



# Staff Report

PLANNING DIVISION

DEPARTMENT of COMMUNITY and NEIGHBORHOODS

**To:** Salt Lake City Planning Commission  
**From:** Diana Martinez, Senior Planner, [diana.martinez@slcgov.com](mailto:diana.martinez@slcgov.com), 801-535-7215  
**Date:** March 27, 2024  
**Re:** PLNPCM2023-00610- Design Review application

## Design Review

**PROPERTY ADDRESS:** 1330 S. 700 W.  
**PARCEL ID:** 15-11-480-027-0000  
**MASTER PLAN:** [The Westside Master Plan](#)  
**ZONING DISTRICT:** [21A.26.030: CB COMMUNITY BUSINESS DISTRICT: \(amlegal.com\)](#)  
**OVERLAY DISTRICT:** [21A.34.030: T TRANSITIONAL OVERLAY DISTRICT: \(amlegal.com\)](#)

### REQUEST:

Melynda Geronimo requests Design Review approval to increase the front yard setback from the required maximum of 15 feet to approximately 32 feet due to the existing power lines and Rocky Mountain Power's construction clearance requirements for power poles.

### RECOMMENDATION:

**Design Review:** Based on the information and findings listed in this report, staff recommends that the Planning Commission approve the design review petition PLNPCM2023-00610 with the following condition:

- The existing storage building in the rear of the property must be an accessory use to the proposed multi-family apartment building (e.g. storage space to be used by the tenants, parking for the tenants, tenant hobby space).

### ATTACHMENTS:

- [ATTACHMENT A: Vicinity Map](#)
- [ATTACHMENT B: Applicant's Narrative](#)
- [ATTACHMENT C: Plan Set](#)
- [ATTACHMENT D: Property and Vicinity Photos](#)
- [ATTACHMENT E: CB Zoning Standards](#)

- F. [ATTACHMENT F: Design Review Standards](#)
  - G. [ATTACHMENT G: Planned Development Standards](#)
  - H. [ATTACHMENT H: Public Process & Comments](#)
  - I. [ATTACHMENT I: Department Review Comments](#)
- 

## PROJECT DESCRIPTION



The proposal is for a Design Review to allow for the construction of a new 16-unit multifamily residential building to be built on the property located at 1330 S. 700 W. The building will be a mix of one-, two-, and three-bedroom units on the ground floor and a second level. The proposed height of the building is approximately 25'3". Access to this proposal would be from 700 West. This would be the ingress and egress point for the property.

The subject property is one property to the south of 1300 South, which is an arterial road. The property fronts along 700 West, which is a collector road. The subject property and the property to the north are the only properties with residential dwellings. Most other properties between 1300 South and 1700 South have commercial and light industrial uses, such as retail food and service establishments (NAPA Auto Parts, Superior Paint Supply, La Frontera, Victor's Tires & Restaurant) and wholesale distribution and warehouse centers, towing facilities, and metal storage facilities. The land uses, building types, and building locations are all very different along 700 West, although most of the properties are in the M-1 (light industrial) zoning district.

There is a large storage building at the rear of the subject property, which the applicants have agreed to use as an accessory use to the proposed multi-family apartment building. The tenants of the proposed building would be able to rent space within the storage building as needed.



*Picture of subject property showing the storage garage in the rear of the property.*

**Quick Facts:**

**Building Footprint Size:** 6,560 square feet.

**Proposed Height of Building:** 25'3" tall

**Exterior Building Materials:** White stucco, dark gray brick, windows in white vinyl.

**Parking Space Proposed:** 16 spaces proposed.

**Review Process & Standards** – Design Review process & standards per Ordinance 21A.37 and 21A.59, and any general zoning requirements.



Street Facing Glass Calculations

## APPLICABLE REVIEW PROCESSES AND STANDARDS

**Applicable Standards:** Design Review Standards and general zoning standards (landscaping, parking, etc.)

**Design Review:** The Design Review process allows applicants to pursue minor modifications to design standards or approval for larger developments that could impact the City. For minor modifications, the process allows some flexibility in how the design standards are administered. The Design Review process seeks to create compatibility with surrounding properties, mitigate impacts on public infrastructure, and ensure that the proposed development helps achieve the goals of the various master plans of the City.

## KEY CONSIDERATIONS

The key considerations listed below were identified through the analysis of the project:

1. Compliance with City Goals & Policies Identified in Adopted Plans
2. Modification Requested Through Design Review Process

### Consideration 1: Compliance with City Goals & Policies Identified in Adopted Plans

#### Plan Salt Lake

*Neighborhoods- Neighborhoods that provide a safe environment, opportunity for social interaction, and services needed for the well-being of the community therein.*

The proposal offers housing within a mixed area of residential and commercial uses. Having a diverse mix of uses in neighborhoods citywide will become increasingly important to accommodate responsible growth and provide people with real choices for where they live, how they live, and how they get around.

*Growth- Growing responsibly while providing people with choices about where they live, how they live, and how they get around.*

The proposal provides housing infill and redevelopment of underutilized land. The increased density of the subject property allows accommodation and promotes and increase in the City's population.

#### *Transportation & Mobility*

The proposal is within ¼ of a mile of a bus transit line. This allows residents to have options for mobility in their area. The primary form of transportation may still be private automobile use. Transit, biking, and walking are possible options for transportation, since there are retail establishments and services near the subject property.



## [The Westside Master Plan](#)

*The established and stable neighborhoods of the Westside will remain the core of the community, retaining traditional development patterns while also providing new housing opportunities.*

In the past few decades, there has been very little additional density stemming from multifamily residential development. Most of the infill in the Westside has been single-family dwellings. This proposal gives an affordable housing option and a variety of housing types by proposing an apartment building in this area.

The subject property is just off 1300 South, one of the city's largest east-west roads on the west side. This proximity to the corridor gives the residents of the proposal immediate and quick access to services and goods.

Although the M-1 (light industrial) zoning district is the foremost zone along 700 West from 1300 South to 2100 South, the industrial and mixed-use land uses along this stretch are relatively low intensity. Therefore, it could provide opportunities for the infill of multi-family developments for residents who seek an urban neighborhood with an industrial appeal.

### **Consideration 2: Modification Requested Through Design Review Process**

The applicant is required to go through the Design Review process since they are proposing a front yard setback of more than the 15 feet allowed maximum setback.

*6. Maximum Setback: A maximum setback is required for at least seventy five percent (75%) of the building facade. The maximum setback is fifteen feet (15'). Exceptions to this requirement may be authorized through the design review process, subject to the requirements of [Chapter 21A.59](#) of this title, and the review and approval of the planning commission.*

The applicant requests approval for the front yard setback to be approximately 32 feet. This is due to Rocky Mountain Power (RMP) 's requirement that new construction be 25 feet away from power poles. Since the power pole sits approximately 7 feet into the property, additional footage is needed to meet the requirements of RMP.

Having a 32' setback in the front yard will not negatively impact this area. Most of the properties along 700 West between 1300 South and 2100 South have buildings set back at least 25' or more. Since only the subject property and the property to the north are the only properties not zoned M-1 along this stretch of 700 West, the front yard setbacks for most of the building are quite compatible. Other properties along 700 West will be subjected to Rocky Mountain Power's front yard setback requirement if they redevelop since the power poles run along the west side of 700 West.

The Design Review process allows a review of the proposed redevelopment to ensure that no negative impacts will come to the existing land uses in the immediate vicinity. The proposal

does comply with the required ordinance design standards, which will help this project to be more compatible with the surrounding land uses.

***REVIEW OF THE PLANNING COMMISSION:***

The Planning Commission is looking at this application to approve the design of the proposed structure and the layout of the site.

The Planning Commission should consider whether or not the application complies with the requirements of the Design Standards listed in 21A.37.060. Few design standards are required in the CB (Community Business) Zoning District. These are:

- Ground floor glass percentage of 40%
- Building entrances -having direct access to the use
- Lighting
- Screening of mechanical equipment
- Screening of service areas

The Planning Commission should review the site plan to ensure the proposal meets these standards. All other requirements, such as traffic, fire, building code, and public utility issues, will be addressed during the building permit process.

## **STAFF RECOMMENDATION**

The planning staff is recommending approval of the Design Review application. The applicant is subjected to City code requirements as well as the requirements by Rocky Mountain Power since the electric power poles run within their property.

The proposal meets the standards and objectives of the Design Review process. By following the more stringent standards of the Design Review process, a more enhanced product is achieved than would be through the strict application of the regulations within the CB (Community Business) Zoning District.

## **NEXT STEPS**

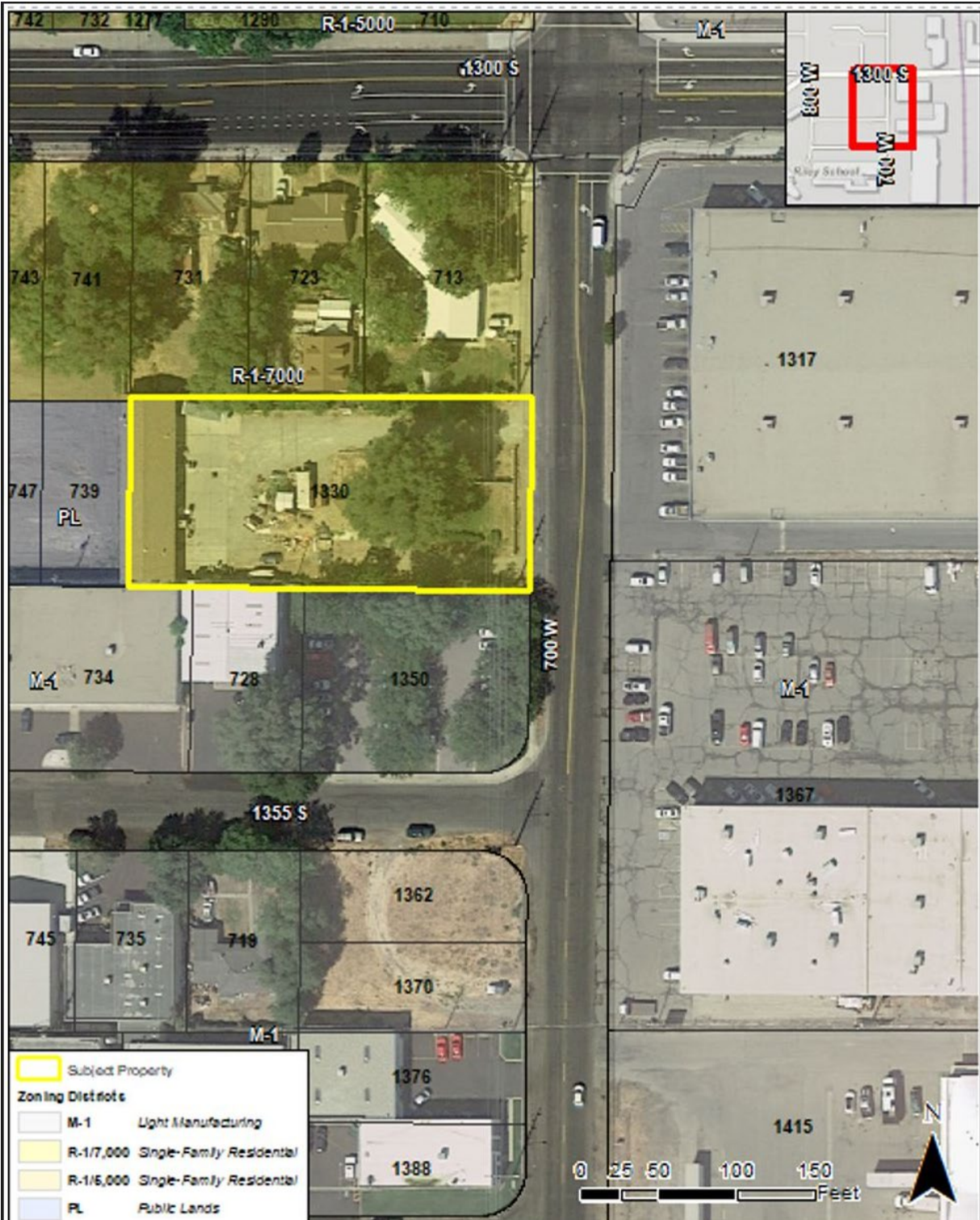
### **Approval of Design Review**

If the request is approved, the applicant must comply with any conditions of approval, including any required by other City departments and the Planning Commission. Once all conditions of approval are met, the applicant can submit plans for building permits.

### **Denial of the Design Review Request**

If the Design Review request is denied, the proposed building must meet the maximum front yard setback of 15 feet (property line to building). This may cause an issue with any revisions to the current plans since Rocky Mountain Power will not allow a building to be built within 25' of the power poles.

# ATTACHMENT A: Vicinity Map



March 27, 2024



# ATTACHMENT B: Applicant's Narrative

**Narrative and images that demonstrate how the proposal complies with:**

- **Applicable design review objectives found in Section 21A.59.050.**
- **The purpose of the zoning district.**
- **The purpose of the applicable design standards of the zoning district.**

Applicant requests approval to extend the front setback only as much as necessary to meet Rocky Mountain Power's construction clearance requirements. On onsite meeting took place on July 10, 2023 with RMP's tech, Jordan. He identified these to be "transmission poles" which require a 25' clearance.

**In summary: With the power pole located approximately 7' from the property lin, we are requesting a total set back of 33' in order to meet RMP's requirements.**



As can be seen in this photo, when compared with the sidewalk running in front of the property to the south, the power pole is set inside the lot.

March 27, 2024

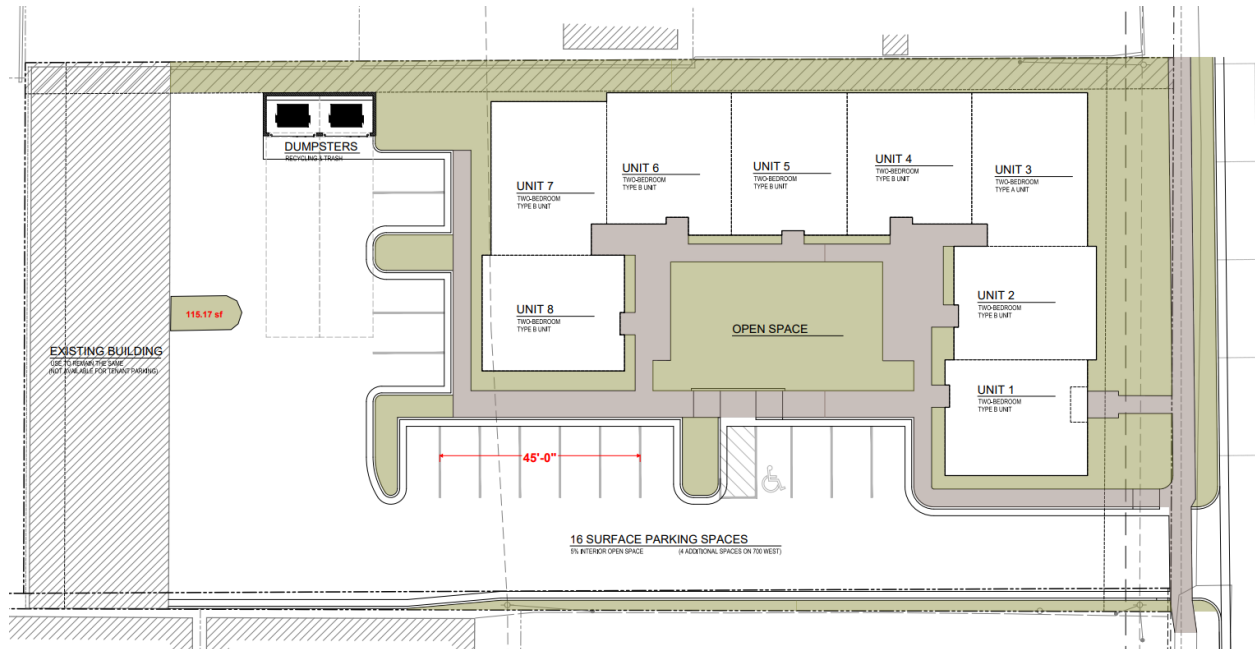




A rough measurement taken from maps.google.com shows the power poles to be between 8'-10' inside the property.

- With the power poles located 8'-10' inside the property, a maximum of 15' setback allowed by the CB zone, and Rocky Mountain Power construction clearance greater than the 5'-7' remaining distance to still be within the 15' setback, we are faced with contradictory requirements. Without an exception, no development can take place on this lot. The CB zone states the intended purpose to be close commercial integration with adjacent residential neighborhoods.
  - Since adjacent industrial and commercial properties have a greater allowable setback and residential is only located at the north side (all of which face north) adjusting the setback of the subject property to meet RMP's requirements should not have a negative or noticeable effect on the intended purpose of the CB zone.
  - All other requirements for the zone will be met.

## Site Plan

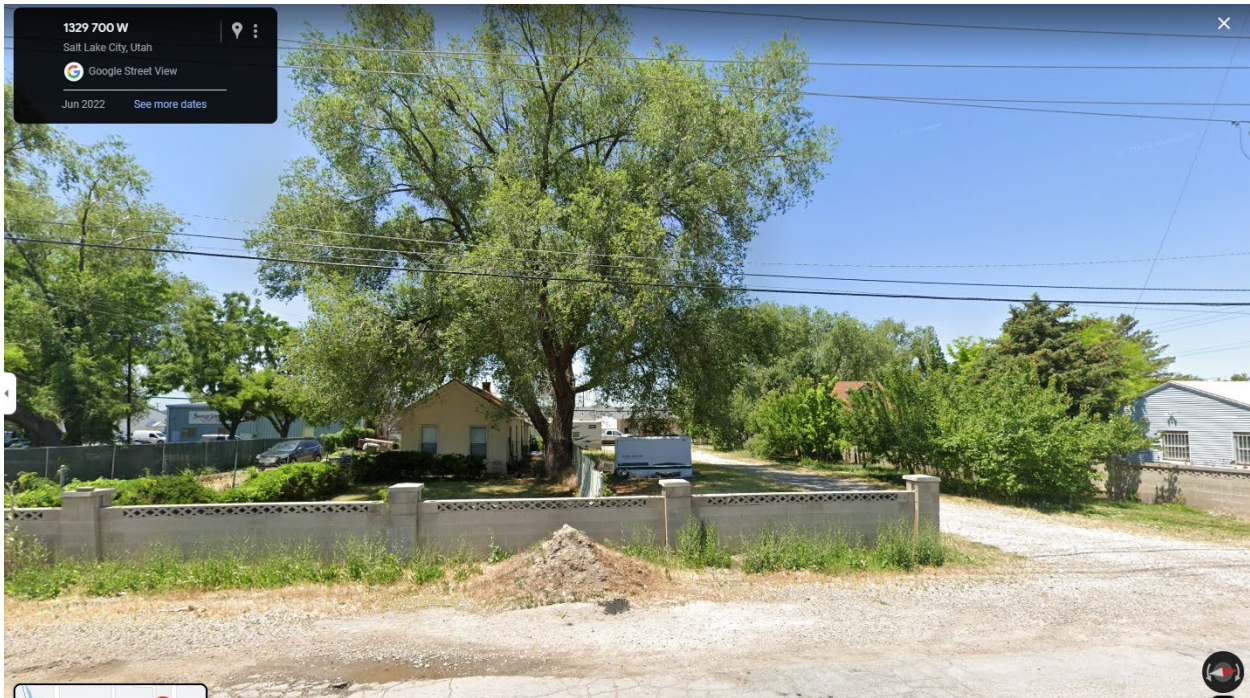


This provides a general idea of the site plan except that it will be mirrored, and the access will be on the north side of the building instead of the south.

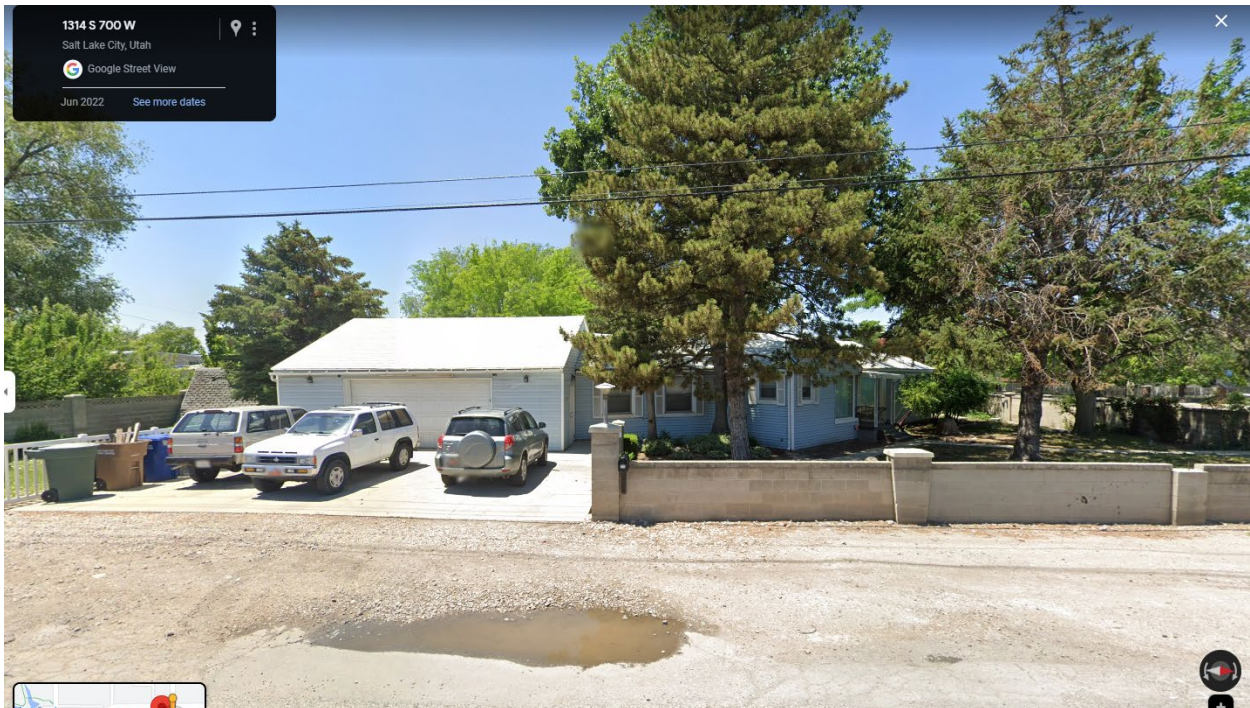
March 27, 2024



## Photos



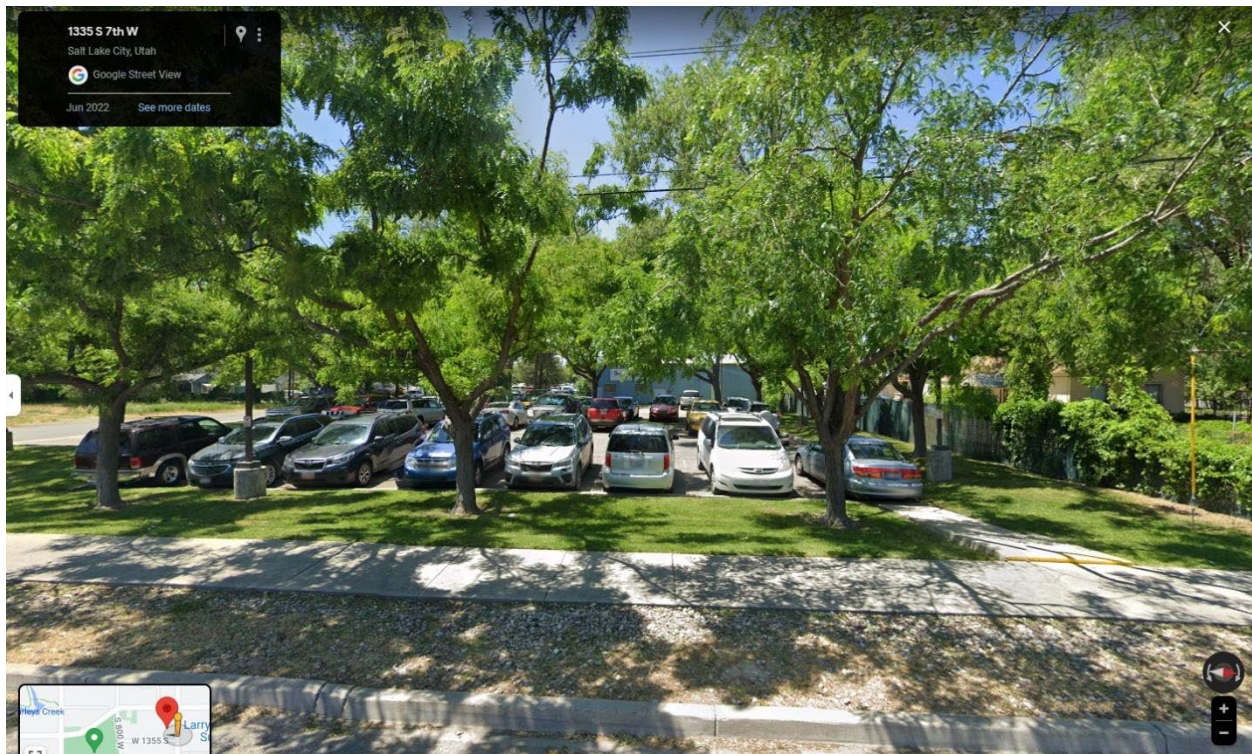
Subject Property – View from the street



Property to the north

March 27, 2024





Property to the south



Property to the east

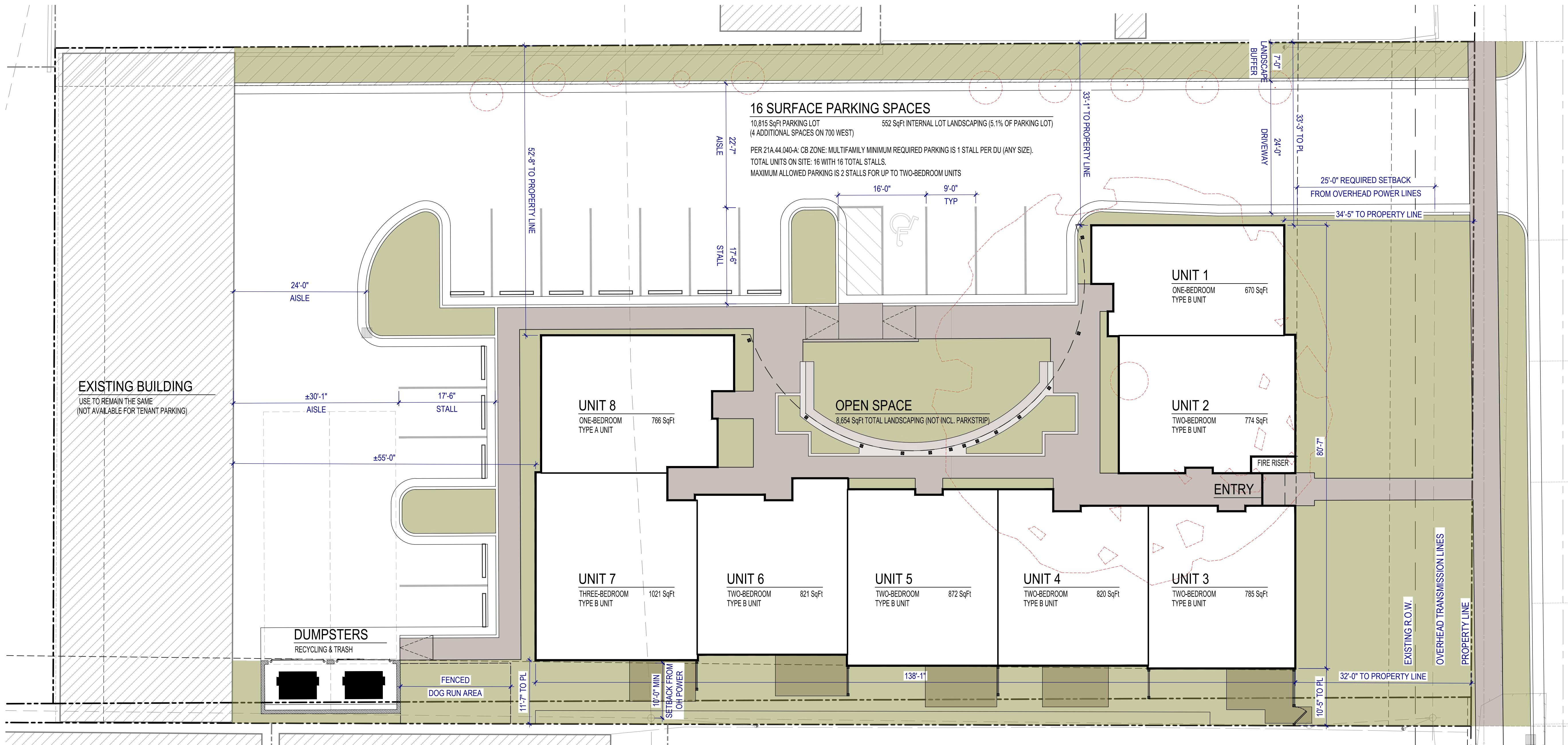
March 27, 2024



# **ATTACHMENT C:    Plan Set**

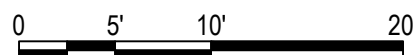
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21/2024 2:02 PM Z:\21-177-00 GERONIMO MULTI-FAMILY 1320 S 700 W\00 CAD-BIM\SCHEMATIC SITE FINAL.DWG PLOT 21/2024 3:11 PM



Site Plan

1" = 10'-0"  
(1" = 20'-0" ON 11x17 PAPER)



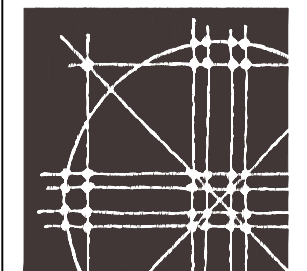
Upper Level

1/16" = 1'-0"  
(1/32" = 1'-0" ON 11x17 PAPER)

Main Level

1/16" = 1'-0"  
(1/32" = 1'-0" ON 11x17 PAPER)

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# GERONIMO PROPERTY - Multifamily

1320 S 700 W Salt Lake City UT 84115  
SITE PLAN

Job #	
Dr. By	MTJ
Ch. By	
Rev. By	
Revisions	
	PRELIMINARY
Date:	

Sheet:  
**AS101**  
1 of 1



FLOOR PLAN GENERAL NOTES:

- DO NOT SCALE DRAWINGS.
- ALL PLAN DIMENSIONS ARE TO FACE OF NOMINAL STUD, DOORS & WINDOWS ARE DIMENSIONED TO CENTERLINE.
- ALL EXTERIOR WALLS TO BE 2x6 FRAMING @ 16" o.c., U.N.O.
- ALL INTERIOR WALLS ARE 2x4 FRAMING @ 16" o.c., UNLESS NOTED OTHERWISE.
- ANGLED WALLS ARE 45° U.N.O.
- FRAMING CONTRACT SHALL INCLUDE ALL BLOCKING, BACKING, AND FURRING REQUIRE TO COMPLETE THIS JOB.



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# GERONIMO PROPERTY - Multifamily

1320 S 700 W Salt Lake City UT 84115  
Main Level Floor Plan

Job #	
Dr. By	JAP
Ch. By	
Rev. By	
Revisions	
Date:	

Sheet:  
**A103**  
of



- FLOOR PLAN GENERAL NOTES:
- DO NOT SCALE DRAWINGS.
  - ALL PLAN DIMENSIONS ARE TO FACE OF NOMINAL STUD, DOORS & WINDOWS ARE DIMENSIONED TO CENTERLINE.
  - ALL EXTERIOR WALLS TO BE 2x6 FRAMING @ 16" o.c., U.N.O.
  - ALL INTERIOR WALLS ARE 2x4 FRAMING @ 16" o.c., UNLESS NOTED OTHERWISE.
  - ANGLED WALLS ARE 45° U.N.O.
  - FRAMING CONTRACT SHALL INCLUDE ALL BLOCKING, BACKING, AND FURRING REQUIRE TO COMPLETE THIS JOB.

2/1/2024 3:09 PM Z:\22-117.00 GERONIMO MULTI-FAMILY 1320 S 700 W\00\_CAD-BM\A104- UPPER.DWG Plot:2 / /2024 3:10 PM



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**GERONIMO PROPERTY - Multifamily**  
1320 S 700 W Salt Lake City UT 84115  
Upper Level Floor Plan

Job #	
Dr. By	JAP
Ch. By	
Rev. By	
Revisions	
Date:	

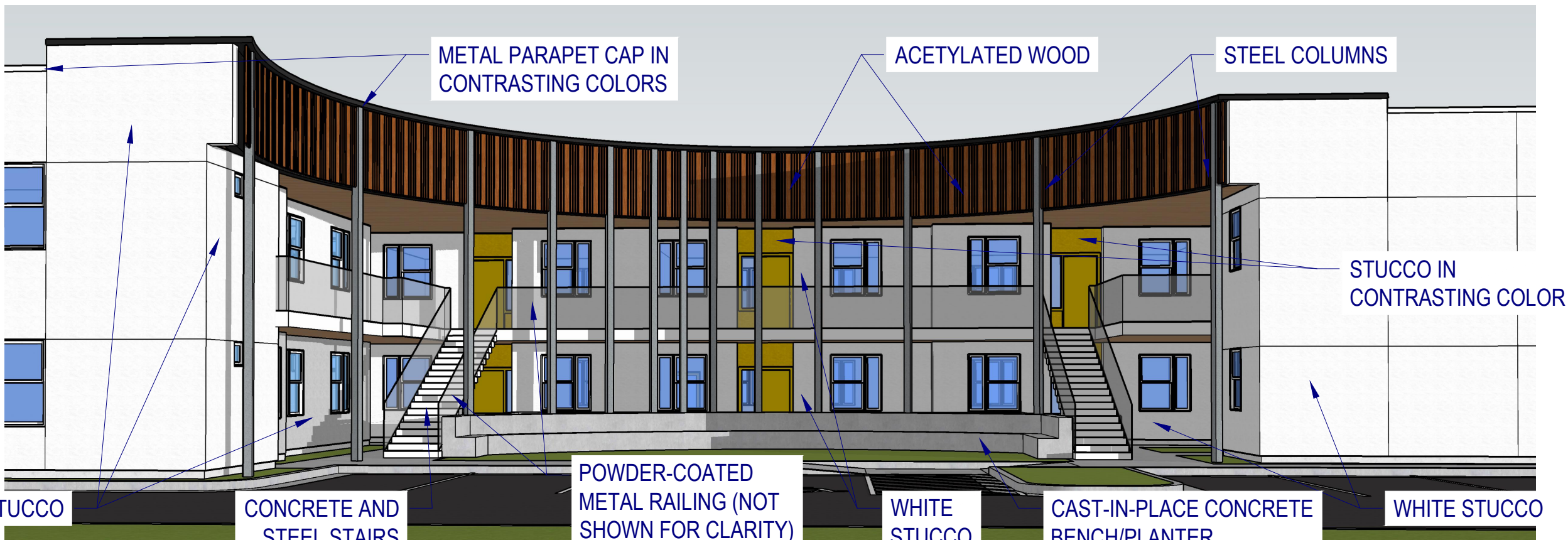
Sheet:  
**A104**  
of

**LEGEND**

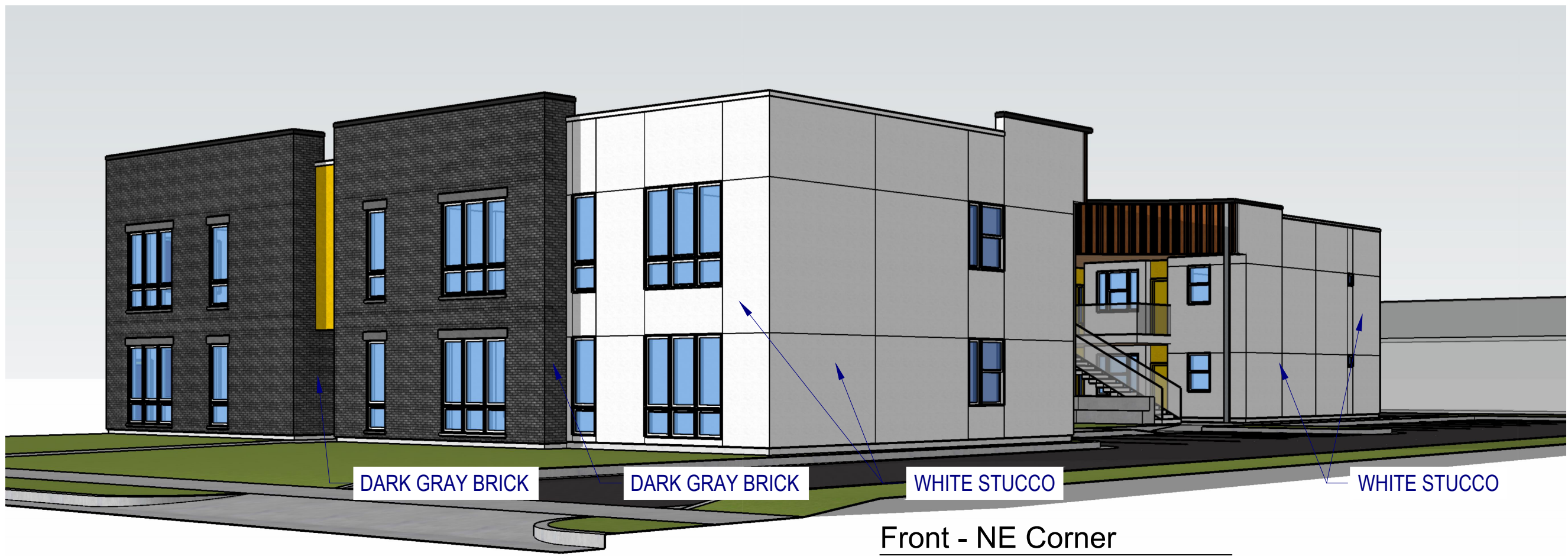
FURR DOWN IN THIS AREA - HEIGHT AS NOTED



2/20/2024 4:58 PM Z:\22-117.00 GERONIMO MULTI-FAMILY 1320 S 700 W\00\_CAD-BIM\A104- UPPER.DWG Plot:2/20/2024 5:08 PM



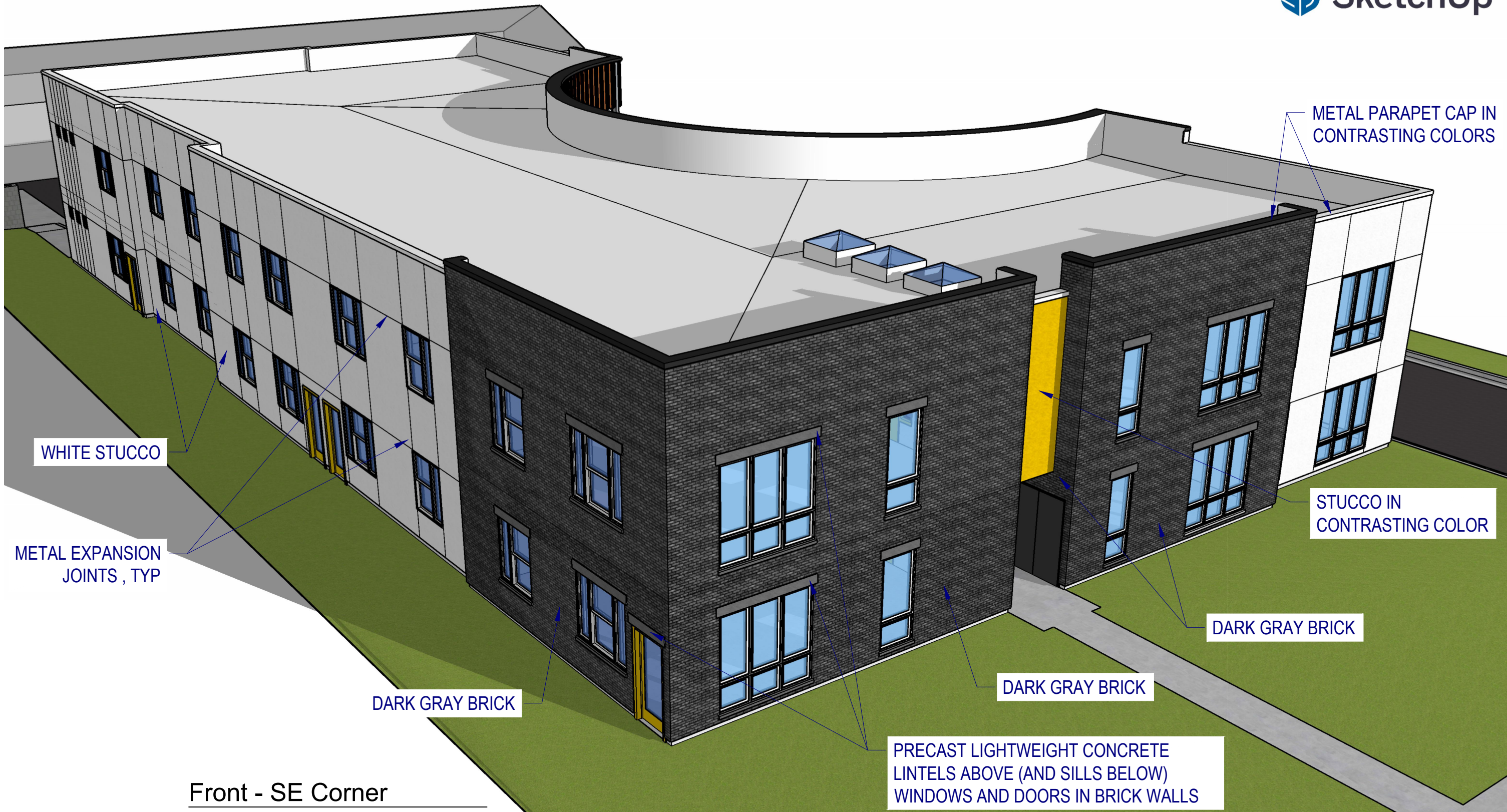
Interior Courtyard



Front - NE Corner

MATERIAL NOTES:

- MAIN ENTRY WILL BE A TYPICAL ALUMINUM STOREFRONT SYSTEM
- ALL OTHER WINDOWS TO BE WHITE VINYL
- UNIT ENTRY DOORS TO BE PAINTED SOLID CORE FIBERGLASS IN PAINTED HOLLOW METAL DOOR FRAMES



Front - SE Corner

MODEL ELEVATION VIEWS

NO SCALE

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**GERONIMO PROPERTY - Multifamily**  
1320 S 700 W Salt Lake City UT 84115  
Model Elevation Views

Job #	
Dr. By	JAP
Ch. By	
Rev. By	
Revisions	
Date:	

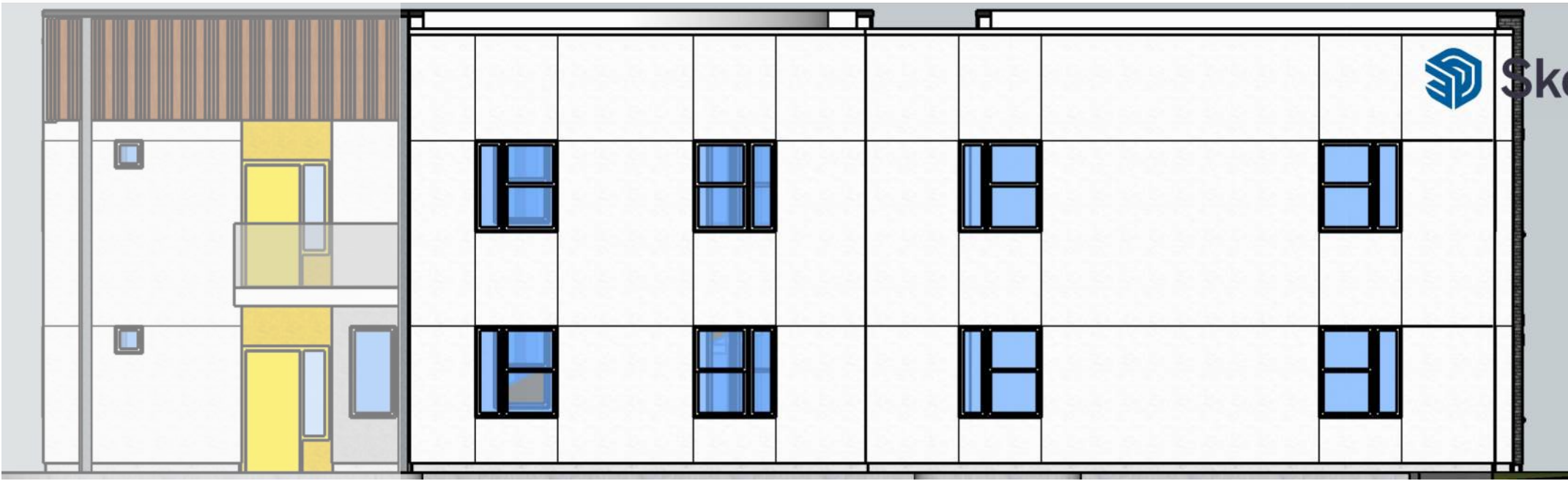
Sheet:  
**A105**  
of



2/20/2024 5:11 PM Z:\22-117.00 GERONIMO MULTI-FAMILY 1320 S 700 W\00\_CAD-BIM\A104- UPPER.DWG Plot:2/20/2024 5:12 PM



East-West Section



West Elevation



East Elevation

MODEL ELEVATIONS  
NO SCALE



Street Facing Glass Calculations

GREEN BAND IS BETWEEN 3'-0" AND 8'-0" ABOVE GRADE.

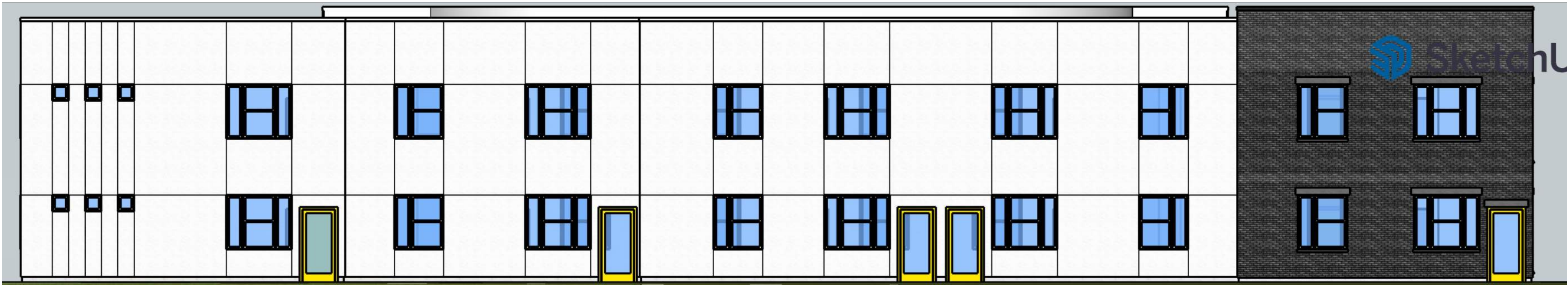
TOTAL SIZE OF GREEN BAND: 403 SQ.FT.  
40% OF TOTAL: 161.2 SQ.FT.

TOTAL AREA OF GLASS PROVIDED WITHIN GREEN BAND: 182 SQ.FT. (20.8 SQ.FT. MORE THAN REQUIRED)  
PERCENTAGE OF GLASS WITHIN GREEN BAND: 45%

NOTE: THE MINIMUM AREA OF GLAZING IS ALLOWED TO BE REDUCED BY 15%. WE DON'T REQUIRE THE REDUCTION



North-South Section



South Elevation



North Elevation

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GERONIMO PROPERTY - Multifamily  
1320 S 700 W Salt Lake City UT 84115  
Model Elevations

Job #	
Dr. By	JAP
Ch. By	
Rev. By	
Revisions	
Date:	

Sheet:  
**A106**  
of



## **ATTACHMENT D: Property and Vicinity Photos**

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***Subject property – view from 700 West***



***North property line – Single Family dwelling to the north  
Picture also shows the Rocky Mountain Power power poles along front property line***





***View from 700 West – looking at the south side of the property***



***South property line –Light industrial use and parking lot to the south***

March 27, 2024





***View to the south along 700 West- showing light industrial businesses***



***Commercial business directly to the East***

# ATTACHMENT E: CB (Community Business) Zoning Standards

[21A.26.030: CB COMMUNITY BUSINESS DISTRICT: \(amlegal.com\)](#)

**Purpose Statement:** The CB Community Business District is intended to provide for the close integration of moderately sized commercial areas with adjacent residential neighborhoods. The design guidelines are intended to facilitate retail that is pedestrian in its orientation and scale, while also acknowledging the importance of transit and automobile access to the site.

Standard	Requirement	Proposed	Finding
<b>Maximum Building Height</b>	30'	25'3"	Complies
<b>Front/Corner/ Side/Rear Yard Setbacks</b>	<p>No minimum yard is required. If a front yard is provided, it shall comply with all provisions of this title applicable to front or corner side yards, including landscaping, fencing, and obstructions.</p> <p>Interior side: none required</p> <p>Rear yard: ten feet (10')</p> <p><b>Maximum Setback: A maximum setback is required for at least seventy five percent (75%) of the building façade. The maximum setback is fifteen feet (15').</b></p>	<p>Front yard: approximately 32 feet from the front property line to the proposed building.</p> <p>Side yard: 10 feet.</p> <p>Rear yard: +55 feet.</p>	<p>Does not comply.</p> <p>Front yard setback requires design review approval from the Planning Commission to be more than 15 feet.</p>
<b>Lot Size</b>	No minimum required	N/A	N/A
<b>Mid-Block Walkway</b>	Not required	N/A	N/A
<b>Refuse Control</b>	Screening of Service Areas: Service areas, loading docks, refuse containers,	Waste and recycling containers, mechanical equipment, storage areas,	Complies

	utility meters, and similar areas shall be fully screened from public view.	and loading docks shall be fully screened from public view.	
<b>Lighting</b>	<p>Exterior Lighting: All exterior lighting shall be shielded and directed down to prevent light trespass onto adjacent properties. Exterior lighting shall not strobe, flash or flicker.</p> <p>I. Parking Lot Lighting: If a parking lot/structure is adjacent to a residential zoning district or land use, any poles for the parking lot/structure security lighting are limited to sixteen feet (16') in height and the globe must be shielded and the lighting directed down to minimize light encroachment onto adjacent residential properties or into upper level residential units in multi-story buildings. Lightproof fencing is required adjacent to residential properties.</p>	All lighting is proposed to illuminate the subject property and not hinder the surrounding properties.	Complies
<b>Off-Street Parking &amp; Loading (21A.44.040.A.)</b>	Studio and 1+ bedrooms: 1 space per DU	The proposal provides one space per DU on-site parking	Complies
<b>Landscaping &amp; Buffering (21A.48)</b>	<p>Any lot abutting a lot in a Residential District shall conform to the buffer yard requirements of Chapter 21A.48 of this title.</p> <p>If a front or corner side yard is provided, such yard shall be maintained as a landscaped yard. The landscape yard can take</p>	The proposal will provide a seven-foot landscaping buffer along the north property line since it abuts R-1-7,000 residential zoning.	Complies



	the form of a patio or plaza, subject to site plan review approval.		
<b>Signage (21A.46.110)</b>	Signage and wayfinding shall be integrated with the architecture of the parking structure and be architecturally compatible with the design.	A sign package will be required during the building permit process if applicable.	Complies
<b>Building Materials</b>	Durable materials include stone, brick, masonry, textured or patterned concrete, and fiber cement board or other material that includes a minimum manufacturer warranty of twenty (20) years from color fading, weather, and local climate induced degradation of the material.	The applicant is proposing White stucco, dark gray brick on the building and the windows will be in white vinyl.  *There is no building material percentage required in the CB zone.	Complies
<b>Ground Floor Glass</b>	40% - The ground level of the building is occupied by residential uses that face the street, in which case the specified minimum glass requirement may be reduced by fifteen percent (15%).	The proposal will provide 46% ground floor glass.	Complies
<b>Upper Floor Glass</b>	Not required	N/A	N/A
<b>Building Entrances</b>	At least one operable building entrance on the ground floor is required for every street-facing facade.	There is one operable building entrance on the east side of the building, which faces onto the public street (700 West).	Complies

# ATTACHMENT F: Design Review Standards

**21A.59.050: Standards for Design Review:** In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

The Finding for each standard is the recommendation of the Planning Division based on the facts associated with the proposal, the following discussion, and the input received during the engagement process. Input received after the staff report is published has not been considered.

**A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.**

**Finding: Complies**

**Discussion:**

The proposed development is aligned with the purpose statement for the CB zone. The project addresses the need for additional housing and supports many of the objectives of the Westside Master Plan. See Consideration #1 in this staff report.

The 700 West corridor between 1300 South and 2100 South is mostly zoned M-1 (light industrial), and most uses along this road are light intensity. There are opportunities for infill development of multi-family residential housing in this area.

**Condition(s): n/a**

**B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.**

- 1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot).**
- 2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood.**
- 3. Parking shall be located within, behind, or to the side of buildings.**

**Finding: Complies**

**Discussion:**

- 1. The proposed building's main entrance will face the public sidewalk, and the interior secondary entrances will face the parking lot.**
- 2. Although the proposed building would be set back from the front property line, it would still be consistent with the development patterns of the neighborhood since many of the structures along that street are setback from the road, and even have parking in the front yard setbacks. Due to the existing power lines along 700 West it is likely that**

future development or redevelopment of properties on the west side of the street will face the same challenges.

3. The proposed parking will be in the side and rear areas of the property.

**Condition(s): n/a**

**C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.**

1. Locate active ground floor uses at or near the public sidewalk.
2. Maximize transparency of ground floor facades.
3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions.
4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces.

**Finding: Complies**

**Discussion:**

1. The ground floor will be residential, with sufficient windows to facilitate pedestrian interaction.
2. Although the ground floor will have many windows, the transparency will be limited since it will be residential living spaces.
3. This residential building will have concrete lintels above windows, and doors will be recessed in the brick walls with different materials and colors along the front façade.
4. The subject property will be landscaped and have open spaces directly connecting to the street.

**Condition(s): n/a**

**D. Large building masses shall be divided into heights and sizes that relate to human scale.**

1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis.
2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height.
3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals.



4. **Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.**

**Finding:** Complies

**Discussion:**

1. Most of the buildings in the area are large industrial buildings. The proposed building is not the same mass or scale of the existing buildings. With the possibility of redevelopment in this immediate area, new buildings that may come in have the potential of being similar sized as the proposed multi-family building.
2. Most of the larger buildings are south of the subject property. The buildings on the west side of 700 West are mostly two-story buildings and are more compatible than the larger industrial buildings to the south. The height and visual width of the proposed building is compatible with closer buildings.
3. The street-facing façade will have fenestration and window reveals.
4. The scale and solid-to-void ratio of windows and doors is compatible with other buildings in the neighborhood.

**Condition(s):** n/a

**E. Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include:**

1. **Changes in vertical plane (breaks in facade)**
2. **Material changes; and**
3. **Massing changes.**

**Finding:** Not Applicable

**Discussion:** The proposed building will not exceed two hundred feet in length.

**Condition(s):** n/a

**F. If provided, privately owned public spaces shall include at least three (3) of the six (6) following elements:**

1. **Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");**
2. **A mixture of areas that provide seasonal shade;**
3. **Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted;**
4. **Water features or public art;**

<p><b>5. Outdoor dining areas; and</b></p> <p><b>6. Other amenities not listed above that provide a public benefit.</b></p>
Finding: Complies
<p><b>Discussion:</b></p> <p>The subject property is privately owned and will not have public spaces. The applicant is proposing upgraded landscaping with trees and plants. There will be outside seating areas for the residents.</p>
Condition(s): n/a
<p><b>G. Building height shall be modified to relate to human scale and minimize negative impacts. In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive City skyline.</b></p> <p><b>1. Human scale:</b></p> <ul style="list-style-type: none"> <li><b>a. Utilize stepbacks to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans.</b></li> <li><b>b. For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height.</b></li> </ul> <p><b>2. Negative impacts:</b></p> <ul style="list-style-type: none"> <li><b>a. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors.</b></li> <li><b>b. Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height.</b></li> <li><b>c. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.</b></li> </ul> <p><b>3. Cornices and rooflines:</b></p> <ul style="list-style-type: none"> <li><b>a. Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition.</b></li> <li><b>b. Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings.</b></li> <li><b>c. Green Roof And Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce</b></li> </ul>

<b>solar gain, air pollution, and the amount of water entering the stormwater system.</b>
Finding: Not Applicable
<b>Discussion:</b> The proposed building height is meeting the required height maximum at 25'3".
<b>Condition(s): n/a</b>
H. Parking and on-site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway.
<b>Finding: Complies</b>
<b>Discussion:</b> The parking for this project will be located at the side and the rear of the proposed building. On-site circulation will provide safe pedestrian connections.
<b>Condition(s): n/a</b>
<b>I. Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (See subsection 21A.37.050K of this title.)</b>
<b>Finding: Complies</b>
<b>Discussion:</b> Waste and recycling containers will be screened and located in the southwest corner of the project.
<b>Condition(s): n/a</b>
<b>J. Signage shall emphasize the pedestrian/mass transit orientation.</b>
<ol style="list-style-type: none"> <li>1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building.</li> <li>2. Coordinate signage locations with appropriate lighting, awnings, and other projections.</li> <li>3. Coordinate sign location with landscaping to avoid conflicts.</li> </ol>
Finding: Not Applicable
<b>Discussion:</b> Any proposed signs will have to be reviewed and approved through the permitting process with the building permit.
<b>Condition(s): n/a</b>



**K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals.**

- 1. Provide streetlights as indicated in the Salt Lake City Lighting Master Plan.**
- 2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky.**
- 3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.**

**Finding: Complies**

**Discussion:** The lighting proposed for this project will meet the standards above. Lighting will help the safety and circulation of the proposal while not causing a negative impact on the adjacent properties or community.

**Condition(s): n/a**

**L. Streetscape improvements shall be provided as follows:**

- 1. One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the approval of the City's Urban Forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester.**
- 2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards:**
  - a. Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur.**
  - b. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table.**
  - c. Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar- Reflective Index (SRI).**
  - d. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City.**
  - e. Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities.**
  - f. Asphalt shall be limited to vehicle drive aisles.**

**Finding: Complies**

**Discussion:** The applicant proposes upgraded landscaping around the proposed building and parking areas.

**Condition(s):** n/a

## ATTACHMENT G: Public Process & Comments

### Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- January 24, 2024- A City Open House began, giving information about the proposal on the city website.
- January 29, 2024 – The subject property is located within the Ballpark Area Community Council a 45-day notice for recognized community organizations was sent to the Council to make them aware of the proposal. A letter was received from the Ballpark Area Community Council and is attached below.
- February 5, 2024 - Property owners and residents within 300 feet of the development were provided early notification of the proposal.

Notice of the public hearing for the proposal included:

- March 13<sup>th</sup>, 2024
  - Public hearing notice sign posted on the property.
- March 22, 2024
  - Public hearing notice mailed.
  - Public notice posted on City and State websites and Planning Division list serve.

### Public Input:

The Planning Staff has received no public comments regarding this application.



**Sent:** Thursday, February 1, 2024 11:44 AM

**Subject:** RE: Question on Distance From Structure

Jordan,

The customer needs to stay 25ft off of centerline for the entire length of the lot. This 25ft distance means that during different weather conditions, the 46kV transmission line maintains all required NESC clearances. If the customer wishes to encroach on this 25ft distance for any reason, they will need to submit plans to RMP for review and approval (this includes changing the grade, installing any buildings, sheds, trampolines, planting vegetation, installing a pool, etc.).

Thanks,



March 27, 2024

# ATTACHMENT H: Department Review Comments

This proposal was reviewed by the following departments. Any requirement identified by a City Department is required to be complied with.

**Transportation: Jena Carver** // [jena.carver@slcgov.com](mailto:jena.carver@slcgov.com) // 801-535-6694

No transportation concerns.

**Fire: Seth Huthinson** // [seth.huthinson@slcgov.com](mailto:seth.huthinson@slcgov.com) // 801-535-7164

Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of IFC section 503 and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, and an unobstructed vertical clearance of not less than 13 feet 6 inches, and be capable of supporting 80,000 pounds per square inch (psi). Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles, or medians. The approved method of measurement for the 150 foot requirement is from the middle of the FD Access Road, then using right angles and straight lines, measure around the building. Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus. FD turnarounds must meet SLC Fire Department requirements, and requirements in Appendix D Section D103.4 and Table D103.4 in the IFC. SLC Fire Department requires that hammer head turnarounds measure 160 feet (80-foot Y) with a minimum of 20 foot inside turn radius, and a 45 foot outside turn radius (this is the radius that the fire truck tires would follow while turning). If FD access roads to all points of the buildings (measured by an approved route) cannot be achieved an Alternate Means and Methods Form, AMM must be submitted for review. AMM forms can be found at, <https://www.slc.gov/buildingservices/applications-forms/>.

**Urban Forestry: Rick Nelson** // [rick.nelson@slcgov.com](mailto:rick.nelson@slcgov.com) // 801-972-7839

If the city code requiring the planting of one street tree for every 30' of frontage is maintained, Urban Forestry can accept this proposal.

**Public Utilities: Andrea Osojnak** // [andrea.osojnak@slcgov.com](mailto:andrea.osojnak@slcgov.com) // 801-483-6824

*Public Utilities has no issues with the proposed increased setback to 32 feet. Additional comments have been provided to assist in the future development of the property. The following comments are provided for information only and do not provide official project review or approval. Comments are provided to assist in design and development by providing guidance for project requirements.*

*With increased densification, the applicant must consider the potential increase in construction costs resulting from required offsite utility improvements, potentially downstream of the subject property. Densification may place greater demands on water, sewer, and storm drain systems, which could exceed the capacity of the existing infrastructure.*

*Property owners and developers will be required to upgrade the offsite public utilities to ensure sufficient capacity for the new development.*

- Public Utility permit, connection, survey, and inspection fees will apply.
- All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.
- All utilities must meet horizontal and vertical clearance requirements. Water and sewer lines require 10 ft minimum horizontal separation and 18" minimum vertical separation. Sewer must maintain 5 ft minimum horizontal separation and 12" vertical separation from any non-water utilities. Water must maintain 3 ft minimum horizontal separation and 12" vertical separation from any non-sewer utilities.
- Public street light requirements are determined during the building permit review.
- Site utility and grading plans will be required for building permit review. Site utility plans should include all existing and proposed utilities, including water, irrigation, fire, sewer, stormwater, street lighting, power, gas, and communications. Please refer to APWA, SLCDPU Standard Practices, and the SLC Design Process Guide for utility design requirements.
- Applicant must provide fire flow, culinary water, and sewer demand calculations to SLCDPU for review. The public sewer and water system will be modeled with these demands. If the demand is not adequately delivered or if one or more reaches of the sewer system reach capacity as a result of the development, a water/sewer main upsizing will be required at the property owner's expense. Required improvements on the public water and sewer system will be determined by the Development Review Engineer and may be downstream of the project.
- One culinary water meter is permitted per parcel and fire services, as required, will be permitted for this property. If the parcel is larger than 0.5 acres, a separate irrigation meter is also permitted. Each service must have a separate tap to the main.
- A minimum of one sewer lateral is required per building. Shared laterals require a request for variance. Laterals must be 4" or 6". Any unused sewer laterals must be capped and plugged at the main.
- A minimum of one exterior cleanout is required on the sewer lateral within 5 feet of the building. Additional cleanouts are required at each bend and at least one every 50 feet for 4" laterals and every 100 feet for 6" laterals.
- Site stormwater must be collected on site and routed to the public storm drain system. Stormwater cannot discharge across property lines or public sidewalks.
- Stormwater treatment is required prior to discharge to the public storm drain. Utilize stormwater Best Management Practices (BMP's) to remove solids and oils. Green Infrastructure should be used whenever possible. Green Infrastructure and LID treatment of stormwater is a design requirement and required by the Salt Lake City UPDES permit for Municipal Separate Storm Sewer System (MS4).

**Engineering: Scott Weiler // [scott.weiler@slcgov.com](mailto:scott.weiler@slcgov.com) // 801-535-6159**

No comments

March 27, 2024