 South	12,500	Not Funded
University-200 South	3,600	Not Funded

*Packaged together for construction in 1986 or 1987 subject to receipt of federal funds.

Other Street Needs

Project	Cost Estimate	Year Funded
Correct curb, gutter and sidewalk problems in the St. Mary's area	Cost Unknown	Ongoing
Inventory of local street conditions and needs	Cost Unknown	Not Funded
Sidewalk installation along all streets that do not have sidewalk	Cost Unknown	Not Funded

Water System Improvement Proposals

Project	Cost Estimate	Year Funded
Lakeline Drive line	\$200,000	1986-1987
1700 South feeder line	500,000	1988-1989
St. Mary's Reservoir	310,000	1988-1989

Sanitary Sewer System Improvement Proposals

Project	Cost Estimate	Year Funded
New Lines		
2396 South, 2750 to 2800 East	\$ 30,000	1986-1987
Parley's Way, 2400 to 2442 East	30,000	1986-1987
Sunnyside Ave., 1975 to 2000 East	30,000	1987-1988
2323 South, 2620 to 2640 East	30,000	Not Funded
2100 South, 2821 to 2860 East	35,000	Not Funded
Broadmoor, 1955 to 2025 South	50,000	Not Funded
2830 East, 2225 to 2270 South	40,000	Not Funded

Storm Drainage System Improvement Proposals

Project	Cost Estimate	Year Funded
Emigration Creek Detention Basin		
1700 South-1600 East	\$ 500,000	Not Funded
Red Butte Creek Detention Basin		
1500 East Detention Basin	300,000	Not Funded
Misc. Storm Drainage Construction	2,000,000	Ongoing-Not Specifically Funded

Fire Department Proposals

Project	Cost Estimate	Year Funded
Relocate Fire Station #4	\$ 830,000	1989-1990
Replace Fire Station #10	850,000	Not Funded

Miscellaneous Project/Program Proposals

Project	Cost Estimate	Year Funded
Increased Zoning Enforcement	Cost Unknown	Not Funded
Business Property Design Theme Program	Cost Unknown	Not Funded

Acknowledgements

Mayor:

Palmer DePaulis

City Council:

Florence Bittner, District 1

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Sydney Reed Fannesbeck, District 3

Earl Hardwick, District 4

Thomas M. Godfrey, District 5

Roselyn Kirk, District 6

W. M. "Willie" Stoler, District 7

Planning Commission:

John M. Schumann, Chairman

Thomas A. Ellison

Alice Kasai

LaVone Liddle-Gamonal

Ralph P. Neilson

George Nicolatus

William Price

F. Keith Stepan

Peter J. VanAlstyne

Kathy Wacker

I. J. Wagner

Participating Planning Staff:

Vernon F. Jorgensen, AICP, Planning Director

Allen C. Johnson, AICP, Deputy Planning Director

Brent B. Wilde, Project Director, Planner III

Randolph P. Taylor, Editor, Planner III

Everett L. Joyce, AICP, Planner II

Stephanie Loker, Capital Improvement Planner

Douglas Dansie, Planner I

Gary R. Heintz, Planner I

Dennis Varney, Planning Aide I

Lisa Irene Stocking, Typist, Secretary I

Smith & Clarkson, Graphic Consultants