



MEMORANDUM

PLANNING DIVISION
DEPARTMENT *of* COMMUNITY *and* NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Eric Daems, Senior Planner, eric.daems@slc.gov, 801-535-7236

Date: June 10, 2026

Re: Planned Development and Design Review Time Extension Request for Elliot South at 846 and 850 S. Richards Street

ACTION REQUIRED:

Vote on granting an additional one-year time extension for the Planned Development and Design Review approval for Elliot South.

RECOMMENDATION:

Grant a one-year time extension for the Planned Development and Design Review approvals which would change their expiration date to September 11, 2027.

BACKGROUND/DISCUSSION:

The Elliot South project received Planned Development and Design Review approval on September 11, 2024 (Planning file# PLNPCM2024-00384 and PLNPCM2024-00385). The decision gave approval for a 62-unit mixed-use development with artists' studios and a height of 83'. The project includes a midblock walkway on its south side. On September 10, 2025, the Planning Commission granted a one-year extension request for the original approvals. This request seeks to extend the approvals by an additional year.

The project received Planned Development approval for a reduction in the ground floor setbacks for residential uses and reduced sidewalk width. It was granted Design Review approval for additional building height, reduced ground floor use and visual interest, reduced ground and upper floor glass, and the elimination of the upper floor step back requirement.

Planned Development and Design Review approvals expire in one year from the date of approval. The applicant has been working on the building plans, but due to the current economic situation, is unable to build the building as designed. The applicant is committed to the original vision for the building and is hoping for economic situations to improve within the coming year.

If the extension is approved, the applicant will need to submit complete building plans to Building Services before September 11, 2027.

Staff finds that the project would still meet the conditions of approval and is recommending the Planning Commission approve the extension request.

ATTACHMENTS:

- A. Time Extension Request Letter
- B. Planning Commission (PC) Record of Decision from September 11, 2024
- C. Original Planning Commission Staff Report Packet

ATTACHMENT A: TIME EXTENSION REQUEST LETTER

Hi Amanda and Eric,

Hope this finds you well! We wanted to kindly request an extension request for The Elliott North & South. The current financing environment is extremely challenging; although we've seen some positive changes in debt financing, equity financing for multifamily development in downtown Salt Lake City, candidly the Granary submarket specifically, has seen a lot of challenges. In speaking with groups, they are more optimistic about 2027, but they are basically out of the market the rest of the year. Unfortunately, by the time we narrow down a financing partner and get plans together it will take longer than the 5 months needed to hit our deadline in September of this year. We really appreciate your help with this. We wish we would have been started by now, it's been brutal the past three years.

On another note, there are about 2,767 units remaining to be absorbed in the downtown submarket in the top 25 new lease-ups. Average annual deliver in a year is 3,000 units pre-2019, so a lot of inventory out there. There has never been a better time to rent an apartment unit in Salt Lake City.

Best,
Nicholai



Nicholai Lazarev
Partner | The Boyer Company

101 South 200 East, Suite 200
Salt Lake City, Utah 84111

www.boyer.com

**ATTACHMENT B: PLANNING COMMISSION RECORDS OF
DECISION -From September 11, 2024**

ERIN MENDENHALL
Mayor



DEPARTMENT of COMMUNITY
and NEIGHBORHOODS
PLANNING DIVISION

September 12, 2024

Nicholai Lazarev
The Boyer Company
101 S 200 E
Salt Lake City, UT 84111

RE: Record of Decision for Petition PLNPCM2024-00384 Planned Development & PLNPCM2024-00385 Design Review for the Elliott South Development at approximately 846 S. Richards Street

Dear Nicholai:

On September 11, 2024 the Salt Lake City Planning Commission granted Design Review and Planned Development approval for the property located at approximately 846 S. Richards Street.

This Record of Decision is provided to you indicating the date action was taken, the decision of the Planning Commission including any approval conditions, the one-year time limit on the approval, the limitations on modifications to the plans, and the 10-day appeal period.

Project Description

The Planning Commission reviewed and approved the following project:

Nicholai Lazarev, representative of the Boyer Company, requested approval from the City for a 62-unit multifamily development. The proposed building is 83' tall (seven stories) and will include a midblock walkway on the south side of the property. The site consists of two parcels totaling approximately .49 acres and is in the D-2 Downtown Support District.

A. Planned Development: The project requires Planned Development approval for: A reduction in the ground floor setback requirement for residential uses along Richards Street from 8' to a requested 0' and a reduction of the required sidewalk width in the Downtown Districts from a minimum of 10' to a requested 6' along Richards Street.
Case number: PLNPCM2024-00384

B. Design Review: The project requires Design Review approval for the following modifications: a height of 83' where buildings between 65' – 120' require Design Review approval, use of Ground Floor and Visual Interest option with 73% active ground floor use along Richards Street, in the form of artist work studios, but with a depth of only 15' where 25' would be required, reduction in ground floor glass from 60% to approximately 28%, reduction in upper floor glass from 50% to approximately 26%, and elimination of the upper floor step back requirement of 10' for buildings between 6-8 stories. **Case number: PLNPCM2024-00385**

Conditions of Approval

The following conditions were applied to the approval of the proposal:

1. All signage, lighting, and site details shall be delegated to staff for final review.
2. A public access easement shall be recorded to ensure the midblock walkway is privately maintained but publicly accessible.

Review Process Standards and Findings of Fact

The Planning Commission made specific findings related to the standards of review for Design Reviews as stated in Chapter 21A.59 and Planned Development as stated in Chapter 21A.55 of the Zoning Ordinance. The decision was also based on the purpose of the zoning ordinance, the purpose of the zoning district where the project is located, the information contained in the staff report, the project details provided by you, testimony from the public, and the discussion of the Planning Commission. Copies of this information will be made available online here: <https://www.sl.gov/planning/planning-commission-agendas-minutes/>.

Modifications to the Approved Design Review Plans

To obtain a building permit, all plans must be consistent with the plans reviewed and approved by the Planning Commission. Except where specifically modified by the Planning Commission as a condition of approval, modifications to the approved plans are limited by the following (see 21A.59.080 of the Zoning Ordinance):

Minor Modifications: The Planning Director may authorize minor modifications to approved design review applications as listed below.

1. Dimensional requirements that are necessary in order to comply with adopted Building Codes, Fire Codes, or engineering standards. The modification is limited to the minimum amount necessary to comply with the applicable Building Codes, Fire Codes, or engineering standards.
2. Minor changes to building materials provided the modification is limited to the dimension of the material, the color of the material, or the texture of the material. Changes to a different material shall not be considered a minor modification.

Other Modifications: Any other modifications not listed above will require a new application.

Modifications to the Approved Planned Development Plans

To obtain a building permit, all plans must be consistent with the plans reviewed and approved by the Planning Commission. The plan approved by the Planning Commission constitutes the site design in relation to building placement and design, landscaping, mobility and circulation elements, and any elements that were approved as zoning modifications through the Planned Development process. Modifications to the plan require an application to the Planning Division, and the Planning Director can only approve narrowly defined minor modifications as listed in 21A.55.100B of the Zoning Ordinance. Any modification not listed as a minor modification requires approval by the Planning Commission.

One Year Time Limit on Approvals

No design review approval shall be valid for a period longer than **one year** from the date of approval unless a building permit is issued or complete building plans and building permit

applications have been submitted to the Division of Building Services and Licensing. An extension of one year may be granted by the entity that approved the application. Extension requests must be submitted in writing prior to the expiration of the Design Review and Planned Development approval.

10-Day Appeal Process

There is a 10-day appeal period in which any affected party can appeal the Planning Commission's decision. This appeal period is required in the City's Zoning Ordinance and allows time for any affected party to protest the decision if they so choose. The appeal would be heard by the Appeals Hearing Officer. Any appeal, including the filing fee, must be submitted by the close of business on September 23, 2024.

The summary of action for the Planning Commission meeting is located on the Planning Division's website at:

<https://www.slc.gov/planning/public-meetings/planning-commission-agendas-minutes/>.

If you have any questions, please contact me at 801.535.723 or eric.daems@slc.gov

Sincerely,

A handwritten signature in black ink, appearing to be 'ED', written in a cursive style.

Eric Daems
Senior Planner

cc: Files PLNPCM2024-00384 & PLNPCM2024-00385

ATTACHMENT C: ORIGINAL PC STAFF REPORT PACKET



Staff Report

PLANNING DIVISION

DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Eric Daems, Senior Planner
eric.daems@slcgov.com or 801.535.7236
Date: September 11, 2024
Re: PLNPCM2024-00384 and PLNPCM2024-00385 – Elliott South Development

Planned Development & Design Review

PROPERTY ADDRESS: 846 and 850 S. Richards Street
PARCEL ID: 15-12-277-014 and 15-12-277-015
MASTER PLAN: [Downtown Plan](#)
ZONING DISTRICT: [D-2 Downtown Support District](#)

REQUEST:

Salt Lake City has received a request from Nicholai Lazarev, representative of the Boyer Company, seeking Planned Development and Design Review approval for a mixed-use development at approximately 846 S. Richards Street. The site consists of two parcels totaling approximately .49 acres (21,344 SF). The subject property is in the D-2 Downtown Support District within the Central 9th neighborhood of the Downtown Plan area.

The proposed development consists of two buildings: Elliott North and Elliott South. This staff report is solely reviewing the Elliott South building. The proposed building is seven stories tall and includes 62 units, ranging from studios to two bedrooms. The south side of the property will include a midblock walkway connection, as required in the Downtown Plan.

Planned Development approval is required for the following modifications to the D-2 Downtown Support District zoning standards in [section 21A.30.030](#):

1. Reduction in the ground floor setback requirement for residential uses along Richards Street from a minimum of 8 feet to zero. ([Section 21A.30.030.E.1](#))
2. Reduction of the required sidewalk width within Downtown Districts from a minimum of 10 feet to 6 feet along Richards Street. ([Section 21A.30.010.G](#))

Design Review approval is required for the following modifications to the D-2 Downtown Support District zoning standards in section [21A.30.030](#) and the Design Standards in [chapter 21A.37](#):

1. Buildings over 65 feet in height, up to 120 feet, are subject to Design Review. The proposed development is approximately 83 feet in height. ([Section 21A.30.030.D](#))
2. Projects utilizing the ground floor use and visual interest design standard are subject to Design Review. The D-2 zone requires 70% active ground floor uses to 20% visual interest.

The applicant is proposing 73% active ground floor use along Richards Street, in the form of artist work studios, but with a depth of only 15 feet where 25 feet would be required. ([Section 21A.37.050.A.2](#))

3. Reduction in ground floor glass from 60% to approximately 28%. ([Section 21A.37.050.C.1](#))
4. Reduction in upper floor glass from 50% to approximately 26%. ([Section 21A.37.050.C.2](#))
5. Elimination of the upper floor step back requirement of 10 feet for buildings between 6-8 stories. ([Section 21A.37.050.G](#))

RECOMMENDATION:

Based on the information and findings listed in the staff report, it is the Planning Staff's opinion that the request generally meets the applicable standards of approval and therefore recommends the Planning Commission approve both the Planned Development and Design Review requests with the following conditions:

1. All signage, lighting, and site details shall be delegated to staff for final review.
2. A public access easement shall be recorded to ensure the midblock walkway is privately maintained but publicly accessible.

ATTACHMENTS:

- A. [ATTACHMENT A: Vicinity Map](#)
- B. [ATTACHMENT B: Plan Set](#)
- C. [ATTACHMENT C: Property & Vicinity Photos](#)
- D. [ATTACHMENT D: D-2 & Base Zoning Standards](#)
- E. [ATTACHMENT E: Planned Development Standards](#)
- F. [ATTACHMENT F: Design Review Standards](#)
- G. [ATTACHMENT G: Public Process & Comments](#)
- H. [ATTACHMENT H: Department Review Comments](#)

PROJECT DESCRIPTION

Project Location

The subject property is located on the west side of Richards Street between 800 and 900 South and consists of two parcels totaling .49 acres. The site is within the Central 9th Community Council boundary and the Downtown Plan area. The map on the right highlights both the Elliott North and Elliott South project areas. They are being developed at the same time, but reviewed separately because the parcels are not contiguous.

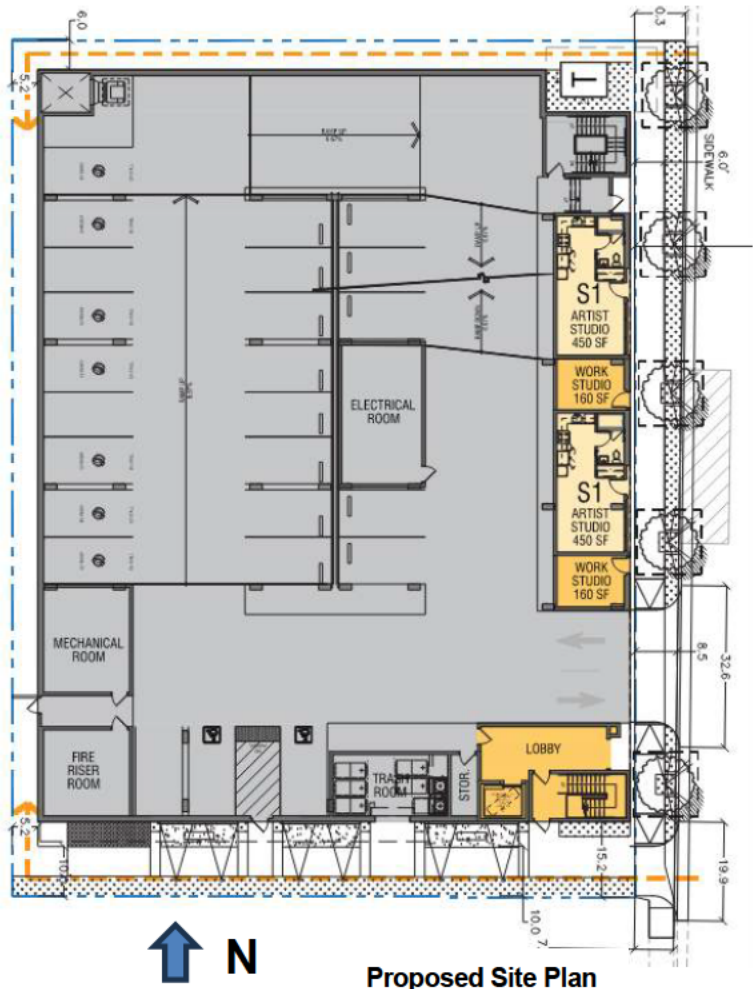




Quick Facts	
Height:	82' 8" (7 stories)
Number of Residential Units:	62
Unit Types:	Studio (2), 1-bedroom (27), 2-bedroom (33)
Ground Floor Uses:	Artist Studio (2), Work Studio (2), lobby
Exterior Materials:	Brick, fiber cement board, stucco, with aluminum awnings and storefront details, perforated metal panel railing
Parking:	90 stalls
Review Process & Standards:	Planned Development, Design Review, D-2 zoning standards, and general zoning standards

Proposed Development

The Elliott development consists of two buildings: Elliott North and Elliott South. Elliott South, which is the building being reviewed in this report, is located at 846 S. Richards Street. The property has 173 feet of frontage on the west side of Richards Street. The Elliott North property at approximately 29 W. 800 South is located on the east side of Richards Street. The overall development will provide 328 units, a midblock walkway connection, and retail space along 800 South. Elliott North offers 266 units that are smaller in size, and Elliott South offers 62 units with larger floorplans geared towards families. Because the two sites are not contiguous, the proposals were reviewed separately for compliance with the Planned Development, Design Review, and D-2 Downtown Support zoning standards. Planning staff is recommending approval of both projects.



Elliott South

The Elliott South project is proposed as a 7-story mixed-use development with 62 dwelling units including studio, one-, and two-bedroom layouts, in addition to ground level studio/work space for artists. The building is approximately 83 feet tall to the top of the parapet wall and consists of five levels of residential units on top of a two-story concrete parking podium using stick-frame construction. The development will include a leasing office, indoor bike storage, and a nearly 2,700 square foot outdoor landscaped amenity deck on the 4th level to the rear of the property.

The facade will include brick, glass, smooth and textured fiber cement panels, stucco, and aluminum storefronts with metal railings along the balconies, which are inset by 5' 6". The parking area will be shielded from view by perforated metal panels. The proposed building materials meet the durable material requirements of the D-2 zone.

The design includes plane, material, and color changes to break up the mass of the building vertically and horizontally. The ground floor has 28% glazing, which allows for additional privacy for the residents. Additional visual interest is provided along both the front façade and the side facing the midblock walkway in the form of mural space that will be available to local artists. The building also features pedestrian scale architectural elements such as recessed entries, awnings, lighting, and landscaping enhancements.



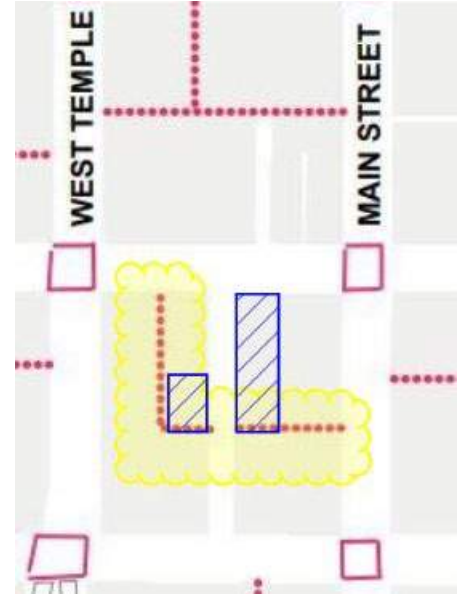
Building Rendering with Materials

The development is providing 90 parking stalls in a 3-level parking garage interior to the building. The garage is accessed from a single driveway from Richards Street. The property is within the Urban Center parking context, which requires a minimum of 47 stalls for this development. Sidewalk, curb, gutters, street lighting, and a landscaped park strip will also be installed as part of the project.

Neighborhood Context

The property and the surrounding blocks are zoned D-2 Downtown Support District. Immediately north of the development there is an apartment building, the Charli, which has 91 units. A University of Utah development spans the western and southwestern length of the block face between Richards Street and West Temple. The Elliott North proposal will be located directly east of this development and will extend to 800 South. South of the Elliott North project area includes property (30 W 900 S) that recently received Design Review approval for a multifamily building with 145 units.

As required in the Downtown Plan, there is a midblock walkway that will provide an east-west pedestrian connection on the southern side of the property. This midblock connection will continue east across Richards Street, visually linking Elliott North to the Elliot South development. The connection is intended to continue east to Main Street as the surrounding properties redevelop as well as hook to the north to connect with 800 South. The midblock walkway map to the right shows the subject properties in blue with the midblock walkways highlighted in yellow.



APPROVAL PROCESS AND COMMISSION AUTHORITY

Per section 21A.55.030 of the Zoning Ordinance, the Planning Commission may approve a Planned Development as proposed or may impose conditions necessary or appropriate for the Planned Development to comply with the standards. The Planning Commission may deny an application for a Planned Development if it finds that the proposal does not meet the intent of the base zoning district (D-2), does not meet the purpose of a Planned Development, or is not consistent with the standards and factors as set forth in section 21A.55.

Design Reviews may be approved administratively or when required, by the Planning Commission. Per section 21A.59.030 of the Zoning Ordinance, the Planning Commission shall approve a project if it finds that the proposal complies with the purpose of the zoning district and applicable Overlay District(s), the purpose of the individual design standards that are applicable to the project, and the project is compliant with the design review objectives. The Commission may also add conditions or modifications.

KEY CONSIDERATIONS

The key considerations listed below were identified through the analysis of the project:

1. Requested Zoning Modifications
2. Compliance with City Goals & Policies Identified in Adopted Plans

Consideration 1: Requested Zoning Modifications

Design Standards Modifications:

- Increase maximum building height in the D-2 Downtown Support District from 65 feet to approximately 83 feet; buildings over 65 feet require Design Review approval.
- Utilize the ground floor use and visual interest standard, which requires Design Review. The active ground floor uses are proposed as artist/work studios but are only 15' deep where 25' would be required.
- Decrease ground floor glass requirement from 60% to 28%.
- Decrease upper floor glass requirement from 50% to 26%.
- Modify upper floor step back requirement of 10 feet for buildings between 6-8 stories.

Planned Development (D-2 Zoning District Modifications):

- Reduce the 8-foot setback requirement for residential uses to zero along Richards Street.
- Reduce the required sidewalk width from 10 feet to 6 feet along Richards Street.

Additional Building Height

The building has a height of approximately 83 feet, including the parapet and elevator bulkhead. The average building height to the roofline is approximately 72 feet. The D-2 zoning district allows for a maximum building height of 120 feet through the Design Review process. The building includes five levels of residential units situated over two levels of structured parking that is wrapped with artist/work studio units on the ground floor along Richards Street.

The intent of the Design Review standards is to break up the overall mass and scale of the building façade, to provide for human scale, and pedestrian connectivity. The design features a distinct base middle and top section that help visually reduce the height of the building. The ground floor includes studio live/work units with entrances accessible from the sidewalk and the façade is articulated and includes elements to create visual interest at the ground level. Vertical and horizontal elements such as recessed balconies and changes in building material contribute to its design and break up the overall building mass. Landscaping and street trees further add to the pedestrian scale and experience.



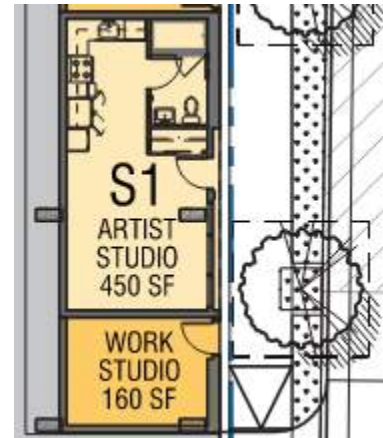
East Façade- Showing Building Massing

Considering the development potential of surrounding properties and the overall building design, the additional height is not expected to have adverse impacts. The building will be of similar height to a newly entitled development further to the south along Richards Street and to the Charli apartments to the north.

Ground Floor Use & Visual Interest

Projects utilizing the ground floor use/visual interest design standard in 21A.37.060 require design review approval. The ground floor use/visual interest option allows for some flexibility in the amount of required ground floor use, but in return requires additional design requirements for the purpose of creating increased visual interest and pedestrian activity where the lower levels of buildings face streets or sidewalks. This option identifies the required percentage of ground floor space that must be an active use, and the percentage of the building which must provide visual interest.

The active ground floor use requirement in the D-2 zone is 80%, but the ground floor use requirement may be reduced to 70% if the project also provides 20% visual interest. The project provides 73% ground floor activation along Richards Street in the form of artist studio/work spaces. These flexible spaces extend 15' into the building where 25' would typically be required, but that too can be modified through the design review process. The reduced depth is needed to accommodate circulation for the interior parking lot within the building. The artist spaces are intended to contribute to the liveliness and walkability of the street, while offering a unique arrangement that is not otherwise available in the area. The building incorporates various design elements to ensure visual interest: the frontage features recessed entries, awnings, rich materials, and space for art. The ground floor units are 450 square feet, with an attached 160 square foot work studio.



Artist Studio/Work Spaces along Street Frontage



Ground Floor Rendering

Reduced Upper & Lower Floor Glass Percentages

In the D-2 zoning district, the ground floor glass requirement is 60%, and the upper floor glass requirement is 50%. The applicant is seeking approval to decrease the glass percentage on ground floor to 28% and the upper levels to 26%.

The ground floor includes 73% active uses in the form of artist/work studios. While glass has been provided, the design seeks to balance transparency with the need for privacy. A lobby and the building

entrances also prioritize glass and transparency. Where glass is not provided, the façade uses brick and two panels for murals. Overall, the ground floor is inviting and lively.

The upper floors have 26% glass but also feature architectural details such as balconies which are inset by 5' 6" and 50% durable materials. Reduced glass on the upper floor is necessary to accommodate unit bathrooms and wall space within the residential units.



Ground Floor Transparency

Modified Upper Floor Stepback

The applicant is requesting to modify the upper floor stepback requirement, which mandates that a minimum of 80% of the upper floors be set back at least 10 feet. Buildings ranging from six to eight stories are to provide a minimum stepback of 10 feet at least 25 feet above grade. Additionally, 20% of the entire building façade can meet the street at the lot line with no stepback. Building stepbacks serve to enhance the pedestrian experience on the ground floor, creating a more human-scale environment. Additionally, they facilitate the penetration of light and airflow in confined urban spaces.

Even though the literal standard of the code has not been met, the building does incorporate a design which visually reduces the mass of the building with definitive base, body, and top sections. The building features recesses, fenestration, and articulation to pedestrian level detailing to create a more human-scale experience. The building has similar massing to the adjacent apartments to the north.

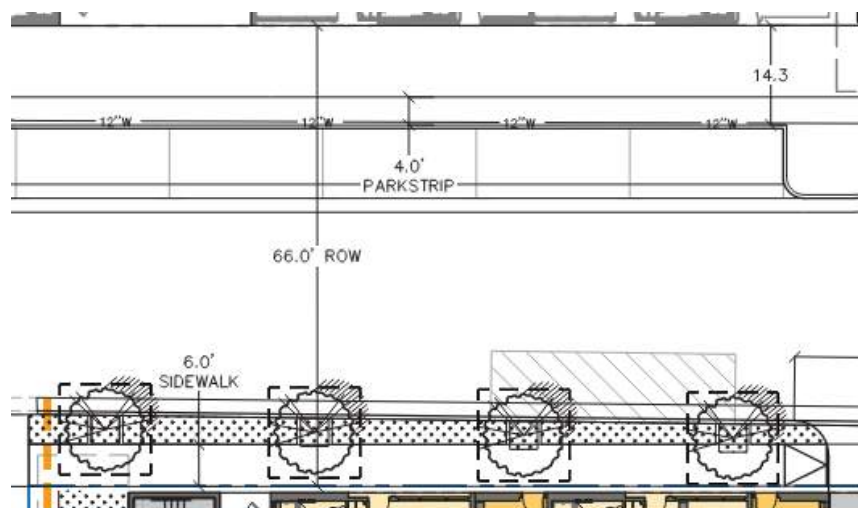
Modified Front Yard Setback

In the D-2 Downtown Support District zone, buildings typically adhere to a maximum front and corner side yard setback of 10 feet, without a specified minimum. However, buildings with ground floor residential uses are required to provide a front yard setback ranging from 8 to 16 feet.

In effort to provide a more active frontage and streetscape, the development is proposing artist/work studios along the ground floor. The space helps create a more inviting and vibrant space along Richards Street, which currently has no active uses. By adding the artist space and through other improvements to the site and streetscape, the development meets many master plan objectives for the area.

Reduced Sidewalk Width

In all Downtown districts, sidewalks are to have a clear walking path that is at least 10 feet wide. Richards Street is a 66' wide right of way and currently has no sidewalks or park strips. The applicant has worked with the Transportation Division to accommodate two travel lanes, on-street parking, a 6' sidewalk (west side of the road), a 10' sidewalk (east side of the road), and 4' landscaped park strips on both sides of the street. These enhancements create a more accommodating and pleasing streetscape than could be created otherwise given the narrowness of the street. The active ground floor uses, and architectural features of the building create an enhanced pedestrian experience.



Richards Streetscape and Right of Way Improvements

Consideration 2: Compliance with City Goals & Policies Identified in Adopted Plans

Plan Salt Lake (2015)

Plan Salt Lake is a comprehensive, citywide vision designed to create a framework for managing the City's growth. The plan establishes a series of citywide policies that address crucial aspects like placemaking, density management, the integration of various land uses, and enhanced connectivity. Each Guiding Principle is linked to a range of initiatives that work to carry out the shared vision: a city that is inclusive, resilient, and economically prosperous. Applicable initiatives from the plan are below.

Neighborhoods: Vibrant neighborhoods are fundamental to the health and vitality of Salt Lake residents and visitors. Neighborhoods within Salt Lake City should enhance residents' quality of life by ensuring access to basic goods, services, and amenities, and providing opportunities for social

interaction. Community gathering spaces may vary in size and use, but should be designed to be safe, distinctive, and engaging.

- *Maintain neighborhood stability and character.*
- *Support neighborhoods and districts in carrying out the City's collective Vision.*
- *Create a safe and convenient place for people to carry out their daily lives.*
- *Support neighborhood identity and diversity.*
- *Support policies that provide people a choice to stay in their home and neighborhood as they grow older and household demographics change.*
- *Encourage and support local businesses and neighborhood business districts.*
- *Provide opportunities for and promotion of social interaction.*
- *Improve the usefulness of public rights-of-way as usable public space.*

Growth: Responsible growth should minimize developments impact on the natural environment by focusing on transit-oriented development, concentrating density in areas already served by existing infrastructure, and promoting best practices in building and urban design.

- *Locate new development in areas with existing infrastructure and amenities, such as transit and transportation corridors.*
- *Encourage a mix of land uses.*
- *Promote infill and redevelopment of underutilized land.*
- *Accommodate and promote an increase in the City's population.*

Housing: As the City's population continues to grow, providing residents with access to a wide variety of housing types that are not only attainable, but affordable, is a top priority. This involves preserving the existing housing stock, increasing the number of new family-sized housing units, and strategic placement of new development transit and neighborhood nodes. Ongoing efforts should focus on reducing barriers to obtaining housing, enabling residents to age in place, and taking proactive measures to address displacement.

- *Increase the number of medium density housing types and options.*
- *Encourage housing options that accommodate aging in place.*
- *Direct new growth toward areas with existing infrastructure and services that have the potential to be people-oriented.*
- *Enable moderate density increases within existing neighborhoods where appropriate.*

Transportation & Mobility: The establishment and enhancement of the City's transportation networks is pivotal to advancing a vibrant and connected community, where all residents live within ¼ mile to a transit option. The continued investment in a variety of transportation modes, from public transit and cycling infrastructure to widened sidewalks and the creation of midblock walkways, will create a more accessible and sustainable urban environment.

- *Create a complete circulation network and ensure convenient equitable access to a variety of transportation options by:*
 - *Having a public transit stop within ¼ mile of all residents.*
 - *Expanding pedestrian and bicycle networks and facilities in all areas of the City.*
- *Prioritize connecting residents to neighborhood, community, regional, and recreation nodes by improved routes for walking, biking, and transit.*
- *Reduce automobile dependency and single occupancy vehicle trips.*
- *Make walking and cycling viable, safe, and convenient transportation options in all areas of the City.*

- *Incorporate pedestrian oriented elements, including street trees, pedestrian scale lighting, signage, and embedded art, into our rights-of-way and transportation networks.*

Air Quality: Air quality has been identified as one of the most important issues facing residents of Salt Lake City. Initiatives should be directed to reduce greenhouse gas emissions and create opportunities for reduced individual and citywide energy consumption.

- *Protect and enhance the existing urban forest, including street trees.*

Beautiful City: The built environment should match the grandeur of Salt Lake City’s natural setting. Urban design elements should incorporate high quality materials, building standards, and should focus on improving the pedestrian experience.

- *Reinforce downtown as the visually dominant center of the City through the use of design standards and guidelines.*
- *Use art to create and reinforce a sense of place, including embedded art in infrastructure of all sizes.*
- *Support and encourage architecture, development, and infrastructure that:*
 - *Is people-focused;*
 - *Responds to its surrounding context and enhances the public realm;*
 - *Reflects our diverse cultural, ethnic, and religious heritage; and*
 - *Is sustainable, using high-quality materials and building standards.*
- *Promote and expand the City’s street lighting program throughout the City.*
- *Promote increased connectivity through mid-block connections.*
- *Protect, maintain, and expand the City’s urban forest, including the provision of adequate space and infrastructure for street trees to thrive.*

Arts & Culture: Salt Lake City is the regional hub for entertainment, culture, and arts. The City’s parks, plazas, streetscapes, and public spaces should be venues for artistic and creative expression. Art should be used to support community identity, expression, and character.

- *Support and encourage public art.*

Economy: Salt Lake City is the economic center of the region. Initiatives should support economic growth of all sizes from small entrepreneurial endeavors to major employers.

- *Support the growth of small businesses, entrepreneurship, and neighborhood business nodes.*

Staff Discussion: The proposed development helps fulfill numerous objectives of Plan Salt Lake within 8/13 areas of focus. The proposal seeks to establish neighborhood character and identity with dedicated studio spaces for artists along the ground floor and facades which include art panels along the street frontage and midblock walkway. The focus on art will not only beautify the space but will create a sense of place within the neighborhood.

The building will be in scale with nearby existing/proposed multi-family developments and will include a diverse mix of unit types ranging from studio to 2-bedroom. It also includes unique studio/work units which will support growth of small art businesses within the neighborhood. The wide array of unit types provided will allow for aging in place and accommodate people in different stages of life.

The development will replace underutilized land within the D-2 zone and provide medium density housing in support of the Central Business District. The site is in an area with existing infrastructure and within an established street network but will make substantial improvements to both. The proposal includes upgrades to utilities and will provide landscaped park strips with street trees, streetlights, sidewalks, and curb and gutters. The improvements will make the area more inviting and livable. Landscaping and provided trees within the park strips and on the 4th level terrace will have a positive impact to the air quality.

The location of the proposed development is well serviced by transit and is less than two blocks to the nearest TRAX station and is in the vicinity of multiple bus routes. The development will provide a convenient place for residents to live, access jobs, and pursue entertainment opportunities. The midblock walkway will improve connectivity and shorten walking routes through the neighborhood.

Downtown Plan (2016)

The Downtown Plan envisions a city that is livable, walkable, and connected, provides housing choice and affordability, is welcoming and safe, and incorporates a mix of public and private amenities. The subject property is in the Central 9th neighborhood, which provides housing choice, small scale commercial, and access to transit.

The plan includes the following best practices for urban residential developments:

- Outdoor access to usable outdoor space, such as a private yard, patio, or porch or a shared courtyard or rooftop deck.
- Individuality and identity of ground floor units with coherent massing and landscaping within the private zones of said units.
- Choice and convenience of onsite amenities, such as a gym or rooftop patio.
- Safety and security, transitions between public and private realms, orientation to the sidewalk and street, and clear views from inside to out to increase pedestrian safety.
- Unobstructed views and sunlight to public or semi-private outdoor spaces. Outdoor spaces, such as the western facing rooftop terrace, are located to receive direct sunlight during most days of the year.
- Ground floor active uses with noticeable feature changes above the ground floor.

Staff Discussion: The project aligns with the goals of the Downtown and Central 9th District by expanding the housing options, creating small business opportunities through studio spaces, providing space for arts and culture, and increasing walkability by adding midblock connections and streetscape amenities. The project also meets the following Central 9th initiatives to, “Respond to needs of the arts community (including creative commercial manufacturers and suppliers to artists and cultural organizations) by developing district-level targets for arts programs and assets” by providing housing and work studio options for artists at affordable rates.

The proposal incorporates the listed best practices for urban residential developments by including a large western-facing outdoor landscaped terrace and amenity space, unique active ground floor units, improved landscaping, and a safe transition between public and private spaces.



DISCUSSION

Approving the Design Review and Planned Development requests will result in a better product than what could be built under the base D-2 zoning regulations alone. By implementing the more stringent design standards of Design Review, the development incorporates better architectural detailing while relating to nearby buildings. The increased height allows for additional, and much needed, residential density, which is supported by both Plan Salt Lake and the Downtown Master Plan.

While the applicant is asking for a reduced front yard setback and sidewalk width, the overall development will enhance the pedestrian experience along Richards Street through architectural detailing and much needed landscaping and right of way improvements. The proposal meets the purpose of the Planned Development, which is to enable more efficient use of the land and results in a more enhanced product that meets the development goals within the Downtown Master Plan and Plan Salt Lake.

STAFF RECOMMENDATION

Staff is recommending approval of the Design Review and Planned Development petitions. The proposal meets the standards and objectives of both review processes. By following the more stringent standards of Design Review and Planned Development process, a more enhanced product is achieved than would be through the strict application of the regulations within the D-2 zoning district alone.

NEXT STEPS

Approval of the Requests

If the petitions are approved by the Planning Commission, the applicant will need to comply with the conditions of approval, including any of the conditions required by City departments and the

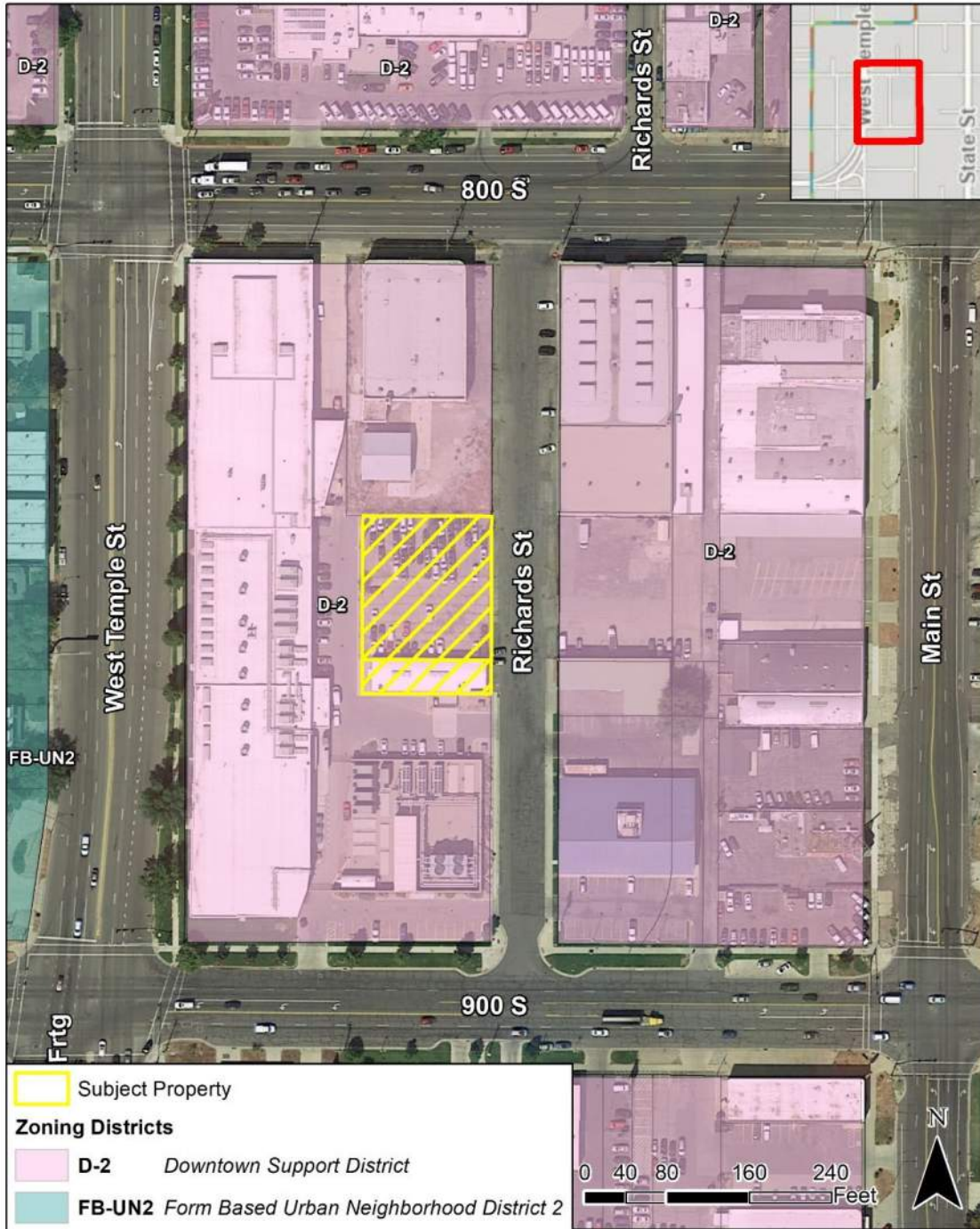
Planning Commission. A lot consolidation will need to be finalized and recorded with Salt Lake County prior to a building permit being issued. Unless specified in the zoning ordinance as a minor modification, any modification to the development plan must be reviewed and approved by the Planning Commission.

Denial of the Requests

If the petitions are denied, the applicant would be required to redesign the building to meet the standards of the D-2 Downtown Support District and the applicable Design Standards in chapter 21A.37. The applicant would not need to comply with the more stringent design standards required through the Design Review process and would not need to meet the objectives or standards for a Planned Development.

ATTACHMENT A: Vicinity Map

Elliot South



Salt Lake City Planning Division 8/9/2024

ATTACHMENT B: Plan Set



Dear Salt Lake City Planning Division,

We are pleased to present the Elliot, a 338-home multifamily community spanning five separate parcels in two buildings along 800 S and Richards Street. Currently, the site houses Downtown Self Storage, a self-storage and RV parking business, as well as a single-story office building. The Boyer Company has partnered with long-time owners of the property, the Wolfe family, who founded and sold Salt Lake City-based Wolfe Sporting Goods.

The community will focus on providing spaces that enable our resident's innate creativity while promoting the incredibly talented creative community of Salt Lake City. Along the podium wall on Richards Street, the project will provide outdoor stamped concrete frames for local artists to mount their canvases, effectively creating a pedestrian "art walk." These frames can be used seasonally and rotated throughout the year. Within the building itself, we focus on creator spaces for musicians, podcast creators, and artists in addition to health and wellness amenities expected by our residents. The smaller 60-home building will provide larger floorplans geared towards young families looking for a quiet, safe, and secluded refuge. Each building provides distinct courtyards with ample green space and vegetation, a quiet space or an active fitness deck depending on each resident's preference.

The building façade provides breaks both vertically and horizontally using architectural projections, fur-outs, and enhanced materials that change in color and texture. The articulation is a tribute to the cape chisel technique for rough-cutting slabs of granite out of quarry walls, while the layers below are smoothed and processed. There are an array of architectural inserts and reveals expressed as recessed balconies and vertical circulation visible from the outside. Together, these design choices seek to enrich the urban environment and emphasize the dynamic pedestrian realm at the project's base.

The community is an 8-minute walk from the 900 S 200 W Trax Station, a 2-minute walk to the 900 S bus stop and adjacent to the newly reconstructed pedestrian-friendly 900 South corridor. The north building is an 8-story mixed-use community with 2,000 square feet of retail along 800 South, 278 homes, a subterranean parking garage, and almost 14,000 square feet of outdoor and indoor amenities. The south building is a 7-story community with 60 homes catering to residents seeking larger spaces along with 2,700 square feet of shared amenities.

Our goal is to create a community that will allow residents to thrive where they live and continue to grow, beautify, and invest in their neighborhood well into the future. The creative force in Salt Lake City is at the vanguard of bringing to life authentic, vibrant places. Through thoughtful placemaking and tailored spaces we aim to foster this engine of creative growth and ultimately create a true sense of place that will last for decades.

Sincerely,

Jake Boyer
CEO
The Boyer Company

Planned Development

1. Project Description:

- Description of your proposed use. If involving a residential development Include number, size, and type of dwelling units in each building, and the overall dwelling unit density.
- A complete description of the proposed planned development including the zoning regulations being modified.
- When the proposed planned development includes provisions for common open space or recreational facilities, a statement describing the provision to be made for the care and maintenance of such open space or recreational facilities.
- Describe the plan for long-term maintenance of all private infrastructure as stated in 21A.55.110 of the planned development ordinance.

The Elliott South project represents an exciting opportunity to transform a 0.49-acre site, formerly occupied by a vacant parking lot and a photo lab, into a vibrant urban living space within the Central Ninth District as outlined in The Downtown Plan. Our vision for this development involves the creation of a 62-unit apartment complex that seamlessly integrates modern design elements with a blend of architectural styles, reflecting the dynamic character of the surrounding neighborhood.

The proposed 7-story development features a 5-story Type III-A building atop a 2-story Type I-A podium. Parking is provided on the first 2 levels of the podium along with a single subterranean garage level meeting the on-site parking requirements.

To enrich the fabric of our community, the Elliott South project goes beyond traditional residential offerings by incorporating affordable artists' studios and a dynamic creative space on the ground floor, strategically positioned along Richards Street. This intentional design choice fosters community engagement with local artists while also invigorating pedestrian activity within the area.

In addition, the project features a proposed public 15' east-west mid-block walkway on the southern side, further enhancing pedestrian connectivity and encouraging the flow of foot traffic through the area and promoting neighborly interactions.

This Planned development application is to ask for a modification to the D-2 Downtown Support district's yard and sidewalk requirements.

Per section 21A.30.030.E, the front, and Corner Side requirements: There is no minimum setback. The maximum setback is ten feet (10'). Buildings that contain ground floor residential uses shall have a front yard setback of a minimum of eight feet (8') and a maximum setback no greater than 16'.

And per section 21A.30.010.G, the sidewalks must be a clear walking path that is a minimum of 10’.

However, due to the projects aiming at providing a vibrant and active public right-of way and to maximize this street-level interaction, the building is built up to the property line, with a 0-foot setback where the artist studios are along Richards Street. And with a 9’ wide sidewalk that includes street trees.

2. Planned Development Information:

- Demonstrate how your project meets the purpose and at least one objective of a planned development as stated in **21A.55.010** of the planned development ordinance.

21A.55.010: PURPOSE STATEMENT:

A planned development is intended to encourage the efficient use of land and resources, promoting greater efficiency in public and utility services, and encouraging innovation in the planning and building of all types of development. Further, a planned development implements the purpose statement of the zoning district in which the project is located, utilizing an alternative approach to the design of the property and related physical facilities. A planned development incorporates special development characteristics that help to achieve City goals identified in adopted Master Plans and that provide an overall benefit to the community as determined by the planned development objectives. A planned development will result in a more enhanced product than would be achievable through strict application of land use regulations, while enabling the development to be compatible with adjacent and nearby land developments. The city seeks to achieve at least one or any combination of the following objectives through the planned development process. Each objective includes strategies that are intended to be used to determine if an objective has been accomplished through a specific proposal:

- A. Open Space and Natural Lands
- B. Historic Preservation
- C. Housing
- D. Mobility
- E. Sustainability
- F. Master Plan Implementation.

D. Mobility: Enhances accessibility and mobility:

1. Creating new interior block walkway connections that connect through a block or improve connectivity to transit or the bicycle network.

Elliott South provides an enhanced mid-block connector as intended by Section 21A.30.010.F

2. Improvements that encourage transportation options other than just the automobile.

Elliott is strategically positioned within a 0.3-mile radius of existing TRAX lines and stations located along 200 West, encouraging residents to adopt walking, biking, and public transit as their primary modes of transportation in lieu of relying on automobiles. Transit connections are many as TRAX, the Downtown Streetcar, and 900 south streetcar connects central Ninth to adjacent neighborhoods and beyond. Additionally, the project is conveniently situated near the proposed green loop linear park system outlined in the Downtown Plan, further enhancing the accessibility and appeal of green, sustainable transportation options for its residents.

The Downtown Plan also adopted the expansion of Mid-block walkway network to improve the pedestrian environment. A 15' east-west mid-block connection is situated on the southern side of the building, making it easier to go from one block to another.

- Demonstrate how your project meets the standards for planned developments as stated in **21A.55.050** of the planned development ordinance; and

- A. Planned Development Objectives
- B. Master Planned Compatibility
- C. Design and Compatibility
- D. Landscaping
- E. Mobility
- F. Existing Site Features
- G. Utilities

A. Planned Development Objectives: As mentioned in the previous section, the project aligns with the Mobility Objective by offering a pedestrian-friendly design that includes a 15-foot wide east-west mid-block walkway, fostering a walkable environment. Furthermore, its location is conveniently just 0.3 miles from the nearest TRAX line and transit stations, enhancing the development's connectivity and support for alternative transportation modes beyond personal vehicle use.

B. Master Planned Compatibility: The Project is in The Downtown Plan, specifically in the Ninth District. The proposed plan is consistent with Central Ninth initiatives. Aligning with Salt Lake City's vision for a vibrant urban realm, ELLIOTT is poised to provide attractive, high-quality housing and deliver a prosperous, walkable community for current and future residents.

C. Design and compatibility:

The building's massing and height is directly relatable to existing and proposed multifamily and mixed-use developments in immediate proximity but also within a 1-mile radius.

The building's mass is broken up both in horizontal and vertical planes, with a distinct base that relates to pedestrian urban experience, but also an architectural language with clean,

deliberate moves that sculpt the proposed mass an organically driven portions or distinct building sections, which are additionally articulated visually by changes in materiality and color.

Numerous architectural details enhance the richness of the facade, including inset balconies with distinct materiality, enhanced materials applied on an actual articulated form vs. a simple surface application and deep reveals around most fenestration.

The ground floor architecture along Richard St. strives to maximize the available fenestration for the proposed Live-Work spaces, but it is biased towards maximizing the available natural light without compromising the ability of the users to satisfy their need for privacy and perceived safety. Each space will still maintain large, operable fenestration and a floor-to-ceiling height that is superior to most existing developments in the area for this product type.

The facade treatment and articulation intend to the first two floors of all public facing building sides, which for the “South” Building includes the Richard Street frontage, but also the 15' wide mid-block connection to the South of the property, with an experience that responds to familiar, human scaled elements, reminiscent of an upscale commercial street.

The porosity and transparency of the ground floor along Richard Street, although reduced below the 60% mandated by code to allow privacy for the residential uses along it, aspires to make up for it by providing a rich experience of art installations, that if were to be included in the calculation, should result with the project meeting not only the intent of the City's master plan, but also the letter with more than 60% of the street-facing ground floor wall area catering towards stimulating the interest of pedestrians along the property edges."

- D. Landscaping: Elliotts “South” landscaping approach aims to incorporate native plants and reduce the impact on the natural environment. The proposed landscaping proposing is appropriate for the scale of the development and will be coordinated with the public art installations around the building’s base, along with the programmatic requirements of the common open spaces the residents will enjoy on the elevated courtyard.
- E. Mobility: Elliott's residents have access to multiple transportation options, enhancing mobility and convenience. The development features a three-level parking structure with entry from Richards Street, including dedicated electric vehicle parking spaces. In line with sustainable practices, residents are urged to utilize bikes and walking as alternatives to driving. The building is also situated near bus stops and TRAX lines and stations, facilitating the use of public transit. And secure bike storage is available within the parking structure. Additionally, the mid-block walkway system improves pedestrian safety and connectivity between blocks.

- F. Existing Site Features: The current site features an unoccupied parking lot. This site is slated for redevelopment; the storage building will be replaced by a new multifamily residential structure. The ground floor of this building will be designed as an interactive and engaging space aimed at revitalizing the neighborhood, provide needed housing and providing additional benefits to the community.
- G. Utilities: The proposed and existing utilities will adequately serve the development and not have a detrimental effect on the surrounding area.

- Demonstrate how the proposed planned development is compatible with other property in the neighborhood.

The Elliot South development has been designed to seamlessly integrate with the character and vision of Salt Lake City and the diverse mixed-use landscape of its surrounding neighborhood. By incorporating residential and artists/work studios elements, our development mirrors the vibrant tapestry woven by neighboring properties, extending its influence up to a mile radius.

The architectural language is thoughtfully curated to resonate with the neighborhood's rhythm, presenting a tiered elevation that subtly transitions from two stories to eight stories. This thoughtful approach not only respects the scale of the surrounding buildings but also enhances the visual cohesion of the area. In close collaboration with the City and with valuable input from community engagements, we aim to cultivate a pedestrian-friendly atmosphere along Richards Street while also establishing a dynamic mid-block connection to facilitate urban connectivity and movement.

The proposed parking solution has been carefully integrated into the fabric of Elliot South, with above and below-ground parking strategically distributed to seamlessly blend with the existing traffic flow and maintain the neighborhood's inherent accessibility without imposing visual clutter.

At the core of our vision is a commitment to redefining the residential experience within Salt Lake City, setting a new standard for contemporary urban living. We have selected durable, premium materials and embraced a design philosophy that seamlessly integrates indoor and outdoor spaces, elevating the quality of life for residents.

Throughout the project's development, we have prioritized collaboration and maintained open lines of communication with both the City and the local community. Our dedication to inclusivity is evident in the incorporation of public spaces accessible to all, the provision of affordable live-work options for local creatives, and the integration of public art along pedestrian routes, enriching the built environment and fostering a sense of community and individual well-being.

In essence, Elliot South is not just a place to reside; it is a dynamic hub where residents can truly thrive, contributing to the enduring narrative and vitality of our community.

ELLIOTT SOUTH

DESIGN REVIEW

SALT LAKE CITY, UTAH





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ELLIOTT SOUTH
SALT LAKE CITY, UT





Located Southwest of the site of the former Wolfe Sporting Goods warehouse, this proposed 62-unit urban apartment community is situated in the heart of the Central Ninth District, a growing enclave aspiring to deliver unique experiences and exceptional spaces appealing to the next generation of young professionals. Paying homage to prominent Salt Lake City businessman, sports enthusiast, and owner of Wolfe Sporting Goods Elliott Mitchell Wolfe, **ELLIOTT SOUTH** celebrates the local mountain scenery and adventurous spirit of its namesake.

Comprising of a podium building west of Richards Street, the design concept behind **ELLIOTT SOUTH** envisions the building as a granite mountain sculpture which have been gradually separated over time. The interior of the sculpture opens to reveal surprising layers of rock exposing different minerals and veins. The architecture features an array of inserts and reveals, expressed as recessed balconies and vertical circulation that are visible from outside.

The building façades provide breaks both vertically and horizontally using architectural projections, fur-outs, enhanced materials, and changes in color and texture. The angled walls on the top of the building along the North and East facades allow for a pulsating, dynamic play with reflections and shadows as the daylight changes, altering the way viewers perceive the massing. Together, these design choices balance the vertical and horizontal articulation, enriching the urban environment and emphasizing the dynamic pedestrian realm.

Overall, the proposed development gives the North-South connection along Richard Street the potential to become a vibrant and engaging public space that supports and promotes public interest at a pedestrian level.

The ground level of the **ELLIOTT SOUTH**, with its series of wall canvases for local street artists, will be a key part of this. By providing a dedicated space for street artists to showcase their work, the City is creating a public place where people can come together to appreciate art, connect with others, and explore their city in new ways.

Centrally located at 846 Richards Street with easy access to TRAX, the freeway, and city street corridors, **ELLIOTT SOUTH** consists of a single 7-story building with subterranean parking, 62 residential units, and 2,697 square feet of shared outdoor amenities located on the third floor and 320 square feet of work studios located on the ground floor.

Aligning with Salt Lake City's vision for a vibrant urban realm, **ELLIOTT SOUTH** is poised to provide attractive, high-quality housing and deliver a prosperous, walkable community for current and future residents.



SALT LAKE CITY DEVELOPMENT STANDARDS				
Subject	Code	Current Zoning	Provided	
General Plan/ Zoning	Section 21A.30.030	D-2	D-2	
Lot Size Requirements		No minimum lot area or lot width shall be required	0.49 AC	
Minimum Yard Requirements		Front & Corner Side Yard	No minimum, maximum setback 10'. Ground floor residential uses shall have a front yard setback of a minimum of 8' and a maximum setback of 16'	No setback is provided along Richards Street. The design situates artist studios and workshops along the sidewalk, creating an active and dynamic street front that encourages interaction between pedestrians and artists, fostering a vibrant community connection.
		Interior Side Yards & Rear Yards	No minimum, maximum 10' when adjacent to zoning district with max 35' height.	North interior side yard: 6' South interior side yard: 15' Rear yard: 5'-2"
Max Building Height		Max 120' Buildings over 65' are subject to design review	82'-8"	
Impact Controls and General Restrictions	Section 21A.30.010	Refuse Control must be covered and enclosed or screened. Lighting shall be design to not create glare on adjacent properties.	Refuse is fully screened inside the Parking structure. Lighting will follow code.	
Restrictions on parking lots & structure		Parking shall be located behind principal buildings or incorporated into the principal building provided the parking is wrapped on street facing facades with a use allowed in the zone other than parking.	Parking is located behind studios and workshops along Richards street on the ground floor.	
Mid Block Walkway		A minimum of 15' wide and include a minimum 6' wide unobstructed path. The midblock walkway may be incorporated into the building provided it is open to the public. A sign shall be posted indicating that the public may use the walkway.	15' wide Mid-block walkway with a minimum 6' wide unobstructed path is provided on the southern side of the project.	
Sidewalks		Sidewalks must be a clear walking path that is a minimum of 10' wide.	A 6' clear sidewalk walking path is provided along Richards street with 4' of parkstrip.	
Loading		Section 21A.44.070	Multi Family : 1 short Berth (80-200 du) 2 short Berths (Greater than 200)	N/A

SALT LAKE CITY DEVELOPMENT STANDARDS				
Subject	Code	Current Zoning	Provided	
Parking	Section 21A.44 & Salt Lake City Off-Street Parking Standards Manual	Studio	no minimum - 2 maximum	1
		1 Bedroom	0.5 minimum - 2 maximum	1
		2 Bedrooms	1 minimum - 3 maximum	1.85
		3 Bedrooms	1 minimum - 3 maximum	N/A
		Retail	1 space per 1,000 SF	N/A
		Dimensions	8'-9"x17'-6" with 23'-4" drive aisle/ 9'-0"x17'-6" with 22'-7" drive aisle	9'-0"x17'-6" with 22'-7" drive aisle
		Parking adjacent to wall/column, where door opening is impacted	Stalls that are located adjacent to a wall/column need to be 1' wider	9'-6"x17'-6"
		Driveway Width	Minimum 12' single lane and 24' for two-lane. Maximum 30'	N/A
		Minimum Accessible Spaces Required	Provide 1 per 25 parking space if the provided parking spaces is between 1 to 100.	Complies. Required: 4 stalls Provided: 4 stalls
		Bicycle	Residential Uses: 1 per 3 units Commercial Use : 1 per 4,000 SF	Complies. Required: 20 spaces if open and 10 spaces if enclosed Provided: 10 spaces The Bicycle parking is enclosed inside the parking structure.
			Each 1 bicycle parking space that is within a secure/enclosed bicycle parking facility may be used to satisfy the requirement of two (2) required bicycle parking spaces. min 6' x 2' with 6" gap between the stalls	
		Electric Vehicle Parking	At least 1 parking space shall be provided for every 25 parking spaces provided. In addition, 20 % of the stalls provided shall be EV READY	Complies. Required: 22 stalls Provided: 22 stalls



1 PHOTO LAB



2 VACANT LOT



3 EXISTING STORAGE



4 VACANT LOT



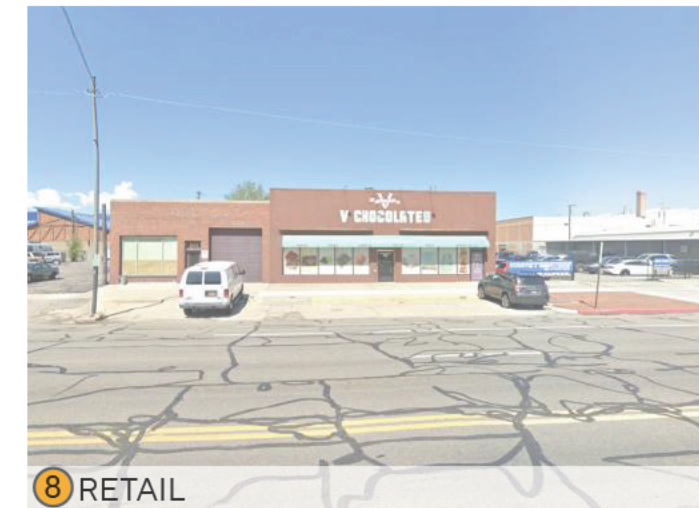
5 SHELTER



6 POST OFFICE



7 CAR SHOWROOM



8 RETAIL



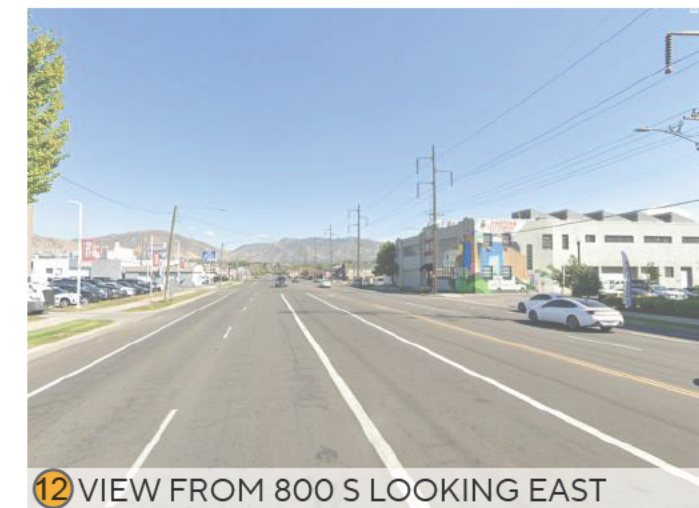
9 MULTI FAMILY APARTMENTS



10 INDUSTRIAL



11 VIEW FROM 800 S LOOKING WEST



12 VIEW FROM 800 S LOOKING EAST





**BOYER COMPANY
800 S SLC APARTMENTS**

PROJECT DESCRIPTION - SOUTH BUILDING

A 62 UNIT 5-STORY TYPE III-A RESIDENTIAL BUILDING OVER A 2-STORY TYPE I-A PARKING PODIUM WITH AN ADDITIONAL 1 LEVEL OF SUB-T PARKING.

GROSS LAND AREA:	± 0.49	ACRES
BUILDING AREA (GFA):	± 131,026	SQ. FT.
BUILDING AREA (EXCLUDING PARKING):	± 76,826	SQ. FT.
PARKING AREA:	± 54,200	SQ. FT.
TOTAL UNITS:	62	UNITS
DENSITY:	127	DU/AC
FAR:	3.55	FAR
WORK STUDIO:	320	SQ. FT.
EXISTING ZONING:	D-2 (DOWNTOWN SUPPORT DISTRICT)	

BUILDING SUMMARY - SOUTH BUILDING

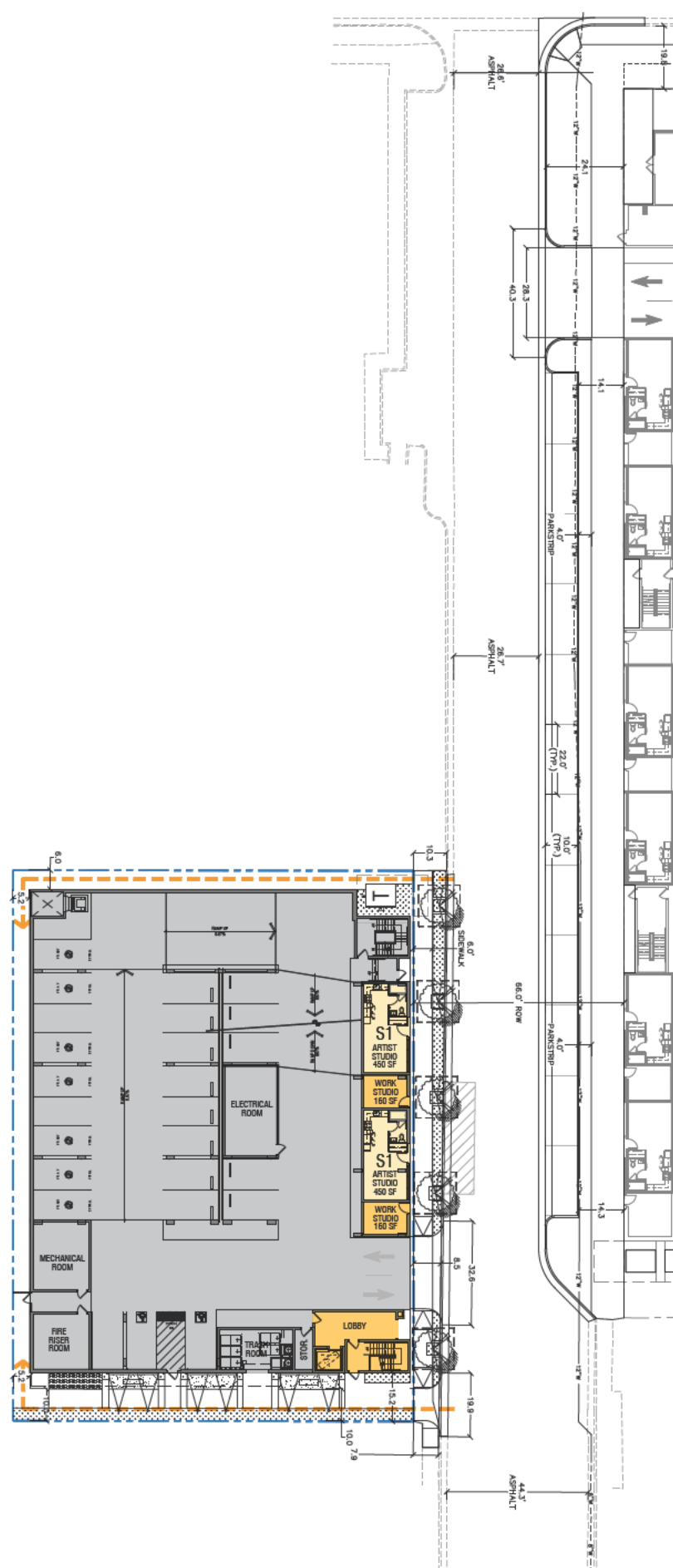
UNITS	LEVEL 3	LEVEL 4	LEVEL 5	LEVEL 6	LEVEL 7	-	%	TOTAL
S1	2	-	-	-	-	-	3.2%	2
1 BR	2	0	0	0	0	-	3.2%	2
A1	2	2	2	2	2	-	16%	10
A1.2	1	0	0	0	0	-	2%	1
A2	2	2	2	2	2	-	16%	10
A2.2	1	1	1	1	1	-	8%	5
A3	1	-	-	-	-	-	2%	1
1 BR	7	5	5	5	5	-	43.5%	27
B1	0	1	1	1	1	-	6%	4
B1.2	1	1	1	1	1	-	8%	5
B2	3	3	3	3	3	-	24%	15
B3	1	2	2	2	2	-	15%	9
2 BR	5	7	7	7	7	-	53.2%	33
TOTAL	14	12	12	12	12	-	100%	62

UNIT SUMMARY - SOUTH BUILDING

UNIT TYPE	UNIT NET AREA	NUMBER OF UNITS	TOTAL NET AREA (NOT INCLUDING BALCONY)	BALCONY AREA	PRIVATE OPEN SPACE AREA (BALCONY)	%	UNIT %
S1	452	2	904	0	0	3.2%	3.2%
A1	734	10	7,340	45	450	16%	43.5%
A1.2	684	1	684	45	45	2%	
A2	811	10	8,110	60	600	16%	
A2.2	943	5	4,715	60	300	8%	
A3	724	1	724	0	0	2%	
B1	975	4	3,900	56	224	6%	53.2%
B1.2	1,117	5	5,585	56	280	8%	
B2	1,138	15	17,070	65	975	24%	
B3	960	9	8,640	45	405	15%	
TOTAL	930	62	57,672		3,279		

PARKING SUMMARY - SOUTH BUILDING

RESIDENTIAL PARKING PROVIDED			
UNIT TYPE	NO. OF UNITS	REQUIRED RATIO	STALLS REQUIRED
STUDIO	2	1.00	2
1 BEDROOM	27	1.00	27
2 BEDROOM	33	1.85	61
TOTAL	62	1.45 S/DU	90
PARKING PROVIDED			
RESIDENTIAL			90
TOTAL STALLS PROVIDED		RATIO: 1.45	90
ACCESSIBLE STALLS REQUIRED			
	PROVIDED STALLS	REQUIRED RATIO	STALLS REQUIRED
RESIDENTIAL	90	1 PER 25	4
TOTAL ACCESSIBLE PARKING REQUIRED			4
TOTAL ACCESSIBLE PARKING PROVIDED			4
NOTE: THE FIRST ADA STALL IS VAN ACCESSIBLE.			
EVCS PARKING REQUIRED			
	PROVIDED STALLS	REQUIRED RATIO (1 EV PER 25 STALLS)	EV CAPABLE STALLS REQUIRED
RESIDENTIAL	90	EVSE: 1 PER 25 EV-READY: 20 %	4 18
TOTAL EVCS PARKING REQUIRED			22
TOTAL EVCS PARKING PROVIDED			22
NOTE: THE REQUIRED EVCS ARE INCLUDED IN THE PROVIDED PARKING COUNT.			
BICYCLE REQUIREMENTS			
		REQUIRED RATIO	STALLS REQUIRED
RESIDENTIAL	62	1 PER 3 UNITS	20
TOTAL BICYCLE REQUIRED			20
TOTAL BICYCLE PROVIDED			10
NOTE: Secure/Enclosed bicycle parking - Each one (1) bicycle parking space that is within a secure/enclosed bicycle parking facility may be used to satisfy the requirement of two (2) required bicycle parking spaces.			

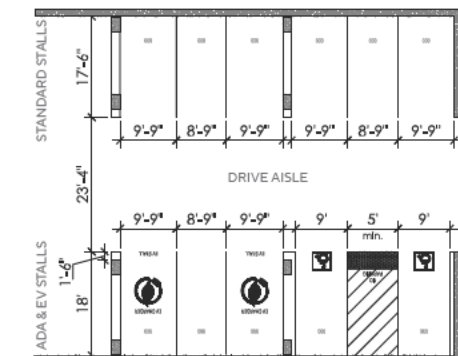


LEGEND

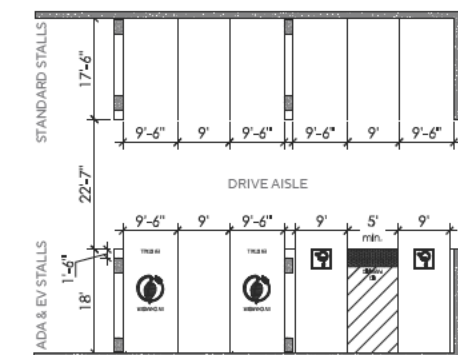
- RETAIL
- LEASING & AMENITIES
- RESIDENTIAL
- PARKING
- 150' FIRE HOSE PULL

PARKING DIMENSIONS

NORTH BUILDING



SOUTH BUILDING



Per Salt Lake City Off-Street Parking Manual and code Section 21A.44:
 North Building Stalls Dimensions: 8'-9"x17'-6" with 23'-4" drive aisle.
 South Building Stalls Dimensions: 9'-0"x17'-6" with 22'-7" drive aisle.
 The stall width for parking spaces located adjacent to walls or columns, where door opening is impacted, shall be one foot (1') wider to accommodate door opening clearance and vehicle maneuverability.



ELLIOTT SOUTH
SALT LAKE CITY, UT



CONCEPTUAL SITE PLAN



10

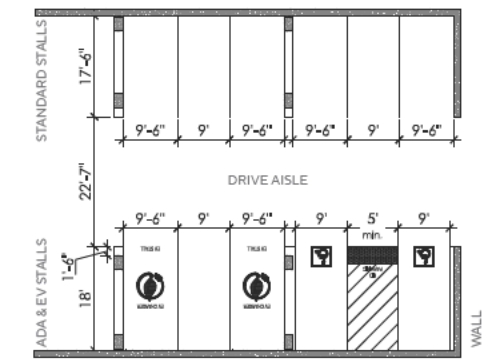
SCALE: 1"=50'
 JOB NO.: 2022-0255
 DATE: 07-22-2024

LEGEND

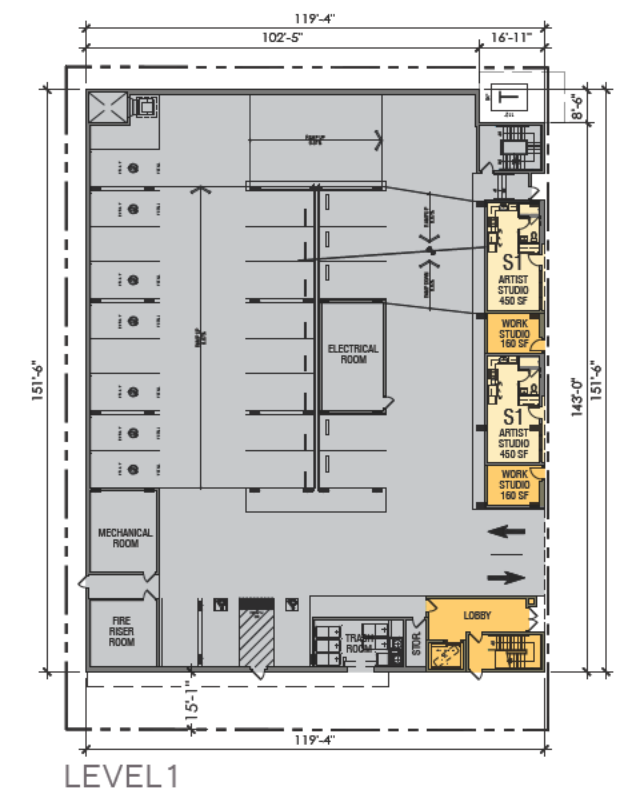
- RETAIL
- LEASING & AMENITIES
- RESIDENTIAL
- PARKING

PARKING DIMENSIONS

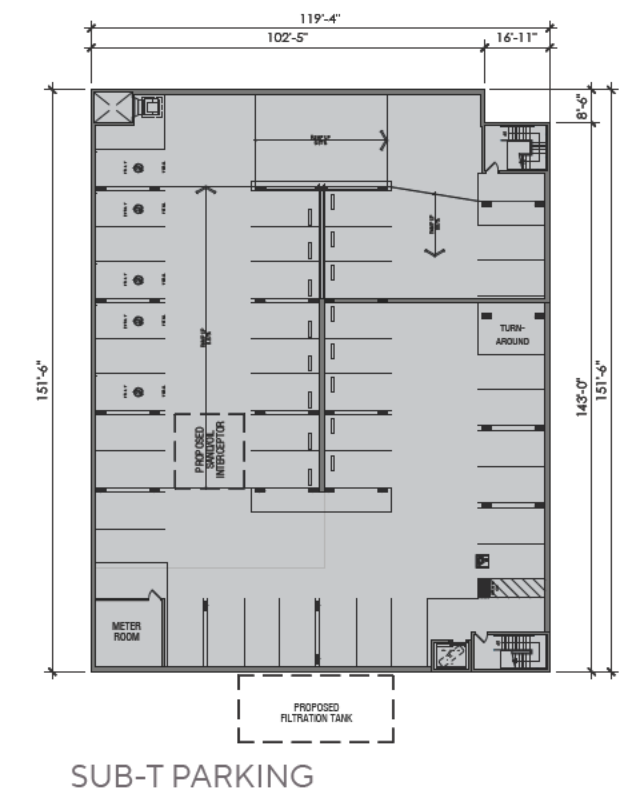
SOUTH BUILDING



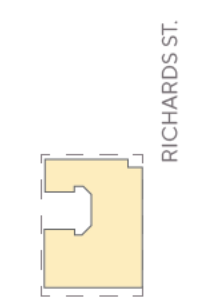
Per Salt Lake City Off-Street Parking Manual and code Section 21A.44:
 South Building Stalls Dimensions: 9'-0"x17'-6"
 with 22'-7" drive aisle.
 The stall width for parking spaces located adjacent to walls or columns, where door opening is impacted, shall be one foot (1') wider to accommodate door opening clearance and vehicle maneuverability.



LEVEL 1



SUB-T PARKING

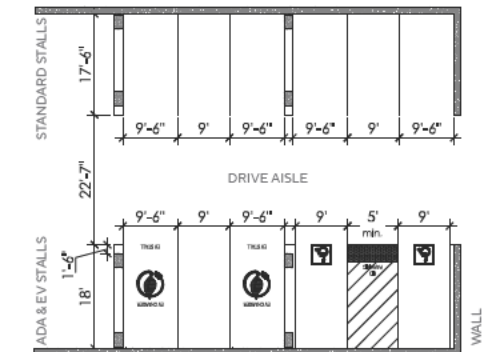


LEGEND

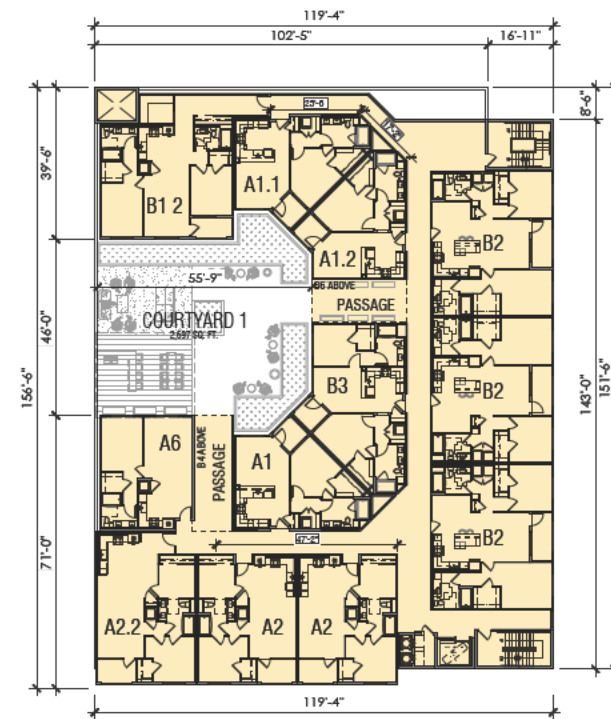
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- LEASING & AMENITIES
- RESIDENTIAL
- PARKING

PARKING DIMENSIONS

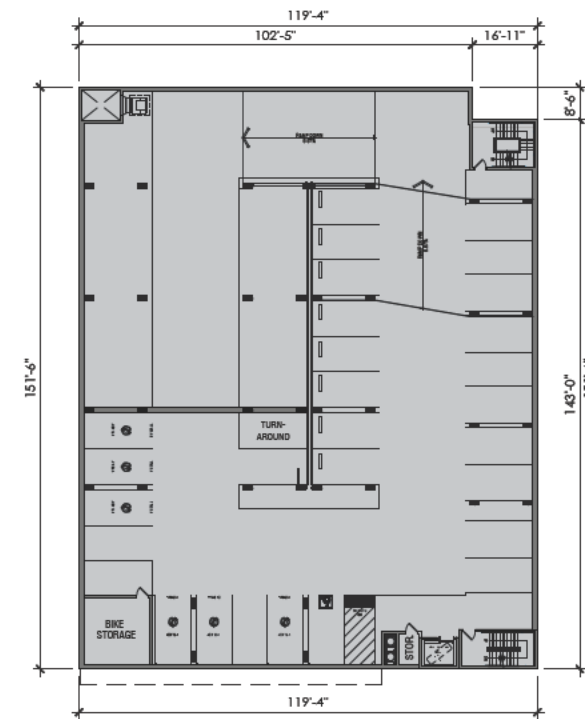
SOUTH BUILDING



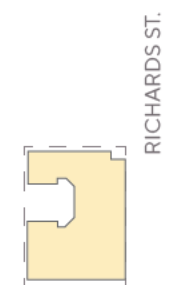
Per Salt Lake City Off-Street Parking Manual and code Section 21A.44:
 South Building Stalls Dimensions: 9'-0"x17'-6"
 with 22'-7" drive aisle.
 The stall width for parking spaces located adjacent to walls or columns, where door opening is impacted, shall be one foot (1') wider to accommodate door opening clearance and vehicle maneuverability.



LEVEL 3

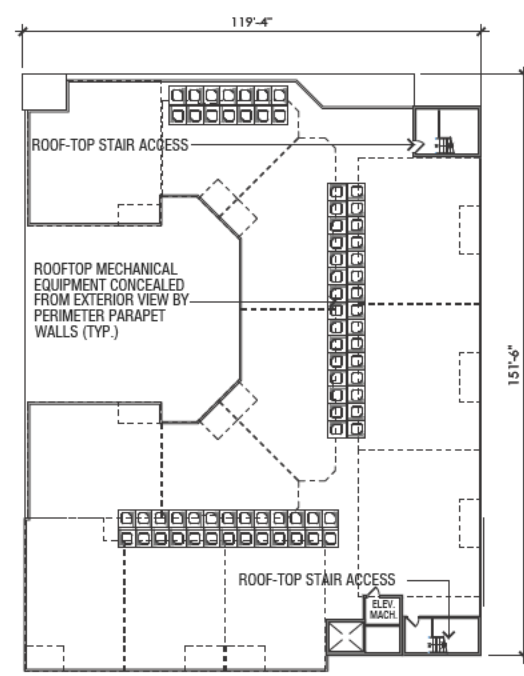


LEVEL 2

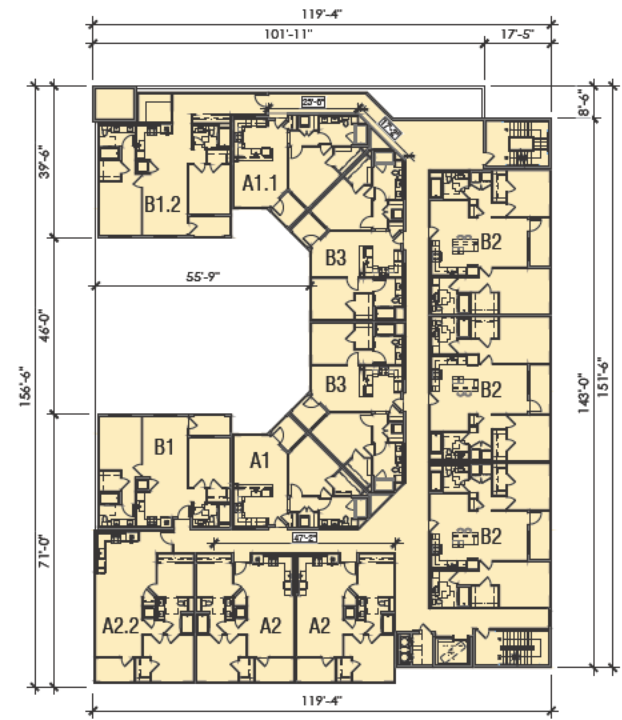


LEGEND

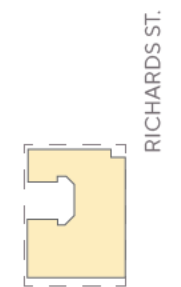
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- LEASING & AMENITIES
- RESIDENTIAL
- PARKING



ROOF



LEVELS 4-7





EAST ELEVATION



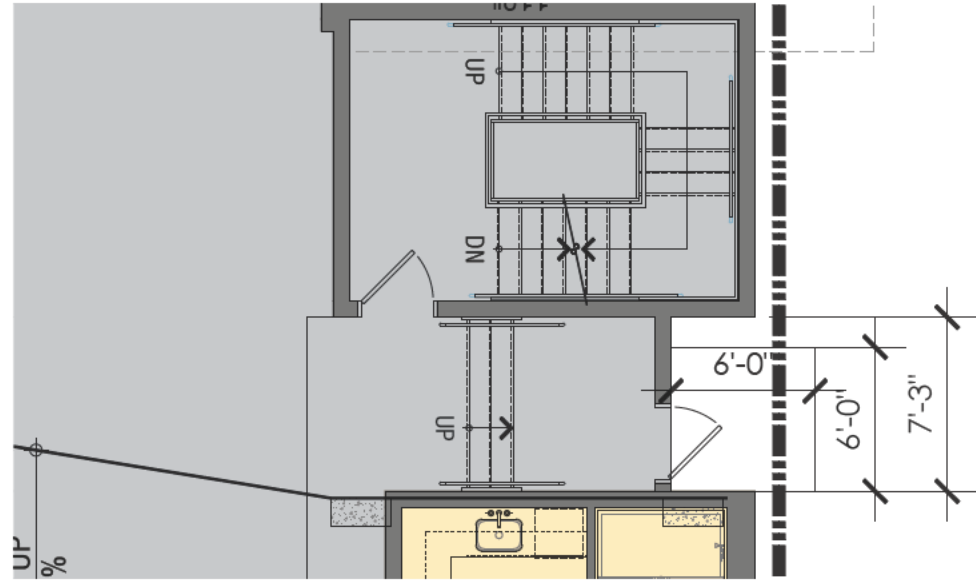
SOUTH ELEVATION



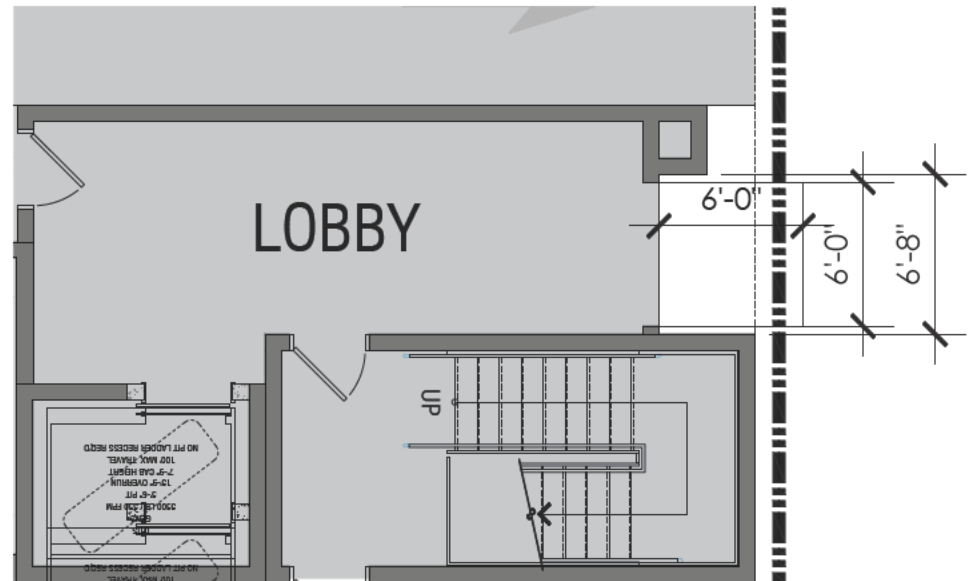
WEST ELEVATION



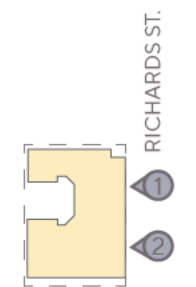
NORTH ELEVATION



1. ENTRY FROM RICHARD ST.

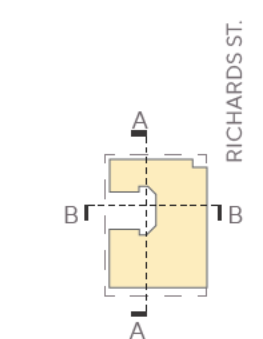
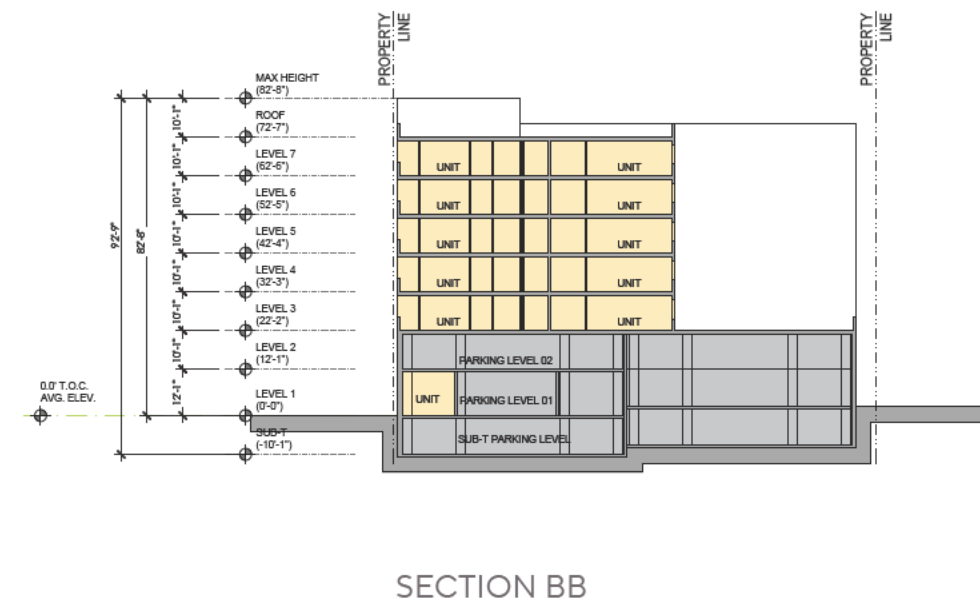
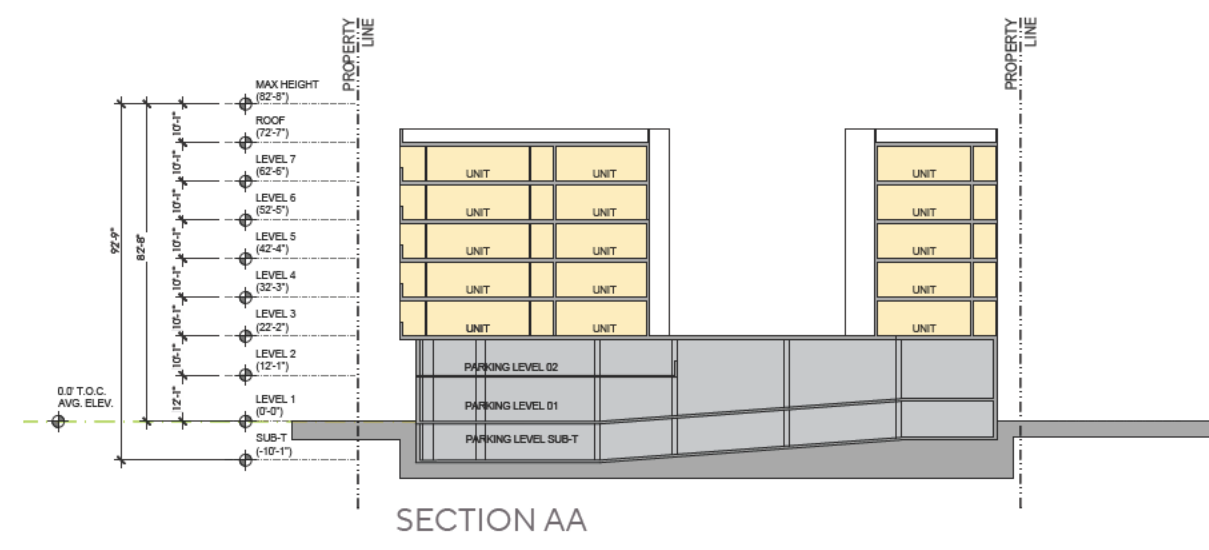


2. ENTRY FROM RICHARD ST.



LEGEND

- RETAIL
- LEASING & AMENITIES
- RESIDENTIAL
- PARKING



ELLIOTT SOUTH
SALT LAKE CITY, UT

CONCEPTUAL SECTIONS





1. STUCCO
LIGHT SAND FINISH



5. PERFORATED
METAL PANEL RAILING



2. THIN BRICK
LIGHT SAND FINISH



6. ALUMINUM AWNING
CUSTOM
BLACK OR DARK BRONZE



3. FIBER CEMENT BOARD
EQUITONE TECTIVA
OR EQUIVALENT



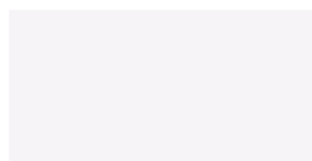
7. ALUMINUM STOREFRONT
CUSTOM
BLACK OR DARK BRONZE



4. FIBER CEMENT BOARD
NICHIHA LATURA
V-GROOVE OR
EQUIVALENT



8. VINYL WINDOW
BLACK OR DARK BRONZE



A. SW 7006
EXTRA WHITE



B. SW 9153
MOONLIT ORCHID



C. SW 6258 TRICORN
BLACK

DESIGN STANDARDS 21.A.37		
STANDARDS (CODE SECTION)	D-2	NOTES
Ground floor use (%) (21A.37.050.A.1)	80	The Project follows Option 2 (Ground Floor use + Visual interest)
Ground floor use + visual interest (%) (21A.37.050.A.2)	70/20	Single-story studio and work spaces and pedestrian entrance takes up 73% of the street-level frontage along Richards Street, extending 15 feet deep into the building. The street-facing facade sides ensure complete visual engagement through a diverse selection of materials, distinct architectural elements, variations in the facade, and the use of color.
Building materials: ground floor (%) (21A.37.050.B.1)	80	The ground floor façades wall area facing Richards Street includes 65.7 % of durable materials. This includes porcelain tile, metal panels & fiber cement boards along with stucco. If we were to add the glassing areas totaling 28.6% we would comply with the 80% requirement.
Building materials: upper floors (%) (21A.37.050.B.2)	50	The Upper Levels façades fronting Richards Street include a min of 37.3 % of durable materials. This includes porcelain tile, metal panels & fiber cement boards along with stucco.
Glass: ground floor (%) (21A.37.050.C.1)	60	The East Façade facing Richards Street will have as much as 28.6 % glazing. Due to the uses that face Richard street, which are a mix of dwelling units, artist studios and building services, the level of porosity was limited to allow for privacy, but also safety. To compensate for this while meeting the intent for visual interest and ground floor activation at a pedestrian scale, the facades are proposing increased architectural detailing, and the implementation of artistic elements, like murals (10%), ensuring a stimulating engagement with both transient and resident users.
Glass: upper floors (%) (21A.37.050.C.2)	50	The upper floors of the proposed project are exclusively residential in use and we've tried to provide as much glazing surface area as it would be conducive with the intended use. Porosity remains at 25.9% for the expanse of whole floors, but it is raised to above 40% if we consider the surface area of individual units, all of which are provided with generous fenestration and a virtual "floor-to-ceiling" openness in every space but for back-of-house / bathrooms etc.
Reflective Glass: ground floor (%) (21A.37.050.C.1)	0	Complies. Glazing will be selected and specified to be Low-E for high thermal efficiency, yet low reflectivity. We propose 0% "Reflective" glass on the Ground Floor.
Reflective Glass: upper floors (%) (21A.37.050.C.2)	50	Complies. Glazing will be selected and specified to be Low-E for high thermal efficiency, yet low reflectivity. We propose 0% "Reflective" glass on the upper floors.
Building entrances (feet) (21A.37.050.D)	40	Complies. Along Richards Street, the building includes 2 main entrances and 4 entrances for individual artist apartments and artist workshops that are spaced at maximum and various intervals of 29'-10" or less.
Blank wall: max length (feet) (21A.37.050.E)	20	Complies. The maximum length of any blank wall uninterrupted by windows, doors, art or architectural detailing at the ground floor level along Richards street is 15'-3" or less thus we comply with code requirements.
Street facing facade: max length (feet)(21A.37.050.F)	200	Complies. The facade facing Richards Street spans 143 feet.

DESIGN STANDARDS 21.A.37		
STANDARDS (CODE SECTION)	D-2	NOTES
Upper floor step back (feet) (21A.37.050.G.1)	X	The 7-story building does not meet the 10-foot step back regulation along Richards Street. Project seeks Design Consideration.
Lighting: exterior (21A.37.050.H)	X	Complies. All proposed lighting will be shielded and directed down per code.
Lighting: parking lot (21A.37.050.I)	X	Not applicable. Project is not located adjacent to a residential zone or land use. However, the parking structure lighting proposed is internal ceiling mounted and will comply with code.
Screening of mechanical equipment (21A.37.050.J)	X	Complies. All mechanical equipment to be screened from public view and sited to minimize their visibility and impact.
Screening of service areas (21A.37.050.K)	X	Complies. All service areas, loading docks, refuse containers and similar areas are fully screened from public view.
Parking garages or structures (21A.37.050.M)	1	The Parking structure is wrapped by uses along Richards street.
	2	Façade elements align to parking levels. No sloped surface is visible from the public street, trail or open space.
	3	Ramp between levels located on the western façade. Only a small portion of the ramp on the eastern side is screened by uses and not visible from the adjacent public streets or public spaces.
	4	Elevators and stairs to be highlighted through the use of architectural features and change of material, color and texture.
	5	Signage and wayfinding will be integrated with the architecture of the parking structure and be architecturally compatible with the design. The entrances of public parking structures will be clearly signed from public streets.
	6	Interior parking garage lighting will not produce glaring sources toward adjacent properties while providing safe and adequate lighting levels.
	7	Where a driveway crosses a public sidewalk, the driveway will have a different color, texture, and paving material than the sidewalk.
	8	The ground floor of the parking structure is wrapped along Richards street with permitted or conditional uses.
	9	Vent and fan locations are not placed on parking garage façades facing public streets or public spaces, or adjacent to residential uses, to the greatest extent practicable.
	10	The parking structure is adjacent to a midblock walkway on the south where pedestrian oriented elements are provided.

DESIGN STANDARDS 21.A.37

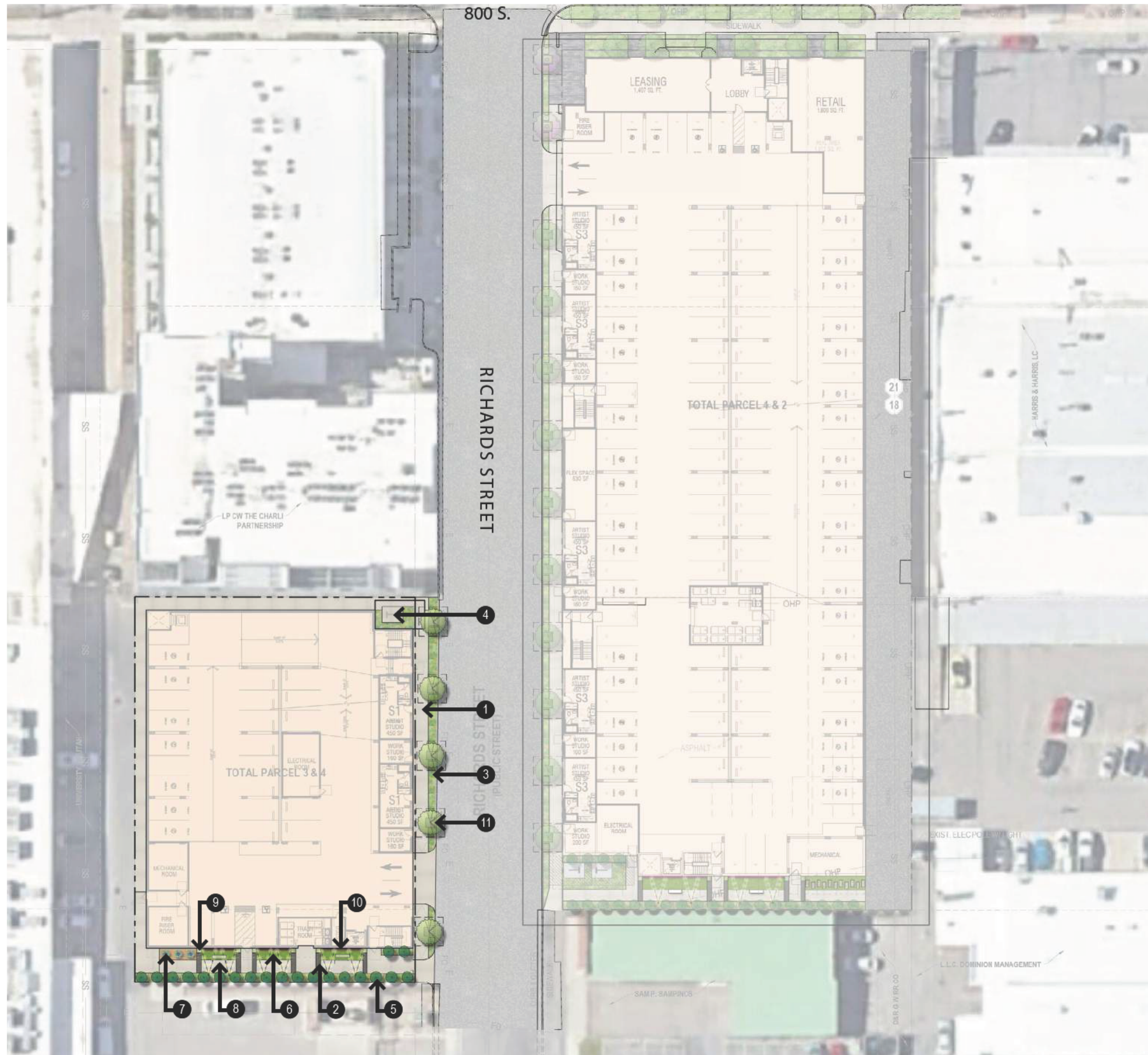
STANDARDS (CODE SECTION)	D-2	NOTES
Tree canopy coverage % (21A.37.050.P.1)	40	Tree canopies cover the specified amount of 40% coverage at maturity.
Minimum vegetation standards (21A.37.050.P.2)	X	Minimum vegetation standard met. Refer to sheet 23 for calculations.
Street trees (21A.37.050.P.3)	X	Street trees have been planted to meet requirement of 1 tree every 30 feet.
Soil volume (21A.37.050.P.4)	X	Soil volume meets requirements. Refer to sheet 23 for calculations.
Minimum curb cuts (21A.37.050.P.5)	X	Curb cuts have been used and side walk material shall remain the same.
Overhead cover (21A.37.050.P.6)	X	Overhead coverage has been provided.
Streetscape landscaping (21A.37.050.P.7)	X	Vegetation along streetscape complies with requirements.
Height transitions: angular plane for adjacent zone district (21A.37.050.Q)	X	N/A
Horizontal articulation (21A.37.050.R)	X	<p>The proposed building Elevations are articulated horizontally with the introduction of a combination of niches (2' deep or greater and greater than 4' wide) and a colonnades. The base of the building facing Richard St. is organized in 3 distinct masses that contain the residential element for the ground floor, with the recessed main building entrances or covered by awnings (deeper than 4', as required) and a vehicular entrance, both covered with awnings or recessed soffits in excess of 3' beyond the exterior wall.</p> <p>The upper floors are also comprised of enriched architectural detailing and massing articulation that breaks plane with the both the perceived "base" of the building that spans L1 & L2, but also for every side of the typically double loaded "fingers" that surround the elevated courtyards. Between the recessed balconies and the architectural features described above, there is no contiguous wall area on any floor that doesn't horizontally articulate for expanses larger than 60'.</p>

DESIGN REVIEW 21.A.59.050	
STANDARDS	RESPONSE
A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.	The proposed project follows the D-2 Downtown support commercial district guidelines. It provides a total of 62 units thus fostering the development of a sustainable urban neighborhood. The project promotes pedestrian interaction with a collection of public art/murals that are proposed along its public edges along Richard Street and the mid-block pedestrian connection along its South Edge, in addition to the live-work Artist studios on its ground floor that aim to become a "theme" for Richards Street in coordination with the identical spaces provided on the North Phase of Elliot on the same street.
B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot. 1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot) 2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood. 3. Parking shall be located within, behind, or to the side of buildings.	All of the main uses for the building are clearly oriented along its main street front, and all Primary entrances are located on Richards street, in direct access from the sidewalk. The building is designed to be near the public sidewalk, enhancing its accessibility and engagement with the pedestrian environment. All provided Parking facilities are screened by occupiable spaces and public art installations along Richard Street, ensuring they are concealed from plain sight and contribute to a visually appealing streetscape. The mid-block connection to the south, is treated in the same architectural style and with the same enhanced materiality that is used along the building's street-front edge.
C. Building façades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction. 1. Locate active ground floor uses at or near the public sidewalk. 2. Maximize transparency of ground floor facades. 3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions. 4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor	The ground level along Richards Street strives to provide for a rich, stimulating experience for the neighborhood and transient users alike, creating a vibrant and dynamic streetscape that encourages engagement and connectivity, with all the ground floor uses having a direct connection to the public sidewalk. Wherever the porosity of the ground floor would adversarially impact the privacy of the residential units proposed, the projects proposes large areas of public art that should make-up for public interactions that will not come at the expense of the resident's privacy. The architectural detailing along all public edges of the building is sensitive to the human scale and is comprised of durable, enhanced materials that are consistent with the historic urban fabric of the City.
D. Large building masses shall be divided into heights and sizes that relate to human scale. 1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis. 2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height. 3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals. 4. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.	1. The building's massing and height is directly relatable to existing and proposed multifamily and mixed-use development in immediate proximity but also within a 1 mile radius. 2. The building's massing is broken up both in horizontal and vertical planes, with a distinct base that relates to pedestrian urban experience, but also an architectural language with clean, deliberate moves that break up the mass in interesting portions or distinct building sections, further articulated visually by changes in materiality and color. 3. Numerous architectural details enhance the richness of the facade, including inset balconies with distinct materiality, planar articulation between floors and enhanced materiality that goes beyond a simple, surface application, with deep reveals around most fenestration. 4. The ground floor strive to maximize the available fenestration for the proposed uses, yet in locations where the porosity of the ground floor would adversarially impact the privacy of the residential units proposed, the projects proposes large areas of public art that should make-up for public interactions that will not come at the expense of the resident's privacy.
E. Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include: 1. Changes in vertical plane (breaks in facade); 2. Material changes; and 3. Massing changes.	N/A

DESIGN REVIEW 21.A.59.050	
STANDARDS	RESPONSE
F. If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements: 1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30"); 2. A mixture of areas that provide seasonal shade; 3. Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted; 4. Water features or public art; 5. Outdoor dining areas; and 6. Other amenities not listed above that provide a public benefit.	The project does not provide privately-owned public spaces.
G. Building height shall be modified to relate to human scale and minimize negative impacts. In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive City skyline. 1. Human scale • Utilize step backs to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans. • For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height. 2. Negative impacts: • Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors. • Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height. • Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building. 3. Cornices and rooflines: • Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition. • Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings. • Green Roof And Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.	1. Human Scale The building is designed with a distinct base, middle and top, focusing on interacting with pedestrian traffic. The first two floors along Richards Street are a gesture down to human scale, with materiality and articulation reminiscent of 20th Century Main Street Americana, with the upper floors being further separated and set-back by carving out the inset balconies along Richard Street, but also the main courtyard along the west façade. Each of the changes in plane and massing, are emphasized by changes in the materiality and color. 2. Negative Impacts There are no commercial or residential neighboring developments that would benefit from stepping the building down to meet them at their level: the majority of neighboring buildings are industrial / automotive dealerships and the single residential development to our North is of comparable height and mass with the proposed development. As such there are no established outdoor commercial, educational or residential uses to be impacted by shading due to the new development for a window of time that would be of concern. 3. Roofline The Mass of the building was broken down with angled furred-out wall treatments, to provide the illusion of an articulated parapet & building roofline without further increasing the height of the building, promoting the cohesive idea of the light gray jacket wrapping around the whole structure. The angled walls on the top of the building allow for a pulsating, dynamic play with reflections and shadows as the daylight changes, altering the way viewers perceive both the massing and the roofline of the project.
H. Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or mid-block walkway.	Parking entrance is located along Richards Street and it takes into consideration safe pedestrian connections to the sidewalk.

DESIGN REVIEW 21.A.59.050

STANDARDS	RESPONSE
<p>I. Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (See subsection 21A.37.050K of this title.)</p>	<p>Waste and recycling containers, mechanical equipment, storage areas are located inside the parking structure.</p>
<p>J. Signage shall emphasize the pedestrian/mass transit orientation.</p> <ol style="list-style-type: none"> 1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building. 2. Coordinate signage locations with appropriate lighting, awnings, and other projections. 3. Coordinate sign location with landscaping to avoid conflicts. 	<p>Signage will be provided to clearly identify the retail as well as the main residential entrance and to identify wayfinding for the parking garage. All signage location will be designed with the existing and new landscaping in mind so as not to obstruct wayfinding and views.</p>
<p>K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals.</p> <ol style="list-style-type: none"> 1. Provide street lights as indicated in the Salt Lake City Lighting Master Plan. 2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky. 3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety. 	<p>Lighting Design Review Standard is noted by the design team. Street Lighting will be designed in accordance to the Salt Lake City lighting Master Plan. Outdoor lighting will be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky. Lighting will be coordinated with potential signage locations to maximize the attention of the tenant's as well as providing safe pedestrian walkways along Richards Street and 800 South.</p>
<p>L. Streetscape improvements shall be provided as follows:</p> <ol style="list-style-type: none"> 1. One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the approval of the City's Urban Forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester. 2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards: <ul style="list-style-type: none"> • Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur. • Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table. • Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar- Reflective Index (SRI). • Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City. • Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities. • Asphalt shall be limited to vehicle drive aisles. (Ord. 14-19, 2019) 	<ol style="list-style-type: none"> 1. In compliance with the City's urban forestry guidelines, a Street Tree @ 30' on center has been provided in the selection of an "American Elm" @ 2.5" min Caliper. 2. Hardscape has been delineated by material change for both public and private uses. Public Sidewalks have been identified as a City Standard detail and finish, while a modular concrete paver with a multi color blend and texture has been selected to address project entries. Paver color selections will meet or exceed SR value of .33 or greater. And all hardscape materials, in both Ground floor condition and podium conditions have been selected to compliment the Architectural design style, finishes and color. As for Asphalt, it has been limited to just Drive aisle only.

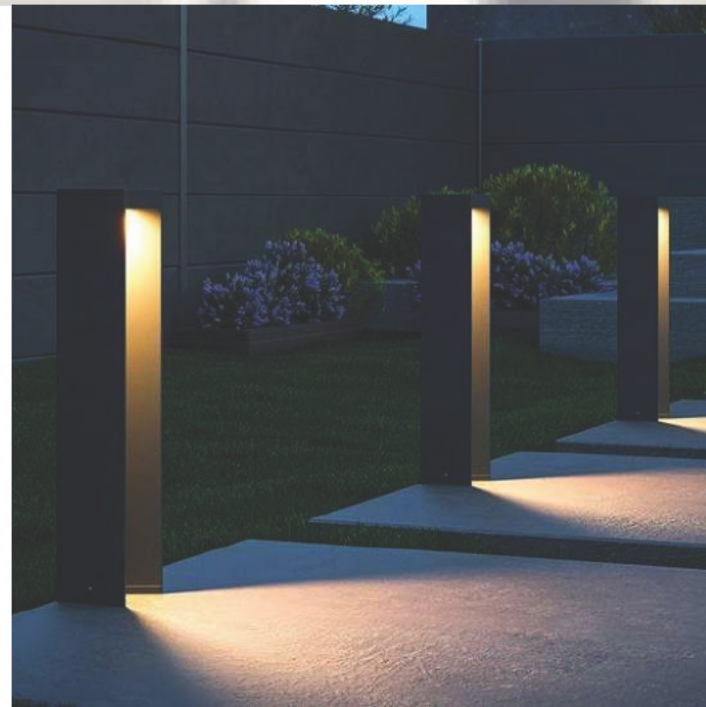


KEYNOTE LEGEND			
1	PEDESTRIAN SIDEWALK		
2	INTEGRAL COLORED CONCRETE PAVING		
3	PROPOSED PLANTING AREA		
4	TRANSFORMER LOCATION - PER CIVIL ENGINEER		
5	SCREENING HEDGE		
6	K9 LAWN		
7	ACCENT PLANTING AT D.G. AREA		
8	BENCH SEATING		
9	GREEN SCREEN		
10	MURAL PANEL		
11	4' X 4' TREE WELL		



TREE LEGEND			
SYM	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	GINKGO BILOBA GINGO	3" CAL	

SALT LAKE CITY DATA (D-2 ZONE)			
CITY CODE: CH. 21A.30			
ZONED AS DOWNTOWN SUPPORT DISTRICT (D-2)			
TOTAL SITE AREA	0.49 ACRES (21,344 S.F.)		
ON-SITE LANDSCAPE AREA	3,929 S.F.		
		REQUIRED	PROVIDED
OPEN SPACE ON-SITE:			
FRONT YARD PLANT COVERAGE 33% REQUIRED	-		
SIDE YARD PLANT COVERAGE 33% REQUIRED	1,619 S.F X 33% = 534 S.F.		544 S.F. = 34%
REAR YARD PLANT COVERAGE 33% REQUIRED	1,892 S.F. X 33% = 624 S.F.		797 S.F. = 42%
GENERAL:			
DROUGHT TOLERANT TREE SPECIES	MIN. 80%		100%
DROUGHT TOLERANT SHRUB SPECIES	MIN. 80%		100%
PARK STRIP:			
REQUIRED TREES - 1 PER 30' OF STREET FRONTAGE (CLUSTERED OR LINEAR)	173 L.F. / 30' = 5		5
CARRIAGEWAYS PROVIDED THROUGH PARK STRIP	N/A		N/A
REQUIRED PLANT COVERAGE	33%		56%
PAVING MATERIALS	MAX 67%		16%



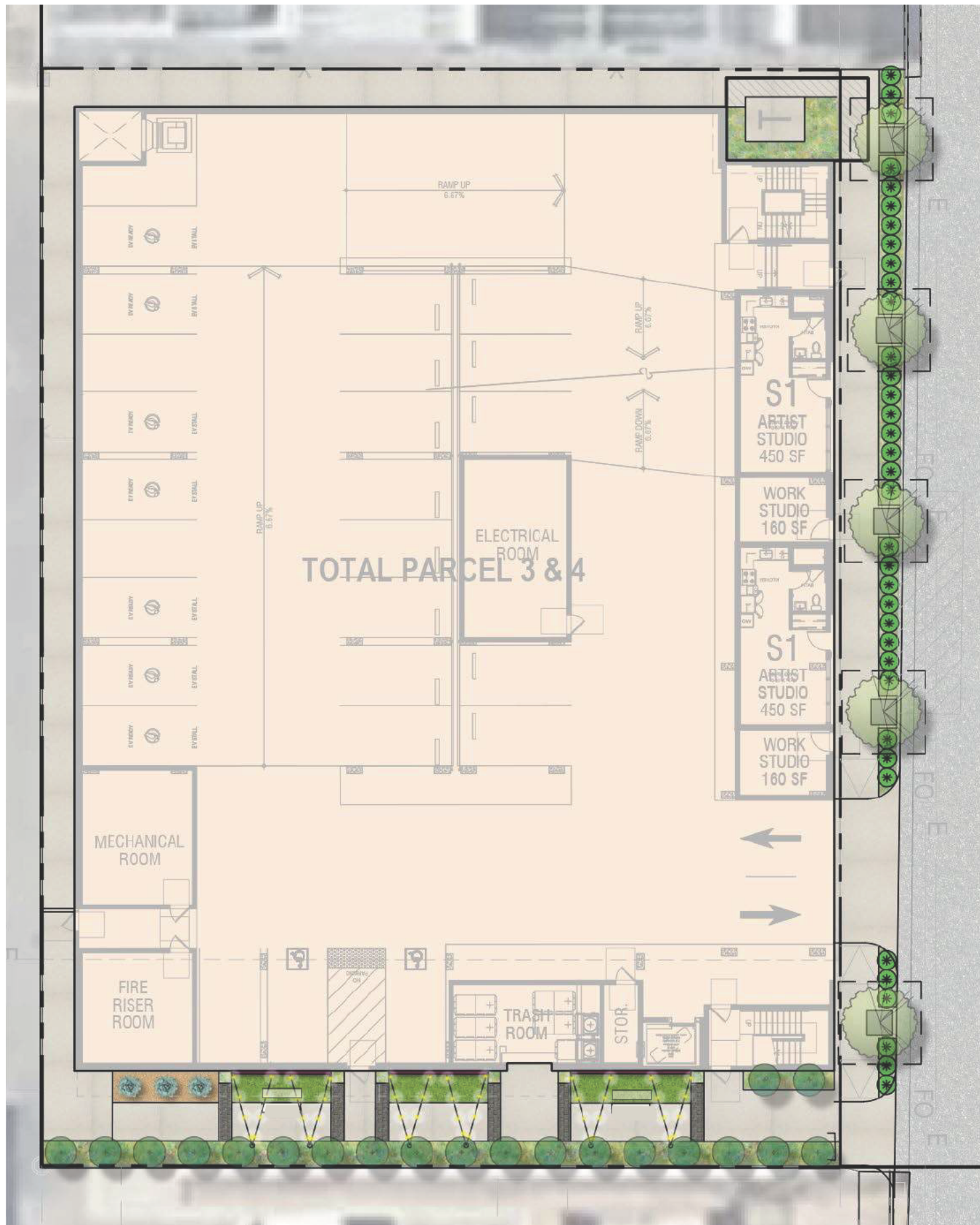


LIGHTING LEGEND

-  PEDESTRIAN BOLLARD LIGHTING
-  OVERHEAD FESTOON LIGHTING

LANDSCAPE LIGHTING PLAN





SOIL VOLUME CALCULATION

REQUIRED	PROPOSED
750 - 1,000 ft ³	169 S.F. PER TREE WELL X 4.5' SOIL DEPTH = 760.5 FT ³

VEGETATION CALCULATION (R.O.W.)

REQUIRED	PROPOSED
MIN. 33% COVERAGE	56%



GENERAL DESIGN NOTES

1. FINAL LANDSCAPE PLANS SHALL ACCURATELY SHOW PLACEMENT OF TREES, SHRUBS, AND GROUNDCOVERS.
2. LANDSCAPE ARCHITECT SHALL BE AWARE OF UTILITY, SEWER, STORM DRAIN EASEMENT AND PLACE PLANTING LOCATIONS ACCORDINGLY TO MEET CITY OF SALT LAKE CITY REQUIREMENTS.
3. ALL REQUIRED LANDSCAPE AREAS (INCLUDING PUBLIC RIGHT-OF-WAY) SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED PER CITY OF SALT LAKE CITY REQUIREMENTS.
4. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING STREET TREES, SHALL BE INSTALLED PER THE PUBLIC IMPROVEMENT PLANS.

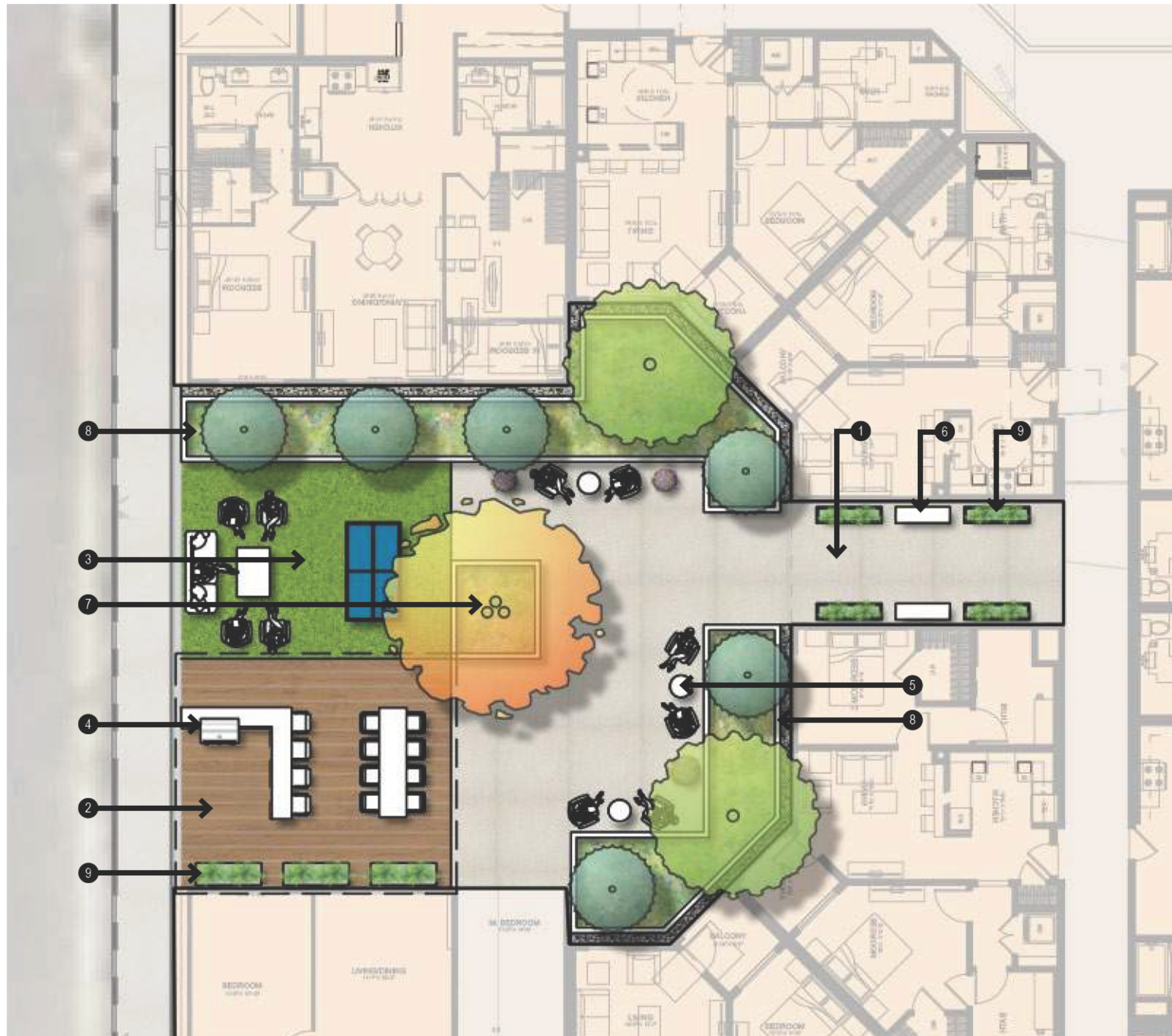
IRRIGATION DESIGN NOTES

THE IRRIGATION SYSTEM WILL BE A FULLY AUTOMATIC UNDERGROUND SYSTEM. BACKFLOW PREVENTION DEVICES WILL BE INSTALLED TO MEET APPLICABLE CODES. THE IRRIGATION SYSTEM WILL BE DESIGNED AND CONSTRUCTED TO BE AS EFFICIENT IN TERMS OF WATER USAGE AS POSSIBLE. WATER CONSERVATION PRODUCTS (HIGH EFFICIENCY / LOW PRECIPITATION) AND AN EVAPOTRANSPIRATION (ET) WEATHER BASED CONTROL SYSTEM WILL BE INCORPORATED INTO THE SYSTEM DESIGN.

PLANTING DESIGN NOTES

THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION AND RUN-OFF. ALL THE FLOWER AND SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE CITY OF SALT LAKE CITY GUIDELINES.





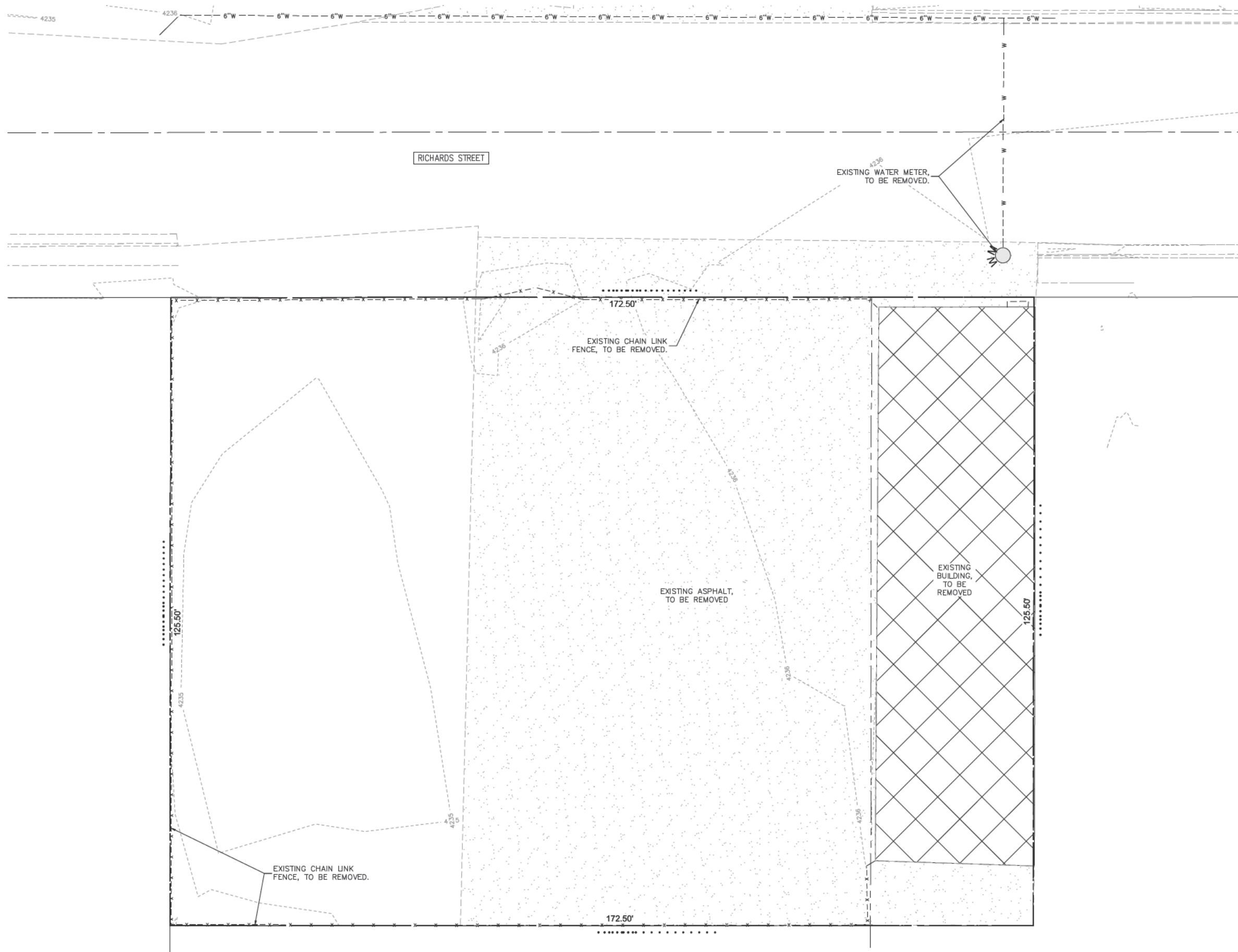


KEYNOTE LEGEND			
1	CONCRETE PAVING		
2	ENHANCED PAVERS		
3	ARTIFICIAL TURF WITH LOUNGE SEATING AND GAME TABLE		
4	SHADED BBQ AREA WITH SEATING		
5	LOUNGE SEATING AREA		
6	BENCH SEATING		
7	SPECIMEN TREE IN RAISED PLANTER		
8	RAISED PLANTER		
9	LINEAR POTTERY		
TREE LEGEND			
SYM	BOTANICAL NAME COMMON NAME	SIZE	DESCRIPTION
	GINKGO BILOBA 'AUTUMN GOLD' MAIDENHAIR TREE	4" CAL.	
	ULMUS AMERICANA 'VALLEY FORGE' AMERICAN ELM	2.5" CAL.	
	CERCIS CANADENSIS EASTERN REDBUD	4" CAL.	
SHRUB LEGEND			
SYM	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	CORNUS SANGUINEA 'ARCTIC FIRE DOGWOOD' TATARIAN DOGWOOD	5 GAL.	
	CORTADERIA SELLOANA 'PUMILA' DWARF PAMPAS GRASS	5 GAL.	
	EUONYMUS F. 'EMERALD GAIETY' EMERALD GAIETY EOUNYMUS	5 GAL.	
	HOSTA 'PATRIOT' PLANTAIN LILY	5 GAL.	
	HYDRANGEA MACROPHYLLA FRENCH HYDRANGEA	5 GAL.	
	IBERIS SEMPERVIRENS CANDYTUFT	1 GAL.	
	LAVENDULA ANGUSTIFOLIA ENGLISH LAVENDER	5 GAL.	
	FESTUCA 'ELIJAH BLUE' ELIJAH BLUE FESCUE	1 GAL.	
	MISCANTHUS SINENSIS 'MORNING LIGHT' CHINESE SILVER GRASS	5 GAL.	
	NASSELLA TENUISSIMA MEXICAN FEATHER GRASS	5 GAL.	
	OPHIPOGON PLANISCAPUS 'NIGRESCENS' BLACK MONDO	1 GAL.	
	PRUNUS LAUROCERASUS 'SCHIPKAENSIS' SCHIPKA CHERRY LAUREL	15 GAL.	
	THUJA OCCIDENTALIS 'NORTH POLE' AMERICAN ARBORVITAE	5 GAL.	
	YUCCA GLORIOSA SPANISH DAGGER	15 GAL.	



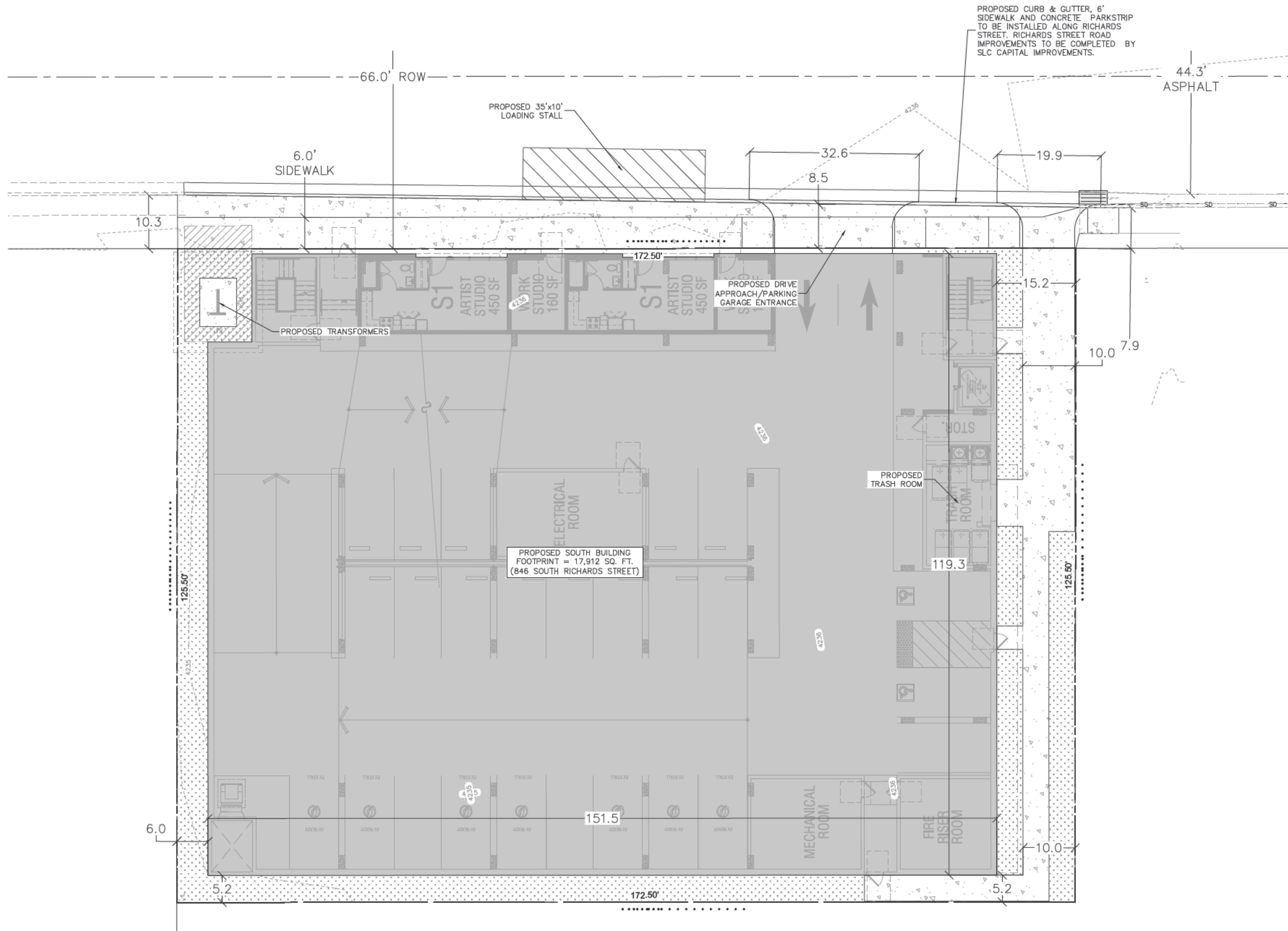
SHEET LEGEND

-  EXISTING BUILDING, TO BE REMOVED
-  EXISTING ASPHALT, TO BE REMOVED

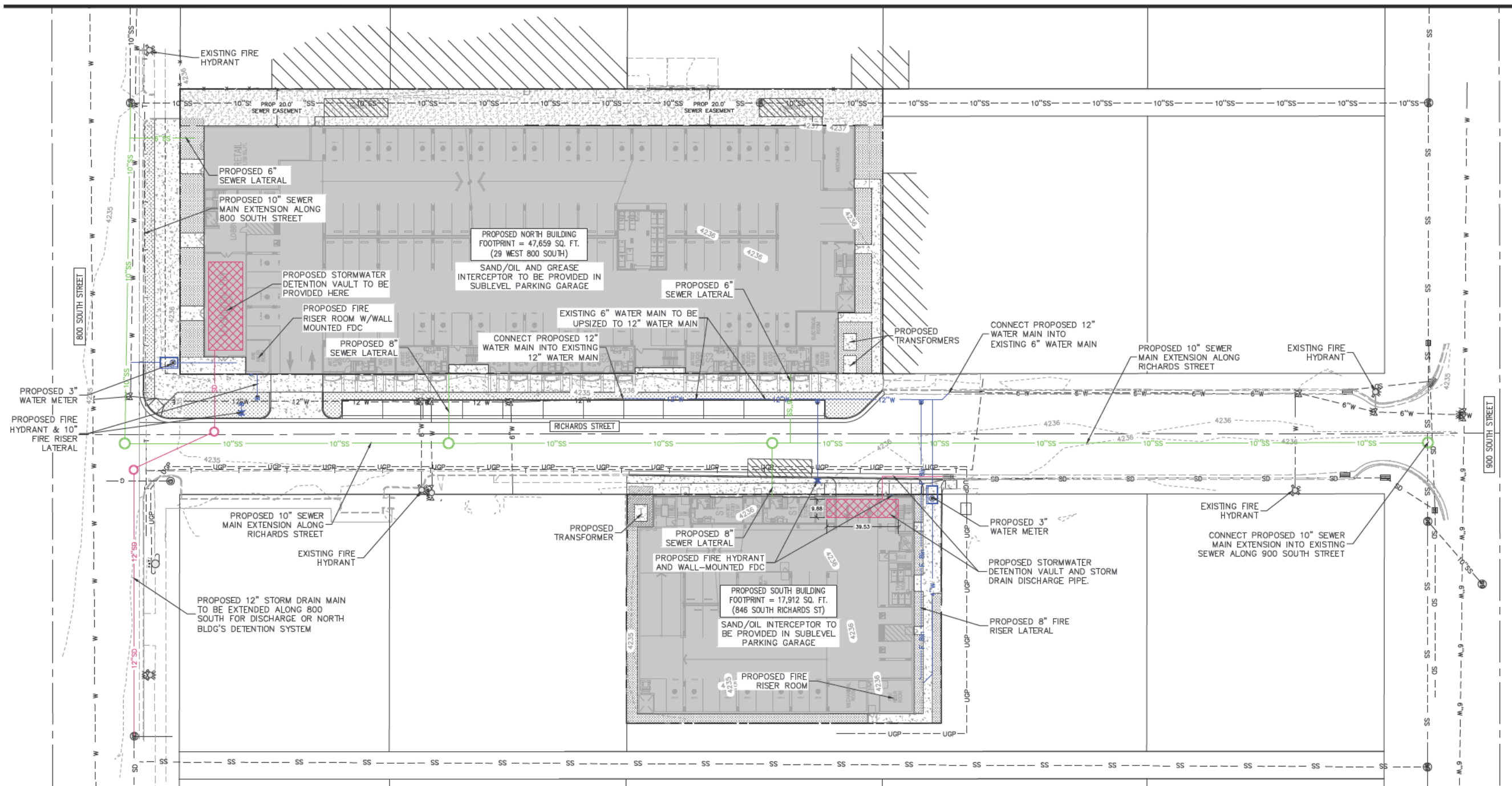


SHEET LEGEND

- EXISTING BUILDING, TO BE REMOVED
- EXISTING ASPHALT, TO BE REMOVED



FIRE FLOW ANALYSIS:	
NORTH BUILDING:	
BUILDING AREA:	341,724 SF
TYPE IA/VB CONSTRUCTION	
FIRE SPRINKLER REDUCTION:	50%
REQUIRED FIRE FLOW:	4,000 GPM
HYDRANTS REQUIRED:	4
HYDRANTS PROVIDED:	6
SOUTH BUILDING:	
BUILDING AREA:	123,654 SF
TYPE IA/VB CONSTRUCTION	
FIRE SPRINKLER REDUCTION:	50%
REQUIRED FIRE FLOW:	4,000 GPM
HYDRANTS REQUIRED:	4
HYDRANTS PROVIDED:	5



ELLIOTT SOUTH
SALT LAKE CITY, UT



CONCEPT UTILITY PLAN



29

ATTACHMENT C: Property & Vicinity Photos



Subject Property (Building on Left to be Demolished)



Richards Street (Looking North)



Adjacent Development to the North



Development to West of property (photo from West Temple)



Adjacent Property to the South



Property to the East (To be Part of Elliot North)

ATTACHMENT D: D-2 & Base Zoning Standards

D-2 (Downtown Support District)

Purpose Statement: The purpose of the D-2 Downtown Support Commercial District is to provide an area that fosters the development of a sustainable urban neighborhood that accommodates commercial, office, residential and other uses that relate to and support the Central Business District. Development within the D-2 Downtown Support Commercial District is intended to be less intensive than that of the Central Business District, with high lot coverage and buildings placed close to the sidewalk. This district is appropriate in areas where supported by applicable master plans. Design standards are intended to promote pedestrian oriented development with a strong emphasis on a safe and attractive streetscape.

D-2 Standards (21A.30.030)			
Standard	Requirement	Proposed	Finding
Land Use	Any permitted use in 21A.33.050	Residential	Permitted
Lot Size	No minimum or maximum	.49 acres	Met
Maximum Building Height	120', over 65' requires Design Review	Roof at 72' 7", Parapet at 82' 8"	Consideration for Design Review
Front/Corner/Side/Rear Yard Setbacks	Front: 0' min. 10' max., ground floor residential 8' min. 16' max Corner: 0' min. 10' max. Side: 0' Rear: 0'	Front: 0' Corner: n/a Side: 6' and 15' (midblock walkway) Rear: 5' 2"	Front yard setback for ground floor residential-consideration for Planned Development

General Zoning Standards			
Standard	Requirement	Proposed	Finding
Mid-Block Walkway (21A.30.010)	Yes- Per master plan, minimum 15' wide with 6' clear path	Provided- 15' wide with 6' clear path	Met
Sidewalks	10' clear path	6' sidewalk with 4' park strip	Consideration for Planned Development
Refuse Control (21A.30.010)	Refuse to be covered and enclosed or screened from public view	Refuse located within parking garage	Met

Lighting (21A.30.010)	Lighting to not cast onto adjacent properties	n/a	To be submitted with building permit
Off Street Parking & Loading (21A.44)	Studio- no minimum 1 bedroom- .5 per DU 2+ bedroom- 1 per DU	90 stalls	Met
Landscaping & Street Trees (21A.48)	All setbacks to be landscaped. Street trees at 1 per 20' for small, 1 per 30' for medium, 1 per 40' for large	1 medium tree per 30' of frontage	Met
Signage (21A.46.110)	n/a	n/a	To be submitted with building permit

Design Standards (21A.37)			
Standard	Requirement	Proposed	Finding
Ground Floor Use	80%	n/a (using Ground Floor & Visual Interest)	n/a
Ground Floor Use & Visual Interest	70/20 %	73% to a 15' depth	Consideration for Design Review
Building Materials: Ground Floor	80%	89%	Met
Building Materials: Upper Floors	50%	50%	Met
Ground Floor Glass	60%	28%	Consideration for Design Review
Upper Floor Glass	50%	26%	Consideration for Design Review
Reflective Glass: Ground Floor	0%	0%	Met
Reflective Glass: Upper Floors	50%	0%	Met
Building Entrances	40'	30'	Met

Maximum Length of Blank Wall	20'	15'	Met
Maximum Length of Street Facing Facade	200'	143'	Met
Upper Floor Step back	Yes	None	Consideration for Design Review
Exterior Lighting	Yes	n/a	To be submitted with building permit
Parking Lot Lighting	Yes	Parking lot within building	Met
Screening of Mechanical Equipment	Yes	Mechanical equipment located within parking garage or screened	Met
Screening of Service Areas	Yes	Service areas located within parking garage	Met
Parking Garages	Yes	Parking garage integrated in building	Met
Tree Canopy Coverage	40%	>40%	Met
Street Trees	Yes	1 tree per 30'	Met
Soil Volume	Yes	760.50 cubic feet per tree	Met
Minimize Curb Cuts	Yes	1	Met
Overhead Cover	Yes	Recessed entrances and awnings provided	Met
Height Transitions	n/a	n/a	n/a
Horizontal Articulation	Yes	Yes	Met

ATTACHMENT E: Planned Development Standards

21A.55.050: Standards for Planned Developments: The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards.

The Finding for each standard is the recommendation of the Planning Division based on the facts associated with the proposal, the discussion that follows, and the input received during the engagement process. Input received after the staff report is published has not been considered in this report.

A. Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development. The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development. The Planning Commission should consider the relationship between the proposed modifications to the zoning regulations and the purpose of a planned development, and determine if the project will result in a more enhanced product than would be achievable through strict application of the land use regulations.

Planned Development Purpose Statement: A planned development is intended to encourage the efficient use of land and resources, promoting greater efficiency in public and utility services and encouraging innovation in the planning and building of all types of development. Further, a planned development implements the purpose statement of the zoning district in which the project is located, utilizing an alternative approach to the design of the property and related physical facilities. A planned development incorporates special development characteristics that help to achieve City goals identified in adopted Master Plans and that provide an overall benefit to the community as determined by the planned development objectives. A planned development will result in a more enhanced product than would be achievable through strict application of land use regulations, while enabling the development to be compatible with adjacent and nearby land developments.

Discussion: The development upholds the purpose statement for the D-2 zone by providing medium density housing and live/work units in support of the Central Business District. The design is pedestrian-oriented and contributes to a safe and attractive streetscape and adds a midblock walkway. See Consideration 2 for additional information on how the development implements objectives of the various master plans.

Finding: Meets Purpose Statement Does Not Meet Purpose Statement

A. Open Space And Natural Lands: Preserving, protecting or creating open space and natural lands:

1. Inclusion of community gathering places or public recreational opportunities, such as new trails or trails that connect to existing or planned trail systems, playgrounds or other similar types of facilities.
2. Preservation of critical lands, watershed areas, riparian corridors and/or the urban forest.
3. Development of connected greenways and/or wildlife corridors.
4. Daylighting of creeks/water bodies.
5. Inclusion of local food production areas, such as community gardens.
6. Clustering of development to preserve open spaces.

Discussion: The proposal does not meet this objective. Only one Planned Development objective must be fulfilled.

Finding: Objective Satisfied Objective Not Satisfied

B. Historic Preservation:

1. Preservation, restoration, or adaptive reuse of buildings or structures that contribute to the character of the City either architecturally and/or historically, and that contribute to the general welfare of the residents of the City.
2. Preservation of, or enhancement to, historically significant landscapes that contribute to the character of the City and contribute to the general welfare of the City's residents.

Discussion: The proposal does not meet this objective. Only one Planned Development objective must be fulfilled.

Finding: Objective Satisfied Objective Not Satisfied

C. Housing: Providing affordable housing or types of housing that helps achieve the City's housing goals and policies:

1. At least twenty percent (20%) of the housing must be for those with incomes that are at or below eighty percent (80%) of the area median income.
2. The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood.

Discussion: The proposal does not meet this objective. Only one Planned Development objective must be fulfilled.

Finding: Objective Satisfied Objective Not Satisfied

D. Mobility: Enhances accessibility and mobility:

1. Creating new interior block walkway connections that connect through a block or improve connectivity to transit or the bicycle network.
2. Improvements that encourage transportation options other than just the automobile.

Discussion:

- 1. This development proposes a midblock walkway at its southern end and in alignment with the walkway envisioned in the Downtown Master Plan. The walkway will eventually connect through to Main Street to the east and will elbow to the north (connecting with 800 South) west of the property.
- 2. The development is positioned within two blocks of the TRAX station along 200 West, encouraging residents to walk, bike, and use public transit as their primary modes of transportation.

Finding: Objective Satisfied Objective Not Satisfied

E. Sustainability: Creation of a project that achieves exceptional performance with regards to resource consumption and impact on natural systems:

- 1. Energy Use And Generation: Design of the building, its systems, and/or site that allow for a significant reduction in energy usage as compared with other buildings of similar type and/or the generation of energy from an on-site renewable resource.
- 2. Reuse Of Priority Site: Locate on a brownfield where soil or groundwater contamination has been identified, and where the local, State, or national authority (whichever has jurisdiction) requires its remediation. Perform remediation to the satisfaction of that authority.

Discussion: The proposal does not meet this objective. Only one Planned Development objective must be fulfilled.

Finding: Objective Satisfied Objective Not Satisfied

F. Master Plan Implementation: A project that helps implement portions of an adopted Master Plan in instances where the Master Plan provides specific guidance on the character of the immediate vicinity of the proposal:

- 1. A project that is consistent with the guidance of the Master Plan related to building scale, building orientation, site layout, or other similar character-defining features. (Ord. 8-18, 2018)

Discussion: The project is within the Downtown Master Plan and more specifically, the Central Ninth District. The project is consistent with initiatives of those plans for high quality urban development at a medium density. Additionally, the project implements objectives of Plan Salt Lake. See Consideration #2 of this report for additional narrative on master plan compatibility.

Finding: Objective Satisfied Objective Not Satisfied

B. Master Plan Compatibility: The proposed planned development is generally consistent with adopted policies set forth in the Citywide, community, and/or small area Master Plan that is applicable to the site where the planned development will be located.

Finding: Complies

Discussion: The proposal is consistent with numerous objectives of the Downtown Master Plan and Plan Salt Lake. The development aligns with Salt Lake City’s vision for high quality pedestrian-oriented design and adds medium density housing with space for small businesses. See Consideration #2 of this report for additional narrative on master plan compatibility.

Condition(s):

C. Design And Compatibility: The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the Planning Commission should consider:

1. Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;

Finding: Complies

Discussion: The building's massing and height is directly relatable to the neighboring development the Charli and the recently entitled multi-family proposal on the south end of Richards Street. The proposed height is in-line with similar projects within the vicinity.

Condition(s):

2. Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;

Finding: Complies

Discussion: The building is oriented towards Richards Street with artist live/work units along the ground floor. The facade is composed of brick, glass, fiber cement, and stucco, with aluminum storefront details. Other than the stucco, the materials are considered durable and are compatible with nearby developments and those that would be permitted in the D-2 zone.

Condition(s):

3. Whether building setbacks along the perimeter of the development:
- a. Maintain the visual character of the neighborhood or the character described in the applicable Master Plan.
 - b. Provide sufficient space for private amenities.
 - c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise.
 - d. Provide adequate sight lines to streets, driveways and sidewalks.
 - e. Provide sufficient space for maintenance.

Finding: Complies

Discussion:

- a. The building setbacks support the character of the neighborhood and are appropriate for the site. The building is of similar scale to a newly entitled project on the southern end of the block, the Elliot North, and the Charli buildings along Richards Street.
- b. The development includes 4th floor outdoor amenity space for residents.
- c. The proposal includes a 15-foot midblock walkway along the southern property line appropriate setbacks to the rear and north. The property is sufficiently buffered from neighboring uses and will provide privacy for residents.
- d. The development includes one driveway from Richards Street and does not otherwise inhibit sight to the street or sidewalk.
- e. The site includes a walkway along the rear and the north of the building to be used for maintenance purposes. The front and south side of the building will be accessible from the public sidewalk and midblock walkway respectively.

Condition(s):

- 4. Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;

Finding: Complies

Discussion: Although the ground floor glass provided is below the base standard of 60%, the design features transparency and design details which create a pedestrian friendly experience. The reduced transparency is needed, in part, to create sufficient privacy for the ground floor live/work spaces. The building features recessed entries, awnings, rich materials, space for art, and glass along the artist studio spaces. Likewise, the façade facing the midblock walkway enhances pedestrian interaction through articulation, landscaping, seating, lighting, and space for art.

Condition(s):

- 5. Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;

Finding: Complies With Conditions

Discussion: The applicant has indicated that all lighting will be designed to not cast onto neighboring properties, but final details have not been provided at this point. The lighting plan will be reviewed during the building permit phase of the development.

Street lighting will be provided to meet the SLC Street Light Master Plan.

Condition(s): Staff is recommending that final details of the building lighting be delegated to staff for approval.

6. Whether dumpsters, loading docks and/or service areas are appropriately screened;

Finding: Complies

Discussion: The dumpsters and service areas are located within the parking garage.

Condition(s):

7. Whether parking areas are appropriately buffered from adjacent uses.

Finding: Complies

Discussion: The parking area is contained within the building and includes screens on any openings to buffer it from adjacent uses.

Condition(s):

D. Landscaping: The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the Planning Commission should consider:

1. Whether mature native trees located along the periphery of the property and along the street are preserved and maintained;

Finding: Not Applicable

Discussion: The property does not include any mature trees along the periphery of the property or along the street.

Condition(s):

2. Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved;

Finding: Not Applicable

Discussion: The site does not have any existing landscaping that provides buffering to abutting properties.

Condition(s):

3. Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development;

Finding: Complies

Discussion: The plans include street trees along Richards Street which will provide shade and contribute to a more pleasant streetscape. Screening shrubs and other plantings will soften the midblock walkway. Plantings on the 4th level courtyard will provide a natural retreat for residents.

Condition(s):

4. Whether proposed landscaping is appropriate for the scale of the development.

Finding: Complies

Discussion: The proposed street trees have been reviewed by Urban Forestry and have been found to be appropriate for their proposed location and spacing within the park strip. Landscaping along the midblock walkway and upon the rooftop courtyard is sized to provide appropriate coverage.

Condition(s):

E. Mobility: The proposed planned development supports Citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the Planning Commission should consider:

1. Whether drive access to local streets will negatively impact the safety, purpose and character of the street;

Finding: Complies

Discussion: Only one vehicular access point is provided into the parking garage from Richards Street and will provide safe circulation from the site.

Condition(s):

2. Whether the site design considers safe circulation for a range of transportation options including:
 - a. Safe and accommodating pedestrian environment and pedestrian oriented design;
 - b. Bicycle facilities and connections where appropriate, and orientation to transit where available; and
 - c. Minimizing conflicts between different transportation modes;

Finding: Complies

Discussion:

- a. The project provides multiple pedestrian entrances along its frontage with only one vehicular access point to create a safe pedestrian environment.

- b. The proposal includes secure indoor bike storage and is less than two blocks from multiple bus stops and a TRAX station.
- c. The site utilizes one driveway access point to the parking garage to minimize potential conflicts with the sidewalk.

Condition(s):

- 3. Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities;

Finding: Complies

Discussion: The site design does not prohibit access to adjacent uses or amenities. The inclusion of a midblock walkway allows access from Richard Street to the intersecting midblock walkway to the west.

Condition(s):

- 4. Whether the proposed design provides adequate emergency vehicle access;

Finding: Complies

Discussion: Emergency vehicular access was reviewed by the Fire Department and no objections were presented. Further compliance will be reviewed during the building permit process.

Condition(s):

- 5. Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.

Finding: Not Applicable

Discussion: The size of development does not require an off-street loading area.

Condition(s):

F. Existing Site Features: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.

Finding: Not Applicable

Discussion: The existing site does not have any natural or built features that contribute to the character of the area.

Condition(s):

G. Utilities: Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area.

Finding: Complies

Discussion: Public Utilities has reviewed the plans and had no objections. A full review of the utility plans will be conducted when the applicant applies for a building permit. Additional or upgraded utilities may be required from the applicant at time of development.

Condition(s):

ATTACHMENT F: Design Review Standards

21A.59.050: Standards for Design Review: In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

The Finding for each standard is the recommendation of the Planning Division based on the facts associated with the proposal, the discussion that follows, and the input received during the engagement process. Input received after the staff report is published has not been considered in this report.

A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.

Finding: Complies

Discussion: The purpose of the D-2 zoning district is, *"to provide an area that fosters the development of a sustainable urban neighborhood that accommodates commercial, office, residential and other uses that relate to and support the Central Business District."* The D-2 district is also intended to support the Central Business District and is envisioned to be less intensive than the Central Business District.

The intent of the D-2 zoning district also includes the purpose of the design standards in the district.

"Design standards are intended to promote pedestrian-oriented development with a strong emphasis on a safe and attractive streetscape."

The project upholds the purpose of the D-2 district by providing new residential units, and by activating the sidewalk and providing a mid-rise building that compliments the expanding Central Business District. The site is also within the Central 9th area which is experiencing rapid growth of low and mid-rise buildings. The height and massing of this building helps provide an appropriate transition between the predominate building forms within the Downtown and Central 9th areas. The design and orientation of the building to the public sidewalk and mid-block walkway also meet the intent of providing a safe and attractive streetscape. The use of transparency and visual interest creates a sense of space that is safe and welcoming to the pedestrian.

Condition(s):

B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.

- 1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot).**
- 2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood.**
- 3. Parking shall be located within, behind, or to the side of buildings.**

Finding: Complies

Discussion:

1. All primary building entrances face the public sidewalk along Richards Street.
2. The building is proposed with a 0' front yard setback. Buildings with ground floor residential uses would typically require an 8' setback. However, in order to accommodate artist studio units and an interior parking garage, the building is proposing a 0' front setback. The setback is appropriate given the setbacks of other buildings along Richards Street.
3. All parking will be located within the building.

Condition(s):

C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.

1. Locate active ground floor uses at or near the public sidewalk.
2. Maximize transparency of ground floor facades.
3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions.
4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces.

Finding: Complies

Discussion:

1. The ground floor along Richards Street includes artist studio/work spaces. The spaces create a dynamic and stimulating experience from the sidewalk.
2. The ground floor includes 28% glass. Although this is not the 60% that would normally be required, it is appropriate to have reduced glass for portions of the artist studio/work space to maintain adequate privacy, while still providing a high level of public interaction with the building. In exchange for reduced glass, the ground floor façade uses added brick and panels that will display murals. The lower floors facing the midblock walkway will likewise feature public art.
3. The architectural detailing along all public edges of the building is sensitive to the human scale and is comprised of durable, enhanced materials, that are consistent with the intent of the downtown support zoning district.
4. The site will provide park strip landscaping where none currently exists and provide landscaping and pedestrian features such as benches, along the midblock walkway.

Condition(s):

D. Large building masses shall be divided into heights and sizes that relate to human scale.

1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis.

2. **Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height.**
3. **Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals.**
4. **Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.**

Finding: Complies

Discussion:

1. The building's massing and height is directly relatable to the Charli to the north, the proposed Elliot North building to the east, and the recently entitled mixed-use development at the southern end of the block on Richards Street.
2. The building's massing is broken up both in horizontal and vertical planes, with a distinct base that relates to pedestrian urban experience, a simple and rhythmic middle section with inset balconies which are inset by 5' 6" and subtle changes in materials and color, and a unified and textured top section.
3. The façade features numerous architectural details that bring richness to the design including inset balconies with distinct materiality, planar articulation between floors, and distinct fenestration within the sections of the building.
4. The ground floor strives to maximize the available fenestration for the proposed uses, while maintaining appropriate privacy for the artist studio/work units. Through the inclusion of public mural panels and the arrangement of materials, the building creates a sense of solid-to-void ration in keeping with the character of the neighborhood and that is appropriate in the downtown support district.

Condition(s):

E. Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include:

1. **Changes in vertical plane (breaks in facade)**
2. **Material changes; and**
3. **Massing changes.**

Finding: Not Applicable

Discussion:

Condition(s):

F. If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements:

1. **Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");**

2. A mixture of areas that provide seasonal shade;
3. Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted;
4. Water features or public art;
5. Outdoor dining areas; and
6. Other amenities not listed above that provide a public benefit.

Finding: Not Applicable

Discussion:

Condition(s):

G. Building height shall be modified to relate to human scale and minimize negative impacts. In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive City skyline.

1. Human scale:

- a. Utilize setbacks to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans.
- b. For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height.

2. Negative impacts:

- a. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors.
- b. Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height.
- c. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.

3. Cornices and rooflines:

- a. **Cohesiveness:** Shape and define rooflines to be cohesive with the building's overall form and composition.
- b. **Complement Surrounding Buildings:** Include roof forms that complement the rooflines of surrounding buildings.
- c. **Green Roof And Roof Deck:** Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.

Finding: Complies

Discussion:

1. **Human Scale:** The building is designed with a distinct base, middle and top that are defined by materials, colors, and architectural features. The first two floors along the frontage create a human scale, with materiality and articulation appropriate for an urban neighborhood development. The upper floors are visually separated and setback through change in material and color, inset balconies, and the fenestration of the windows.

2. **Negative Impacts:** There are no commercial or residential neighboring developments that would benefit from stepping the building down to meet them at their level. Most neighboring buildings are either of a similar height (theCharli, Elliot North, etc.) or are industrial in nature. As such there are no uses that would be negatively impacted by shadows from the proposed building.

3. **Cornices and Roofline:** The Mass of the building was broken down with angled furred-out wall treatments, to provide the illusion of an articulated parapet & building roofline without further increasing the height of the building. The angled walls on the top of the building allow for a pulsating, dynamic play with reflections and shadows as the daylight changes, altering the way viewers perceive both the massing and the roofline of the project.

Condition(s):

H. Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway.

Finding: Complies With Conditions

Discussion: Parking is accessed from a single driveway from Richards Street and minimizes interaction with pedestrian ways. The midblock walkway is 15' wide and includes a 6' clear pedestrian path.

Condition(s): Staff is recommending a public access easement be recorded to ensure the midblock walkway is privately maintained but publicly accessible.

I. Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (See subsection 21A.37.050K of this title.)

Finding: Complies

Discussion: Waste containers, mechanical equipment, and storage areas are located within the parking garage and are blocked from public view.

Condition(s):

J. Signage shall emphasize the pedestrian/mass transit orientation.

1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building.
2. Coordinate signage locations with appropriate lighting, awnings, and other projections.
3. Coordinate sign location with landscaping to avoid conflicts.

Finding: Complies With Conditions

Discussion: Final details for building signage has not yet been finalized. The applicant has indicated that signage will be used for wayfinding to the building entrances and parking area. The signage will be designed to coordinate with building features and landscaping.

Condition(s): Staff is recommending that final details of the building signage be delegated to staff for approval.

K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals.

1. Provide street lights as indicated in the Salt Lake City Lighting Master Plan.
2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky.
3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.

Finding: Complies With Conditions

Discussion: Final details for site and building lighting have not yet been finalized. The applicant has stated that streetlights for the development will be provided according to the Salt Lake City Street Lighting Master Plan. Lighting will be designed to eliminate light pollution and to prevent glare on neighboring properties. Building lighting will be coordinated with architectural and sign elements to provide street level visibility.

Condition(s): Staff is recommending that final details of the building lighting be delegated to staff for approval.

L. Streetscape improvements shall be provided as follows:

1. One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the approval of the City's Urban Forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester.
2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards:

- a. Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur.
- b. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table.
- c. Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar- Reflective Index (SRI).
- d. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City.
- e. Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities.
- f. Asphalt shall be limited to vehicle drive aisles.

Finding: Complies

Discussion:

- 1. 1 Ginkgo tree per 30' feet is proposed in the park strip.
- 2. The proposed hardscape will utilize pavers to differentiate between the public sidewalk and the private property. Materials with a high SRI will be used and asphalt will be limited to the drive aisle only.

Condition(s):

ATTACHMENT G: Public Process & Comments

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- April 8, 2024 – The 45-day required notice for recognized community organizations was sent to both the Central Ninth and Ballpark community councils. The comment period ended on May 24, 2024.
- April 8, 2024 - Property owners and residents within 300 feet of the development were provided early notification of the proposal.
- June 6, 2024- Ballpark Community Council meeting held with applicant participating. No letter or comments were received from the community council.

Notice of the public hearing for the proposal included:

- August 29, 2024
 - Public hearing notice signage posted on the property.
- August 29, 2024
 - Public hearing notice mailed.
 - Public notice posted on City and State websites and Planning Division list serve.
 -

Public Input:

At the time of publication, comments have been received from two individuals. Those comments are attached below:

Email from James Alfandre 4/16/24:

As a property owner in this neighborhood, I enthusiastically support this application for the Elliott Development.

It accomplishes many neighborhood and City-wide goals, including:

- adding needed housing
- making SLC a 24/7 city
- housing in walking distance to TRAX
- redeveloping underutilized and surfaced-parked parcels

It is also beautifully designed and will enhance the neighborhood's urban wall and public realm.

Email from Dallas Bailey 4/24/24:

I think that area could benefit from a large apartment complex given the complexities of finding housing in salt lake.

Utah is short 61,000 homes (<https://www.deseret.com/utah/2023/10/12/23914769/housing-market-shortage-utah-idaho-top-10-severe-shortage-up-for-growth/#:~:text=Top%2010%20states%20with%20most%20severe%20shortage,shortage%20of%20over%2061%2C000%20homes>)

There are only 10,000 new units for apartments coming into the valley,

Given the building permits issued in 2022,2023 and 2024.

By adding an apartment of this size can help ease home issues in the downtown salt lake area.

ATTACHMENT H: Department Review Comments

The proposals for both the Elliot North and South projects were circulated together to the various reviewing departments. The comments below apply to both projects unless they specifically indicate they are for the North or South project separately. Any requirement identified by a City Department is required to be complied with.

Engineering: No Objections- Comments by Scott Weiler

On both projects, the architectural plans and the civil plans are inconsistent regarding the park strip on Richards Street. Any public way improvements must follow APWA Standards. A more detail review of the civil plans will occur when a Permit to Work in the Public Way is requested.

Engineering has no objection to the reasons requiring Design Review and Planned Development approval.

Zoning (Elliot South): Make Corrections- Comments by Eric Daems

Items to be addressed prior to Planning Commission:

1. The mid-block walkway is to have a 6' unobstructed path. Please move bench into landscaped area per [21A.30.010.F.2a](#).
2. Please provide the % of upper floor glass being provided. Less than 50% will require consideration through Design Review.
3. Please provide % of upper floor durable materials per [21A.37.050.B2](#). Stucco does not qualify as a durable material. If less than 50%, it will need to be one of the Design Review considerations.
4. The site plans do not seem to agree with the statement of Page 19 about the recessed entrances, nor has much detail been provided on the awnings. Please clarify or provide zoomed in plans/elevations of entrances.

Items to be addressed with Building Permit, but not necessary prior to Planning Commission hearing:

1. Properties will need to be combined through a Lot Consolidation or Subdivision application: <https://www.slc.gov/planning/applications/>
2. Permits for signage should be sought separately according to [21A.46](#) and Design Review standards of [21A.59.050.J](#). Approval could be delegated to Staff by Planning Commission.
3. Provide complete landscape plans for site and park strips according to [21A.48.050](#) and [21A.48.060](#).
4. Complete lighting plan will need to be provided. Approval can be delegated to Staff by Planning Commission.

Zoning (Elliot North): Make Corrections- Comments by Amanda Roman

PLANNING DIVISION COMMENTS- North Building

Comments by: Amanda Roman

Email: Amanda.roman@slcgov.com

Phone: 801-535-7660

Status: Make Corrections

D-2 Downtown Support District Standards

Height: 92'9" to top of parapet and 82'8" to the roof – cannot exceed 120' and buildings over 65' must go through the Design Review process.

Request to reduce the setback along Richards Street from 8 feet to zero. Buildings that contain ground floor residential uses shall have a front yard setback of a minimum of eight feet (8') and a maximum setback no greater than sixteen feet (16').

- Regardless of the setback provided, doors shall be setback a minimum distance to allow the door to operate without swinging into a right of way or midblock walkway.

Design Standards 21A.37

Questions about window insets.

Ground floor use/visual interest requires design review approval. Retail space along 800 South is 42' in depth and the leasing office/art gallery and lobby area are 24'5. Double height ceiling are 22' tall.

Materials: Provide percentages of durable materials for both upper and lower floors. Stucco/EIFS is not considered a durable material. Ground floor is 80% and upper floors are 50% minimum durable materials. Windows and doors are not included in the calculation.

Civil plans do not align with site plans. Landscaping plans need basic dimensions of sidewalks, park strips, and distance between street trees. Sidewalks must be a clear walking path that is a minimum of 10' wide.

- Proposing a 14' sidewalk and 5'8" park strip along 800 South.
- 6' sidewalk along Richards St
- How do people move in and out of the building with the loading areas within the alleyway? The building entrances don't appear to be large enough and there is not an elevator on the façade.

Glazing:

- Ground floor glass requirement is 60% - 75% is provided along 800 S and 40% is provided along Richards St
- Upper floor glass requirement is 50% - narrative states glass is between 30-45%
- The ground level of the building is occupied by residential uses that face the street, in which case the specified minimum glass requirement may be reduced by fifteen percent (15%).
- The flex space along Richards could have more glazing, which would increase the overall percentage and could remove ground floor glass as a requested modification.

Building Entrances:

- 40-foot spacing requirement met, but the units along Richards do not provide an entry feature. Please review the entry features in 21A.37.050.P
- 800 S ground floor plan show 3 building entrances, but the renderings show 4.

- 12 entrances along Richards?
- Awnings are 12' above grade, but how deep are they? Code states, Overhead covers are required at building entrances to provide weather protection to pedestrians and may encroach into a required yard as indicated in this section or into a public right of way with an approved encroachment agreement with the city. These coverings are required to be between 9 and 14' above the level of the sidewalk. They shall also provide coverage with a minimum depth of 6 feet and project no closer to the curb than 3 feet.”
- I need more details on the entry features, they are hard to see on the renderings and elevations. Can you provide a rendering of the ground floor, from the 800 S sidewalk?
- Where are the entrances along the alleyway, where the loading area is shown?

Building Length: Building frontage along Richards St is 360', which exceeds the 200' maximum.

Upper Floor Step back: No step back along 800 S. Richards St has 3 large step backs in the form of courtyards that are approximately 63' deep by 45' wide.

Building Department: No Corrections- Comments by Todd Christopher

Fire: Make Corrections- Comments by Douglas Bateman

Elliot North –

*Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into; and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. This exceeds the maximum allowed and would need site modifications or approval of alternative means and methods from the Fire Prevention Bureau

*Fire apparatus access roads shall have an unobstructed width of not less than 20 feet for buildings 30-feet and less, exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Buildings greater than 30 feet shall have a road width of not less than 26 feet. Fire apparatus access roads with fire hydrants on them shall be 26-feet in width; at a minimum of 20-feet to each side of the hydrant in the direction or road travel. Alley does not appear to provide minimum widths to be considered a fire access road.

*The required turning radius of a fire apparatus access road shall be the following: Inside radius is 20 feet, outside is 45-feet

*Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus. Turn areas for hammerhead are increased to 80-feet (160-feet total) to accommodate SLC Fire Department apparatus. See appendix D for approved turnarounds.

*Buildings or portions of buildings constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Additional fire hydrants may be necessary dependent on total square footage and required fire flows in accordance with IFC appendix B and C

*Fire department connections shall be located on the street address side of buildings, fully visible and recognizable from the street, and have a fire hydrant within 100-feet on the same side of the street.

*Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.

*Aerial fire apparatus access roads shall be provided where the highest roof surface exceeds 30 feet measured from grade plane. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater. Some exceptions have been added by SLC; those can be obtained from this office.

*Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Aerial access routes shall be located not less than 15 feet and not greater than 30 feet from the building and shall be positioned parallel to one entire side of the building which is the long side of the building. It appears you do not provide the minimum proximity of 15-feet. You may go to as little as 10-feet through an AMM with Fire Prevention. Courtyards make it so one entire side is not available for access and would need to be modified or approved by Fire Prevention Bureau.

*Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building.

*Please verify all standpipe locations in stairs provide maximum hose pull distance of 200-feet to all interior portions of the building. Standpipe connections are to be located on the intermediate landings.

*Verify no dead end corridors greater than 50-feet have been designed. It appears there may be one on the north end of the building for all levels.

*Verify highest occupied floor level is not greater than 75-feet above the lowest level of fire department access or high rise requirements will be required including all items from IBC Chapter 4

*Verify pump and generator will not be required. Minimum fire flows and pressures from City system must provide adequate pressures for fire protection systems.

Elliot South –

*Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into; and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. This exceeds the maximum allowed and would need site modifications or approval of alternative means and methods from the Fire Prevention Bureau

*Fire apparatus access roads shall have an unobstructed width of not less than 20 feet for buildings 30-feet and less, exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Buildings greater than 30 feet shall have a road width of not less than 26 feet. Fire apparatus access roads with fire hydrants on them shall be 26-feet in width; at a minimum of 20-feet to each side of the hydrant in the direction of road travel. Alley does not appear to provide minimum widths to be considered a fire access road.

*The required turning radius of a fire apparatus access road shall be the following: Inside radius is 20 feet, outside is 45-feet

*Buildings or portions of buildings constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Additional fire hydrants may be necessary dependent on total square footage and required fire flows in accordance with IFC appendix B and C

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by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater. Some exceptions have been added by SLC; those can be obtained from this office.

*Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Aerial access routes shall be located not less than 15 feet and not greater than 30 feet from the building and shall be positioned parallel to one entire side of the building which is the long side of the building. Courtyards make it so one entire side is not available for access and would need to be modified or approved by Fire Prevention Bureau.

*Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building.

Housing Stability: No Corrections- Comments by Tony Milner

The Housing Stability Division's comments on the Planned Development and Design Review for the proposed Elliot North project, in relation to the City's five year housing plan, *Housing SLC: 2023-2027*, is as follows (link to the housing plan: <https://www.slc.gov/can/housing-slc/>)

No concerns.

Recommendations:

- We encourage the developer to review the City's available fee waivers and low-interest loan products that support the development and operations of affordable units. (link to SLC's Affordable Residential Development Guide: <https://slcrda.com/wp-content/uploads/2021/03/SLC-Affordable-Residential-Developers-Guide-2019-v1.pdf>)
 - For example: Code 18.98.060: EXEMPTIONS:
 - "E. The following housing may be exempt from the payment of impact fees, to the following extent:
 - A one hundred percent (100%) exemption shall be granted for rental housing for which the annualized rent per dwelling unit does not exceed thirty percent (30%) of the annual income of a family whose annual income equals sixty percent (60%) of the median income for Salt Lake City, as determined by HUD;"
- We encourage the developer to include units with 3 and 4 bedrooms to provide a wider range of rental options and support families with children looking to live in the City.
- We encourage the developer to include units with accommodations and amenities in alignment with the Americans with Disabilities Act, such as: ramps, door openers, wider door frames, grab bars, and roll-in showers to benefit residents with temporary or long-term mobility difficulties.

Urban Forestry: No Corrections- Comments by Rick Nelson

Urban Forestry approves of the proposed number and species of street trees. The soil volume required for the trees proposed to be planted in tree grates needs to be achieved in a format that is beneficial to the root zone of the tree and will probably require the use of soil cells to reach the required volume.

Sustainability: No Comments Provided

Transportation: Corrections Made- Comments by Jena Carver

The parking and access for both applications look good. In addition to the secure bicycle parking a publicly accessible bicycle rack should be provided for the retail space. I also recommend a more pedestrian and bicycle friendly cross section for Richards Street. The right-of-way is 66' wide, providing ample space for a cross section that meets the intent of the SLC Street Typologies design recommendations, with a wide sidewalk and park strip on the east side of Richards Street and bike lanes added to the roadway.

Police: No Corrections- Comments by Andrew Cluff

I like the design. 1st level commercial and increase in residential properties is definitely needed. I'm sure this has been thought thru but I didn't see it addressed on the plan. The alley way would be an area of concern for me. It showed existing lighting, but not a plan for adding additional lighting. This is one place I would keep well lit with clear signage for passers-by to avoid loitering or criminal activity on private property.

Also the Garage doesn't appear to be secured. If that's the case again just good lighting and signage with a good plan on how they might address any issues.

Public Utilities: No Objections- Comments by Kristeen Beitel

Public Utilities has no issues with the proposed special exceptions for building height or building length. In regards to reduced setbacks, applicant should be aware that reducing setbacks and landscape areas may limit space/options for green infrastructure, which is required by Public Utilities. Applicant should also consider providing enough space for all required utilities with required clearances.

With increased densification, the applicant must consider the potential increase in construction costs resulting from required offsite utility improvements, potentially downstream of the subject property. Densification may place greater demands on water, sewer, and storm drain systems, which could exceed the capacity of the existing infrastructure. Property owners and developers will be required to upgrade the offsite public utilities to ensure sufficient capacity for the new development.

Additional comments have been provided to assist the applicant in obtaining a building permit.

- Public Utility permit, connection, survey, and inspection fees will apply.
- All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.

- All utilities must meet horizontal and vertical clearance requirements. Water and sewer lines require 10 ft minimum horizontal separation and 18” minimum vertical separation. Sewer must maintain 5 ft minimum horizontal separation and 12” vertical separation from any non-water utilities. Water must maintain 3 ft minimum horizontal separation and 12” vertical separation from any non-sewer utilities.
- Public street light requirements are determined during building permit review.
- Utilities cannot cross property lines without appropriate easements and agreements between property owners.
- Site utility and grading plans will be required for building permit review. Site utility plans should include all existing and proposed utilities, including water, irrigation, fire, sewer, stormwater, street lighting, power, gas, and communications. Please refer to APWA, SLCDPU Standard Practices, and the SLC Design Process Guide for utility design requirements.
- Applicant must provide fire flow, culinary water, and sewer demand calculations to SLCDPU for review. The public sewer and water system will be modeled with these demands. If the demand is not adequately delivered or if one or more reaches of the sewer system reach capacity as a result of the development, a water/sewer main upsizing will be required at the property owner’s expense. Required improvements on the public water and sewer system will be determined by the Development Review Engineer and may be downstream of the project. Submitted plans appear to address offsite utility improvements with the new sewer main in 800 South and Richards Street and the new water main in Richards Street. Sizing and extents will be verified during building permit review.
- One culinary water meter is permitted per parcel and fire services, as required, will be permitted for this property. If the parcel is larger than 0.5 acres, a separate irrigation meter is also permitted. Each service must have a separate tap to the main.
- A minimum of one sewer lateral is required per building. The laterals must be 4” or 6” and meet minimum slope requirements (2% for 4” laterals, 1% for 6” laterals). Any unused sewer laterals must be capped and plugged at the main. Plan shows proposed 8” sewer laterals – these will require request for variance with supporting justification. Approval is not guaranteed.
- Covered parking area drains are required to be treated to remove solids and oils prior to discharge to the sanitary sewer. These drains cannot be discharged to the storm drain. Use a sand/oil separator or similar device. A 4ft diameter sampling manhole must be located downstream of the device and upstream of any other connections.
- Site stormwater must be collected on site and routed to the public storm drain system. Stormwater cannot discharge across property lines or public sidewalks.
- Stormwater treatment is required prior to discharge to the public storm drain. Utilize stormwater Best Management Practices (BMP's) to remove solids and oils. Green

Infrastructure should be used whenever possible. Green Infrastructure and LID treatment of stormwater is a design requirement and required by the Salt Lake City UPDES permit for Municipal Separate Storm Sewer System (MS4

- This project is located in SLCDPU's High Profile Construction Area, and a Storm Water Pollution Prevention Plan (SWPPP) is required for this project.

Rocky Mountain Power: Corrections Made- Comments by Michael Lange

The north building is going to have clearance issues with the transmission lines and the distribution lines along 800 S. The south building will have clearance issue on the west side of the building with our distribution line.

They will need to change their plans for the north building those lines are transmission and cannot be buried. The south building is distribution and can be relocated at their cost.