



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Cassie Younger, cassie.younger@slcgov.com, 801-532-6211
Date: April 12, 2023
Re: PLNPCM2022-01149 Conditional Use Permit for ADU at 1005 Princeton Ave

CONDITIONAL USE

PROPERTY ADDRESS: 1005 Princeton Ave
PARCEL ID: 16-08-405-008-0000
MASTER PLAN: **Central Community**
ZONING DISTRICT: R-1/5,000 Single-Family Residential
COUNCIL DISTRICT: District 5, Darin Mano

REQUEST:

Troy Rawlings, representing the property owner TGeld Property Investments LLC, has requested conditional use approval for a 24-foot tall, 650-square-foot accessory dwelling unit (ADU) that will be situated in the rear yard of 1005 Princeton Ave.

RECOMMENDATION:

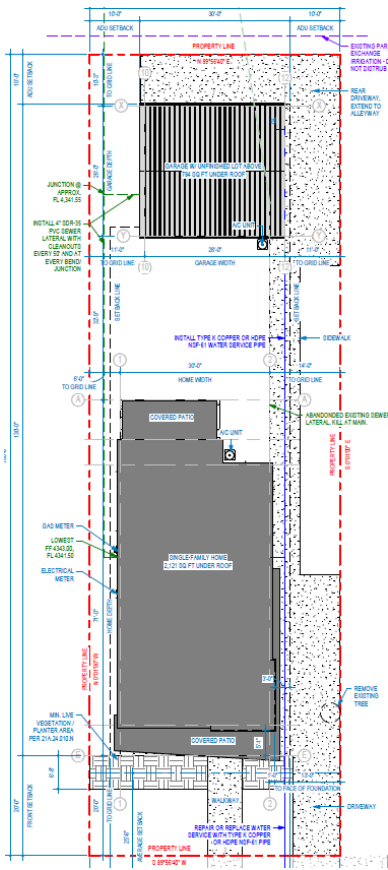
Based on the information in this staff report, Staff recommends that the Planning Commission approve the Conditional Use request as proposed, and subject to complying with the following conditions:

1. The owner-occupant shall not operate or allow the operation of a short-term rental (i.e., less than 30 days) in the single-family dwelling and the accessory dwelling unit as defined in the Salt Lake City Zoning Ordinance.

ATTACHMENTS:

- A. Vicinity Map
- B. Plans
- C. Site Visit Photographs
- D. Analysis of Standards - Accessory Dwelling Units
- E. Analysis of Standards – Conditional Use
- F. Public Process and Comments
- G. Department Review Comments

PROJECT DESCRIPTION:



This is a petition for Conditional Use approval to construct a 24-foot tall, accessory dwelling unit (ADU) located on the second story of detached garage. The existing home on the property will be demolished and the owner is building a new primary single family home on the property. The materials of the ADU are a mix of brick and dark stucco siding, which match the proposed primary residence design. The garage and ADU will be located directly behind this building. There is a public alley behind the property which allows vehicular access to the home and ADU.

Size, Coverage, and Height

The garage and ADU building covers an area of 720 square feet, which includes the outdoor staircase to the building. The building has a pitched roof that stands 24 feet tall at the peak. The first floor of the building is a two car garage, and the second story unit is a one bedroom ADU. The gross living area of the ADU on the second story is 650 square feet, which complies with code.

Building Entrance and Access

Vehicular access for the ADU will be accessed by the alleyway behind the property that leads to the garage and ADU. One spot within the garage is reserved for the ADU, as well as a designated concrete pad beside the driveway. A driveway runs from Princeton all the way to the back of the property along side the ADU, which allows both pedestrian and vehicular access from both sides of the property. Resident access into the building is located on the East elevation through an outdoor staircase.

Windows

The applicant has proposed windows on the east and west facades of the proposed structure. The windows fit the same style as the primary residence.. The building is beyond the 10' setback and therefore does not require glazing on the windows of the building.

Applicable Review Processes and Standards

Review Process: Conditional Use

The property is zoned R-1/5,000 Single-Family Residential. Conditional Use approval by the Planning Commission is required for any detached accessory dwelling unit that is located in a single-family zoning district. For a complete analysis and findings for compliance with zoning standards for Accessory Dwelling Units and Conditional Use standards, please refer to [Attachment D](#) and [Attachment E](#).

KEY CONSIDERATIONS:

The key considerations and concerns below have been identified through the analysis of the project, neighbor & community input, and department reviews:

1. Housing Goals
2. Master Plan Considerations
3. Screening from Adjacent Property

Consideration 1: Housing Goals

The proposed ADU is consistent with the goals and policies outlined within The Growing SLC Housing Plan. One of the goals outlined in the Housing Plan includes increasing housing options. Accessory dwelling units provide and promote diverse housing stock by providing additional units while minimizing neighborhood impacts. The proposed ADU is in line with the goals established within the Housing Plan. Housing goals are also addressed under Standard 3 within [Attachment E](#).

Consideration 2: Master Plan Considerations

This property is located within the "East Central South" neighborhood of the [Central Community Master Plan](#).

The proposed ADU is consistent with the following Residential Land Use Goals/Policies included in the Central Community Master Plan:

- ***A variety of residential land use supports all types of housing and the affordability of the housing stock***

The Central Community Master Plan designates the subject property as Low Density Residential, which is consistent with the property's existing zoning.

Accessory dwelling units support the City's goals and policies by increasing housing options and providing a diverse housing stock through additional small dwelling units that only minimally impact the neighborhood.

Consideration 3: Screening from Adjacent Property

Through the analysis of detrimental impacts (found in [Attachment E](#)), Planning Staff found that there is no detrimental impacts on the surrounding properties. The proposed ADU is roughly ten to twelve feet from the adjacent property to the east, and ten feet from the line to the west. Currently, there is a partial chain link fence down the east side of the property, which does not extend past the existing garage/shed to the east. While the windows of the ADU face the neighboring properties, they are towards back yards.

DISCUSSION:

The Accessory Dwelling Unit, as proposed, meets the standards necessary for approval by the Planning Commission. Specifically, the project meets all relevant zoning standards, all potential detrimental impacts can be mitigated through the recommended conditions and adopted City policies support the ADU as proposed.

NEXT STEPS:

Approval of Conditional Use

If approved, the applicant may proceed with the project, subject to all conditions imposed by City departments and/or the Planning Commission and will be required to obtain all necessary permits. Building permits and certificate of occupancy for the building would only be issued contingent upon all conditions of approval are met, including the registration process requirements outlined in 21A.40.200F of the zoning ordinance and any Department/Division comments/conditions noted in [Attachment G](#).

Denial of Conditional Use

State and City code requires that a Conditional Use be approved if reasonable conditions can be imposed on the use to mitigate any reasonably anticipated detrimental effects of the use. A Conditional Use can only be denied if the Planning Commission finds that reasonably anticipated detrimental effects cannot be mitigated with the imposition of reasonable conditions.

If denied, the applicant would not be permitted to construct an ADU. An accessory building would be permitted on the property subject to compliance with the development standards and requirements of the R-1/5,000 Single-Family Residential District; however, no portion of the building may be used as a dwelling unit.

Vicinity Map

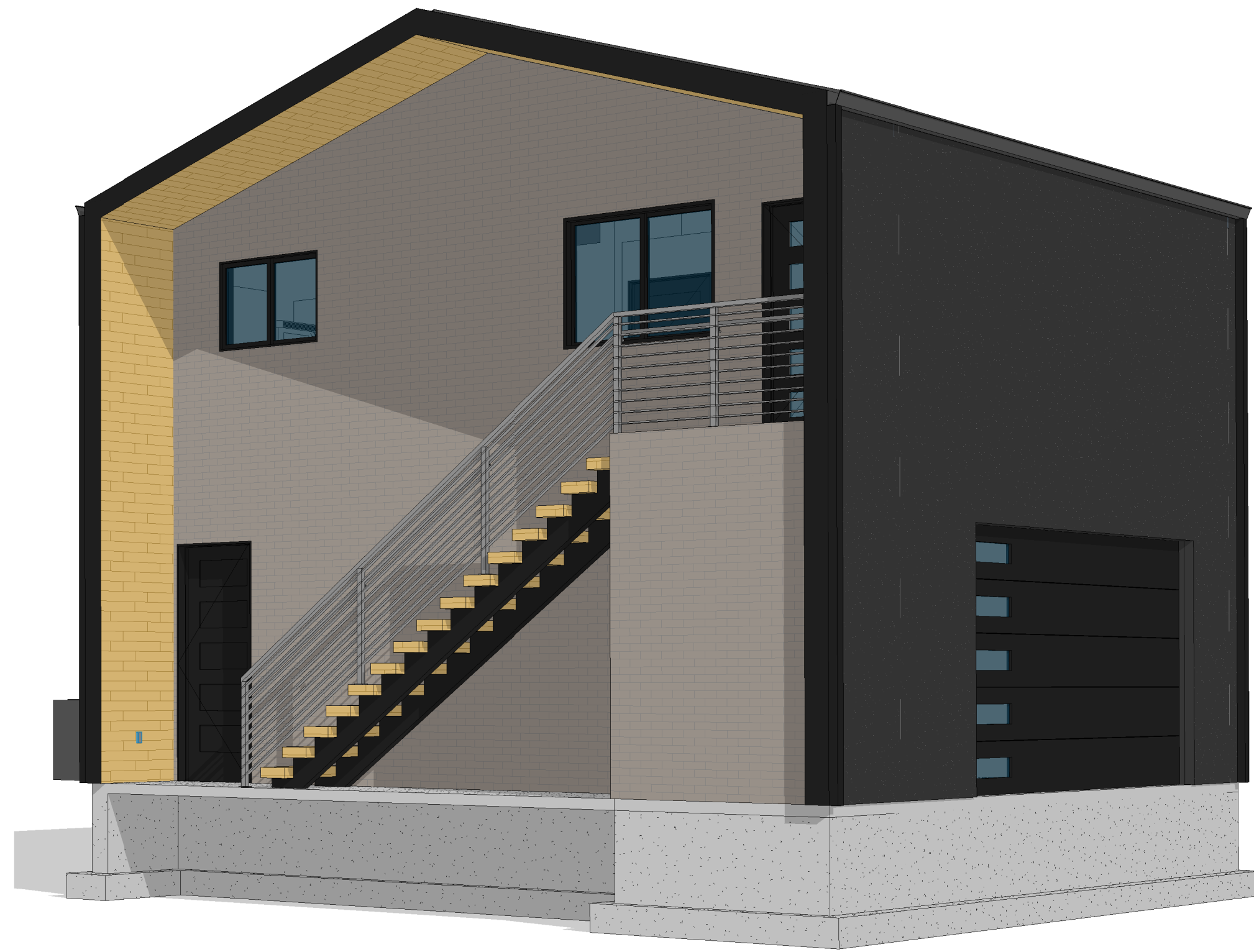


Salt Lake City Planning Division 2/6/2023

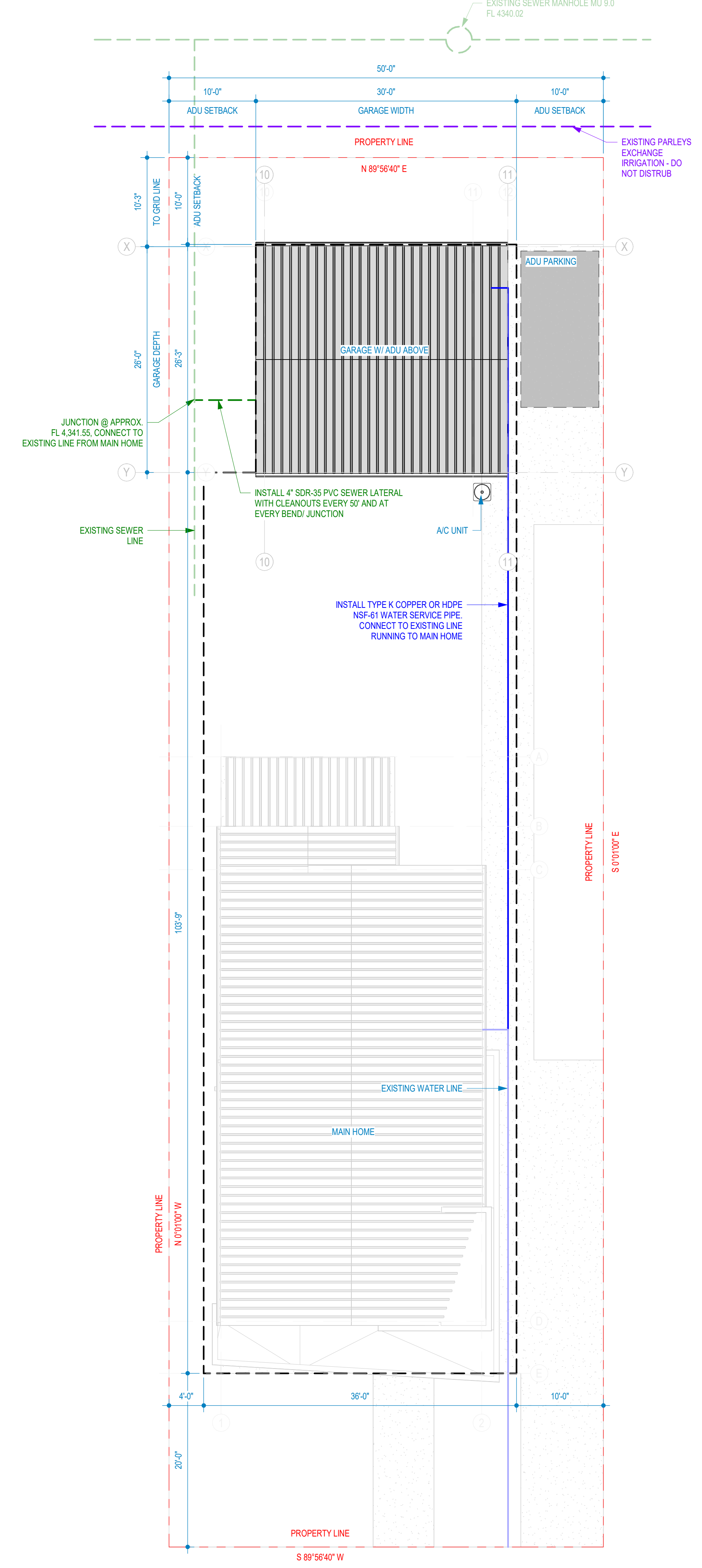
ATTACHMENT B: APPLICANT PLANS

ADU @ 1005 PRINCETON AVE.

ADU PERMIT # BLD2022-10571



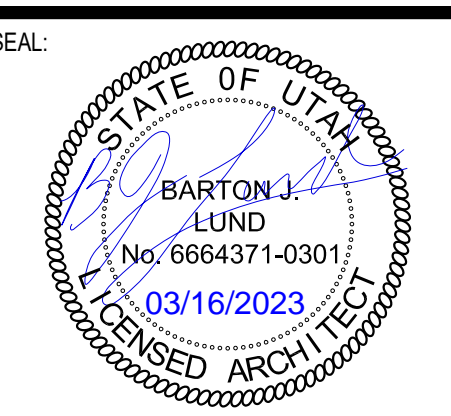
SHEET INDEX	
Sheet Number	Sheet Name
ARCHITECTURE	
G001	COVERSHEET
A101	SLAB & LEVEL 1 PLANS
A102	LEVEL 2 & ROOF PLANS
A201	EXTERIOR ELEVATIONS
A301	BUILDING SECTIONS
A601	GENERAL DETAILS
A602	WALL DETAILS
A603	DOOR DETAILS
A604	WINDOW DETAILS
A605	FLASHING DETAILS
A606	STAIR & RAILING DETAILS
A607	ROOF & AWNING DETAILS
STRUCTURAL	
SN1	GENERAL STRUCTURAL NOTES
S0-0	FOOTING AND FOUNDATION PLAN
S1-1	MAIN FLOOR SHEAR WALL PLAN
S2-0	UPPER FLOOR FRAMING PLAN
S2-1	UPPER FLOOR SHEAR WALL PLAN
S3-0	ROOF FRAMING PLAN
SD1	STRUCTURAL DETAILS
SD2	STRUCTURAL DETAILS
ELECTRICAL	
E101	LEVEL 1 & 2 ELECTRICAL PLANS



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PRIMARY HOME PERMIT# BLD2022-10168
ADU PERMIT# BLD2022-10571

PROJECT TEAM

ARCHITECT
LMnt ARCHITECTURE
9672 SOUTH 700 EAST SUITE 203
SANDY, UTAH 84070
BLUND@LMNTARCH.COM
PH: 801-987-3911
CONTACT: BJ LUND, ARCHITECT, LEED AP

OWNER
REALTY ONE GROUP
7650 UNION PARK AVE
MIDVALE, UTAH 84047
troy@rawlingsre.com
PH: 801-208-3800
CONTACT: TROY RAWLINGS

STRUCTURAL ENGINEER
ACUTE ENGINEERING, INC.
8899 S 700 E STE 130
SANDY, UTAH 84070
jacob@acuteeng.com
PH: 801-229-9020
CONTACT: JACOB BALLARD

GRAPHIC SYMBOLS/MATERIALS LEGEND

	ROOM NAME & NUMBER		E.F.S.
	BUILDING GRID LINES		CONCRETE MASONRY UNIT
	ELEVATION REFERENCE		BRICK VENEER
	BUILDING/WALL SECTION DETAIL		STONE VENEER
	REVISION TAG		CONCRETE
	FLOOR OR POINT ELEVATION		GYP SUM BOARD OR GROUT MORTAR
	KEY NOTE		BATT INSULATION
	SPECIFICATION KEY NOTE		RIGID INSULATION
	WALL TYPE		PLYWOOD
	DOOR NUMBER		ROUGH WOOD-CONTINUOUS
	WINDOW NUMBER		ROUGH WOOD-BLOCKING
	OBJECT TAG		WOOD TRIM
	FINISH MATERIAL TAG		STEEL
	FLOOR/ROOF ASSEMBLY TAG		GRAVEL
	CENTER LINE		EARTH

VICINITY MAP

PROJECT SITE

APPLICABLE CODE

ADU DESIGNATION: 1 MAX DWELLING UNIT MAX FOOTPRINT: 50% OF HOME, UP TO 650 SQ FT HOME = 3008 50% 1504 SQ FT	ATTACHED ABOVE GARAGE	APPLICABLE CODE: 2015 INTERNATIONAL RESIDENTIAL CODE ACTUAL CONSTRUCTION WILL COMPLY WITH LOCAL ORDINANCES AND BUILDING CODES: 15A-2-103
ADU = 624 HEATED SPACE +23 2ND FLOOR LANDING 647 SQ FT --> OK		DEFERRED SUBMITTALS: -MECHANICAL PLANS & SCHEDULES (DESIGN BUILD) -PLUMBING PLANS & SCHEDULES (DESIGN BUILD)
SETBACKS: MAX BLDG HEIGHT: 24'		

SQ FOOTAGE

GARAGE	TOTAL LOT COVERAGE
FND. FOOTPRINT: 718	SQ FT UNDER ROOF: 2121
SQ FT HEATED: 2839	HOME: 718
LEVEL 1: 624	
LEVEL 2: 624	
TOTAL: 1,345	LOT SQ FOOT: 8,000
	2839 / 8000 = 35%
UN-HEATED GARAGE: 648	
PATIO/STAIRS: 73	
TOTAL: 1,345	

1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

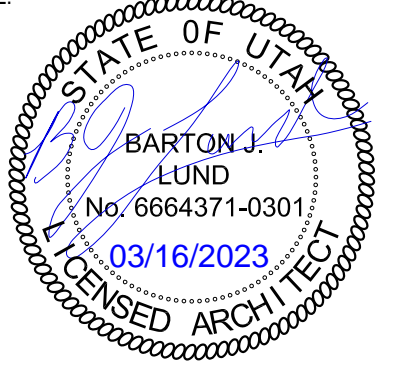
project:
1005 PRINCETON AVE. E, B
SALT LAKE CITY, UT 84105

project no: 22041
date: 2023.03.16
revisions:

CONSTRUCTION DOCUMENTS
sheet:
COVERSHEET

G001
SHEET SIZE: 24" x 36"

SEAL:



PRIMARY HOME PERMIT# BLD2022-10168

ADU PERMIT# BLD2022-10571

FOOTING & FOUNDATION PLAN GENERAL NOTES

1. COORDINATE ARCHITECTURAL FOUNDATION PLAN WITH STRUCTURAL FOUNDATION PLAN
2. COORDINATE MECHANICAL, ELECTRICAL, AND PLUMBING SUB-CONTRACTORS PRIOR TO CONSTRUCTION OF FOOTINGS AND FOUNDATIONS
3. PROVIDE SOILS OBSERVATION REPORT, FROM A GEOTECHNICAL ENGINEER, TO THE CITY PRIOR TO REQUESTING A FOOTING INSPECTION. PROVIDE A COPY TO THE INSPECTOR AT THE TIME OF INSPECTION.
4. ALL REINFORCEMENT BAR MUST BE TIED IN PLACE. NO "WET SETTING" ALLOWED.
5. 6-MIL VAPOR BARRIER REQUIRED UNDER FLOOR SLAB. SEE BUILDING CODE R506.2.3
6. VERIFY FOOTING ELEV. WITH SURVEY AT INSPECTION.
7. FROST DEPTH FOR ALL FOOTINGS IS 30" MINIMUM.
8. CONCRETE MIX TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI U.N.O.
9. FOR CONCRETE WALLS OVER 8 FEET HIGH, FORMS ARE TO BE INSTALLED ON ONE SIDE ONLY UNTIL AFTER THE REBAR HAS BEEN INSPECTED AND APPROVED.

SLAB PLAN GENERAL NOTES

1. CONTRACTOR SHALL COORDINATE DIMENSIONS WITH FRAMING PLANS AND DETAILS PRIOR TO POURING FOOTINGS AND SLABS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
2. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO LOCATE AND PROTECT ANY UNDERGROUND OR CONCEALED UTILITIES PRIOR TO EXCAVATION.
3. THIS STRUCTURE IS DESIGNED AS A STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY BRACING AS REQUIRED TO ASSURE THE VERTICAL AND LATERAL STABILITY OF THE ENTIRE STRUCTURE OF PORTION THEREOF DURING CONSTRUCTION.
4. CUTTING AND PATCHING: ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER TRADES.

FLOOR PLAN LEGEND

HATCH PATTERN	DESCRIPTION
	CONCRETE FOUNDATION
	WOOD STUD WALL - 2x4
	WOOD STUD WALL - 2x6

FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO EXTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
2. CEILING HEIGHTS ARE MEASURED FROM PLYWOOD OR CONCRETE - SEE SECTIONS
3. ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
4. SEE SHEET A002 FOR PROJECT GENERAL NOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
5. COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
6. COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES.
7. ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
8. ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.

C - CASEWORK

TAG	DESCRIPTION
C1	1) 24" DEEP x 36" HIGH VANITY CABINET
C4	24" DEEP x 36" HIGH BASE CABINET
C10	12" DEEP UPPER CABINETS
C20	12" DEEP SHELF w/ ROD
C24	5) 24" DEEP WOOD SHELVES STARTING @ 24" ABOVE FLOOR

K - KITCHEN EQUIPMENT

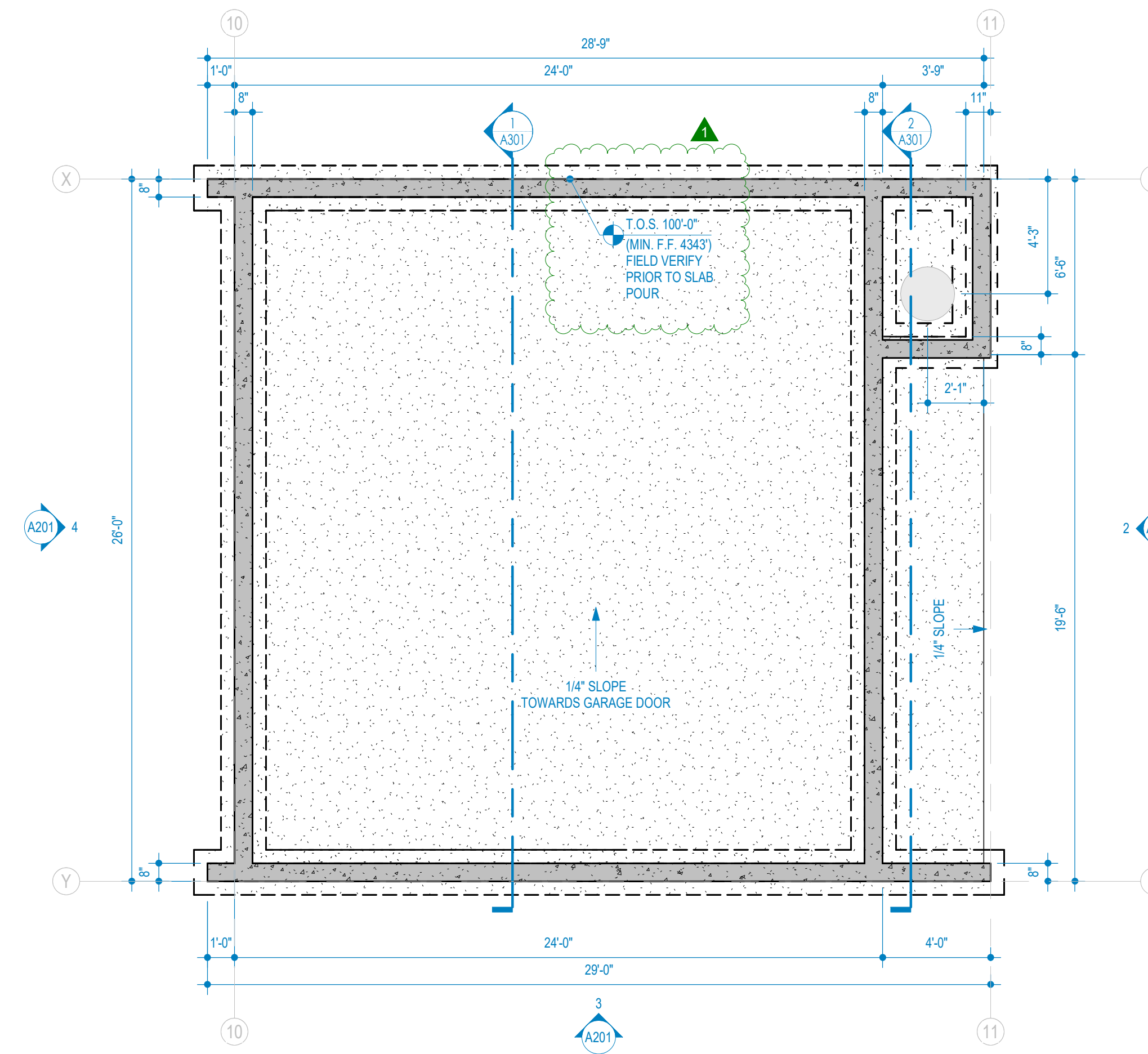
TAG	DESCRIPTION
K1	REFRIGERATOR
K2	DISHWASHER
K4	FREESTANDING ELECTRIC RANGE w/ OVEN
K6	MICROWAVE OVER RANGE

M - MECHANICAL

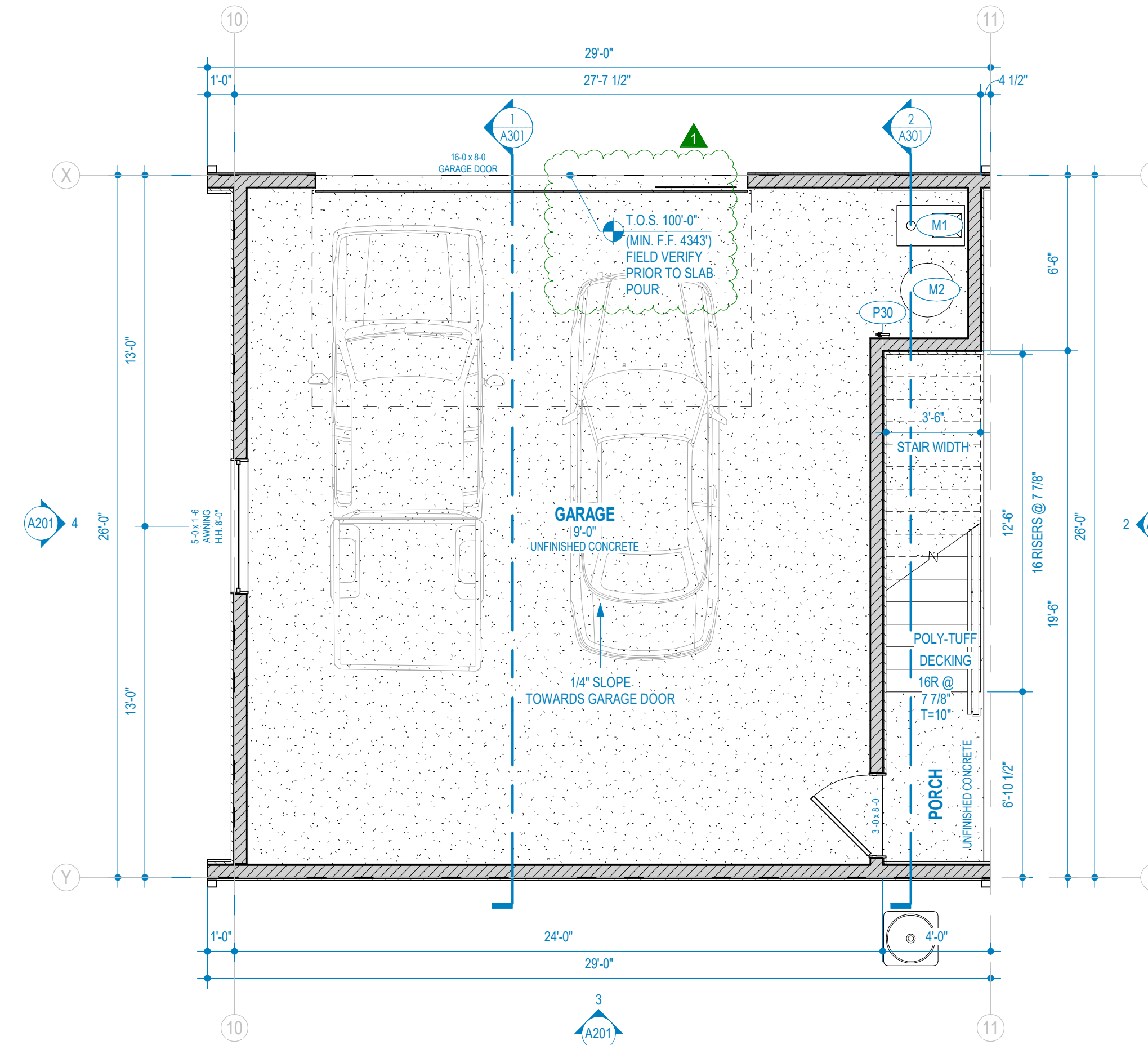
TAG	DESCRIPTION
M1	FURNACE
M2	40 GALLON WATER HEATER
M4	AIR CONDITIONER
M11	STACKED WASHER & DRYER. WASHER ALWAYS ON BOTTOM. VENT DRYER TO OUTSIDE

P - PLUMBING

TAG	DESCRIPTION
P1	SINGLE BOWL SINK w/ DISPOSAL & SPRAYER
P2	SQUARE VANITY SINK
P8	36" x 60" SHOWER w/ TILE SURROUND
P10	TOILET
P30	MAIN WATER SHUT OFF



1 SLAB PLAN
1/4" = 1'-0"



2 LEVEL 1 - FLOOR PLAN
1/4" = 1'-0"

project:
1005 PRINCETON AVE. E, B
SALT LAKE CITY, UT 84105

project no: 22041

date: 2023.03.16

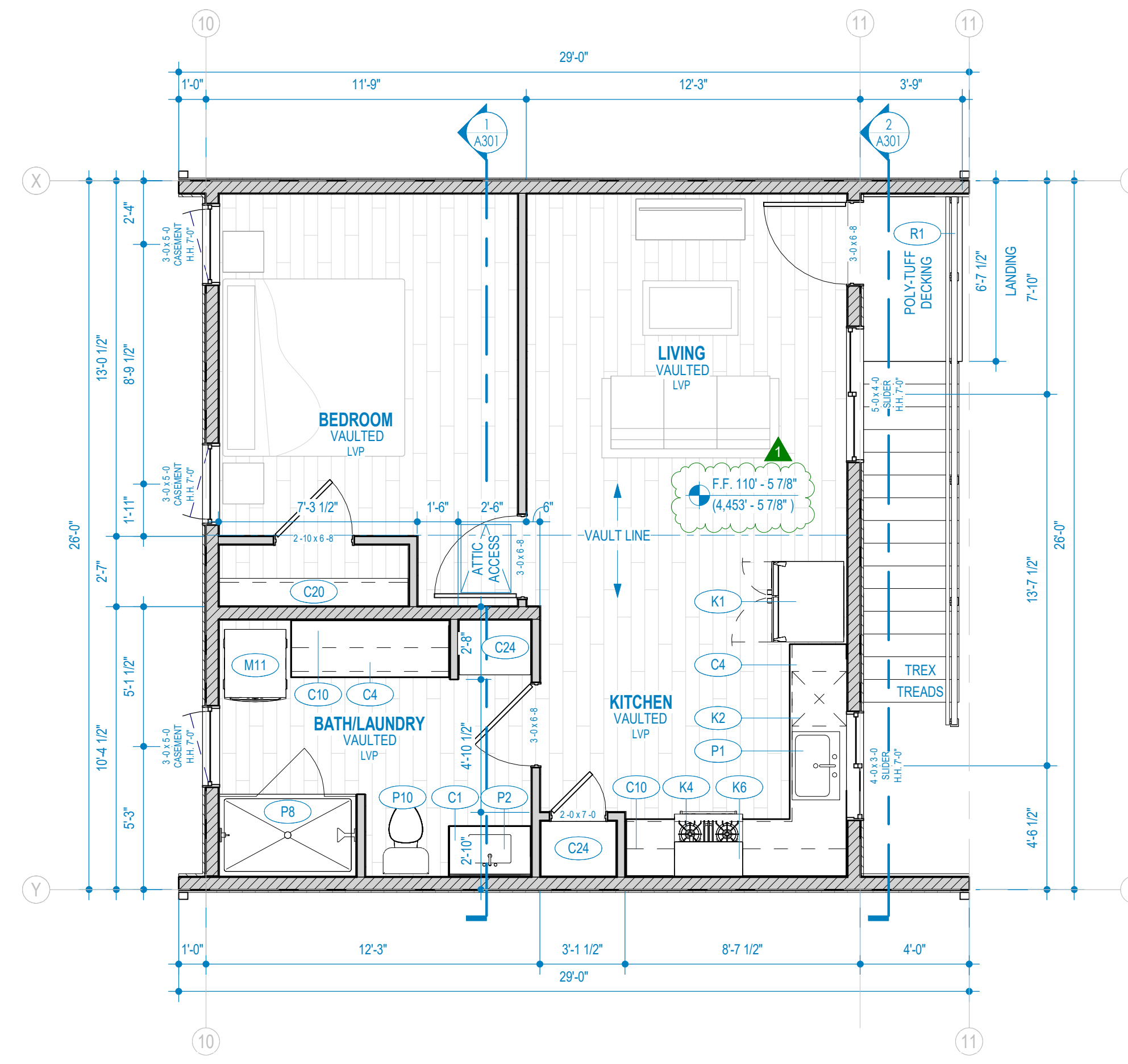
revisions:
1 Date 2 Revision 2

CONSTRUCTION DOCUMENTS

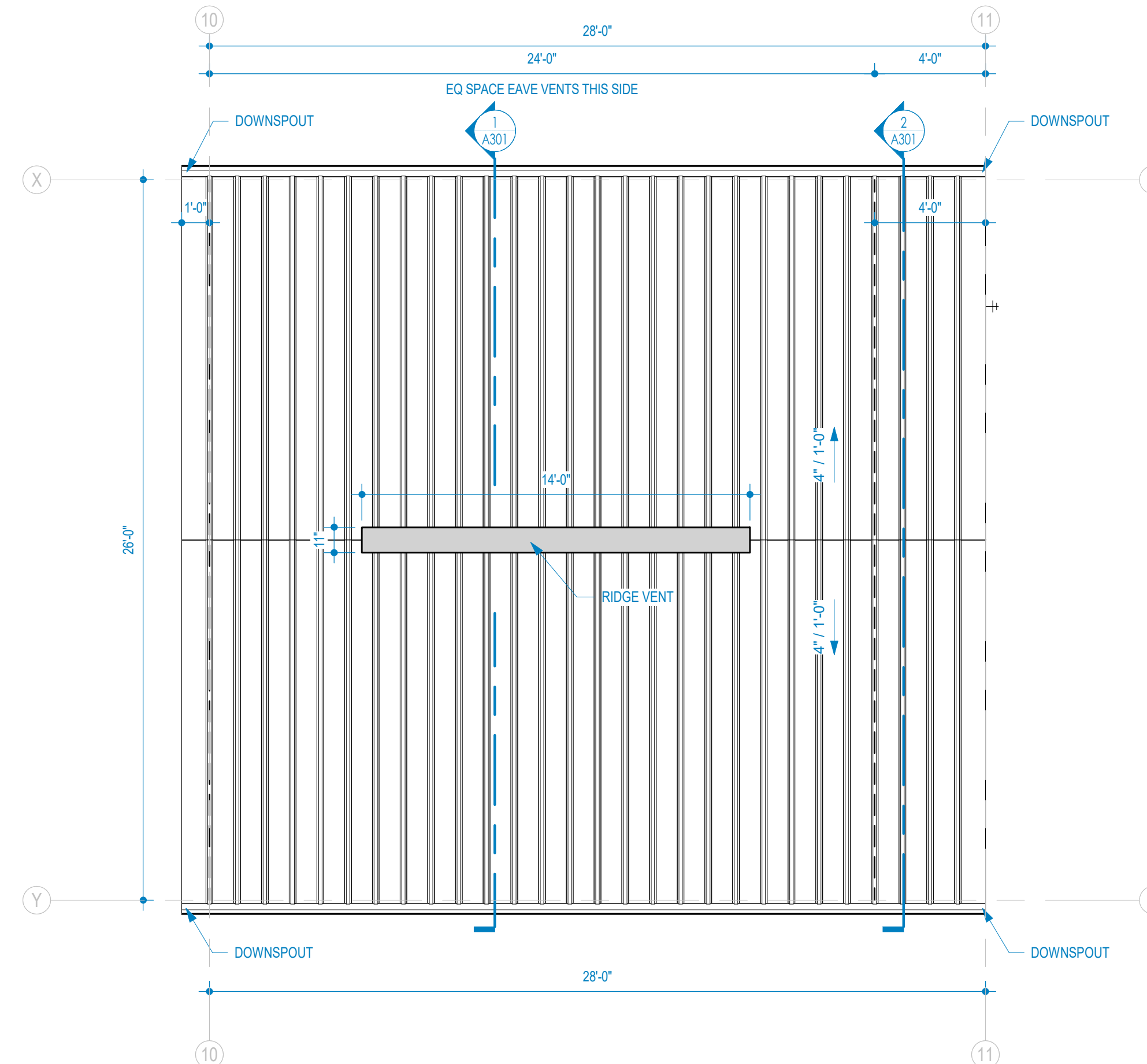
sheet:
SLAB & LEVEL 1 PLANS

A101

SHEET SIZE: 24" x 36"



1 LEVEL 2 - FLOOR PLAN
1/4" = 1'-0"



2 ROOF PLAN
1/4" = 1'-0"

ROOF PLAN GENERAL NOTES

- FLASHING ALL PENETRATIONS WHETHER SHOWN OR NOT
- COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR PENETRATIONS.
- SEE SHEETS G003- G004 FOR PROJECT SPECIFICATIONS.
- PROVIDE HEAT TAPE IN ALL RAMS, GUTTERS, AND DOWNSPOUTS.
- ROOFING CONTRACTOR SHALL REVIEW ALL SUBSTRATES PRIOR TO BEGINNING WORK.
- ALL ROOFING SHALL BE REVIEWED PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE TO ASSUME THAT NO ROOF SLOPES CREATE DEAD SPOTS OR LOW SPOTS THAT MAY PREVENT DRAINAGE.
- CONTRACTOR SHALL REVIEW AND MAKE SURE ALL SLOPES FOR LOW ROOFS ARE MAINTAINED.

- SLOPED ROOF
- ALL ROOF PITCHES LOWER THAN 4:12 MUST HAVE TWO (2) LAYERS OF FELT UNDERLAYMENT WITH 19" LAPS FOR THE SHALLOW PITCH
 - PROVIDE 1 SF OF ATTIC SPACE VENTILATION FOR EVERY 150 SF OF ATTIC SPACE AS PER IRC 2015
 - G.C. TO VERIFY ALL FEATURES, DIMENSIONS, AND CONDITIONS PRIOR TO CONSTRUCTION.
 - PROVIDE 2" ICE AND WATER SHIELD IN EACH VALLEY.
 - PROVIDE ICE AND WATER SHIELD AT EACH EAVE 2" PAST WARM SIDE OF WALL BELOW

ROOF PLAN LEGEND

HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	LOW SHEEN (SATIN) FLAT ROOF MEMBRANE SYSTEM AS SELECTED BY OWNER.
[Hatch Pattern]	LOW SHEEN (SATIN) STANDING SEAM METAL ROOF SYSTEM AS SELECTED BY OWNER.

FLOOR PLAN LEGEND

HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	CONCRETE FOUNDATION
[Hatch Pattern]	WOOD STUD WALL - 2x4
[Hatch Pattern]	WOOD STUD WALL - 2x6

FLOOR PLAN GENERAL NOTES

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- CEILING HEIGHTS ARE MEASURED FROM PLYWOOD OR CONCRETE - SEE SECTIONS.
- ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
- SEE SHEET A002 FOR PROJECT GENERAL NOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
- COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
- COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES.
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C10	12" DEEP UPPER CABINETS
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K6	MICROWAVE OVER RANGE

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TAG	DESCRIPTION
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P2	SQUARE VANTY SINK
P8	36" x 60" SHOWER w/ TILE SURROUND
P10	TOILET
P30	MAIN WATER SHUT OFF

ROOF VENTING ANALYSIS

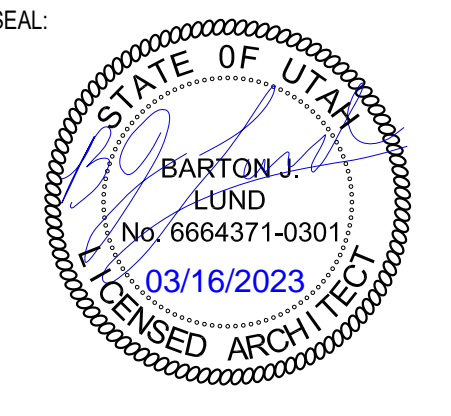
GARAGE	
ROOF A: GABLE ROOF	
1. TOTAL ATTIC AREA:	624 SF
2. FREE AREA REQUIRED-(1/300 OF ATTIC SPACE) CONVERT TO S.I. (x144)	5.2 SF 299.52 SI
50% LOW	149.76
50% HIGH	149.76
3. RIDGE VENTING PROVIDED	
V-600 RIDGE VENT @ 11 SHLF / 149.76 =	14LF
WEST MARINE LOUVERED VENT @ 33.75 SQIN / 149.76 =	5 VENTS



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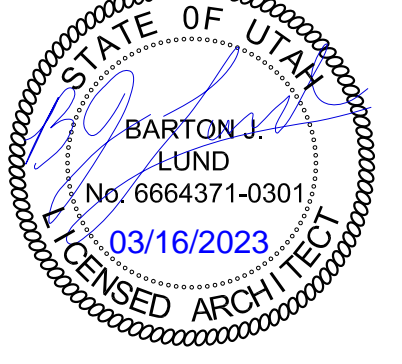
revisions:
1 Date 2 Revision 2

CONSTRUCTION DOCUMENTS

sheet:
LEVEL 2 & ROOF PLANS

A102

SHEET SIZE: 24" x 36"



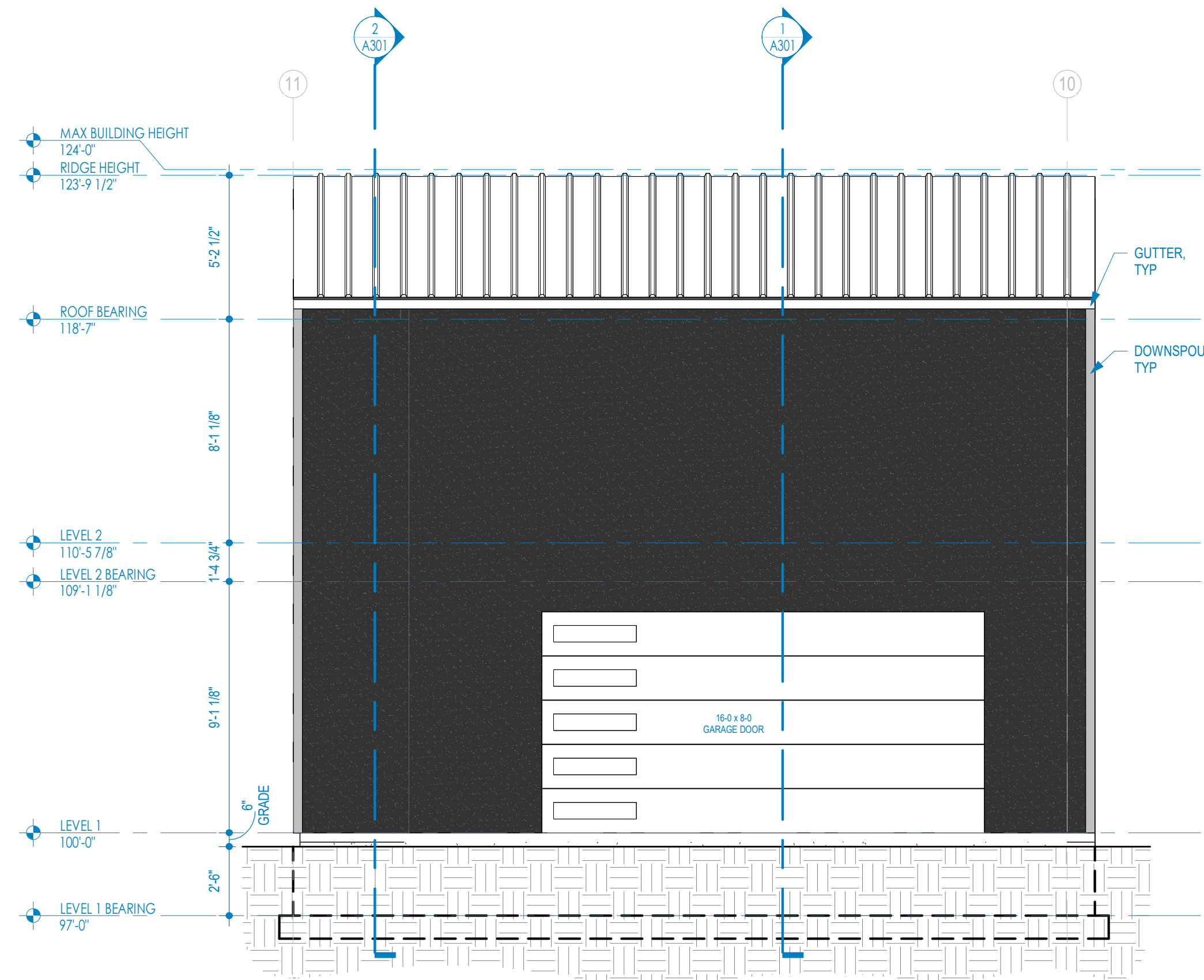
ELEVATION / SECTION MATERIAL LEGEND

HATCH PATTERN	DESCRIPTION
	THIN BRICK AS SELECTED BY OWNER.
	DARK STUCCO SIDING, SMOOTH FINISH, AS SELECTED BY OWNER.
	STUCCO SIDING W/ CONTROL JOINTS, PAINT & FINISH TO MATCH CONCRETE.
	CONCRETE FOUNDATION, 6" EXPOSURE ABOVE GRADE.

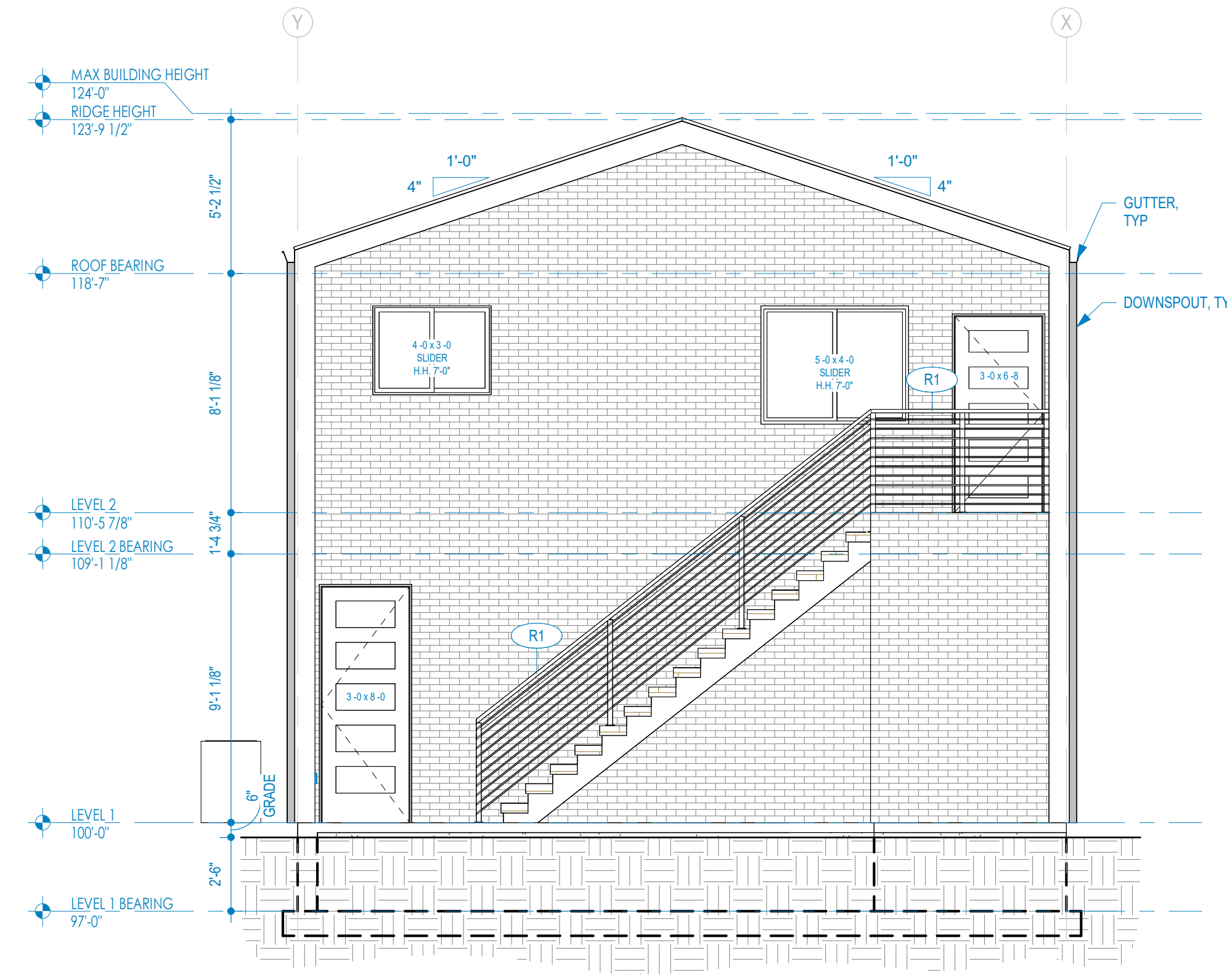
NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL.

ELEVATION / SECTION GENERAL NOTES

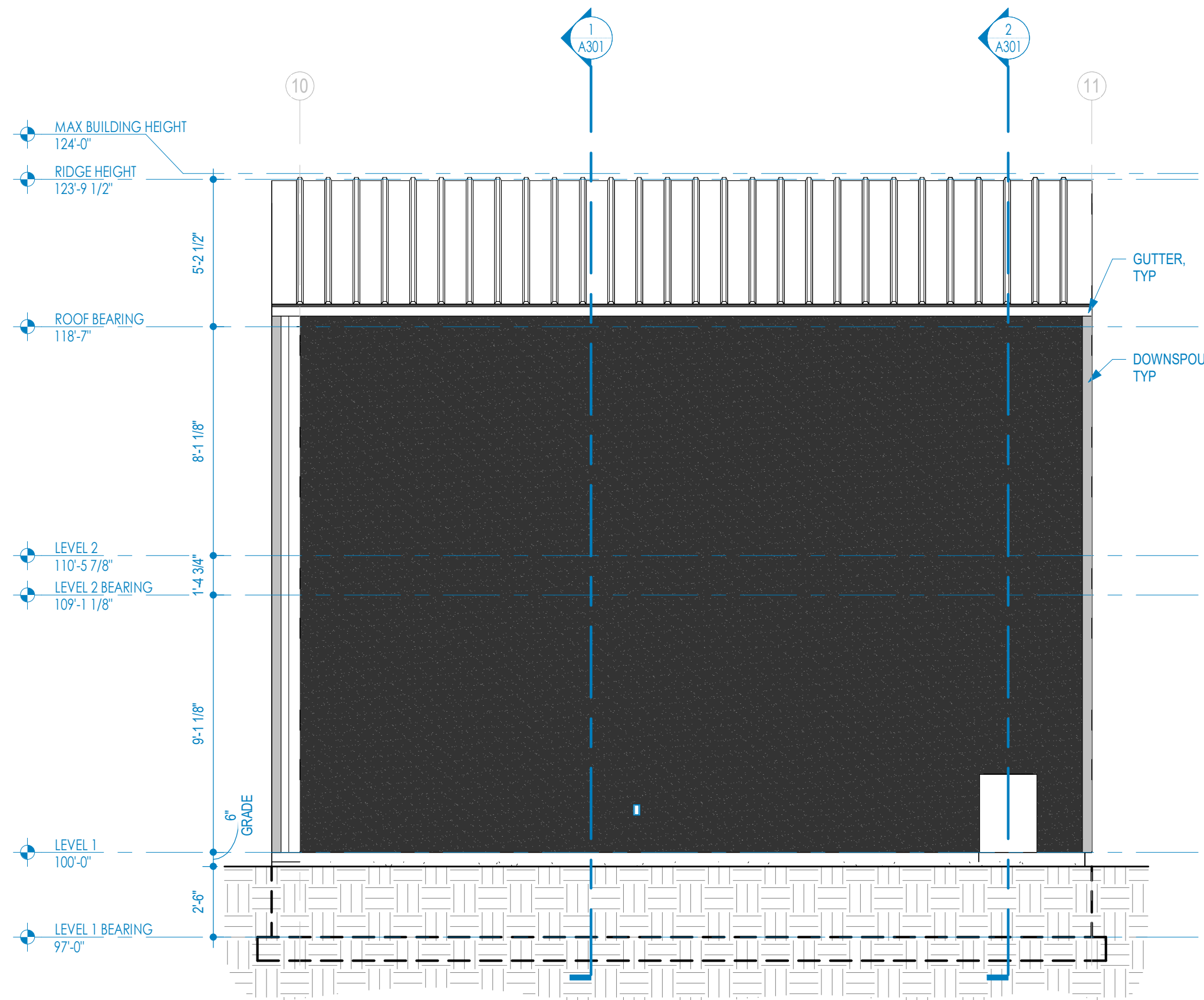
1. CONTRACTOR SHALL VERIFY THAT ALL GRADES SLOPE AWAY FROM BUILDING. SLOPE SHALL BE 6" SLOPE IN FIRST 10'-0" AS PER IBC.
2. CONTRACTOR TO COORDINATE LOCATION OF UTILITIES, & COORDINATE GAS & ELECTRICAL METERS ON BUILDING AND SHALL PROVIDE PROTECTION AS REQUIRED.
3. CONTINUOUS METAL GUTTER TO SLOPE TO DOWNSPOUTS, SEE DETAILS.
4. CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE AND DAYLIGHT 10' AWAY FROM STRUCTURE, MIN.
5. PROVIDE TRANSITION OF SIDING MATERIALS AT INSIDE CORNER ONLY AS SHOWN ON DRAWINGS.
6. PROVIDE FLASHING DIVERTER AT ALL LOCATION WHERE ROOF TERMINATES INTO SIDE OF WALL. DIVERTOR SHALL BE INSTALLED TO DIRECT WATER AWAY FROM WALL.
7. CONTRACTOR TO COORDINATE WITH ROOF PLAN FOR ALL VENTING REQUIREMENTS.
8. CONTRACTOR SHALL PROVIDE FLASHING AT ALL SIDING / MATERIAL TRANSITIONS WHETHER SHOWN OR NOT.
9. COORDINATE EXPOSED STRUCTURAL BEAMS WITH ARCHITECTURAL AND INTERIOR DESIGNER FOR DETAILS AND FINAL FINISHES.
10. PAINT ALL GUTTERS, DOWNSPOUTS, METAL TRIM & LOUVERED VENTS TO MATCH VERTICAL SIDING



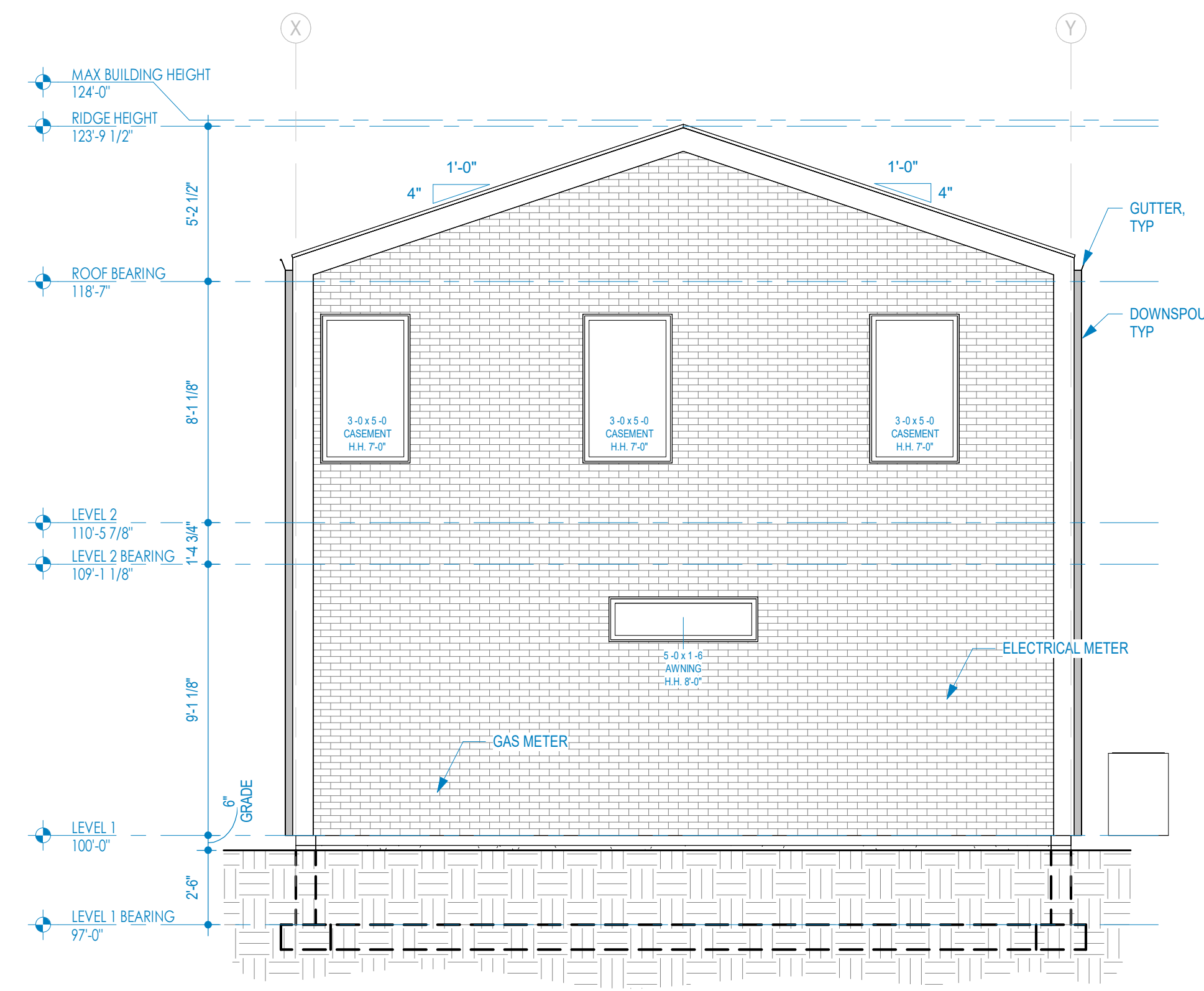
1 NORTH ELEVATION
1/4" = 1'-0"



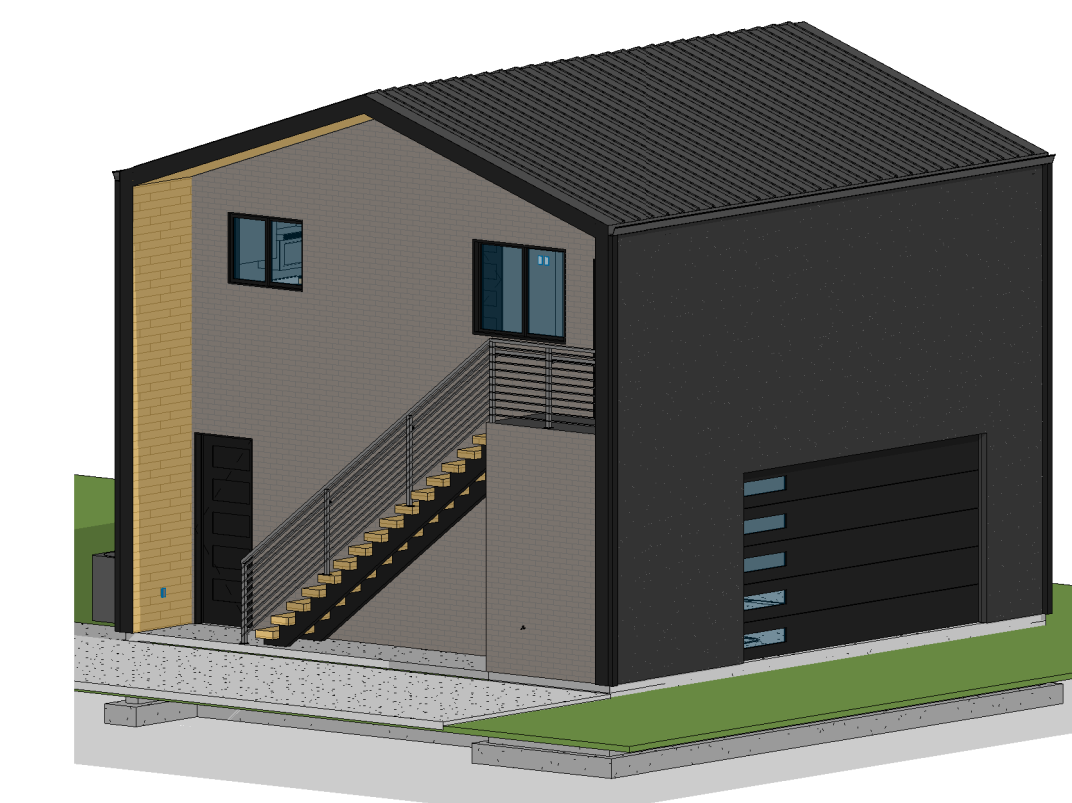
2 EAST ELEVATION
1/4" = 1'-0"



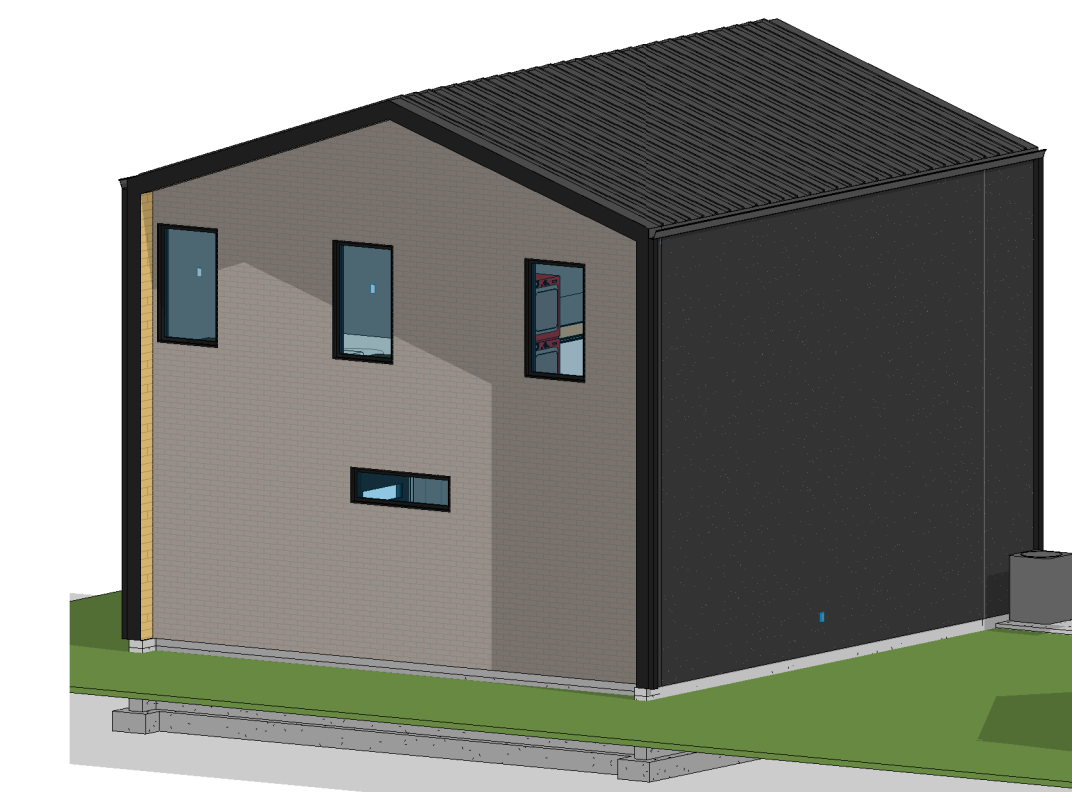
3 SOUTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"



5 3D - FRONT



6 3D - REAR

project:
1005 PRINCETON AVE. E, B
SALT LAKE CITY, UT 84105

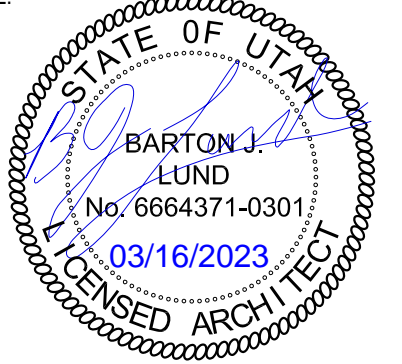
project no: 22041
date: 2023.03.16
revisions:

CONSTRUCTION DOCUMENTS
sheet:
EXTERIOR ELEVATIONS

A201

SHEET SIZE: 24" x 36"

SEAL:



PRIMARY HOME PERMIT# BLD2022-10168

ADU PERMIT# BLD2022-10571

project:
1005 PRINCETON AVE. E, B
SALT LAKE CITY, UT 84105

project no: 22041

date: 2023.03.16

revisions:

CONSTRUCTION DOCUMENTS

sheet:
BUILDING SECTIONS

A301

SHEET SIZE: 24" x 36"

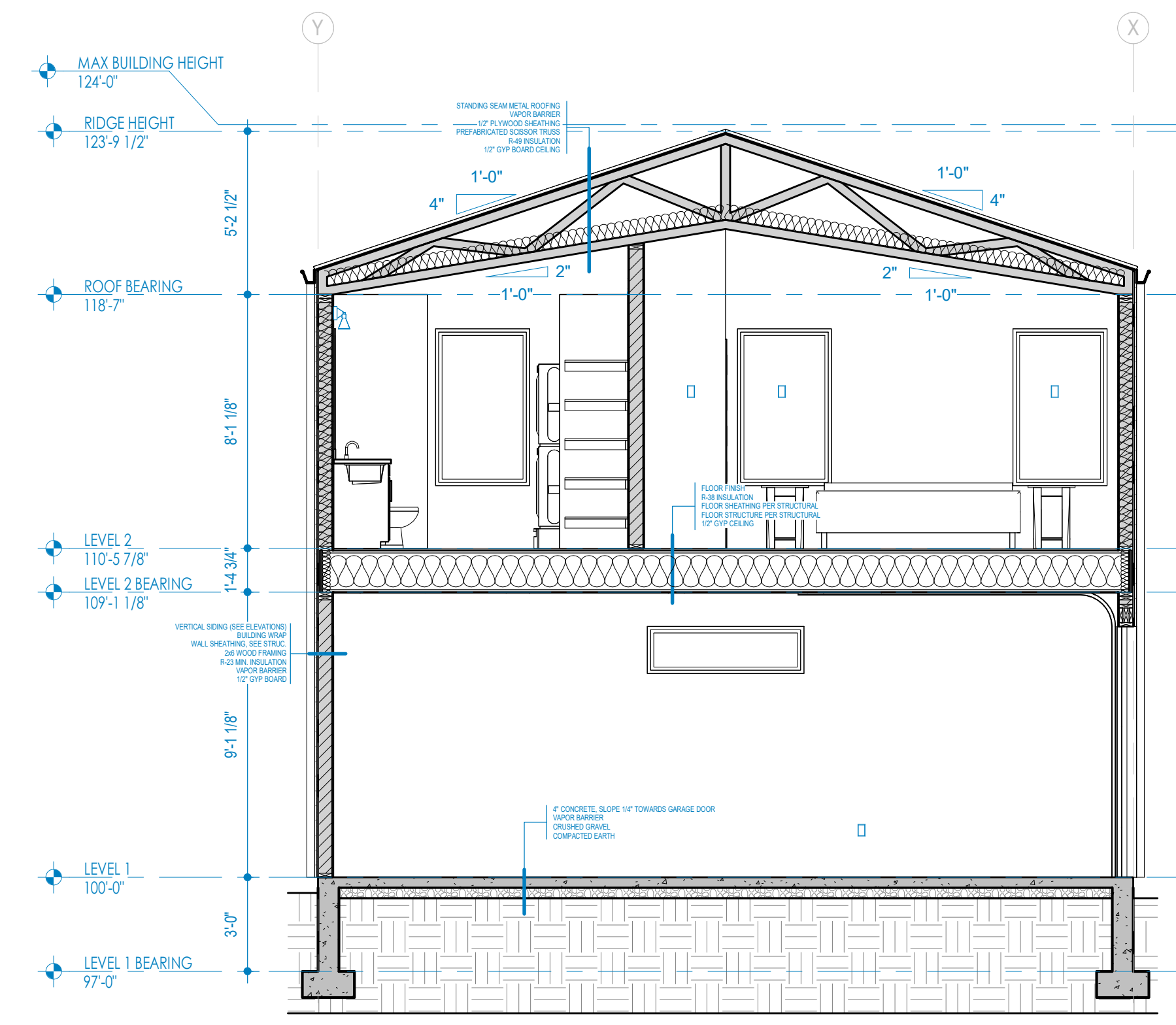
ELEVATION / SECTION MATERIAL LEGEND

HATCH PATTERN	DESCRIPTION
	THIN BRICK AS SELECTED BY OWNER.
	DARK STUCCO SIDING, SMOOTH FINISH, AS SELECTED BY OWNER.
	STUCCO SIDING W/ CONTROL JOINTS, PAINT & FINISH TO MATCH CONCRETE.
	CONCRETE FOUNDATION, 6" EXPOSURE ABOVE GRADE.

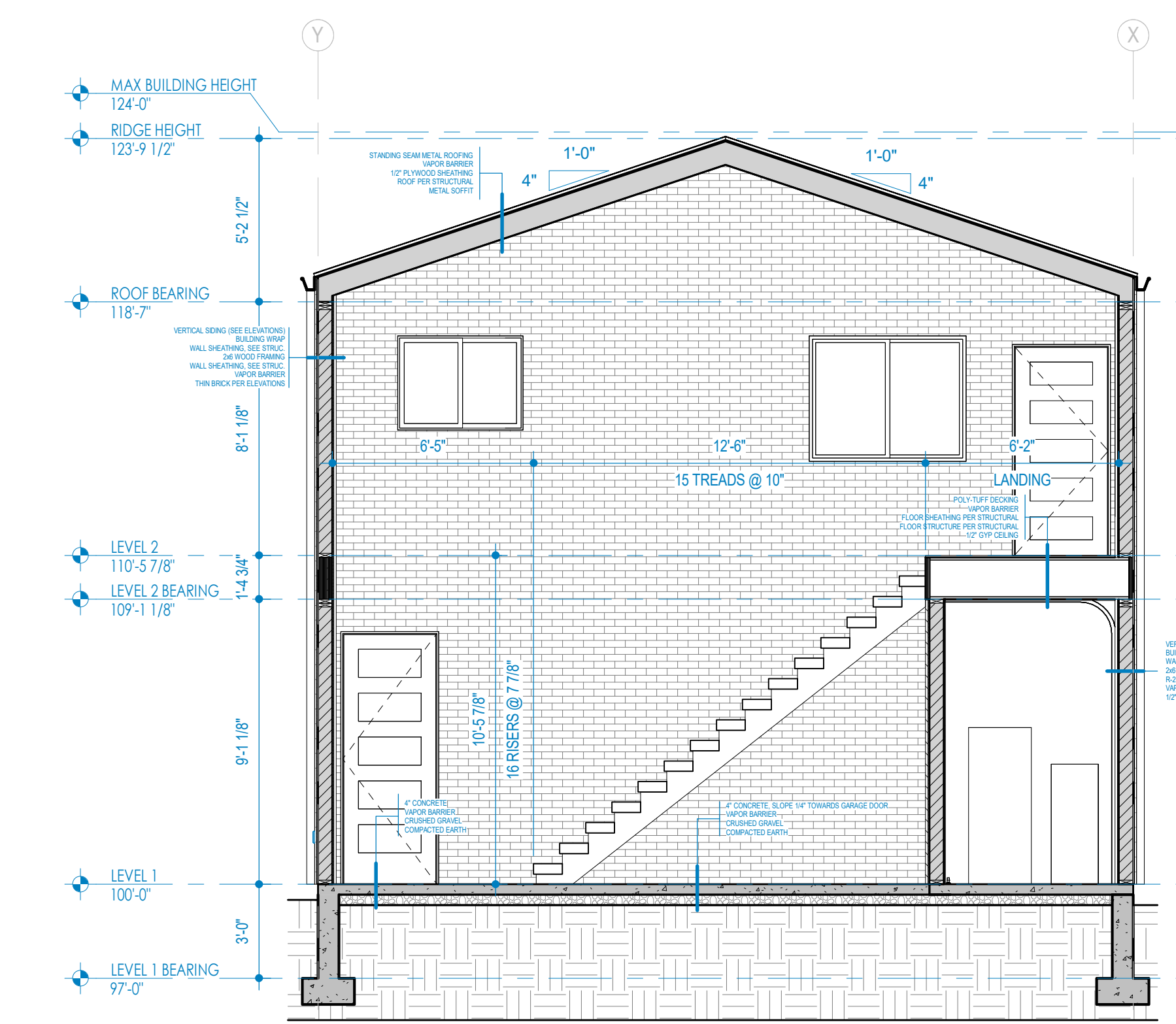
NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL.

ELEVATION / SECTION GENERAL NOTES

1. CONTRACTOR SHALL VERIFY THAT ALL GRADES SLOPE AWAY FROM BUILDING. SLOPE SHALL BE 6" SLOPE IN FIRST 10'-0" AS PER IBC.
2. CONTRACTOR TO COORDINATE LOCATION OF UTILITIES, & COORDINATE GAS & ELECTRICAL METERS ON BUILDING AND SHALL PROVIDE PROTECTION AS REQUIRED.
3. CONTINUOUS METAL GUTTER TO SLOPE TO DOWNSPOUTS, SEE DETAILS.
4. CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE AND DAYLIGHT 10' AWAY FROM STRUCTURE, MIN.
5. PROVIDE TRANSITION OF SIDING MATERIALS AT INSIDE CORNER ONLY AS SHOWN ON DRAWINGS.
6. PROVIDE FLASHING DIVERTER AT ALL LOCATION WHERE ROOF TERMINATES INTO SIDE OF WALL. DIVERTOR SHALL BE INSTALLED TO DIRECT WATER AWAY FROM WALL.
7. CONTRACTOR TO COORDINATE WITH ROOF PLAN FOR ALL VENTING REQUIREMENTS.
8. CONTRACTOR SHALL PROVIDE FLASHING AT ALL SIDING / MATERIAL TRANSITIONS WHETHER SHOWN OR NOT.
9. COORDINATE EXPOSED STRUCTURAL BEAMS WITH ARCHITECTURAL AND INTERIOR DESIGNER FOR DETAILS AND FINAL FINISHES.
10. PAINT ALL GUTTERS, DOWNSPOUTS, METAL TRIM & LOUVERED VENTS TO MATCH VERTICAL SIDING



1 SECTION 1
1/4" = 1'-0"

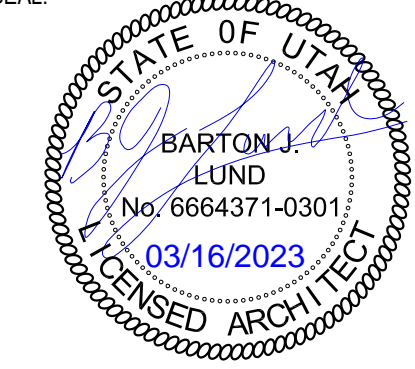


2 SECTION 2
1/4" = 1'-0"

NOTE:
NOT ALL DETAILS MAY
APPLY TO THIS BUILDING

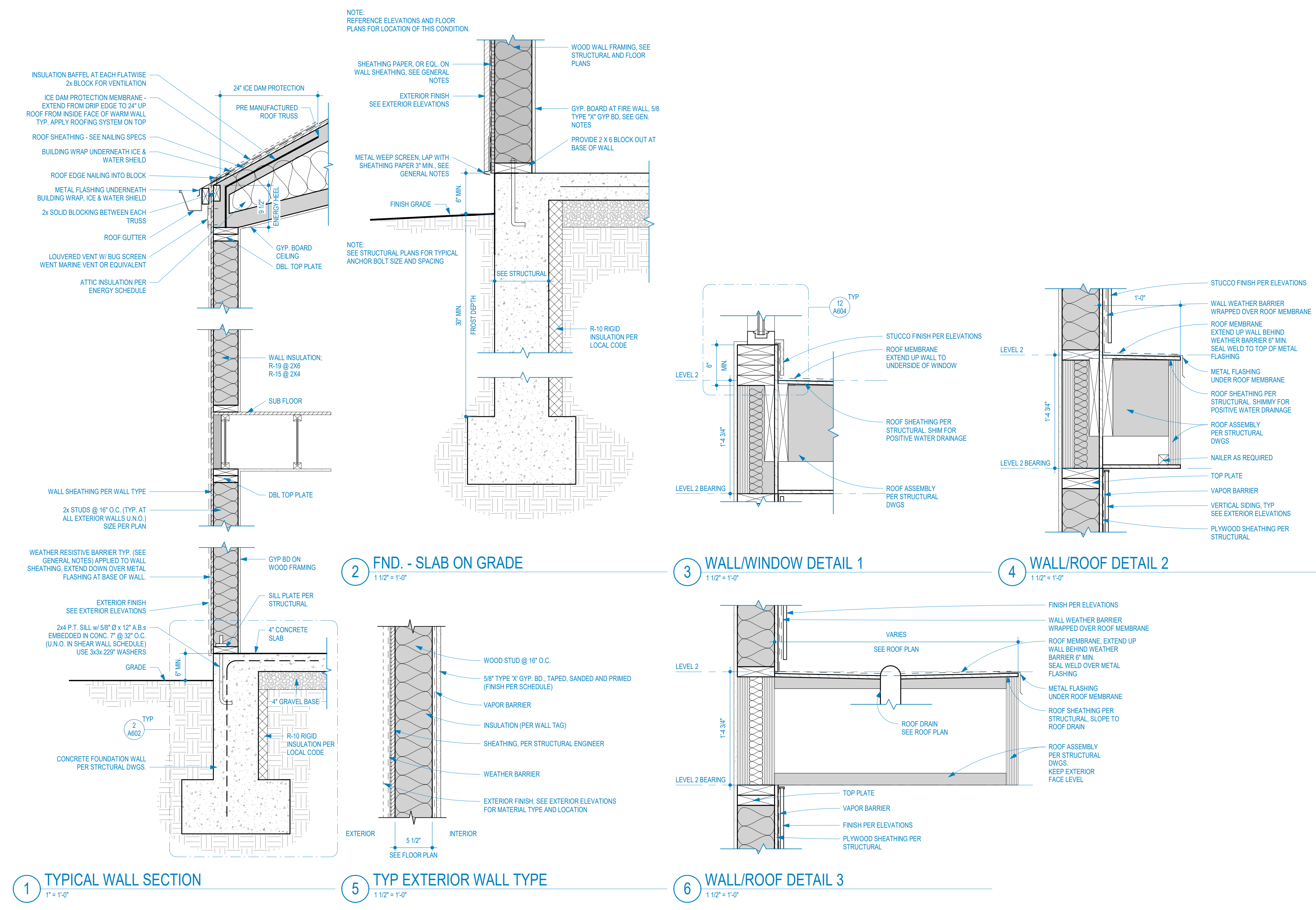
The designs shown and described within these documents, including all technical drawings, graphic representation & models, are proprietary & can not be copied, duplicated in whole or in part without the express written permission from LMnt Architecture.

SEAL:



PRIMARY HOME PERMIT# BLD2022-10168

ADU PERMIT# BLD2022-10571



project:
1005 PRINCETON AVE. E, B
SALT LAKE CITY, UT 84105

project no: 22041
date: 2023.03.16
revisions:

CONSTRUCTION DOCUMENTS

sheet:
WALL DETAILS

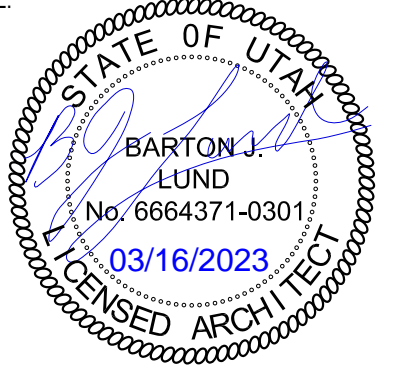
A602

SHEET SIZE: 24" x 36"

NOTE:
NOT ALL DETAILS MAY
APPLY TO THIS BUILDING

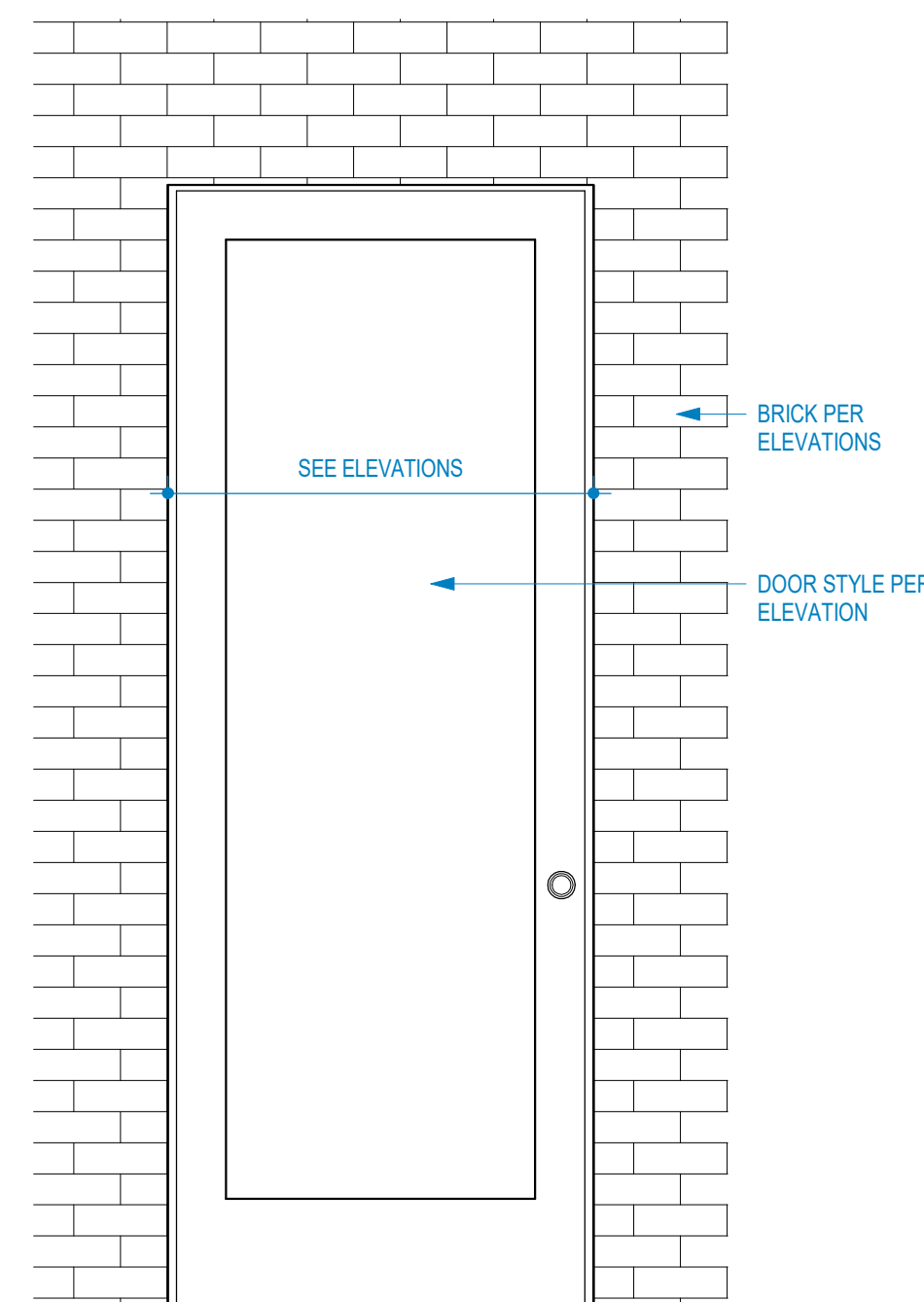
The designs shown and described within these documents, including all technical drawings, graphic representation & models, are proprietary & can not be copied, duplicated in whole or in part without the express written permission from LMnt Architecture.

SEAL:



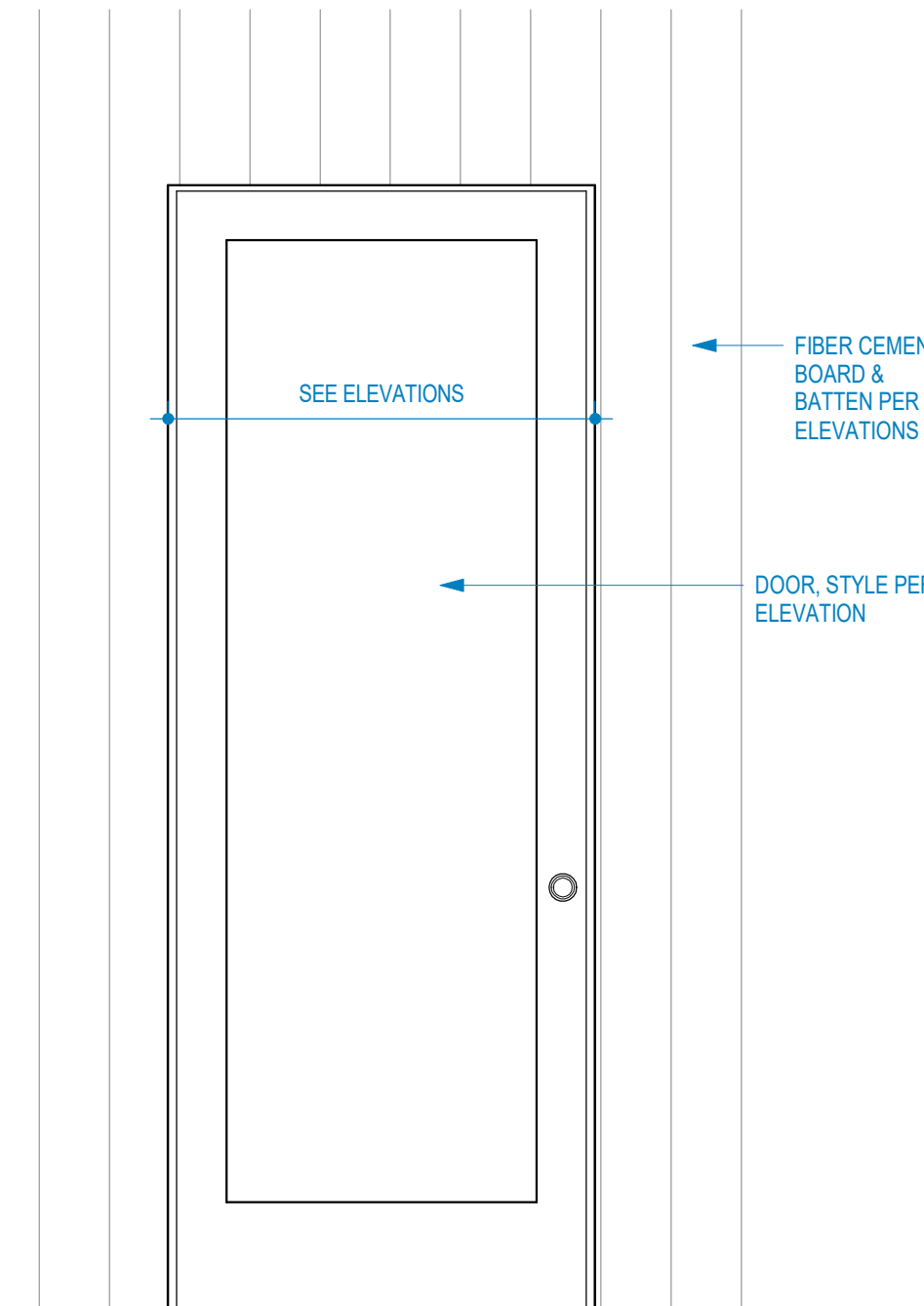
PRIMARY HOME PERMIT# BLD2022-10168

ADU PERMIT# BLD2022-10571



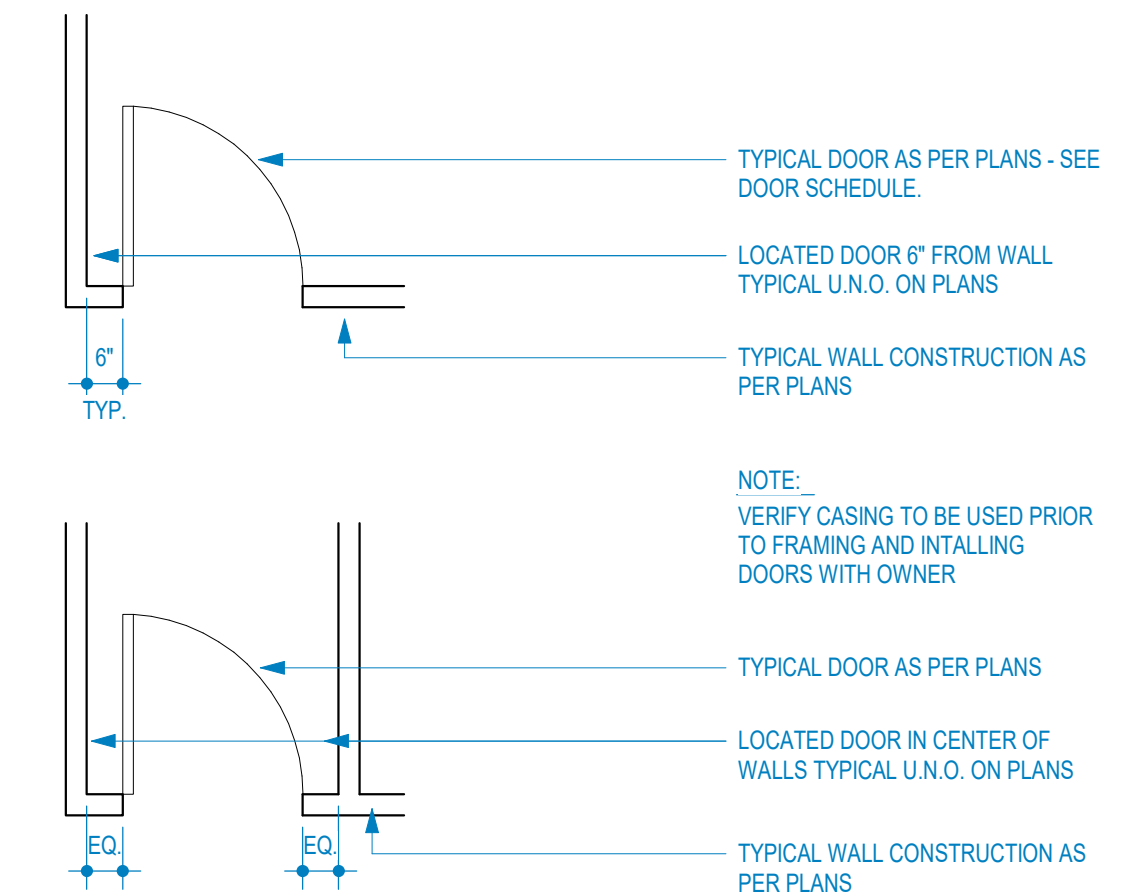
NOTE: PROVIDE FLASHING, COUNTER FLASHING AND WATERPROOF JOINTS PER GENERAL NOTES, BEST SOUND CONSTRUCTION PRACTICES AND MANUFACTURERS WRITTEN INSTRUCTIONS.

1 DOOR - WALL DETAIL - BRICK
3/4" = 1'-0"



NOTE: PROVIDE FLASHING, COUNTER FLASHING AND WATERPROOF JOINTS PER GENERAL NOTES, BEST SOUND CONSTRUCTION PRACTICES AND MANUFACTURERS WRITTEN INSTRUCTIONS.

2 DOOR - WALL DETAIL AT VERTICAL SIDING
3/4" = 1'-0"



TYPICAL DOOR AS PER PLANS - SEE DOOR SCHEDULE.

LOCATED DOOR 6" FROM WALL TYPICAL U.N.O. ON PLANS

TYPICAL WALL CONSTRUCTION AS PER PLANS

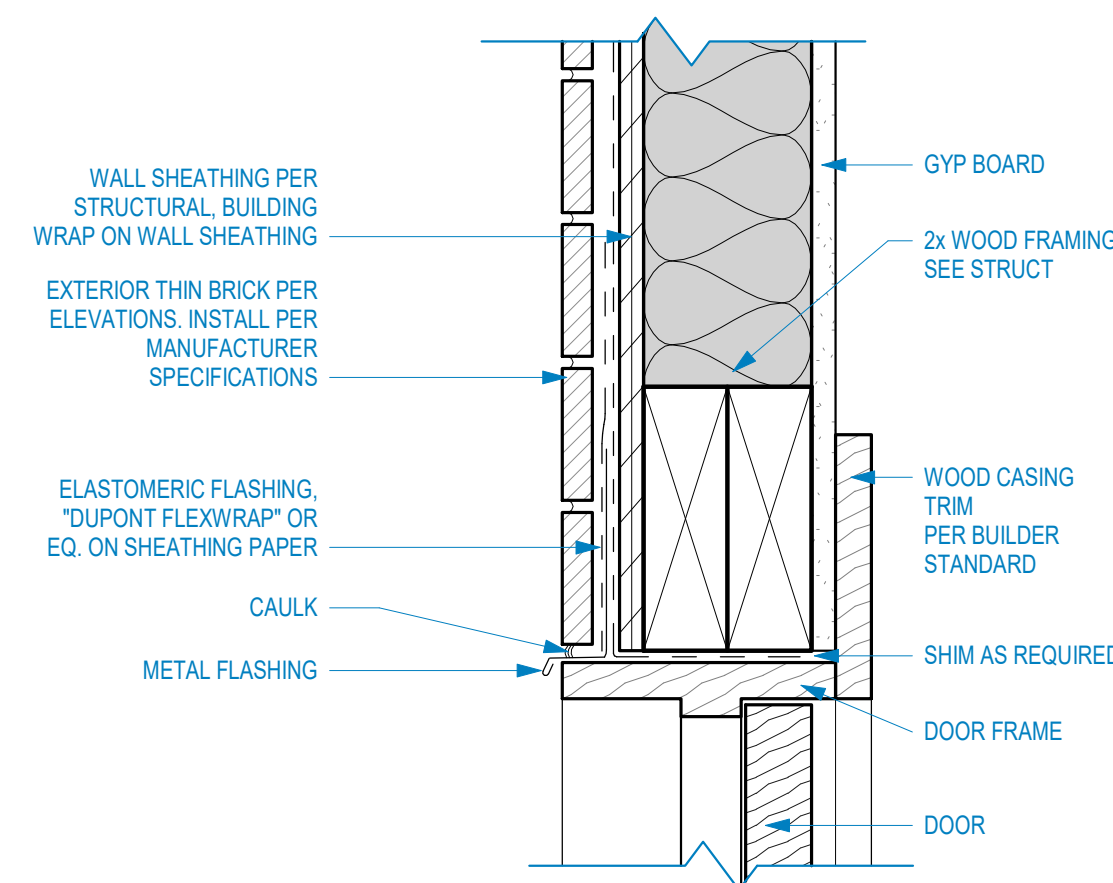
NOTE: VERIFY CASING TO BE USED PRIOR TO FRAMING AND INSTALLING DOORS WITH OWNER

TYPICAL DOOR AS PER PLANS

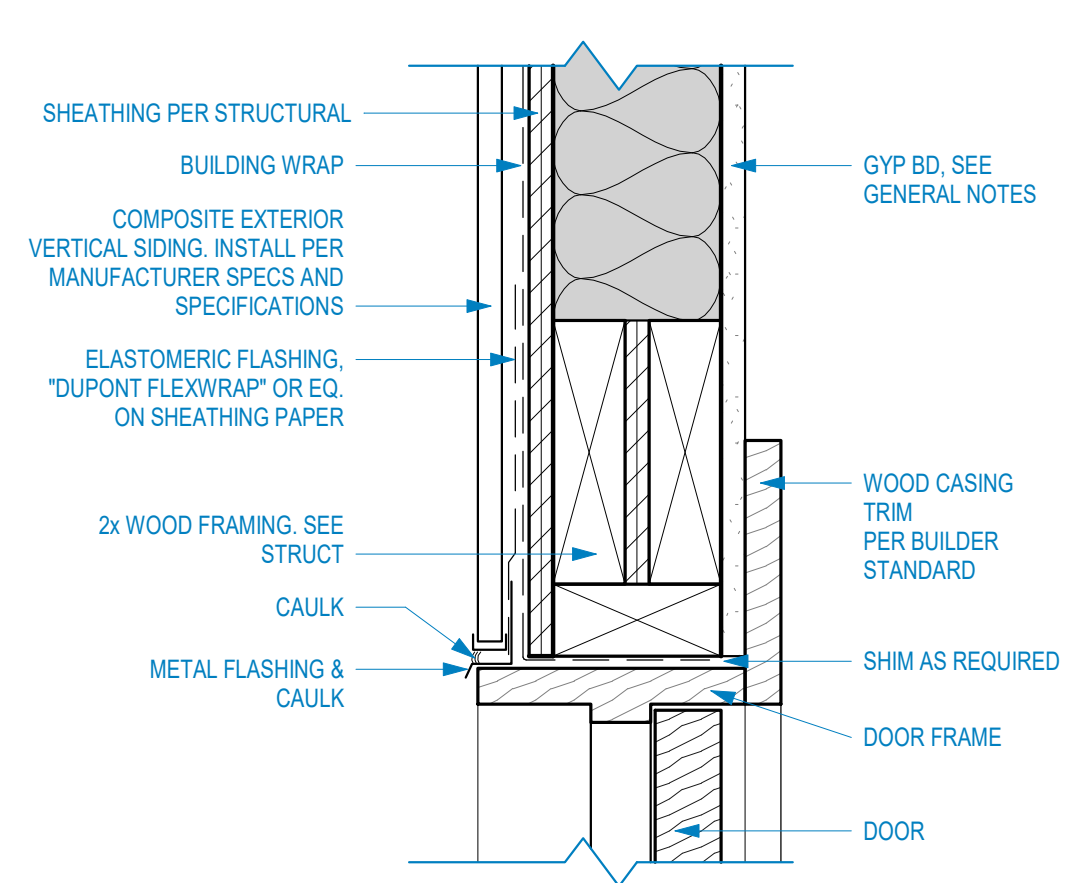
LOCATED DOOR IN CENTER OF WALLS TYPICAL U.N.O. ON PLANS

TYPICAL WALL CONSTRUCTION AS PER PLANS

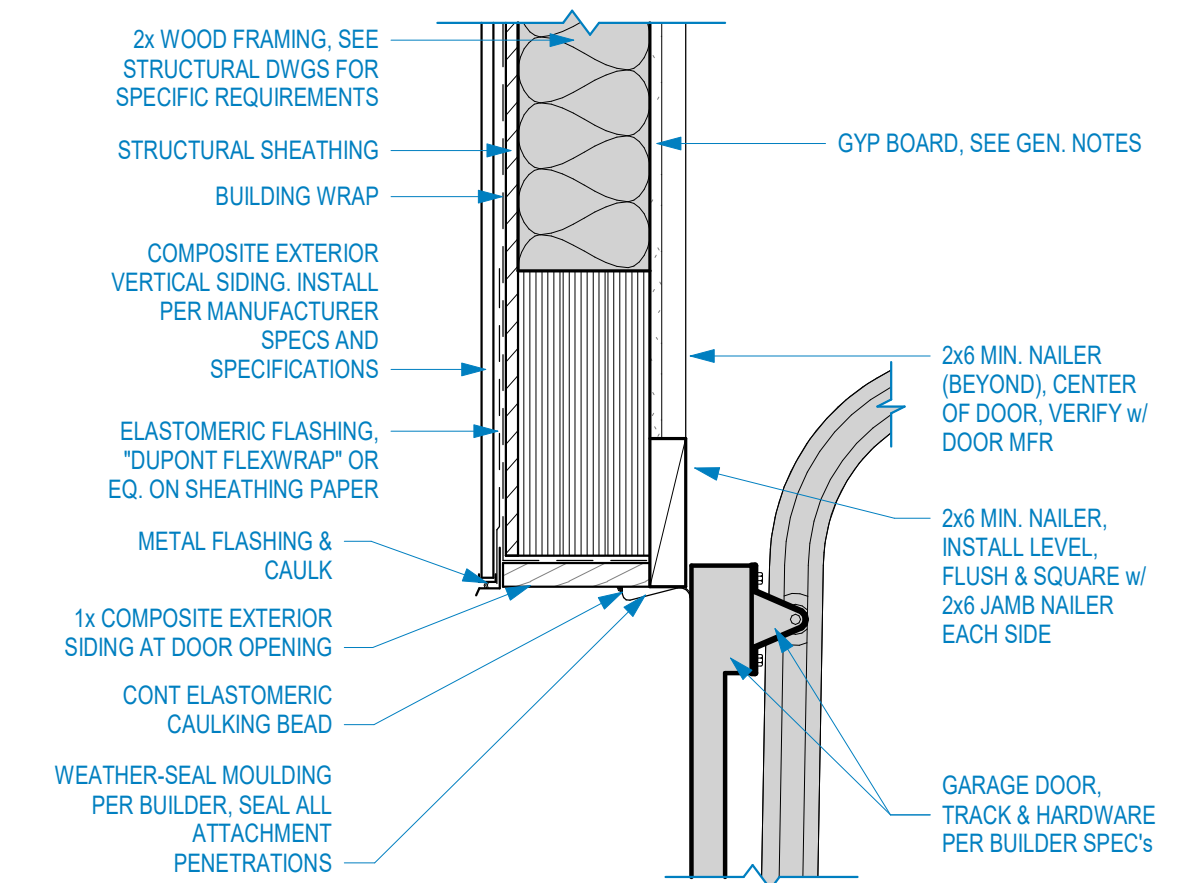
3 TYPICAL DOOR PLACEMENT DETAIL
3/8" = 1'-0"



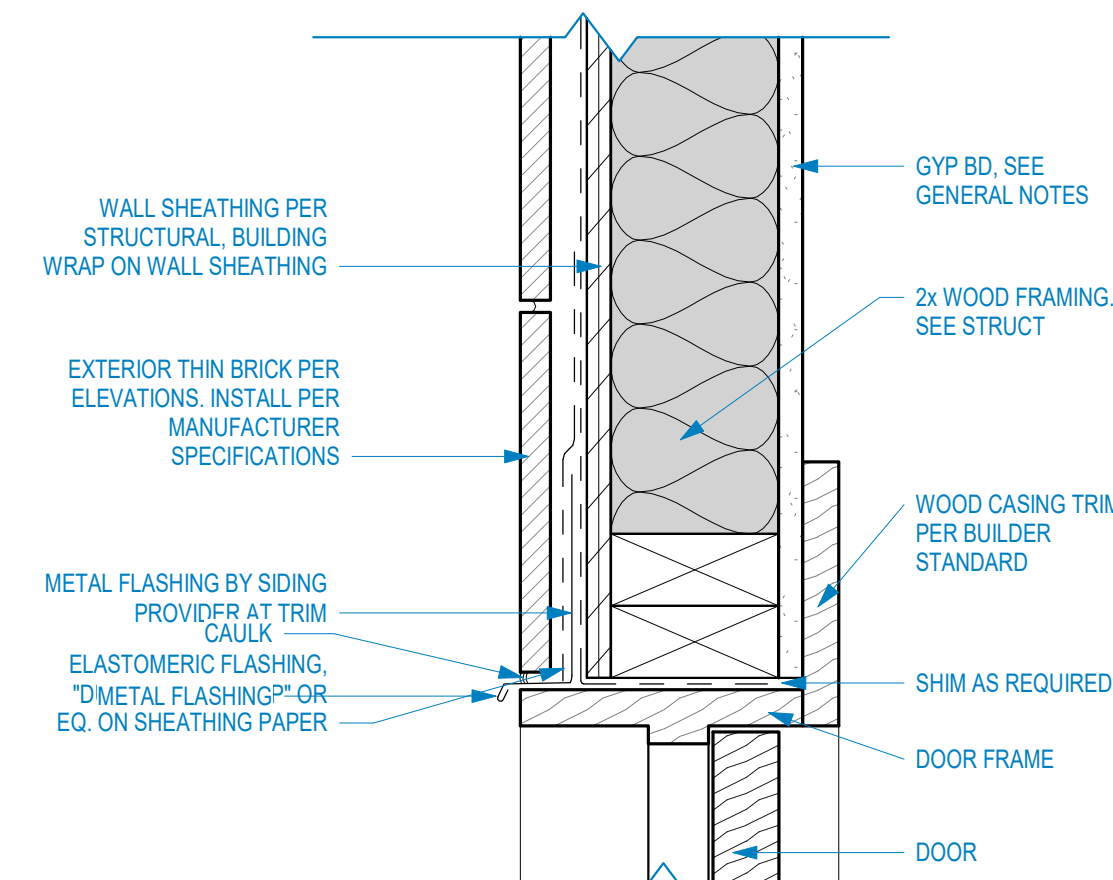
4 DOOR - HEAD - BRICK
3" = 1'-0"



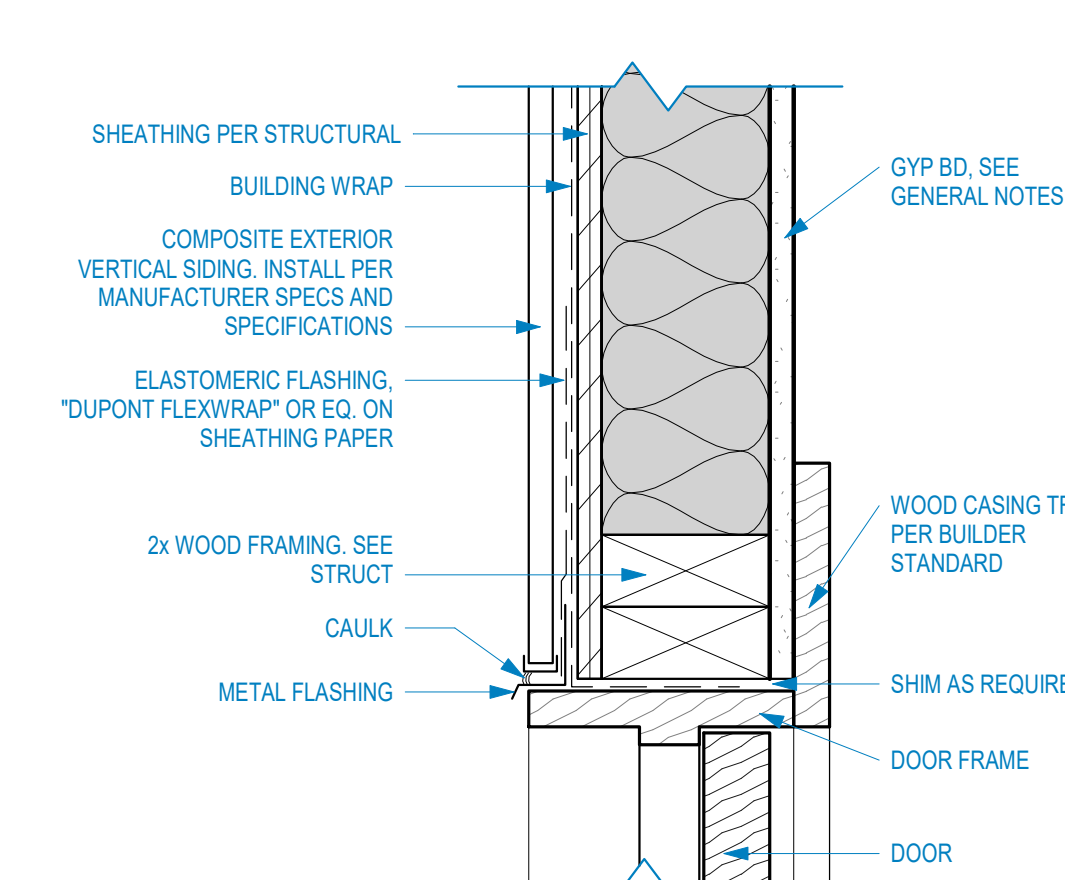
5 DOOR - HEAD - VERTICAL SIDING
3" = 1'-0"



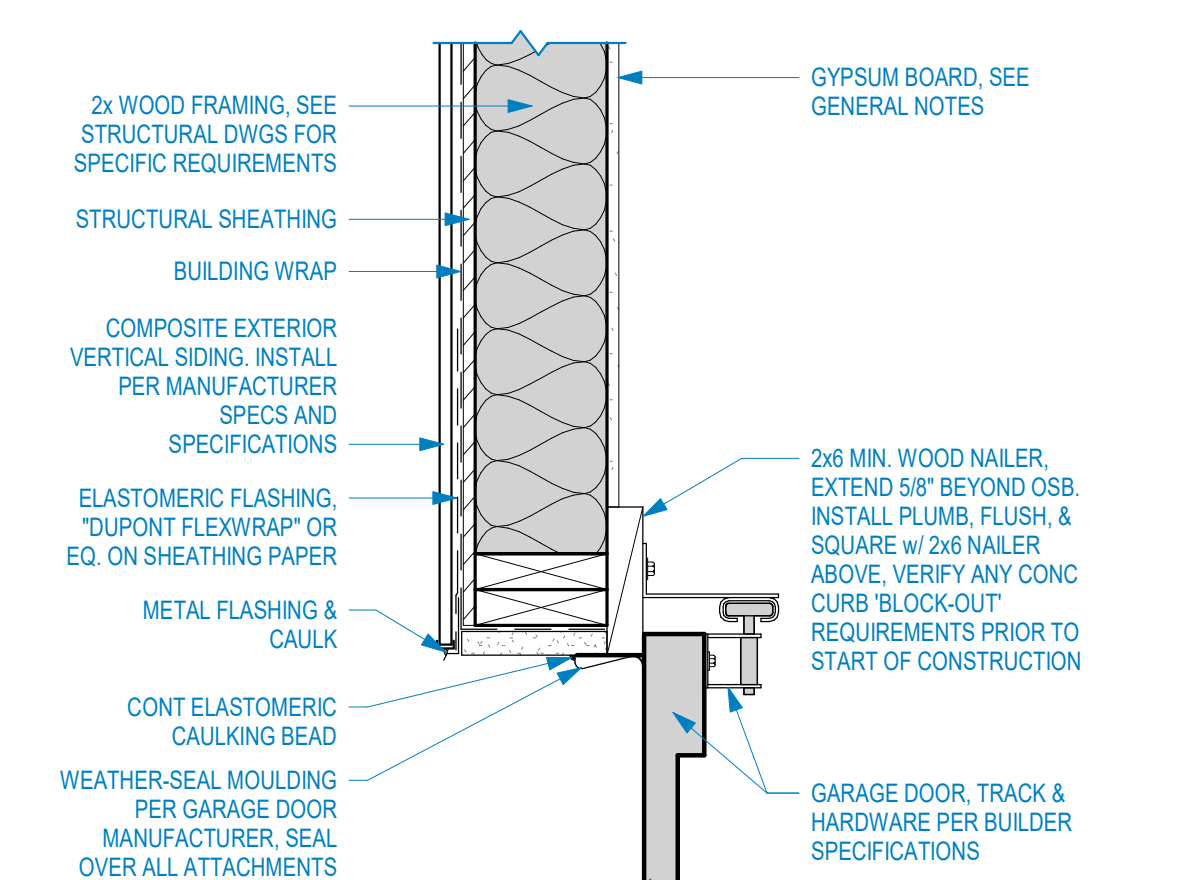
6 GARAGE DOOR - HEAD - VERTICAL SIDING
1 1/2" = 1'-0"



7 DOOR - JAMB - BRICK
3" = 1'-0"



8 DOOR - JAMB - VERTICAL SIDING
3" = 1'-0"



9 GARAGE DOOR - JAMB - VERTICAL SIDING
1 1/2" = 1'-0"

project:
1005 PRINCETON AVE. E, B
SALT LAKE CITY, UT 84105

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revisions:

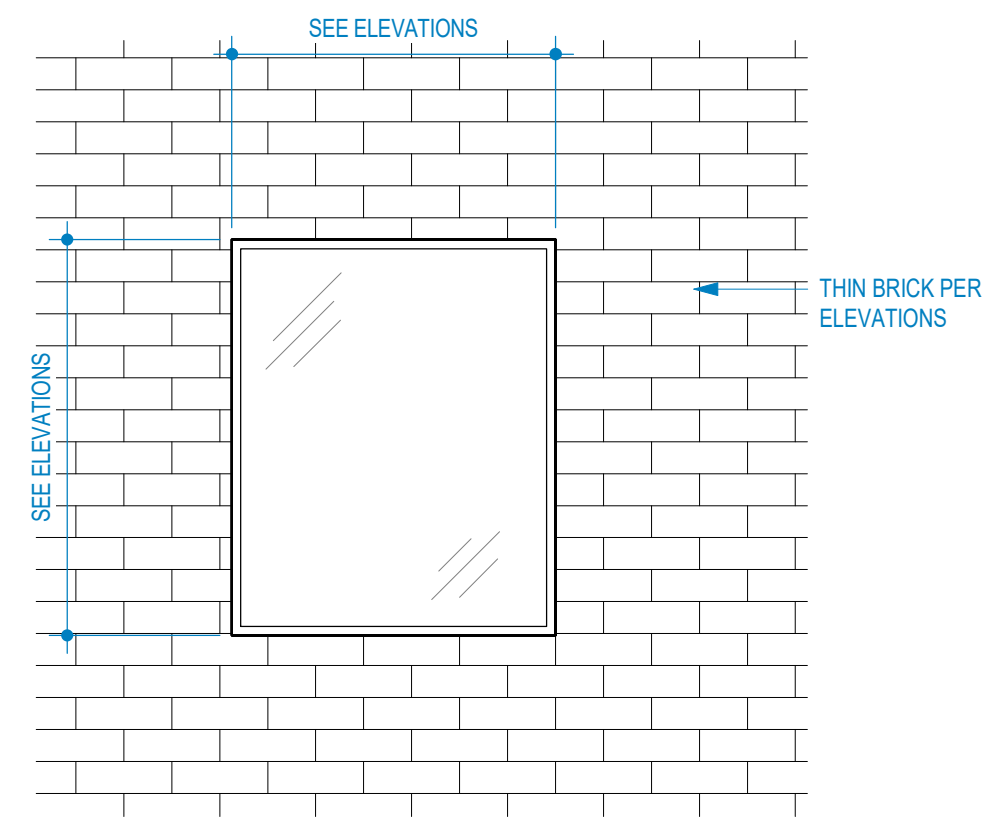
CONSTRUCTION DOCUMENTS

sheet:
DOOR DETAILS

A603

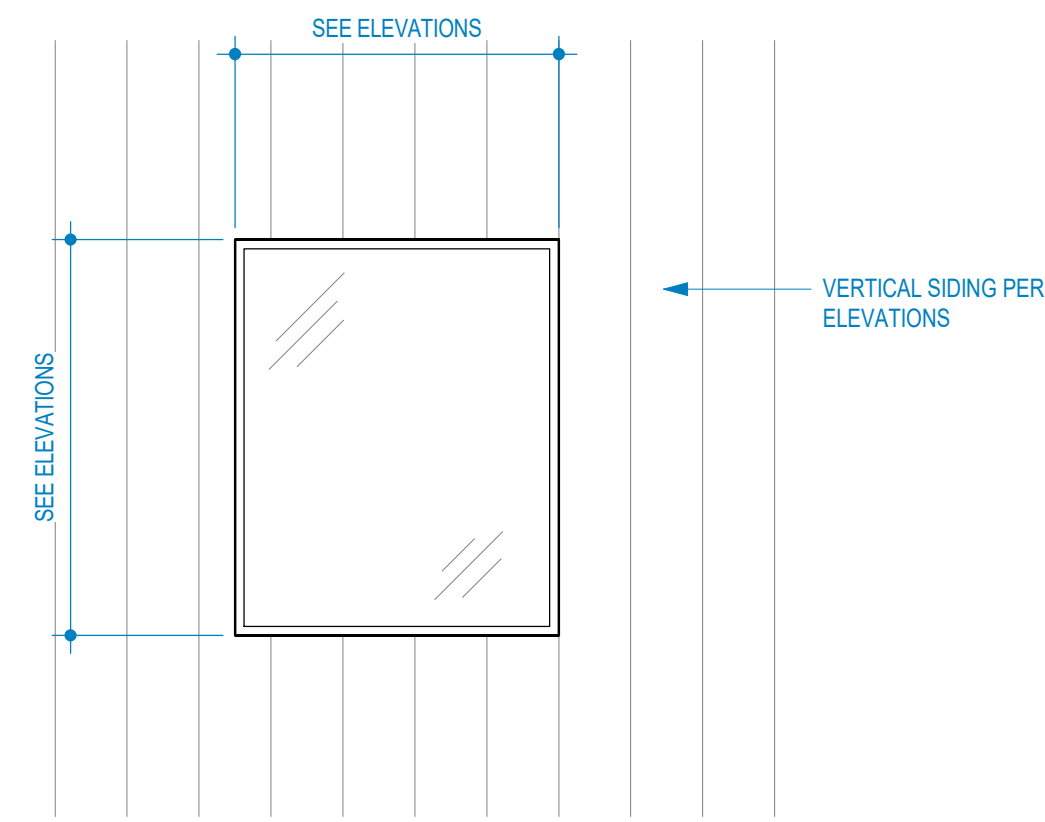
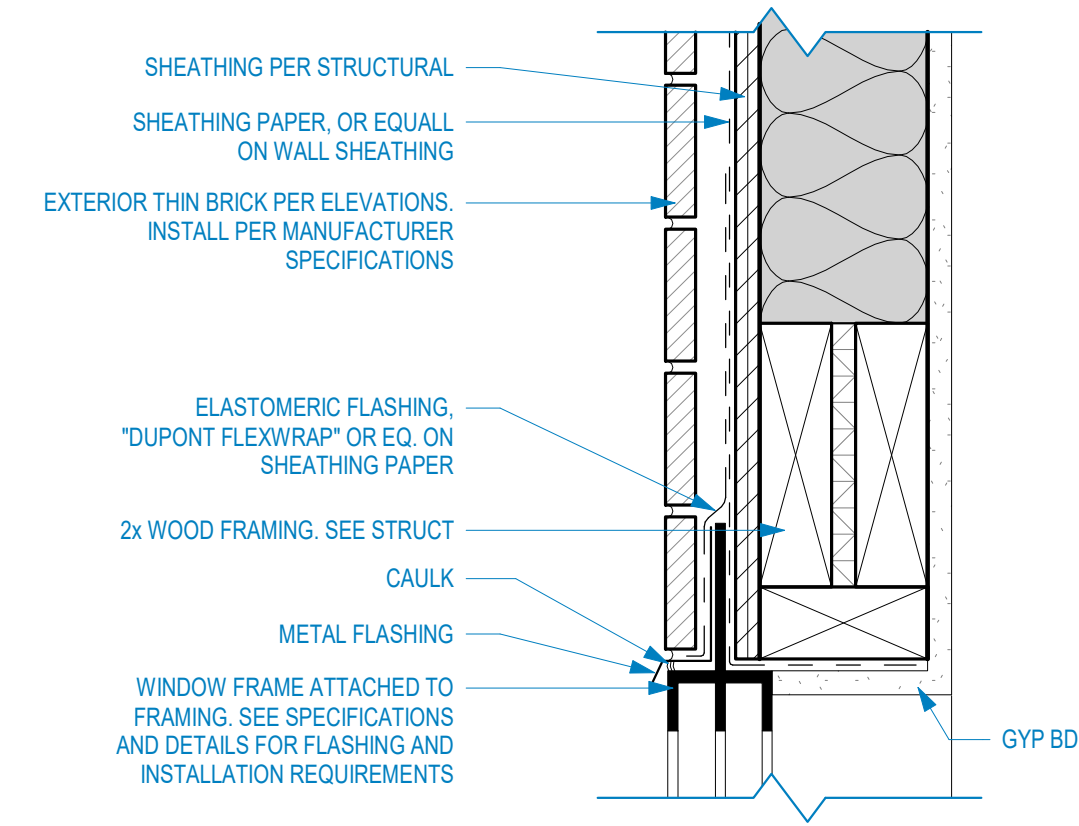
SHEET SIZE: 24" x 36"

NOTE:
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APPLY TO THIS BUILDING



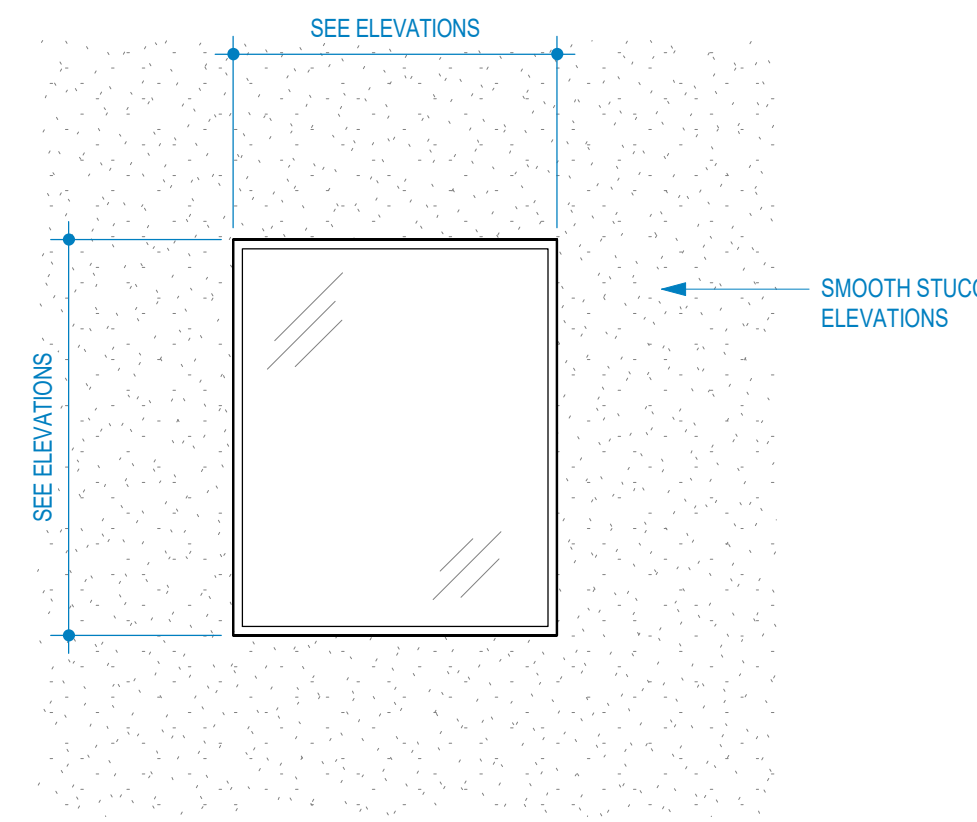
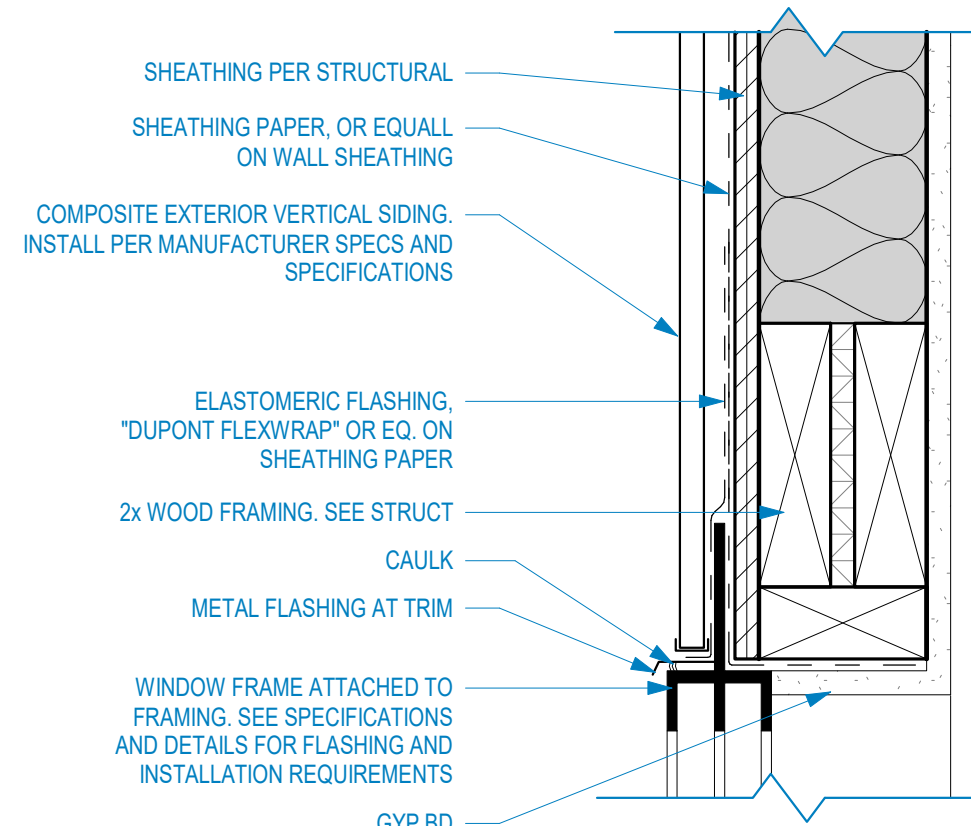
NOTE: PROVIDE FLASHING, COUNTER FLASHING AND WATERPROOF JOINTS PER GENERAL NOTES, BEST SOUND CONSTRUCTION PRACTICES AND MANUFACTURERS WRITTEN INSTRUCTIONS.

1 WINDOW - WALL DETAIL - BRICK
3/4" = 1'-0"



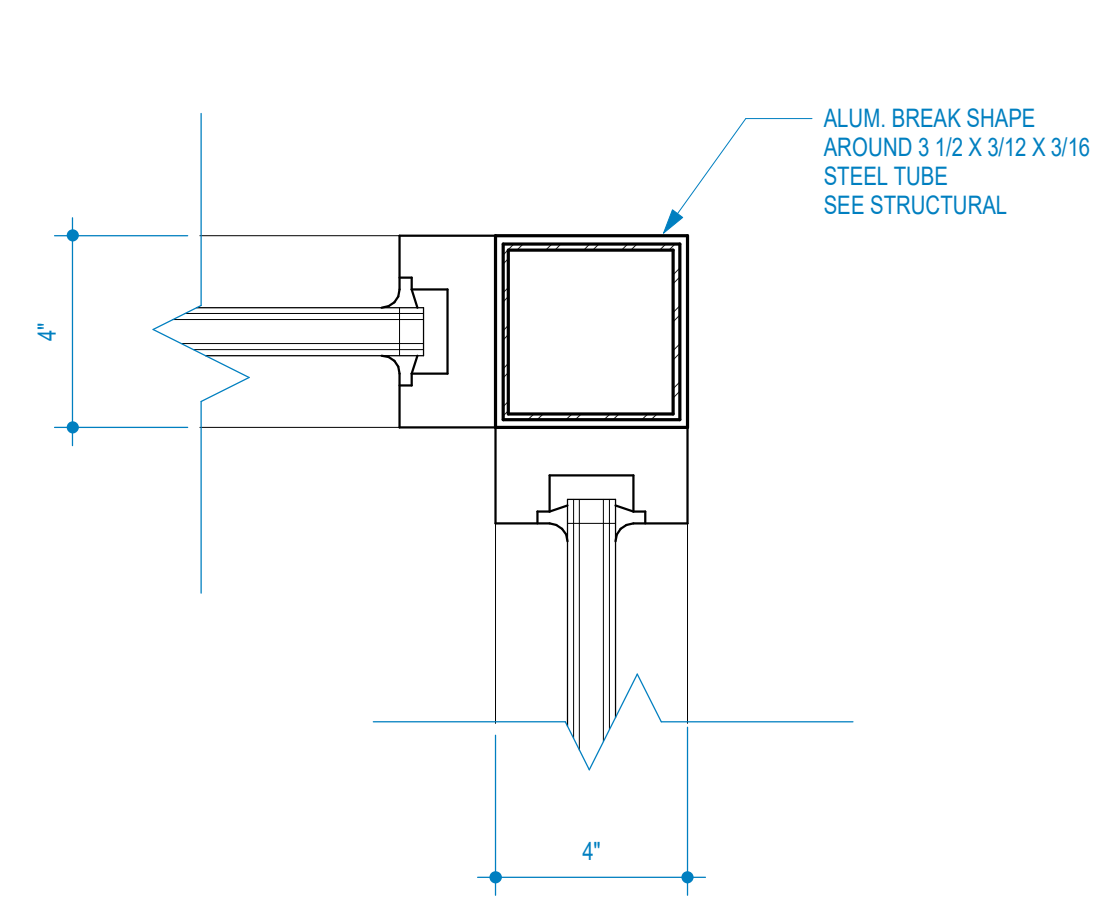
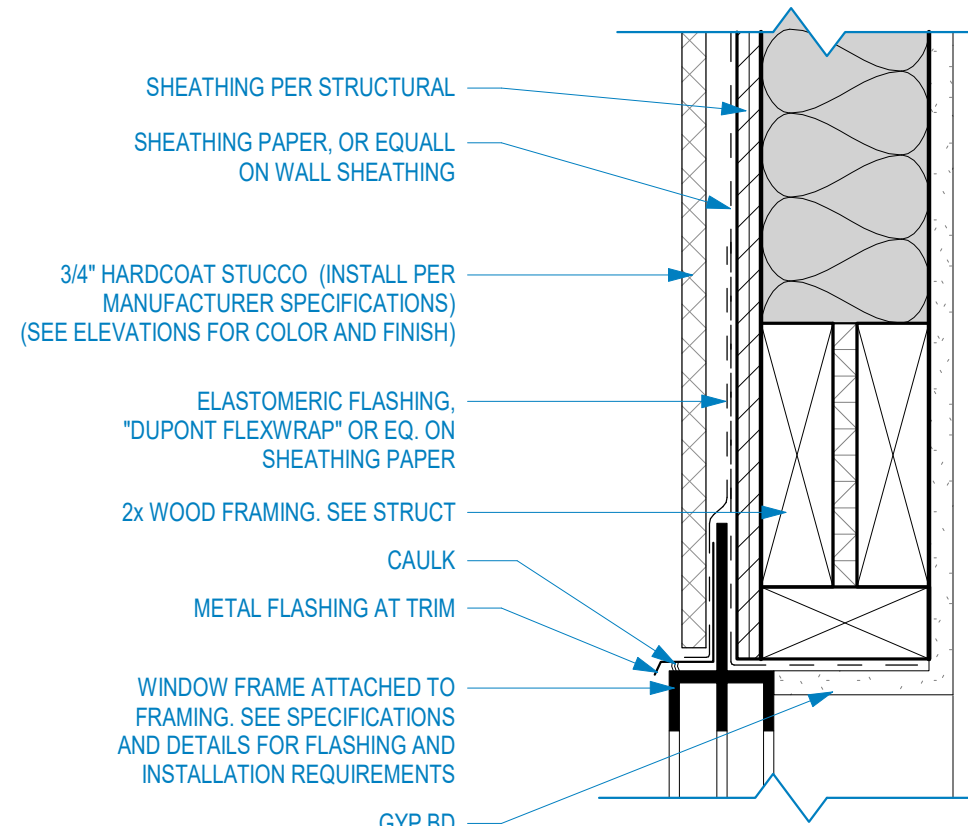
NOTE: PROVIDE FLASHING, COUNTER FLASHING AND WATERPROOF JOINTS PER GENERAL NOTES, BEST SOUND CONSTRUCTION PRACTICES AND MANUFACTURERS WRITTEN INSTRUCTIONS.

2 WINDOW - WALL DETAIL - VERTICAL SIDING
3/4" = 1'-0"

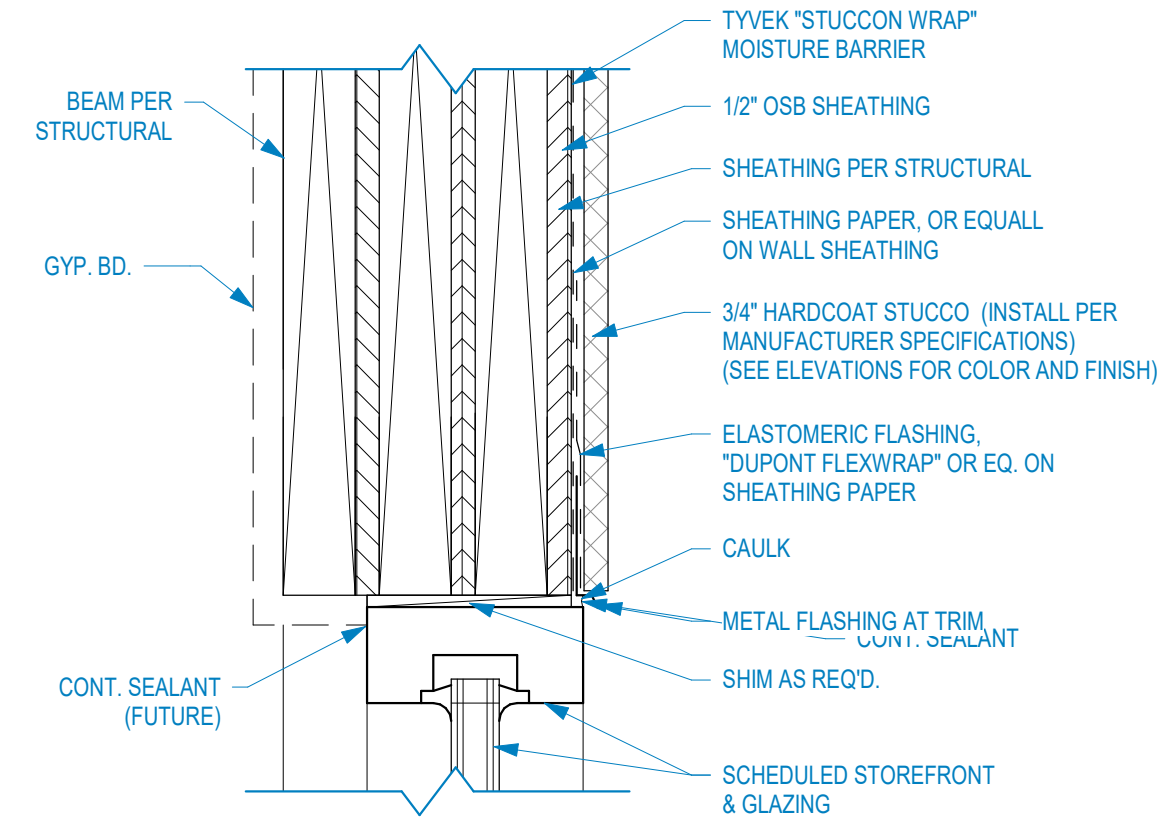


NOTE: PROVIDE FLASHING, COUNTER FLASHING AND WATERPROOF JOINTS PER GENERAL NOTES, BEST SOUND CONSTRUCTION PRACTICES AND MANUFACTURERS WRITTEN INSTRUCTIONS.

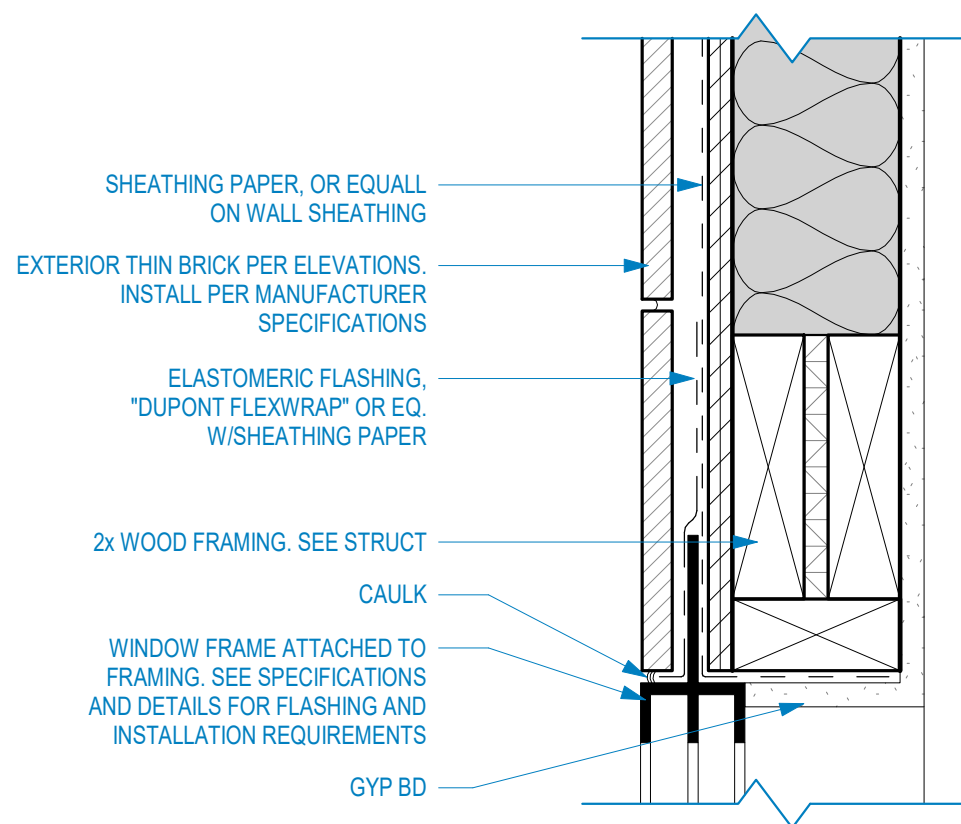
3 WINDOW - WALL DETAIL - STUCCO
3/4" = 1'-0"



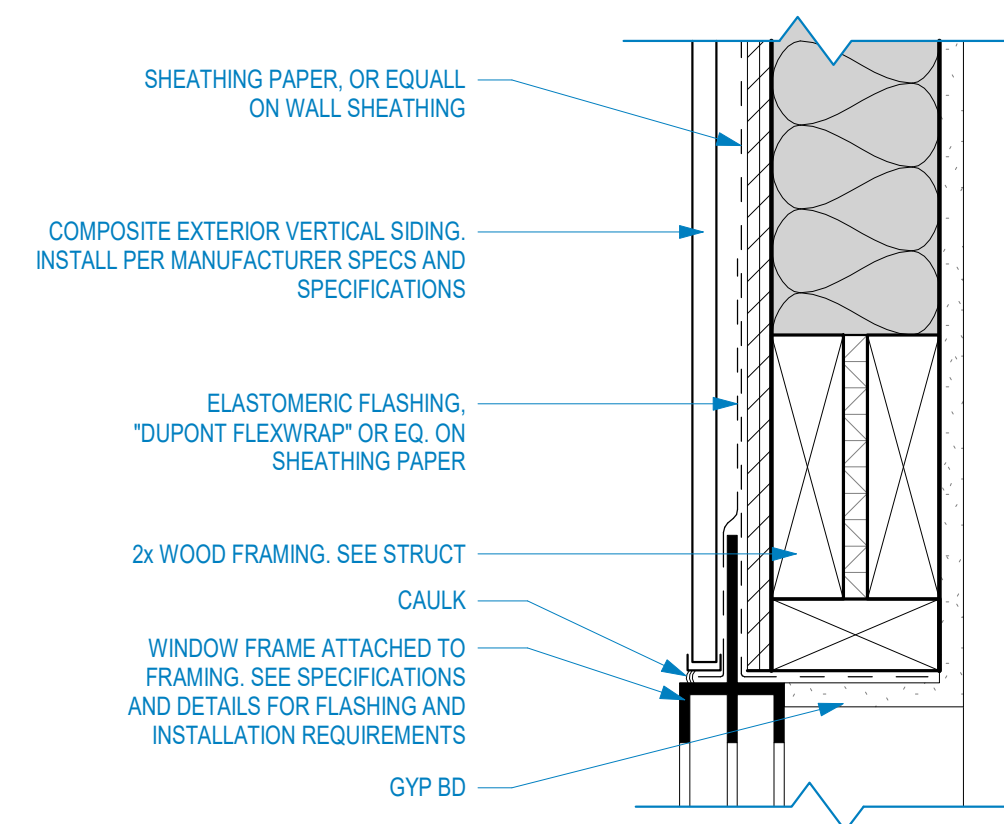
4 STOREFRONT CORNER MULLION DETAIL
3\"/>



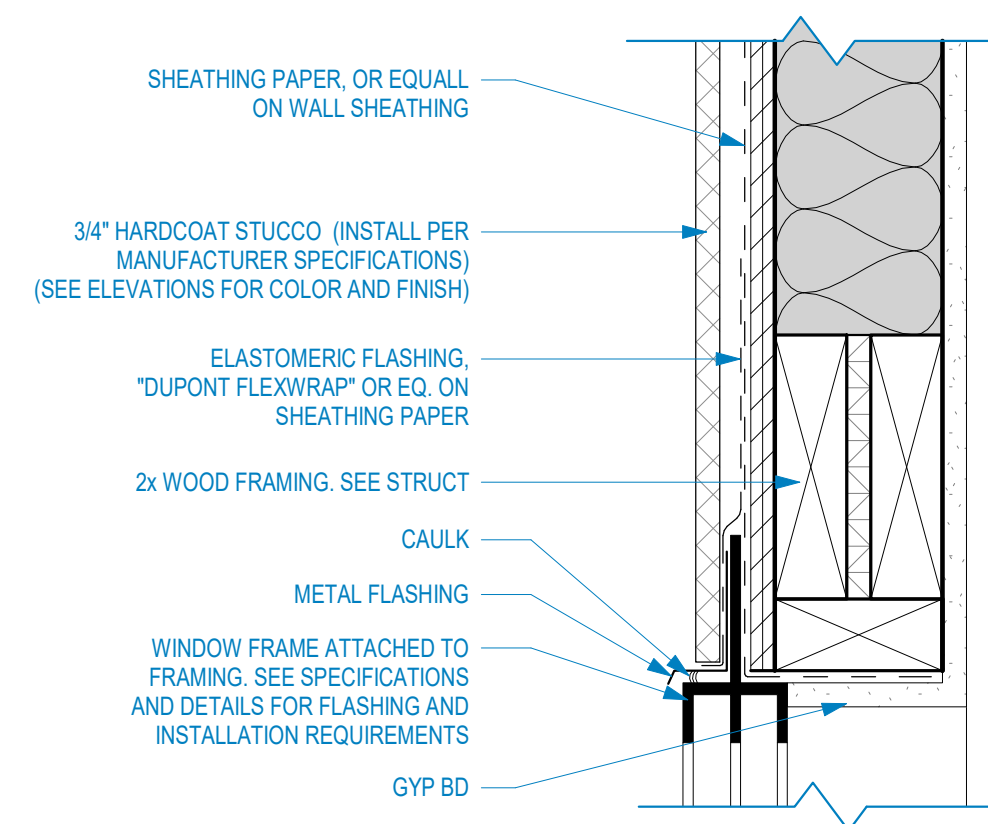
5 WINDOW - HEAD - BRICK
3\"/>



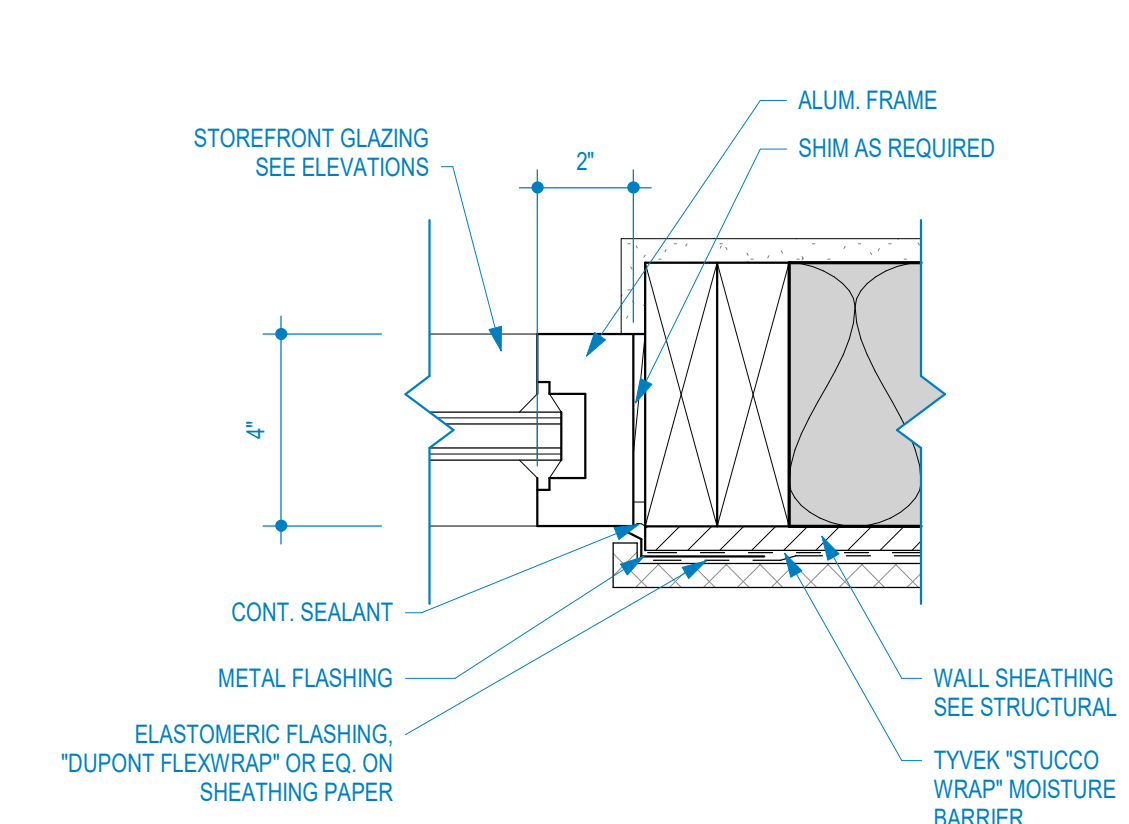
6 WINDOW - HEAD - VERTICAL SIDING
3\"/>



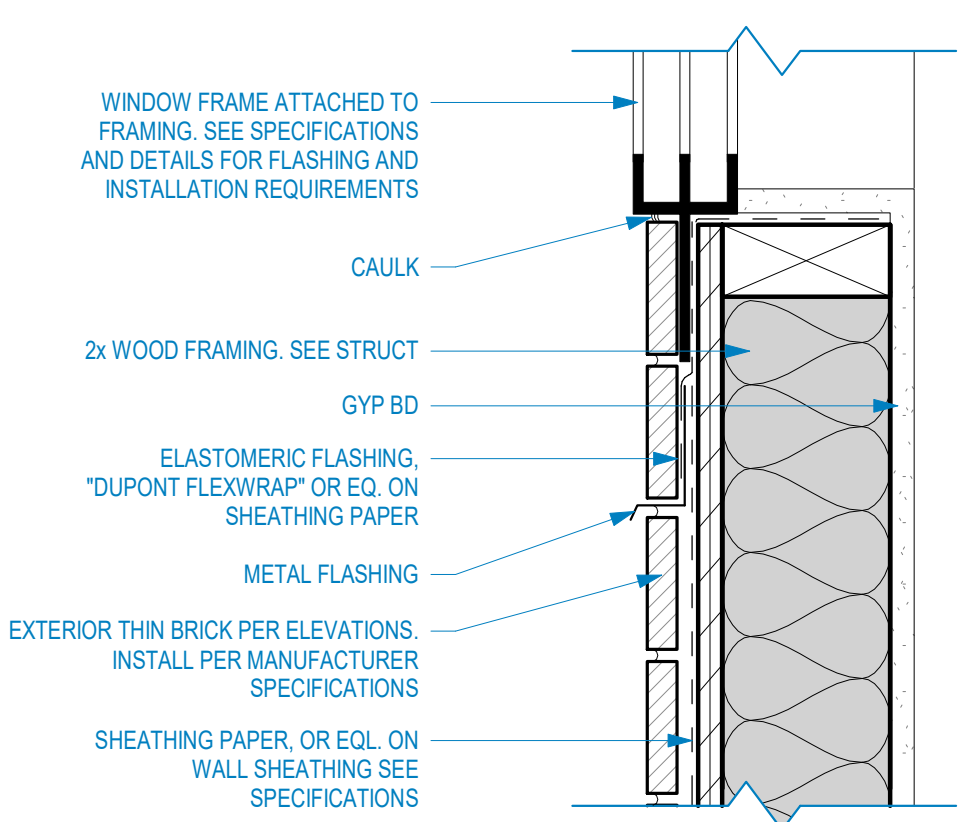
7 WINDOW - HEAD - STUCCO
3\"/>



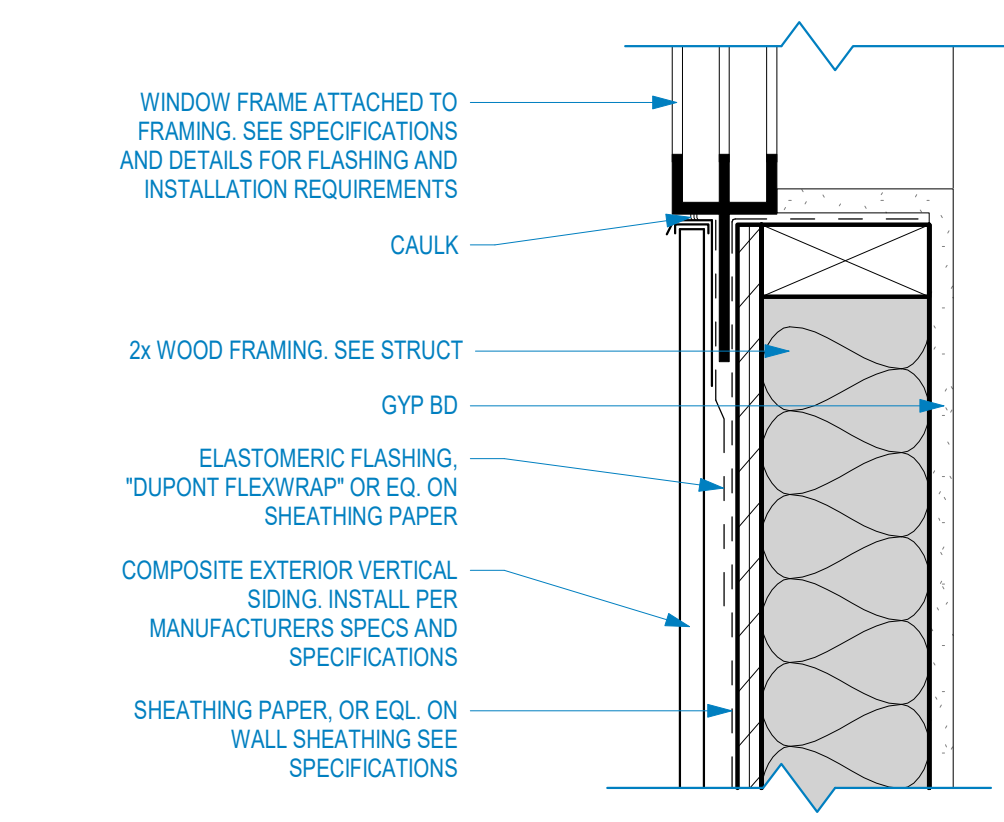
8 STOREFRONT HEAD
3\"/>



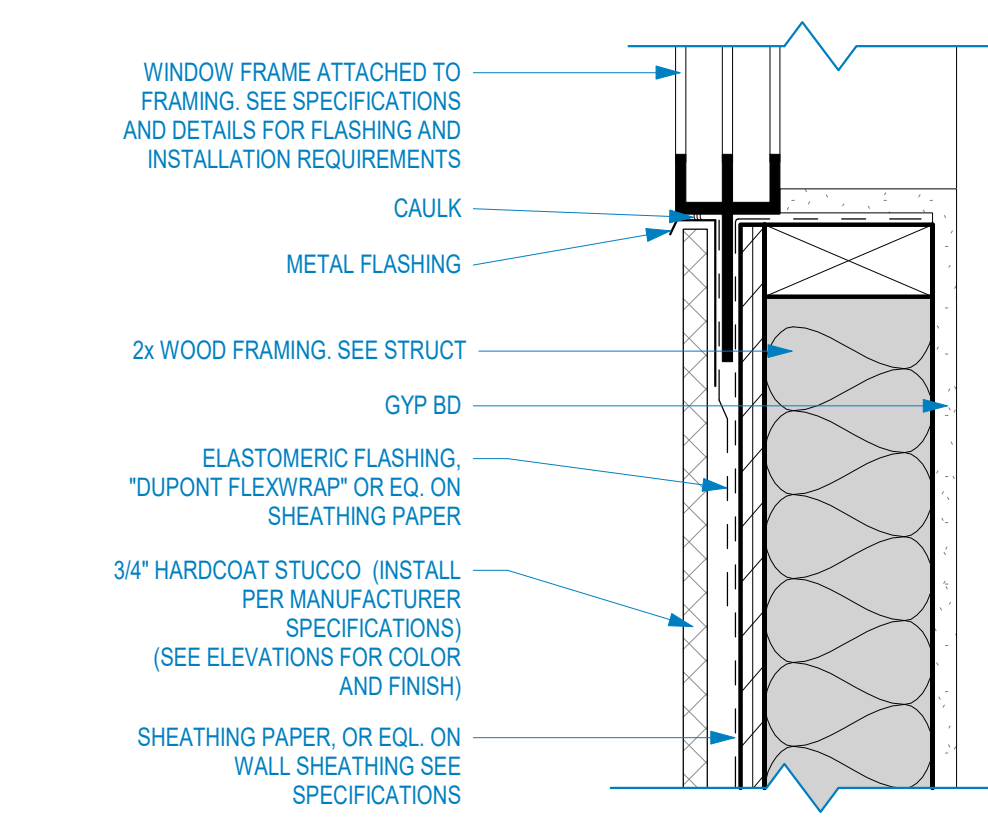
9 WINDOW - JAMB - BRICK
3\"/>



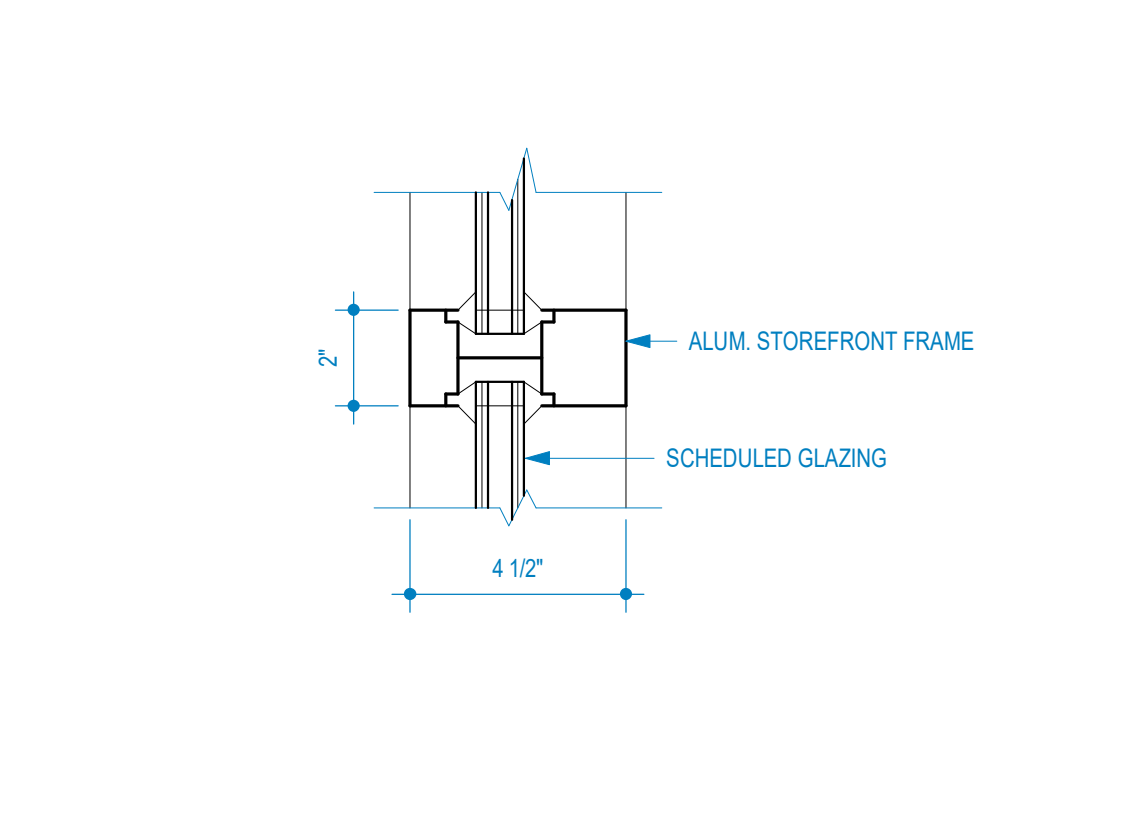
10 WINDOW - JAMB - VERTICAL SIDING
3\"/>



11 WINDOW - JAMB - STUCCO
3\"/>



12 STOREFRONT JAMB
3\"/>



13 WINDOW - SILL - BRICK
3\"/>



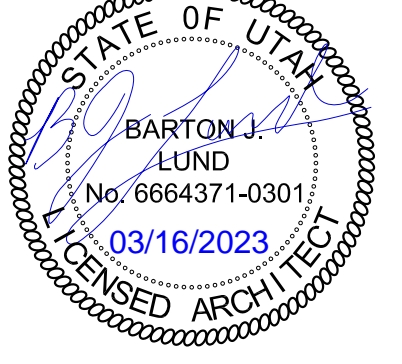
14 WINDOW - SILL - VERTICAL SIDING
3\"/>



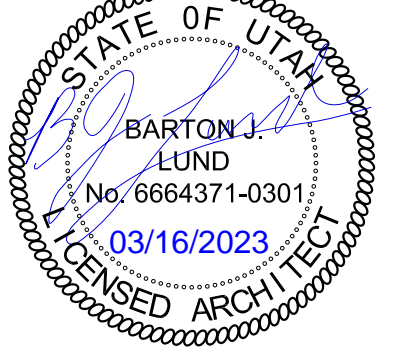
15 WINDOW - SILL - STUCCO
3\"/>



16 STOREFRONT MULLION
3\"/>



SEAL:



PRIMARY HOME PERMIT# BLD2022-10168

ADU PERMIT# BLD2022-10571

project:
1005 PRINCETON AVE. E, B
SALT LAKE CITY, UT 84105

project no: 22041

date: 2023.03.16

revisions:

CONSTRUCTION DOCUMENTS

sheet:
FLASHING
DETAILS

A605

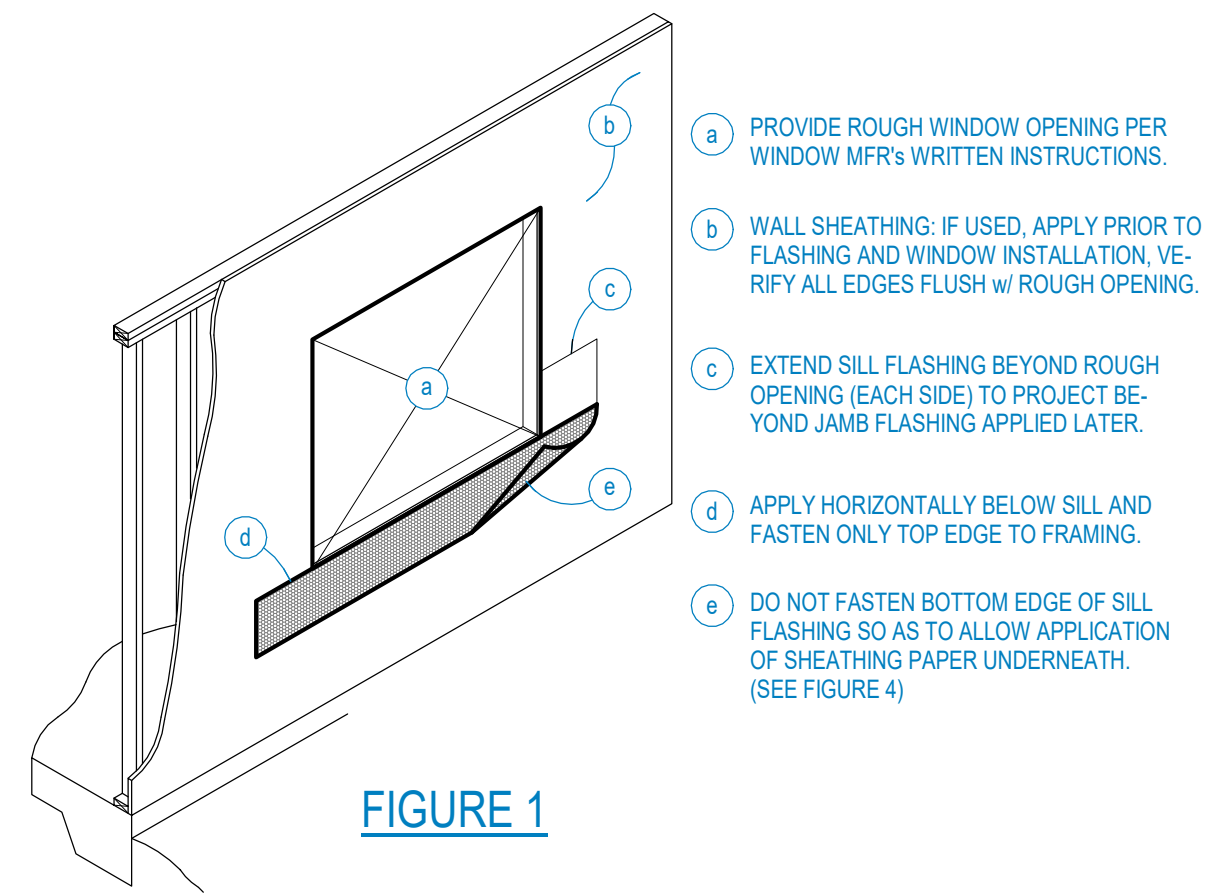
SHEET SIZE: 24" x 36"

NOTE: THIS DETAIL IS SCHEMATIC ONLY. IT IS INTENDED TO DESIGNATE STANDARD PRACTICE FOR INSTALLATION OF RESIDENTIAL WINDOWS WITH A MOUNTING FLANGE IN STUD FRAME CONSTRUCTION PER REQUIREMENTS OF AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION, DOCUMENT AAMA 2400-02 (FORMERLY CAWM 400-95).

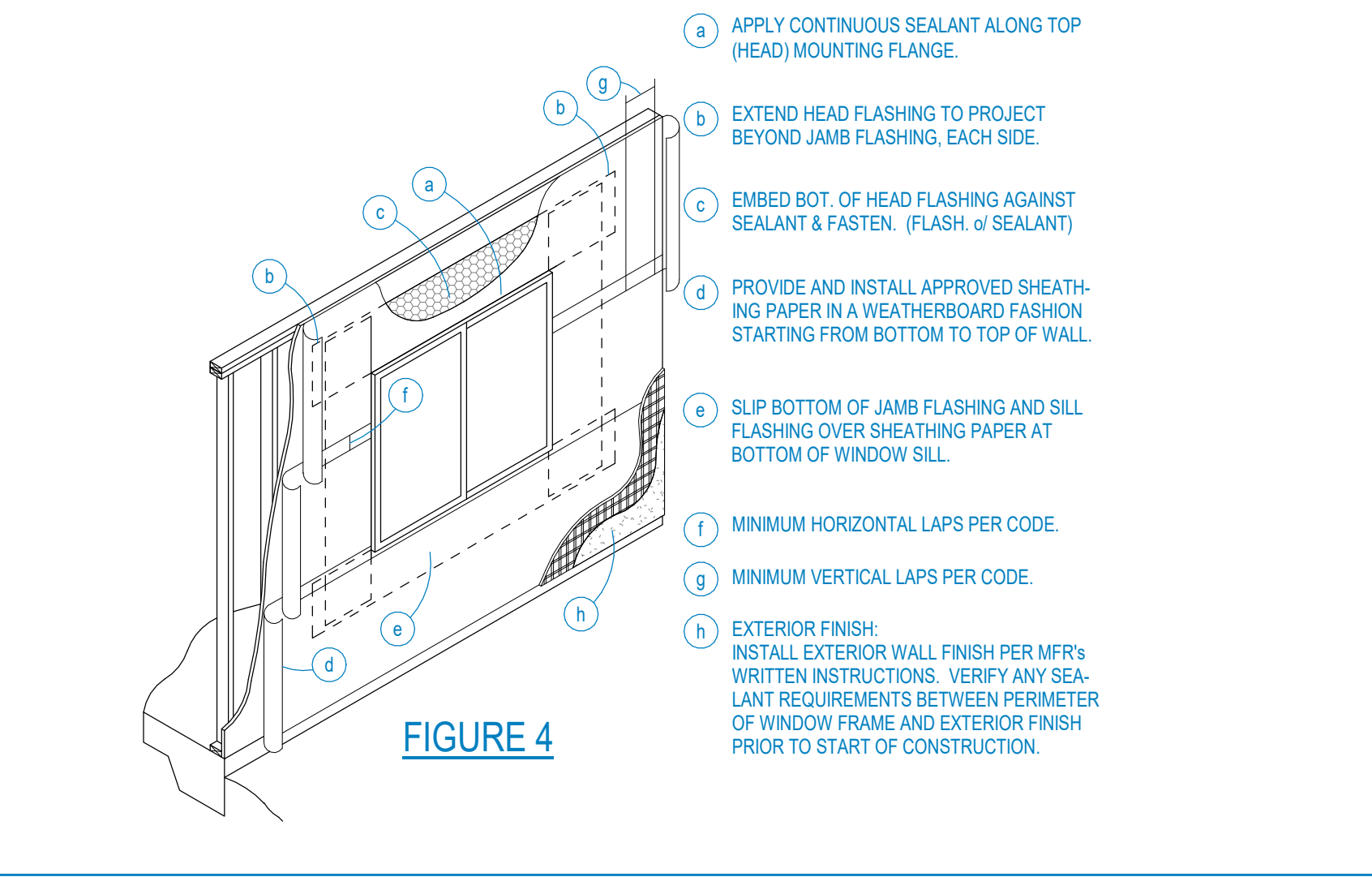
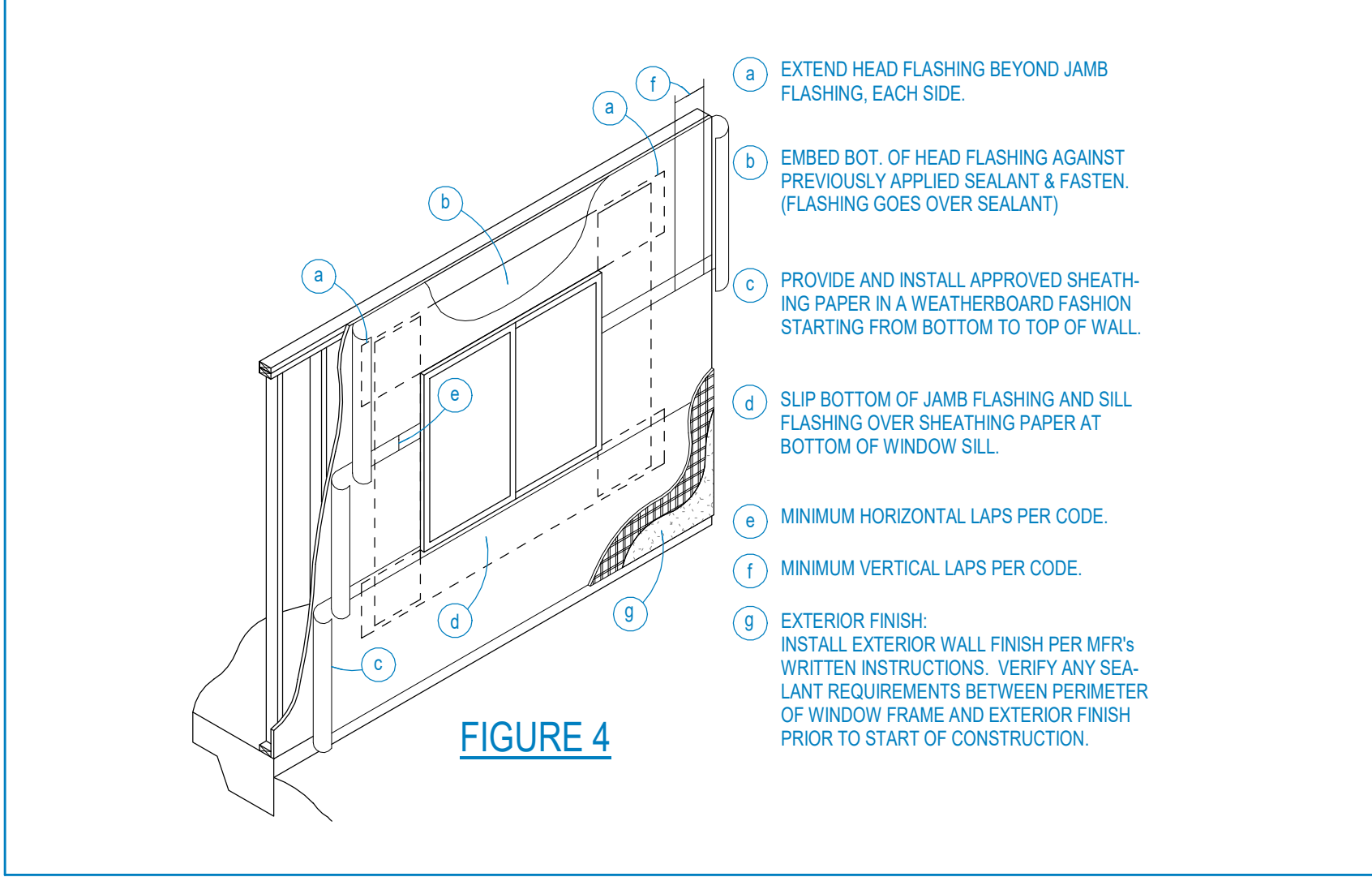
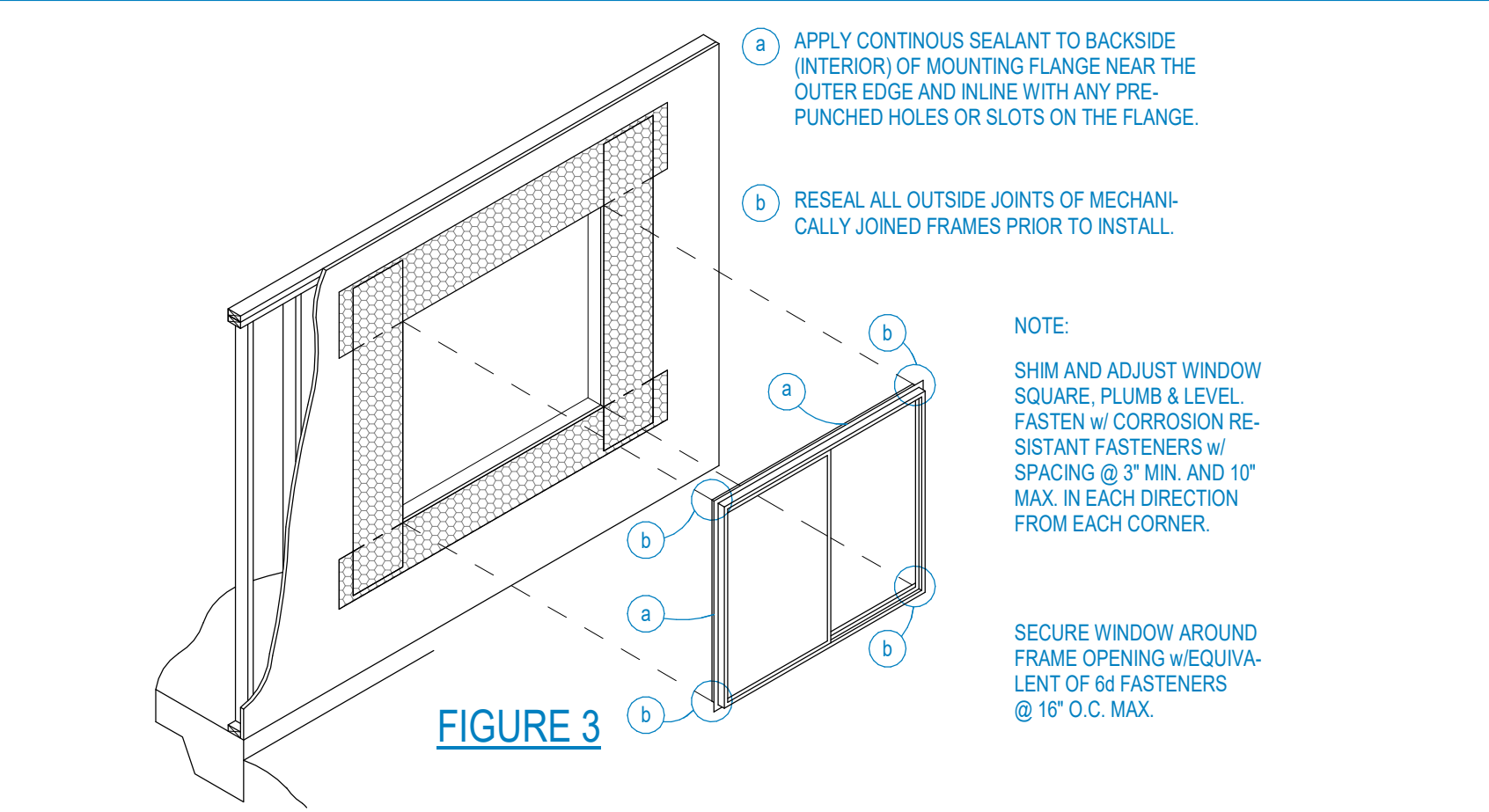
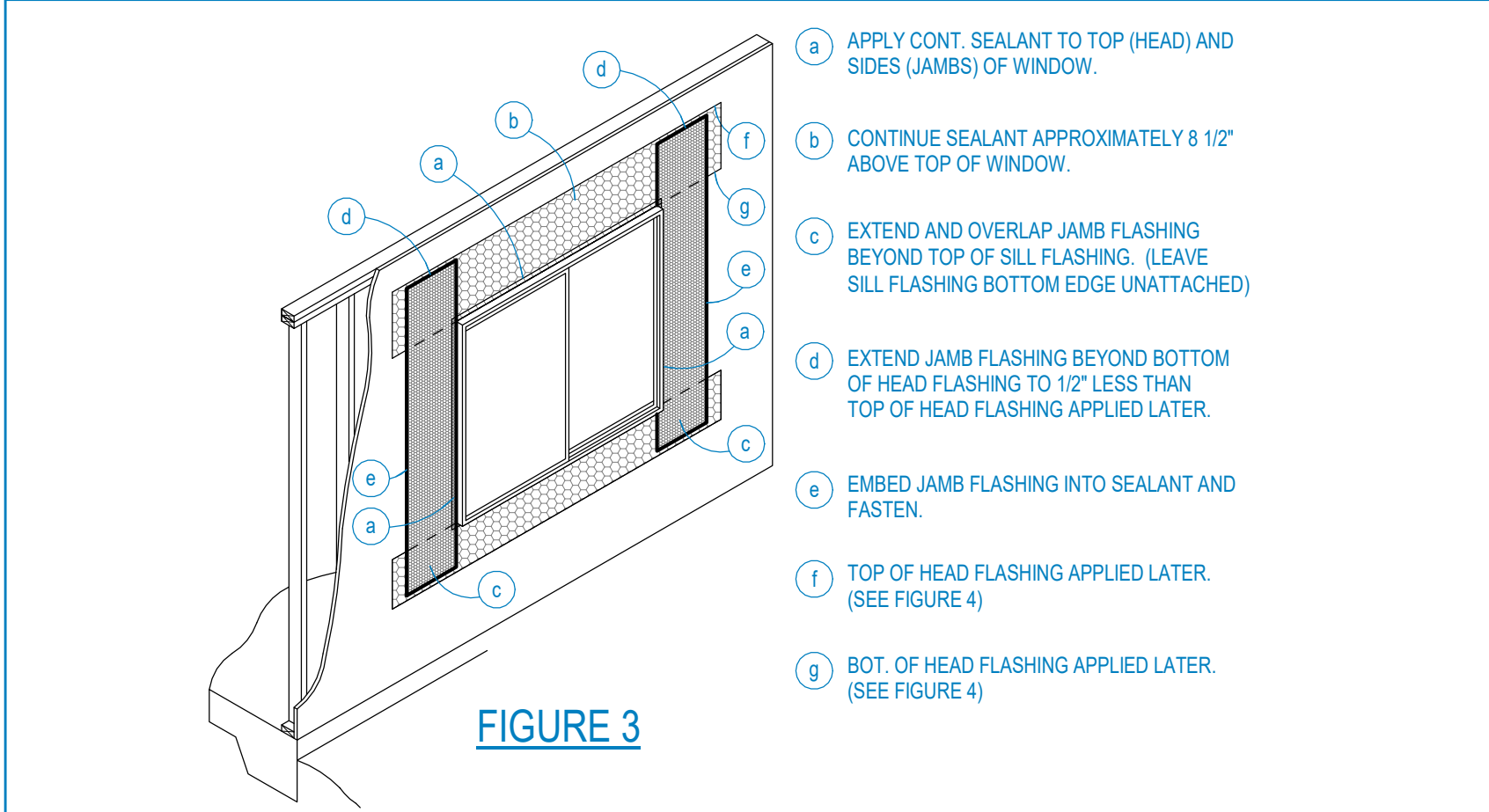
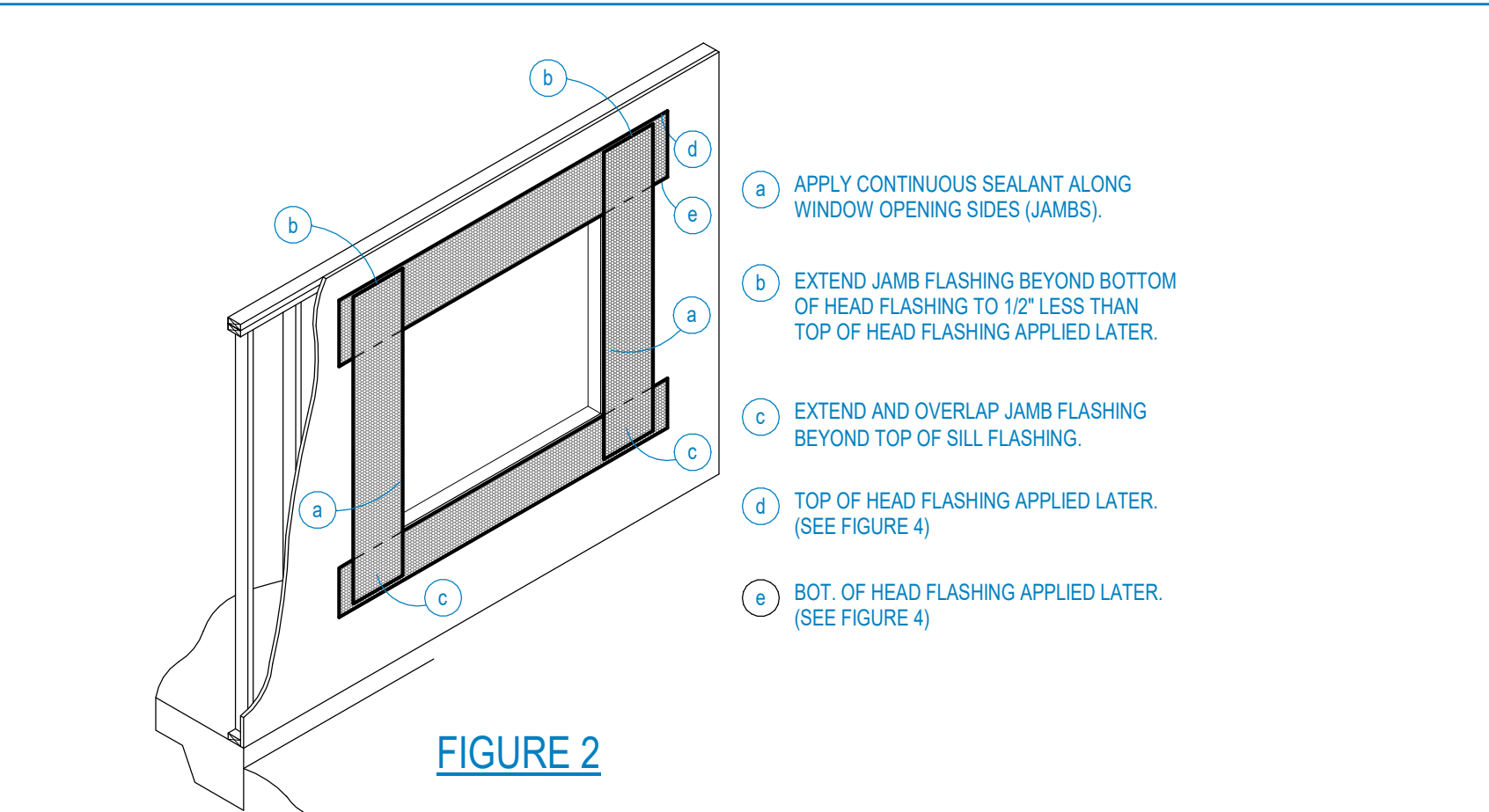
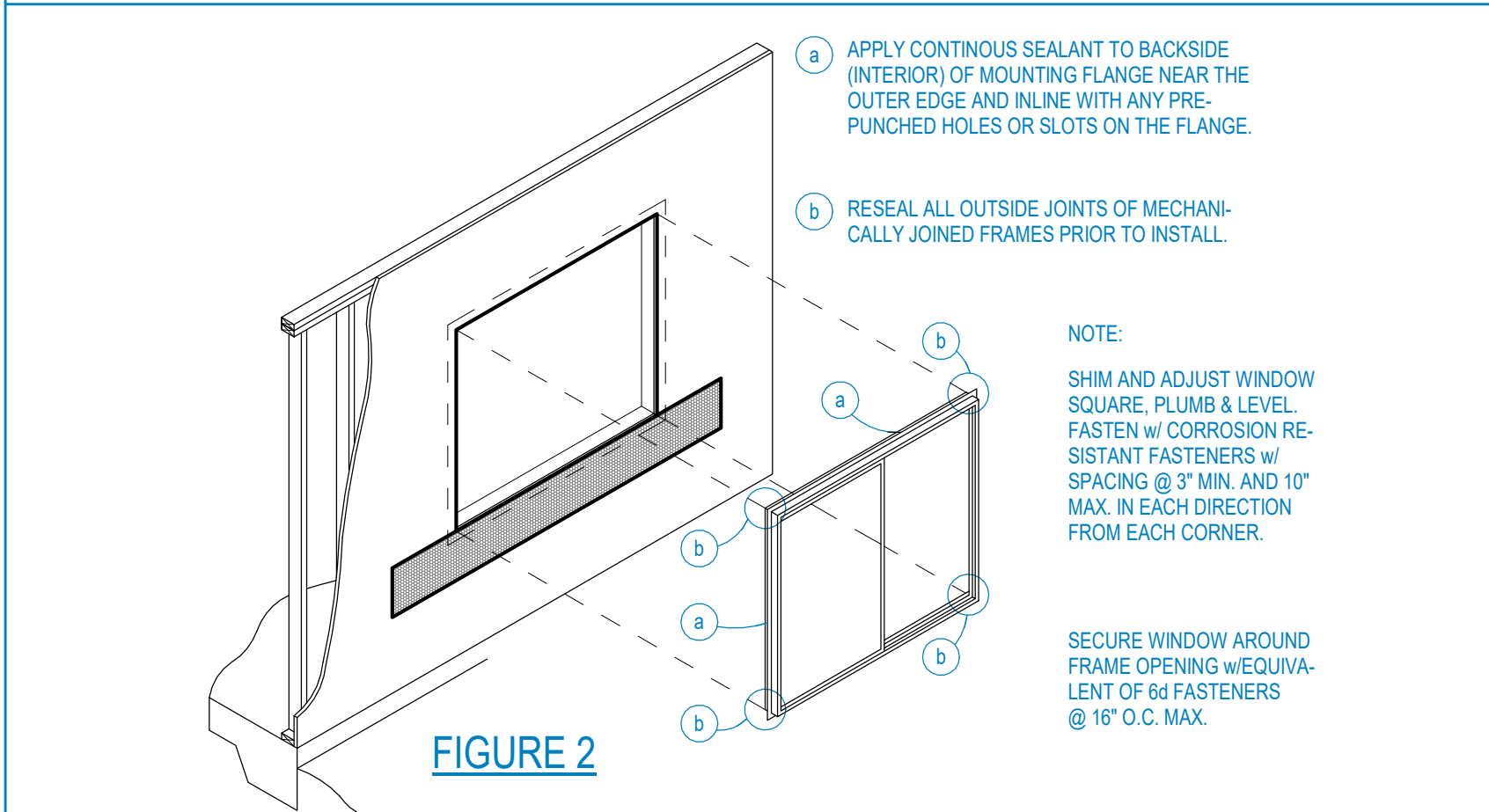
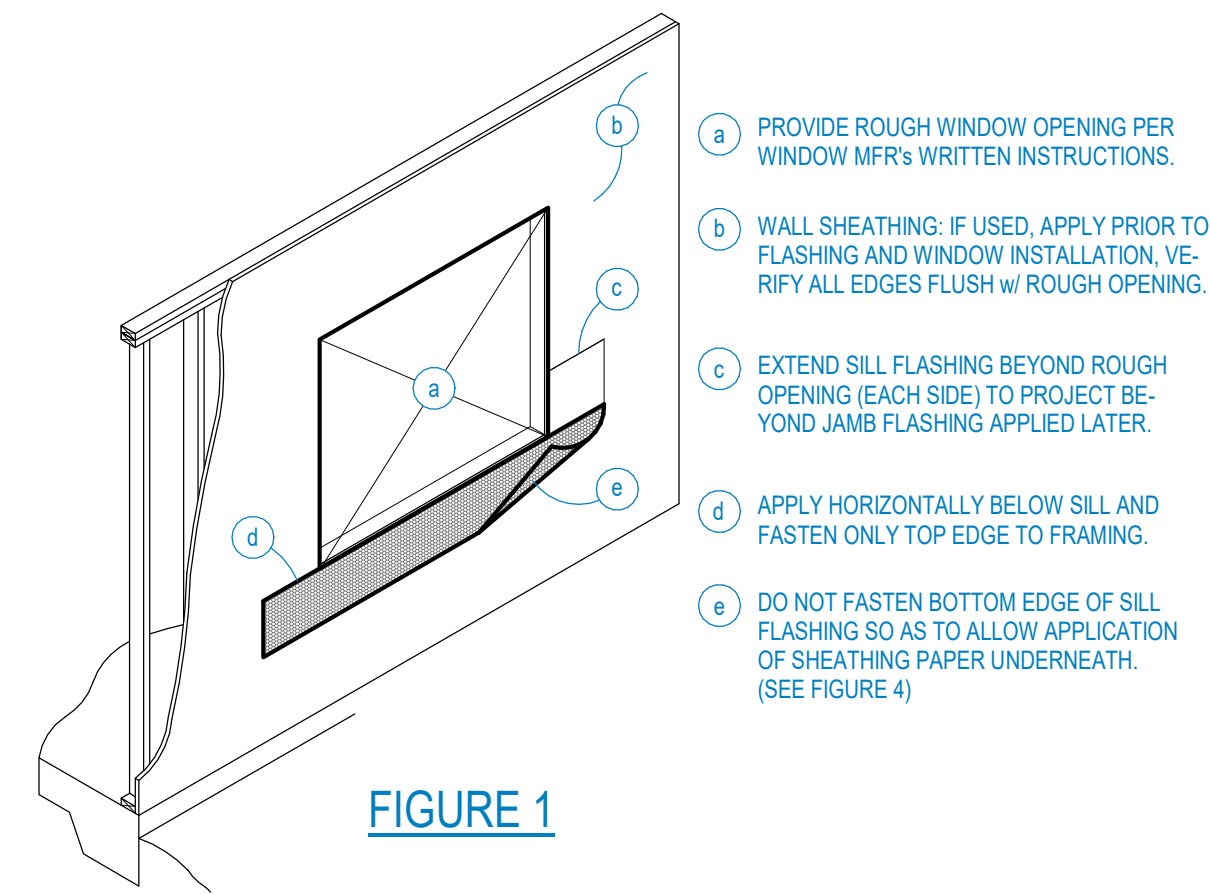
WINDOWS DESIGNATED IN THE DRAWINGS ARE SPECIFIED BY THE BUILDER. STANDARD AAMA 2400-02 IS NOT INTENDED TO REPLACE A MANUFACTURER'S INSTALLATION INSTRUCTIONS OR FEDERAL, STATE, OR LOCAL BUILDING CODES ADOPTED BY A GOVERNING MUNICIPALITY.

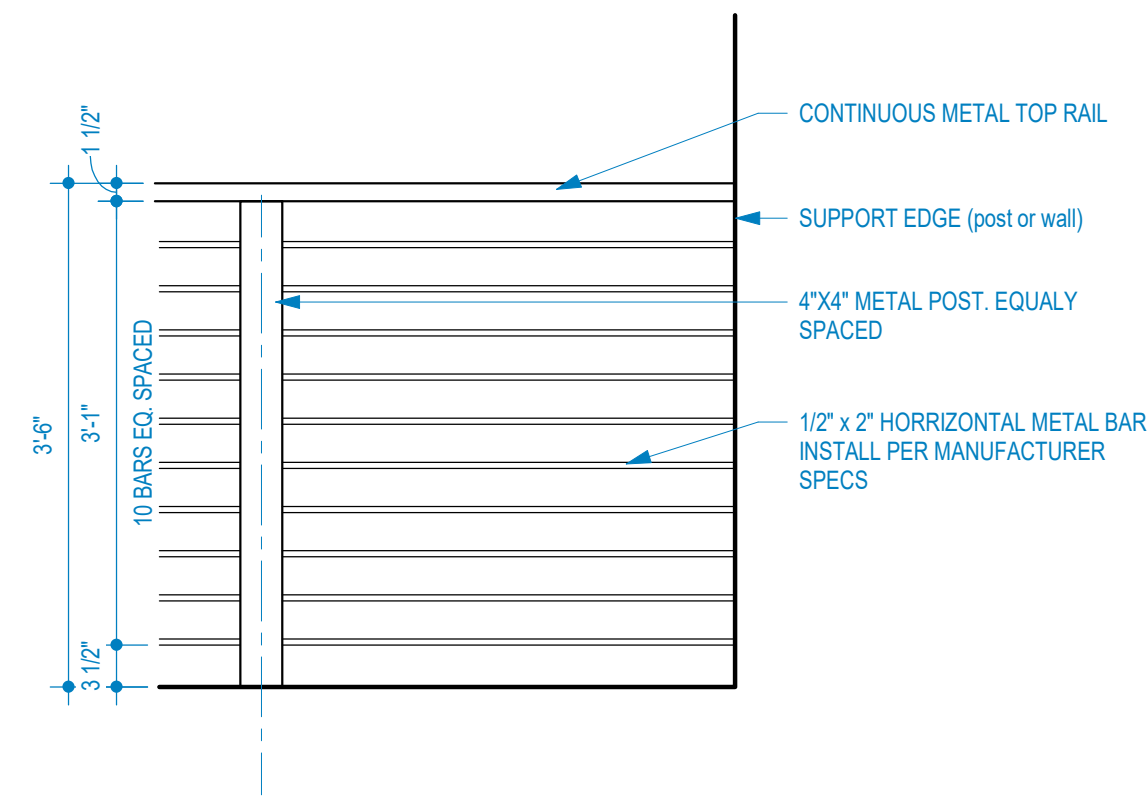
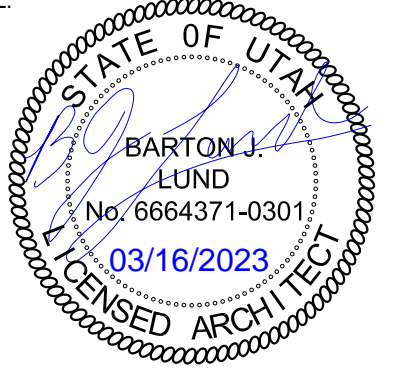
VERIFY ALL REQUIRED FLASHING, SHEATHING PAPER, SEALANT, FASTENERS, MFR'S INSTALLATION INSTRUCTIONS, AND CODE COMPLIANCE PRIOR TO START OF CONSTRUCTION.

METHOD "A"

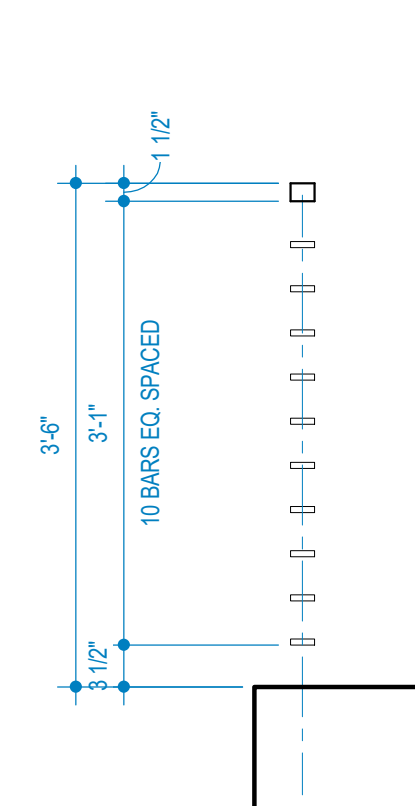


METHOD "B"

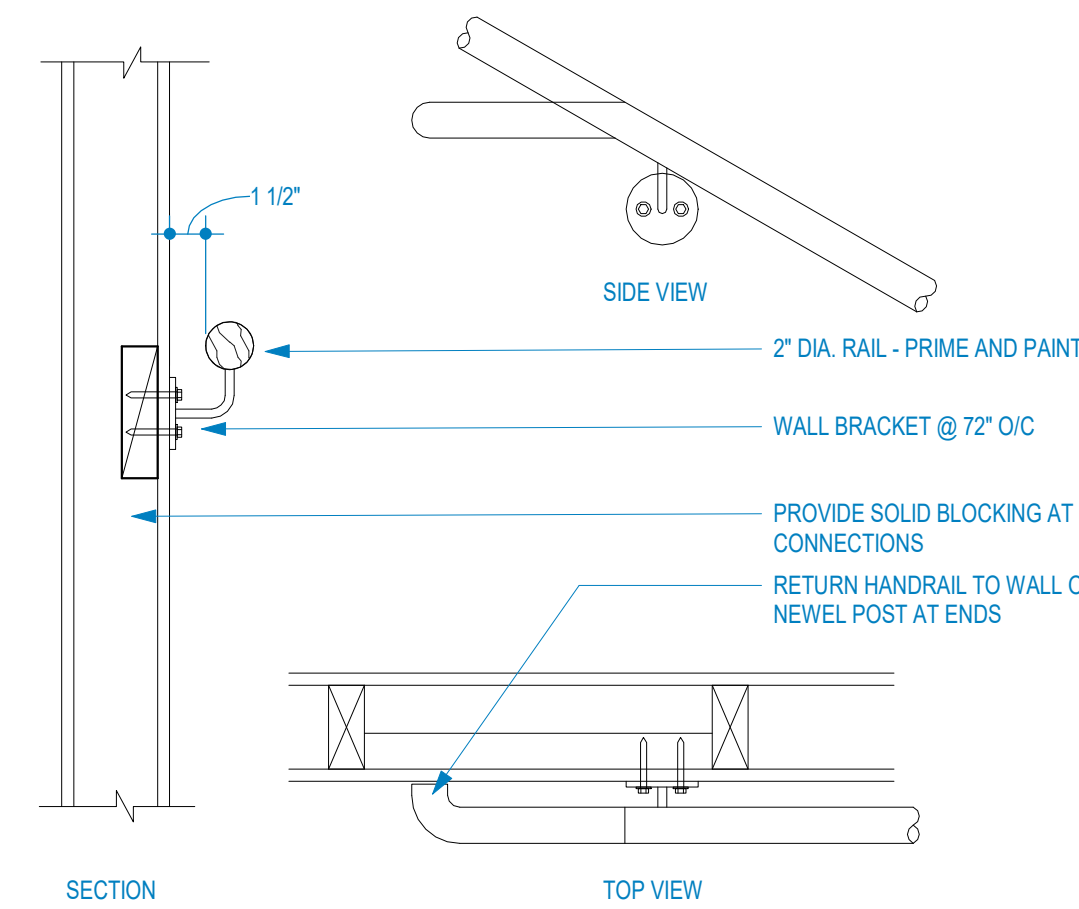




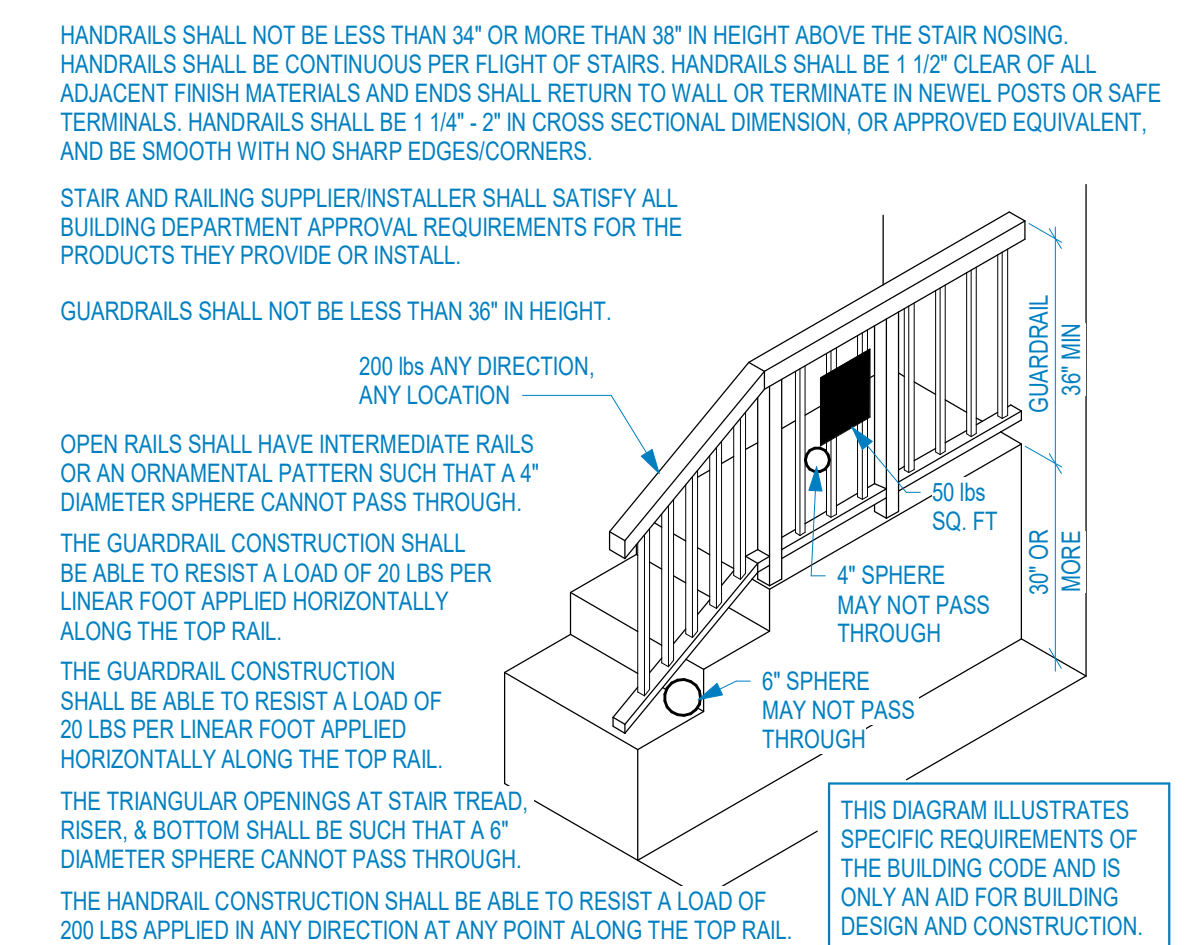
1 R1 - RAILING, HORIZONTAL METAL BAR
3/4" = 1'-0"



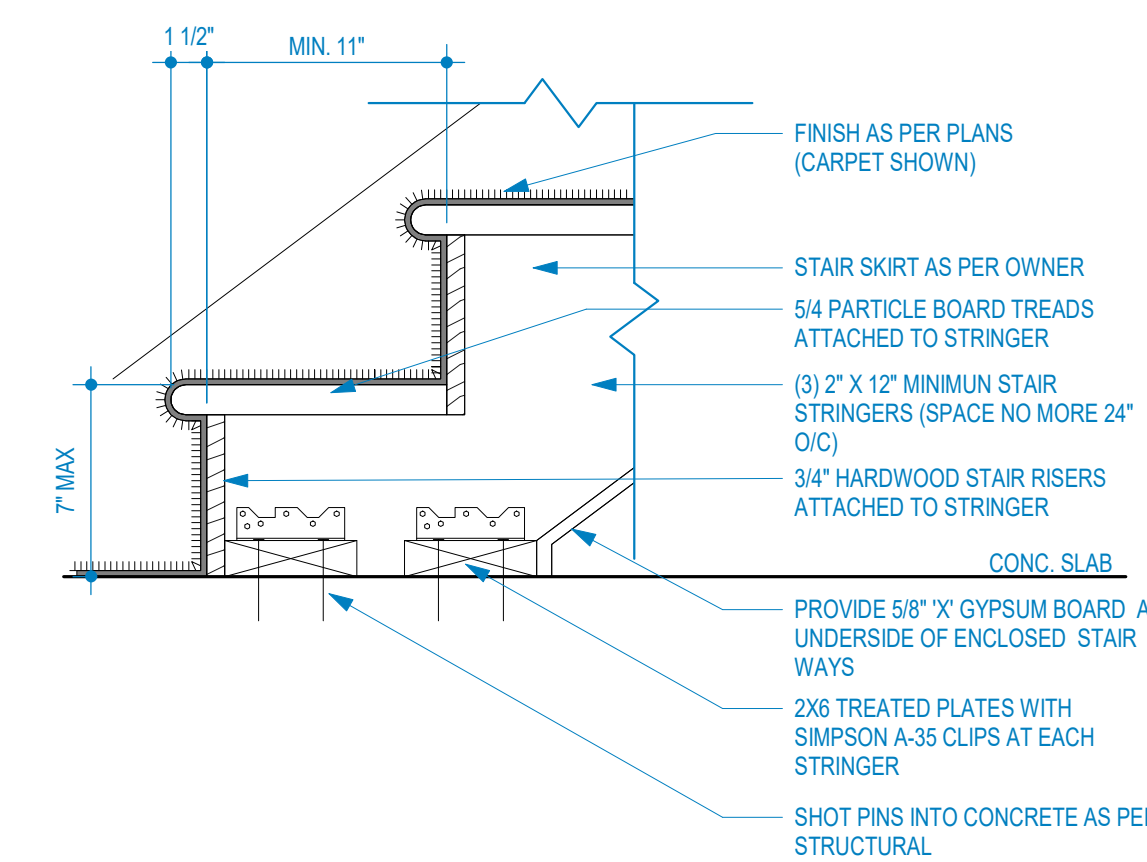
2 HANDRAIL DETAIL
6" = 1'-0"



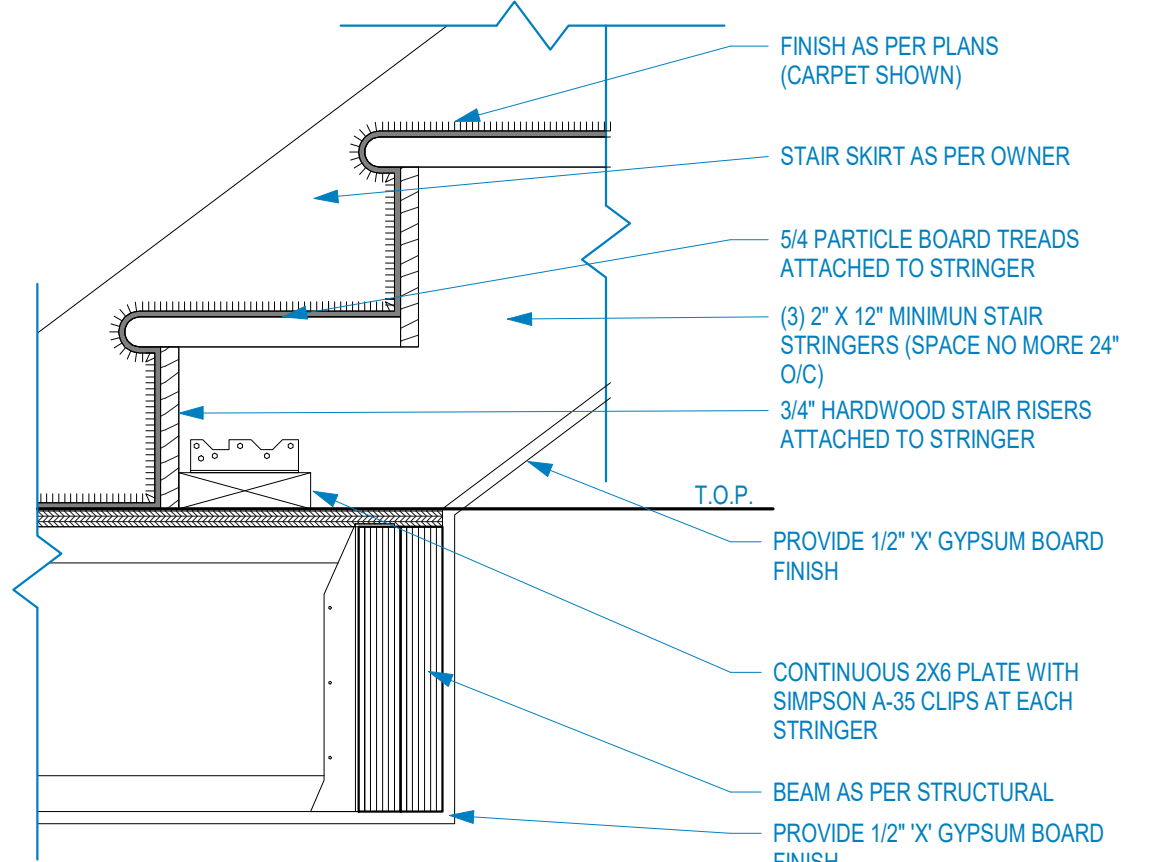
3 HAND RAIL ATTACHMENT DETAIL
1 1/2" = 1'-0"



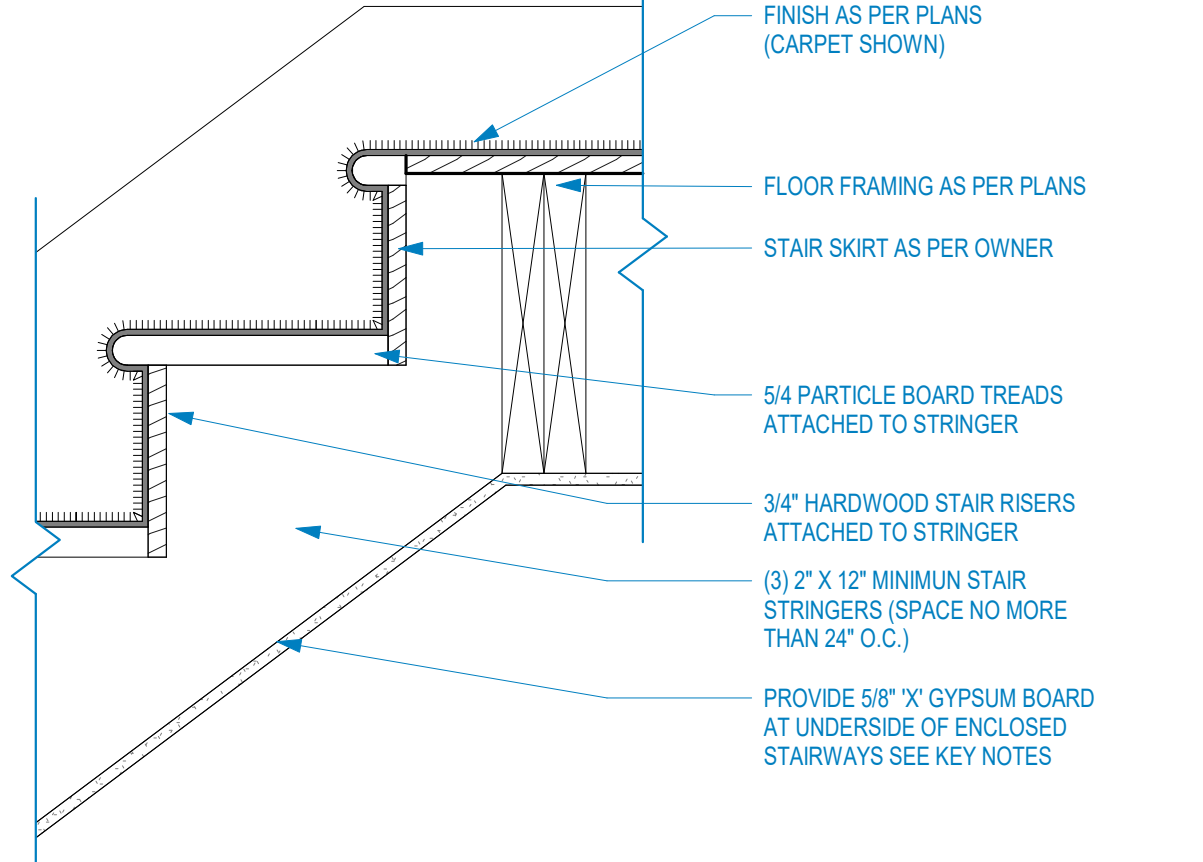
4 STAIR - HANDRAIL/GUARDRAIL
1/4" = 1'-0"



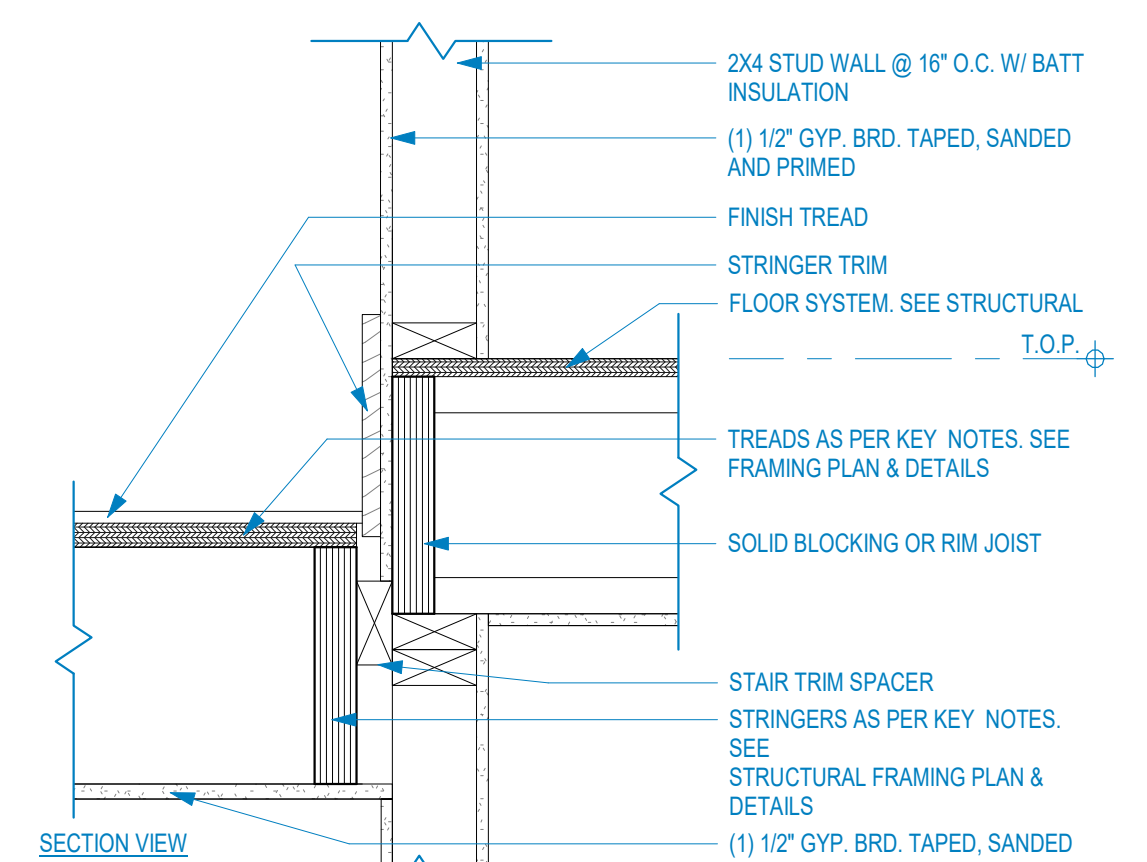
5 STAIR DETAIL BASE AT CONC. FLOOR
1 1/2" = 1'-0"



6 STAIR DETAIL - FRAMED FLOOR
1 1/2" = 1'-0"

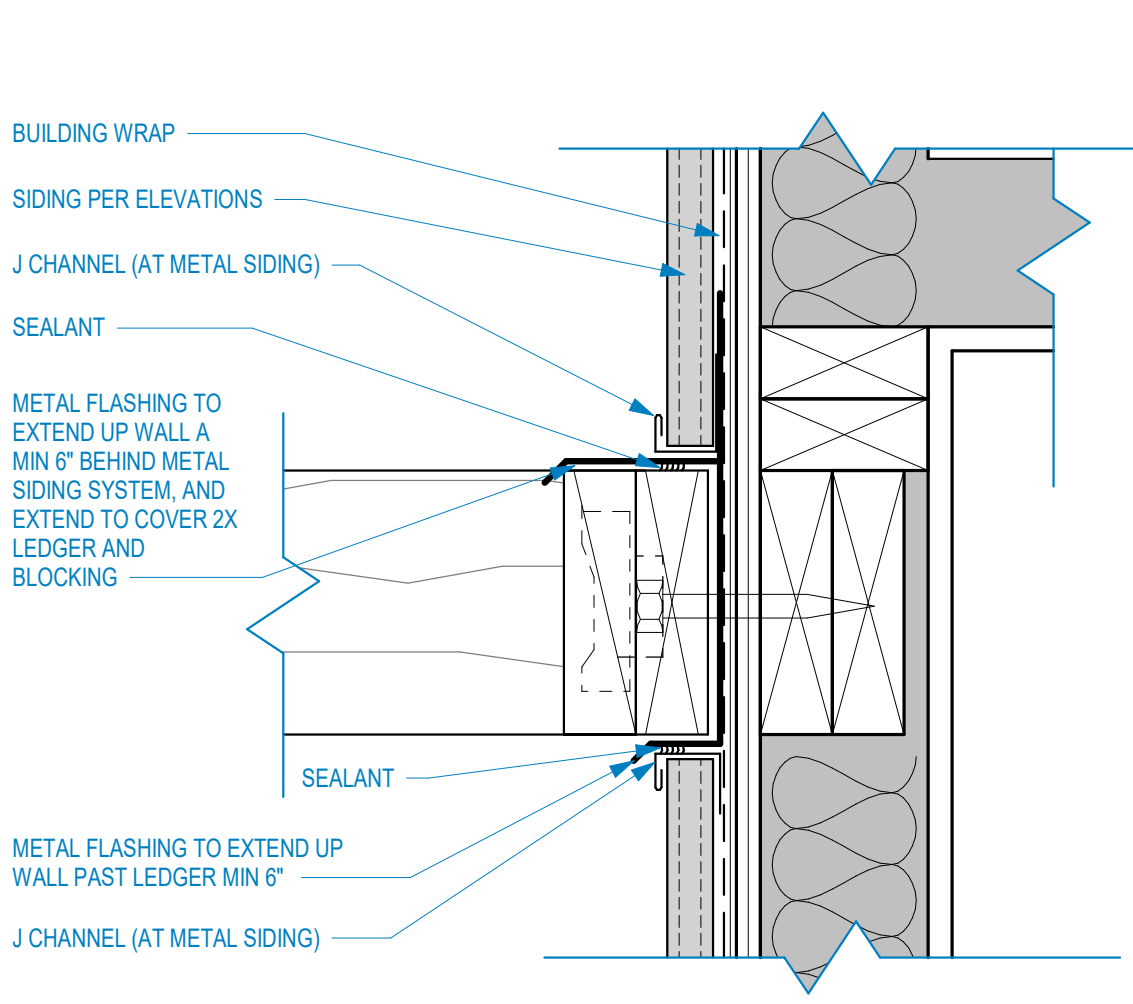
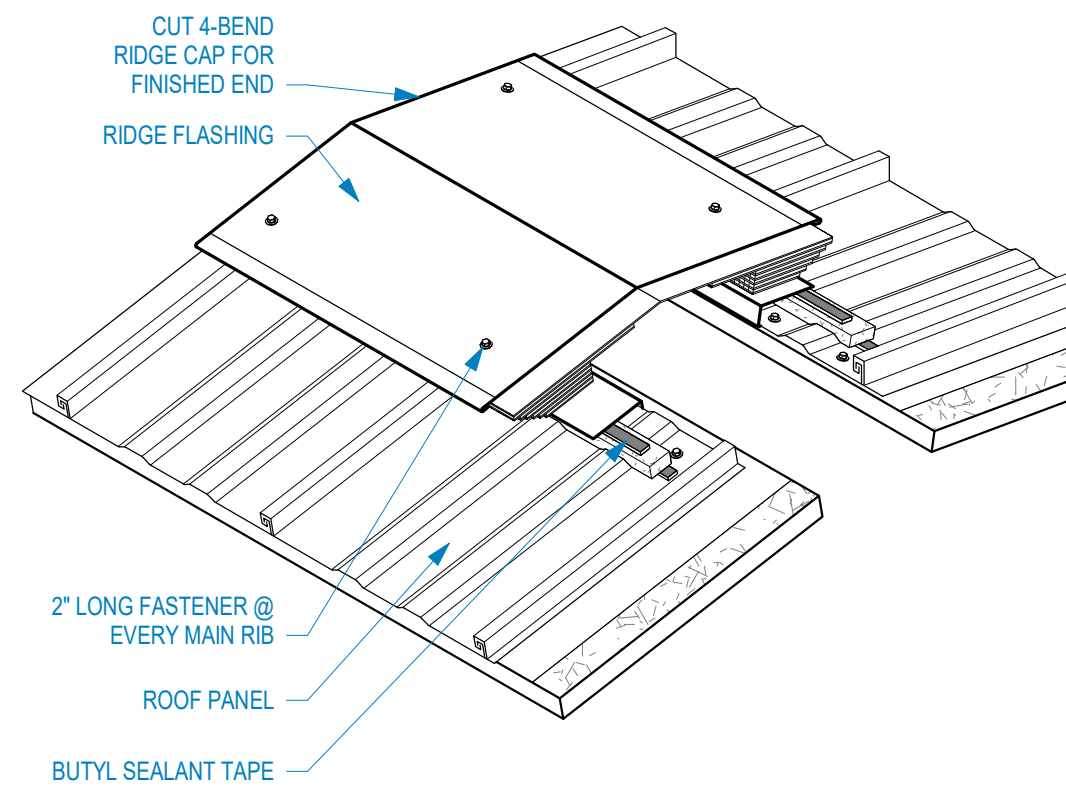
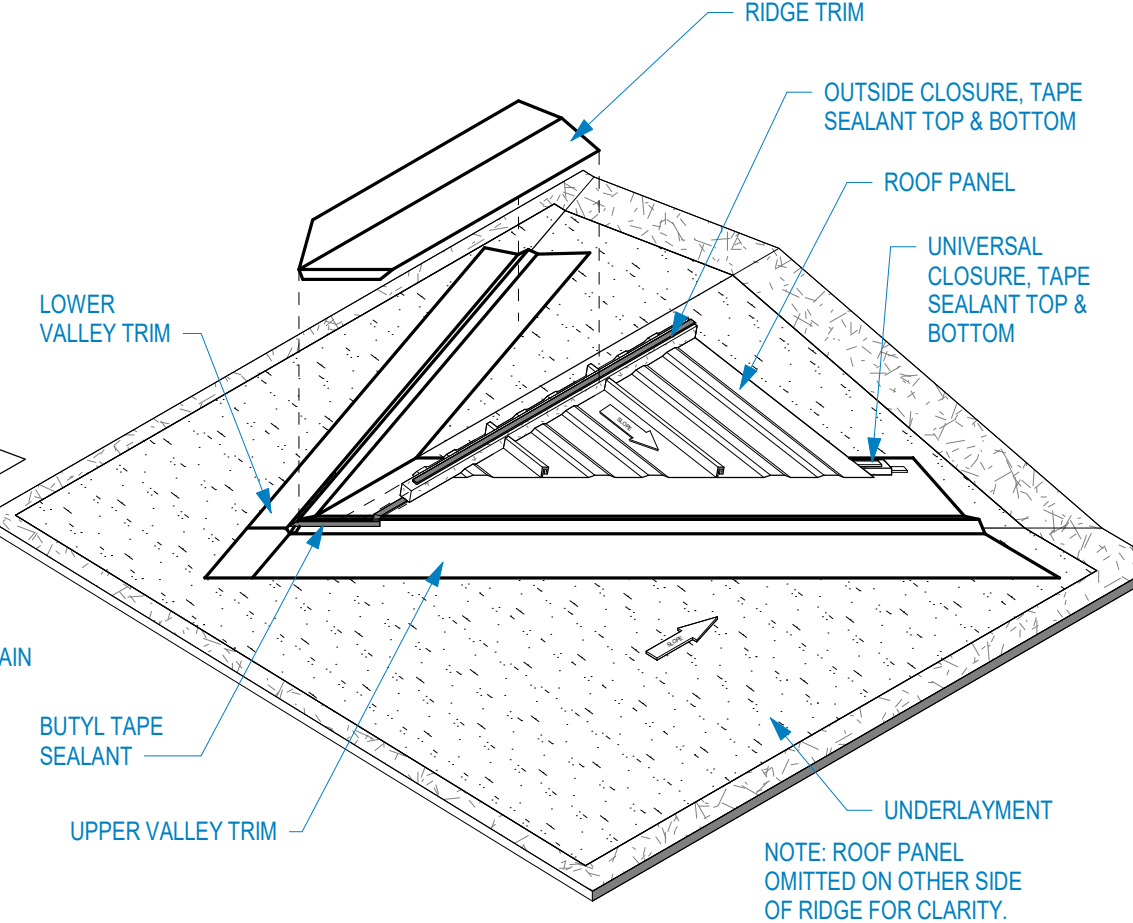
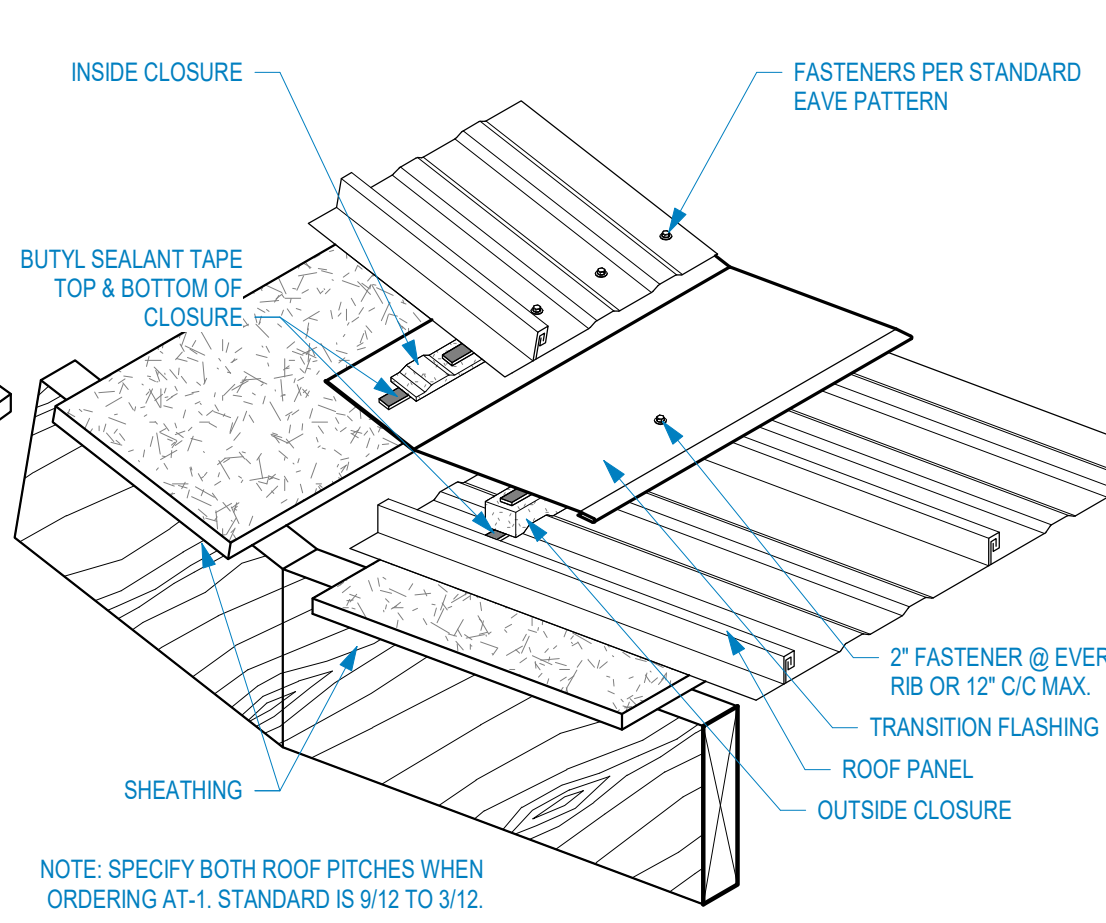
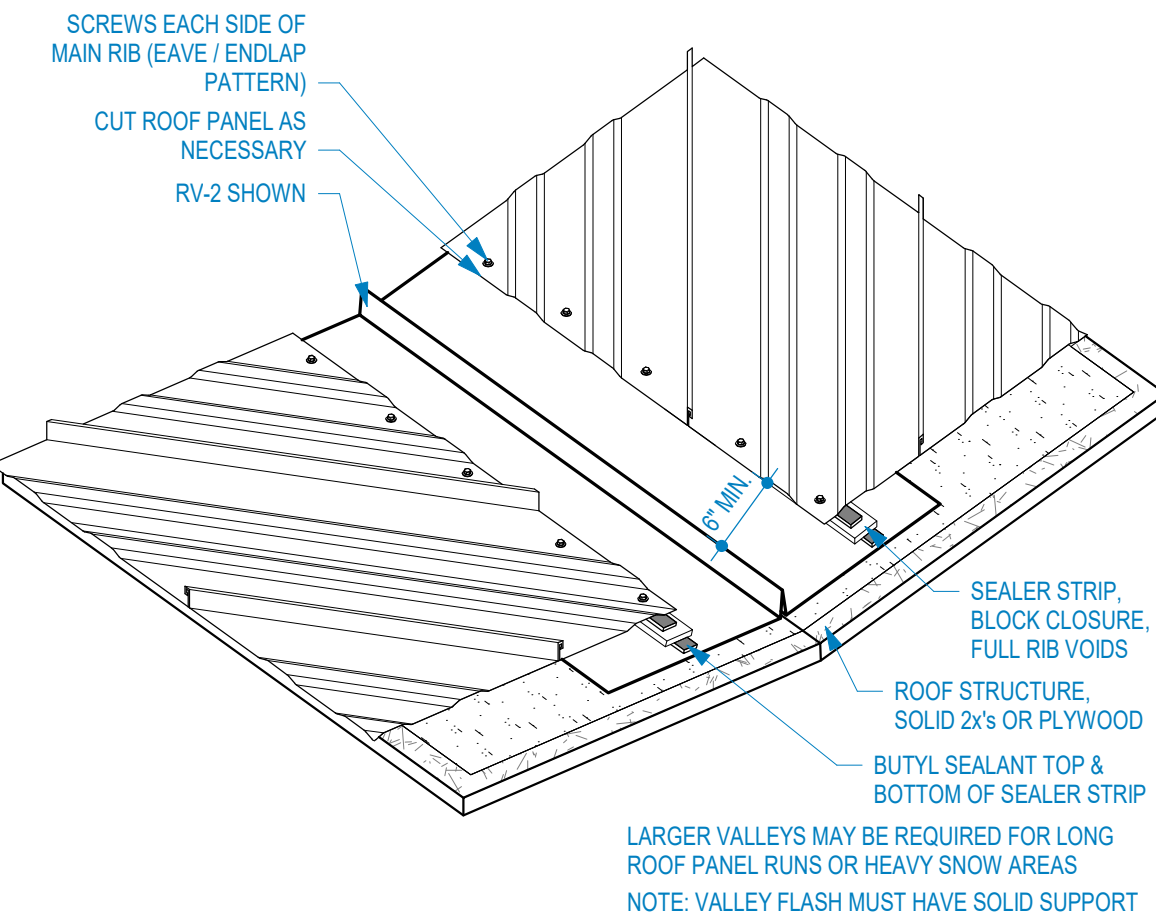
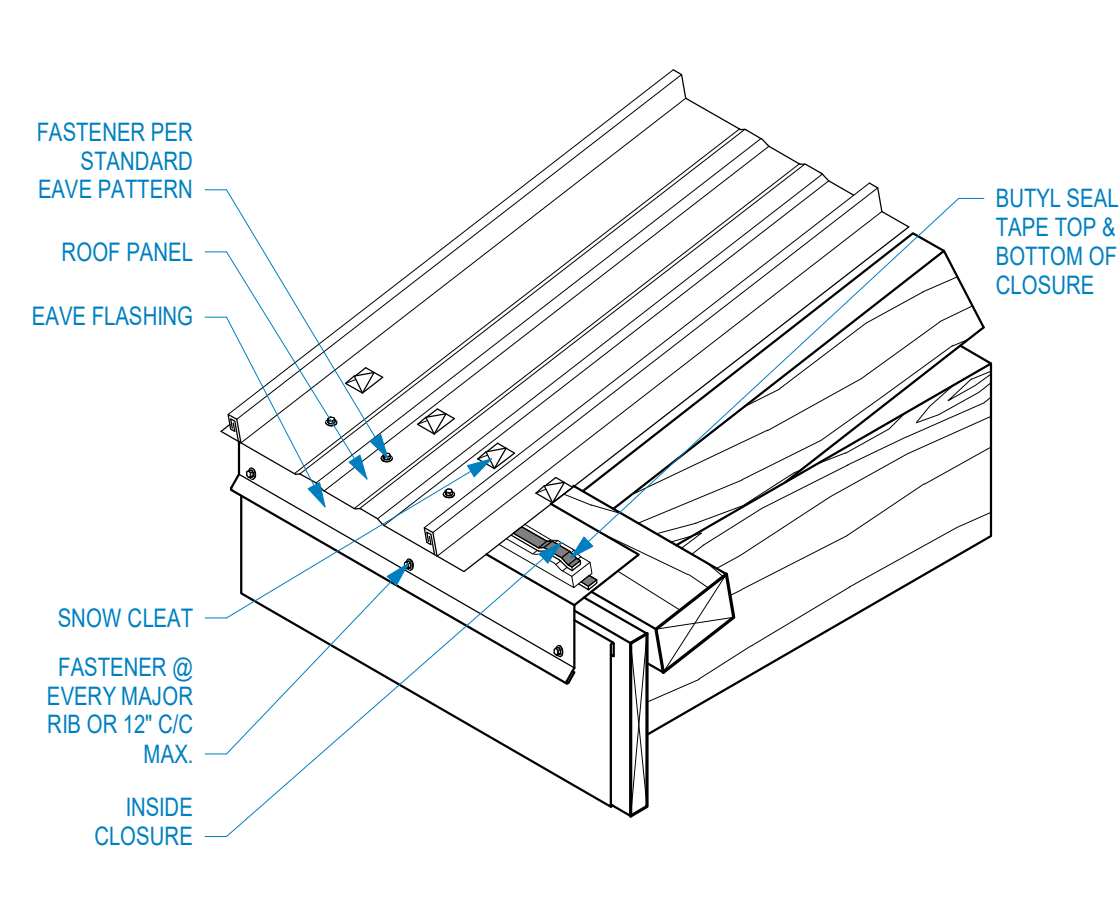
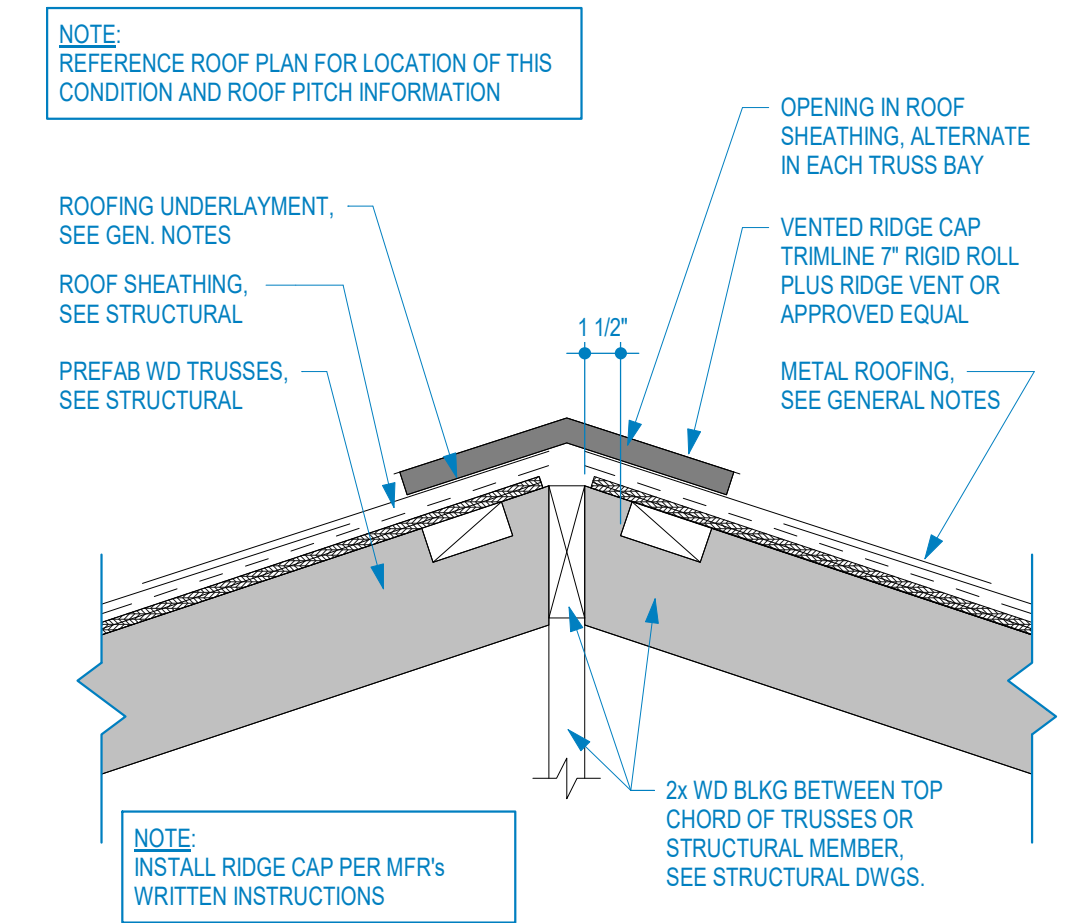
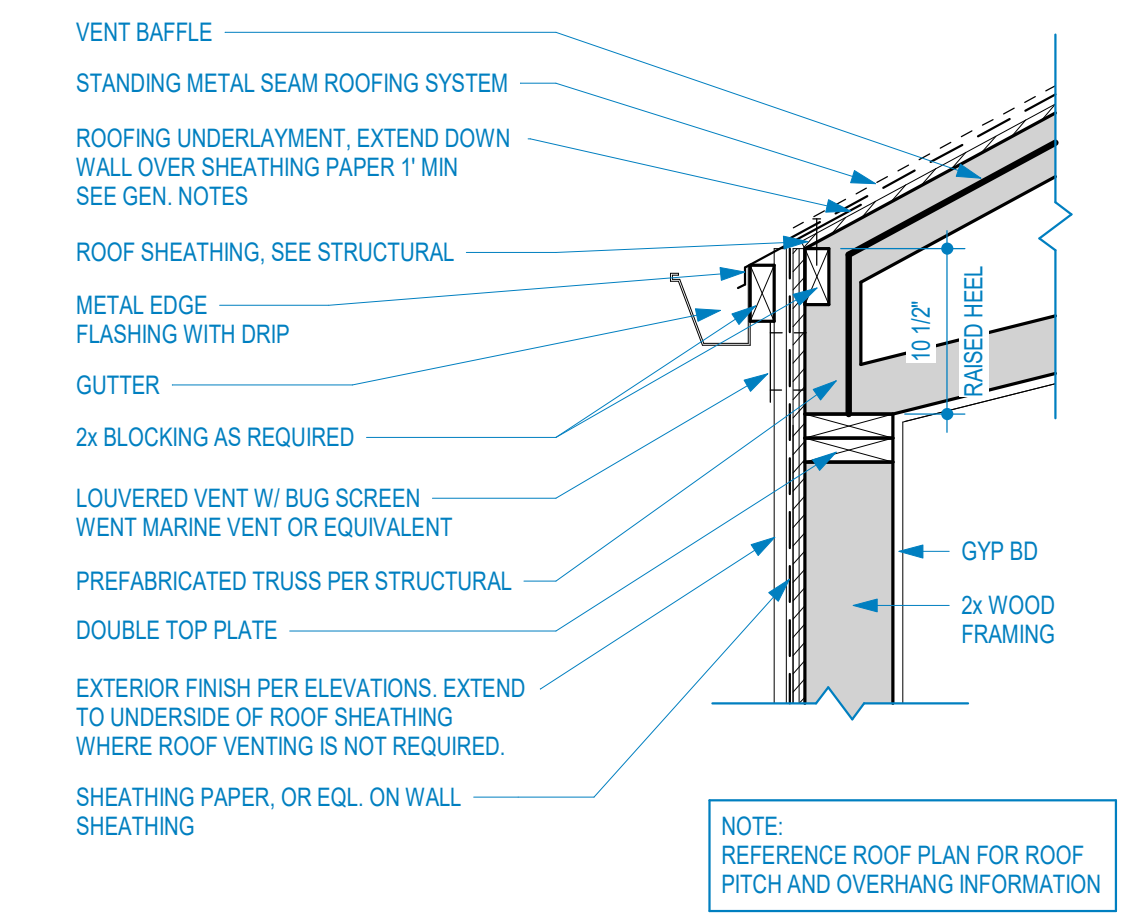
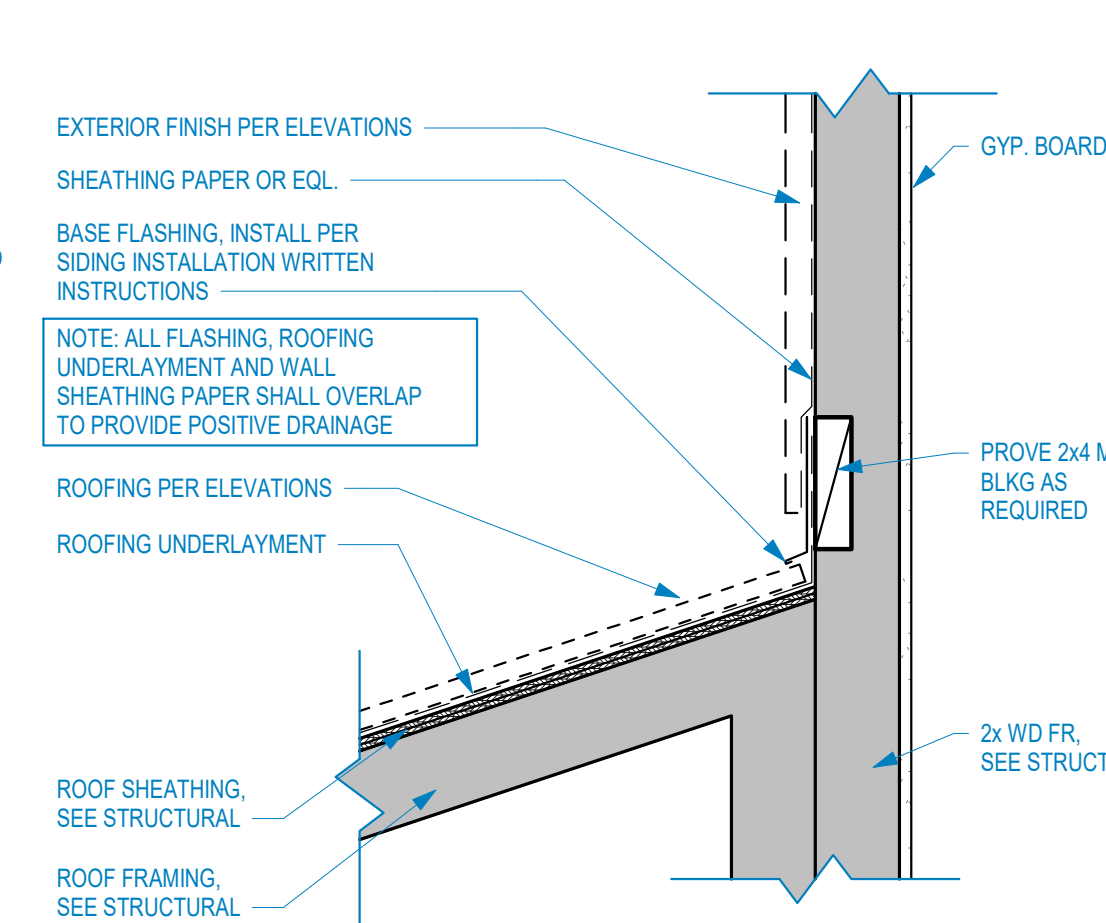
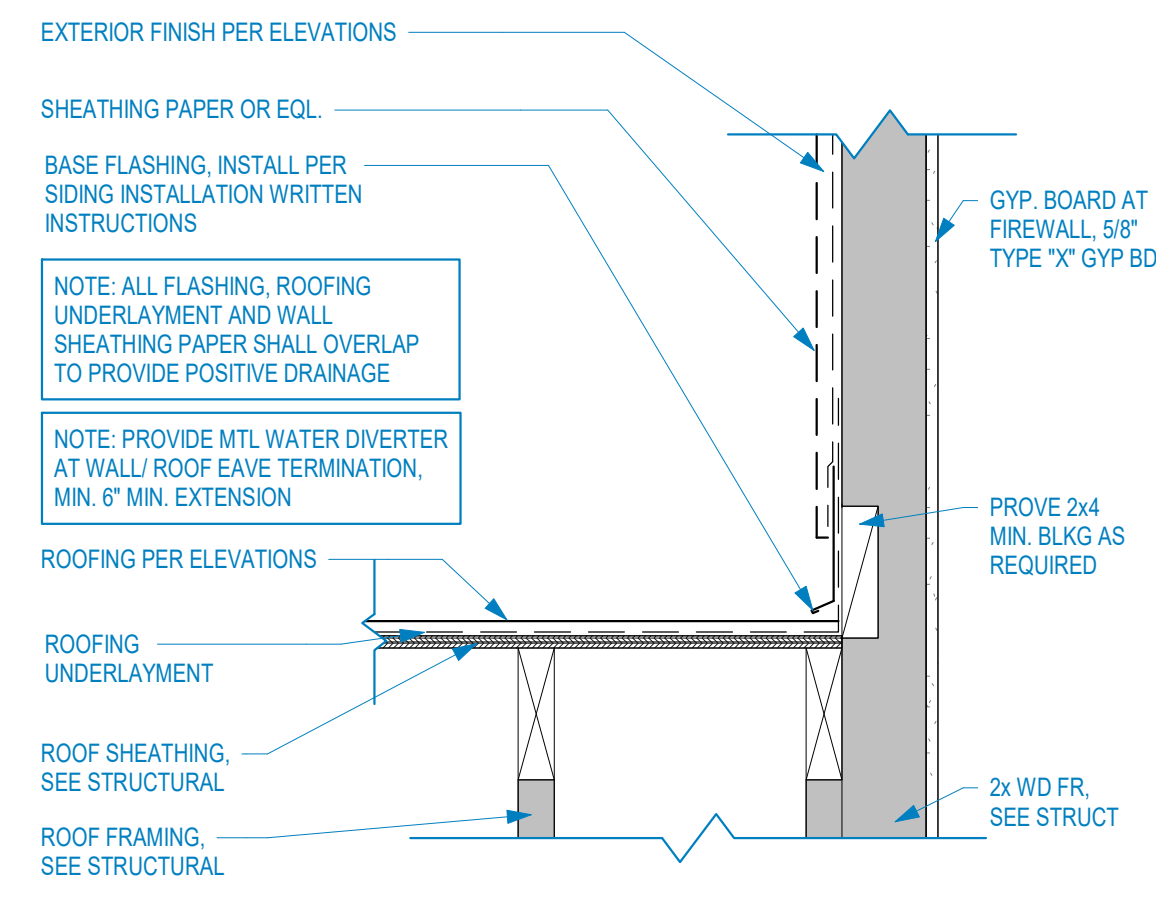
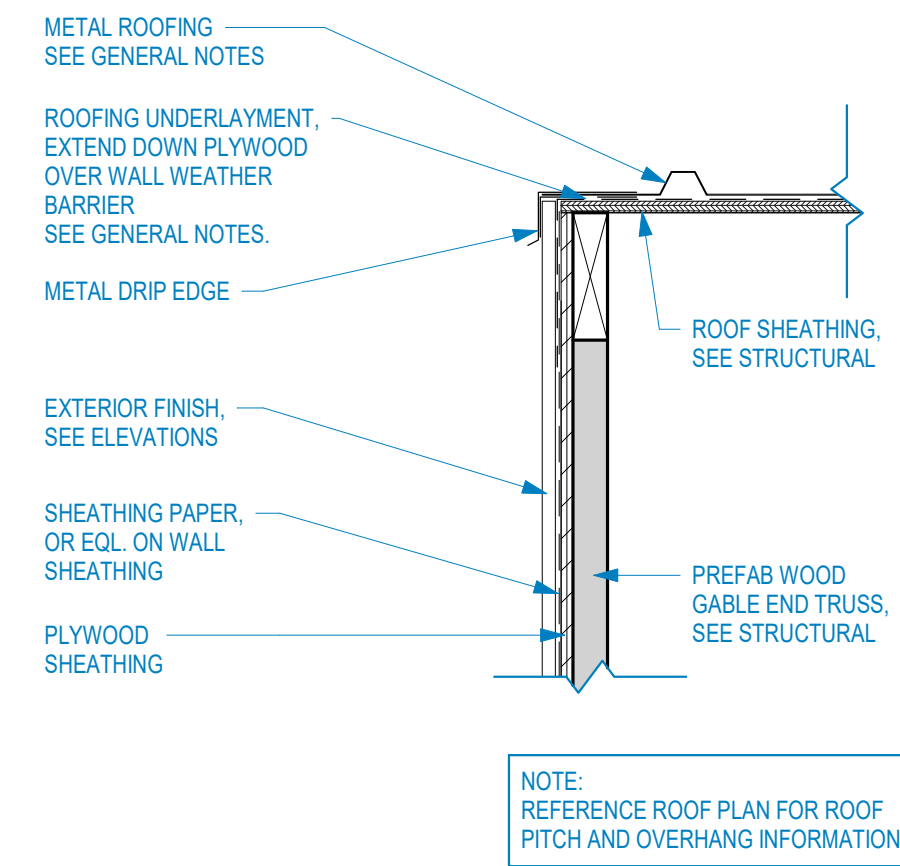
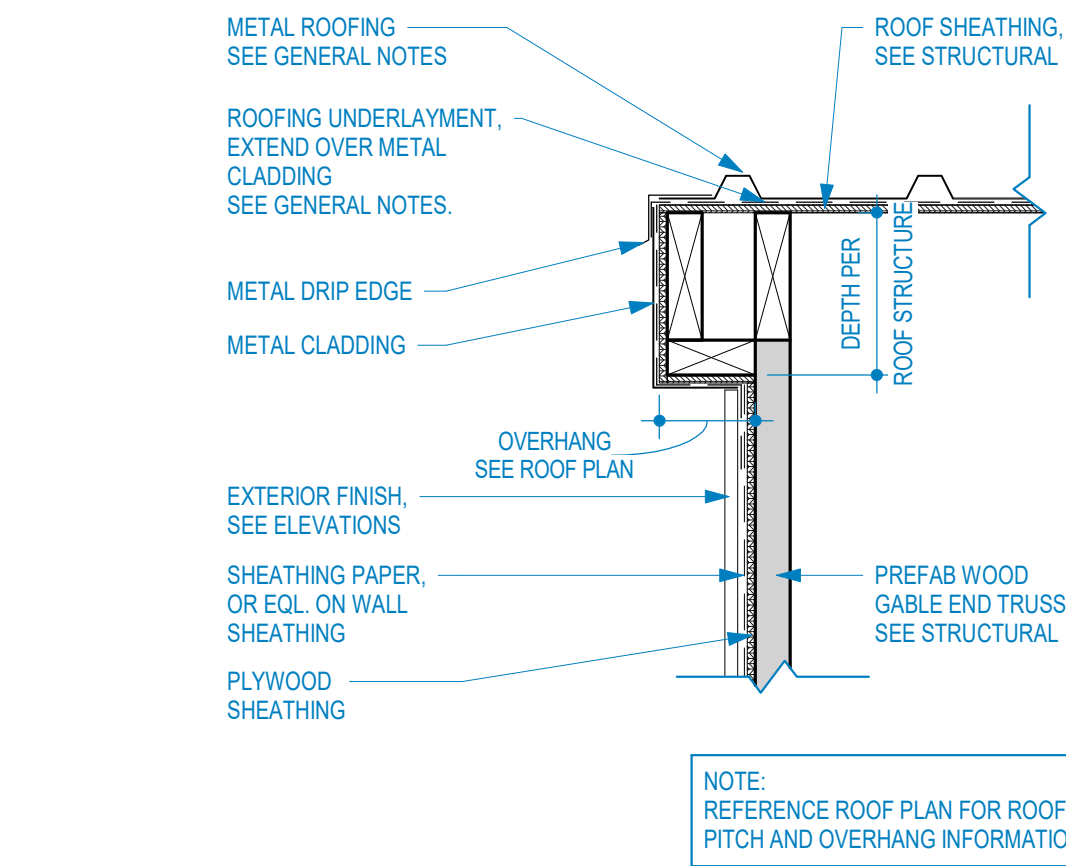
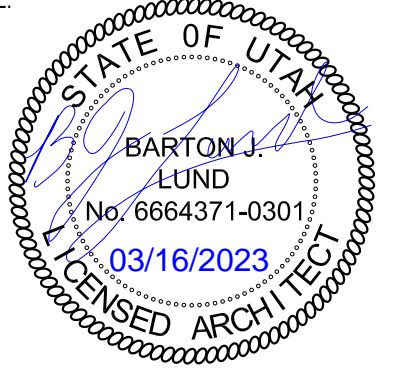


7 STAIR DETAIL - TOP LANDING (CARPET)
1 1/2" = 1'-0"

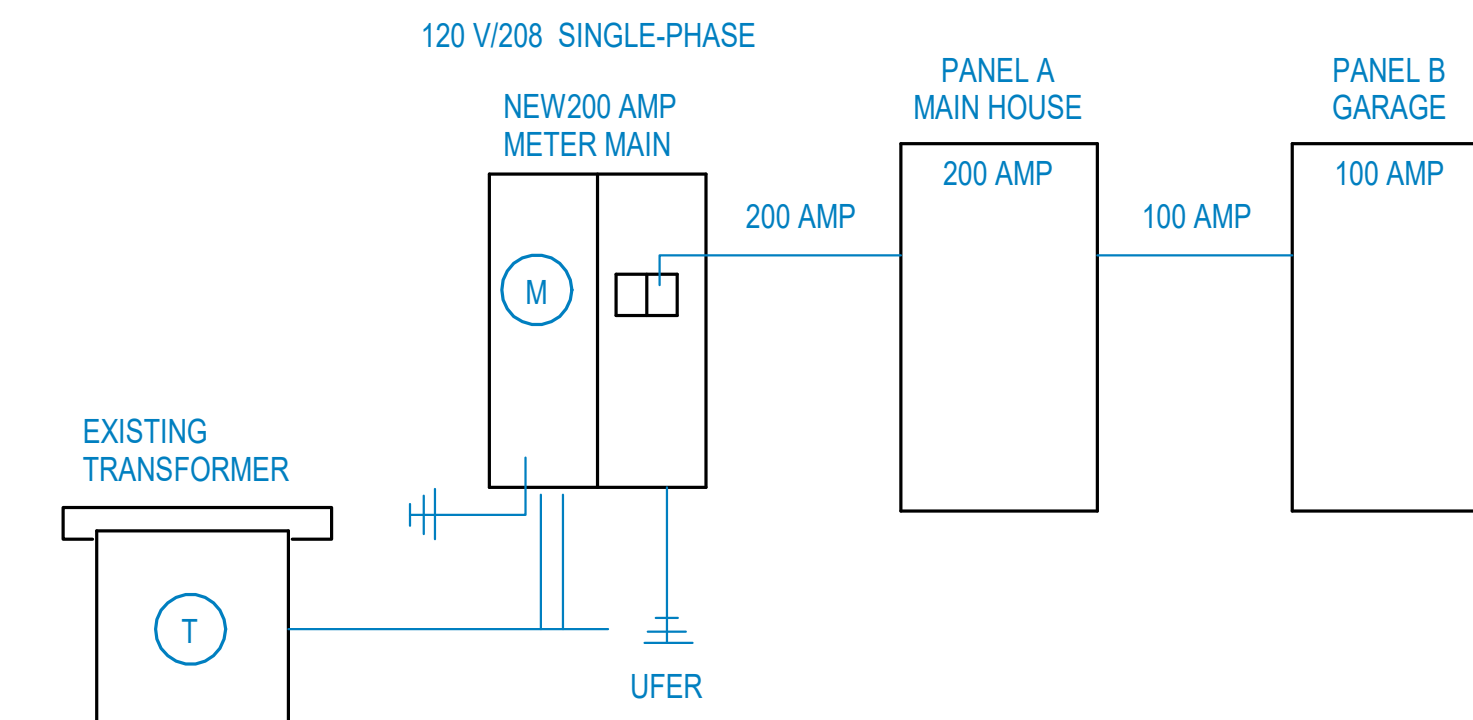


8 STAIR DETAIL - AT SIDE WALL
1 1/2" = 1'-0"

NOTE:
NOT ALL DETAILS MAY
APPLY TO THIS BUILDING



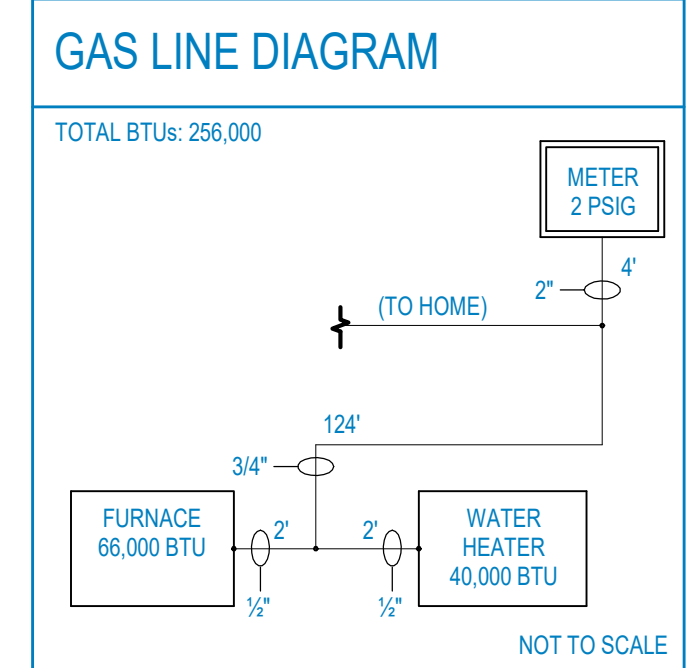
NOTE:
NOT ALL DETAILS MAY
APPLY TO THIS BUILDING



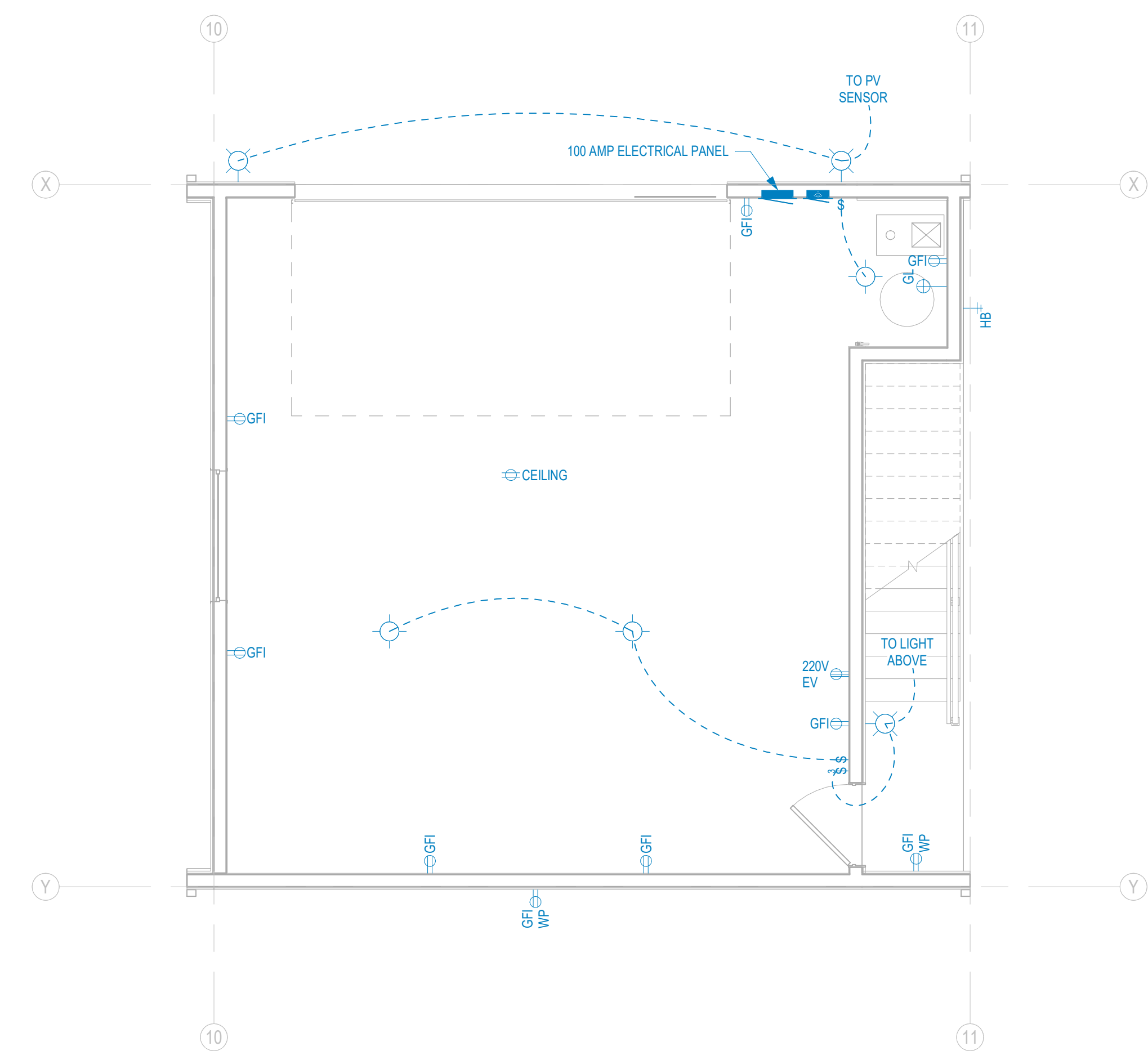
ELECTRICAL ONE LINE DIAGRAM

120/208V SINGLE-PHASE PANEL SCHEDULE

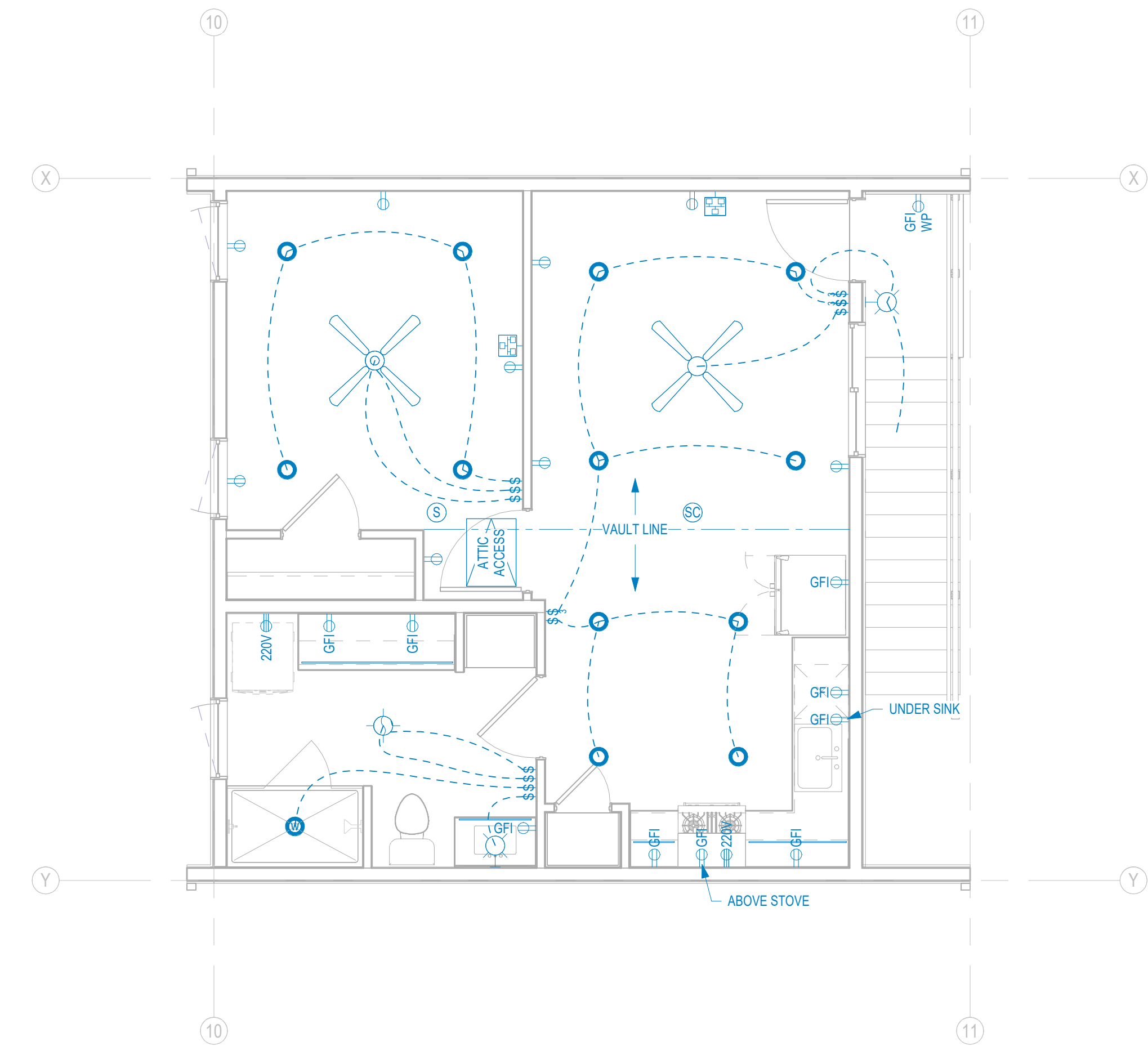
PANEL B POWER 120/208V						
SPACE	AMPS	POLE	DESCRIPTION	DESCRIPTION	POLE	AMPS
1	20	1	EXTERIOR LIGHTS	LIVING/KITCHEN	1	20
3	20	1	EXTERIOR OUTLETS	BEDROOM	1	20
5	20	1	GARAGE	BATH/LAUNDRY	1	20
7	20	1	A/C	WASHER/DRYER	1	20
9	20	1	FURNACE	RANGE	1	20
11			SPARE	SPARE		12
13			SPARE	SPARE		14
15			SPARE	SPARE		16
17			SPARE	SPARE		18
19			SPARE	SPARE		20
21			SPARE	SPARE		22
23			SPARE	SPARE		24
25			SPARE	SPARE		26



NOT TO SCALE



1 LEVEL 1 - ELECTRICAL PLAN
1/4" = 1'-0"



2 LEVEL 2 - ELECTRICAL PLAN - ADU
1/4" = 1'-0"

ELECTRICAL INSTALLATION GUIDE

DIMENSIONS LOCATED ON PLAN TAKE PRECEDENCE OVER THIS GUIDE

ALL SWITCHES	48"
WALL OUTLETS	14"
TV, PHONE & DATA OUTLETS	14"
GARAGE GFI - (ABOVE GARAGE FLOOR)	72"
FRONT DOOR COACH LIGHT	48"
WALL OUTLETS OVER COUNTER	6" ABOVE COUNTER
BATH VANITY BRACKET OUTLET (1" ABOVE TOP OF MIRROR)	12"
WATER SOFTENER AND SUMP OUTLETS	48"
EXTERIOR GFI OUTLETS	48"
BASEMENT WALL OUTLETS	14"
GARAGE DOOR COACH LIGHT (ABOVE GARAGE FLOOR)	84"
FOYER & STARWAY FIXTURE	96" TO BTM OF FIXTURE
DINING & BREAKFAST FIXTURE	96" TO BTM OF FIXTURE
THERMOSTAT	54"
DOORBELL CHIMES	84"
DOORBELL BUTTON	LEVEL w/ DOOR HANDLE
KITCHEN HOOD FAN "WHIP"	96"
KITCHEN WALL HUNG MICROWAVE OUTLET	78"
KITCHEN DISHWASHER RECEPTACLE	UNDER SINK
KITCHEN RANGE OUTLET	24"
KITCHEN REFRIGERATOR OUTLET	48"
WASHER/DRYER OUTLETS	48"

ALL DIMENSIONS ARE HEIGHT ABOVE FINISHED FLOOR TO CENTER LINE (UNO)

ELECTRICAL PLAN NOTES

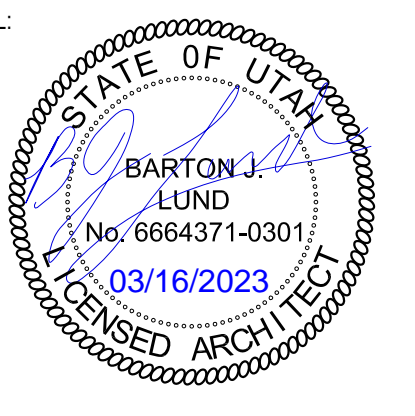
- PROVIDE & INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) & MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE & INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) & MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS / CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL & MECHANICAL EQUIPMENT (I.E. FURNACES, WATER HEATERS, A/C UNITS, ELECTRICAL PANELS, DRAIN TILE SUMP & SANITARY SUMP PITS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT 15 & 20 AMP RECEPTACLE OUTLETS INSTALLED IN ANY BEDROOM SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER PER N.E.C. 210-12 (A) & (B).
- FIXTURES LOCATED IN CLOTHES CLOSETS SHALL BE COVERED & COMPLY w/ N.E.C. 410-8 REGARDING DISTANCES & TYPE OF FIXTURE.
- OVEN / RANGE & ELECTRICAL DRYER ARE REQUIRED TO BE SUPPLIED BY 4-WIRE RECEPTACLE PER N.E.C. 250-80.
- ALL RECEPTACLE & FIXTURE BOXES IN THE GARAGE SHALL BE OF METAL OR MATERIAL TESTED FOR FIRE RESISTIVE ASSEMBLIES & INSTALLED IN ACCORDANCE w/ THE TESTED ASSEMBLY. UBC 709.7.
- CEILING FANS NOT EXCEEDING 35 POUNDS (WITH OR WITHOUT ACCESSORIES) MAY BE SUPPORTED BY OUTLET BOXES PROVIDED THE BOXES ARE IDENTIFIED SUCH USE PER NEC 422-16.
- CEILING FANS OR LIGHTS INSTALLED OUTDOORS OR UNDER PATIO COVERS MUST BE LISTED FOR DAMP LOCATION, NEC 110-11.
- SPAS & HYDRO-MASSAGE TUBS SHALL COMPLY w/ NEC ARTICLE 680.
- ELECTRICAL PLAN DESIGNATES SCHEMATIC LAYOUT ONLY. ALL ELECTRICAL ELEMENTS TO BE VERIFIED BY BUILDER PRIOR TO START OF CONSTRUCTION.
- PROVIDE A PULL-CHAIN FIXTURE IN ATTIC.
- OUTLETS SHALL BE SPACED ACCORDING TO PREVAILING CODES @ THE DISCRETION OF THE ELECTRICIAN.
- ACTUAL OUTLET LOCATION MAY VARY FROM WHAT THIS PLAN SHOWS.
- PER IRC E4002.14 ALL RECEPTACLES DESCRIBED IN IRC SECTION S E3901.2 THROUGH E3901.11 SHALL BE TAMPER RESISTANT.

SYMBOL LEGEND

	ELECTRICAL PANEL		DATA PANEL
	110v DUPLEX OUTLET		
	110v DUPLEX OUTLET, GROUND FAULT INTERRUPTED		
	110v DUPLEX OUTLET, WEATHERPROOF		
	110v DUPLEX OUTLET w/ 2 USB SLOTS		
	110v DUPLEX OUTLET, SPLIT SWITCHED		
	110v FOUR-PLEX OUTLET		
	110v DUPLEX OUTLET, FLOOR		
	110v DUPLEX OUTLET, CEILING		
	220v OUTLET		
	220v OUTLET, ELECTRIC VEHICLE		
	LIGHT FIXTURE		LED LIGHT STRIP
	LIGHT FIXTURE, PENDENT		
	LIGHT FIXTURE, WALL MOUNTED		
	RECESSED (CAN) LIGHT		
	RECESSED (CAN) LIGHT, WATERPROOF		
	EXHAUST FAN		LIGHT FIXTURE & EXHAUST FAN
	SWITCH		SWITCH, 3-WAY
	SWITCH, DIMMER		SWITCH, OCCUPANCY SENSOR
	THERMOSTAT		
	DOOR CHIME		
	UFER		
	DATA OUTLET		
	TV OUTLET		
	SMOKE DETECTOR		
	SMOKE/CARBON MONOXIDE DETECTOR		
	CEILING FAN		CEILING FAN w/ LIGHT
	GAS LINE		
	HOSE BIBB		
	GAS METER		
	ELECTRICAL METER		

DUPLEXES WILL BE 200 AMP EACH
THREE PLEX WILL BE A 400 AMP SERVICE WITH 125 AMP GOING TO EACH UNIT
FOUR PLEX WILL BE 400 AMP SERVICE WITH 125 GOING TO EACH UNIT

The designs shown and described within these documents, including all technical drawings, graphic representation & models, are proprietary & can not be copied, duplicated in whole or in part without the express written permission from LMnt Architecture.



PRIMARY HOME PERMIT# BLD2022-10168

ADU PERMIT# BLD2022-10571

project:
1005 PRINCETON AVE. E, B
SALT LAKE CITY, UT 84105

project no:
22041

date:
2023.03.16

revisions:

CONSTRUCTION DOCUMENTS

sheet:
LEVEL 1 & 2
ELECTRICAL
PLANS

E101

SHEET SIZE: 24" x 36"

ATTACHMENT C: SITE VISIT PHOTOGRAPHS



View of property from
Princeton Ave
(existing single family house
to be demolished)



View from alley behind
property



View from alley, showing neighboring garage/shed to east



View from alley, looking west

ATTACHMENT D: ANALYSIS OF ZONING STANDARDS

ACCESSORY DWELLING UNITS

21A.40.200: Accessory Dwelling Units

Standard	Proposed	Findings
<p>Size <i>A [detached] ADU shall not have a footprint that is greater than fifty percent (50%) of the footprint of the principal dwelling, and shall not exceed six hundred fifty (650) square feet (SF).</i></p> <p><i>In SR districts, accessory buildings shall not exceed 50% of the building footprint of the principal structure, up to 720 square feet</i></p>	<p>Principal dwelling footprint is approximately 2121 SF.</p> <p>Fifty percent (50%) of principal dwelling equals approximately 1060.5 SF</p> <p>Proposed ADU gross livable area is 650SF.</p> <p>The accessory building as whole has a building coverage of 720 SF.</p>	Complies
<p>Maximum Coverage <i>The surface coverage of all principal and accessory buildings shall not exceed forty percent (40%) of the lot.</i></p> <p><i>[Rear] Yard Coverage: In residential districts, any portion of an accessory building, excluding hoop houses, greenhouses, and cold frames associated solely with growing food and/or plants, shall occupy not more than fifty percent (50%) of the total area located between the rear façade of the principal building and the rear lot line.</i></p>	<p>Lot size is approximately 7997 SF</p> <p>Forty percent (40%) of the lot is approximately 3198 SF.</p> <p>ADU & garage = 720 SF Coverage Primary dwelling= 2550 SF coverage Combined = 3,270</p> <p>Total Coverage: 40% coverage</p> <p>Approx. rear yard area: 76 x 30 = 2,280 SF Proposed ADU & garage coverage: 720 SF Yard Coverage: 31% coverage</p>	Complies
<p>Building Height <i>The maximum height of an accessory building containing an accessory dwelling unit shall not exceed the height of the single-family dwelling on the property or exceed seventeen feet (17') in height, whichever is less.</i></p> <p><i>Exception: If the single family dwelling on the property is over seventeen feet (17') in height, an accessory building containing an accessory dwelling unit may be equal to the height of the single family dwelling up to a <u>maximum building height of twenty four feet (24')</u> for an <u>accessory building with a pitched roof</u> or twenty feet (20') for an accessory building with a flat roof provided the accessory building is set back a minimum of ten feet (10') from a side or rear property line. The setback for additional height may be reduced to four feet (4') if the side or rear lot line is adjacent to an alley.</i></p>	<p>ADU has a pitched roof and is 24' tall and has 10' setbacks on both sides and the rear yard.</p> <p>The height of the primary single family home is 27'6"</p>	Complies
<p>Side or Rear Yard Setbacks</p>	<p>Side [East] Lot Line: 10 feet Side [West] Lot Line: 10 feet Rear [North] Lot Line: 10 feet</p>	Complies

<p><i>New Accessory Buildings: Shall be located a minimum of four feet (4') from any side or rear lot line.</i></p>		
<p>Separation <i>All ADUs [located in an accessory building] shall be located a minimum of ten feet (10') from the single family dwelling located on the same parcel and any single family dwelling on an adjacent property.</i></p>	<p>The proposed ADU is approximately 40 feet from the principal dwelling on the same parcel.</p> <p>10' of setbacks surround the ADU so it is >10' away from another building</p>	<p>Complies</p>
<p>Entrance Locations <i>The entrance to an ADU in an accessory building shall be located:</i></p> <p>(1) Facing an alley, public street or facing the rear facade of the single family dwelling on the same property.</p> <p>(2) Facing a side or rear property line provided the entrance is located a minimum of ten feet (10') from the side or rear property line.</p> <p>(3) Exterior stairs leading to an entrance shall be located a minimum of ten feet (10') from a side or rear property line unless the applicable side or rear property line is adjacent to an alley in which case the minimum setback for the accessory building applies to the stairs.</p>	<p>1. No 2. Yes 3. Yes</p> <p>Exterior stairs are located 10' away from the side property line.</p>	<p>Complies</p>
<p>Requirement for Windows <i>Windows on an accessory building containing an ADU shall comply with the following standards:</i></p> <p>(1) Windows shall be no larger than necessary to comply with the minimum Building Code requirements for egress where required.</p> <p>(2) Skylights, clerestory windows, or obscured glazing shall be used when facing a side or rear property line to comply with minimum Building Code requirements for air and light on building elevations that are within ten feet (10') of a side or rear property line unless the side or rear property line is adjacent to an alley.</p> <p>(3) Except as required in subsection E3g(1) of this section, windows shall maintain a similar dimension and design as the windows found on the principal structure.</p>	<p>1. Windows are not larger than necessary 2. ADU is not within 10' of a side or rear property line 3. Windows are a similar style as principal building</p>	<p>Complies</p>

<p>Parking <i>An ADU shall require a minimum of one on-site parking space. If the property has an existing driveway, the driveway area located between the property line with an adjacent street and a legally located off-street parking area can satisfy the parking requirement if the parking requirement for the principal use is complied with and the driveway area has a space that is at least twenty feet (20') deep by eight feet (8') wide. The parking requirement may be waived if:</i></p> <ol style="list-style-type: none"> <i>1) Legally located on street parking is available along the street frontage of the subject property; or</i> <i>2) The subject property is located within one-quarter (1/4) mile of transit stop.</i> 	<p>There is a concrete pad adjacent to the garage that is reserved for the ADU resident parking.</p>	<p>Complies</p>
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ATTACHMENT E: ANALYSIS OF STANDARDS – CONDITIONAL USE

An application for a conditional use is required by city code 21A.54 and Utah Code 10-9a-507 to be approved if the proposal complies with the adopted standards of review and if any reasonably anticipated detrimental impact can be mitigated. Under Utah Code 10-9a-507, the standards must be objective and mitigating any reasonably anticipated detrimental impact is required to be interpreted to mean reduce, not eliminate, the impact.

The Finding for each standard is the recommendation of the Planning Division based on the facts associated with the proposal, the discussion that follows, and the input received during the engagement process. Input received after the staff report is published has not been considered in this report.

21A.54.080.A: Approval Standards
Standard 1: The use complies with applicable provisions of this title;
Finding: Complies
Discussion: The proposed ADU use is located in the R-1/5,000 zoning district, which allows for an ADU to be approved through the conditional use process, subject to meeting the specific regulations for an ADU in section 21A.40.200 of the zoning ordinance. As analyzed in Attachment D , the ADU complies with the requirements of 21A.40.200.
Condition(s): None
Standard 2: The use is compatible, or with conditions of approval can be made compatible, with surrounding uses
Finding: Complies
Discussion: The proposed ADU use is a small residential unit that should be readily compatible with surrounding uses, which include single-family houses, large garages and ADUs in the area. The proposed ADU meets all the requirements in terms of setbacks and separation requirements between adjacent houses and the principal dwelling on the property.
Condition(s): None
Standard 3: The use is consistent with applicable adopted city planning policies, documents, and master plans; and
Finding: Complies
Discussion: The Central City Master Plan designates the future land use of this area as low density residential, and the existing zoning on the property is R-1/5,000 Single-Family Residential. The purpose of the R-1/5,000 Single-Family Residential District is to provide for conventional single-family residential neighborhoods. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

The purpose of accessory dwelling units are to:

- 1) Create new housing units while respecting the appearance and scale of single-family residential development;
- 2) Provide more housing choices in residential districts;
- 3) Allow more efficient use of existing housing stock, public infrastructure, and the embodied energy contained within existing structures;
- 4) Provide housing options for family caregivers, adult children, aging parents, and families seeking smaller households;
- 5) Offer a means for residents, particularly seniors, single parents, and families with grown children, to remain in their homes and neighborhoods, and obtain extra income, security, companionship, and services;
- 6) Broaden the range of affordable housing throughout the City;
- 7) Support sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption;
- 8) Support transit-oriented development and reduce auto usage by increasing density near transit; and
- 9) Support the economic viability of historic properties and the City's historic preservation goals by allowing accessory dwellings in historic structures.

The proposed ADU is consistent with the following Residential Land Use Goals/Policies included in the Central City Master Plan:

- Strengthen and support existing neighborhoods by:
 - Considering appropriate adjacent land uses;
- Design new developments with the following in mind:
 - Creating more affordable housing;
- Provide a diversity of housing types, sizes, and prices in the community as a whole.

The proposal is also consistent with the goals and policies outlined in ***Growing SLC: A Five Year Housing Plan*** which aims to increase housing options, promote diverse housing stock, and allow for additional units while minimizing neighborhood impacts.

Condition(s): None

Standard 4: The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions

Finding: Complies

Discussion: There are no detrimental effects of the proposed use.

Condition(s): None

21A.54.080.B: Detrimental Effects Determination

1. This title specifically authorizes the use where it is located;

Finding: No Detrimental Impact

The proposed ADU is an accessory residential use and is allowed as a conditional use within the R-1/5,000 zoning district. The proposed ADU complies with all specific regulations for an ADU, including size, height, setbacks, distance to other houses, etc., as outlined in [Attachment D](#).

Condition(s): None

2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps;

Finding: No Detrimental Impact
Discussion: The uses are located in an area zoned and designated by the associated master plan for low-density residential. This land use designation allows moderate-sized lots (i.e., 3,000-10,000 square feet) where single-family detached homes are the dominant land use. Low-density includes single-family attached and detached dwellings as permissible on a single residential lot subject to zoning requirements.
Condition(s):None
3. The use is well suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area;
Finding: No Detrimental Impact
Discussion: Uses surrounding the subject property are generally single-family houses. The residential lots in this area are large enough to provide separation between the proposed ADU and the principal dwelling on the property and adjacent primary residences. The proposal complies with the size requirements for an ADU, which can be up to 50% of the footprint of the primary house up to 650 SF and is compatible with the scale of surrounding accessory buildings and adjacent uses.
Condition(s): None
4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered;
Finding: No Detrimental Impact
Discussion: As discussed above, the scale of the proposal is compatible with the principal dwelling on the property and surrounding structures. The proposal also meets the building footprint and height requirements for an ADU.
Condition(s): None
5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows;
Finding: No Detrimental Impact
Discussion: Access from the alley will not impede traffic flow and reduces congestion on Princeton Ave.
Condition(s): None
6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, nonmotorized, and pedestrian traffic;
Finding: No Detrimental Impact
Discussion: The proposed ADU would be accessible from the alley. It is not anticipated that the proposed ADU would create any adverse impacts in terms of motorized, nonmotorized and pedestrian traffic.
Condition(s): None
7. The site is designed to enable access and circulation for pedestrian and bicycles;
Finding: No Detrimental Impact

<p>Discussion: The proposed ADU would be accessible from the alley. It is not anticipated that the proposed ADU would create any adverse impacts in terms of motorized, nonmotorized and pedestrian traffic.</p>
<p>Condition(s): None</p>
<p>8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street;</p>
<p>Finding: No Detrimental Impact</p>
<p>Discussion: There is vehicular access to the site. No unreasonable impacts to the service level of the adjacent streets or alleys are anticipated.</p>
<p>Condition(s): None</p>
<p>9. The location and design of off street parking complies with applicable standards of this code;</p>
<p>Finding: No Detrimental Impact</p>
<p>Discussion: One (1) 20' x 9' paved off-street parking space for the proposed ADU would be provided between the west façade of the proposed ADU and the adjacent alley.</p>
<p>Condition(s): None</p>
<p>10. Utility capacity is sufficient to support the use at normal service levels;</p>
<p>Finding: No Detrimental Impact</p>
<p>The Public Utilities Department has provided conditions that would need to be met before final occupancy of the proposed ADU; they are included in Attachment G.</p>
<p>Condition(s): None</p>
<p>11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts;</p>
<p>Finding: No Detrimental Impact</p>
<p>Discussion: The proposed ADU may result in increased activity in the rear yard of the subject property. This must be taken into account for potential impacts to the abutting properties that appear to be single-family residences.</p>
<p>Condition(s):None</p>
<p>12. The use meets city sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke;</p>
<p>Finding: No Detrimental Impact</p>
<p>Discussion: The project supports sustainability objectives by increasing housing close to jobs, schools, and services, reducing greenhouse gas emissions and fossil fuel consumption.</p>
<p>Condition(s): None</p>
<p>13. The hours of operation and delivery of the use are compatible with surrounding uses;</p>

Finding: No Detrimental Impact

Discussion: The proposed use is an accessory residential structure and is compatible with the surrounding uses that are also residential.

Condition(s): None

14. Signs and lighting are compatible with, and do not negatively impact surrounding uses;

Finding: No Detrimental Impact

Discussion: Signs are not associated with this proposal. Any lighting on the accessory structure is not expected to have a negative impact on the surrounding uses or otherwise cause a nuisance.

Condition(s): None

15. The proposed use does not undermine preservation of historic resources and structures.

Finding: No Detrimental Impact

Discussion: The property is not located within a Local Historic District, and the proposal does not involve the removal or destruction of any historic resources or structures.

Condition(s): None

ATTACHMENT F: PUBLIC PROCESS AND COMMENTS

Public Meeting(s):

- On January 6, 2023– Notice of the project was provided to the East Liberty Park Community Council as well as property owners and residents within 300 feet of the subject property.
- Recognized Community Organizations were notified by email on January 6, 2023.
- This item was not officially on the agenda, but was discussed briefly at the February 23rd East Liberty Park Community Council

Public Notice:

- Public hearing notice mailed on March 31, 2023
- Public hearing signs were posted on the property on March 31, 2023
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on April 7, 2023

Public Comment(s):

Staff did not receive any public comments on this item prior to the posting of the Staff report.

ATTACHMENT G: DEPARTMENT REVIEW COMMENTS

Fire by Douglas Bateman

*A fire hydrant shall be located within 600-feet of all ground level exterior portions of the ADU/garage. Measurements follow the drive route using straight lines and right angles.

Public Utilities from Kristeen Beitel

This plan shows all utilities and would be acceptable for us to complete our review during the building permit process. I have only reviewed it at the level we would to determine if it meets prescreen requirements and would be accepted for review, because we will do the full review once the project has submitted for a building permit.

Building (Jason Rogers)

IRC 2015 with State amendment criteria/// Plans subject to full building Code Review/// Fire separations in garage to upper habitable spaces & within 5ft of property lines. Plan A606 Detail 10 Entry stair is concerning with the open and unprotected fall/trip hazard of the rise of the stair assembly

Urban Forestry (Rick Nelson)

Urban Forestry has no concerns with the proposed use, but does require that the small 2" DBH Oak in the front park strip be protected during all demolition and construction activity on site as described in the attached Tree Protection and Preservation Policy.

Transportation (Jena Carver)

Plan is approved as submitted. No parking will be permitted in front of ADU garage doors as 10' is not enough space for a vehicle to park without encroaching on alley. Moving the garage 6' toward the house would increase driveway length to 16', providing 2 additional parking spaces. This is optional as the current plan meets all transportation requirements.