



Staff Report

PLANNING DIVISION

DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Kelsey Lindquist, Planning Manager
801-535-7930; Kelsey.lindquist@slcgov.com
Date: February 28, 2024
Re: PLNPCM2023-00154, Salt Palace Convention Center Sign Overlay Text Amendment

Zoning Text Amendment

PROPERTY ADDRESS: [Appx. 90 S. West Temple](#)

PARCEL IDS: 15-01-226-001-0000; 15-01-226-002-0000; 15-01-226-004-0000; 15-01-226-006-0000; 15-01-204-009-0000; 15-01-204-010-0000; 15-01-204-020-0000; 15-01-204-033-0000; 15-01-204-036-0000; 15-01-204-037-0000; 15-01-204-038-0000; 15-01-204-042-0000; 15-01-204-043-0000; 15-01-204-044-0000; 15-01-204-045-0000

NEIGHBORHOOD PLAN: [Downtown](#)

ZONING DISTRICT: [D-4, Downtown Secondary Central Business District](#)

OVERLAY ZONING DISTRICTS: None

REQUEST:

Holli Adams of Architectural Nexus has initiated a petition on behalf of the property owner, Salt Lake County, to amend the zoning text as it applies to the Salt Palace Convention Center. The request includes the following:

- Create a new sign overlay district that would apply to the Salt Palace Convention Center and would supersede the sign allowances of the base zoning district. The proposed sign overlay would create greater sign allowances for currently permitted sign types and add new permitted sign types. This is a property specific request. All changes to sign allowances and types would be limited to the property boundaries identified in this report.

RECOMMENDATION:

Based on the information and findings in the staff report, Planning Staff recommends that, with the recommendations listed below, the proposal generally aligns with the considerations for a zoning text amendment.

Staff recommends the following changes to the request:

- Limiting an awning canopy sign to 3 square feet per linear foot of building face; 75 square feet maximum
- Limiting the requested Flat Sign (Storefront Orientation) to one per building entry
- Limiting the requested Flat Sign Display, Electronic Changeable Copy to be no larger than 1400 square feet per sign

- Limiting the requested Monument Signs to 1 square foot per linear foot of street frontage and no more than 5 per city block
- Limiting the requested Parking Entrance Blade Sign (Projecting Parking Entry Sign) to 16 square feet per side; 32 square feet total with the noted location limitations
- Limiting the requested Special Event Sign to cover no more than 40% of the building.

ATTACHMENTS:

- A. [Vicinity Map](#)
- B. [Application Materials](#)
- C. [Property and Vicinity Photos](#)
- D. [Zoning Map and Master Plan Amendment Standards](#)
- E. [Public Process & Comments](#)
- F. [Sign Overlay Table with Staff Recommended Changes](#)
- G. [Department Review Comments](#)

PROJECT DESCRIPTION



Quick Facts

Property Address: 90 S West Temple

Size: 27.95 acres (appx. 1,217,426 sq ft)

Zoning: D-4 (Downtown Secondary Central Business District)

Overlay Districts: None

Proposed Overlay: Sign standards specific to Salt Palace Convention Center

Review Process & Standards: Zoning amendment, general zoning standards, master plans, and general City policy.

Purpose of the Overlay

The requested Salt Palace Convention Center Sign Overlay is to create sign allowances specific to this unique property. The overlay would be created under the provisions of 21A.46.130 “Localized Alternative Sign Overlay District” and would supersede the sign allowances specific to the underlying zoning district which is D-4 (Downtown Secondary Central Business). This same type of signage overlay has been used to allow for unique and flexible signage packages at other significant cultural and civic institutions downtown, including the Delta Center Arena, Regent Street, and Library Square. This type of overlay is intended for those locations in the city that have a special or unique purpose, which would include the Salt Palace Convention Center.

The increase in the amount of signage and the addition of new types of signs has been requested so that the applicant can improve wayfinding at the entrance to the Convention Center’s parking garages and pedestrian entrances. Additional sign allowances were included in the request so that the Convention Center will be allowed to install new signage in the future, but specific plans for

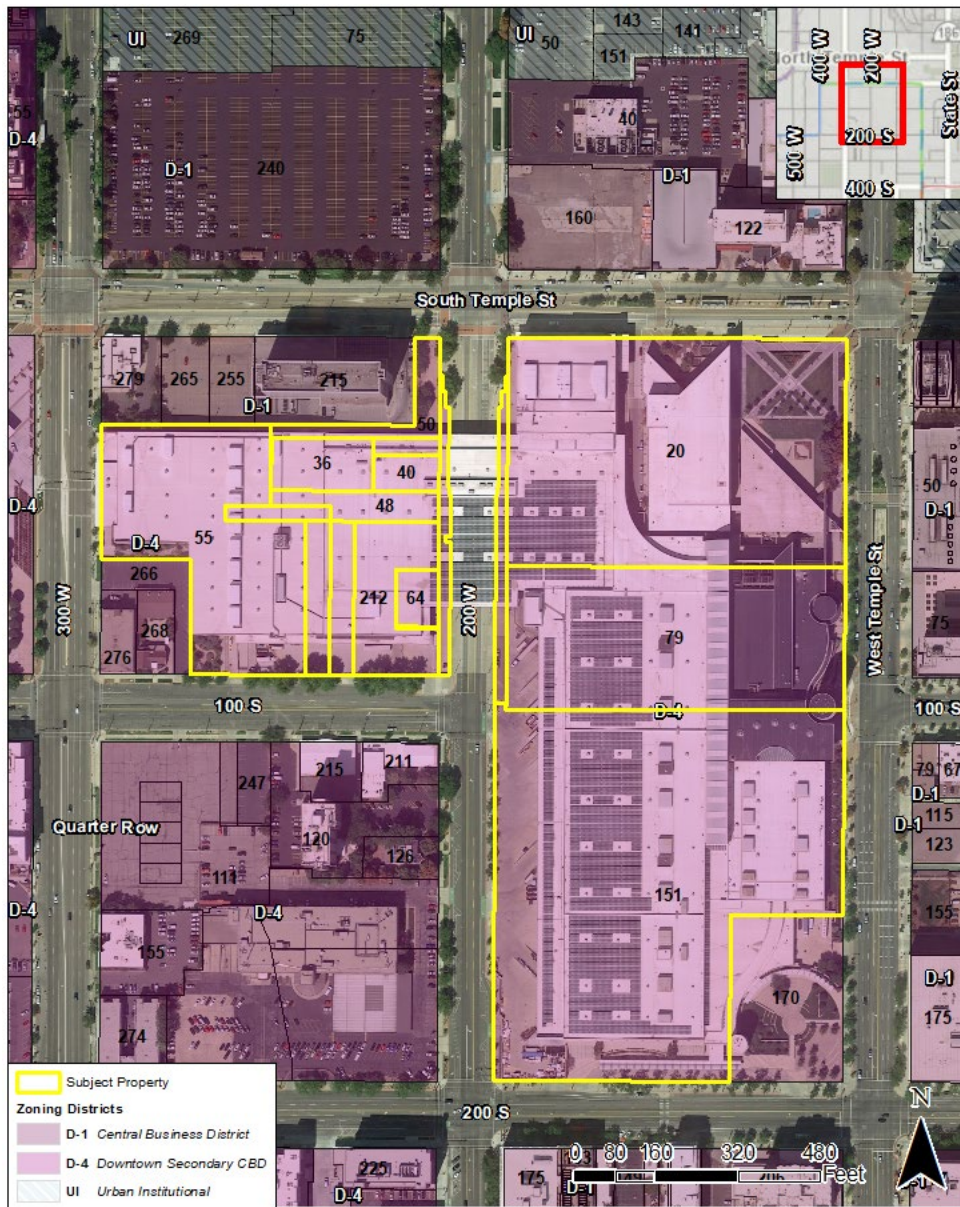
more signage have not been shared at this time. The applicant does not intend to utilize the sign allowance to create an overabundance of signs or create an offsite advertisement issue.

Summary of Requested Sign Allowance

As detailed in Key Consideration 2, Salt Lake County is seeking to increase the allowance for a number of sign types currently permitted in the D-4 zoning district, including: awning/canopy signs, flat signs, monument signs, private directional signs, and blade signs. The applicant is also seeking to allow sign types within the requested overlay that are not currently permitted in the D-4 zoning district, including: special event signs, special event light pole signs, and flat sign display (electronic changeable copy – parking entrance orientation). Please refer to Consideration 2 for specific information on the requested allowances.

Boundaries of Overlay

The proposed overlay would cover the Salt Palace Convention Center property bounded by 200 West, South Temple, West Temple, and 200 South, excluding the Convention Center hotel located on the northwest corner of West Temple and 200 South. In addition to the Convention Center, the overlay includes Abravanel Concert Hall, Utah Museum of Contemporary Art and the parking garage located between South Temple, 300 West, 100 South, and 200 West. Standard practice for previous sign overlays has been to use a description of the block as the boundary of the overlay, but in this case precise legal descriptions will be used to avoid including unassociated properties and a map will be included in the applicable ordinance. The map on the following page provides an illustration of the proposed location of the overlay.



Map showing location of proposed sign overlay

The proposed signage is designed to evoke a specific sense of place and help define the identity of the Convention Center. Staff supports the request for a sign overlay for the properties illustrated above. With that said, staff recommends several reductions to the requested allowances. A comparison of what is allowed by code, proposed by the applicant, and recommended by staff are provided in consideration 2 in the Key Consideration section of this report.

APPROVAL PROCESS AND COMMISSION AUTHORITY

Review Process: Zoning Text Amendment

The Planning Commission can provide a positive or negative recommendation for the proposed zoning text amendment. The recommendation will be sent to the City Council, who will hold a briefing and an additional public hearing on the proposed amendment. The City Council may approve, deny or make modifications to the proposed amendment request as they see fit and are not limited by any one standard.

KEY CONSIDERATIONS

The key considerations listed below were identified through the analysis of the project:

1. Implementation of City Plans
2. Comparison of D-4 Sign Standards and Proposed Overlay

Consideration 1: Implementation of City Plans

Plan Salt Lake (2015)

Plan Salt Lake includes goals directed toward arts, culture, and the economy. Of the goals listed in these sections, the proposed project is supported by the following initiatives:

- *Maintain and grow Salt Lake City as the economic center of the region.*
- *Promote and support Salt Lake City as a regional entertainment, artistic, and cultural center and destination.*
- *Promote and support Salt Lake City as an international tourism destination.*

Downtown Plan (2016)

The subject property is located within the *Downtown Plan* area. The Salt Palace District within the Downtown Plan includes a goal of “improving the signage and wayfinding system for all modes to ease movement and encourage a dynamic, layered environment that is rich with detail.” (p. 101) The overlay is proposed to improve wayfinding and visibility of events held at the Salt Palace, which aligns well with the Downtown Plan. The plan also includes a goal to maximize visual transparency within the Salt Palace District. Under the proposed sign overlay, the requested allowances could result in much of the building and setbacks being covered by signs, which would impact the pedestrian experience and reduce transparency into the building. As discussed in Key Consideration 2 below, it is recommended that some of the proposed sign allowances are made smaller to better balance the need for signs and to contain visual clutter.

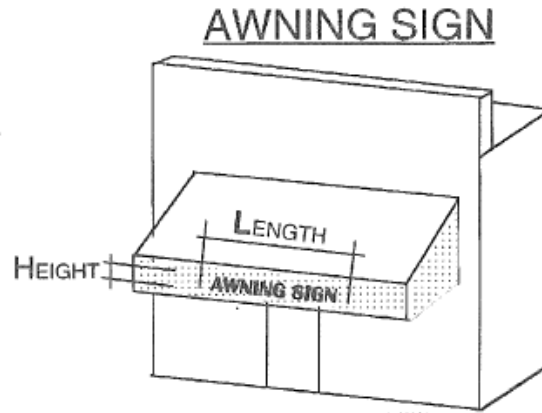
Consideration 2: Comparison of D-4 Sign Standards and Proposed Overlay

The subject property is in the D-4 zoning district and subject to the specific sign standards for D-4. If the proposed overlay were approved, it would supersede the current D-4 allowances. The applicant is requesting greater allowances for some sign types that are allowed in D-4 and is requesting sign types that are not permitted in the zone. Staff is recommending adjustments to several proposed allowances. The information below includes the D-4 allowance, the applicant requested allowance and staff's recommendation.

Awning/Canopy Sign

Code definitions:

AWNING SIGN: *A sign that is painted on or otherwise made part of the awning material. Signage is limited to the vertical portions of the awning; the sides and the front valance. No signage shall protrude beyond the vertical face.*



CANOPY SIGN: A sign that is painted or otherwise made part of the canopy material. Signage is limited to the vertical portions of the canopy; the sides and the front valance. No signage shall protrude beyond the vertical face.

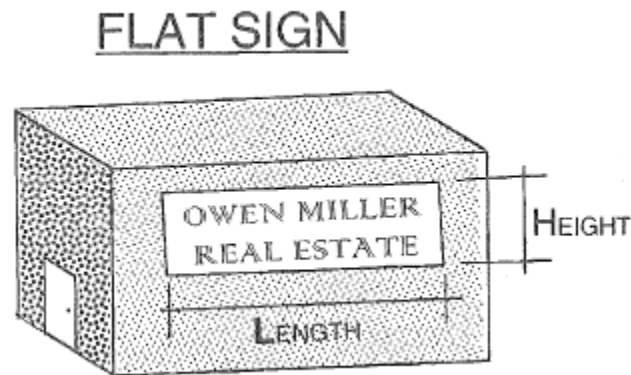
Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	<p>Awning Signs: 1 square foot per linear foot of storefront (sign area only)</p> <p>Canopy Signs: 1 square foot per linear foot of storefront (sign area only); 20 square feet maximum per canopy</p>	Shall not be located above the second floor of the building for both the awning and canopy signs	<p>Awning Signs: May extend 6 feet from face of building but not within 2 feet of the back of curb.⁶</p> <p>Canopy Signs: May extend from face of building but not within 2 feet of the back of curb.⁶</p> <p>Note 6: Public property lease and insurance required for projection over property line.</p>	<p>Awning Signs: 1 per first floor door/window</p> <p>Canopy Signs: 1 per first floor building entry</p>
Proposed Salt Palace Sign Overlay	Awning and Canopy Signs: 5 square feet per linear foot of building face	Shall not be located above the second floor of the building for both the awning and canopy signs	May extend 6 feet from face of building but not within 2 feet from back of curb	1 per first floor window/door may be combined with adjacent doors/windows
Staff Recommendation	Awning and Canopy Signs: 3 square feet per linear foot of building face; 75 square feet maximum per awning or canopy	Shall not be located above the second floor of the building for both awning and canopy signs	<p>May extend 6 feet from face of building but not within 2 feet from back of curb.²</p> <p>Note 6: Public property lease and insurance required for projection over property line.</p>	1 per first floor window/door may be combined with adjacent doors/windows

The Salt Palace is a large building with long street frontages and, on some building facades, has numerous windows and building entries. While an increase in the maximum size allowance is reasonable given the unique nature of the convention center, it is recommended that it be scaled back to 3 square feet per linear foot of building face, with a maximum of 75 square feet per awning or canopy. This will reduce the potential for visual clutter, especially when combined with the other sign allowances in the overlay.

Flat Sign (General Building Orientation)

Code definition:

FLAT SIGN: A sign erected parallel to and attached to the outside wall of a building and extending not more than twenty four inches (24") from such wall, with messages or copy on the face only.



General building orientation refers to flat signs that are placed in any location on the façade of a building.

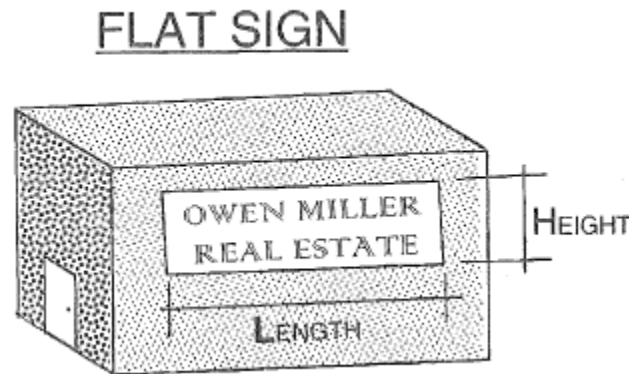
Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	4 square feet per linear foot of building face. A single-tenant building may combine the square footage total of both the storefront orientation and the general building orientation flat signs to construct 1 larger sign.	Flat signs may extend a maximum of two feet (2') above the roofline or parapet wall of the building on which they are located.	N/A	1 per building face
Proposed Salt Palace Sign Overlay	5 square feet per linear foot of building face.	Flat signs may extend a maximum of two feet (2') above the roofline or parapet wall of the building on which they are located.	N/A	1 per building face

Staff Recommendation	No recommended changes
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Flat Sign (Storefront Orientation)

Code definition:

FLAT SIGN: A sign erected parallel to and attached to the outside wall of a building and extending not more than twenty four inches (24") from such wall, with messages or copy on the face only.



Storefront orientation refers to flat signs that are associated with a specific storefront, generally in a building that has multiple unrelated commercial businesses or commercial businesses mixed with other uses.

Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	2 square feet per linear foot of each store frontage. A single-tenant building may combine the square footage total of both the storefront orientation and the general building orientation flat signs to construct 1 larger sign.	Flat signs may extend a maximum of two feet (2') above the roofline or parapet wall of the building on which they are located.	N/A	1 per business storefront
Proposed Salt Palace Sign Overlay	3 square feet per linear foot of each store/area frontage	Flat signs may extend a maximum of two feet (2') above the roofline or parapet wall of the building on which they are located.	N/A	3 per business storefront

Staff Recommendation	3 square feet per linear foot of each store/area frontage	Flat signs may extend a maximum of two feet (2') above the roofline or parapet wall of the building on which they are located.	N/A	1 per building entry
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The convention center does not have storefronts, so it is recommended that the allowance be changed to “1 per building entry,” permitting a flat sign above each entrance to the building.

Flat Sign Display, Electronic Changeable Copy (Parking Control)

This is a new sign type that is proposed by the applicant. It would give the Salt Palace an additional sign allowance for electronic directional signs guiding drivers into the parking garages, as shown below:



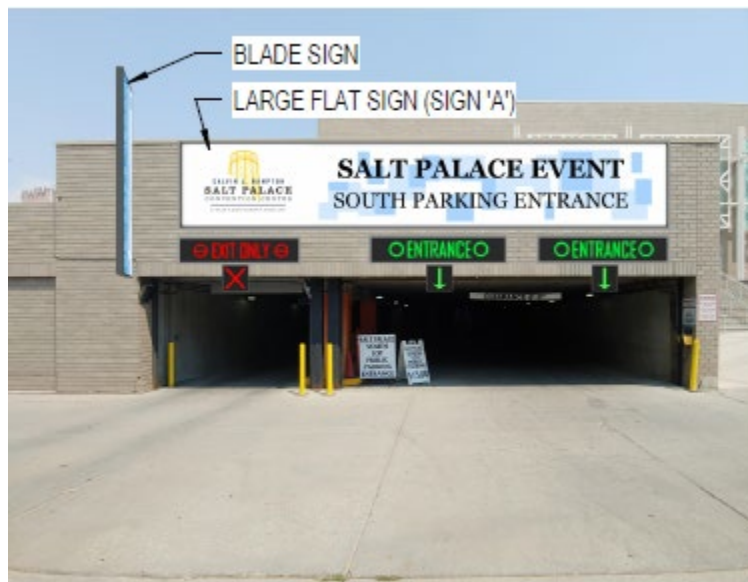
Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	No specific allowance	No specific allowance	No specific allowance	No specific allowance

Proposed Salt Palace Sign Overlay	No larger than 18 square feet per sign	Flat signs may extend a maximum of two feet (2') above the roofline or parapet wall of the building on which they are located.	N/A	1 at each parking entry and/or exit
Staff Recommendation	The addition of this sign type is redundant. Staff does not support this change.			

The applicant is proposing private directional signage, as discussed below, that should allow them to create the parking signs they are requesting. Private directional signage can have electronic faces, so it is not necessary to create a new sign type to accomplish this. It is recommended that this allowance be removed from the proposed sign overlay table.

Flat Sign Display, Electronic Changeable Copy

Any flat sign can display electronic messaging. The applicant is proposing a separate allowance in addition to the general and storefront orientation flat signs that would permit more flat signs that specifically have electronic copy on them. The Convention Center intends to use this allowance to place electronic signs over some of the parking entrances, as shown below.



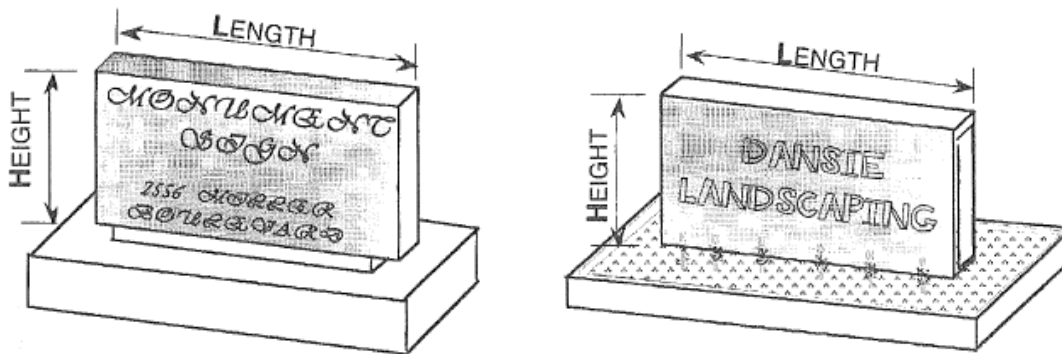
Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	No specific allowance	No specific allowance	No specific allowance	No specific allowance
Proposed Salt Palace Sign Overlay	No larger than 1800 square feet per sign	Flat signs may extend a maximum of two feet (2') above the roofline or parapet wall of the building on which they are located.	N/A	1 at each parking entry

		which they are located.		
Staff Recommendation	No larger than 1400 square feet per sign	Flat signs may extend a maximum of two feet (2') above the roofline or parapet wall of the building on which they are located.	N/A	1 at each parking entry

Staff recommends that the maximum area be changed to 1400 square feet from 1800 square feet to match the maximum allowed in the Arena Sign Overlay, which is located adjacent to the proposed overlay and serves a similar purpose in the same downtown environment. In addition, staff is recommending that the sign classification be changed to *Flat Sign Display, Electronic Changeable Copy (Parking Entrance Orientation)* to clarify that the signs are only to be placed above or next to a parking entrance.

Monument Sign

Code definition: A freestanding sign whose sign face extends to the ground or to a base.



Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	1 square foot per linear foot of street frontage	20 feet	None	1 per street frontage
Proposed Salt Palace Sign Overlay	3 square feet per linear foot of street frontage	20 feet	None	5 per street frontage
Staff Recommendation	1 square foot per linear foot of street frontage	20 feet	None	5 per city block

The maximum area per sign face is based on a ratio to the amount of linear street frontage a property has. The Salt Palace property is very large, with long street frontages. On West Temple, for example, the Convention Center property has roughly 1,100 linear feet of street frontage (excluding the hotel).

Increasing the ratio to 3 square feet of maximum area per sign face per linear foot of street frontage would result in a much larger maximum size allowance. Staff does not support this request and recommend the ratio of 1 square foot per linear foot of street frontage be retained.

Monument signs can have an impact on the pedestrian realm by blocking visibility. For that reason, it is recommended that the number of signs be limited to five per city block within the overlay. This is an increase from the D-4 allowance but slightly reduced from the requested allowance. Staff believes that the recommendation will minimize the impact on the pedestrian experience. Additionally, staff recommends changing the language in the table to “city block” from “street frontage” to ensure that in the future, an interpretation wouldn’t be made that each individual parcel associated with the Salt Palace would get five signs of their own rather than the property overall.

Private Directional Signage

Code definition: An on premise sign designed to guide vehicular and/or pedestrian traffic by using such words as "entrance", "exit", "parking", "one-way" or similar directional instruction, and which may include the identification of the building or use, but may not include any advertising message.

Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	8 square feet	4 feet	5 feet	No limit
Proposed Salt Palace Sign Overlay	100 square feet	20 feet	No setback	No limit
Staff Recommendation	No recommended changes			

As discussed above, private directional signage would include the proposed electronic parking entry signs.

Special Event Light Pole Sign

Code definitions:

Pole Sign: A freestanding sign other than a monument sign, erected and maintained on a mast(s) or pole(s) and not attached to any building.

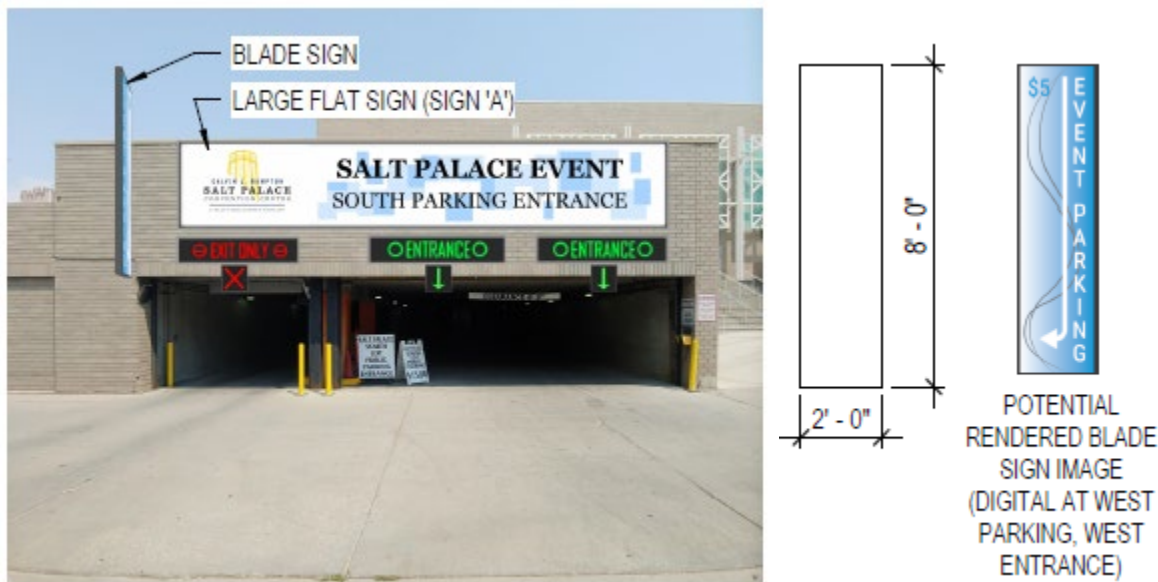
Special Event Sign: A temporary sign accessory to a use that identifies special events or activities. A special event sign shall not include real estate signs, garage/yard sale signs or other types of accessory signs.

Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	Not permitted	Not permitted	Not permitted	Not permitted
Proposed Salt Palace Sign Overlay	10 square feet	May not exceed 20’	N/A	2 per light pole
Staff Recommendation	No recommended changes			

Special event light pole signs would allow the Convention Center to advertise events on existing light poles on a short-term basis. The requested allowance is the same as what is permitted in the Sports Arena Sign Overlay.

Parking Entrance Blade Sign (Projecting Parking Entry Sign)

A blade sign is mounted perpendicular to the face of a building or structure, which gives it two sign faces. The requested allowance would allow the Convention Center to place larger blade signs to make their parking entrances more easily identifiable, as shown below:



Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	9 square feet per side; 18 square feet total	Sign face limited to 4 feet in height. A projecting parking entry sign shall be located at the parking entry level of the building.	May extend 4 feet from face of building but not within 2 feet of the back of curb. ⁶ Note 6: Public property lease and insurance required for projection over property line.	1 per driveway or parking lot entry
Proposed Salt Palace Sign Overlay	No larger than 32 square feet	May not exceed 20'	No setback	2 at each parking entry
Staff Recommendation	16 square feet per side; 32 square feet total	Sign face limited to 10 feet in height. A projecting parking entry sign shall be located at the parking entry	May extend 4 feet from face of building but not within 2 feet of the back of curb. ² Note 2: Public property lease and insurance required	2 at each parking entry

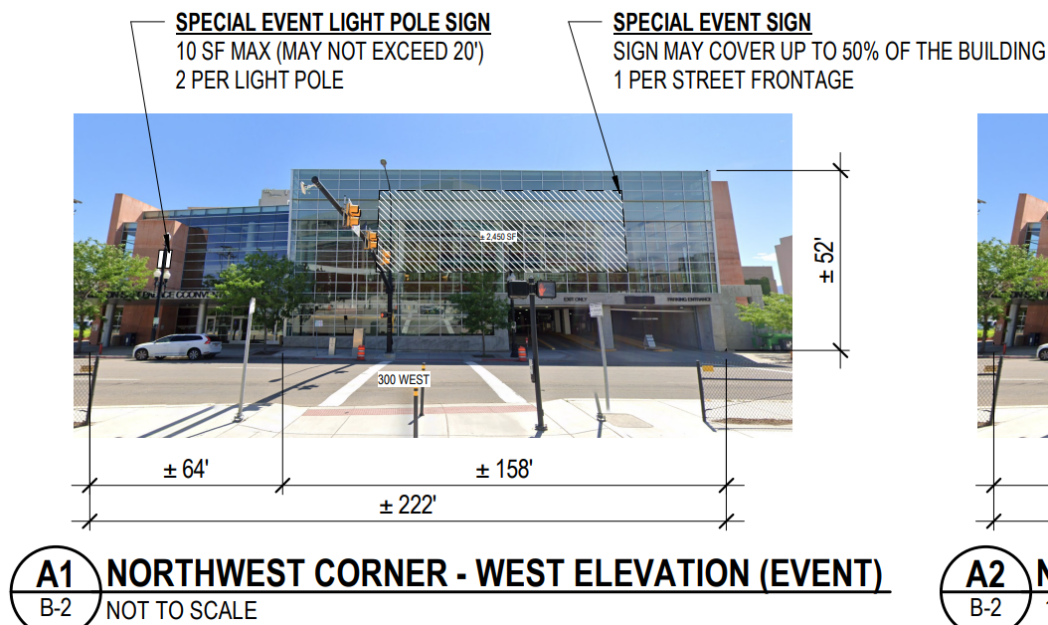
		level of the building.	for projection over property line.	
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Staff recommends that the maximum area per sign face be changed to clarify that each side of the sign can be no larger than 16 square feet per size, for an overall sign face area of 32 square feet. It is also recommended that the maximum height be limited to 10 feet, which is more appropriate for pedestrian scale. These signs will be highly visible to people using the sidewalk. It is also recommended that the minimum setback be retained, so that the signs can extend up to 4 feet from the face of the building but not be placed within 2 feet of the back of curb.

Special Event Sign

Code definition: A temporary sign accessory to a use that identifies special events or activities. A special event sign shall not include real estate signs, garage/yard sale signs or other types of accessory signs.

The Convention Center is proposing a special event sign allowance that would permit them to cover up to 60 percent of each building façade with signage, as shown in abstract below:



Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	Not permitted	Not permitted	Not permitted	Not permitted
Proposed Salt Palace Sign Overlay	Sign may cover up to 50% of the building	May not exceed the height of the building	N/A	1 per street frontage
Staff Recommendation	Sign may cover up to 40% of the building	May not exceed the height of the building	N/A	1 per street frontage

Given the size of the Convention Center buildings, signs covering 50 percent of the building would be extremely large, especially on the West Temple and 200 West frontages. This sign request, when

combined with the others, would cover a significant amount of the building face which would limit the visibility into the building. The Sports Arena overlay does include an allowance of 60 percent building coverage for special event signs. However, the arena is a much smaller property and building, which creates a lesser impact. It is recommended that the allowance for the Salt Palace be reduced to 40 percent of each building façade.

Additionally, it is recommended that a footnote be added to the table that is tied to the special event sign allowance:

Advertising or corporate logos are limited to on premises advertising of convention center events.

This is similar language as to what can be found in the Sports Arena sign overlay.

STAFF RECOMMENDATION

Based on the information and findings listed in the staff report, it is Planning Staff's opinion that the request meets the applicable standards of approval and therefore recommends the Planning Commission forward a recommendation of approval to the City Council, with conditions:

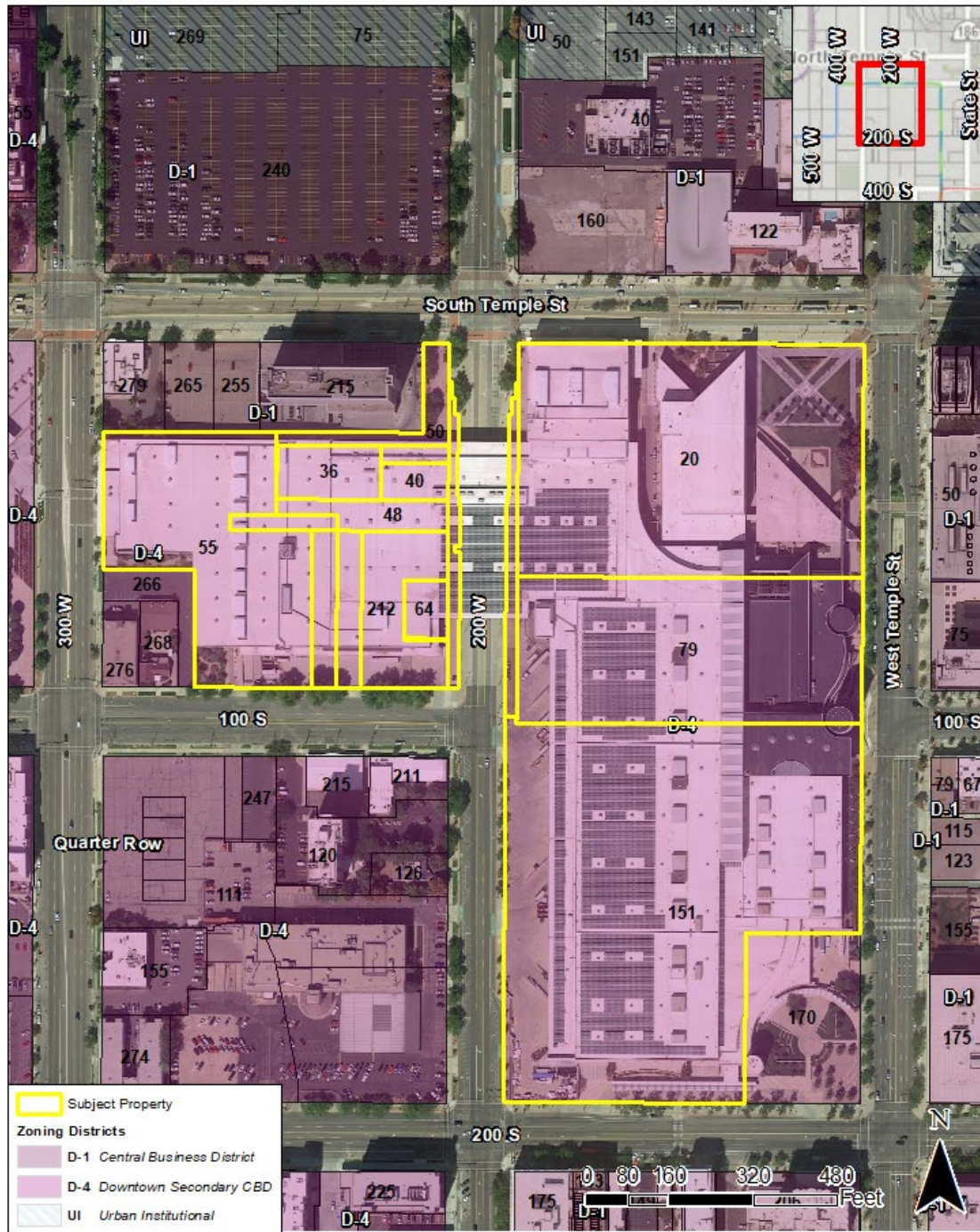
1. Staff recommended changes to the proposed sign overlay be adopted.

NEXT STEPS

The Planning Commission's recommendation will be forwarded to the City Council for their consideration as part of the final decision on this petition.

ATTACHMENT A: Zoning Map

Vicinity Map



Salt Lake City Planning Division 4/24/2023

ATTACHMENT B: Application Materials

SALT PALACE PARKING SIGNAGE

SALT LAKE COUNTY

100 S West Temple
Salt Lake City, UT 84101

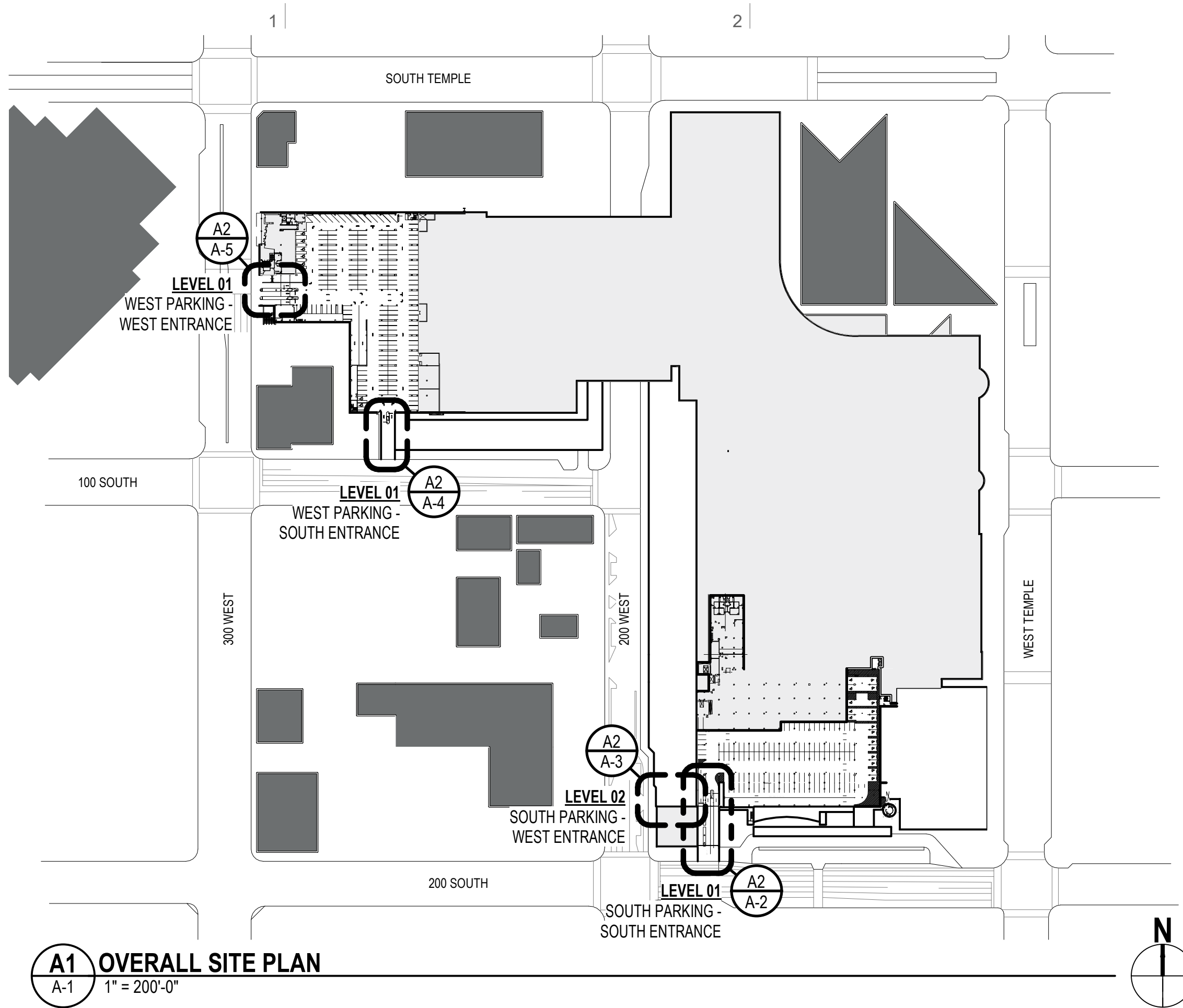
PLN-PCIM2023-00154

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A

PLNPCM2023-00154

B



A1 OVERALL SITE PLAN

A-1 1" = 200'-0"



ARCH | NEXUS

Architectural NEXUS, Inc.
2505 East Parleys Way
Salt Lake City, UT 84109
T 801.924.5000
www.archnexus.com

SALT LAKE COUNTY
**SALT PALACE PARKING
SIGNAGE**
100 S West Temple
Salt Lake City, UT 84101

PROJECT #: 22053
CHECKED BY:
DRAWN BY:
DATE: 12.08.23

**SITE PLAN
(PARKING
SIGNAGE)**

A-1
February 22, 2024

12/7/2023 4:54:57 PM

A

A1 EXTERIOR RENDERED IMAGE

A-2 NOT TO SCALE



B

B1 INTERIOR RENDERED IMAGES

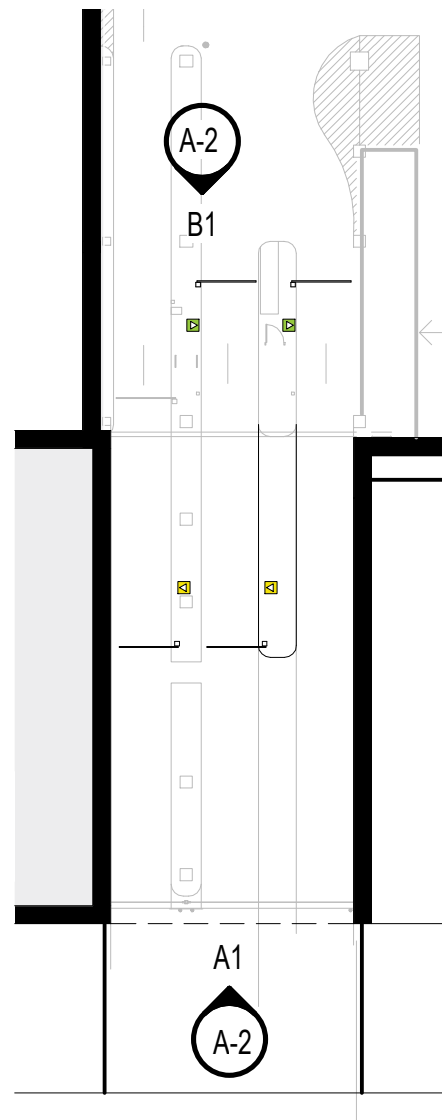
A-2 1/8" = 1'-0"



1

A2 SOUTH PARKING - SOUTH ENTRANCE

A-2 1/32" = 1'-0"



EXTERIOR
(1) SIGN 'A'

INTERIOR
(1) SIGN 'D'

2

B2 ADDITIONAL INTERIOR SIGNAGE

A-2 1/8" = 1'-0"

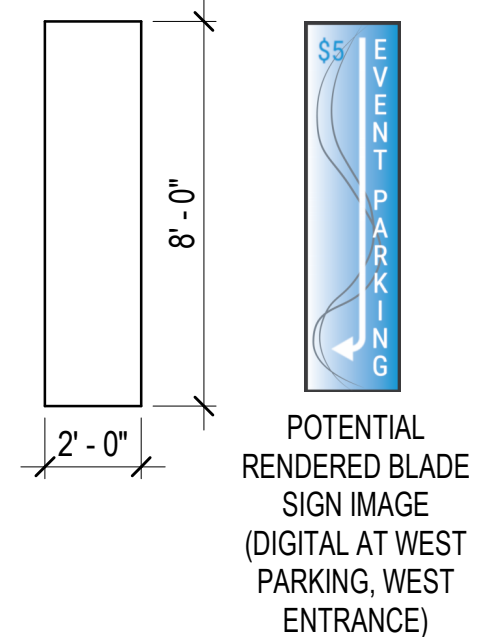


3

GENERAL NOTES

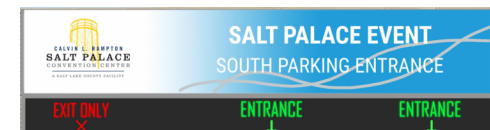
BLADE SIGN

- CLASSIFIED AS "PROJECTING PARKING ENTRY SIGN"
- (1) BLADE SIGN TO BE LOCATED ON DRIVE-IN SIDE AT EACH PARKING ENTRANCE LOCATION
- LARGER BLADE SIGN SIZE IF ACCEPTED



LARGE FLAT SIGN

- CHANGEABLE PARKING ENTRY AND EXIT SIGNAGE FOR TRAFFIC CONTROL
- DIGITAL SCREEN SIGNAGE FOR MARKETING AND EVENT ADVERTISING
- WHITE PAINTED GARAGE WALLS TO BRIGHTEN INTERIOR SPACE
- FLASHING PEDESTRIAN SIGN IS NOT ALLOWED PER ZONING



POTENTIAL RENDERED
LARGE FLAT SIGN IMAGE



ARCH | NEXUS

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www.archnexus.com

SALT LAKE COUNTY
**SALT PALACE PARKING
SIGNAGE**
100 S West Temple
Salt Lake City, UT 84101

PROJECT #: 22053
CHECKED BY:
DRAWN BY: RS
DATE: 12.08.23

PARKING
SIGNAGE PLAN
(SOUTH PARKING
- SOUTH
ENTRANCE)

A-2
February 22, 2024



ARCH | NEXUS

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www.archnexus.com

SALT LAKE COUNTY
**SALT PALACE PARKING
SIGNAGE**
100 S West Temple
Salt Lake City, UT 84101

PROJECT #: 22053
CHECKED BY:
DRAWN BY: RS
DATE: 12.08.23

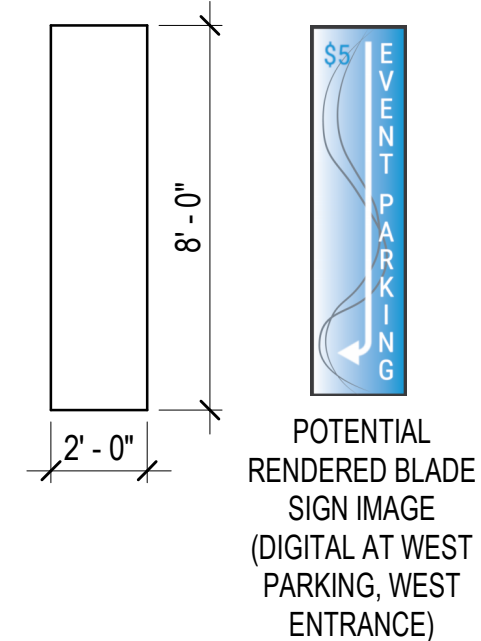
**PARKING
SIGNAGE PLAN
(SOUTH PARKING
- WEST
ENTRANCE)**

A-3
February 22, 2024

GENERAL NOTES

BLADE SIGN

- CLASSIFIED AS "PROJECTING PARKING ENTRY SIGN"
- (1) BLADE SIGN TO BE LOCATED ON DRIVE-IN SIDE AT EACH PARKING ENTRANCE LOCATION
- LARGER BLADE SIGN SIZE IF ACCEPTED

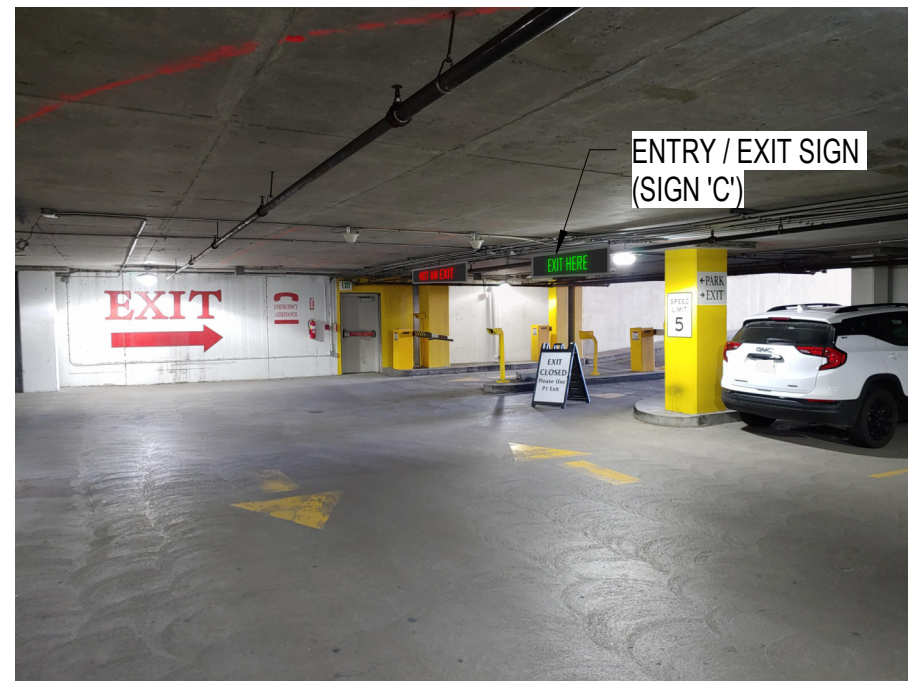


LARGE FLAT SIGN

- CHANGEABLE PARKING ENTRY AND EXIT SIGNAGE FOR TRAFFIC CONTROL
- DIGITAL SCREEN SIGNAGE FOR MARKETING AND EVENT ADVERTISING
- WHITE PAINTED GARAGE WALLS TO BRIGHTEN INTERIOR SPACE
- FLASHING PEDESTRIAN SIGN IS NOT ALLOWED PER ZONING



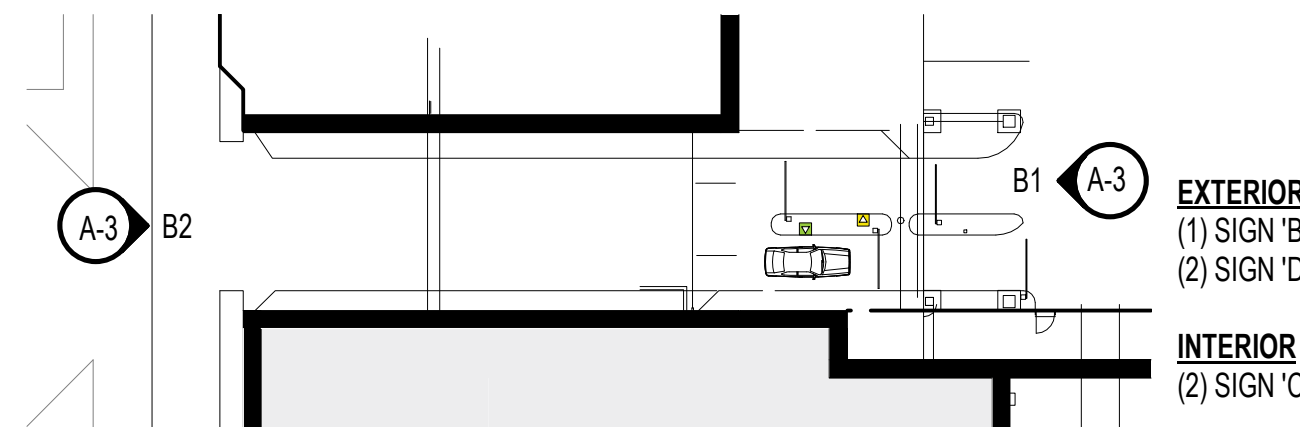
POTENTIAL RENDERED
LARGE FLAT SIGN IMAGE



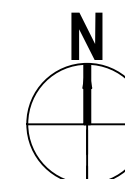
B1 INTERIOR RENDERED IMAGE
A-3 1/8" = 1'-0"



B2 EXTERIOR RENDERED IMAGE
A-3 1/8" = 1'-0"



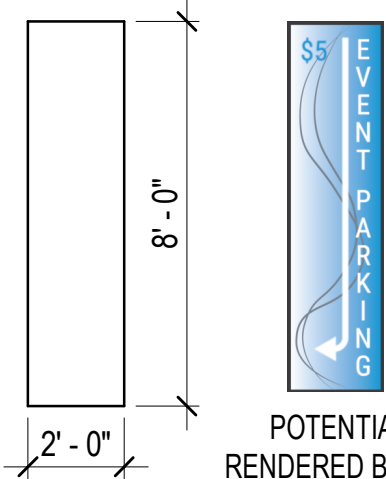
A2 SOUTH PARKING - WEST ENTRANCE
A-3 1/32" = 1'-0"



GENERAL NOTES

BLADE SIGN

- CLASSIFIED AS "PROJECTING PARKING ENTRY SIGN"
- (1) BLADE SIGN TO BE LOCATED ON DRIVE-IN SIDE AT EACH PARKING ENTRANCE LOCATION
- LARGER BLADE SIGN SIZE IF ACCEPTED



POTENTIAL RENDERED BLADE SIGN IMAGE (DIGITAL AT WEST PARKING, WEST ENTRANCE)

LARGE FLAT SIGN

- CHANGEABLE PARKING ENTRY AND EXIT SIGNAGE FOR TRAFFIC CONTROL
- DIGITAL SCREEN SIGNAGE FOR MARKETING AND EVENT ADVERTISING
- WHITE PAINTED GARAGE WALLS TO BRIGHTEN INTERIOR SPACE
- FLASHING PEDESTRIAN SIGN IS NOT ALLOWED PER ZONING



POTENTIAL RENDERED LARGE FLAT SIGN IMAGE



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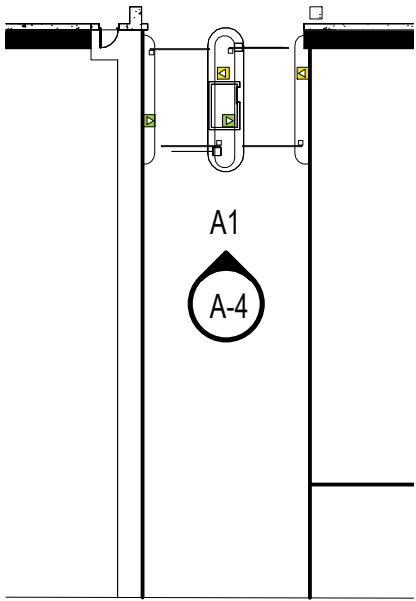
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SALT PALACE PARKING SIGNAGE
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Salt Lake City, UT 84101

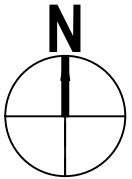
PROJECT #: 22053
CHECKED BY:
DRAWN BY: RS
DATE: 12.08.23

PARKING SIGNAGE PLAN (WEST PARKING - SOUTH ENTRANCE)

A-4
February 22, 2024



EXTERIOR (2) SIGN 'D'



A2 WEST PARKING - SOUTH ENTRANCE
A-4 1/32" = 1'-0"

B

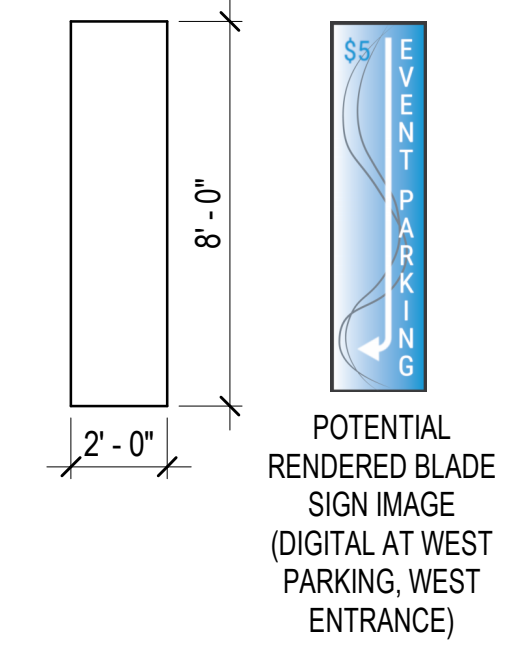


A1 EXTERIOR RENDERED IMAGE
A-4 1/8" = 1'-0"

GENERAL NOTES

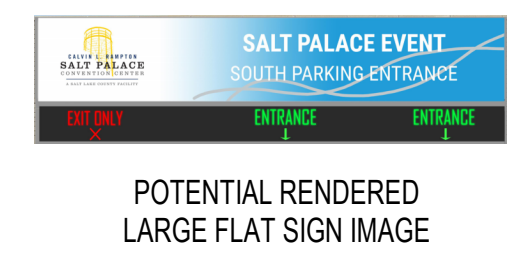
BLADE SIGN

- CLASSIFIED AS "PROJECTING PARKING ENTRY SIGN"
- (1) BLADE SIGN TO BE LOCATED ON DRIVE-IN SIDE AT EACH PARKING ENTRANCE LOCATION
- LARGER BLADE SIGN SIZE IF ACCEPTED



LARGE FLAT SIGN

- CHANGEABLE PARKING ENTRY AND EXIT SIGNAGE FOR TRAFFIC CONTROL
- DIGITAL SCREEN SIGNAGE FOR MARKETING AND EVENT ADVERTISING
- WHITE PAINTED GARAGE WALLS TO BRIGHTEN INTERIOR SPACE
- FLASHING PEDESTRIAN SIGN IS NOT ALLOWED PER ZONING



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PROJECT #: 22053
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DATE: 12.08.23

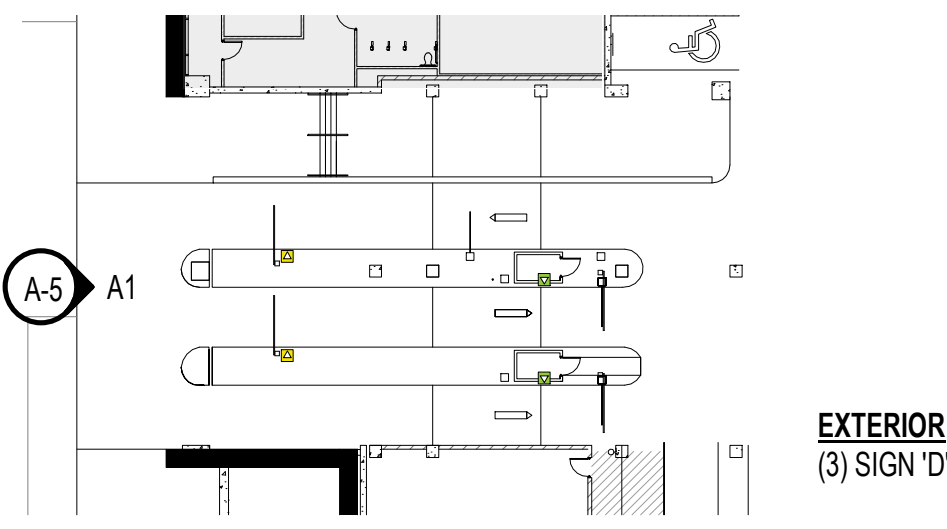
PARKING SIGNAGE PLAN (WEST PARKING - WEST ENTRANCE)

A-5
February 22, 2024



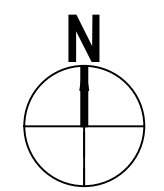
B2 ADDITIONAL INTERIOR SIGNAGE

A-5 1/8" = 1'-0"

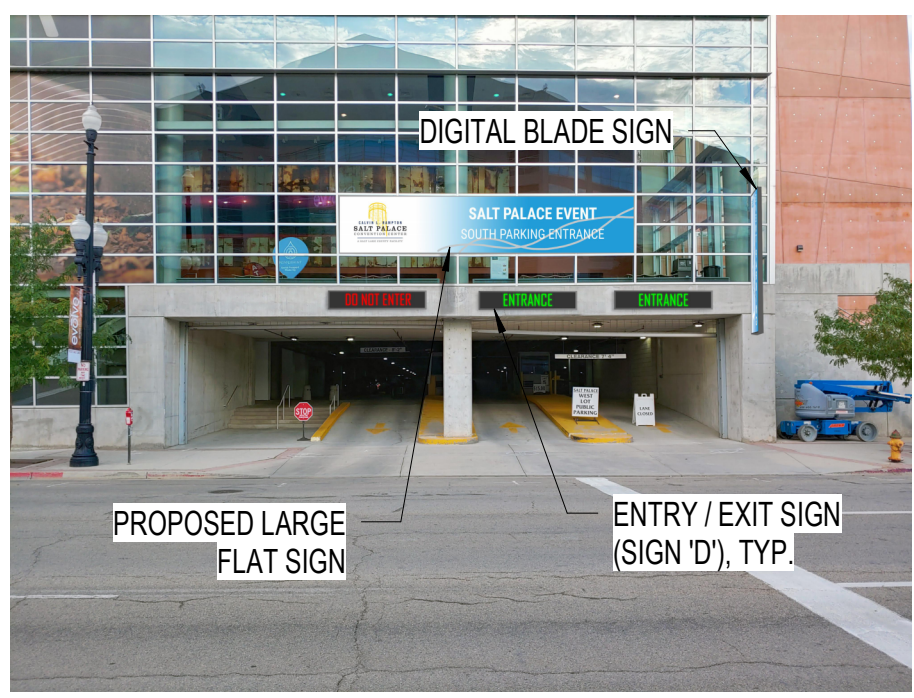


A2 WEST PARKING - WEST ENTRANCE

A-5 1/32" = 1'-0"



B



A1 EXTERIOR RENDERED IMAGE

A-5 1/8" = 1'-0"

12/7/2023 4:55:01 PM

A



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PROJECT #: 22053
CHECKED BY:
DRAWN BY: RS
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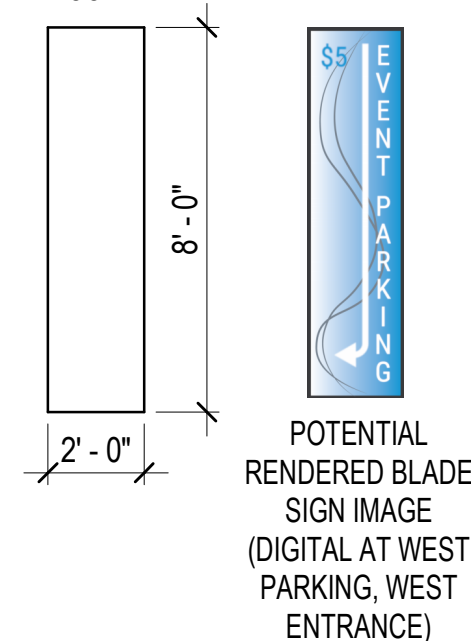
**PARKING
SIGNAGE
DETAILS**

A-6
February 22, 2024

GENERAL NOTES

BLADE SIGN

- CLASSIFIED AS "PROJECTING PARKING ENTRY SIGN"
- (1) BLADE SIGN TO BE LOCATED ON DRIVE-IN SIDE AT EACH PARKING ENTRANCE LOCATION
- LARGER BLADE SIGN SIZE IF ACCEPTED



LARGE FLAT SIGN

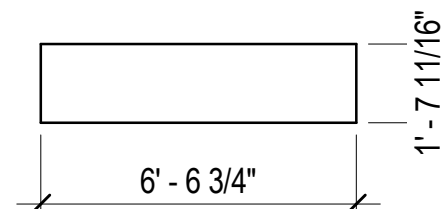
- CHANGEABLE PARKING ENTRY AND EXIT SIGNAGE FOR TRAFFIC CONTROL
- DIGITAL SCREEN SIGNAGE FOR MARKETING AND EVENT ADVERTISING
- WHITE PAINTED GARAGE WALLS TO BRIGHTEN INTERIOR SPACE
- FLASHING PEDESTRIAN SIGN IS NOT ALLOWED PER ZONING



POTENTIAL RENDERED
LARGE FLAT SIGN IMAGE

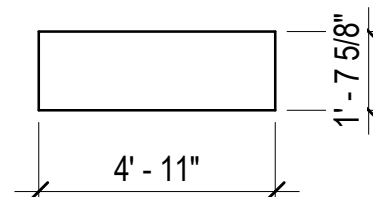
FOR REFERENCE ONLY

NOTE: PEDESTRIAN SIGN ON INTERIOR OF BUILDING. NO PERMIT IS NEEDED.



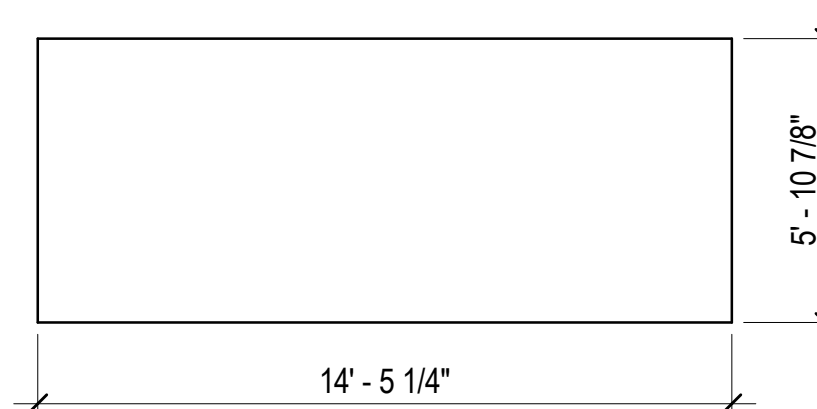
SIGN #5 -
REFER TO DRAWINGS 01-0904-127-1
REV B AND 01-0904-127-3 SIGN 5
DATA
1.64' H X 6.56' W
104 X 416 PIXELS

B3 SIGN 'D'
A-6 1/4" = 1'-0"



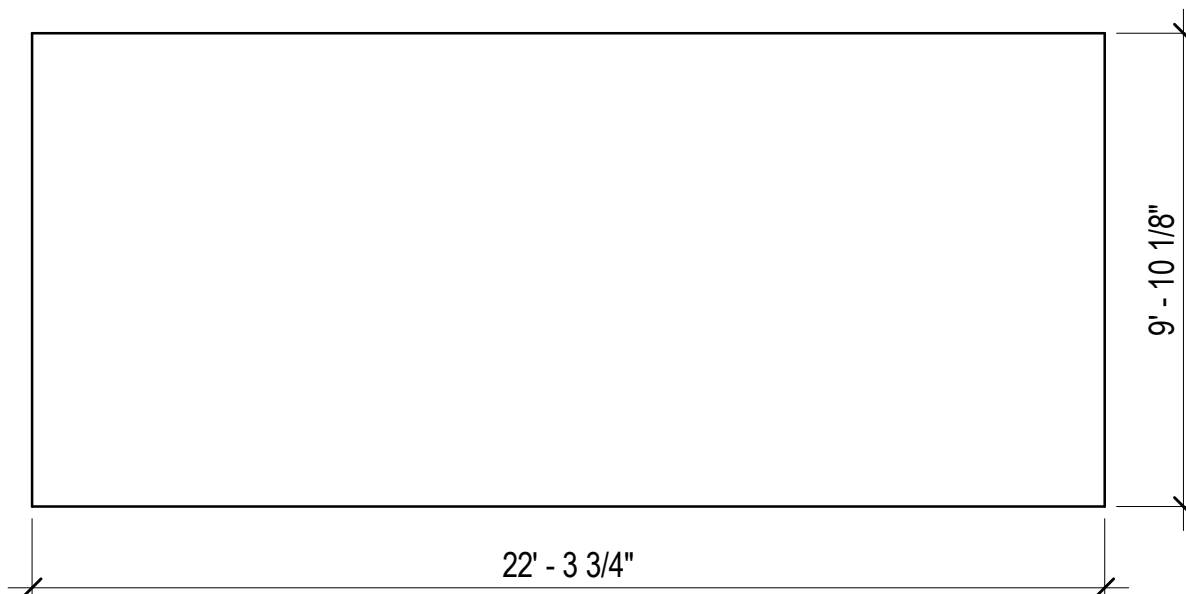
SIGN #4 -
REFER TO DRAWINGS 01-0904-126-1
REV B AND 01-0904-126-3 SIGN 4
DATA 2
1.64' H X 4.92' W
104 X 312 PIXELS

B2 SIGN 'C'
A-6 1/4" = 1'-0"



SIGN #3 -
REFER TO DRAWINGS 01-0906-266-1 AND 01-0906-266-13
5.25' H X 14.76' W
270 X 660 PIXELS

A2 SIGN 'B'
A-6 1/4" = 1'-0"



SIGN #2 -
REFER TO DRAWINGS 01-0906-264-3 AND 01-0906-264-1
9.84' H X 22.31' W
450 X 1020 PIXELS

A1 SIGN 'A'
A-6 1/4" = 1'-0"

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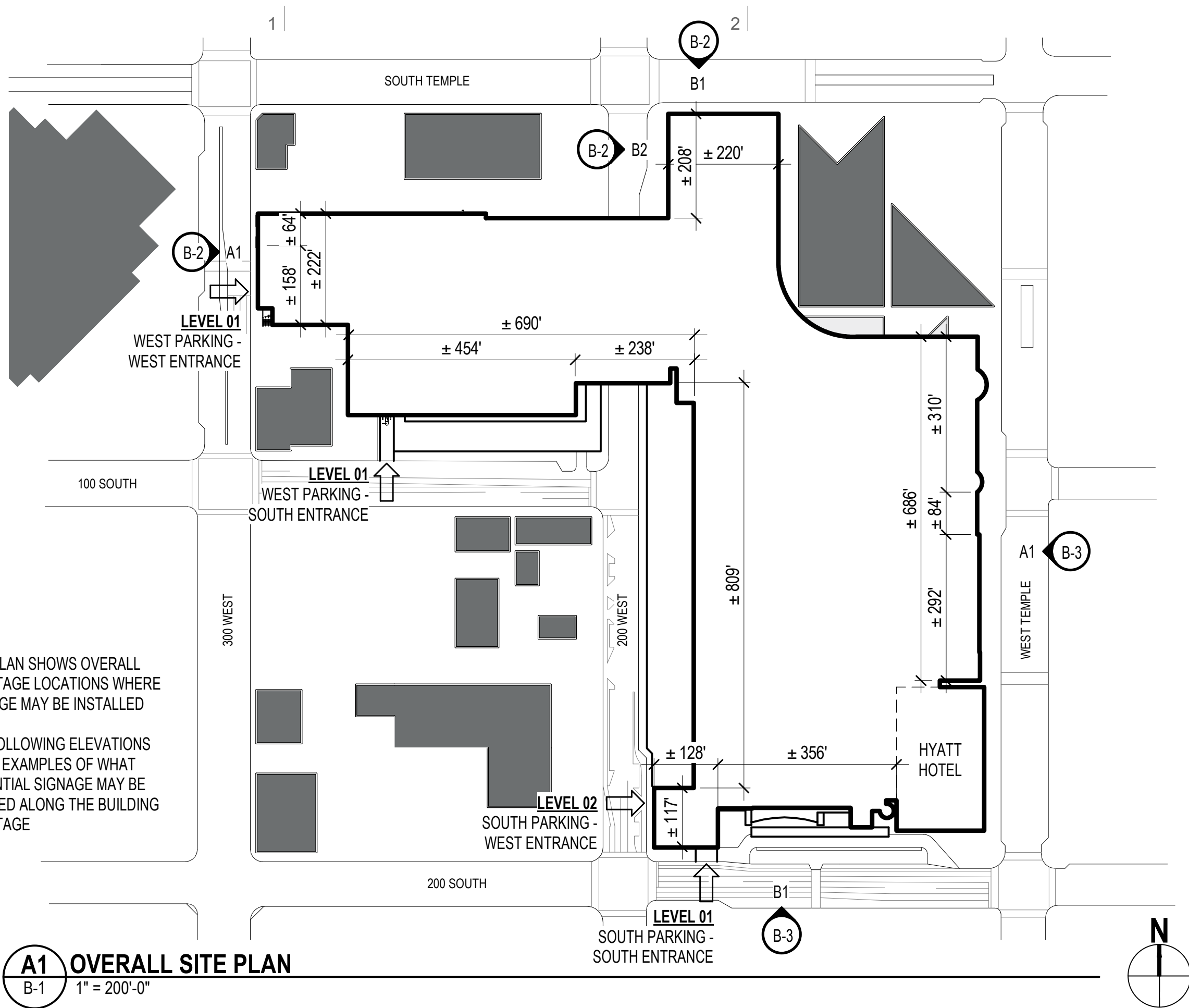
A

PLNPCM2023-00154

NOTE:
SITE PLAN SHOWS OVERALL
FRONTAGE LOCATIONS WHERE
SIGNAGE MAY BE INSTALLED

THE FOLLOWING ELEVATIONS
SHOW EXAMPLES OF WHAT
POTENTIAL SIGNAGE MAY BE
UTILIZED ALONG THE BUILDING
FRONTAGE

A1 OVERALL SITE PLAN
B-1 1" = 200'-0"



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Salt Lake City, UT 84101

PROJECT #: 22053
CHECKED BY: Checker
DRAWN BY: Author
DATE: 12.08.23

**SITE PLAN
(OVERALL
SIGNAGE)**

B-1
February 22, 2024

1 |

2 |

3 |



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DRAWN BY: Author
DATE: 02.07.24

POTENTIAL
SIGNAGE
ELEVATIONS

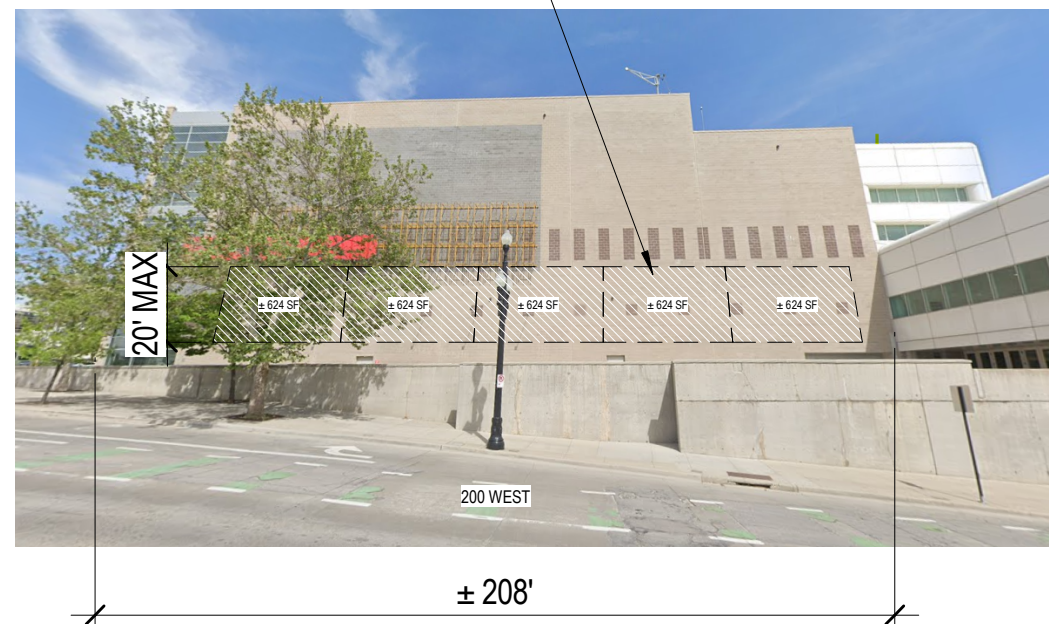
B-2
February 22, 2024

AWNING / CANOPY SIGN
5 SF PER LF OF BUILDING FACE



B1 NORTH ELEVATION
B-2 NOT TO SCALE

MONUMENT SIGN
3 SF PER LF OF STREET FRONTAGE
(5) PER STREET FRONTAGE

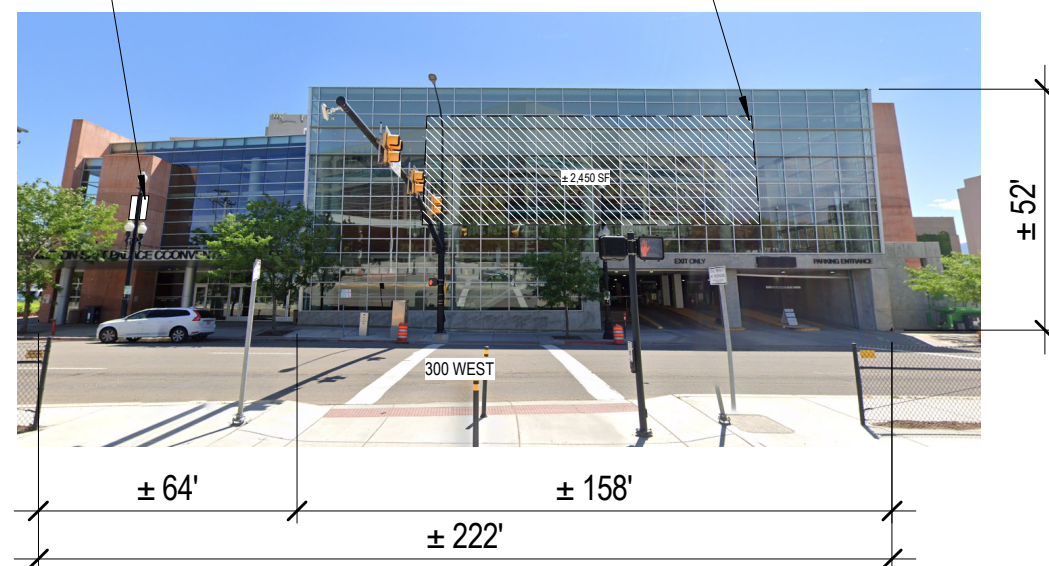


B2 NORTH CORNER - WEST ELEVATION
B-2 1" = 50'-0"

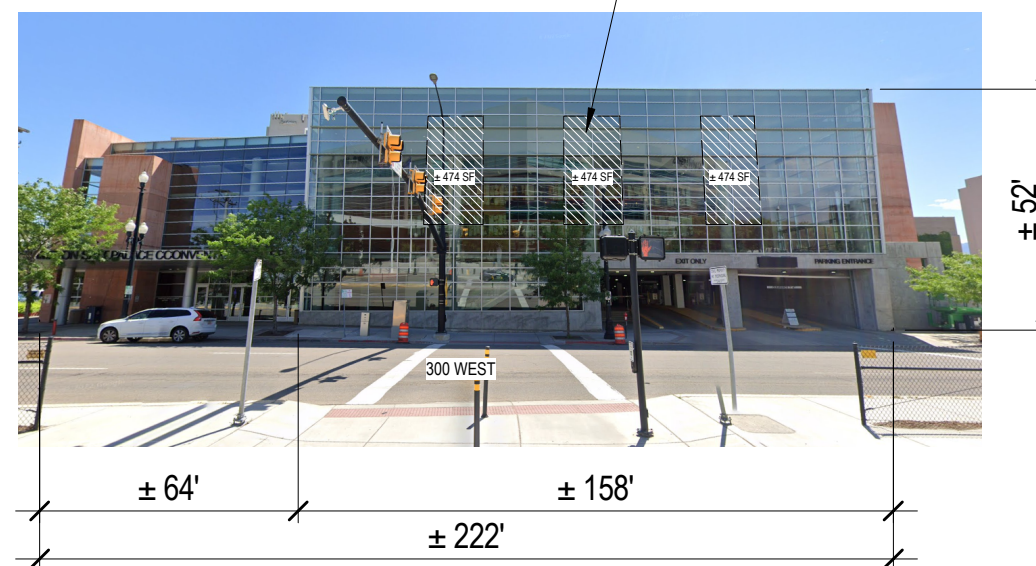
SPECIAL EVENT LIGHT POLE SIGN
10 SF MAX (MAY NOT EXCEED 20')
2 PER LIGHT POLE

SPECIAL EVENT SIGN
SIGN MAY COVER UP TO 50% OF THE BUILDING
1 PER STREET FRONTAGE

FLAT SIGN (STOREFRONT)
5 SF PER LF OF STORE FRONTAGE
(3) PER STOREFRONT



A1 NORTHWEST CORNER - WEST ELEVATION (EVENT)
B-2 NOT TO SCALE



A2 NORTHWEST CORNER - WEST ELEVATION (FLAT)
B-2 1" = 50'-0"

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A

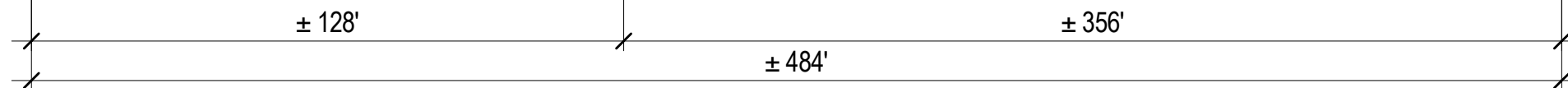
PLNPCM2023-00154

1

2

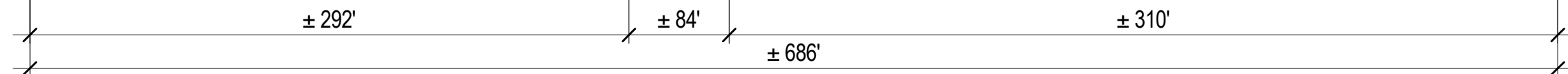
3

FLAT SIGN (GENERAL)
5 SF PER LF OF STREET FRONTAGE
(1) PER BUILDING FACE



B1 SOUTH ELEVATION
B-3 NOT TO SCALE

FLAT SIGN (STOREFRONT)
5 SF PER LF OF STORE FRONTAGE
(3) PER STOREFRONT



A1 EAST ELEVATION
B-3 NOT TO SCALE



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CHECKED BY: Checker
DRAWN BY: Author
DATE: 12.08.23

POTENTIAL
SIGNAGE
ELEVATIONS

B-3
February 22, 2024

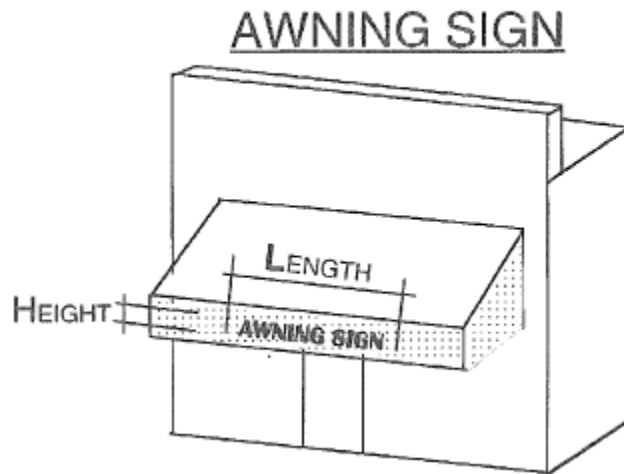
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The subject property is located in the D-4 zoning district and presently subject to the signage standards for D-4. If the proposed overlay were approved, it would supersede the D-4 requirements. The applicant is requesting greater allowances for some sign types that are allowed in D-4, but is also requesting some sign types that are generally not permitted in the zone. Staff is recommending some of the proposed allowances be adjusted, which is highlighted using bold typeface in the tables below.

Awning/Canopy Sign

Code definitions:

AWNING SIGN: *A sign that is painted on or otherwise made part of the awning material. Signage is limited to the vertical portions of the awning; the sides and the front valance. No signage shall protrude beyond the vertical face.*



CANOPY SIGN: *A sign that is painted or otherwise made part of the canopy material. Signage is limited to the vertical portions of the canopy; the sides and the front valance. No signage shall protrude beyond the vertical face.*

Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	<p>Awning Signs: 1 square foot per linear foot of storefront (sign area only)</p> <p>Canopy Signs: 1 square foot per linear foot of storefront (sign area only); 20 square feet maximum per canopy</p>	<p>See note 1</p> <p>Note 1:</p> <p>Awning Signs: Shall not be located above the second floor level of the building.</p> <p>Canopy Signs: Shall not be located above the main entry level of the premises.</p>	<p>Awning Signs: May extend 6 feet from face of building but not within 2 feet of the back of curb.⁶</p> <p>Canopy Signs: May extend from face of building but not within 2 feet of the back of curb.⁶</p> <p>Note 6: Public property lease and insurance required for</p>	<p>Awning Signs: 1 per first floor door/window</p> <p>Canopy Signs: 1 per first floor building entry</p>

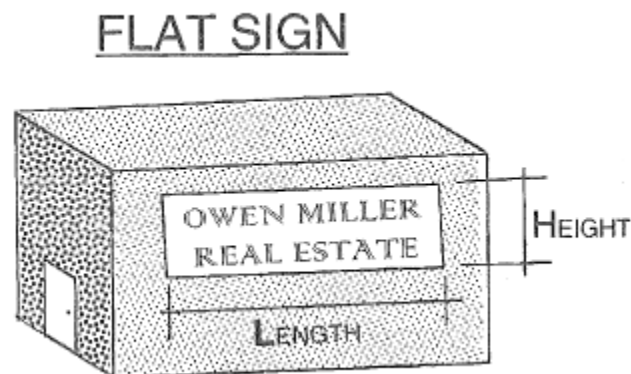
			projection over property line.	
Proposed Salt Palace Sign Overlay	5 square feet per linear foot of building face	See note 1 Note 1: Awning Signs: Shall not be located above the second floor level of the building. Canopy Signs: Shall not be located above the main entry level of the premises.	May extend 6 feet from face of building but not within 2 feet from back of curb	1 per first floor window/door may be combined with adjacent doors/windows
Staff Recommendation	3 square feet per linear foot of building face; 75 square feet maximum per awning or canopy	See note 1 Note 1: Awning Signs: Shall not be located above the second floor level of the building. Canopy Signs: Shall not be located above the main entry level of the premises.	May extend 6 feet from face of building but not within 2 feet from back of curb. ² Note 2: Public property lease and insurance required for projection over property line.	1 per first floor window/door may be combined with adjacent doors/windows

The Salt Palace is a large building with long street frontages and, on some building facades, numerous windows and building entries. While an increase in the maximum size allowance is reasonable given the unique nature of the convention center, it is recommended that it be scaled back to 3 square feet per linear foot of building face, with a maximum of 75 square feet per awning or canopy. This will reduce the potential for visual clutter, especially when combined with the other sign allowances in the overlay.

Flat Sign (General Building Orientation)

Code definition:

FLAT SIGN: A sign erected parallel to and attached to the outside wall of a building and extending not more than twenty four inches (24") from such wall, with messages or copy on the face only.



General building orientation refers to flat signs that are placed in any location on the façade of a building.

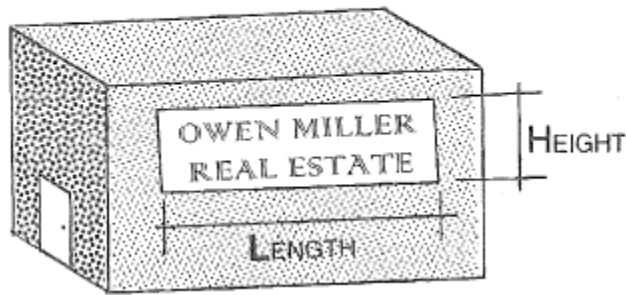
Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	4 square feet per linear foot of building face. A single-tenant building may combine the square footage total of both the storefront orientation and the general building orientation flat signs to construct 1 larger sign.	See note 1 Note 1: Flat signs may extend a maximum of two feet (2') above the roofline or parapet wall of the building on which they are located..	N/A	1 per building face
Proposed Salt Palace Sign Overlay	5 square feet per linear foot of building face.	See note 1 Note 1: Flat signs may extend a maximum of two feet (2') above the roofline or parapet wall of the building on which they are located.	N/A	1 per building face
Staff Recommendation	5 square feet per linear foot of building face.	See note 1 Note 1: Flat signs may extend a maximum of two feet (2') above the roofline or parapet wall of the building on which they are located.	N/A	1 per building face

Flat Sign (Storefront Orientation)

Code definition:

FLAT SIGN: A sign erected parallel to and attached to the outside wall of a building and extending not more than twenty four inches (24") from such wall, with messages or copy on the face only.

FLAT SIGN



Storefront orientation refers to flat signs that are associated with a specific storefront, generally in a building that has multiple unrelated commercial businesses or commercial businesses mixed with other uses.

Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	2 square feet per linear foot of each store frontage. A single-tenant building may combine the square footage total of both the storefront orientation and the general building orientation flat signs to construct 1 larger sign.	See note 1 Note 1: Flat signs may extend a maximum of two feet (2') above the roofline or parapet wall of the building on which they are located.	N/A	1 per business storefront
Proposed Salt Palace Sign Overlay	3 square feet per linear foot of each store/area frontage	See note 1 Note 1: Flat signs may extend a maximum of two feet (2') above the roofline or parapet wall of the building on which they are located.	N/A	3 per business storefront
Staff Recommendation	3 square feet per linear foot of each store/area frontage	See note 1 Note 1: Flat signs may extend a maximum of two feet (2') above the roofline or parapet wall of the building on	N/A	1 per building entry

		which they are located.		
--	--	-------------------------	--	--

The convention center does not have storefronts, so it is recommended that the allowance be changed to “1 per building entry,” permitting a flat sign above each entrance to the building.

Flat Sign Display, Electronic Changeable Copy (Parking Control)

This is a new sign type that is proposed by the applicant. It would give the Salt Palace an additional sign allowance for electronic directional signs guiding drivers into the parking garages, as shown below:



Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	No specific allowance	No specific allowance	No specific allowance	No specific allowance
Proposed Salt Palace Sign Overlay	No larger than 18 square feet per sign	See note 1 Note 1: Flat signs may extend a maximum of two feet (2') above the	N/A	1 at each parking entry and/or exit

		rooftline or parapet wall of the building on which they are located.		
Staff Recommendation	Remove			

The applicant is proposing private directional signage, as discussed below, that should allow them to create the parking signs they are requesting. Private directional signage can have electronic faces, so it is not necessary to create a new sign type to accomplish this. It is recommended that this allowance be removed from the proposed sign overlay table.

Flat Sign Display, Electronic Changeable Copy

Any flat sign can display electronic messaging. The applicant is proposing a separate allowance in addition to the general and storefront orientation flat signs that would permit more flat signs that specifically had electronic copy on them. The Convention Center intends to use this allowance to place electronic signs over some of the parking entrances, as shown below.



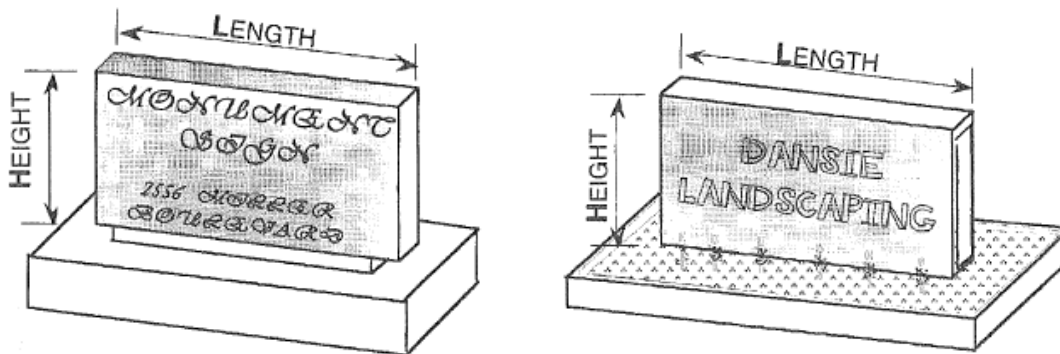
Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	No specific allowance	No specific allowance	No specific allowance	No specific allowance
Proposed Salt Palace Sign Overlay	No larger than 1800 square feet per sign	See note 1 Note 1: Flat signs may extend a maximum of two feet (2') above the rooftopline or parapet wall of the building on which they are located.	N/A	1 at each parking entry

Staff Recommendation	No larger than 1400 square feet per sign	See note 1 Note 1: Flat signs may extend a maximum of two feet (2') above the roofline or parapet wall of the building on which they are located.	N/A	1 at each parking entry
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Staff recommends that the maximum area be changed to 1400 square feet from 1800 square feet to match the maximum allowed in the Arena Sign Overlay, which is located adjacent to the proposed overlay and serves a similar purpose in the same downtown environment. In addition, staff is recommending that the sign classification be changed to *Flat Sign Display, Electronic Changeable Copy (Parking Entrance Orientation)* to clarify that the signs are only to be placed above or next to a parking entrance.

Monument Sign

Code definition: A freestanding sign whose sign face extends to the ground or to a base.



Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	1 square foot per linear foot of street frontage	20 feet	None	1 per street frontage
Proposed Salt Palace Sign Overlay	3 square feet per linear foot of street frontage	20 feet	None	5 per street frontage
Staff Recommendation	1 square foot per linear foot of street frontage	20 feet	None	5 per city block

The maximum area per sign face is based on a ratio to the amount of linear street frontage a property has. The Salt Palace property is very large, with long street frontages. On West Temple, for example, the Convention Center property has roughly 1,100 linear feet of street frontage (excluding the hotel).

Increasing the ratio to 3 square feet of maximum area per sign face per linear foot of street frontage would result in a much larger maximum size allowance than what is appropriate for a downtown environment. It is recommended that the ratio of 1 square foot per linear foot of street frontage be retained.

Monument signs can have a large impact on the pedestrian realm. For that reason, it is recommended that the number of signs be limited to five per city block within the overlay. This is an increase from the D-4 allowance, but will minimize the impact to the pedestrian way. The convention center property is also split between multiple parcels, which each technically have their own street frontage. Changing the language in the table to “city block” from “street frontage” ensures that in the future, an interpretation wouldn’t be made that each parcel would get five signs of their own rather than the property overall.

Private Directional Signage

Code definition: An on premises sign designed to guide vehicular and/or pedestrian traffic by using such words as "entrance", "exit", "parking", "one-way" or similar directional instruction, and which may include the identification of the building or use, but may not include any advertising message.

Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	8 square feet	4 feet	5 feet	No limit
Proposed Salt Palace Sign Overlay	100 square feet	20 feet	No setback	No limit
Staff Recommendation	100 square feet	20 feet	No setback	No limit

As discussed above, private directional signage would include the proposed electronic parking entry signs.

Special Event Light Pole Sign

Code definitions:

Pole Sign: A freestanding sign other than a monument sign, erected and maintained on a mast(s) or pole(s) and not attached to any building.

Special Event Sign: A temporary sign accessory to a use that identifies special events or activities. A special event sign shall not include real estate signs, garage/yard sale signs or other types of accessory signs.

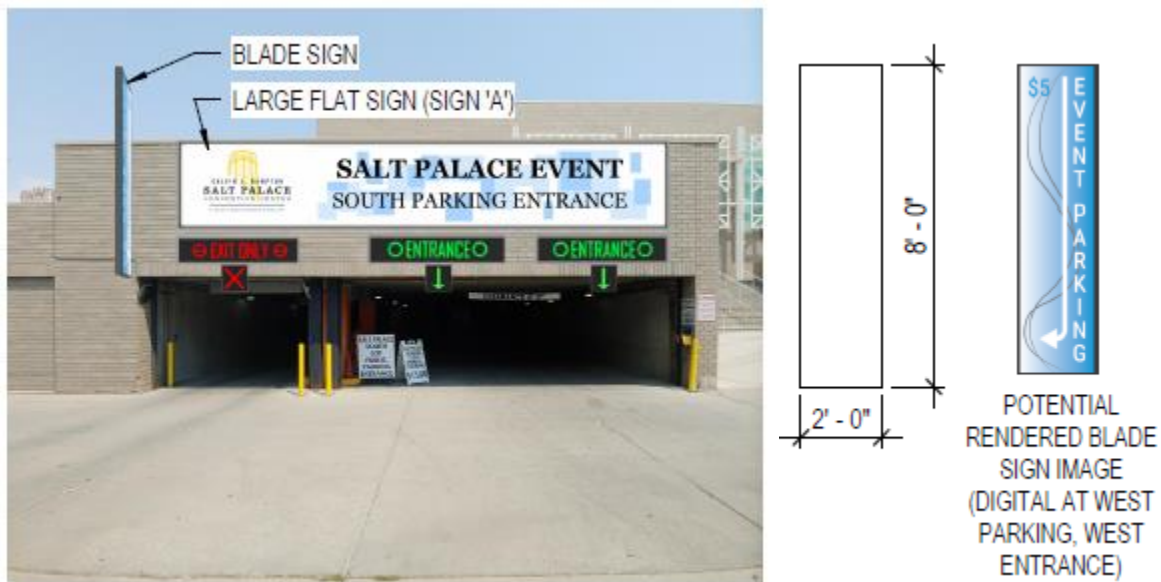
Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	Not permitted	Not permitted	Not permitted	Not permitted

Proposed Salt Palace Sign Overlay	10 square feet	May not exceed 20'	N/A	2 per light pole
Staff Recommendation	10 square feet	May not exceed 20'	N/A	2 per light pole

Special event light pole signs would allow the Convention Center to advertise events on a short term basis. The requested allowance is the same as what is permitted in the Sports Arena Sign Overlay.

Parking Entrance Blade Sign (Projecting Parking Entry Sign)

A blade sign is mounted perpendicular to the face of a building or structure, which gives it two sign faces. The requested allowance would allow the Convention Center to place larger blade signs to make their parking entrances more easily identifiable, as shown below:



Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	9 square feet per side; 18 square feet total	See note 1. Sign face limited to 4 feet in height. Note 1: A projecting parking entry sign shall be located at the parking entry level of the building.	May extend 4 feet from face of building but not within 2 feet of the back of curb. ⁶ Note 6: Public property lease and insurance required for projection over property line.	1 per driveway or parking lot entry
Proposed Salt Palace Sign Overlay	No larger than 32 square feet	May not exceed 20'	No setback	2 at each parking entry

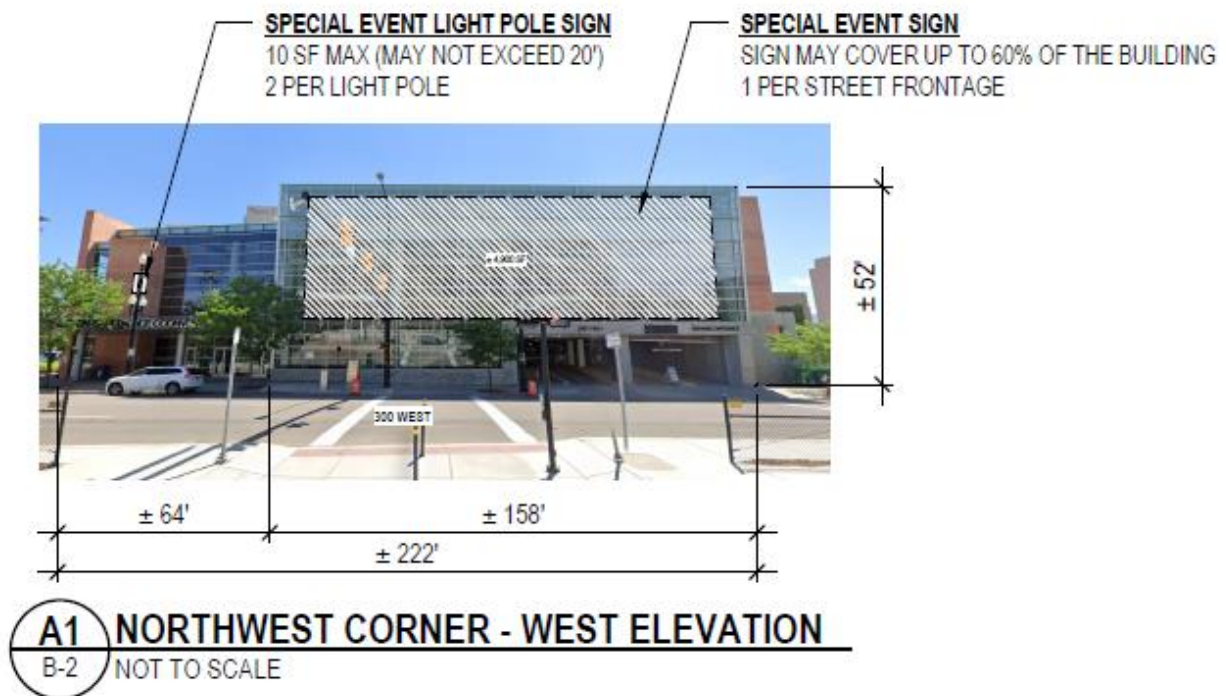
Staff Recommendation	16 square feet per side; 32 square feet total	See note 1. Sign face limited to 10 feet in height. Note 1: A projecting parking entry sign shall be located at the parking entry level of the building.	May extend 4 feet from face of building but not within 2 feet of the back of curb. ² Note 2: Public property lease and insurance required for projection over property line.	2 at each parking entry
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Staff is recommending that the maximum area per sign face be changed to clarify that each side of the sign can be no larger than 16 square feet per size, for an overall sign face area of 32 square feet. It is also recommended that the maximum height be limited to 10 feet, which is more appropriate for pedestrian scale. These signs will be highly visible to people using the sidewalk. It is also recommended that the minimum setback be retained, so that the signs can extend up to 4 feet from the face of the building but not be placed within 2 feet of the back of curb.

Special Event Sign

Code definition: A temporary sign accessory to a use that identifies special events or activities. A special event sign shall not include real estate signs, garage/yard sale signs or other types of accessory signs.

The Convention Center is proposing a special event sign allowance that would permit them to cover up to 60 percent of each building façade with signage, as shown in abstract below:



Zone	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs	Minimum Setback	Number of Signs Permitted Per Sign Type
D-4	Not permitted	Not permitted	Not permitted	Not permitted
Proposed Salt Palace Sign Overlay	Sign may cover up to 50% of the building	May not exceed the height of the building	N/A	1 per street frontage
Staff Recommendation	Sign may cover up to 40% of the building	May not exceed the height of the building	N/A	1 per street frontage

Given the size of the Convention Center buildings, signs covering 60 percent of the building would be extremely large, especially on the West Temple and 200 West frontages. This could be distracting for drivers and create an overwhelming amount of visual clutter, especially when combined with the flat sign and other sign allowances, making the pedestrian experience uninviting. The Sports Arena overlay does include an allowance of 60 percent building coverage for special event signs. However, the arena is a much smaller property and building, which creates a lesser impact. The arena building is also set back a great deal from the sidewalk, unlike the convention center which is much closer to the pedestrian way, so the effect on the pedestrian realm will be greater. It is recommended that the allowance for the Salt Palace be reduced to 40 percent of each building façade.

Additionally, it is recommended that a footnote be added to the table that is tied to the special event sign allowance:

Advertising or corporate logos are limited to on premises advertising of convention center events and sponsors only.

This is similar language as what can be found in the Sports Arena sign overlay.

We have reduced the requested amount and changed the graphic image as well as the text

Sign Overlay Table With Staff Recommended Changes

Types of Sign Permitted	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs ¹	Minimum Setback ²	Number of Signs Permitted Per Sign Type
Awning/Canopy Sign	3 square feet per linear foot of building face; 75 square feet maximum per awning or canopy	See note 1	May extend 6 feet from face of building but not within 2 feet from back of curb.	1 per first floor window/door may be combined with adjacent doors/windows
Flat Sign (General Building Orientation) ⁴	5 square feet per linear foot of building face.	See note 1	N/A	1 per building face
Flat Sign (Storefront Orientation) ⁴	3 square feet per linear foot of each store/area frontage	See note 1	N/A	1 per building entry
Flat Sign Display, Electronic Changeable Copy (Parking Entrance Orientation) ^{3 4}	No larger than 1400 square feet per sign	See note 1 Note 1: Flat signs may extend a maximum of two feet (2') above the roofline or parapet wall of the building on which they are located.	N/A	1 at each parking entry
Monument Sign	1 square foot per linear foot of street frontage	20 feet	None	5 per city block
Private Directional Signage ⁵	100 square feet	20 feet	No setback	No limit
Special Event Light Pole Sign	10 square feet	May not exceed 20'	N/A	2 per light pole

Parking Entrance Blade Sign	16 square feet per side; 32 square feet total	See note 1. Sign face limited to 10 feet in height.	May extend 4 feet from face of building but not within 2 feet of the back of curb.	2 at each parking entry
Special Event Sign ⁶	Sign may cover up to 40% of the building	May not exceed the height of the building	N/A	1 per street frontage

Notes:

1. For heights on building signs, see subsection 21A.46.070J of this chapter.
2. Public property lease and insurance required for projection over property line.
3. Flat sign, electronic changeable copy may display static or rotating messages.
4. An advertising face on an electronic changeable copy sign that is not oriented to a public street may be operated to allow full motion video display. Displays oriented to a public street must not allow animation, may change no more frequently than every 8 seconds and must complete transition within 1 second.
5. Private directional signage may include an electronic changeable copy sign within the sign area.
6. Advertising or corporate logos are limited to on premises advertising of convention center events and sponsors only.

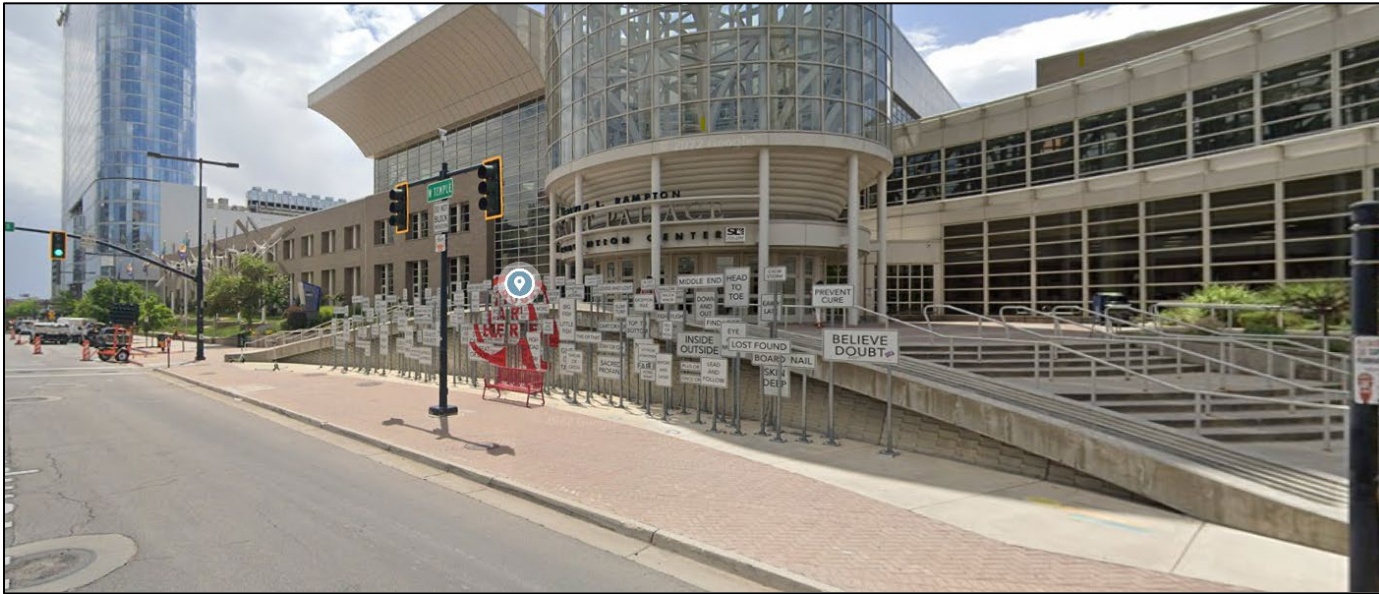
ATTACHMENT C: Property and Vicinity Photos



Main Entrance of Salt Palace Convention Center, on West Temple



Pole Signs on West Temple frontage of Salt Palace Property



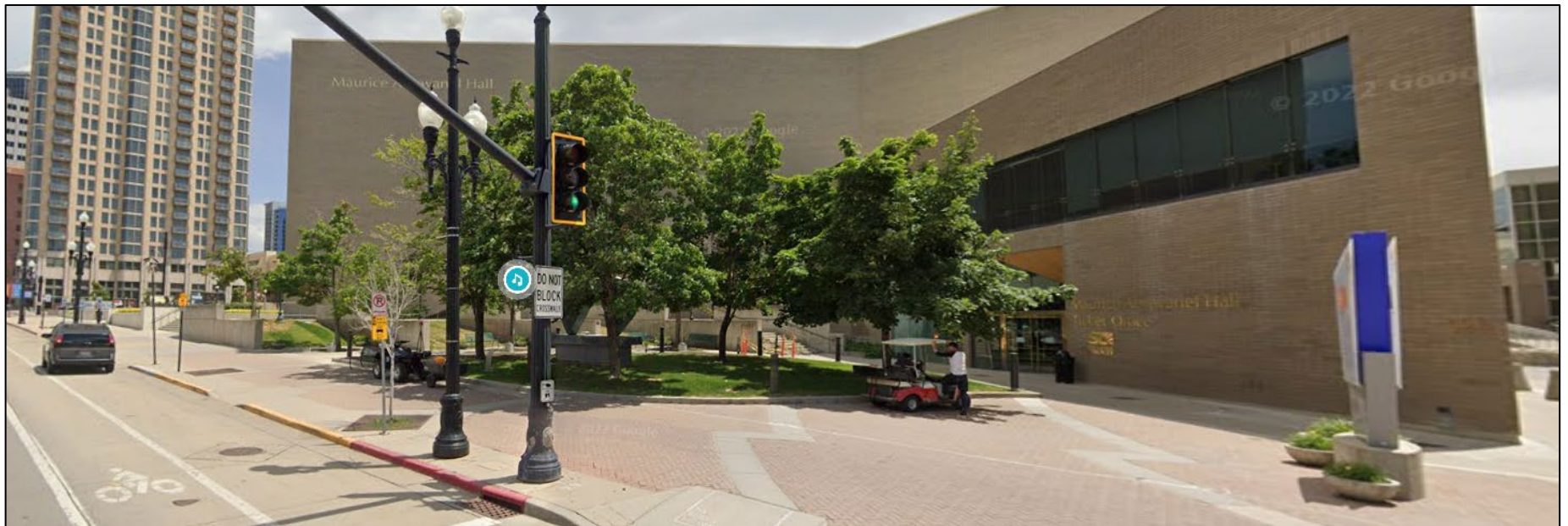
Salt Palace Convention Center West Temple Elevation



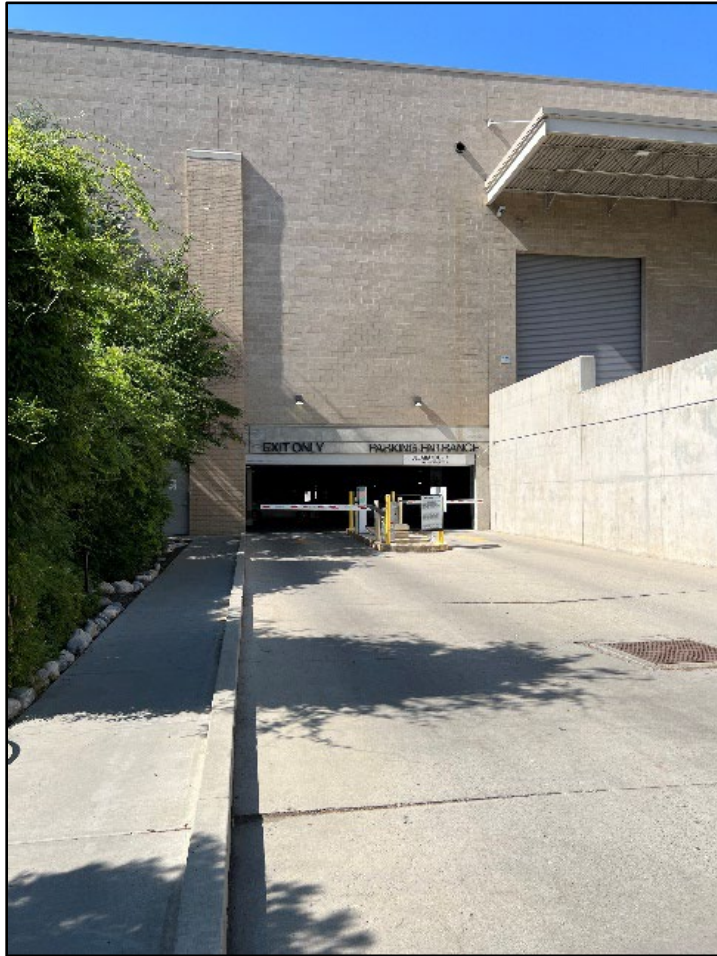
Salt Palace Convention Center West Temple Elevation



Abravanel Hall West Temple Frontage



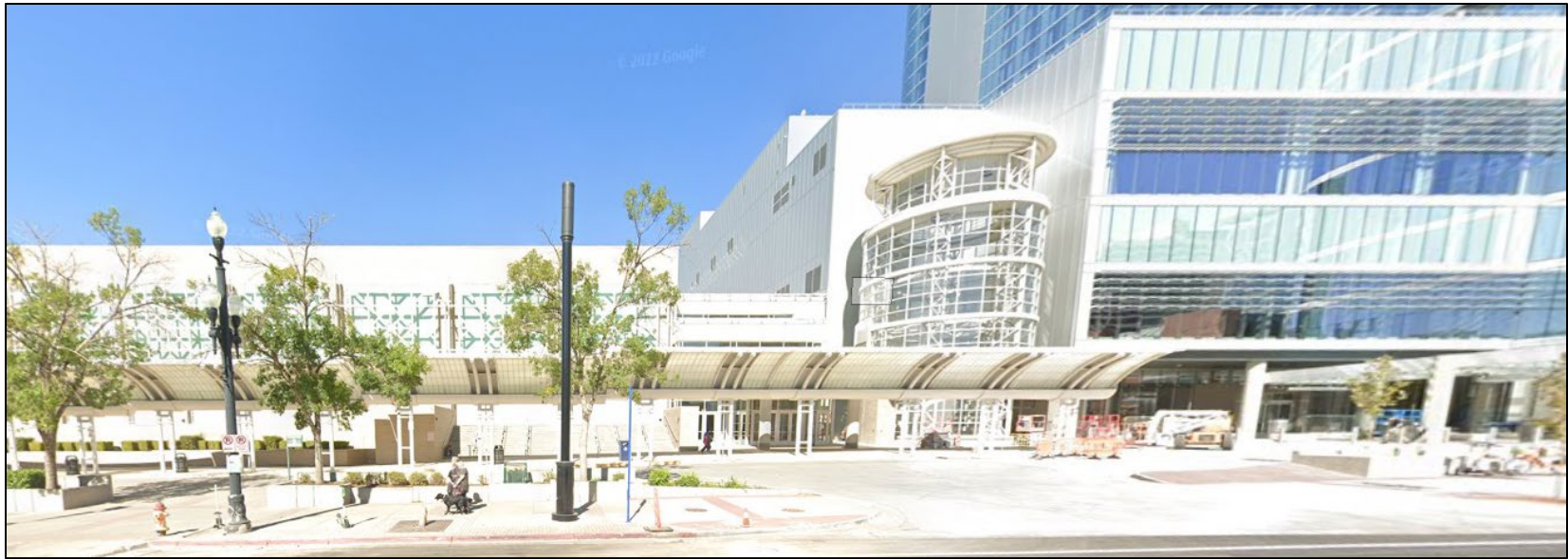
Abravanel Hall South Temple Frontage



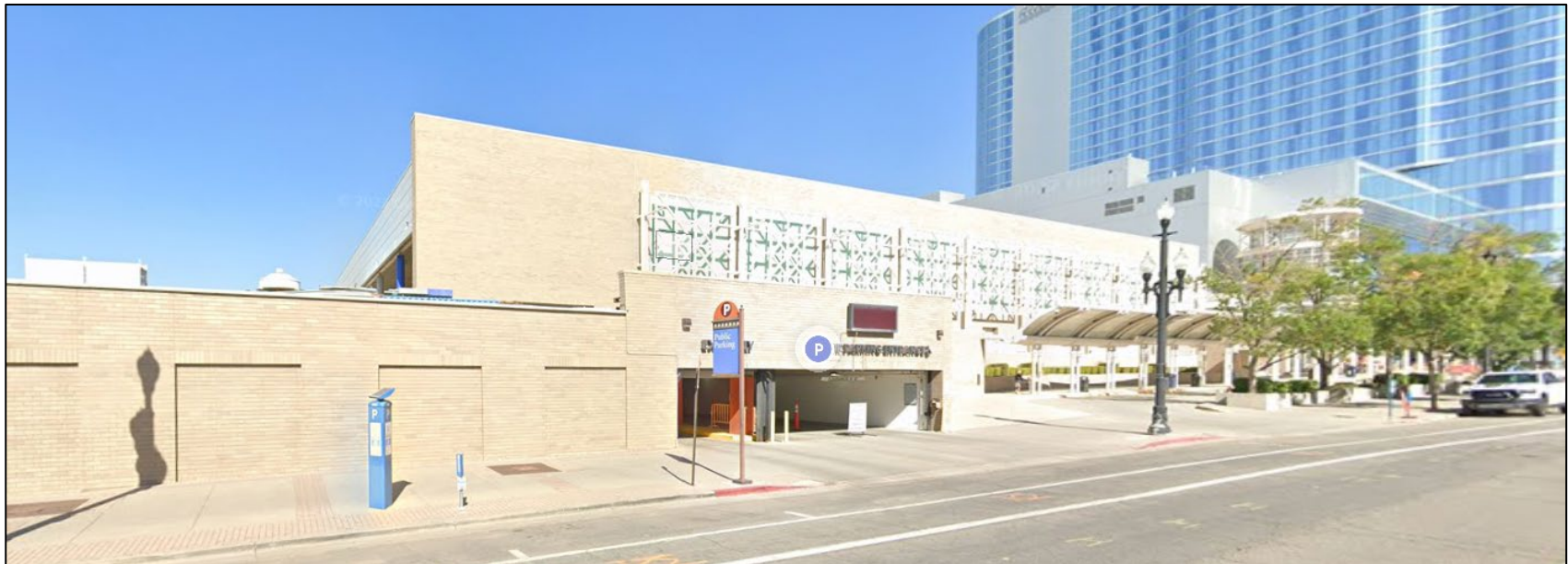
Entrance to Parking Garage from 100 South



Entrance to Parking Garage from 200 West



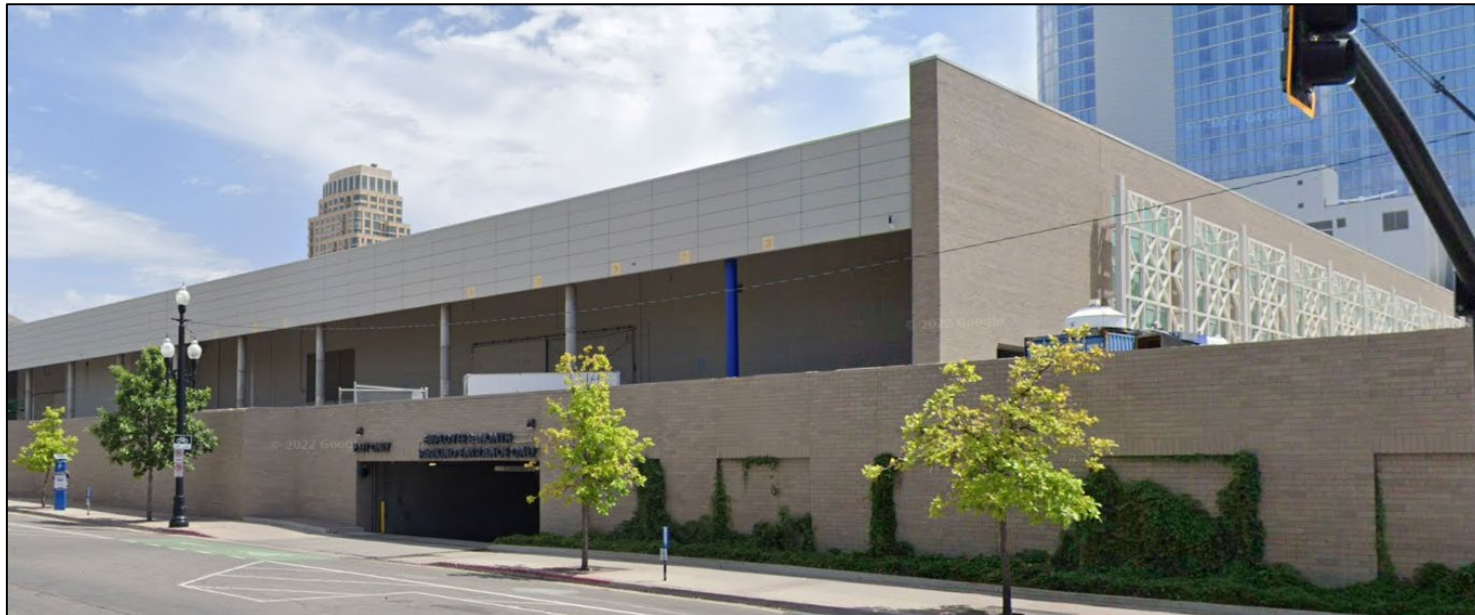
200 South Frontage



200 South Frontage



200 West Frontage



200 West Frontage

ATTACHMENT D: Zoning Text Amendment Standards

ZONING TEXT AMENDMENTS

21A.50.050: A decision to amend the text of this title or the zoning map by general amendment is a matter committed to the legislative discretion of the city council and is not controlled by any one standard. In making a decision to amend the zoning map, the City Council should consider the following:

1. Whether a proposed text amendment is consistent with the purposes, goals, objectives, and policies of the city as stated through its various adopted planning documents;

The proposed changes are consistent with City purposes, goals, and policies, with conditions. See detailed analysis in Key Consideration 1.

2. Whether a proposed text amendment furthers the specific purpose statements of the zoning ordinance.

21A.02.030 Purpose and Intent

The purpose of the zoning ordinance “is to promote the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Salt Lake City, to implement the adopted plans of the city, and to carry out the purposes of the municipal land use development and management act, title 10, chapter 9, of the Utah Code Annotated or its successor, and other relevant statutes.”

The purpose of the zoning ordinance states the title is intended to:

- Lessen congestion in the streets or roads
- Secure safety from fire and other dangers
- Provide adequate light and air
- Classify land uses and distribute land development and utilization
- Protect the tax base
- Secure economy in governmental expenditures
- Foster the City's industrial, business and residential development
- Protect the environment

The proposed sign overlay would contribute to the Convention Center's ability to attract business, helping to protect the tax base and fostering the City's business development. To a lesser extent, it may also help with reducing traffic congestion on the streets immediately surrounding the complex, because additional wayfinding signs will help visitors, many of whom are not local to Salt Lake City, identify entrances to the Convention Center's parking structures, preventing circling and abrupt maneuvers.

The proposed amendments implement the adopted master plans listed above in 1, with conditions, which furthers a purpose of the zoning ordinance.

3. Whether a proposed text amendment is consistent with the purposes and provisions of any applicable overlay zoning districts which may impose additional standards;

The proposed text amendment would affect properties that are not currently in an overlay zone. No overlay zoning districts are applicable apart from the overlay proposed in this application.

4. The extent to which a proposed text amendment implements best current, professional practices of urban planning and design.

The proposed text amendment creates an overlay which supports the creation of identifiable signage for a specific and thematically related area. As addressed earlier in the staff report, this is a strategy that has been utilized in the past by city leaders. The proposal will help to enhance the visitor experience at the Convention Center, which is identified as a significant asset to the downtown area. Placemaking is a common practice

of urban planning and design. Due to its unique nature staff believes that specific sign regulations are warranted. The sign overlay will allow the applicant to create a cohesive design that provides an entertaining space but also a wayfinding system to aid pedestrians and drivers traveling around the complex.

Based on the above information, staff finds the proposal is consistent with this factor, with conditions.

ATTACHMENT E: Public Process & Comments

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- There was no active recognized community organization at the time this application was submitted. The 45 day notice for recognized community organizations was therefore not sent.
- April 20, 2023 - Property owners and residents within 300 feet of the development were provided early notification of the proposal.
- April 2023 – February 2024 – The project was posted to the Online Open House webpage.

Notice of the public hearing for the proposal included:

- February 16, 2024
 - Public hearing notice sign posted on the properties
- February 15, 2024
 - Public hearing notice mailed
 - Public notice posted on City and State websites and Planning Division list serve

Public Input:

Staff did not receive any public comment regarding this proposal.

ATTACHMENT F: Sign Overlay Ordinance - Staff Recommended Changes

21A.46.110.3.D

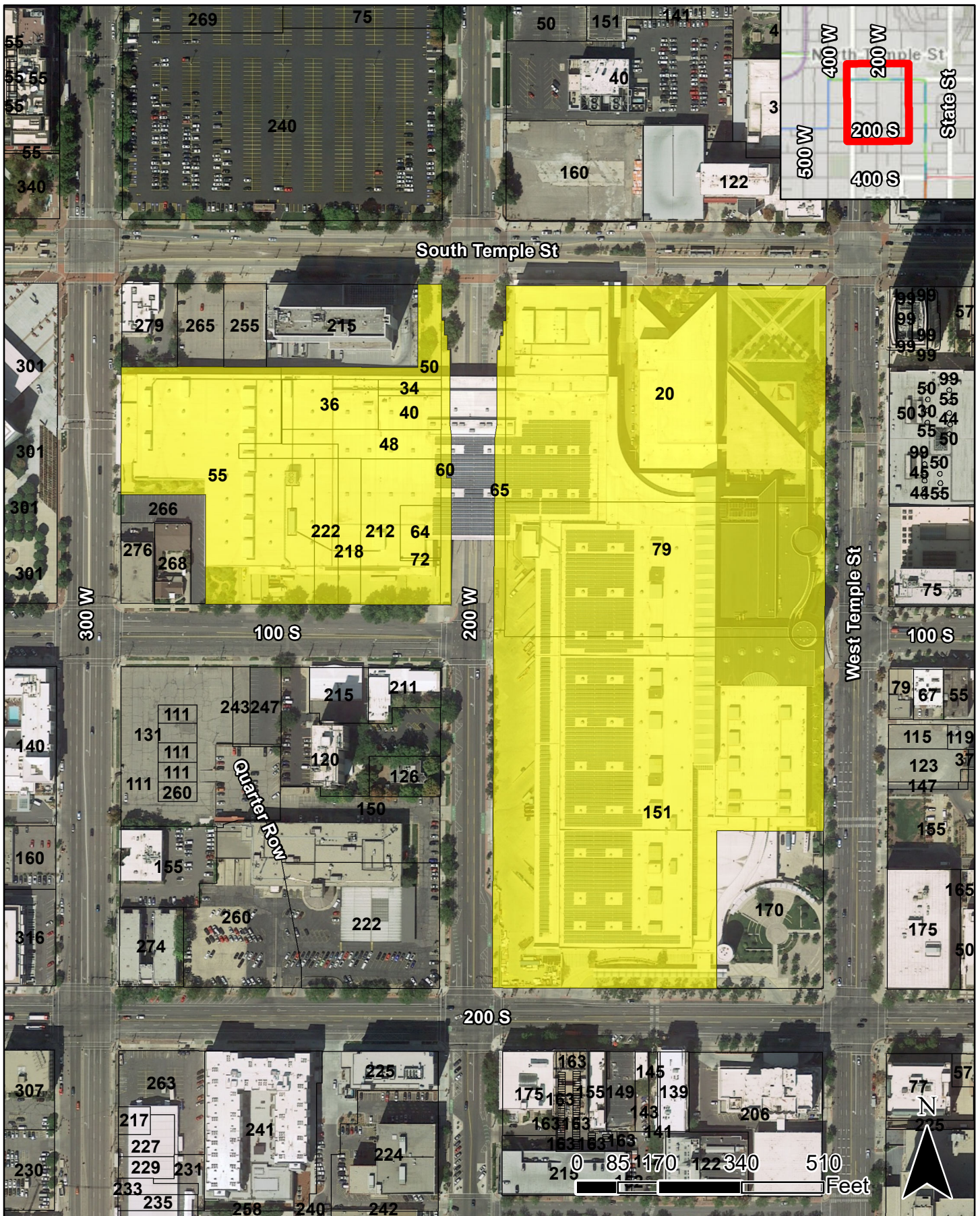
Salt Palace Convention Center Sign Overlay Location Illustrated On the Map Below:

Types of Sign Permitted	Maximum Area Per Sign Face	Maximum Height of Freestanding Signs ¹	Minimum Setback ²	Number of Signs Permitted Per Sign Type
Awning/Canopy Sign	3 square feet per linear foot of building face; 75 square feet maximum per awning or canopy	See note 1	May extend 6 feet from face of building but not within 2 feet from back of curb.	1 per first floor window/door may be combined with adjacent doors/windows
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Notes:

1. For heights on building signs, see subsection 21A.46.070I of this chapter.
2. Public property lease and insurance required for projection over property line.
3. Flat sign, electronic changeable copy may display static or rotating messages.
4. An advertising face on an electronic changeable copy sign that is not oriented to a public street may be operated to allow full motion video display. Displays oriented to a public street must not allow animation, may change no more frequently than every 8 seconds and must complete transition within 1 second.
5. Private directional signage may include an electronic changeable copy sign within the sign area.
6. Advertising or corporate logos are limited to on premises advertising of convention center events.

Salt Palace Convention Center Sign Overlay Boundaries



ATTACHMENT G: Department Review Comments

This proposal was reviewed by the following departments. Any requirement identified by a City Department is required to be complied with.

Economic Development:

Economic Development is in support of the Sign Standards Text Amendment for the Salt Palace Convention Center. We feel it will make parking more accessible and visible for the property, visitors, and residents downtown.

Urban Forestry:

As long as these new signage regulations are not going to override the current city code requirements, for street trees to be planted and maintained at a rate of one tree planted, in the public ROW parkstrip or in tree grates in the sidewalk, for every 30' of street frontage of the adjacent property, then Urban Forestry has no concerns with this proposal.

Public Utilities:

PU does not have any specific comments. However, any encroachment will require the full review process, including PU's sign off.

Engineering:

No objections.

Transportation:

Approved.