



Staff Report

PLANNING DIVISION

DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Lex Traughber, Senior Planner
Date: June 14, 2023
Re: PLNPCM2023-00165 – 29th Ward Meeting House – Conditional Use
(Adaptive Reuse of a Landmark Building in a Residential District)

Conditional Use & Adaptive Reuse of a Landmark Site

PROPERTY ADDRESS: 1102 W. 400 North
PARCEL ID: 08-35-177-021
MASTER PLAN: Northwest Master Plan (1992), North Temple Boulevard Plan (2010)
ZONING DISTRICT: R-1/7,000 (Single-family Residential District)

REQUEST:

Warren Lloyd, of Lloyd Architects, representing the property owner Kent Whipple, is requesting Conditional Use approval for the operation of a religious, social, and community center in the historic 29th Ward Meeting House which is a Landmark Site. The proposed Conditional Use is for an adaptive reuse of a landmark site located in a residential zoning district. The subject property is within Council District 1, represented by Victoria Petro.

RECOMMENDATION:

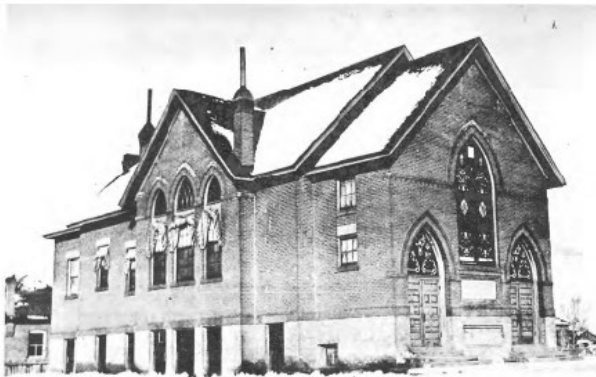
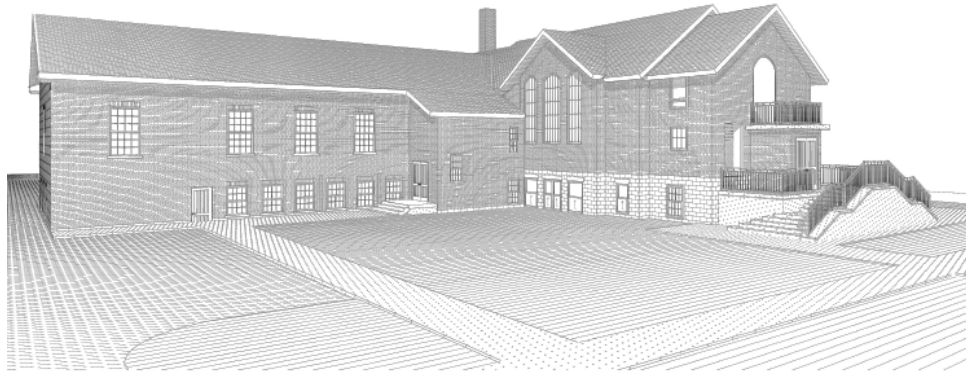
Based on the information in this staff report, it is Planning Staff's opinion that the requested conditional use, the adaptive reuse of a landmark building in a residential district, substantially complies with the standards of approval. Planning Staff recommends that the Planning Commission approve the proposal as presented.

ATTACHMENTS:

- A. [ATTACHMENT A: Vicinity Map](#)
- B. [ATTACHMENT B: Application Materials](#)
- C. [ATTACHMENT C: Photos](#)
- D. [ATTACHMENT D: Conditional Use Standards](#)
- E. [ATTACHMENT E: Adaptive Reuse of a Landmark Building in a Residential District Approval Standards](#)
- F. [ATTACHMENT F: Public Process & Comments](#)
- G. [ATTACHMENT G: Department Review Comments](#)

PROJECT DESCRIPTION

The applicant is proposing to revitalize the 29th Ward Meeting House, an historical landmark building, located in a R-1/7,000 (Single-family Residential District). The intent is to reintegrate the existing historic building back into the surrounding residential neighborhood and local community, while recognizing the significance and importance of preserving historic character and architectural features. The property is required to go through conditional use approval for the adaptive reuse of a landmark building in a residential district per City code section 21A.24.010(S).



2 ORIGINAL - CIRCA 1920



3 CURRENT - PHOTO TAKEN IN 2023

The existing building is a two-level structure w/ sub-grade lower-level basement that was initially constructed as a church in 1902, with an addition added in the 1920s. Throughout the years the building housed numerous entities and organizations that primarily used the building for spiritual, cultural, and social gatherings. In more recent history, the building had been vacant and was in significant disrepair. The applicant has worked with City staff to complete recent building renovations. The use of the site, scale, style, design, and architectural detailing (original artistic, historic, and cultural values, as well as the historical style) will remain. All significant archaeological resources shall be protected and preserved.

The applicant asserts that the revitalization of this existing landmark building will benefit the community as a whole. The proposed use of the existing building will function similarly to past activities and will continue to be conducive to the preservation of the landmark site. The historic use of the structure was a community center for religious and social gatherings.

The following uses are listed as conditional uses for the R-1/7,000 Single-family Residential District, based on Table 21A.33.020 - Conditional Uses for Residential Districts:

- Place of worship (lots less than 4 acres)
- School Seminary & Religious Institute
- Adaptive Reuse of a Landmark Building Site

City code section 21A.24.010.S allows for the use of landmark buildings in residential zoning districts for nonresidential uses subject to meeting specific criteria which relate to preservation of surrounding residential character. The purpose of the adaptive reuse of a landmark site in a residential district is to preserve landmark sites. In some instances, these sites have outlived their original use due to economic conditions, size of the building, and/or a substantial degree of deterioration of the historic property. Such sites, however, still contribute to the welfare, property, and education of the people of Salt Lake City because of their historic, architectural or cultural significance. The proposed use of the building as a place of worship and for community gathering is consistent with its historic use.

At present, the applicant envisions that the operations for the Fairpark Meeting House may include a long-term lease to the Utah Hazara Association or other similar community group, religious or business organization whose uses could include a refugee support center, with community, social, religious and cultural activities, weddings, receptions, funerals, music events, art and dance shows and performances, theatrical productions, seminars, classroom instruction, arts and crafts community classes, films, exhibits, health and wellness functions, meditation, exercise classes such as yoga, public health and other such community meetings, business meetings, cultural and art classes, and administrative office functions.

The applicant's detailed narrative is included for review, see Attachment B.

APPROVAL PROCESS AND COMMISSION AUTHORITY

Per section 21A.54.010.A of the zoning ordinance, Conditional Uses are allowed unless appropriate conditions cannot be applied, which, in the judgment of the Planning Commission, would mitigate adverse impacts that may arise by introducing a conditional use on the particular site. The Planning Commission has the authority to approve, approve with conditions, or deny the Conditional Use request.

Section 21A.24.010(S) of the Zoning Ordinance includes a provision to allow for non-residential uses to be located in a residentially zoned Landmark Site through the conditional use process. The types of uses have been limited to the following:

- Place of worship (lots less than 4 acres)
- School Seminary & Religious Institute
- Adaptive Reuse of a Landmark Building Site – Community Center

The question before the Planning Commission is strictly a question of use, and whether or not the proposed use is appropriate and consistent with adopted conditional use standards, the criteria in 21A.24.010(S), as well as City preservation policies.

KEY CONSIDERATIONS

The key considerations listed below were identified through the analysis of the project:

1. Applicable Master Plan Policies
2. Compliance with adopted Conditional Use and Adaptive Reuse Standards

3. Neighborhood Compatibility and Impact

Consideration 1: Applicable Master Plan Policies

The Salt Lake City Community Preservation Plan (2012) addresses adaptive reuse of historic buildings. Policy 3.4d of this document reads, “*Adaptive reuse of historic structures should be allowed for a variety of uses in appropriate locations where it is found that the negative impacts can be mitigated and where the uses do not require significant alterations to the historic integrity of the interior of the structure.*”

The proposed adaptive reuse of the subject building is consistent with this adopted City policy along with the aforementioned Zoning Ordinance provision.

Consideration 2: Compliance with adopted Conditional Use and Adaptive Reuse Stds

Planning Staff has analyzed the proposed conditional use and adaptive reuse of a landmark building. The analysis can be found in Attachments E & F. It is Planning Staff’s opinion that the proposal substantially meets the standards for approval.

Consideration 2: Neighborhood Compatibility and Impact

Through the analysis of the proposal, as found in Attachments E & F, Planning Staff asserts that the proposed reuse of the landmark building as a community center, place of worship, school seminary & religious institute, is compatible with the neighborhood. These uses are similar, if not somewhat identical, to the historic use of the property as an LDS Meeting House. It appears that any impacts can be reasonably mitigated.

Additionally, the applicant presented the proposal to the Fairpark Community Council at their meeting on April 27th, 2023. In general, it appeared to Planning Staff in attendance that the community is supportive of the project, and has an appreciation for the renovations that have been done to the building to date.

STAFF RECOMMENDATION

The proposal complies with the standards for conditional use approval and the standards for the adaptive reuse of a landmark building in a residential zone. After analyzing the proposal and the applicable standards, Planning Staff is of the opinion that there are no significant impacts to adjacent properties or public ways that need to be mitigated. Therefore, based on the information in this staff report, Planning Staff recommends that the Planning Commission approve the proposal as presented.

NEXT STEPS

Approval of the Request

If the proposed Conditional Use is approved, the applicant may apply for any building permit required for the proposed adaptive reuse of the structure, and may begin to use the building for the proposed use.

Denial of the Conditional Use Request

If the proposed Conditional Use is denied, the applicant would need to find a different use to occupy the building that is consistent with Conditional Use and Adaptive Reuse Standards.

ATTACHMENT A: Vicinity Map



ATTACHMENT B: Application Materials

Date: March 20, 2023

Attn: Lex Traughber, Senior Planner
Planning Division Department of Community & Neighbors
Salt Lake City, Utah

Re: Narrative for Concurrent Approval for Adaptive Reuse

Project Address: Landmark Building in an R-1-7000 Residential Neighborhood Zone
District, For Fairpark Meeting House, located at 1102 West 400 North,
Salt Lake City

Lex,

The following narrative serves as an intent to revitalize an existing historical landmark building located in a R-1-7000 Residential Neighborhood zone district, located 1102 West 400 North, Salt Lake City. The intent is to reintegrate the existing historic building structure back into the surrounding residential neighborhood and local community, while recognizing the significance and importance of preserving the historic landmark building character and architectural features of the original 29th Ward Meeting House.

The existing building is a two-level structure w/ sub-grade lower-level basement that was initially constructed as a church in 1902, with an addition added in the 1920s. Throughout the years the building housed numerous entities and organizations that primarily used the building for spiritual, cultural, and social gatherings. The total existing area + proposed addition will be 12,698 sf., thus meeting the minimum 7,000 square footage landmark building criteria.

The renovations will occur primarily on the interior of the building, to accommodate and enhance accessibility and functionality of a new community gathering space. Exterior revisions are limited to the addition of:

1. A new two-story elevator tower located at the North entry vestibule adjacent to the Current accessible entry. These entry modifications include a 214sf elevator shaft & vestibule addition which will be compatible with the existing historical structure, utilizing similar materials i.e. brick veneer, historical windows, doors, etc. An extension of the existing roof slope will enclose the elevator shaft, maintaining the same slope and

blending into the existing roof materials.

2. Modifications to a lower-level egress service entrance on the East side of the building. The current service egress door will be lowered by approximately 4'-6" to accommodate exterior steps. The existing interior risers are non-code compliant. This modification does not negatively affect the East facade and will be integrated to minimize the visual impact to the historic structure.

The use character of the site, scale, style, design, and architectural detailing (original artistic, historic and cultural values, as well as the historical style) will remain. All significant archaeological resources shall be protected and preserved. All exterior building materials will match and blend in with existing building materials and colors: painted brick, trim, (2) new windows that will match existing historical style windows, new asphalt shingles at the elevator addition that will blend with and match existing shingles.

We believe the revitalization of this existing Landmark Building will benefit the community as a whole. The proposed Use of the existing building will maintain a Use and functionality similar to past activities and will continue to be conducive to the preservation of the landmark site. The historic use of the structure was a community center for religious and social gatherings.

The proposed use of the building will likewise be for religious, social and community services. The site has a continuing preservation of the use, while also maintaining its current integration and compatibility with the surrounding neighborhood and residential uses. The building will continue to comply with provisions set forth under section 21A.54.080; subsection A.) Approval Standards, and B.) Detrimental Effects Determination.

Standards for Conditional Uses. As well as complying with the allowed conditional use for R-1-7000 Residential Neighborhood zone districts, based on *Table 21A.33.020* Conditional Uses for Residential Districts:

- Place of worship (lots less than 4 acres)
- School Seminary & Religious Institute
- Adaptive Reuse of a Landmark Building Site

The proposed use of the building as a place of worship and community gathering is consistent with its historic use. The commitment to restoration and maintenance of the historic structure by the Owner will have no adverse impact on the neighborhood or city as a whole.

The operations for the Fairpark Meeting House may include a long-term lease to the Utah Hazara Association or other similar community group, religious or business organization whose uses could include a refugee support center, with community, social, religious and cultural activities, weddings, receptions, funerals, music events, art and dance shows and performances, theatrical productions, seminars, classroom instruction, arts and crafts community classes, films, exhibits, health and wellness functions, meditation, exercise classes such as yoga, public health and other such community meetings, business meetings, cultural and art classes, and administrative office functions.

The Owner purchased the property to rescue the building and to improve the neighborhood. He grew up in the neighborhood and went to church in the building. The owner has a long-term hold strategy. It is his intent that all potential uses of the building will improve the neighborhood.

- Exterior cleanup, restoration of original wood windows and exterior lighting work has already been invested into the formerly dilapidated building, restoring an eyesore into a neighborhood landmark with a positive impact.
- Use and lease agreements will include restrictions on the hours of operation so as not to be disruptive to the neighborhood. Any future leases to tenants will require compliance with SLC ordinances.
- Anticipated hours of operation will occur during normal business hours from 8:00 AM thru 8:00 pm Monday thru Sunday. Friday & Saturday hours could extend to 10:00 pm.
- Anticipated "Peak" hours of operation will occur in the day, Friday thru Sunday, typically during scheduled events.
- There will be no anticipated regular outdoor activities other than incidental uses typically associated with a religious or community center. These uses may include outdoor activities associated with weddings, receptions, art/cultural events, and community events. Currently the Fairpark Meeting House location is a Food Pantry pickup site twice a week. This use is expected to continue. Any lease will have the requirements to conform with SLC ordinances.
- There will be no "Overnight" component / occupation allowed.

The existing site, pavement areas for pedestrian circulation, as well as existing parking will be adequate for movement, queuing, and storing of vehicles, based on anticipated trip generation of past similar uses of the building site. The anticipated use of the space is consistent with its historical use and no significant intensification of use is anticipated.

Waste generated by this use shall be disposed of in a code compliant screened dumpster and recycling enclosure located at the Northwest lower parking area. All waste removal will be provided by local sanitation services.

The anticipated amount of water consumption for this use will continue to be sufficient based on similar past uses of the building.

Anticipated level of emissions generated by automobiles and delivery trucks will not increase from previous uses, based on previous limitations of parking spaces provided onsite and number of deliveries that will occur.

All trees, including trees with truck circumferences greater than 6" will remain. As well as existing grading, & existing landscape buffered areas at both adjacent streets. All existing buffering / screening features located on this site that will continue to reduce impact to the surrounding adjacent "Residential" properties. All properties, both across the street and abutting parcels surrounding the property, are located in the R-1-7000 zone district.

There will be a small area of existing grading that will be removed at the proposed sub-grade service entrance located on the East side of the building (refer to site plan). The area disturbed is approximately an 8'x8'x4.5' deep area. Disturbed grading in this area will match existing grade and will be revegetated to match existing adjacent vegetation. It is anticipated none of the existing soil contains pollutants or contaminants. If any contaminants are encountered, Approved Licensed mitigation agencies will be contacted.

The proposed use will not produce any dust, odor, smoke, noise, vibrations, or use any chemicals, toxins, heat, or radiation of any kind. Since there is no impact from any of these items, no regulatory agencies would be required. There will be no impact on the quality of surrounding air, water, or any type of environmental damage to any adjacent property.

All locations of utility needs are identified on the site plan and are located to avoid any hazardous situations to pedestrians. The current utility capacity will also remain unchanged from previous uses and will be sufficient to support the intended service.

Signs and lighting shall remain consistent with previous conditions and will not increase the impact on surrounding uses. The existing building lighting is downcast and "not directed to the sky". The proposed use will maintain the current architectural historical features of the

building, thus will not undermine the preservation of this historical building. Signage will conform to section 21A.46.

The existing on-street parking, existing off-street parking, existing driveway access points, as well as existing pedestrian sidewalks will remain unaltered and will not create any access conflicts or impacts to any abutting adjacent streets. The proposed occupant load of approximately 378 persons to the building will be consistent with past uses. The current road widths of 400 N. and 1100 W. Streets are +120'. Any additional traffic access to the site can readily be accommodated with these wide streets and with light rail access at North Temple Street and bus service along 600 N.

The internal traffic circulation system will remain unaltered, with the exception of integrating the subterranean access on the East side of the building, which will allow for an additional exit egress. The current site will enable circulation for both pedestrians and bicycles. Existing Parking satisfies the required number of parking spaces per table 21A.44.040-A & Section 21A.44.20

Parking Summary: 21A.44.030: NUMBER OF OFF-STREET PARKING SPACES REQUIRED

Parking: Parking will remain unaltered and satisfies the required number of parking spaces per table 21A.44.040-A & Section 21A.44.20

- Parking Required: (43) Total parking spaces
(41) spaces + (2) Accessible Spaces
- Parking Provided: (56) Total parking spaces
(54) spaces + (2) Accessible Spaces
- Bicycle Parking Required: (3) Total bicycle spaces
(1) bicycle/5,000 sf.=12,698 sf./5,000 sf. - Table 21A.44.040-C
- Bicycle Parking Provided: (3) Total bicycle spaces

We believe the Use for this historic building may provide a potential long-term home for the Utah Hazara Association, or other similar community group, and will serve as a benefit to the community as a whole. We furthermore believe that the attached application meets the technical requirements and the intent of Sub section S. Adaptive Reuse Of A Landmark Building in Residential Districts as defined in 21A.34.020B.

If you need any additional information or have any questions, please contact me at your earliest convenience,

Respectfully,

A handwritten signature in black ink, appearing to read "Warren Lloyd". The signature is fluid and cursive, with the first name "Warren" and last name "Lloyd" clearly distinguishable.

Warren Lloyd

FAIRPARK MEETING HOUSE

Adaptive Reuse of A Landmark Building &
Non Residential Conditional Use

LloydArchitects
SALT LAKE CITY - UTAH

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LLOYD ARCHITECTS - 2023

FAIRPARK MEETING HOUSE
1102 WEST 400 NORTH
SALT LAKE CITY
SALT LAKE COUNTY, UTAH

SEAL

DATE
3/1/23

PROJECT NUMBER
#Pin

PROJECT PHASE
SCHEMATIC DESIGN

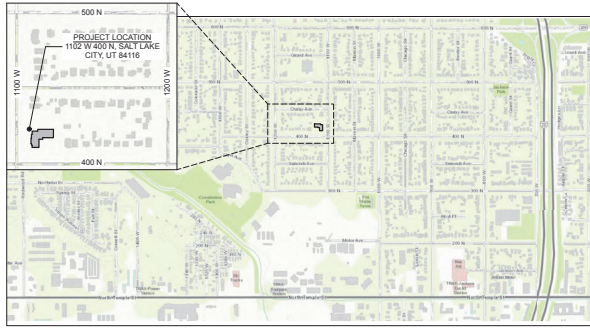
DRAWING REVISIONS

SHEET TITLE
COVER SHEET
RESIDENTIAL

SHEET NUMBER

A000

VICINITY MAP



CODE ANALYSIS

OVERVIEW

CODE REVIEW: 2018 I.B.C. / 2018 I.E.C.C.
OCCUPANCY TYPE: A3 OCCUPANCY
CONSTRUCTION TYPE: V-B (SPRINKLERED)
STORIES ABOVE GRADE: 2 STORIES
DESCRIPTION: 2 STORY W/ WALKOUT BASEMENT

LAND USE SUMMARY

LEGAL DESCRIPTION: 1102 WEST 400 NORTH, SALT LAKE CITY, UTAH 84111
PARCEL 08351770210000;
LOTS 1, 2 & 9 FT OF
LOT 44, ALL LOTS 45 THRU 51, BLK 1, COLORADO SUB.

ZONING: R-1-7000 RESIDENTIAL NEIGHBORHOOD

BUILDING USE: ADAPTIVE REUSE OF LANDMARK BUILDING FOR COMMUNITY
CENTER USED FOR CULTURAL EVENTS, EDUCATION,
RELIGIOUS FESTIVALS, AND COMMUNAL GATHERINGS

SETBACKS / HEIGHTS

FRONT SETBACK: 20'-0"
REQUIRED: (BLDG. LEGALLY EXIST ON APRIL 12, 1995, THE REQUIRED FRONT
YARD SHALL BE NO GREATER THAN THE ESTABLISHED SETBACKS
LINE OF THE EXISTING BUILDING)

REAR SETBACK: 25'-0"
REQUIRED: (BASED ON CORNER LOT ALL LOT LINES WHERE INTERPRETED AS
PROVIDED: SIDE SETBACKS

SIDE SETBACK: 6'-0"
28'-0"
36'-0" - OK 1920 EXIST. BLDG.
PROVIDED: (EXISTING STRUCTURE WILL NOT
INCREASE BLDG HEIGHT)

SITE COVERAGE

LOT SIZE: 34,848 SF, (.80 ACRES)
MINIMUM LOT AREA
REQUIRED: 12,000 SF / 0.275 ACRES
PROVIDED (EXISTING): 34,848 SF
MAXIMUM BUILDING COVERAGE
REQUIRED MAXIMUM: 40%
PROVIDED (EXISTING): 17%

PARKING

PARKING OVERVIEW: PARKING WILL REMAIN UNALTERED AND SATISFIES THE REQUIRED
NUMBER OF PARKING SPACES PER TABLE 21A.44.040-A & SECTION
21A.44.20

PARKING REQUIRED: (43) TOTAL PARKING SPACES
(41) SPACES + (2) ACCESSIBLE SPACES
(1) SPACE/300 SF OR (1) SPACE PER 6 SEATS/12,698 SF/300 SF

PARKING PROVIDED: (56) TOTAL PARKING SPACES
(54) SPACES + (2) ACCESSIBLE SPACES

BICYCLE PARKING PROVIDED: (3) TOTAL BICYCLE
(1) BICYCLE/5,000 SF = 12,698 SF/5,000 SF TABLE 21A.44.040-C

APPLICABLE CODES:

2009 ICC/ANSI A117.1 ACCESSIBILITY STANDARD
AMERICANS WITH DISABILITIES ACT (ADA)
2017/2020 NATIONAL ELECTRIC CODE (NFPA 70)
2018 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC
REVIEWED)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2018 INTERNATIONAL PLUMBING CODE (IPC)

2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL FIRE CODE
2019 SALT LAKE CITY BUILD & FIRE CODE AMENDMENT
2020 NATIONAL ELECTRICAL CODE (NEC)
CITY OF SALT LAKE CITY FIRE MARSHAL
HISTORIC PRESERVATION GUIDELINES
ADAPTIVE REUSE GUIDELINES
SALT LAKE CITY CODE OF ORDINANCES -
PLANNING AND ZONING GUIDELINES

PROJECT TEAM

OWNER: KENT WHPPLE

ARCHITECT:

LLOYD ARCHITECTS
573 EAST 600 SOUTH
SALT LAKE CITY, UT 84102
ct: WARREN LLOYD, AIA LEED AP
ph: 801.308.3545
wb: <http://www.lloyd-arch.com/>
em: info@lloyd-arch.com

SURVEYOR:

DOMINION ENGINEERING ASSOCIATES
5684 SOUTH GREEN STREET
MURRAY, UTAH 84103
ct: JAMES DALE PITKIN, PLS
ph: 801.713.3030
wb: <https://www.dominioneng.net/>
em: jmp@dominioneng.net

ELECTRICAL ENGINEER:

ELECTRICAL ENGINEERING & LIGHTING DESIGN
1200 SOUTH 300 WEST, S.C. UTAH, 84101
ct: MANSOUR AGHDASI, PE, LC
ph: 801.486.2222
wb: <http://ee-id.com/>
em: mansour@ee-id.com

CONTRACTOR:

SAUSAGE SPACE, LLC
829 MENLO AVE
SALT LAKE CITY, UTAH 84102
ct: MARK HASLAM
ph: 801.301.9548
wb: <http://www.sausagespace.com/>
em: mark@sausagespace.com

STRUCTURAL ENGINEER:

JLB STRUCTURAL
3162 NORTH 1030 WEST PLEASANT VIEW, UTAH, 84414
ct: JOSEPH L. BIRNHAM
ph: 801.624.9044
wb: n/a
em: joseph.l.birnham@gmail.com

MECHANICAL ENGINEER:

BRUNNER & DALLON ENGINEERING
3162 NORTH 1030 WEST, PLEASANT VIEW, UT, 84414
ct: BILLY LEWIS
ph: 801.685.5001
wb: <http://www.bd-eng.com/>
em: billy@bd-eng.com

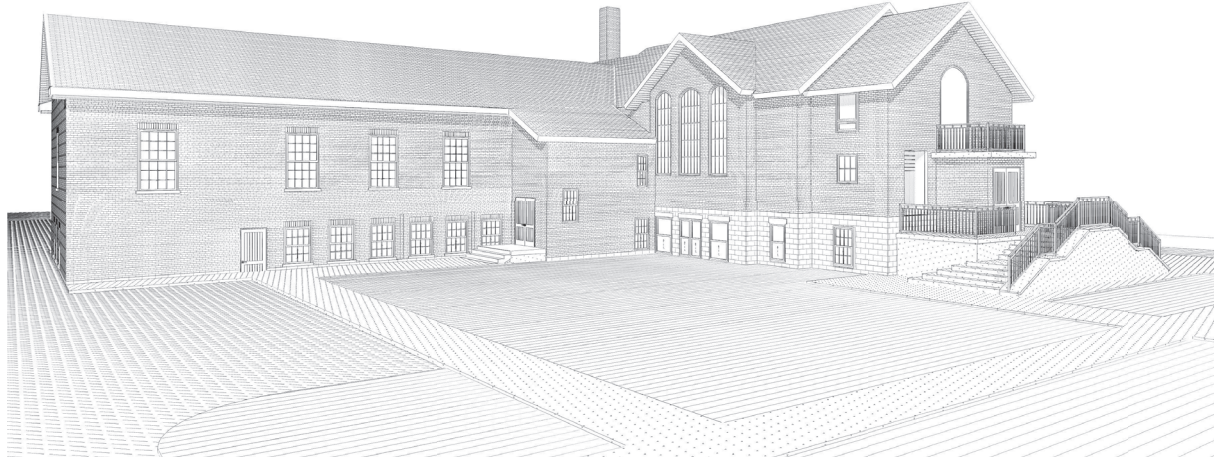
DRAWING INDEX

ARCHITECTURAL / CIVIL / LANDSCAPE

A000 COVER SHEET
AS100 SITEPLAN
A101 LOWER LEVEL FLOOR PLAN
A102 MAIN LEVEL FLOOR PLAN
A103 UPPER LEVEL FLOOR PLAN
A104 ROOF PLAN
A201 ELEVATIONS
A202 ELEVATIONS
A301 SECTIONS
A401 RENDERINGS/PHOTOS OF HISTORICAL BUILDING
A402 PHOTOS OF CURRENT BUILDING

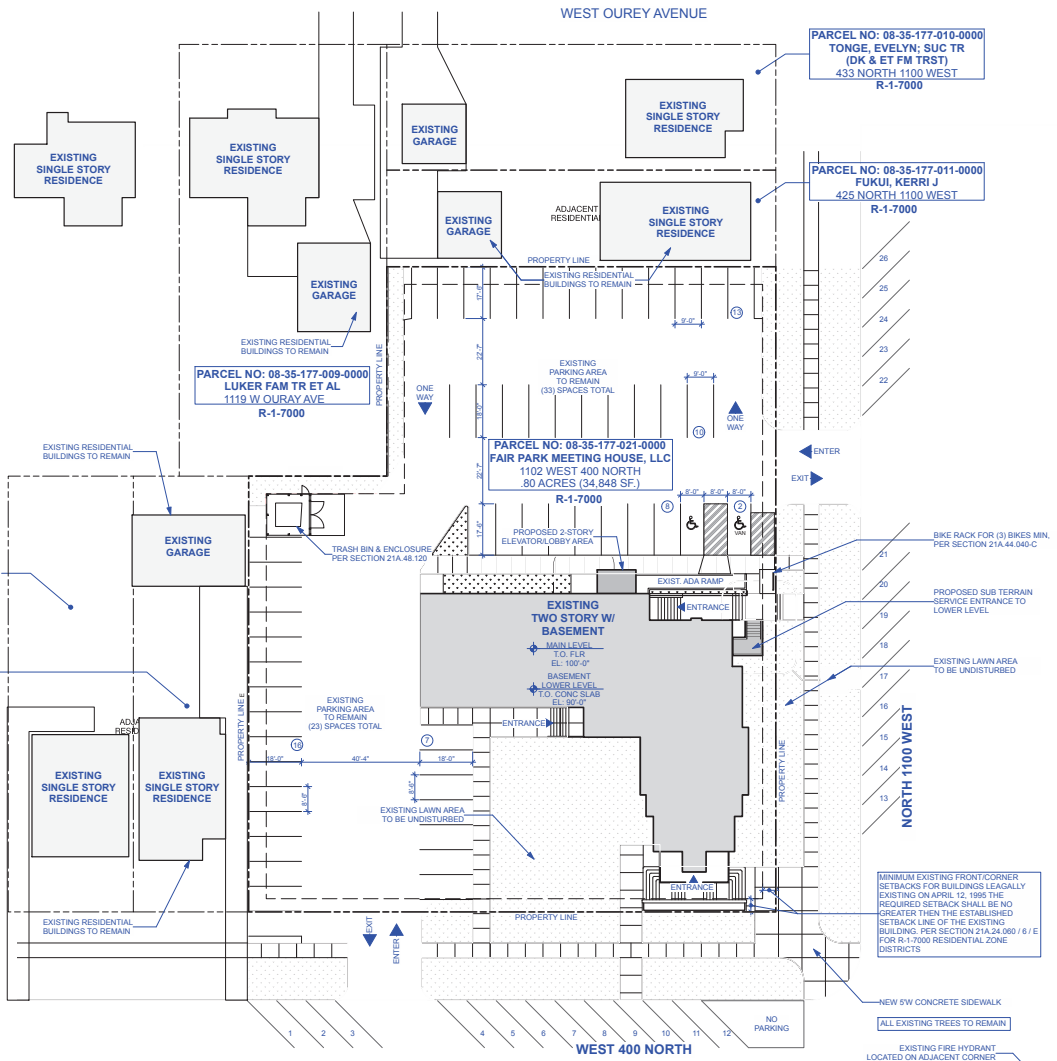
AREA SUMMARY

LOWER LEVEL TOTAL SF (SUBGRADE BASEMENT):	5,993 SF	5,993 SF
LOWER LEVEL EXISTING SF:	5886 SF	
LOWER LEVEL PROPOSED ADDITION SF:	107 SF	
MAIN LEVEL:		
MAIN LEVEL EXISTING SF (INCLUDING UPPER BALCONY):	6,169 SF	6,276 SF
MAIN LEVEL PROPOSED ADDITION SF:	107 SF	
UPPER LEVEL:		
UPPER LEVEL PROPOSED ADDITION SF (INCLUDING UPPER SOUND CONTROL & GREEN ROOM):	429 SF	429 SF
TOTAL OVERALL:		12,698 SF

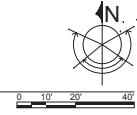


1 PERSPECTIVE SKETCH
A0.0 SCALE: NONE

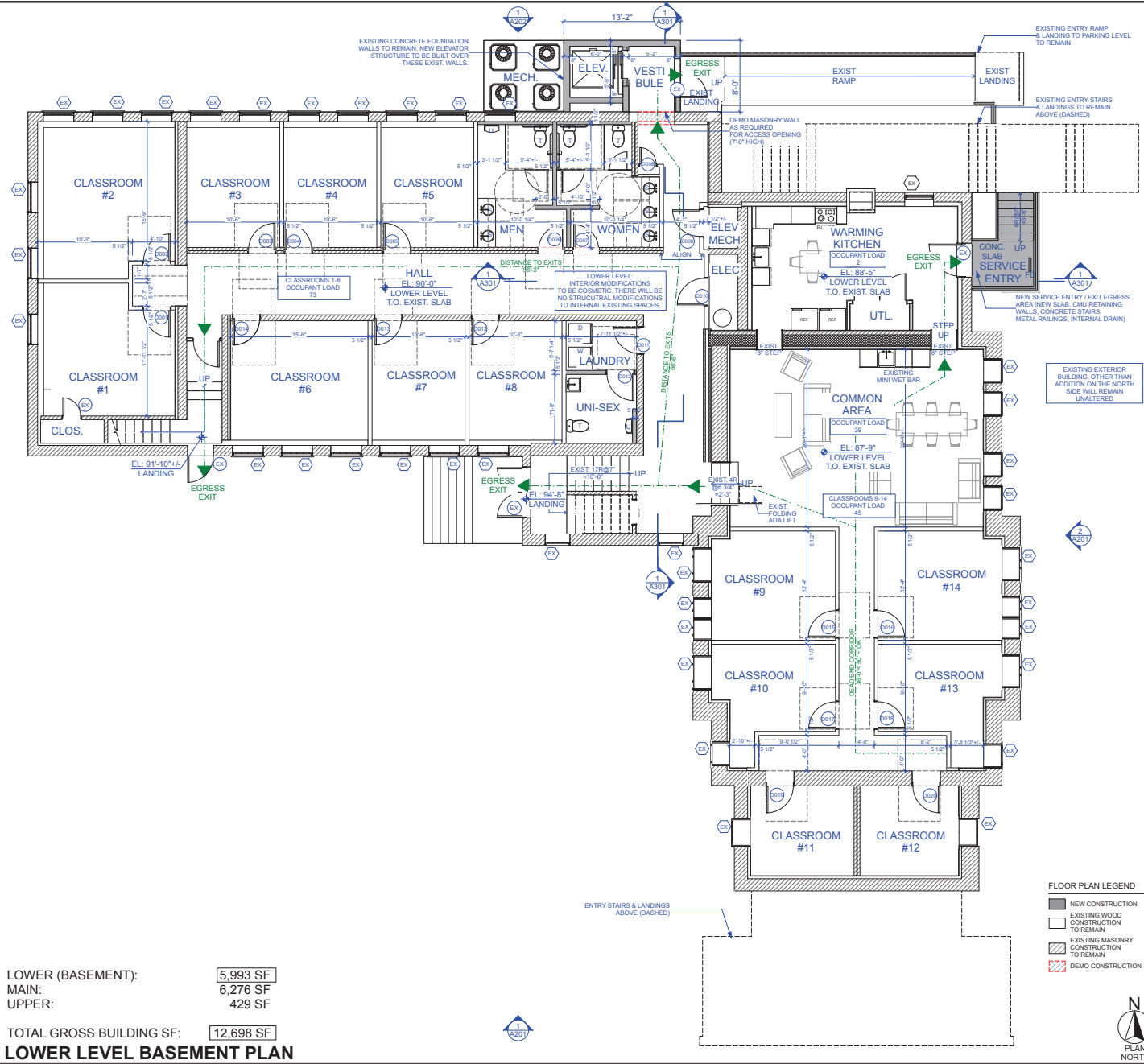
Lloyd Architects | 573 East 600 South | Salt Lake City, UT 84102 | 307.760.7848 | www.lloyd-arch.com



1 SITEPLAN
AS100 SCALE: 1" = 20'



IF THIS SHEET IS LESS THAN 24" HIGH IT IS A REDUCED PRINT. SCALE ACCORDINGLY.



LOWER (BASEMENT): 5,993 SF
 MAIN: 6,276 SF
 UPPER: 429 SF

TOTAL GROSS BUILDING SF: 12,698 SF

LOWER LEVEL BASEMENT PLAN

1
A101

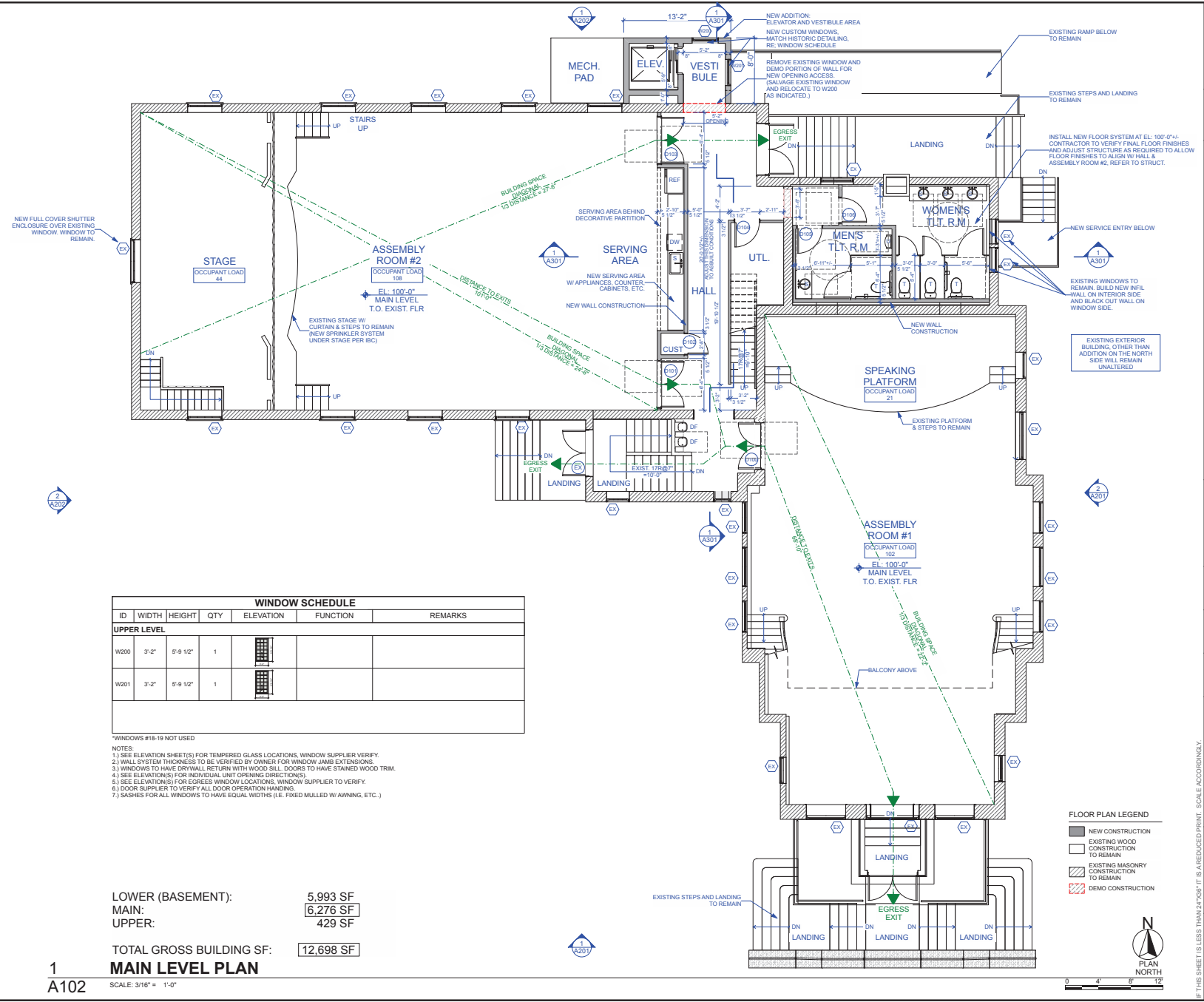
SCALE: 3/16" = 1'-0"

- FLOOR PLAN LEGEND**
- NEW CONSTRUCTION
 - EXISTING WOOD CONSTRUCTION TO REMAIN
 - EXISTING MASONRY CONSTRUCTION TO REMAIN
 - DEMO CONSTRUCTION



Lloyd Architects - 573 East 600 South, Salt Lake City, UT 84102, Phone: 307.760.7848, Website: www.lloyd-arch.com

IF THIS SHEET IS LESS THAN 24" X 36" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.



WINDOW SCHEDULE						
ID	WIDTH	HEIGHT	QTY	ELEVATION	FUNCTION	REMARKS
UPPER LEVEL						
W200	3'-2"	5'-9 1/2"	1			
W201	3'-2"	5'-9 1/2"	1			

- *WINDOWS #18-19 NOT USED
- NOTES:
- 1.) SEE ELEVATION SHEET(S) FOR TEMPERED GLASS LOCATIONS, WINDOW SUPPLIER VERIFY.
 - 2.) WALL SYSTEM THICKNESS TO BE VERIFIED BY OWNER FOR WINDOW JAMB EXTENSIONS.
 - 3.) WINDOWS TO HAVE DRYWALL RETURN WITH WOOD SILL, DOORS TO HAVE STAINED WOOD TRIM.
 - 4.) SEE ELEVATION(S) FOR INDIVIDUAL UNIT OPENING DIRECTIONS.
 - 5.) SEE ELEVATION(S) FOR EGRESS WINDOW LOCATIONS, WINDOW SUPPLIER TO VERIFY.
 - 6.) DOOR SUPPLIER TO VERIFY ALL DOOR OPERATION HANDING.
 - 7.) SASHES FOR ALL WINDOWS TO HAVE EQUAL WIDTHS (I.E. FIXED MULLED W/ AWNING, ETC.)

LOWER (BASEMENT): 5,993 SF
 MAIN: 6,276 SF
 UPPER: 429 SF

TOTAL GROSS BUILDING SF: 12,698 SF

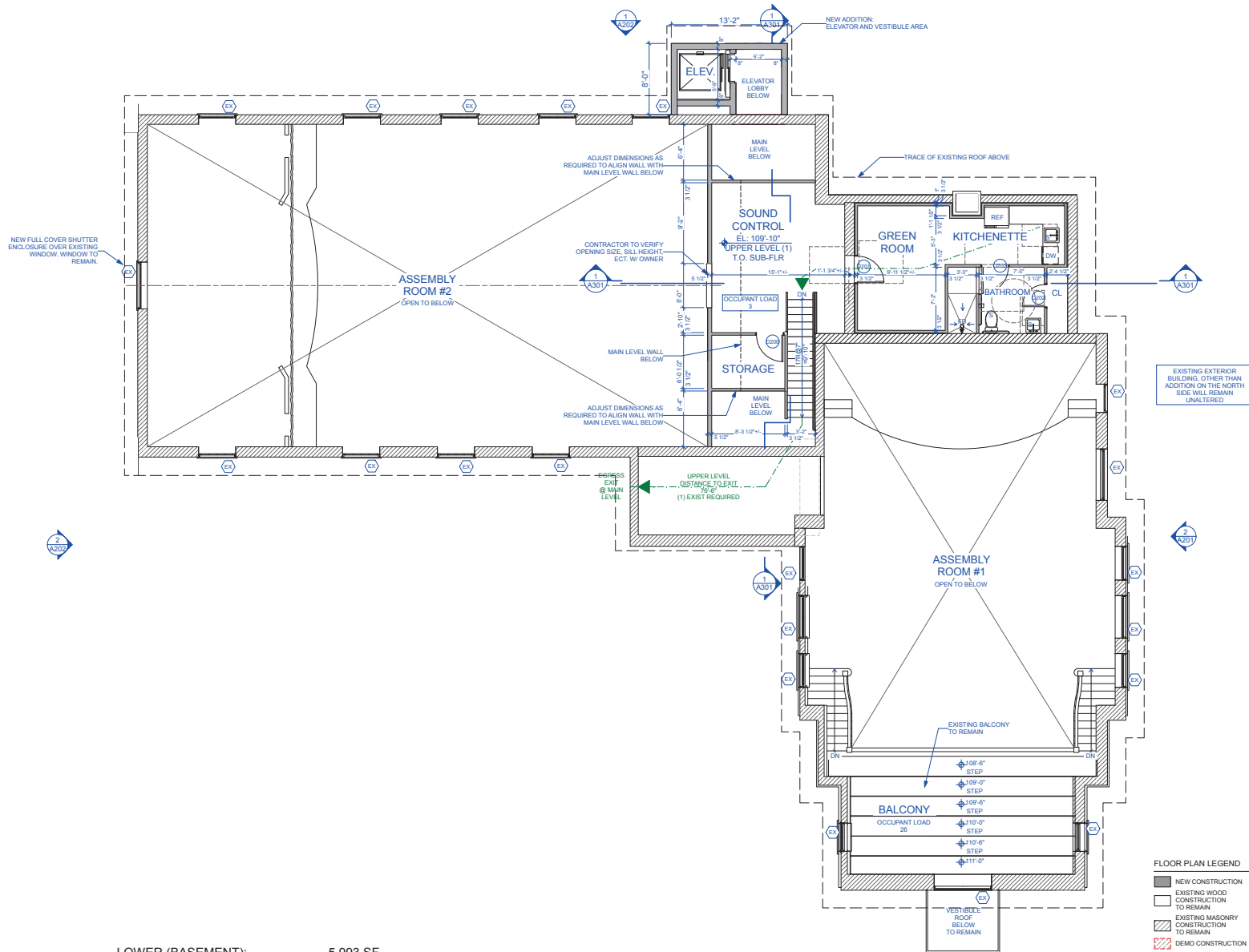
1
A102

SCALE: 3/16" = 1'-0"

- FLOOR PLAN LEGEND**
- NEW CONSTRUCTION
 - EXISTING WOOD CONSTRUCTION TO REMAIN
 - EXISTING MASONRY CONSTRUCTION TO REMAIN
 - DEMO CONSTRUCTION



0 4 8 12



LOWER (BASEMENT): 5,993 SF
 MAIN: 6,276 SF
 UPPER: 429 SF

TOTAL GROSS BUILDING SF: 12,698 SF
UPPER LEVEL PLAN

1
A103

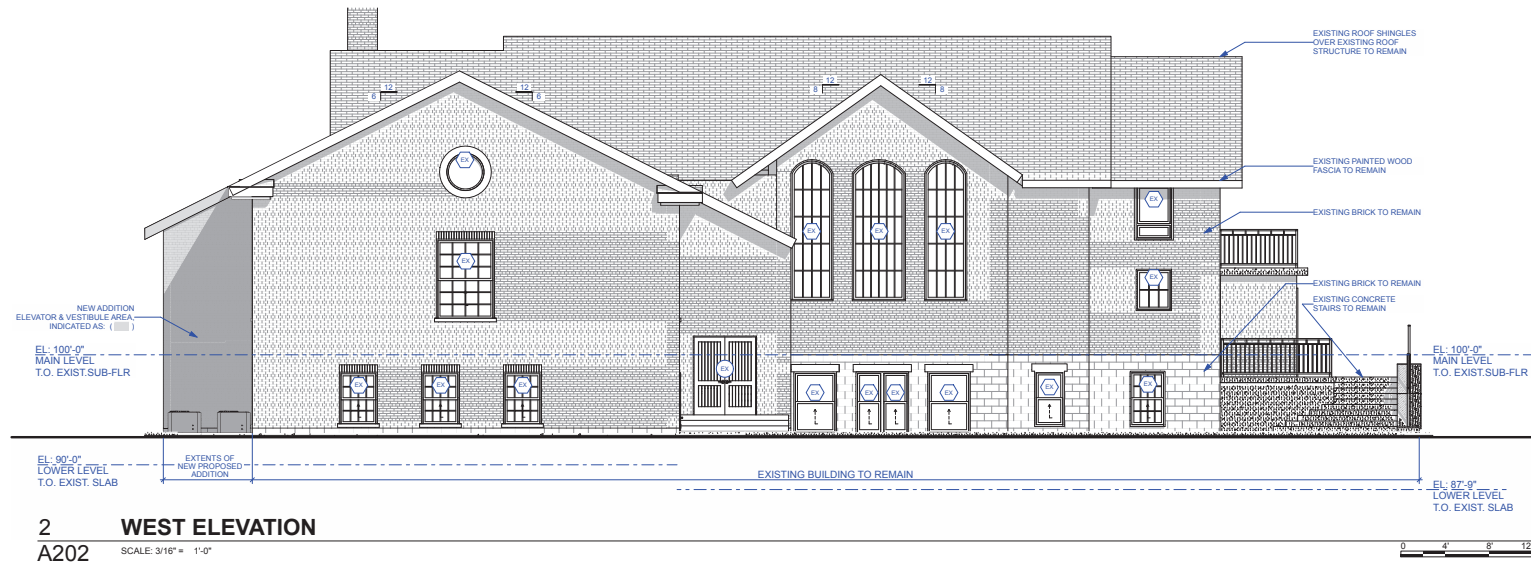
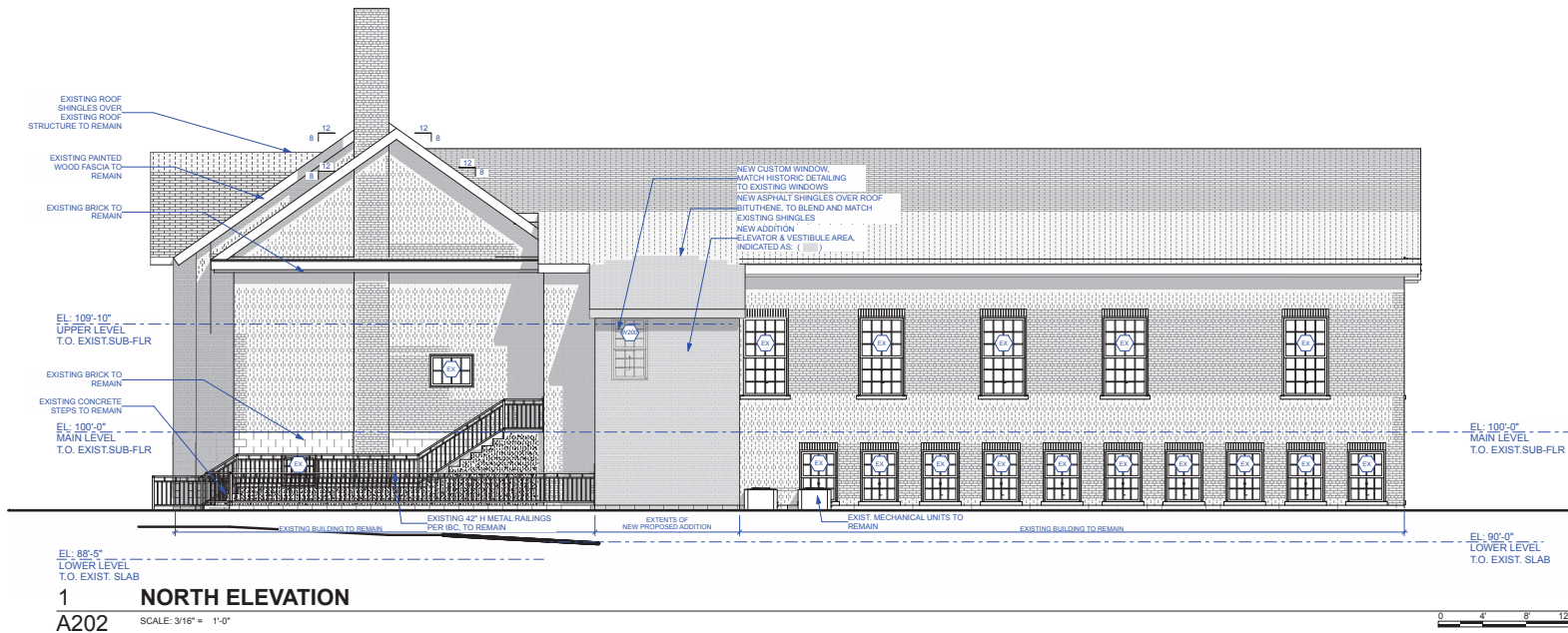
SCALE: 3/16" = 1'-0"

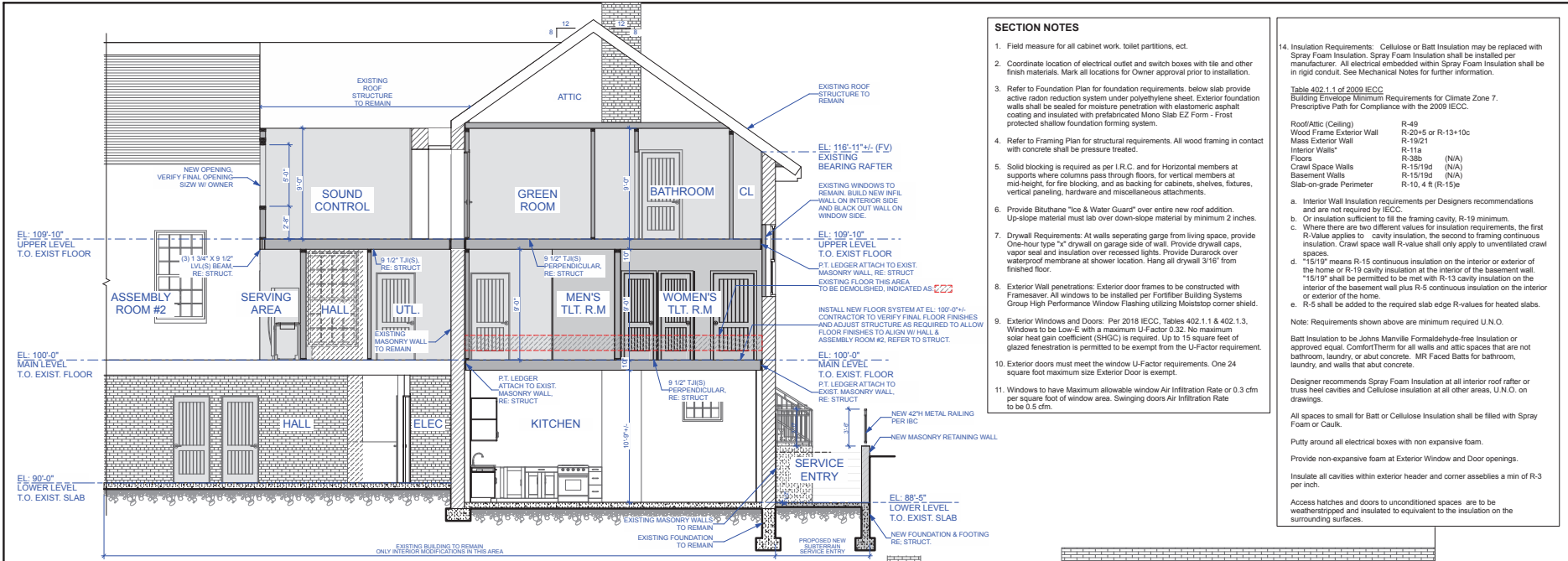


1 SOUTH ELEVATION
A201 SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
A201 SCALE: 3/16" = 1'-0"





SECTION NOTES

- Field measure for all cabinet work, toilet partitions, etc.
- Coordinate location of electrical outlet and switch boxes with the and other finish materials. Mark all locations for Owner approval prior to installation.
- Refer to Foundation Plan for foundation requirements. Below slab provide active radon reduction system under polyethylene sheet. Exterior foundation walls shall be sealed for moisture penetration with elastomeric asphalt coating and insulated with prefabricated Mono Slab EZ Form - Frost protected shallow foundation forming system.
- Refer to Framing Plan for structural requirements. All wood framing in contact with concrete shall be pressure treated.
- Solid blocking is required as per I.R.C. and for Horizontal members at supports where columns pass through floors, for vertical members at mid-height, for fire blocking, and as backing for cabinets, shelves, fixtures, vertical paneling, hardware and miscellaneous attachments.
- Provide Bluthane "Ice & Water Guard" over entire new roof addition. Upslope material must lap over down-slope material by minimum 2 inches.
- Drywall Requirements: At walls separating garage from living space, provide One-hour type "X" drywall on garage side of wall. Provide drywall caps, vapor seal and insulation over recessed lights. Provide Durarock over waterproof membrane at shower location. Hang all drywall 3/16" from finished floor.
- Exterior Wall penetrations: Exterior door frames to be constructed with Framesaver. All windows to be installed per Fortifiber Building Systems Group High Performance Window Flashing utilizing Moiststop corner shield.
- Exterior Windows and Doors: Per 2018 IECC, Tables 402.1.1 & 402.1.3, Windows to be Low-E with a maximum U-Factor 0.32. No maximum solar heat gain coefficient (SHGC) is required. Up to 15 square feet of glazed fenestration is permitted to be exempt from the U-Factor requirement.
- Exterior doors must meet the window U-Factor requirements. One 24 square foot maximum size Exterior Door is exempt.
- Windows to have Maximum allowable window Air Infiltration Rate or 0.3 cfm per square foot of window area. Swinging doors Air Infiltration Rate to be 0.5 cfm.

14. Insulation Requirements: Cellulose or Batt Insulation may be replaced with Spray Foam Insulation. Spray Foam Insulation shall be installed per manufacturer. All electrical embedded within Spray Foam Insulation shall be in rigid conduit. See Mechanical Notes for further information.

Table 402.1.1 of 2009 IECC
Building Envelope Minimum Requirements for Climate Zone 7.
Prescriptive Path for Compliance with the 2009 IECC.

Roof/Attic (Ceiling)	R-49
Wood Frame Exterior Wall	R-20+5 or R-13+10c
Mass Exterior Wall	R-19+21
Interior Wall*	R-11a
Floors	R-38b (N/A)
Crawl Space Walls	R-15/19d (N/A)
Basement Walls	R-15/19d (N/A)
Slab-on-grade Perimeter	R-10, 4 ft (R-15e)

- Interior Wall Insulation requirements per Designers recommendations and are not required by IECC.
- Or insulation sufficient to fill the framing cavity, R-19 minimum.
- Where there are two different values for insulation requirements, the first R-Value applies to cavity insulation, the second to framing continuous insulation. Crawl space wall R-values shall only apply to unventilated crawl spaces.
- "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior or exterior of the home.
- R-5 shall be added to the required slab edge R-values for heated slabs.

Note: Requirements shown above are minimum required U.N.O.

Batt Insulation to be Johns Manville Formaldehyde-free Insulation or approved equal. ComfortTherm for all walls and attic spaces that are not bathroom, laundry, or about concrete. MIR Faced Batts for bathroom, laundry, and walls that about concrete.

Designer recommends Spray Foam Insulation at all interior roof rafter or truss heel cavities and Cellulose Insulation at all other areas. U.N.O. on drawings.

All spaces to small for Batt or Cellulose Insulation shall be filled with Spray Foam or Caulk.

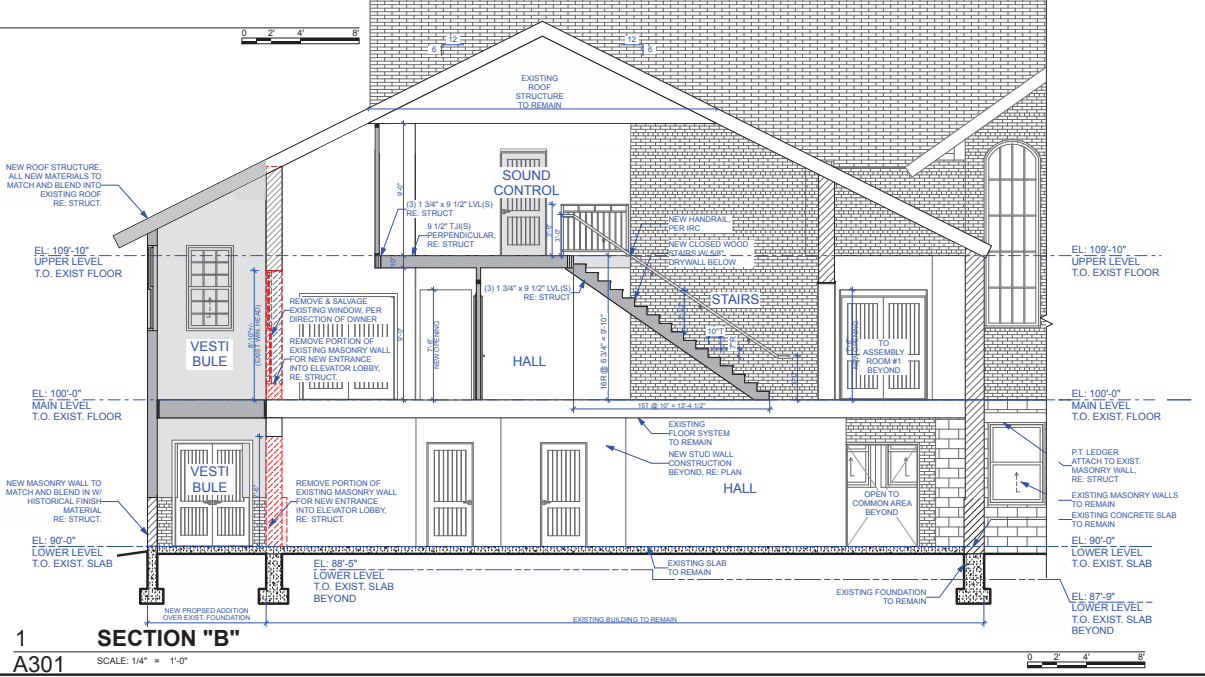
Putty around all electrical boxes with non expansive foam.

Provide non-expansive foam at Exterior Window and Door openings.

Insulate all cavities within exterior header and corner assemblies a min of R-3 per inch.

Access hatches and doors to unconditioned spaces are to be weatherstripped and insulated to equivalent to the insulation on the surrounding surfaces.

1 SECTION "A"
A301 SCALE: 1/4" = 1'-0"



1 SECTION "B"
A301 SCALE: 1/4" = 1'-0"

CONTRACTOR
ALL DRAWINGS AND WRITTEN
INFORMATION APPEARING
HEREIN SHALL NOT BE
DUPLICATED, DISCLOSED OR
OTHERWISE USED WITHOUT
THE WRITTEN CONSENT OF
LLOYD ARCHITECTS - 2025

FAIRPARK MEETING HOUSE
1102 WEST 400 NORTH
SALT LAKE CITY, UTAH

SEAL	
DATE	3/1/23
PROJECT NUMBER	#Pin
PROJECT PHASE	SCHEMATIC DESIGN

DRAWING REVISIONS		
NO.	DATE	DESCRIPTION

SHEET TITLE	SECTIONS
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SHEET NUMBER	A301
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IF THIS SHEET IS LESS THAN 24"X36" IT IS AN ABRIDGED PRINT. SCALE ACCORDINGLY.

SEAL

DATE

3/1/23

PROJECT NUMBER

#Pin

PROJECT PHASE

- SCHEMATIC DESIGN #00000000

DRAWING REVISIONS

NO. NAME DATE

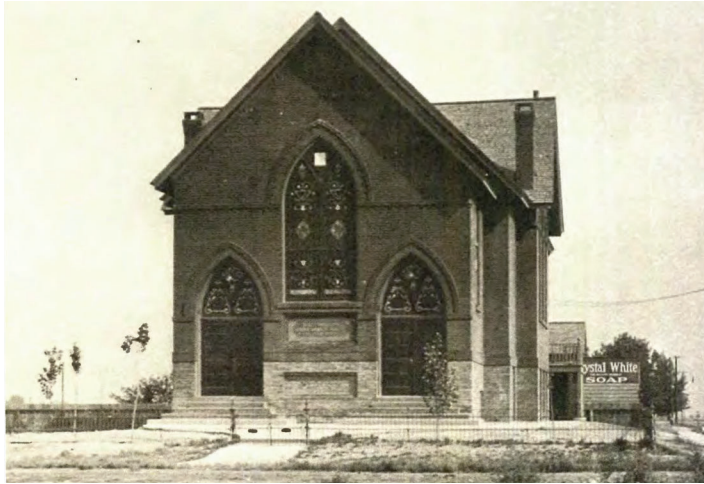
SHEET TITLE

PERSPECTIVES

SHEET NUMBER

A401

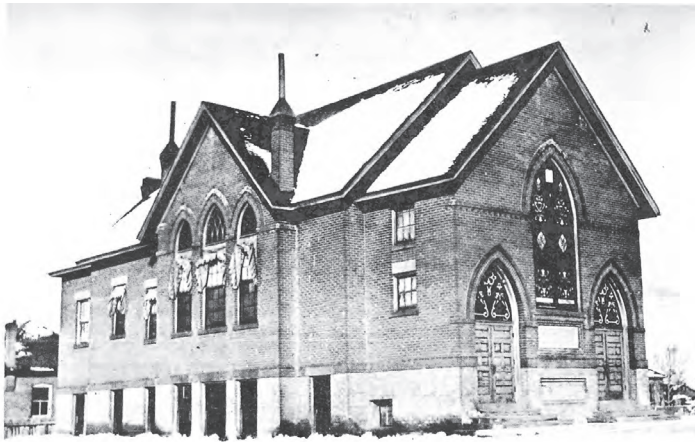
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1 ORIGINAL - CIRCA 1915



3 POST-ADDITION - PHOTO TAKEN IN 2014



2 ORIGINAL - CIRCA 1920



4 POST-ADDITION - PHOTO TAKEN IN 2014

ATTACHMENT C: Photos





ATTACHMENT D: Conditional Use Standards

An application for a conditional use is required by city code 21A.54 and Utah Code 10-9a-507 to be approved if the proposal complies with the adopted standards of review and if any reasonably anticipated detrimental impact can be mitigated. Under Utah Code 10-9a-507, the standards must be objective and mitigating any reasonably anticipated detrimental impact is required to be interpreted to mean reduce, not eliminate, the impact.

The Finding for each standard is the recommendation of the Planning Division based on the facts associated with the proposal, the discussion that follows, and the input received during the engagement process. Input received after the staff report is published has not been considered in this report.

21A.54.080.A: Approval Standards
Standard 1: The use complies with applicable provisions of this title.
Finding: Complies
Discussion: The property is located in the R-1/7,000 Single-Family Residential District. Per Section 21A.33.020 – Table of Permitted and Conditional Uses for Residential Districts of the Zoning Ordinance, the uses proposed as previously outlined are Place of Worship, School Seminary, Religious Institute, or a Community Center. Planning staff has evaluated the proposal in terms of the applicable standards and has made findings to demonstrate that the proposal substantially complies with these standards.
Standard 2: The use is compatible, or with conditions of approval can be made compatible, with surrounding uses
Finding: Complies
Discussion: Surrounding uses primarily consist of single-family residential development. The subject building has existed in the neighborhood for over 120 years as a gathering place for the residents in the adjacent area. The proposed use of the structure is consistent with the historical use of the building and should prove to be a neighborhood asset. Additionally, the building is located on the subject lot in such a position that it is significantly set back from the immediate adjacent structure, and the adjacent streets are unusually wide (~120') for a residential neighborhood. The applicant's narrative indicates that use and lease agreements will incorporate restrictions on the hours of operation. Planning staff asserts that the use is compatible with the surrounding uses.
Standard 3: The use is consistent with applicable adopted city planning policies, documents, and master plans; and
Finding: Complies
Discussion: As previously noted, the Salt Lake City Community Preservation Plan (2012) addresses adaptive reuse of historic buildings. Policy 3.4d of this document reads, " <i>Adaptive reuse of historic structures should be allowed for a variety of uses in appropriate locations</i> "

where it is found that the negative impacts can be mitigated and where the uses do not require significant alterations to the historic integrity of the interior of the structure.”

The proposed adaptive reuse of the subject building is consistent with this adopted City policy.

Standard 4: The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions

Finding: Complies

Discussion: 4. Planning staff finds no detrimental impacts that require mitigation.

21A.54.080.B: Detrimental Effects Determination

1. This title specifically authorizes the use where it is located;

Finding: No Detrimental Impact

Discussion: The proposed non-residential uses are envisioned and allowed through the conditional use process in landmark sites of this nature, and the City code provides a means of use for landmark sites in order to preserve the historical buildings.

2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps;

Finding: No Detrimental Impact

Discussion: As noted previously, the Salt Lake Community Preservation Plan (2012) specifically envisions and encourages the adaptive reuse of historic structures as a means to preserve the history and story of Salt Lake City.

3. The use is well suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area;

Finding: No Detrimental Impact

Discussion: The proposed use of the subject building is very similar, if not almost identical, to the use of the building as an LDS meeting house. The rehabilitation of the structure to date is certainly an asset to the neighborhood, as it had stood in major disrepair for so many years prior.

4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered;

Finding: No Detrimental Impact

Discussion: Again, the building has been beautifully and thoughtfully renovated. A couple of minor exterior changes will occur that will be handled through the issuance of an administrative Certificate of Appropriateness, however the mass, scale, style, design and architectural detailing of the building is not going to significantly change.

5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows;

Finding: No Detrimental Impact

Discussion: There are two existing access drives onto the property; one off of 1100 West and the other off of 400 North. These access points will not change. Both streets adjacent to the building are approximately 120' in width.

6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, nonmotorized, and pedestrian traffic;

Finding: No Detrimental Impact

Discussion: The internal site circulation includes the off-street parking area which will allow traffic to flow through the parking area smoothly. The property includes sidewalks and walkways to the front and rear entrances. There are no anticipated detrimental impacts on adjacent properties from the internal circulation on this site.

7. The site is designed to enable access and circulation for pedestrian and bicycles;

Finding: No Detrimental Impact

Discussion: The site accommodates pedestrians through sidewalks and pathways to entrances, including a landscaped front and side yard. There are full side walks around the perimeter of the project.

8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street;

Finding: No Detrimental Impact

Discussion: The proposed use is anticipated to be standard in nature for the proposed use in the area and will not unreasonably impact the service levels on 1100 West nor 400 North.

9. The location and design of off-street parking complies with applicable standards of this code;

Finding: No Detrimental Impact

Discussion: No additional parking is required per the parking ordinance as the building has been in existence since before 1944. The existing parking meets off-street parking standards.

10. Utility capacity is sufficient to support the use at normal service levels;

Finding: No Detrimental Impact

Discussion: The site is within a developed area with all utility infrastructure in place. The site currently has both water and sewer service. Salt Lake City Public Utilities has been involved in the initial review process (see comments below) and will work through the building permit process to ensure that the utility infrastructure is adequate for the proposed facility.

11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts;

Finding: No Detrimental Impact

Discussion: The subject building has existed for more than 120 years on the site. The project is currently landscaped and is buffered to adjoining uses primarily by setback distance. All trees, including trees with truck circumferences greater than 6” will remain, as well as existing grading, & existing landscape buffered areas at both adjacent streets. All existing buffering / screening features located on this site that will continue to reduce impact to the surrounding adjacent residential properties.

12. The use meets city sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke;

Finding: No Detrimental Impact

Discussion: Preservation of the building itself is consistent with sustainability goals. There is no indication that the proposed project will introduce any environmental damage to the surrounding area.

13. The hours of operation and delivery of the use are compatible with surrounding uses;

Finding: No Detrimental Impact

Discussion: According to the applicant, anticipated hours of operation will occur during normal business hours from 8:00 AM thru 8:00 pm Monday through Sunday. Friday & Saturday hours could extend to 10:00 pm. Anticipated “Peak” hours of operation will occur in the day, Friday through Sunday, typically during scheduled events.

14. Signs and lighting are compatible with, and do not negatively impact surrounding uses;

Finding: No Detrimental Impact

Discussion: No signage has been proposed as part of the conditional use request. Any signs and lighting will need to meet City code for these items should they be pursued at any time in the future.

15. The proposed use does not undermine preservation of historic resources and structures.

Finding: No Detrimental Impact

Discussion: The proposed use actually encourages and enables the preservation of the historic structure.

According to Zoning Code Section 21A.54.080(C), the Planning Commission may impose conditions related to the standards and detrimental impacts listed above if a condition is necessary for compliance with the standards of approval or any applicable zoning regulation and to reduce any reasonably anticipated detrimental impact. Conditions may be related to:

1. Conditions on the scope of the use; its character, location, hours and methods of operation, architecture, signage, construction, landscaping, access, loading and parking, sanitation, drainage and utilities, fencing and screening, and setbacks; and
2. Conditions needed to mitigate any natural hazards; assure public safety; address environmental impacts; and mitigate dust, fumes, smoke, odor, noise, vibrations; chemicals, toxins, pathogens, gases, heat, light, and radiation.

ATTACHMENT E: Adaptive Reuse of a Landmark Building in a Residential District Approval Standards

The purpose of the adaptive reuse of a landmark site in a residential district is to preserve landmark sites as defined in subsection 21A.34.020B of this title. In some instances, these sites have outlived their original use due to economic conditions, size of the building, and/or a substantial degree of deterioration of the historic property. Such sites, however, still contribute to the welfare, property, and education of the people of Salt Lake City because of their historic, architectural, or cultural significance. The Planning Commission shall consider the allowance of a nonresidential use of a landmark site in a residential district according to the qualifying provisions outlined in subsection S2a of this section and pursuant to [chapter 21A.54](#) of this title, in order to ensure that the residential character of the surrounding environment is preserved.

Conditional Use Required: Where authorized by this title as shown in section [21A.33.020](#), "Table Of Permitted And Conditional Uses For Residential Districts", of this title, landmark sites in any residential district may be used for certain nonresidential uses. In order to qualify for conditional use review by the Planning Commission under section [21A.54.080](#), "Standards For Conditional Uses", of this title, the applicant must demonstrate compliance with the following:

21A.24.010(S): Adaptive Reuse Approval Standards
Standard 1: The building is designated as a landmark site on the Salt Lake City register of cultural resources. The designation process must be completed prior to the City accepting a conditional use application for the structure unless the Planning Director determines that it is in the best interest of the City to process the designation and conditional use applications together.
Finding: Complies
Discussion: The 29 th Ward Meeting House was designated as a Landmark Site on the Salt Lake City Register of Cultural Resources in 1983, and was listed on the National Register of Historic Places in 2015.
Standard 2: The landmark building shall have a minimum of seven thousand (7,000) square feet of floor area, excluding accessory buildings.
Finding: Complies
Discussion: The building is approximately 12,000 square feet in size which meets this standard.
Standard 3: The new use will require minimal change as these features are important in defining the overall historic character of the building and environment.
Finding: Complies
Discussion: Very little exterior change is proposed for the structure. An elevator shaft will be constructed on the north side of the building to meet ADA access. A doorway will be constructed

below grade for a new service entrance. Both of these modifications will be consistent with the minor alteration standards for alterations to Landmark Sites in 21A.34.020(G) and approved with a Certificate of Appropriateness issued by Planning staff.

Standard 4: The use is conducive to the preservation of the landmark site.

Finding: Complies

Discussion: The proposed uses for the building will activate the site similar to historic uses and will prove to be an asset to the neighborhood.

Standard 5: Significant archaeological resources affected by the project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Finding: Complies

Discussion: Insignificant exterior modification of the structure has yet to occur. The building has been largely renovated on the exterior consistent with historic appropriateness review.

Standard 6: The use is compatible with the surrounding residential neighborhood.

Finding: Complies

Discussion: The proposed uses are consistent with how the building has been used in the past including its function as a place of worship and consistent with the use of the building by various other groups. It will prove positive to have the building renovated and functional for the neighborhood as opposed to dilapidated and boarded up as it has been for so many years.

Standard 7: Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize the property shall be preserved.

Finding: Complies

Discussion: The renovation of the subject property has been done with care for the existing finished, features, construction techniques, and craftsmanship that characterize the property.

Standard 8: The use does not result in the removal of residential characteristics of the structure or site including mature landscaping.

Finding: Complies

Discussion: The use has never been of a residential nature, but it has historically provided a community gathering space for residents of the community and will continue to do so with this proposal. Existing landscaping is to remain per the applicant.

Standard 9: The change in use from residential to nonresidential is necessary due to the excessive size of the landmark site for residential uses allowed in the residential district, and/or demonstration that the building cannot reasonably be used for its original intended use.

Finding: Complies

Discussion: The subject site is in a single-family zoning district but has not been used for residential purposes. Its original intended use as a church is consistent with the proposed uses in the application. The opportunity for the building to be used for non-residential use is positive in terms of preserving the historic building yet at the same time allowing for uses that are compatible with the surrounding residential neighborhood.

Standard 10: The proposed use will not have a material net cumulative adverse impact on the neighborhood or the City as a whole by considering the following:

(A) The spatial distribution of:

(i) Business licenses issued for properties located within three hundred feet (300') of any property line and the block frontage on both sides of the street between 100 series addresses; and

(ii) Previously approved conditional uses for nonresidential uses in landmark sites within the same planning community, as shown on a map of planning communities maintained by the Zoning Administrator.

(B) Impacts on neighboring properties including, but not limited to:

(i) Traffic;

(ii) Parking;

(iii) Signs;

(iv) Lighting;

(v) Removal of landscaping; and

(vi) For the purposes of evaluating subsections S2a(10)(B)(i) through S2a(10)(B)(v) of this section, professionally prepared impact studies shall not be required unless specifically requested by the Zoning Administrator;

(vii) Noise, fumes or odors

Finding: Complies

Discussion: According to Business Licensing, only three other business licenses are active in the 300' radius from the 29th Ward. One license is for interior design services and the other two are for rental dwelling units. Planning Staff would assert that there is not a proliferation of issued business licenses in the vicinity. Similarly, Planning Staff is not aware of any other approved conditional uses for nonresidential uses in landmark sites within the same planning community.

The list of impacts on neighboring properties B i-vii has previously been discussed. Planning Staff finds no substantial impact on the neighboring properties in terms of these impacts listed.

Standard 11: Credit For On Street Parking: Some or all of the off street parking spaces required in section [21A.44.030](#) of this title may be met by the provision of on street spaces. Such credit shall require the site plan review approval. Requests for on street parking shall meet the following requirements:

(1) All on street parking facilities shall be designed in conformance with the standards established by the City Transportation Engineer;

(2) Prior to approving any requests for on street parking, the development review team shall determine that the proposed on street parking will not materially adversely impact traffic movements and related public street functions; and

(3) Credit for on street parking shall be limited to the number of spaces provided along the street frontage adjacent to the use.

Finding: Complies

Discussion: Section 21A.44.020 addresses parking requirements and states the following:

3. Change of Use:

a. Except when located within an Urban Center or Transit Context, or as stated in Subsection b below, off street parking shall be provided pursuant to this chapter for any change of use that increases the minimum number of required vehicle parking spaces by:

(1) More than ten (10) parking spaces; or

(2) More than twenty-five percent (25%) of the parking spaces that currently exist on-site or on permitted off-site locations.

b. For changes in use in buildings built prior to 1944, no additional parking shall be required beyond what is existing.

In short, no additional parking whether on-site or on the street is required and the proposal meets this standard.

ATTACHMENT F: Public Process & Comments

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- March 22, 2023 – The Fairpark Community Council was sent notification of the proposal to start the 45-day time period for recognized community organizations to provide comment.
- March 28, 2023 – Property owners and residents within 300 feet of the development were provided early notification of the proposal.
- April 27, 2023 – The applicant presented the proposal to the Fairpark Community Council. In general, the reaction from those at the meeting was positive.
- June 1, 2023 – Property owners and residents within 300 feet of the development were provided notification of the Public Hearing.

Public Input:

As of the publishing of this staff report no public comment has been received regarding the proposal.

ATTACHMENT G: Department Review Comments

This proposal was reviewed by the following departments. Any requirement identified by a City Department is required to be complied with.

Fire (Doug Bateman):

No fire comments related to the conditional use. However, additional comments may arise with building permit application and code compliance review of permit documents.

Public Utilities (Ali Farshid):

Additional comments have been provided to assist in the future development of the property. The following comments are provided for information only and do not provide official project review or approval. Comments are provided to assist in design and development by providing guidance for project requirements.

- Public Utility permit, connection, survey, and inspection fees will apply.
- The existing sewer lateral that is proposed for reuse is over 50 years old. Due to this age, a video inspection will be required prior to permitting. Please have a licensed plumber apply for a video inspection permit (\$30) at the Public Utilities office (1530 South West Temple). When the permit is pulled, a SLCPU inspector will be scheduled to be present at the inspection. The SLCPU inspector will determine if the lateral can be reused as is, lined for reuse, or not reused.
- Provide existing floor plans or plumbing plans that show all existing plumbing fixtures. Clearly label each fixture and indicate if it is to remain, be removed, be replaced, or be relocated. The existing plans will be compared to the proposed plans to assess Public Utilities fees.

Engineering (Scott Weiler)

“No objections”

Transportation: (Jena Carver)

I recommend approval of the Conditional Use. The parking calculations provided use the old ordinance but are not less restrictive than the current ordinance. Provided parking and access meets all minimum transportation standards. On-street angled parking will be allowed but may be removed by the City at any time.

Building: (Steven Collett)

No Building Code comments in regard to conditional use.

All new construction within the corporate limits of Salt Lake City shall be per the State of Utah adopted construction codes and to include any state or local amendments to those codes. RE: Title 15A State Construction and Fire Codes Act.

Existing structures on adjacent parcels shall not be made less complying to the construction codes than it was before the new construction.

Where there are practical difficulties involved in carrying out the provisions of the code, the code official shall have the authority to grant modifications for individual cases, provided that the code official shall first find that special individual reason makes the strict letter of this code impractical and the modification is in compliance with the intent and purpose of this code and that such modification does not lessen health, life and fire safety requirements.

An alternative material, design or method of construction shall be approved where the code official

finds that the proposed design is satisfactory and complies with the intent of the provisions of the code, and that the material, method or work offered is, for the purpose intended, not less than the equivalent of that prescribed in this code in quality, strength, effectiveness, fire resistance, durability and safety.

Police: (Andrew Cluff)

From a public safety standpoint, I would recommend a robust lighting plan and landscape maintenance plan. I would also recommend due to the alley to the West and known crime issues in the area that the signage be posted at each entrance and throughout the lot delineating proper use and expectation on the property. Property managers can also reach out to local law enforcement for city no trespassing signs so that it can be enforced during non-business hours to deter crime from occurring to the property and the area. Also, if contact information for property management or religious and social activities could be provided to law enforcement and fire partners in case of emergency, that would make it easier for 1st responders should an incident occur after hours.