



Staff Report

PLANNING DIVISION
DEPARTMENT *of* COMMUNITY *and* NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Grant Amann, Associate Planner, grant.amann@slcgov.com or 801-535-6171

Date: December 14th, 2022

Re: PLNPCM2022-00426 - Planned Development 1580 S 900 W, 1600 S 900 W, 1610 S 900 W, 1620 S 900 W, 1581 S 1000 W, 1587 S 1000 W and 1593 S 1000 W

Planned Development

PROPERTY ADDRESS: 1580 S 900 W, 1580 S 900 W, 1600 S 900 W, 1610 S 900 W, 1620 S 900 W, 1581 S 1000 W, 1587 S 1000 W and 1593 S 1000 W

PARCEL ID: 15-14-253-017-0000, 15-14-253-018-0000, 15-14-253-069-0000, 15-14-253-020-0000, 15-14-253-038-0000, 15-14-253-039-0000, 15-14-253-040-0000

MASTER PLAN: Westside Master Plan

ZONING DISTRICT: Community Business (CB), R-1/7,000 Single Family Residential

REQUEST:

TAG SLC, the property owner represented by Jordan Atkin, is requesting Planned Development approval for 71 townhome style condos at approximately 1580-1620 South 900 West. The project comprises roughly 2.59 acres in the Community Business (CB) zone. With Planning Commission approval, Planned Developments are allowed modifications to the zoning ordinance where a finished product would be better for the community than what could be built by strictly following the zoning ordinance in the CB zone. TAG is requesting relief from the following sections of Salt Lake City Code:

1. 21A.36.010.B, which requires that not more than one principal building shall be located on any lot unless they each have frontage on a street.
2. 21A.36.010.C, which requires that all lots must have frontage on a public right-of-way.

RECOMMENDATION: Based on the information in this staff report, Planning Staff recommends that the Planning Commission approve the proposal as proposed subject to complying with all applicable regulations and the condition below:

1. Final review of the application is delegated to planning staff. This final review may include alterations in relation to landscaping, lighting, and paving materials.
2. The existing parcels will need to be consolidated prior.

ATTACHMENTS:

- A. [Vicinity & Zoning Maps](#)
- B. [Narrative Submitted by Applicant](#)
- C. [Plan Set](#)
- D. [Property and Vicinity Photos](#)
- E. [Zoning Standards](#)
- F. [Planned Development Standards](#)
- G. [Public Process & Comments](#)
- H. [Department Review Comments](#)

PROJECT DESCRIPTION:



Quick Facts

Height: 29 Feet 9 Inches (3 stories)

Number of Residential Units: 71 units

Exterior Materials: Glass, hardi board, steel, wood

Review Process & Standards: Planned Development, CB zoning standards, and general zoning standards



Above is a rendering of the development and a list of quick facts about the proposal.

TAG 900 W as proposed will be a development of 71 townhome style condos built on 7 CB zoned parcels that comprise 2.59 acres. The site currently has 1 single-family residence that is being used as a rental. The rest of the parcels are large areas of open space located behind a strip of commercial uses on 1700 S.

The parcels that will comprise the development will provide a pedestrian mid-block connection between 900 W and 1000 W. Most of the buildings in the development will be accessed via a private drive aisle and will not have frontage on a public right-of-way (21A.36.010.C). The applicant states that allowing development without public street frontage will better serve to help the city to accomplish goals outlined in Plan Salt Lake, Building SLC: A 5 Year Housing Plan and the Westside Master Plan than a strict application of the code.

BACKGROUND

The property is currently vacant with the exception of 1 single family residence that is being used as a rental. The site constitutes approximately 2.59 acres (112,821 sq. ft.) the majority of which, is undeveloped land. The applicant is not proposing to incorporate the existing structure into the proposed development.

The driveway to the existing single-family residence is the only curb cut and vehicle access found on the properties. The property as a whole is surrounded by low-density residential uses on its North, East and West sides. The southern edge of the property is lined with several commercial properties, including a gas station and a chain restaurant with warehouse space that serves other locations of the chain. The existing warehouse building is roughly 2 stories or 20 feet in height.

KEY CONSIDERATIONS

The key issues listed below have been identified through the analysis of the project, neighbor input, and the department review comments:

1. Compliance with Adopted Master Plans
2. Lots and Buildings Without Frontage
3. Access Requirements & Mid-Block Connectivity

Consideration 1: Compliance with Adopted Master Plans

Plan Salt Lake (2015)

Plan Salt Lake includes vision statements which would support the TAG development. Plan Salt Lake is a citywide vision that includes guiding principles for the development of the City. The plan is intended to support existing neighborhoods while also encouraging and supporting the continued growth of Salt Lake City. It states, “Salt Lake City neighborhoods are diverse, exciting, safe, and well maintained. We believe all of our neighborhoods should be inclusive and supportive of all people, at all stages of life including families, young people, and older adults.” The plan also provides the following initiatives intended to support growth:

- Locate new development in areas with existing infrastructure and amenities, such as transit and transportation corridors.
- Encourage a mix of land uses.
- Promote in fill and redevelopment of underutilized land.
- Accommodate and promote an increase in the City’s population.

Plan Salt Lake also provides initiatives for supporting housing density:
Ensure access to affordable housing citywide (including rental and very low income).

- Increase the number of medium density housing types and options.
- Direct new growth toward areas with existing infrastructure and services that have the potential to be people-oriented.
- Enable moderate density increases within existing neighborhoods where appropriate.

Plan Salt Lake reflects the city's desire to grow but in a compatible manner that protects existing, well-established neighborhoods. This project will provide a medium density project on 900 West which is an existing transportation corridor identified as an arterial street on the city's major street plan. It will also redevelop what is currently several vacant lots. This development will contribute positively to the neighborhood providing additional housing at a density level and an overall design that is compatible with the neighborhood.

The Westside Master Plan (2014)

The Westside Master Plan outlines goals for the Westside Community and for the integration of the Westside area into the larger extent of Salt Lake City as a whole. The intent of the Community's Master Plan is to act as a guide towards creating a more livable community. It seeks to accomplish this by creating an overall vision for the Westside Master Plan

- Livable communities and neighborhoods;
- Vital and sustainable commerce;

The TAG project meets the intent and vision goals of the Westside Master plan in that it improves the surrounding community's livability by providing housing at a greater density but remains compatible with the existing neighborhood. The proposed design and architecture enhance the sense of place while interacting with pedestrians and bicyclists on the street.

This proposed development will eliminate what is currently an underutilized property with additional medium-density housing without negatively impacting the existing low density residential neighborhoods.

The Westside Master Plan identifies Regional Nodes as a particular point of focus. The planned project exists within the identified "900 West at 1700 South" regional node. In the Plan it states that streets serving these nodes should have bicycle facilities and the developments themselves should include mid-block routes and public spaces for pedestrians. A focus on public transit, bicycling and walking to these nodes is important for the long-term health of the community. In reviewing the Plan, it is important to keep mid-block connectivity on a pedestrian scale. By featuring a mid-block pedestrian path that connects the project to 1000 W, the project is fulfilling this aspect of the West Side Master Plan.

Citywide Housing Master Plan Growing SLC (2018-2022)

The City recently adopted a citywide housing master plan titled Growing SLC: A Five-Year Housing Plan 2018-2022 that focuses on ways the City can meet its housing needs in the next five years.

GrowingSLC identifies three City Wide goals:

- 1) Reform City practices to promote a responsive, affordable, high-opportunity housing market.
- 2) Increase housing opportunities for cost burdened households.
- 3) Build a more equitable city.

The plan also includes specific objectives that relate to this development, including:

Goal 1, Objective 1: Review and modify land-use and zoning regulations to reflect the affordability needs of a growing, pioneering city.

- *Increasing flexibility around dimensional requirements and code definitions will reduce barriers to housing construction that are unnecessary for achieving city goals, such as neighborhood preservation.*

GrowingSLC speaks to increasing flexibility in zoning regulations to reduce barriers to affordable housing construction that are not necessary for achieving city goals. The proposed project helps achieve the goals and objectives outlined in GrowingSLC by providing additional housing units in the City. GrowingSLC states: *“Equity is not only about eliminating discrimination, it is also about increasing access to opportunity.”* The proposed project location increases the diversity of housing options in the Westside area including access to transit, employment, and recreation which builds a more equitable city.

Consideration 2: Lots and Buildings Without Frontage

21A.36.010.B requires that not more than one principal building shall be located on any lot unless specifically exempted from this requirement. Exceptions to this regulation include buildings located in certain zones, or in instances where multiple buildings on a lot are regulated elsewhere in the Code. The current CB zone is not included in the list of zones that are given exemptions from this requirement in 21A.36.010B.1 or B.2, unless each structure has street frontage meaning the project requires special approval from Planning Commission. This project includes 13 “principal” structures with 71 units with only 2 structures having street frontage along 900 West, therefore the project as designed would require a modification through the Planned Development process.

In addition to the standard which regulates multiple buildings on a property, the Zoning Ordinance also requires that all building lots to have frontage along a public street. This project is proposed to be subdivided into 71 individual for-sale units. The majority of the housing units in the neighborhood are comprised of single-family homes or apartment style, for-rent, multi-family family residential units. The reduction in required frontage does allow the the applicant to offer a different housing type, as a for-sale townhome project, which is not typical to the community for future residents. As proposed only those units facing 900 West would comply with that standard.

Data from the US Census indicates that although roughly 55% of people living in all neighborhoods identified by the Westside Master Plan are property owners, only 42% of the 3 blocks surrounding the TAG 900 W are owner occupied. This means that 58% of the occupants in the area are renting. Because most of the people living in the neighborhood are renting, it should be noted that this TAG 900 W project is planned to offer Townhomes for sale. The addition of a housing type such as Townhomes that are not the primary type of housing unit in the surrounding neighborhood allows for diversity of housing options for individuals. The fact that the majority of

people living in the surrounding 3 blocks rent indicates that this housing type is in the minority, and an addition would help bridge the gap between renting and ownership.

The current shape of the property could potentially allow for several long narrow buildings each with a strip of frontage along 900 W by right but they could not be for-sale units. By allowing the requested modifications to the required frontage for structures and individual lots the applicant is able to design a medium- density urban neighborhood in which is currently undeveloped property. The addition of this housing type that is not commonly found in the neighborhood is a goal of the applicable adopted master plans. These potential structures do help to create an urban neighborhood because the proposed development allows for better diversity in housing types in the neighborhood.

Consideration 3: Access Requirements & Mid-Block Connectivity

The project site includes a small 20 foot wide strip of land providing a connection to 1000 W. This strip of land is currently zoned R-1-7000, which is different from the zoning of the bulk of the project site (CB). This strip of property was initially proposed as access for emergency vehicles, but vehicular access cannot travel from one zone to another zone unless the use is permitted in both zones.

Although the potential for vehicular access is eliminated due to the difference in zoning, the applicant is maintaining the proposal that includes a plan to “connect 900 W and 1000 W in a manner that will allow pedestrians to forego walking along 1700 S if they desire to do so.” This pedestrian path will be a landscaped foot path. This landscaped foot path serves to help break up the block for pedestrians and ultimately serves the goals of several applicable master plan documents, including the desire to increase walkability and promote an urban neighborhood.

Staff Discussion:

The proposed development will comply with the applicable adopted master plans by allowing for both a housing type and ownership type that is not common in the neighborhood. Master plans encourage diversity in housing and ownership type to provide options to the community and future residents and to create an urban neighborhood in the area.

The proposal is a product identified to be more desirable than what is currently possible by right. The current property boundaries do not yield themselves to mid-block connections, and the proposal will include desirable pedestrian access.

The proposed development will provide housing that is compatible with the character and scale of the existing neighborhood. The proposal generally meets the Planned Development standards in complying with the development expectations outlined in the City’s Master Plans for the area.

As the applicant is generally meeting applicable standards and guidelines for the associated reviews, staff is recommending approval of the proposed development with the suggested conditions noted on the second page of the staff report.

NEXT STEPS:

Approval of the Planned Development

If the requests are approved, the applicant will need to comply with any conditions of approval required by other City departments or added by the Planning Commission. The applicant will be able to submit plans for building permits and certificates of occupancy for the buildings will only be issued once all conditions of approval are met.

Denial of the Design Review Request

If the requests are denied, the applicant will still be able to develop the property by right but will need to meet all of the standards of the Zoning Ordinance.

Subject Property 1580 - 1620 S 900 W

Streets: Cannon Ave, S 1000 W, S 1100 W, S 1200 W, S 1300 W, S 1400 W, S 1500 W, S 1600 W, S 1700 S, S 1800 S

Property Lots:

Lot Number	Address
1549	1549 S 1000 W
1551	1551 S 1000 W
1561	1561 S 1000 W
1567	1567 S 1000 W
1579	1579 S 1000 W
1585	1585 S 1000 W
1591	1591 S 1000 W
1613	1613 S 1000 W
1619	1619 S 1000 W
1629	1629 S 1000 W
1635	1635 S 1000 W
970	970 S 1000 W
1544	1544 S 1100 W
1550	1550 S 1100 W
1560	1560 S 1100 W
1568	1568 S 1100 W
1574	1574 S 1100 W
1581	1581 S 1100 W
1587	1587 S 1100 W
1593	1593 S 1100 W
1600	1600 S 1100 W
1610	1610 S 1100 W
1620	1620 S 1100 W
1630	1630 S 1100 W
928	928 S 1100 W
1690	1690 S 1100 W

Vicinity Map

Utah Department of Alcoholic Beverage...

ATTACHMENT	B-NARRATIVE	SUBMITTED	BY
<hr/>			
APPLICANT			

Planned Development Application – 1580 S 900 W, 1600 S 900 W, 1610 S 900 W, 1620 S 900 W, 1581 S 1000 W, 1587 S 1000 W and 1593 S 1000 W, Salt Lake City, UT 84104

1. Project Description

TAG 900 W will be a development of 71 townhome style condos built on 7 CB zoned parcels that comprise 2.59 acres. The site currently has 1 single-family residence that is being used as a rental. The rest of the parcels are large areas of open space located behind a strip of commercial uses on 1700 S. The proposed development will contain open space and other amenities for future residents. The parcels that will comprise the development will provide a pedestrian mid-block connection between 900 W and 1000 W. The location of the parcels in the Regional Commercial Node at 1700 S and 900 W, as well as an area that is indicated for Neighborhood on the Future Land Uses Map, makes this a suitable location for the density of the proposed development. Most of the buildings in the development will be accessed via a private drive aisle and will not have frontage on a public right-of-way (21A.36.010.C). Allowing development without public street frontage will better serve to help the city to accomplish goals outlined in Plan Salt Lake, Building SLC: A 5 Year Housing Plan and the Westside Master Plan than a strict application of the code.

2. Planned Development Information

a. Demonstrate how your project meets the purpose and objectives of a planned development as stated in 21A.55.010 of the Planned Development Ordinance: The proposed planned development meets the purpose and objectives of planned developments outlined in the city code 21A.55.010. Specifically, in subsections C.2., D.1. and F the ordinance specifies that planned developments can qualify by providing housing types not common in the existing area, creating interior block connections that improve connectivity and aligning with city master plan implementation. The proposed development does all three.

City code 21A.55.010 subsection C.2., provides qualification for planned developments if the proposed development helps to achieve the City's housing goals and policies. Specifically, subsection C.2. calls out developments that will provide housing types not common in the area that match the scale of existing neighborhoods. TAG 900 W will achieve the provisions of this portion of the purpose statement by providing a "missing middle" style townhome in an area that is largely dominated by single family housing and more traditional condos/townhomes. Moreover, plans for the site will be of a scale and intensity that are appropriate for the area. The location of the project in a Regional Commercial Node supports the density, but this density will be achieved without development at a scale that will overshadow or burden single-family neighbors.

City code 21A.55.010 subsection D.1., provides qualification for planned developments that improve mobility. Specifically, subsection D.1. creates eligibility for projects that create, "new interior block walkway connections that connect through a block or improve connectivity to transit of the bicycle network". This project will connect 900 W and 1000 W in a manner that will allow pedestrians to forego walking along 1700 S if they desire to do so. When coupled with the city streets Wenco Drive and Riverside Drive TAG 900 W will reduce the time that users approaching the Jordan River Trail from the East need to spend on busy 1700 S. Moreover, the drive aisle will exit on 900 W near an existing 509-line bus stop, folks living to the west of the project between Cannon Ave and 1700 S will be able to access this stop with increased efficiency upon completion of the project.

City code 21A.55.010 subsection F, addresses ways in which a project can help implement an adopted master plan. The proposed project assists in the implementation of several city plans, including Plan Salt Lake, Building SLC: A Five Year Housing Plan and the Westside Master Plan.

Plan Salt Lake, the citywide master plan, has several guiding principles that support a project like the proposed planned development. Within the growth principle initiatives 1, 2, 3, 6 and 8 speak to characteristics of the proposed project. Specifically, the project will be a unique land use for the area that provides infill on underutilized land in an area with the infrastructure and amenities needed to support it. The project will serve to accommodate the City's growing population and the location near the Jordan River Trail and other resources will ensure that it does so while providing access to a healthy lifestyle. In the housing principle initiatives 2, 3, 4 and 5 apply. The proposed project will provide a medium density housing type that is attainable for people at many places in their lives, including those who want reduced maintenance as they age in place. The infrastructure in the area is appropriate for the proposed growth and a moderate density increase would clearly be appropriate given the location in a Regional Commercial Node and the City's housing shortage. Finally, the project will help to attain initiatives 2 and 4 in the transportation and mobility principle. It will do so by offering a mid-block connection which will improve safety and ease for pedestrians attempting to access the recreation node at the Jordan River Trail and 1700 S as well as those attempting to reach a stop for the 509 Bus from the West.

Growing SLC: A 5 Year Housing Plan provides strong support for our project in Goal 1.1.2. which states that the City should, "develop in-fill ordinances that promote a diverse housing stock, increase housing options, create redevelopment opportunities, and allow additional units within existing structures, while minimizing neighborhood impacts." The shortage of "missing middle" housing types has long been recognized by the City as a major contributing factor to the housing crisis. TAG 900 W will be a missing middle development that will diversify housing options through the redevelopment of a largely empty patch of land, fulfilling goal stated in Growing SLC.

The Westside Master Plan includes an extensive discussion of development on the entire Westside of Salt Lake City. The major streets near the TAG 900 W project are called out in the Plan as arterials, indicating a high degree of connectivity to the rest of the city. In its discussion of Regional Commercial Nodes, the plan details the range of development possibilities available at these nodes including, "large commercial uses, professional offices and multi-family developments". Developing condo-style townhomes on the site will allow for the expansion of neighborhood housing options, while simultaneously complementing the dense commercial development in the area by providing an attainable housing option. Complementary uses are noted as being important to the redevelopment of Regional Commercial Nodes in the Westside Master Plan. The midblock connection that the planned development will offer allows pedestrians an option to largely avoid 1700 S between 900 W and the Jordan River Trail. The development will feature greater density than surrounding developments while still respecting the single-family neighbors to the North and West. This project will also serve as a buffer between their properties commercial/industrial uses in the area offering a smoother transition than what currently exists in the area. The site will offer residents amenities at nearby nodes including the recreation node at 1700 S and the Jordan River. The availability of a nearby 509 route bus stops will encourage transit utilization, with residents able to reach neighborhood and community nodes as well as Salt Lake Central Station via a bus that runs every 30 minutes

throughout much of the day. This is a step towards achieving the connectivity among nodes as well as the rest of the City discussed in the Master Plan. Additionally, the community node at 1300 S and 900 W is within .5 miles, a distance generally regarded as walkable. Moving forward, redevelopment of the Seven Peaks Water Park will create more recreation opportunities nearby, the planned development will provide additional density when compared to a strict application of the code and will thereby serve to support whatever amenity the City chooses to develop on the site.

b. Demonstrate how your project meets the standards for planned developments as stated in 21A.55.050 of the Planned Development Ordinance:

- a. Planned Development Objective: As outlined above the proposed planned development accomplishes purpose statement objectives described in 21A.55.010 subsections C.2., D.1. and F. A variance to zoning regulations is needed for this planned development because many of the buildings will not have street frontage on a public right-of-way and will therefore have to be accessed from a private road. The proposed variance also complies with the purpose statement provided in 21A.55.010 by encouraging a more efficient use of the land than would be seen under a stricter application of the CB code. Specifically, by allowing the variances requested in this Planned Development application, the City will allow densities closer to those outlined as appropriate in the Westside Master Plan while improving housing options and mobility in the area.
- b. Master Plan Compatibility: The proposed planned development is compatible with the policies of following city plans 1.) Plan Salt Lake 2.) Growing SLC: A 5 Year Housing Plan 3.) The Westside Master Plan. The proposed project provides the opportunity to better utilize what is currently a large open space to provide more housing that the community desperately needs. The developer will be collaborating with a team of architects and engineers to make sure that the project can live up to the goals of the Master Plan and other city planning documents while also minimizing impacts on surrounding property owners.
- c. Design and Compatibility: The design of the proposed development will be compatible with the greater area in which the project will be located. Many of the homes in the surrounding neighborhood are large lots, our development will feature more density, but the intensity of development will be appropriate for the neighborhood. The TAG 900 W project will serve as a buffer between the commercial/industrial uses at the Regional Commercial Node and the residential neighborhood to the north and west of the proposed development.
- d. Landscaping: The property is currently largely un-landscaped. We will bring in new hard surfaces to the property including roads and sidewalks. The developer anticipates landscaping around these features to create a welcoming environment where residents will want to live. Extensive destruction of mature vegetation is not expected as the lot is largely empty. The addition of a new development will necessitate more extensive landscaping than what is currently present on the parcels, and the architectural team will ensure that any new vegetation that is introduced is appropriate and contributes to the sense of place in the planned development. After the sale of project units, landscaping will be maintained using funds collected by the HOA.
- e. Mobility: The development will see the installation of new paved surfaces to provide access to garages and condos. The development will also serve to connect 900 W and 1000 W for pedestrians. The development is close to City arterial roads as well as a stop for the 509 bus. TAG 900 W will provide a more welcoming experience for neighbors to the West seeking to access public transit than the current vacant lots. As demonstrated by site plans TAG 900 W is designed to accommodate emergency services, including fire truck turnarounds. Moreover, the arterials roads at 900 W and 1700 S can handle the traffic of a development this size and therefore the project will not have a significant impact on the traffic of surrounding rights-of-way.
- f. Existing Site Features: The project will entail the demolition of a single-family residence that is currently on the site. It is not anticipated that the planned development will significantly impact the natural or built environment as the site currently sits largely vacant.

- g. Utilities: Existing utilities should provide for the needs of the proposed project with relatively minor alterations. Alterations will not affect the surrounding area and the developer will work closely with Salt Lake City's DRT and utility providers to mitigate any impacts on neighbors.

c. Describe the plan for long term maintenance of all private infrastructure as stated in 21A.55.110 of the Planned Development ordinance: A large amount of private infrastructure will be installed. This includes paved surfaces, community open space, water/sewer lines and townhome-style condos. A Homeowners Association will be established. This entity will be responsible for maintaining the private infrastructure by collecting dues from residents, ideally establishing a healthy reserve to deal with private infrastructure issues as they occur.

ATTACHMENT C – PLAN SET

DESIGN AND CODE CRITERIA

SLC ZONING: CB - COMMERCIAL BUILDING R-1-700 SINGLE FAMILY RESIDENTIAL		ENERGY CODE: THE FOLLOWING ASSEMBLIES SHALL COMPLY BY N1102.4.1.1 WHERE APPLICABLE	
CODE ANALYSIS: NOTE:	2015 IRC AS BASIS OF ANALYSIS	ROOF: REQUIRED PROVIDED	R49 R49 + 2 CI SLOPED
CONSTRUCTION TYPE: OCCUPANCY BASIS: GROSS AREA: BUILDING:	VB R-3 VARIES, SEE A002 VARIES, SEE A002	WALL: REQUIRED PROVIDED	R20 OR R13 + R5 R23
NUMBER OF STORIES: FIRE SPRINKLERS: FIRE SEPARATION: RATED WALL ASSEMBLES: DRAFT STOPS: WINDOW EGRESS:	3 YES, 13D SYSTEM 2 HR PROVIDED 2 HR UL #263 NOT REQUIRED FOR AREAS <1,000 SF REFER TO A600	SLAB: REQUIRED PROVIDED	R10 FOR 2' R10 FOR 2'
		FENESTRATION U-FACTOR REQUIRED PROVIDED	.32 .32

STANDARD ABBREVIATIONS

#	NUMBER
&	AND
@	AT
±	PLUS OR MINUS, APPROXIMATELY
ABV	ABOVE
AC	AIR CONDITIONING
ADJ	ADJUST, ADJACENT
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
ANOD	ANODIZED
BLDG	BUILDING
BTWN	BETWEEN
BYD	BEYOND
BO	BOTTOM OF
BOT	BOTTOM
BOW	BOTTOM OF WALL
CI	CONTINUOUS INSULATION
CIP	CAST-IN-PLACE
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
CO	CLEANOUT
COL	COLUMN
COMM	COMMUNICATIONS
CONC	CONCRETE
CONT	CONTINUOUS
COORD	COORDINATE
CPT	CARPET
CTR	CENTER
CUST	CUSTOM
DBL	DOUBLE
DET	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DIV	DIVISION
DN	DOWN
DR	DOOR
EA	EACH
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
ELEV	ELEVATION
EMER	EMERGENCY
ENGR	ENGINEER
EQ	EQUAL
EQUIP	EQUIPMENT
EXG	EXISTING
EXP	EXPOSED, EXPANSION
EXT	EXTERIOR
FAB	FABRICATE
FD	FLOOR DRAIN
FF&E	FIXTURES FURNISHINGS & EQUIPMENT
FLEX	FLEXIBLE
FLR	FLR
FO	FACE OF
FOC	FACE OF CONCRETE
FND	FOUNDATION
FUT	FUTURE
GA	GAUGE
GC	GENERAL CONTRACTOR
GFCI	GROUND FAULT CIRCUIT INTERRUPTED
GLAZ	GLAZING
GWB	GYPSPUM WALL BOARD
GYP	GYPSPUM
HM	HOLLOW METAL
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
INSUL	INSULATED, INSULATION
INT	INTERIOR
J-BOX	JUNCTION BOX
JST	JOIST
LAM	LAMINATED, LAMINATE
LB	POUND, POUNDS
MAX	MAXIMUM
MECH	MECHANICAL
MISC	MISCELLANEOUS
MIN	MINIMUM
MIR	MIRROR
MTD	MOUNTED
NIC	NOT IN CONTRACT
NRC	NOISE REDUCTION COEFFICIENT
NTS	NOT TO SCALE
OC	ON CENTER
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OZ	OUNCE
PERF	PERFORATE, PERFORATED
PLAM	PLASTIC LAMINATE
PLYD	PLYWOOD
PKFAB	PREFABRICATED
PTD	PAINTED
QTY	QUANTITY
RB	RUBBER BASE, RUBBER
RCP	REFLECTED CEILING PLAN
REQD	REQUIRED
RO	ROUGH OPENING
SCHED	SCHEDULE, SCHEDULED
SF	SQUARE FEET
SIM	SIMILJAR
SPEC	SPECIFIED, SPECIFICATION
STC	SOUND TRANSMISSION COEFFICIENT
STD	STANDARD
STRUCT	STRUCTURAL
SUB	SUBSTITUTE, SUBCONTRACTOR
TEMP	TEMPORARY, TEMPERATURE
THRU	THROUGH
TO	TOP OF
TOW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
WI	WITH
W/O	WITHOUT
WD	WOOD
WRB	WEATHER-RESISTANT BARRIER

BUILDING TYPE SF

REFERENCE SHEET A002 FOR BUILDING TYPES AND LOCATIONS

BUILDING TYPE 1 13,994 GROSS SF	BUILDING TYPE 5 4,006 GROSS SF
BUILDING TYPE 2 12,229 GROSS SF	BUILDING TYPE 6 10,487 GROSS SF
BUILDING TYPE 3 9,643 GROSS SF	BUILDING TYPE 7 6,472 GROSS SF
BUILDING TYPE 4 8,697 GROSS SF	

UNIT FIXTURE COUNT

REFERENCE SHEETS A400, A401, A402, A403 FOR UNIT LAYOUTS AND FIXTURE LOCATIONS

UNIT A (13 UNITS TOTAL)	
CONDITIONED SPACE:	1,515 SF
HOSE BIB:	2 EXTERIOR
TOILETS:	3
SHOWER:	1
TUB:	1
SINKS:	4
DISHWASHER	1
WASHER	1
WATER HEATER	1
HVAC SYSTEM	1

UNIT B (13 UNITS TOTAL)	
CONDITIONED SPACE:	1,515 SF
HOSE BIB:	2 EXTERIOR
TOILETS:	3
SHOWER:	1
TUB:	1
SINKS:	4
DISHWASHER	1
WASHER	1
WATER HEATER	1
HVAC SYSTEM	1

UNIT C (22 UNITS TOTAL)	
CONDITIONED SPACE:	1,515 SF
HOSE BIB:	2 EXTERIOR
TOILETS:	3
SHOWER:	1
TUB:	1
SINKS:	4
DISHWASHER	1
WASHER	1
WATER HEATER	1
HVAC SYSTEM	1

UNIT D (23 UNITS TOTAL)	
CONDITIONED SPACE:	1,223 SF
HOSE BIB:	2 EXTERIOR
TOILETS:	3
SHOWER:	0
TUB:	2
SINKS:	4
DISHWASHER	1
WASHER	1
WATER HEATER	1
HVAC SYSTEM	1

SYMBOLS LEGEND

	GRID LABEL
ROOM NAME 	ROOM TAG SQUARE FOOTAGE
	EXTERIOR ELEVATION TAG
	BUILDING SECTION TAG
	WALL SECTION TAG
	ENLARGED PLAN OR PLAN DETAIL TAG
	DOOR TAG
	GLAZING TAG
	WALL TYPE TAG
	ARCHITECTURAL ELEVATION TAG

SHEET INDEX

SHEET	NAME
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ARCHITECTURE

A000	3D VIEWS
A001	MATERIAL SELECTION AND RENDERINGS
A002	SITE PLAN
A003	BUILDING TYPE KEY PLAN
A004	SITE DETAILS
A103	BUILDING 1 DIMENSION PLAN
A104	BUILDING 2 DIMENSION PLAN
A105	BUILDING 3 DIMENSION PLAN
A106	BUILDING 4 DIMENSION PLAN
A107	BUILDING 5 DIMENSION PLAN
A108	BUILDING 6 DIMENSION PLAN
A109	BUILDING 7 DIMENSION PLAN
A201	BUILDING 1 ELEVATIONS
A202	BUILDING 2 ELEVATIONS
A203	BUILDING 3 ELEVATIONS
A204	BUILDING 4 ELEVATIONS
A205	BUILDING 5 ELEVATIONS
A206	BUILDING 6 ELEVATIONS
A207	BUILDING 7 ELEVATIONS

TAG SLC

GLENDALE TOWNHOMES

PLANNED DEVELOPMENT

09.08.22

PROJECT NARRATIVE: THIS PROJECT CONSISTS OF 8 BUILDING TYPES CONTAINING A MIXTURE OF 3 STORY, 2 AND 3 BEDROOM UNITS, WITH AN OFFICE SPACE AND GARAGE ON LEVEL 1. CONSTRUCTION WILL WOOD FRAMED. IN TOTAL THERE WILL BE (13) BUILDINGS WITH 71 LIVING UNITS.

GENERAL NOTES

- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR THE ENTIRE SET OF DRAWINGS AND THEIR RELEVANT SPECIFICATION SECTIONS. IN ORDER TO COORDINATE THEIR PORTION OF THE WORK, ALL CONTRACTORS SHALL MAKE THEMSELVES AVAILABLE FOR A PRE-CONSTRUCTION COORDINATION MEETING TO REVIEW MOUNTING HEIGHTS OF EQUIPMENT, FIXTURES, DUCTWORK, ETC. IN ORDER TO VERIFY INTENT AND IDENTIFY AND RESOLVE POTENTIAL CONFLICTS.
- CONTRACTOR TO VERIFY ANY DISCREPANCIES WITH ARCHITECT PRIOR TO BID.
- GENERAL CONTRACTOR SHALL CONTACT THE UTAH DIVISION OF AIR QUALITY 801.536.4000. COMPLIANCE WITH THEIR REQUIREMENTS IS MANDATORY.

MECHANICAL, ELECTRICAL, PLUMBING GENERAL NOTES:

- MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS ARE SCHEMATIC IN NATURE TO INDICATE DESIGN INTENT. CONTRACTOR AND CONTRACTOR'S ENGINEERING CONSULTANT TO VERIFY LOADS, SIZING, AND DETAILS PRIOR TO INSTALLATION OF ALL M.E.P. SYSTEMS AND APPLIANCES.

FIRE CODE REQUIREMENTS

- REQUIRED MEANS OF EGRESS AND FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED DURING CONSTRUCTION AND DEMOLITION, REMODELING, OR ALTERATIONS AND ADDITIONS TO THE BUILDING. FIRE PREVENTION BUREAU SHALL APPROVE REVIEW OF ANY EXISTING ALTERATIONS AS REQUIRED IN IFC SECTION 3311.2.
- THERMAL AND SOUND INSULATION AND COVERING WHICH ARE INSTALLED IN CONCEALED AND EXPOSED SPACES AND AS COVERING OVER PIPE AND TUBING SHALL BE TESTED IN ACCORDANCE WITH AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) E B4 AND HAVE A FLAME SPREAD OF 0-25 AND A SMOKE INDEX OF 0-450.
- CONSTRUCTION SHALL NOT COMMENCE UNTIL FIRE DEPARTMENT ACCESS ROADS ARE INSTALLED 100' OF ALL EXTERIOR WALLS OF FIRST FLOOR AND FIRE HYDRANTS ARE INSTALLED AND REQUIRED FIRE FLOW IF PROVIDED AS REQUIRED IN IFC 3312.1.
- FIRE PERMITS SHALL BE IN ACCORDANCE WITH IFC SECTIONS 105.1.1 THROUGH 105.7.16. THE FOLLOWING ITEM(S) REQUIRE A SEPARATE PERMIT:
 - UNDERGROUND FIRE PERMIT TO INCLUDE WATER MAINS AND FIRE HYDRANTS.
- PROVIDE A MINIMUM 2A-10 BC RATED FIRE EXTINGUISHERS WITHIN 75-FOOT TRAVEL DISTANCE TO ALL SPACES IN THE STRUCTURE DURING CONSTRUCTION, ALTERATION, OR DEMOLITION IN THE FOLLOWING AREAS AS REQUIRED IN IFC CHAPTER 33:
 - AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
 - IN EVERY STORAGE AND CONSTRUCTION SHED.
 - ADDITIONAL PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED WHERE SPECIAL HAZARDS EXIST INCLUDING, BUT NOT LIMITED TO, THE STORAGE AND USE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS.
- Fire line shall provide a minimum 12-inch clearance to any footing and shall provide an annular space of at least 2-inches greater than the size of the pipe when it penetrates a foundation wall or concrete floor.
- FIRE RISER: NFPA 24 – 10.4.3.1 Private fire service mains supplying fire protection systems within a building shall be permitted to extend no more than 10-feet, as measured from the outside of the building, under the building to the riser location.

FIRE HYDRANT NOTES

FIRE HYDRANTS ARE EXISTING AND CONTRACTOR SHALL VERIFY THE FOLLOWING:

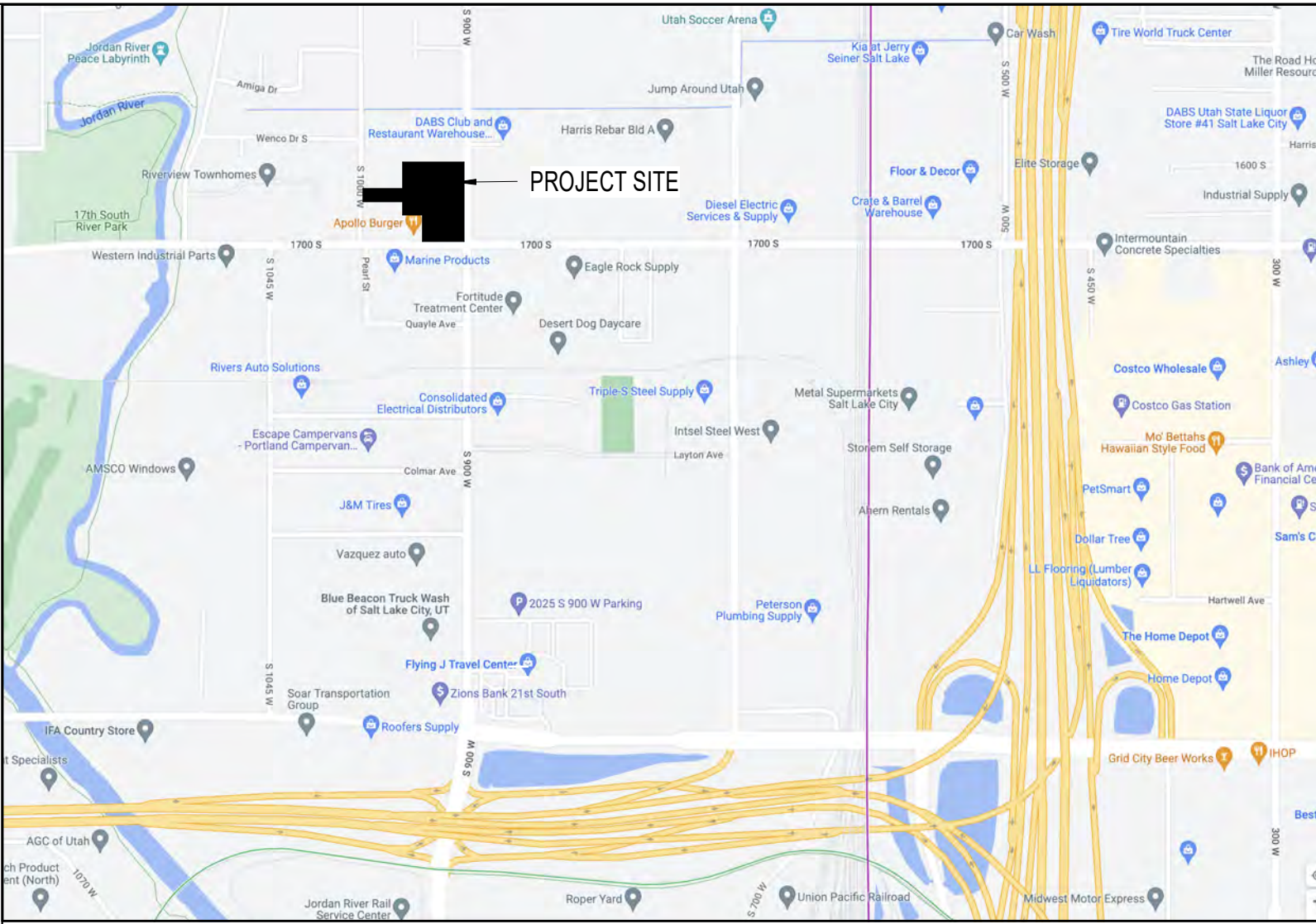
- STRUCTURE REQUIRES 1,000 GMP AT 20 PSI
- FIRE HYDRANTS SHALL PROVIDE (2) 2 1/2" OUTLETS AND (1) 4 1/2" OUTLET
- FIRE HYDRANT SHALL BE 15' OF FIRE DEPARTMENT ACCESS ROAD
- FIRE HYDRANT SHALL BE EQUIPPED WITH AN INDEPENDENT LATERAL CONTROL VALVE PLACED AT BASE INLET
- A 3' CLEARANCE SHALL BE MAINTAINED AT ALL TIMES AROUND FIRE HYDRANT
- WATER MAINS AND LATERALS SHALL BE 8"
- WATER LATERALS OVER 16' OR LONGER SHALL HAVE CONTROL VALVES AT THE TOP OF WATER MAIN AND THE FIRE HYDRANT
- WATER LATERAL SHALL BE SIZED TO MEET REQUIRED FLOW OF SYSTEM
- WATER MAIN AND LATERALS SHALL BE PROVIDED WITH THRUST BLOCKS AND SIZED AS REQUIRED BY NFPA STANDARD 24
- FIRE HYDRANT COVERAGE SHALL BE WITHIN 600' OF ALL EXTERIOR WALLS OF FIRST FLOOR

SPECIFICATIONS

- SUBMIT SAMPLES FOR ARCHITECT'S APPROVAL

- MANUFACTURERS AND MODELS LISTED ARE BASIS OF DESIGN - SUBSTITUTIONS ARE TO BE REVIEWED BY OWNER AND ARCHITECT AND COORDINATED BY CONTRACTOR

COMPONENT	MANUFACTURER	MODEL	COLOR/FINISH	NOTES
WALL STUCCO			VARIES	REFER TO EXTERIOR ELEVATIONS
CEMENT FIBER BOARD	JAMES HARDIE		VARIES	REFER TO EXTERIOR ELEVATIONS
SOFFIT STUCCO			VARIES	REFER TO RCP
WINDOWS	AMSCO WINDOWS	VINYL	WHITE	
SLIDING DOOR SYSTEMS	AMSCO WINDOWS	VINYL	WHITE	
ROOFING	BY ROOFER	60 MIL TPO	WHITE	
ROOF DRIP EDGE	BY ROOFER		MATCH STUCCO	
WOOD ENTRY DOORS	ABS	CHERRY	VARIES	REFER TO EXTERIOR ELEVATIONS
SITE FENCING	BY CONTRACTOR	CEDAR	SILVERED FINISH	REF: LANDSCAPING
RAILINGS	BY FABRICATOR		GLAZING	GALVANIZED STEEL PRIMED & PTD, SEE DETAILS
GARAGE DOOR	NORTHWEST DOOR	SOLID PANEL	WHITE OR MATCH STUCCO	INSULATED IS REQUIRED TO MAINTAIN 40 DEGREES FOR FIRE RISER



VICINITY MAP
NTS

CIVIL ENGINEER

TOM HILL

PRICE ENGINEERING
801.814.0227

LANDSCAPE ARCHITECT

MARK MORRIS

VODA LANDSCAPE AND PLANNING
159 WEST BROADWAY #200
SLC UTAH 84101
385.429.2858

STRUCTURAL ENGINEER

GARRETT JENKINS

IRIDIUM ENGINEERING
635 W 5300 S #203
MURRAY, UT 84123
801.974.5101

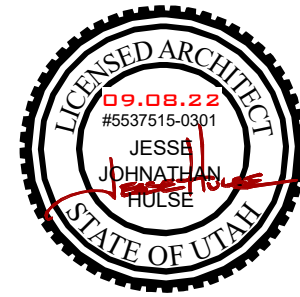
DEFERRED SUBMITTALS

PLUMBING PERMIT
ELECTRICAL PERMIT
POWER PLAN PERMIT
MECHANICAL PERMIT
SIGN ON CANOPY: SIGNS REQUIRE A SEPARATE SIGN PERMIT.

ATLAS
ARCHITECTS, INC

175 WEST 900 SOUTH
SLC, UT 84101
801.322.2724

WWW.ATLASARCHITECTS.COM



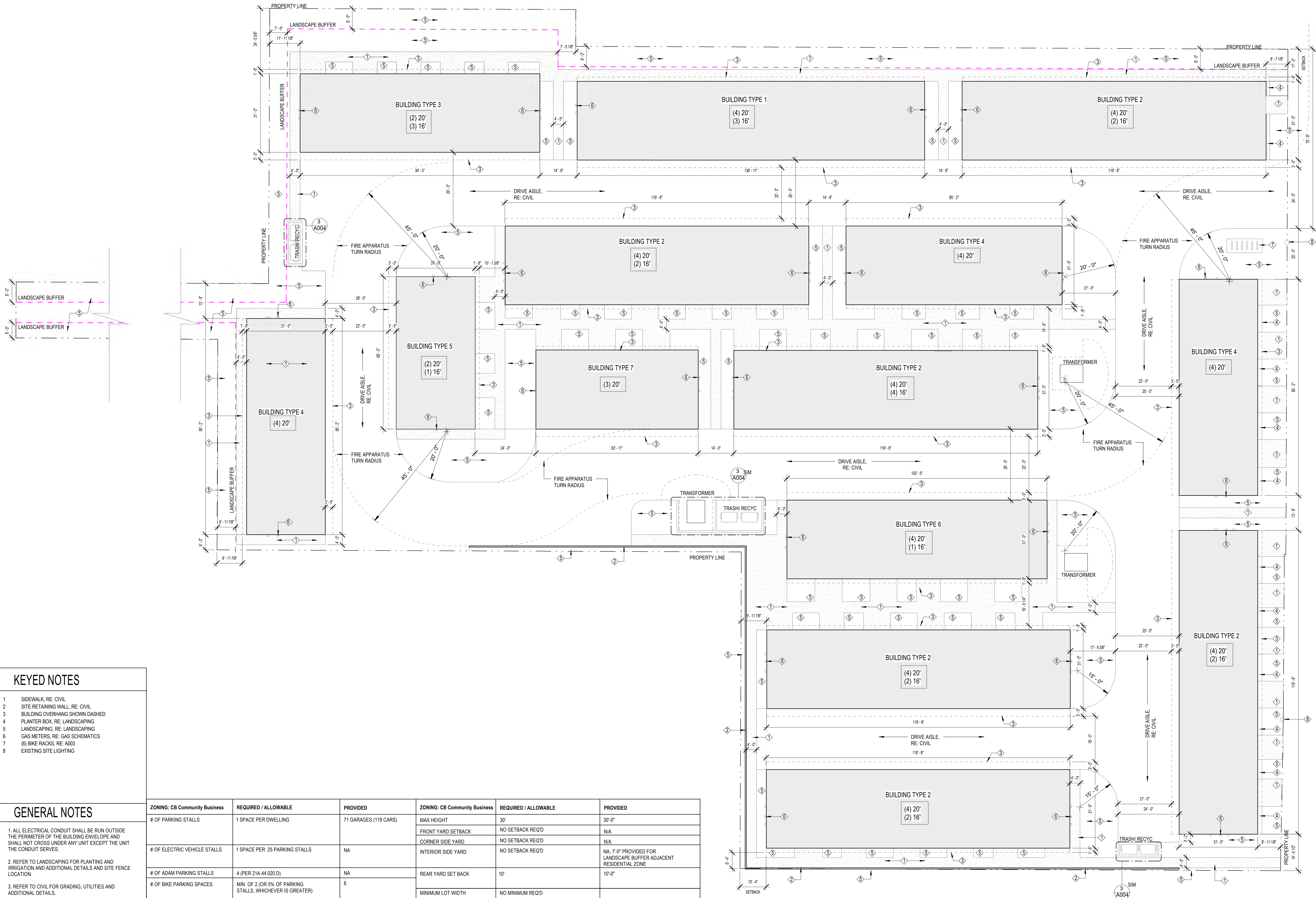
GLENDALE TOWNHOMES
1590 SOUTH 900 WEST
SALT LAKE CITY UTAH 84101

09.08.22

PD

COVER

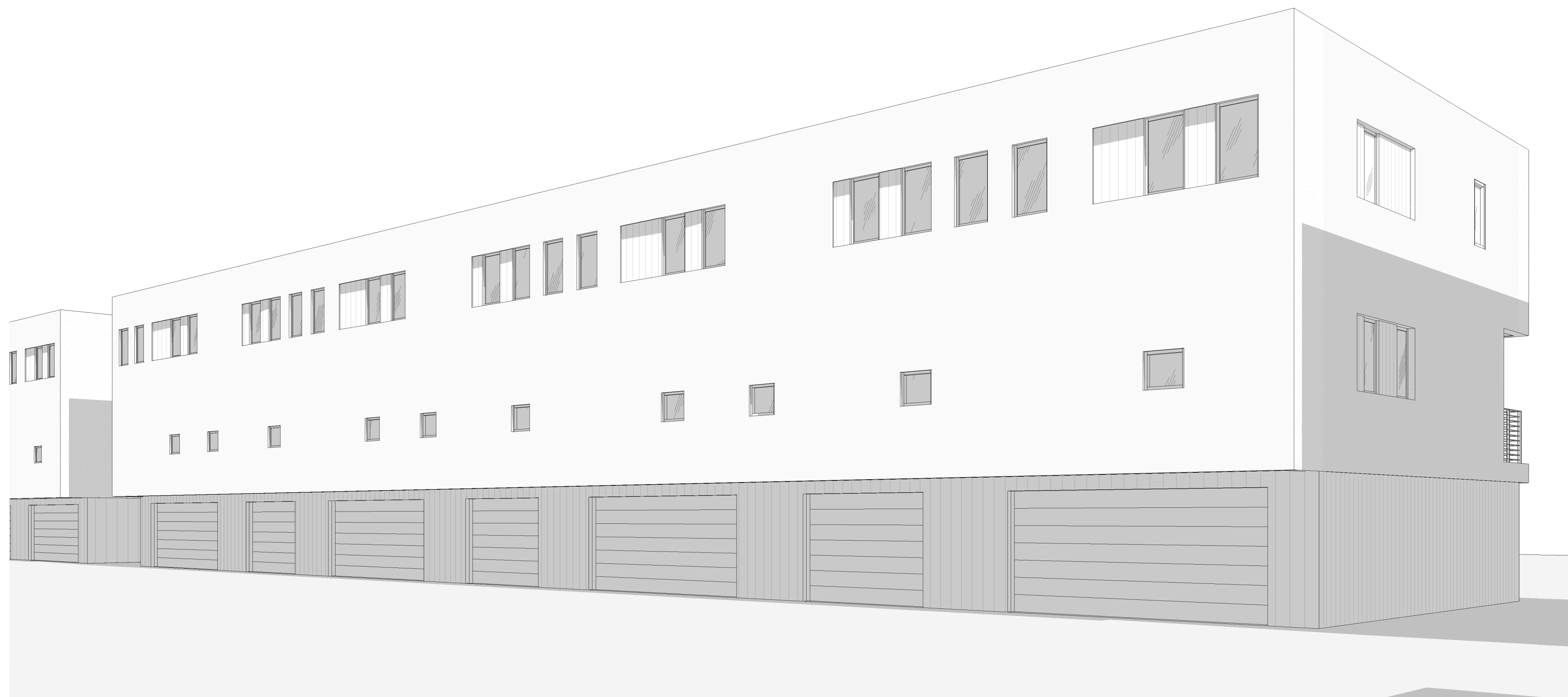
CVR



1 SITE PLAN
1/16" = 1'-0"



② TYPICAL FRONT VIEW



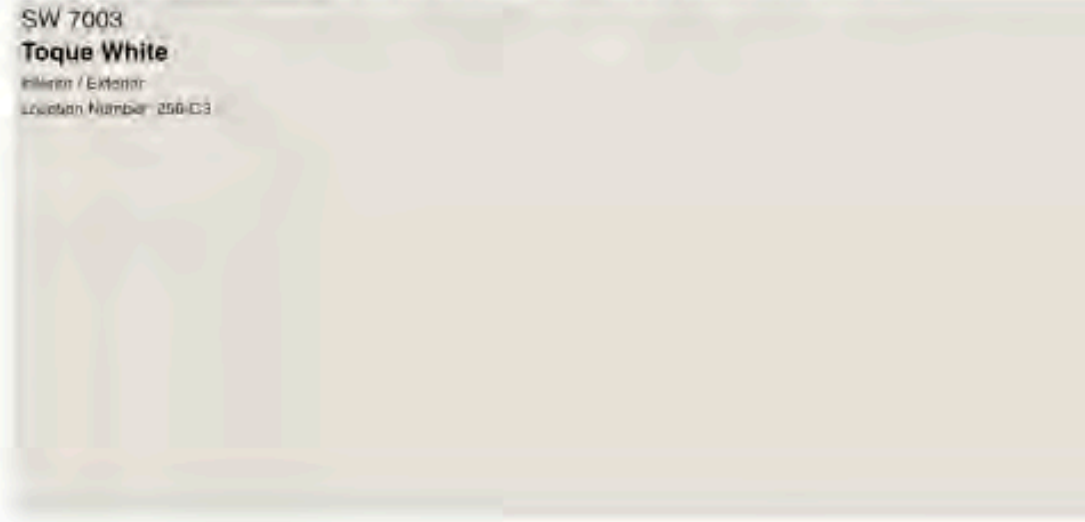
① TYPICAL GARAGE VIEW



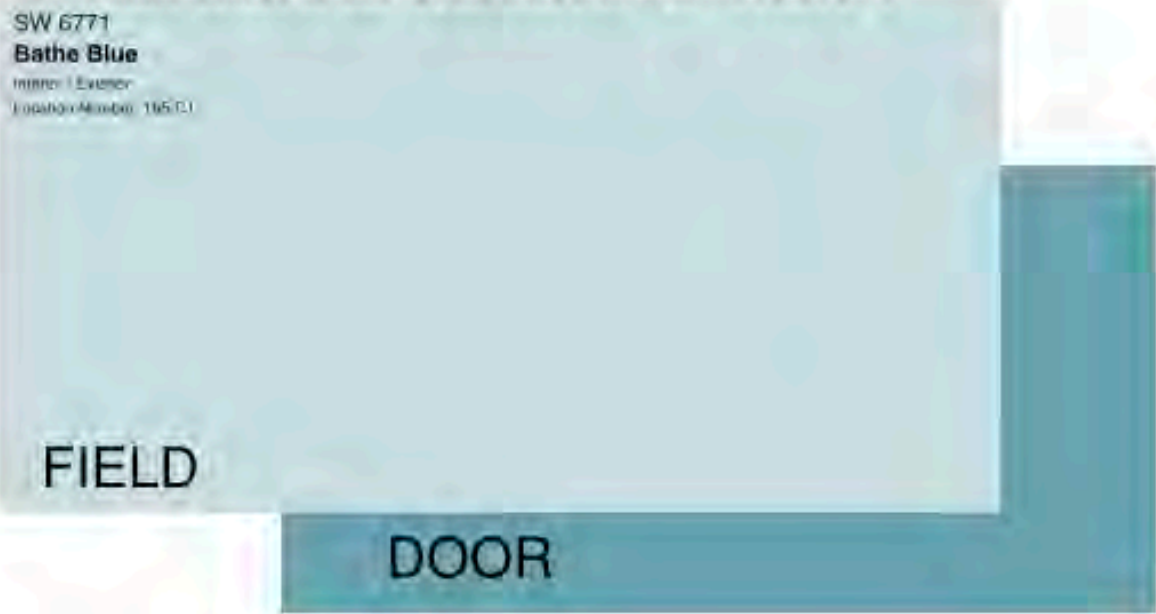
③ BUILDING 2 NE CORNER



STUCCO COLOR: ALL BUILDINGS



HARDI BOARD COLOR: OPTION 1



HARDI BOARD COLOR: OPTION 2

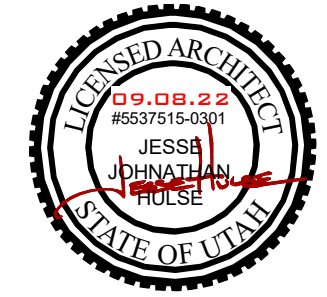


HARDI BOARD COLOR: OPTION 3



HARDI BOARD COLOR: OPTION 4





GLENDALE TOWNHOMES
1590 SOUTH 900 WEST
SALT LAKE CITY UTAH 84101

09.08.22

PD

BUILDING TYPE
KEY PLAN

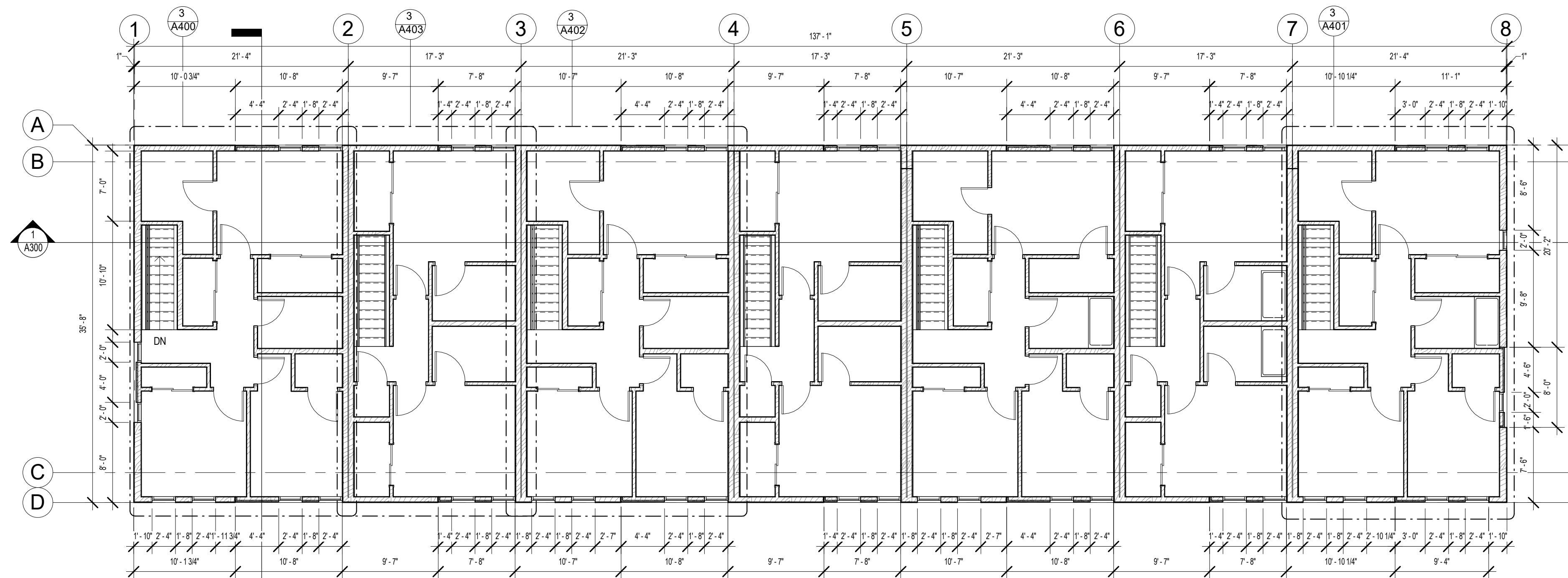
A003



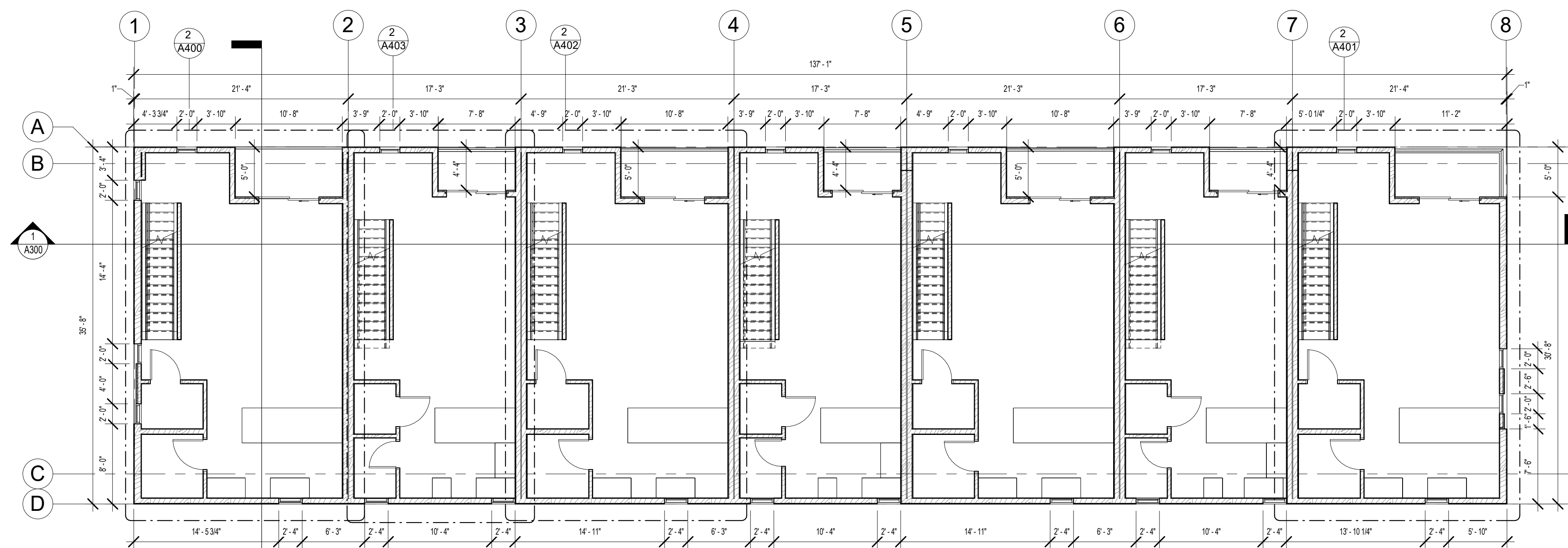
REFER TO FLOOR PLANS AND ENLARGED FLOOR PLANS
FOR BUILDING AND UNIT LAYOUTS.

- 20' WIDE UNIT TYPE A
- 20' WIDE UNIT TYPE B
- 20' WIDE UNIT TYPE C
- 16' WIDE UNIT TYPE D
- 20' WIDE UNIT TYPE B2

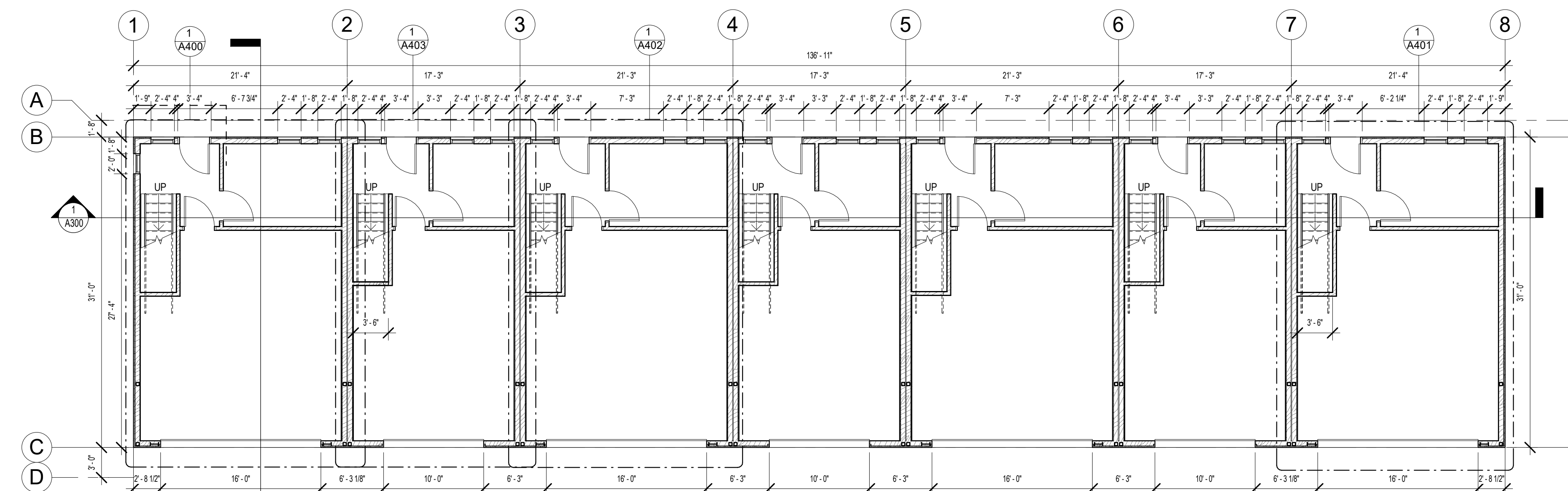
1 SITE PLAN
1/16" = 1'-0"



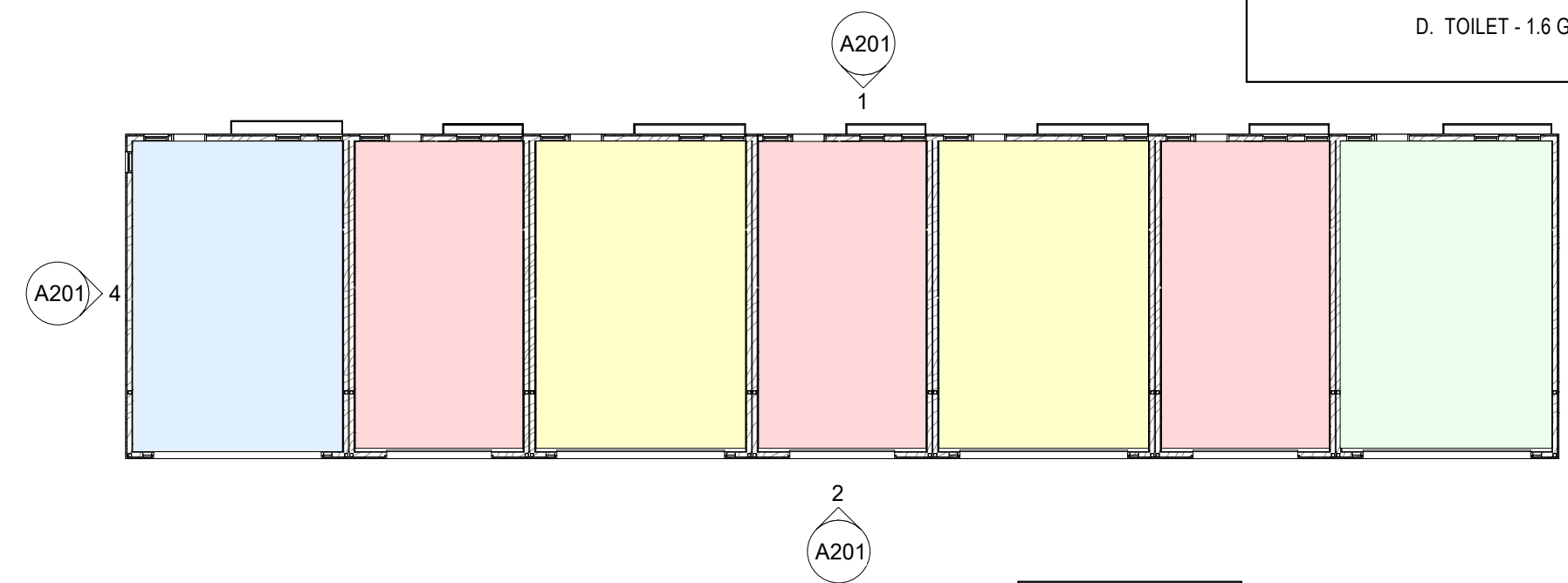
3 LEVEL 3 OVERALL PLAN
1/8" = 1'-0"



2 LEVEL 2 OVERALL PLAN
1/8" = 1'-0"



1 LEVEL 1 OVERALL PLAN
1/8" = 1'-0"



4 BUILDING 1 KEY PLAN
1/16" = 1'-0"

- UNIT TYPE A
- UNIT TYPE B
- UNIT TYPE C
- UNIT TYPE D

WALL

- BOARD AND BATTEN HARDIE BOARD OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- BOARD AND BATTEN HARDIE BOARD OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X4 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- STUCCO OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- STUCCO OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER, 2" FURRING, 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- 2X4 WOOD STUD FRAMING WITH PAINTED GYPSUM BOARD ON BOTH SIDES.
- 2X6 WOOD STUD FRAMING WITH PAINTED GYPSUM BOARD ON BOTH SIDES.
- (2) 2X6 WOOD STUD FRAMING WITH 1" AIR GAP BETWEEN STUDS AND (2) LAYERS PAINTED GYPSUM BOARD ON EXTERIOR SIDES, FIRE RATED WALL, RE: WALL SECTIONS AND DETAILS

GENERAL

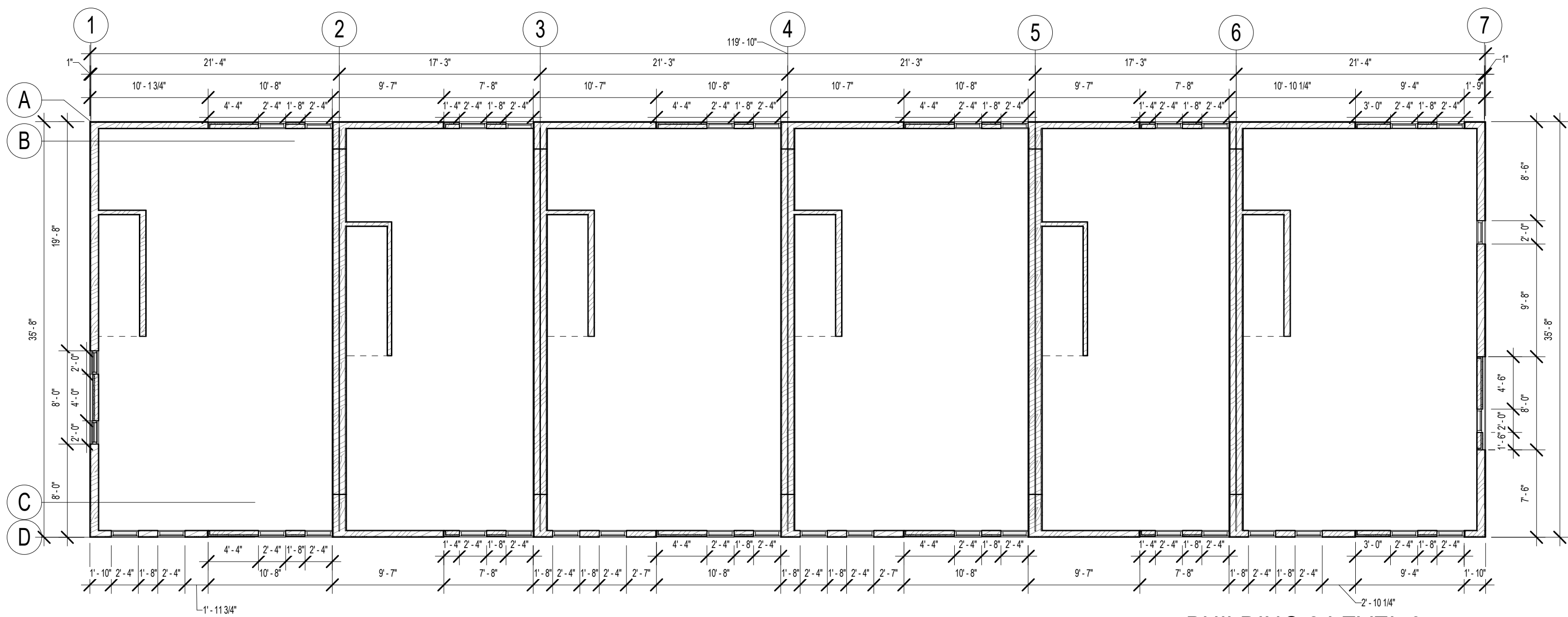
BUILDING TYPE 1
13,994 GROSS SF
7 TOWNHOUSE UNITS
CONDITIONED SPACE: 9,729 SF
HOSE BIB: 14 EXTERIOR
TOILETS: 21
SHOWERS: 4
TUB: 10
SINKS: 28
DISHWASHER: 7
WASHER: 7
WATER HEATER: 7
HVAC SYSTEM: 7

GENERAL

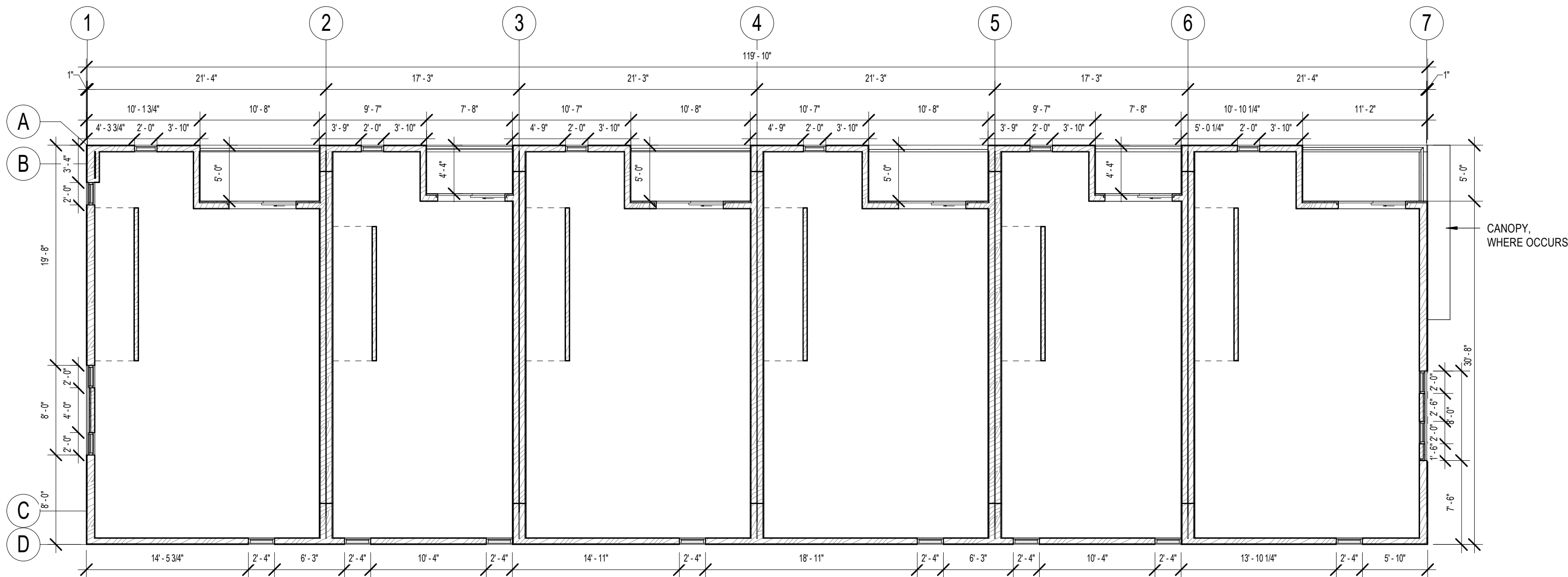
- REFER TO ENLARGED PLANS AND EXTERIOR ELEVATIONS FOR UNIT LAYOUTS, DOOR AND WINDOW TAGS, WALL TYPES AND OTHER ADDITIONAL INFORMATION AND INTERIOR DIMENSIONS.
- REFER TO FOUNDATION PLAN AND ENLARGED PLANS FOR COLUMN LOCATIONS.
- CONTRACTOR TO VERIFY WITH ARCHITECT ANY DISCREPANCIES PRIOR TO BID.
- SUBSTRATE FOR TILED WET AREAS SHALL CONFORM TO IRC R702.4.2
- NONABSORBENT SURFACE SHALL EXTEND TO A MINIMUM 6" ABOVE THE FLOOR AT SHOWER LOCATIONS PER IRC R307.2
- THE COMMON WALL SHARED BY TWO TOWNHOUSES SHALL BE CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS, OR VENTS IN THE CAVITY OF THE COMMON WALL PER R302.2
- IF APPLICABLE PROVIDE MAKE-UP AIR FOR RANGE HOODS EXHAUSTING IN EXCESS OF 400CFM PER IRC M1503.4
- FIRE RISER LOCATION MUST MAINTAIN A TEMPERATURE OF 40 DEGREES AND 12" FROM EXTERIOR FOUNDATIONS WALLS

PLUMBING

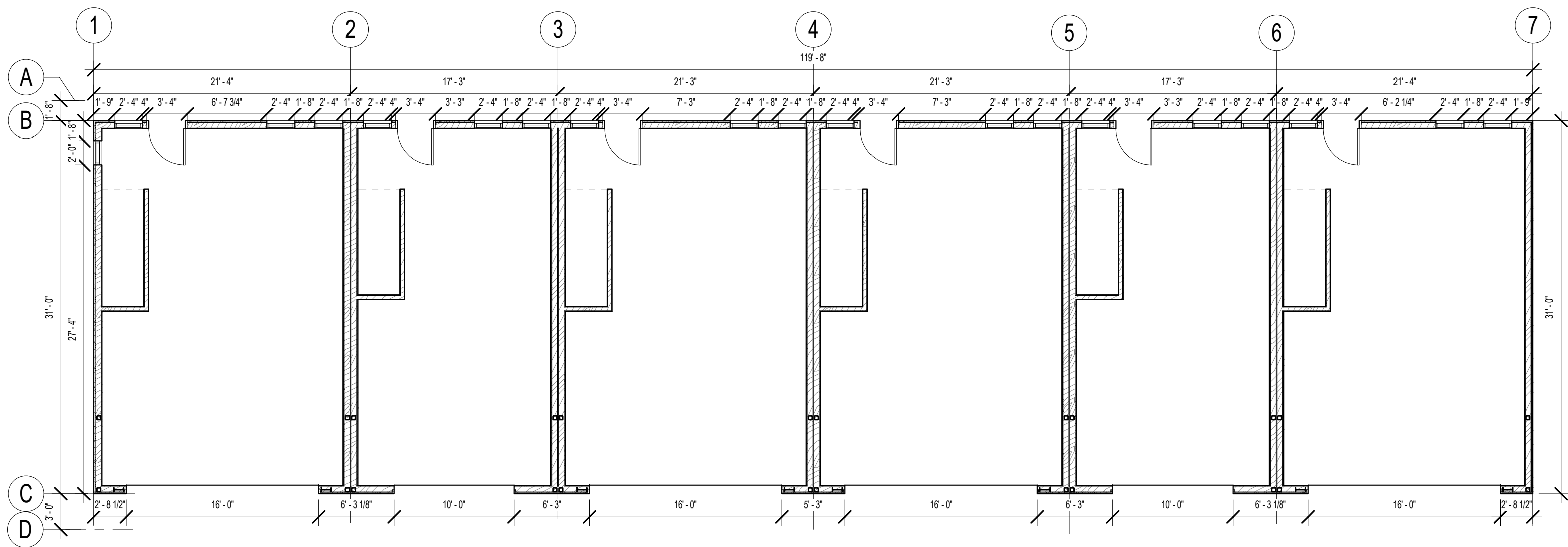
- WATER HEATER TO BE SEISMICALLY BRACED PER IRC P2801.8
 - PROVIDE EXPANSION TANK PER IRC P2903.4
 - FLOOR DRAIN TO HAVE A MINIMUM THICKNESS 24 GAGE PER IRC P2801.6
 - WATER HEATER SOURCE OF IGNITION MUST BE AT A MINIMUM 18" ABOVE THE FLOOR PER IRC M1307.3 & PROTECTED FROM IMPACT PER IRC M1307.3.1
 - BACKWATER VALVES SHALL BE INSTALLED SO THAT THE WORKING PARTS ARE ACCESSIBLE FOR SERVICE AND REPAIR PER IRC P3008.5
 - FROSTPROOF HOSE BIB TO COMPLY PER IRC P2903.10
 - PLUMBING FIXTURES & CLEARANCES TO COMPLY PER IRC R307 & P2705.1
 - ALL TUBS & SHOWERS ARE REQUIRED TO BE EQUIPPED WITH WATER TEMPERATURE LIMITING DEVICE THAT IS SET TO 120° F MAXIMUM PER IRC P2708.4 & P2713.3
 - SHOWER PAN IS TO BE PROVIDED PER IRC P2709
 - WATER HAMMER ARRESTORS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS PER IRC P2903.5
 - SHOWER ACCESS OPENINGS SHALL HAVE A CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF NOT LESS THAN 22 INCHES PER IRC P2708.1.1
 - WATER HEATER IN EACH UNIT WILL BE ELEVATED PER IRC M1307.3
 - MAXIMUM FLOW RATES AND CONSUMPTION OF FIXTURES PER IRC TABLE P2903.2
- PSI
- A. LAVATORY FAUCET - 2.2 GPM AT 60
 - B. SHOWER HEAD - 2.5 GPM AT 80 PSI
 - C. SINK - 2.2 GPM AT 60 PSI
 - D. TOILET - 1.6 GALLONS PER FLUSH



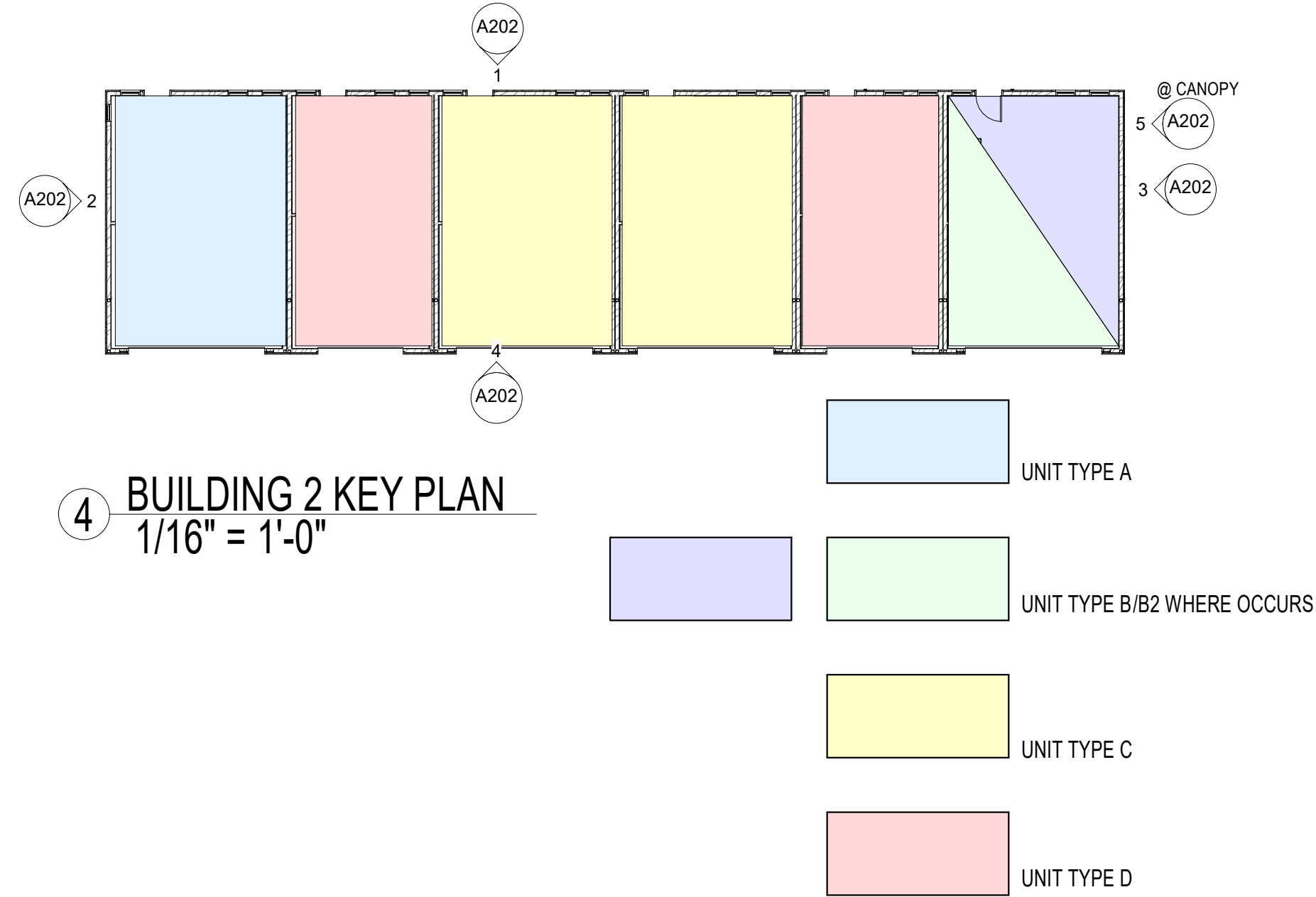
3 BUILDING 2 LEVEL 3
1/8" = 1'-0"



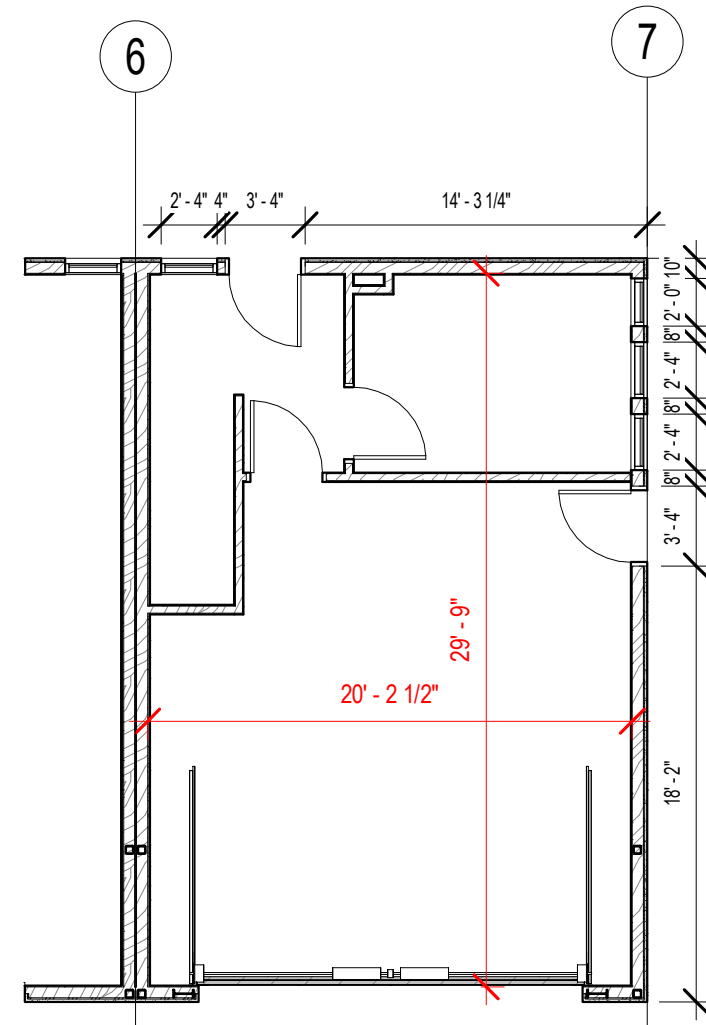
2 BUILDING 2 LEVEL 2
1/8" = 1'-0"



1 BUILDING 2 LEVEL 1
1/8" = 1'-0"



4 BUILDING 2 KEY PLAN
1/16" = 1'-0"



5 LEVEL 1 UNIT B2
1/8" = 1'-0"

WALL

- 1 BOARD AND BATTEN HARDIE BOARD OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- 2 BOARD AND BATTEN HARDIE BOARD OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X4 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- 3 STUCCO OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
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- 5 2X6 WOOD STUD FRAMING WITH PAINTED GYPSUM BOARD ON BOTH SIDES.
- 6 (2) 2X6 WOOD STUD FRAMING WITH 1" AIR GAP BETWEEN STUDS AND (2) LAYERS PAINTED GYPSUM BOARD ON EXTERIOR SIDES, FIRE RATED WALL, RE: WALL SECTIONS AND DETAILS

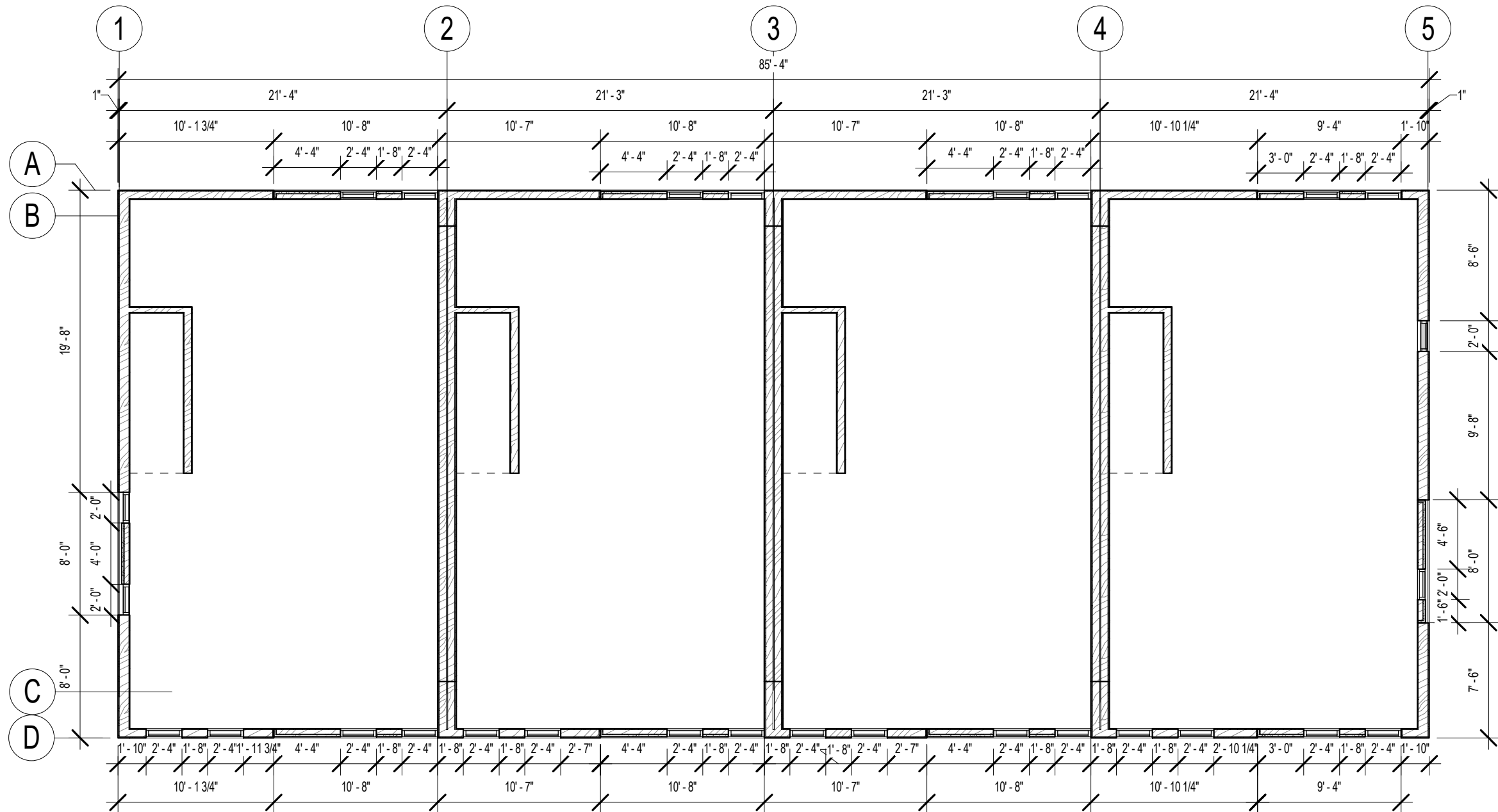
BUILDING TYPE 2	
12,229 GROSS SF	
6 TOWNHOUSE UNITS	
CONDITIONED SPACE:	8,506 SF
HOSE BIB:	12 EXTERIOR
TOILETS:	18
SHOWER:	4
TUB:	8
SINKS:	24
DISHWASHER:	6
WASHER:	6
WATER HEATER:	6
HVAC SYSTEM:	6

GENERAL

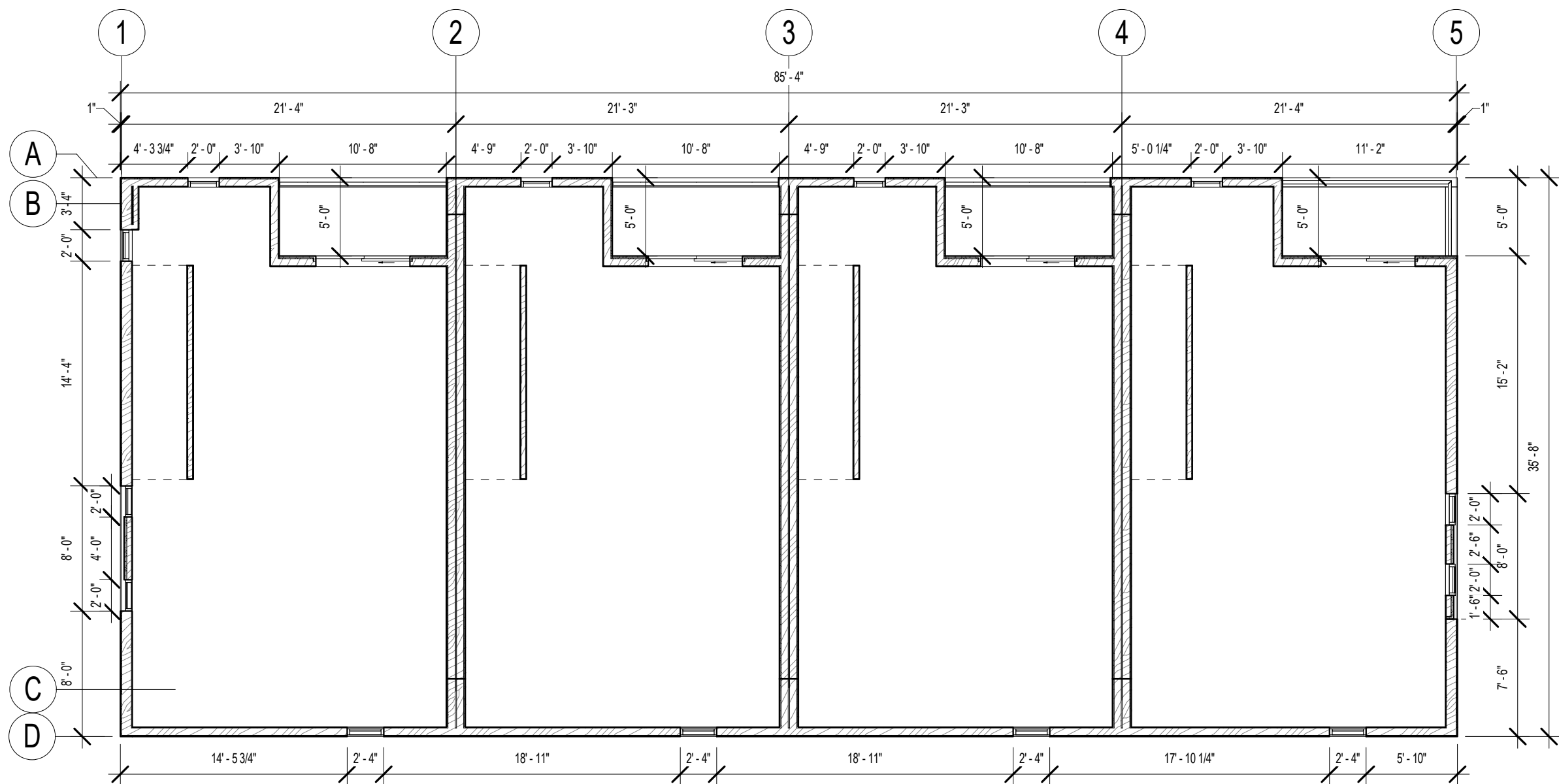
1. REFER TO ENLARGED PLANS AND EXTERIOR ELEVATIONS FOR UNIT LAYOUTS, DOOR AND WINDOW TAGS, WALL TYPES AND OTHER ADDITIONAL INFORMATION AND INTERIOR DIMENSIONS.
2. REFER TO FOUNDATION PLAN AND ENLARGED PLANS FOR COLUMN LOCATIONS.
3. CONTRACTOR TO VERIFY WITH ARCHITECT ANY DISCREPANCIES PRIOR TO BID.
4. SUBSTRATE FOR TILED WET AREAS SHALL CONFORM TO IRC R702.4.2
5. NONABSORBENT SURFACE SHALL EXTEND TO A MINIMUM 6" ABOVE THE FLOOR AT SHOWER LOCATIONS PER IRC R307.2
6. THE COMMON WALL SHARED BY TWO TOWNHOUSES SHALL BE CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS, OR VENTS IN THE CAVITY OF THE COMMON WALL PER R302.2
7. IF APPLICABLE PROVIDE MAKE-UP AIR FOR RANGE HOODS EXHAUSTING IN EXCESS OF 400CFM PER IRC M1503.4
8. FIRE RISER LOCATION MUST MAINTAIN A TEMPERATURE OF 40 DEGREES AND 12" FROM EXTERIOR FOUNDATIONS WALLS

PLUMBING

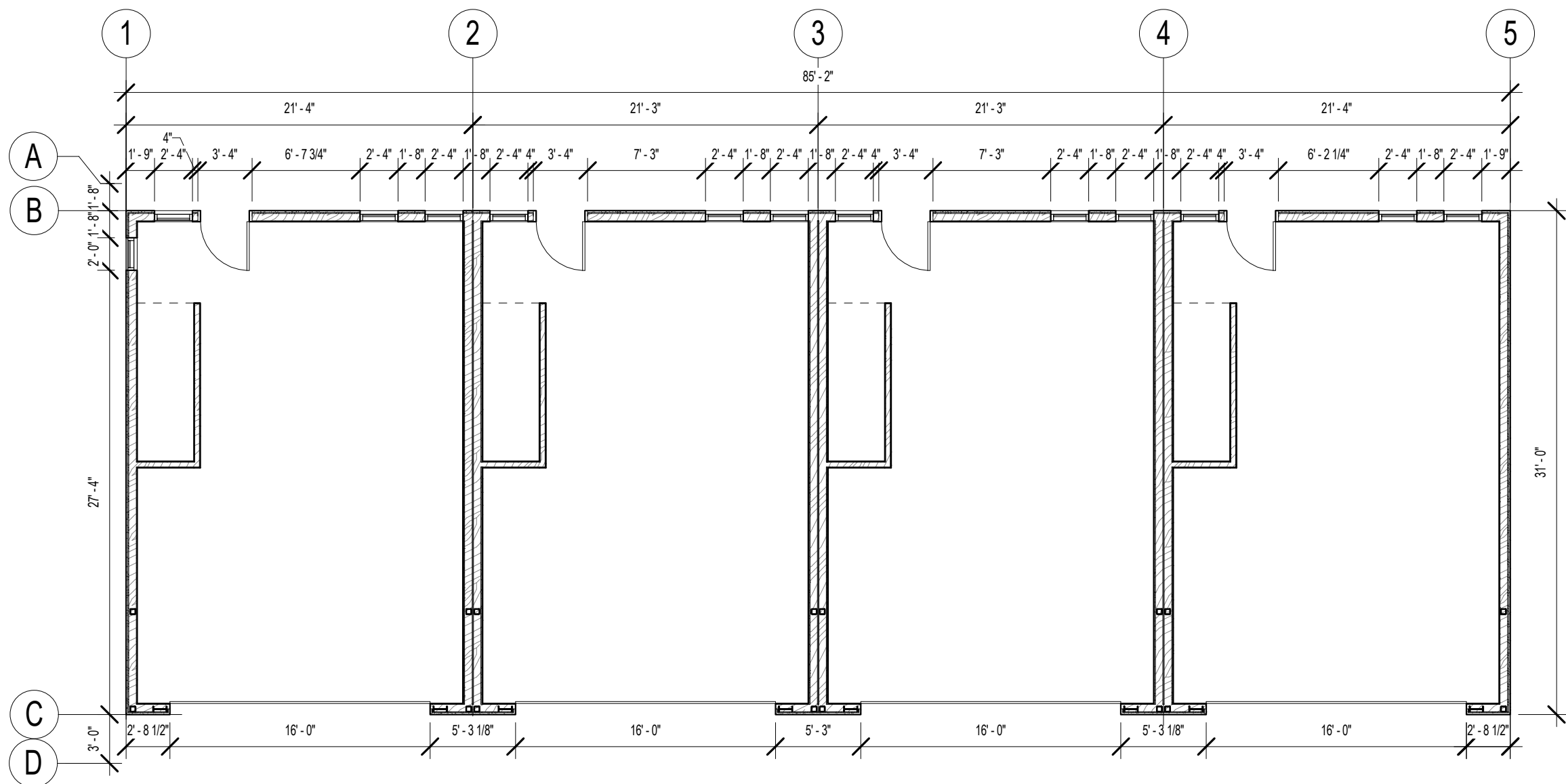
1. WATER HEATER TO BE SEISMICALLY BRACED PER IRC P2801.8
 2. PROVIDE EXPANSION TANK PER IRC P2903.4
 3. FLOOR DRAIN TO HAVE A MINIMUM THICKNESS 24 GAGE PER IRC P2801.6
 4. WATER HEATER SOURCE OF IGNITION MUST BE AT A MINIMUM 18" ABOVE THE FLOOR PER IRC M1307.3 & PROTECTED FROM IMPACT PER IRC M1307.3.1
 5. BACKWATER VALVES SHALL BE INSTALLED SO THAT THE WORKING PARTS ARE ACCESSIBLE FOR SERVICE AND REPAIR PER IRC P3008.5
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 7. PLUMBING FIXTURES & CLEARANCES TO COMPLY PER IRC R307 & P2705.1
 8. ALL TUBS & SHOWERS ARE REQUIRED TO BE EQUIPPED WITH WATER TEMPERATURE LIMITING DEVICE THAT IS SET TO 120° F MAXIMUM PER IRC P2708.4 & P2713.3
 9. SHOWER PAN IS TO BE PROVIDED PER IRC P2709
 10. WATER HAMMER ARRESTORS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS PER IRC P2903.5
 11. SHOWER ACCESS OPENINGS SHALL HAVE A CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF NOT LESS THAN 22 INCHES PER IRC P2708.1.1
 12. WATER HEATER IN EACH UNIT WILL BE ELEVATED PER IRC M1307.3
 13. MAXIMUM FLOW RATES AND CONSUMPTION OF FIXTURES PER IRC TABLE P2903.2
- PSI
- A. LAVATORY FAUCET - 2.2 GPM AT 60
B. SHOWER HEAD - 2.5 GPM AT 80 PSI
C. SINK - 2.2 GPM AT 60 PSI
D. TOILET - 1.6 GALLONS PER FLUSH



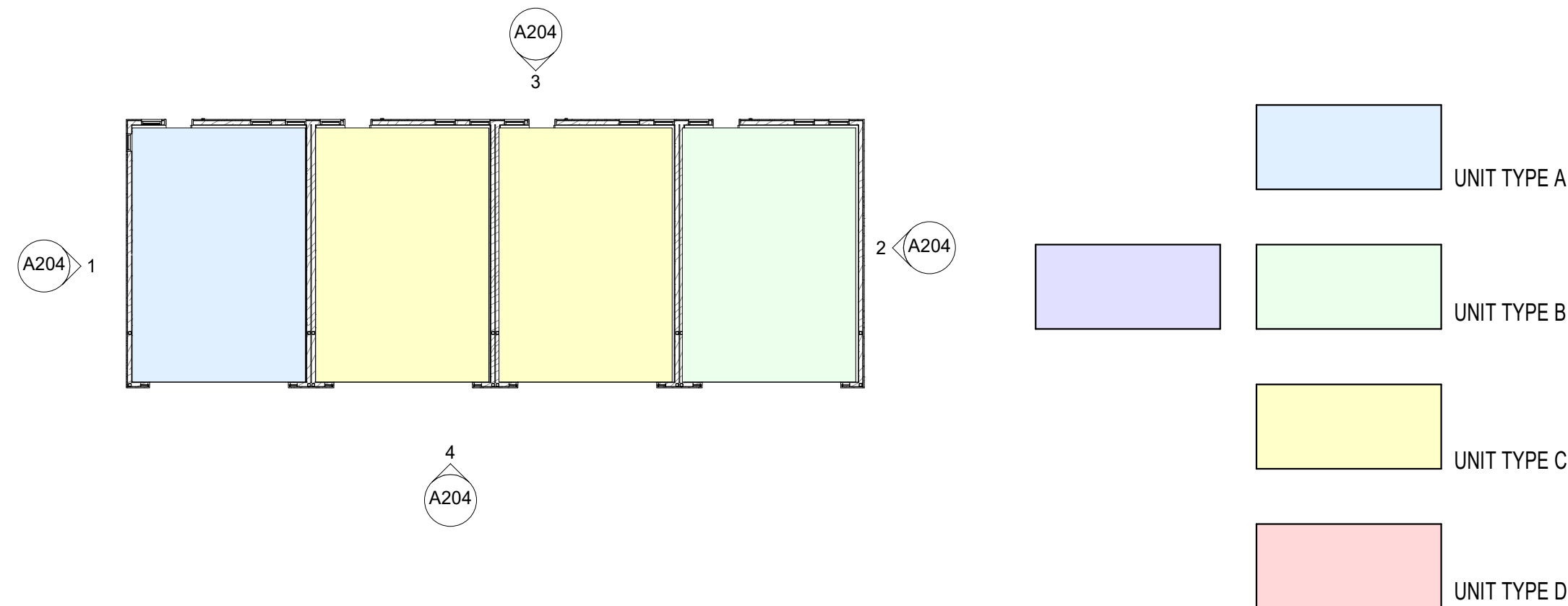
3 BUILDING 4 LEVEL 3
1/8" = 1'-0"



2 BUILDING 4 LEVEL 2
1/8" = 1'-0"



1 BUILDING 4 LEVEL 1
1/8" = 1'-0"



4 BUILDING 4 KEY PLAN
1/16" = 1'-0"

WALL

- 1 BOARD AND BATTEN HARDIE BOARD OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
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- 5 2X6 WOOD STUD FRAMING WITH PAINTED GYPSUM BOARD ON BOTH SIDES.
- 6 (2) 2X6 WOOD STUD FRAMING WITH 1" AIR GAP BETWEEN STUDS AND (2) LAYERS PAINTED GYPSUM BOARD ON EXTERIOR SIDES, FIRE RATED WALL, RE: WALL SECTIONS AND DETAILS

BUILDING TYPE 4

8,697 GROSS SF

4 TOWNHOUSE UNITS

CONDITIONED SPACE:	5,476 SF
HOSE BIB:	8 EXTERIOR
TOILETS:	12
SHOWERS:	4
TUB:	4
SINKS:	16
DISHWASHER:	4
WASHER:	4
WATER HEATER:	4
HVAC SYSTEM:	4

GENERAL

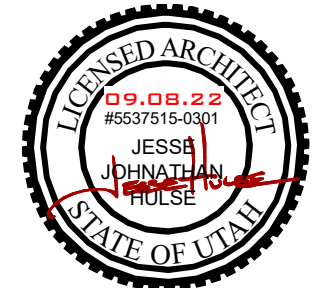
1. REFER TO ENLARGED PLANS AND EXTERIOR ELEVATIONS FOR UNIT LAYOUTS, DOOR AND WINDOW TAGS, WALL TYPES AND OTHER ADDITIONAL INFORMATION AND INTERIOR DIMENSIONS.
2. REFER TO FOUNDATION PLAN AND ENLARGED PLANS FOR COLUMN LOCATIONS.
3. CONTRACTOR TO VERIFY WITH ARCHITECT ANY DISCREPANCIES PRIOR TO BID.
4. SUBSTRATE FOR TILED WET AREAS SHALL CONFORM TO IRC R702.4.2
5. NONABSORBENT SURFACE SHALL EXTEND TO A MINIMUM 6" ABOVE THE FLOOR AT SHOWER LOCATIONS PER IRC R307.2
6. THE COMMON WALL SHARED BY TWO TOWNHOUSES SHALL BE CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS, OR VENTS IN THE CAVITY OF THE COMMON WALL PER R302.2
7. IF APPLICABLE PROVIDE MAKE-UP AIR FOR RANGE HOODS EXHAUSTING IN EXCESS OF 400CFM PER IRC M1503.4
8. FIRE RISER LOCATION MUST MAINTAIN A TEMPERATURE OF 40 DEGREES AND 12" FROM EXTERIOR FOUNDATIONS WALLS

PLUMBING

1. WATER HEATER TO BE SEISMICALLY BRACED PER IRC P2801.8
 2. PROVIDE EXPANSION TANK PER IRC P2903.4
 3. FLOOR DRAIN TO HAVE A MINIMUM THICKNESS 24 GAGE PER IRC P2801.6
 4. WATER HEATER SOURCE OF IGNITION MUST BE AT A MINIMUM 18" ABOVE THE FLOOR PER IRC M1307.3 & PROTECTED FROM IMPACT PER IRC M1307.3.1
 5. BACKWATER VALVES SHALL BE INSTALLED SO THAT THE WORKING PARTS ARE ACCESSIBLE FOR SERVICE AND REPAIR PER IRC P3008.5
 6. FROSTPROOF HOSE BIB TO COMPLY PER IRC P2903.10
 7. PLUMBING FIXTURES & CLEARANCES TO COMPLY PER IRC R307 & P2705.1
 8. ALL TUBS & SHOWERS ARE REQUIRED TO BE EQUIPPED WITH WATER TEMPERATURE LIMITING DEVICE THAT IS SET TO 120° F MAXIMUM PER IRC P2708.4 & P2713.3
 9. SHOWER PAN IS TO BE PROVIDED PER IRC P2709
 10. WATER HAMMER ARRESTORS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS PER IRC P2903.5
 11. SHOWER ACCESS OPENINGS SHALL HAVE A CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF NOT LESS THAN 22 INCHES PER IRC P2708.1.1
 12. WATER HEATER IN EACH UNIT WILL BE ELEVATED PER IRC M1307.3
 13. MAXIMUM FLOW RATES AND CONSUMPTION OF FIXTURES PER IRC TABLE P2903.2
- PSI
- A. LAVATORY FAUCET - 2.2 GPM AT 60
- B. SHOWER HEAD - 2.5 GPM AT 80 PSI
- C. SINK - 2.2 GPM AT 60 PSI
- D. TOILET - 1.6 GALLONS PER FLUSH

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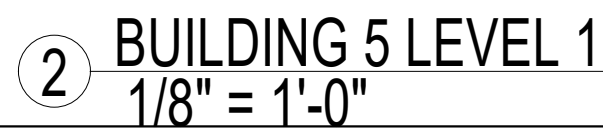
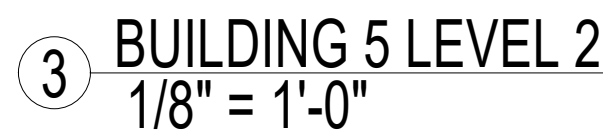
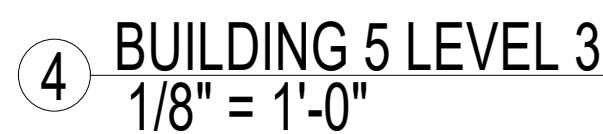
GLENDALE TOWNHOMES
1590 SOUTH 900 WEST
SALT LAKE CITY UTAH 84101

09.08.22

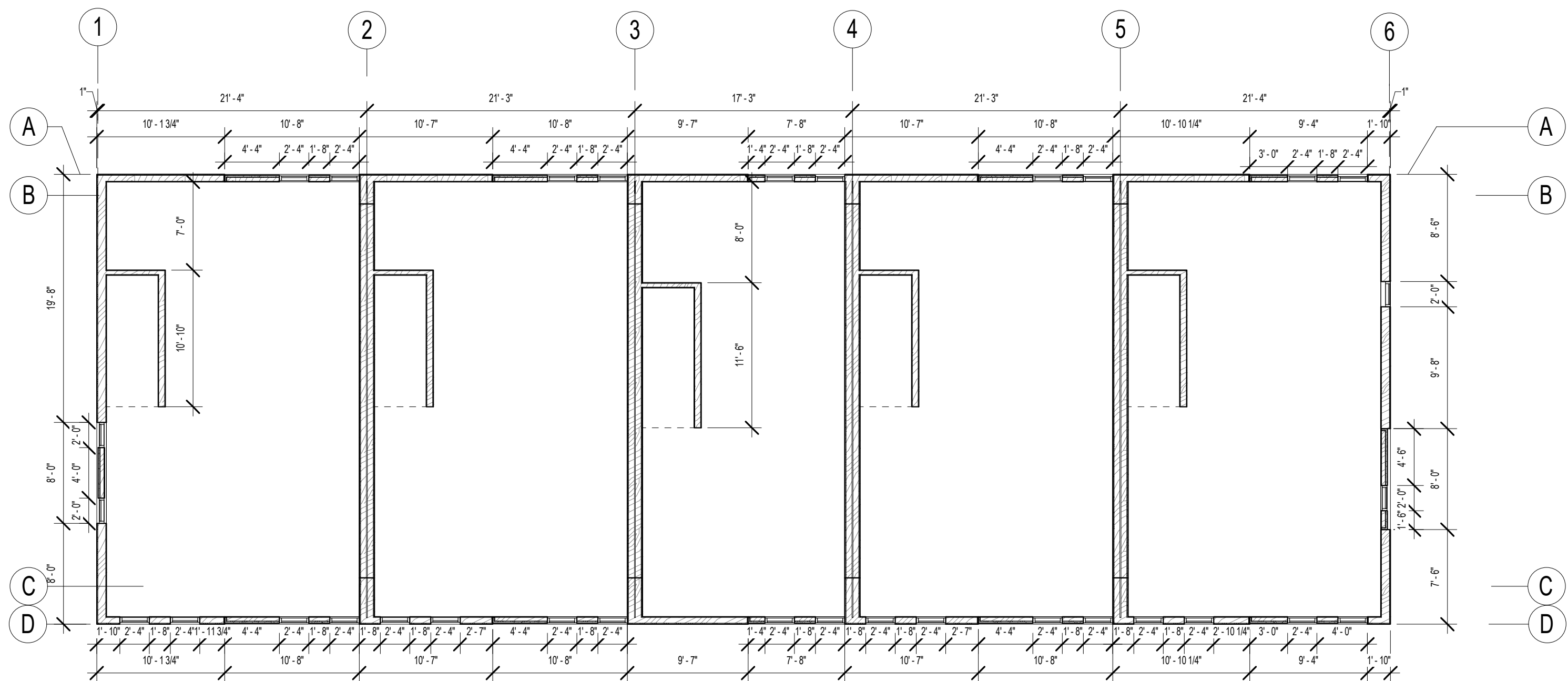
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BUILDING 4
DIMENSION
PLAN

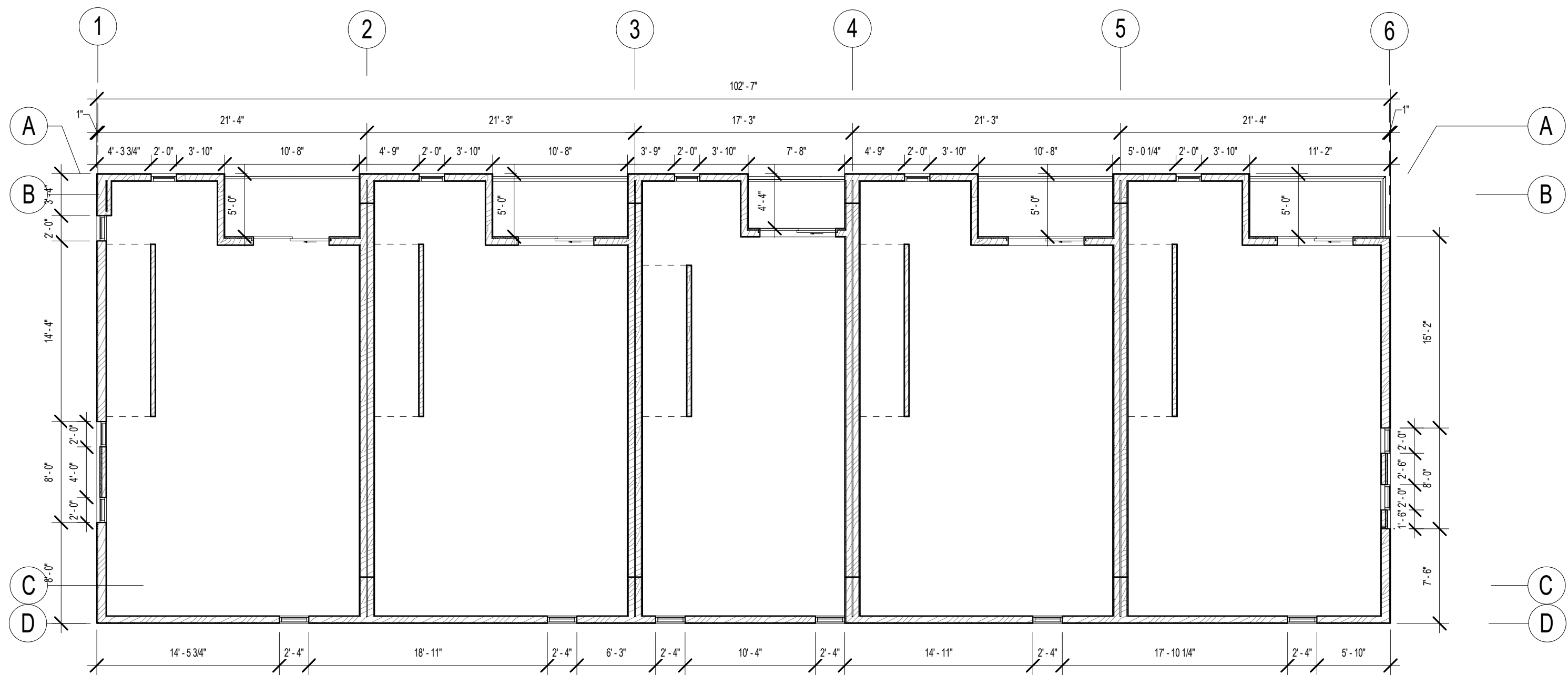
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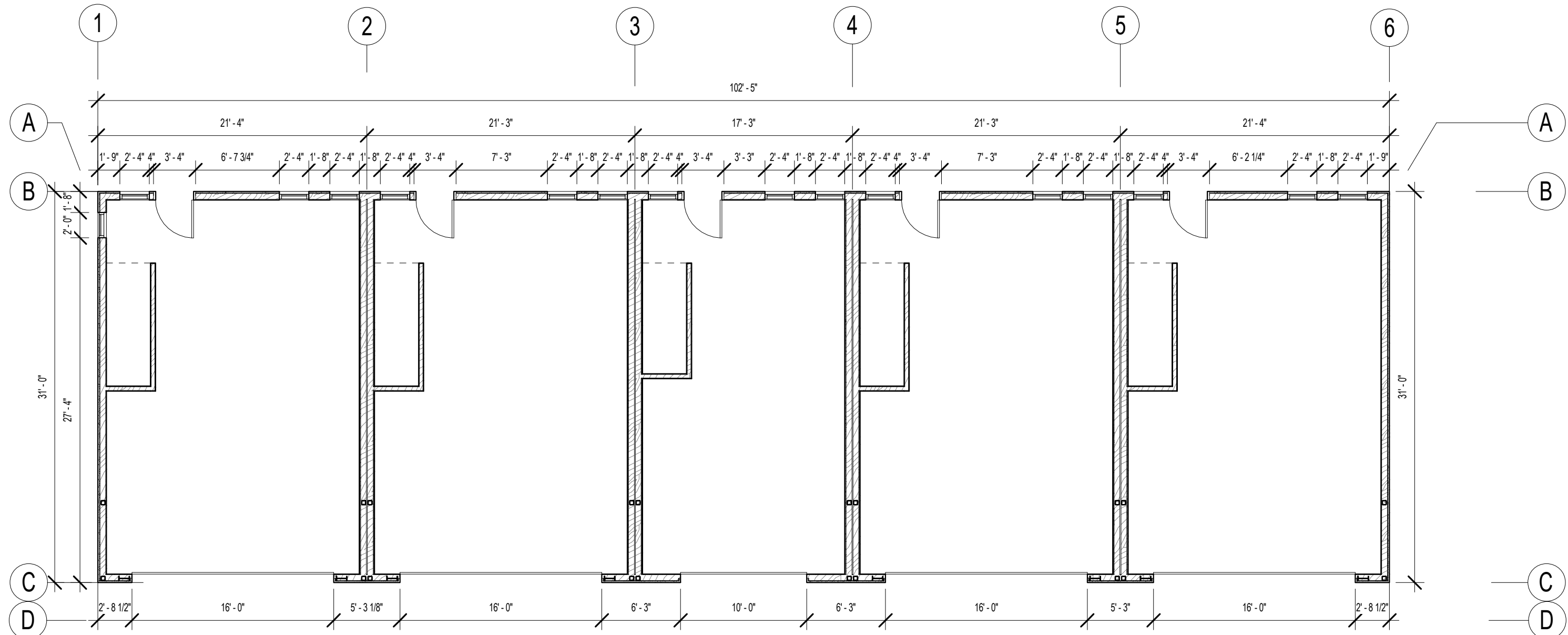
1 BUILDING 5 KEY PLAN
1/16" = 1'-0"



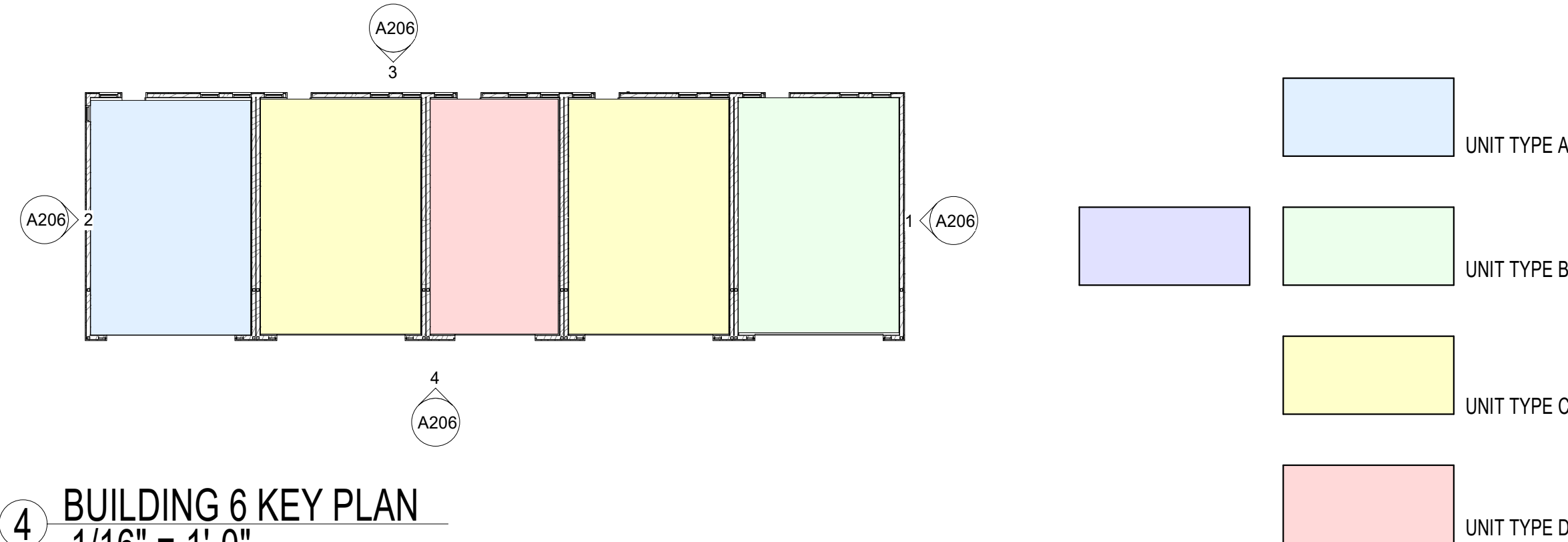
3 LEVEL 3 OVERALL PLAN
1/8" = 1'-0"



2 LEVEL 2 OVERALL PLAN
1/8" = 1'-0"



1 BUILDING 6 LEVEL 1
1/8" = 1'-0"



4 BUILDING 6 KEY PLAN
1/16" = 1'-0"

WALL

- 1 BOARD AND BATTEN HARDIE BOARD OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- 2 BOARD AND BATTEN HARDIE BOARD OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X4 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- 3 STUCCO OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- 3B STUCCO OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER, 2" FURRING, 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- 4 2X4 WOOD STUD FRAMING WITH PAINTED GYPSUM BOARD ON BOTH SIDES.
- 5 2X6 WOOD STUD FRAMING WITH PAINTED GYPSUM BOARD ON BOTH SIDES.
- 6 (2) 2X6 WOOD STUD FRAMING WITH 1" AIR GAP BETWEEN STUDS AND (2) LAYERS PAINTED GYPSUM BOARD ON EXTERIOR SIDES, FIRE RATED WALL, RE: WALL SECTIONS AND DETAILS

BUILDING TYPE 6

10,487 GROSS SF

5 TOWNHOUSE UNITS

CONDITIONED SPACE:	7,283 SF
HOSE BIB:	10 EXTERIOR
TOILETS:	15
SHOWER:	4
TUB:	6
SINKS:	20
DISHWASHER:	5
WASHER:	5
WATER HEATER:	5
HVAC SYSTEM:	5

GENERAL

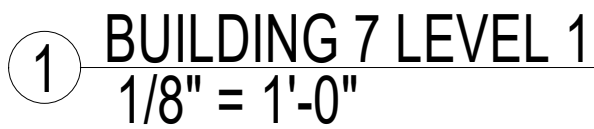
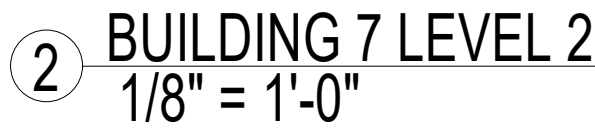
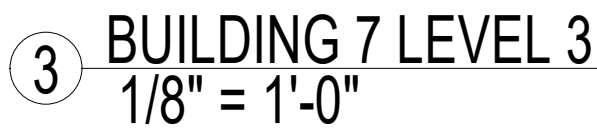
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PSI

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D. TOILET - 1.6 GALLONS PER FLUSH

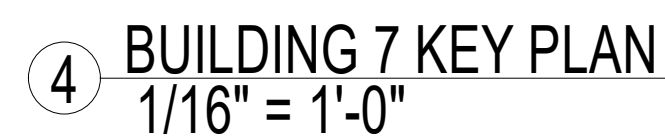


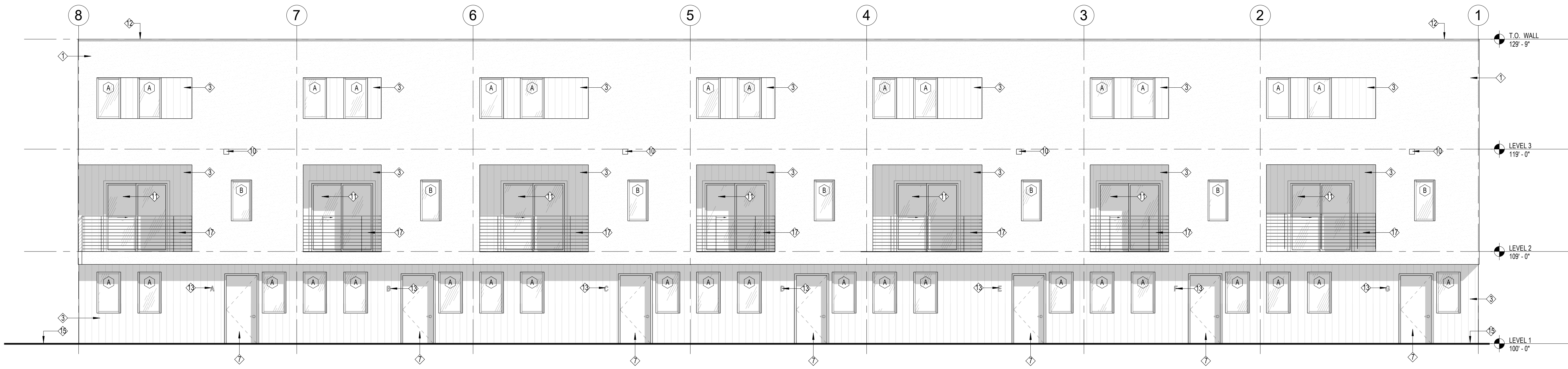
The diagram illustrates a three-unit residential building layout. The units are color-coded and labeled as follows:

- Unit 1 (Blue):** Located on the left, labeled "1" and "A207".
- Unit 2 (Yellow):** Located in the middle, labeled "2" and "A207".
- Unit 3 (Green):** Located on the right, labeled "3" and "A207".

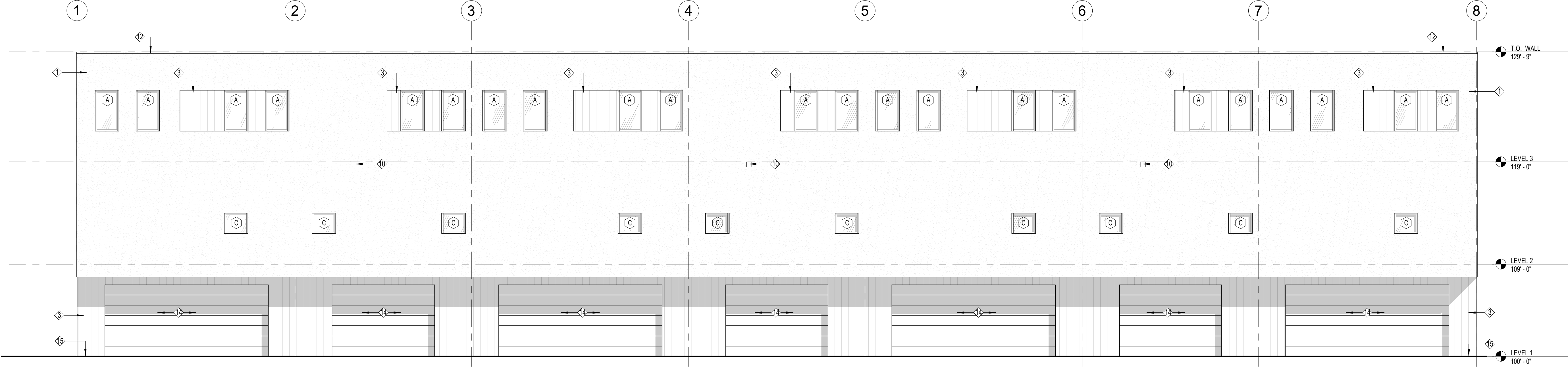
Each unit is shown with a corresponding room layout diagram to its right:

- Unit Type A (Blue):** A rectangular room layout.
- Unit Type B (Purple):** A rectangular room layout.
- Unit Type C (Yellow):** A rectangular room layout.
- Unit Type D (Red):** A rectangular room layout.

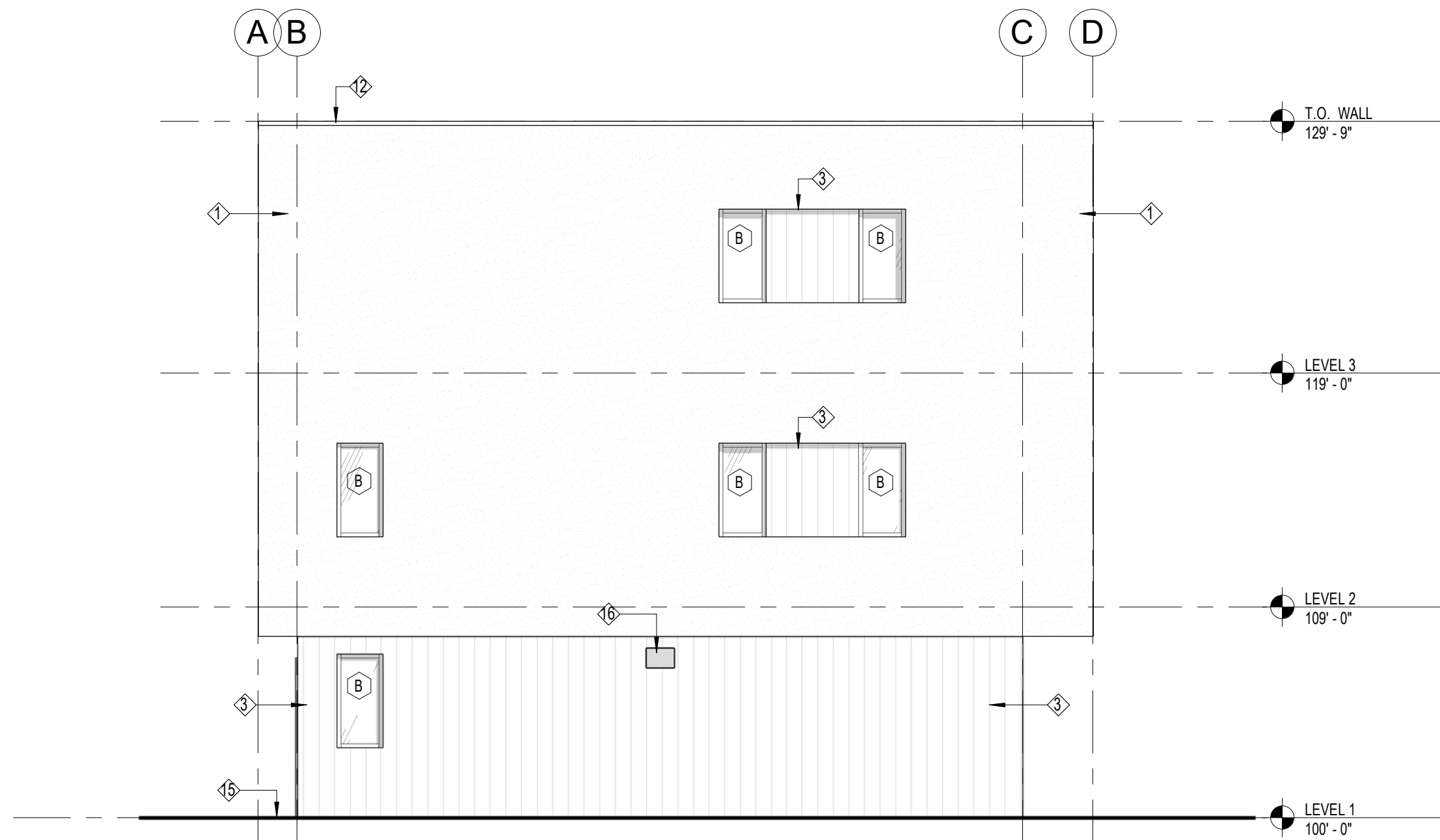




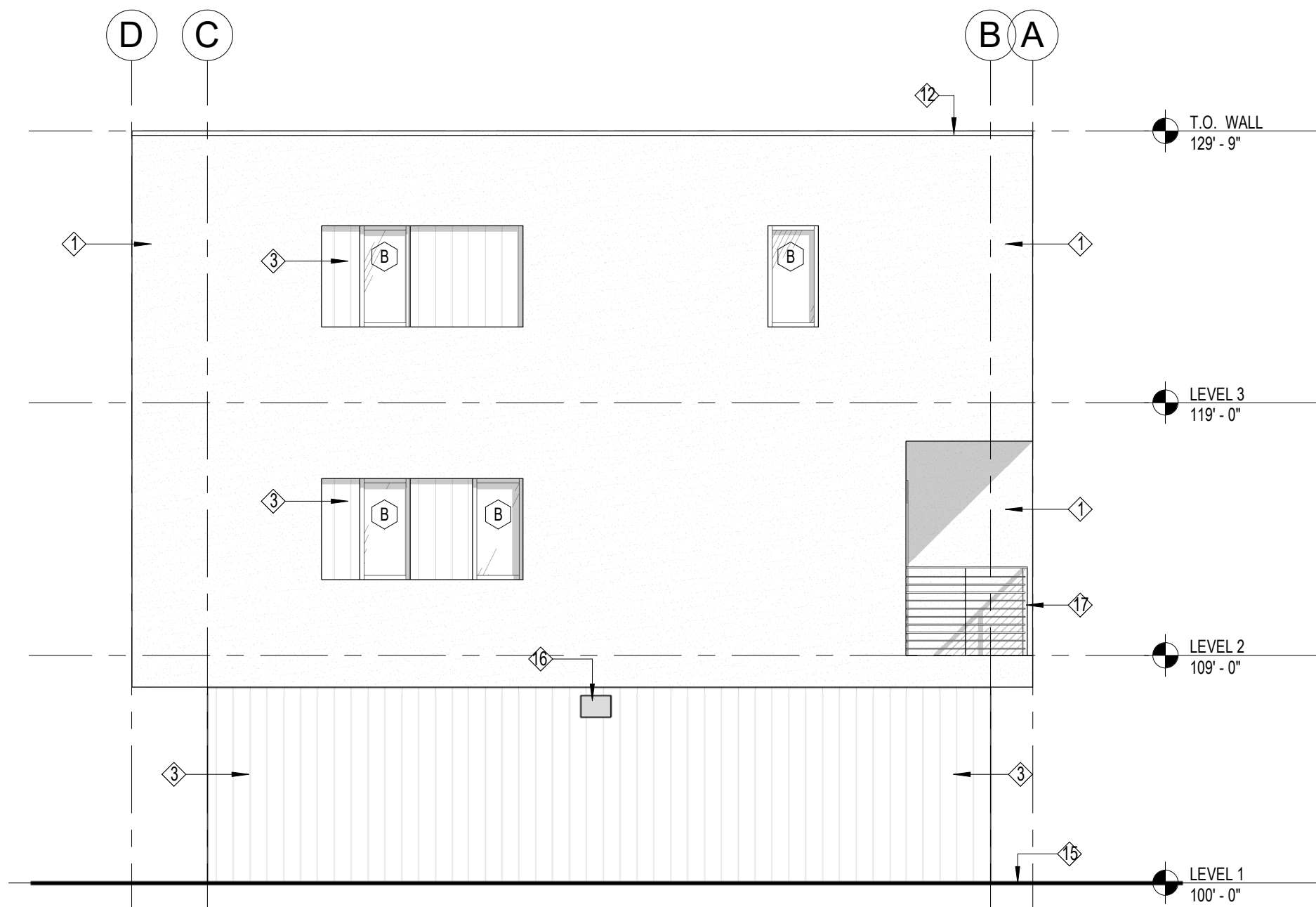
1 BUILDING 1 ENTRY ELEVATION
3/16" = 1'-0"



2 BUILDING 1 GARAGE ELEVATION
3/16" = 1'-0"



4 BUILDING 1 END ELEVATION A
3/16" = 1'-0"



3 BUILDING 1 END ELEVATION B
3/16" = 1'-0"

EXTERIOR ELEVATION KEYED NOTES

- 1 HARD COAT STUCCO FINISH, SMOOTH, COLOR: TOQUE WHITE SW7003
- 2 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: BATHE BLUE SW6771
- 3 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: LACEWING SW6729
- 4 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: ROSEBUD SW6288
- 5 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: OLEANDER SW6603
- 6 SOLID WOOD DOOR, COLOR: FRESHWATER SW6774
- 7 SOLID WOOD DOOR, COLOR: PICNIC SW6731
- 8 SOLID WOOD DOOR, COLOR: ROSE SW6290
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- 10 WHITE EXHAUST, TYP. ROUTE THROUGH FLOOR JOISTS
- 11 GLASS SLIDING DOOR, RE: DOOR SCHEDULE
- 12 PREFINISHED SHEET METAL COPING, COLOR: TOQUE WHITE SW7003
- 13 BLACK 6" HIGH BY 1" DEEP ADDRESS LETTERING
- 14 GARAGE DOOR, RE: DOOR SCHEDULE
- 15 FINISH GRADE, RE: CIVIL
- 16 EXTERIOR LIGHT
- 17 PAINTED GALVANIZED STEEL RAILING
- 18 METAL CLAD CANOPY
- 19 PLANTER BOX, WHERE OCCURS, ONLY AT BUILDINGS FACING 900 WEST, RE: SITE PLAN AND LANDSCAPING

EXTERIOR ELEVATION GENERAL NOTES

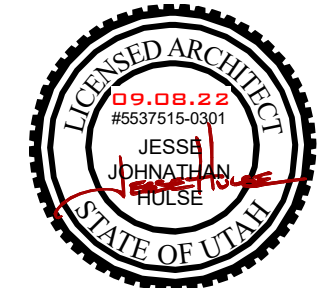
1. ALL EXPOSED MASONRY AND CONCRETE TO BE SEALED WITH GRAFFITI-REPELLENT - REF: SPEC SECTION CONTRACTOR TO COORDINATE LOCATION(S) OF KNOX BOX WITH FIRE MARSHALL.
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5. PROVIDE AN ADDRESS ON THE BUILDING WHICH IS ASSIGNED BY THE CITY ENGINEERING DEPT. THESE NUMBERS AND LETTERS SHALL BE VISIBLE FROM THE STREET, A MINIMUM OF 12" HIGH, AND A STROKE OF 1". ADDRESS SHALL BE IN CONTRASTING COLOR OF THE BACKGROUND.
7. RE: CIVIL AND STRUCTURAL CONCRETE PLAN FOR GRADING AND STEPPED FOUNDATION

ADDRESS NOTE

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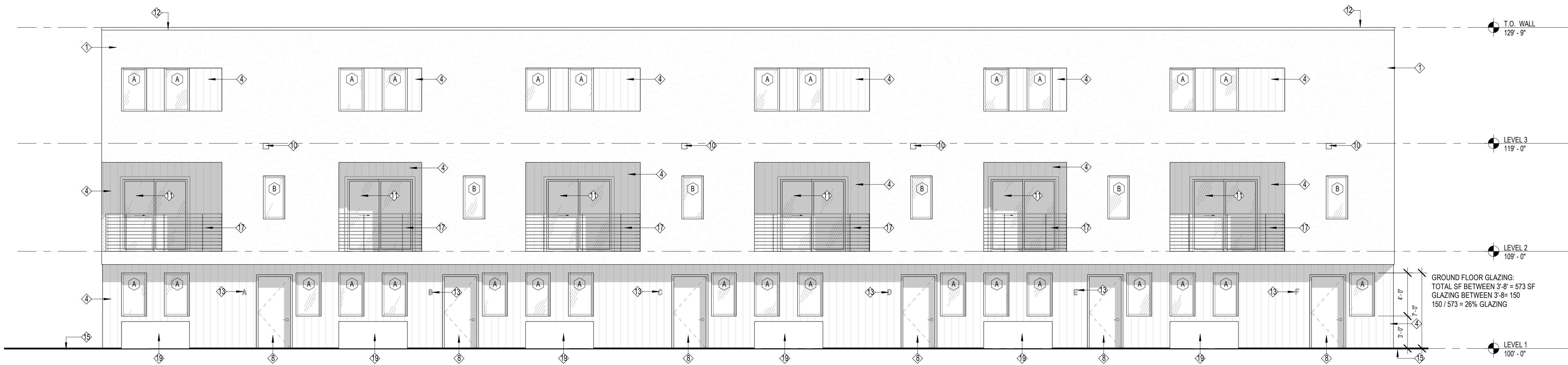
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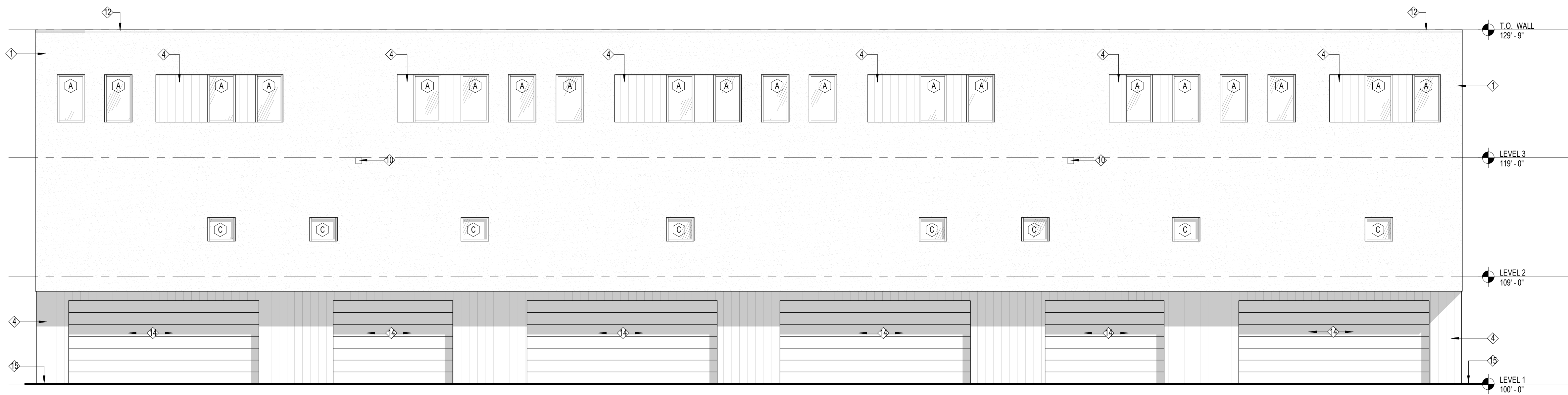
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BUILDING 1
ELEVATIONS

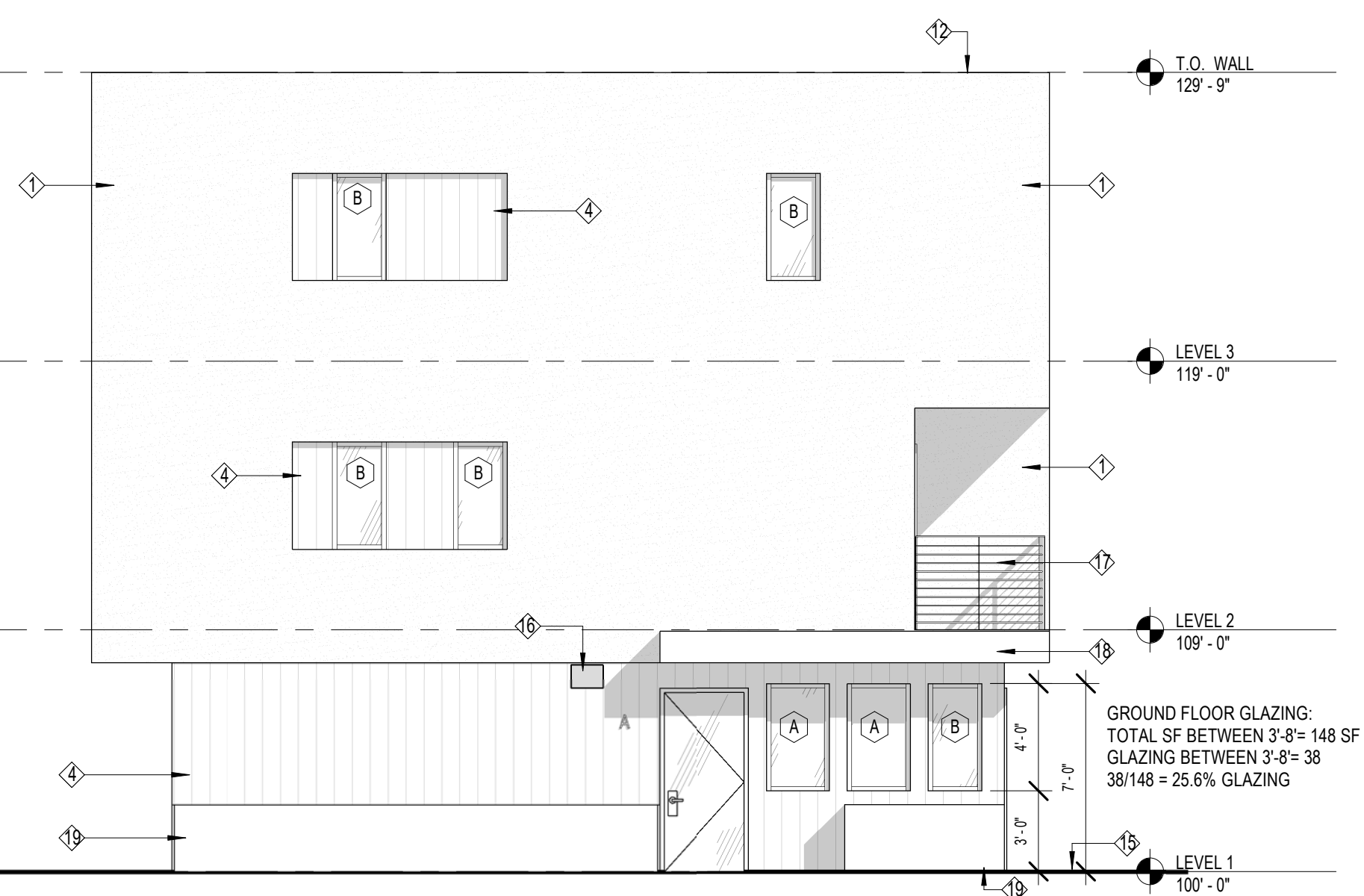
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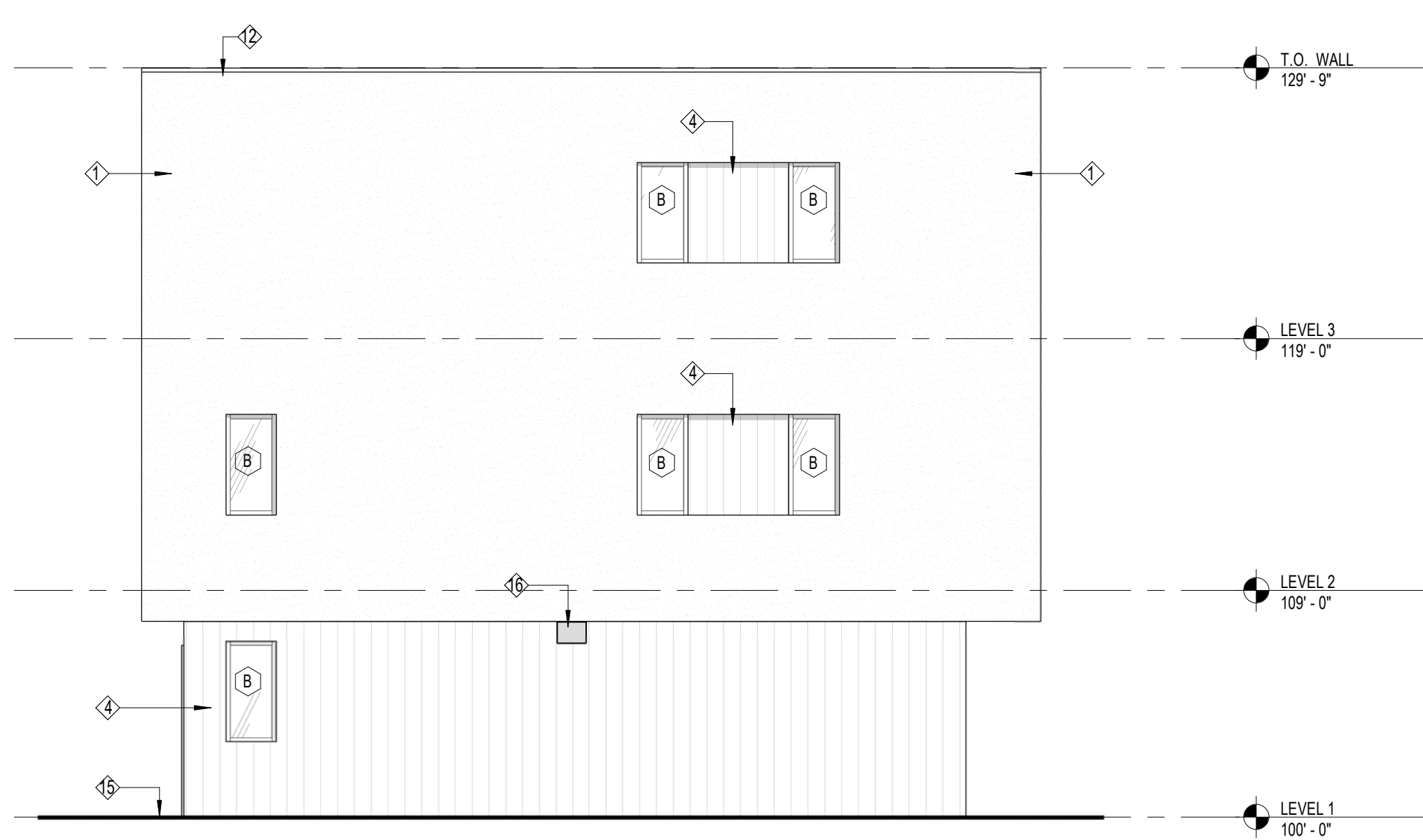
1 BUILDING 2 ENTRY ELEVATION
3/16" = 1'-0"



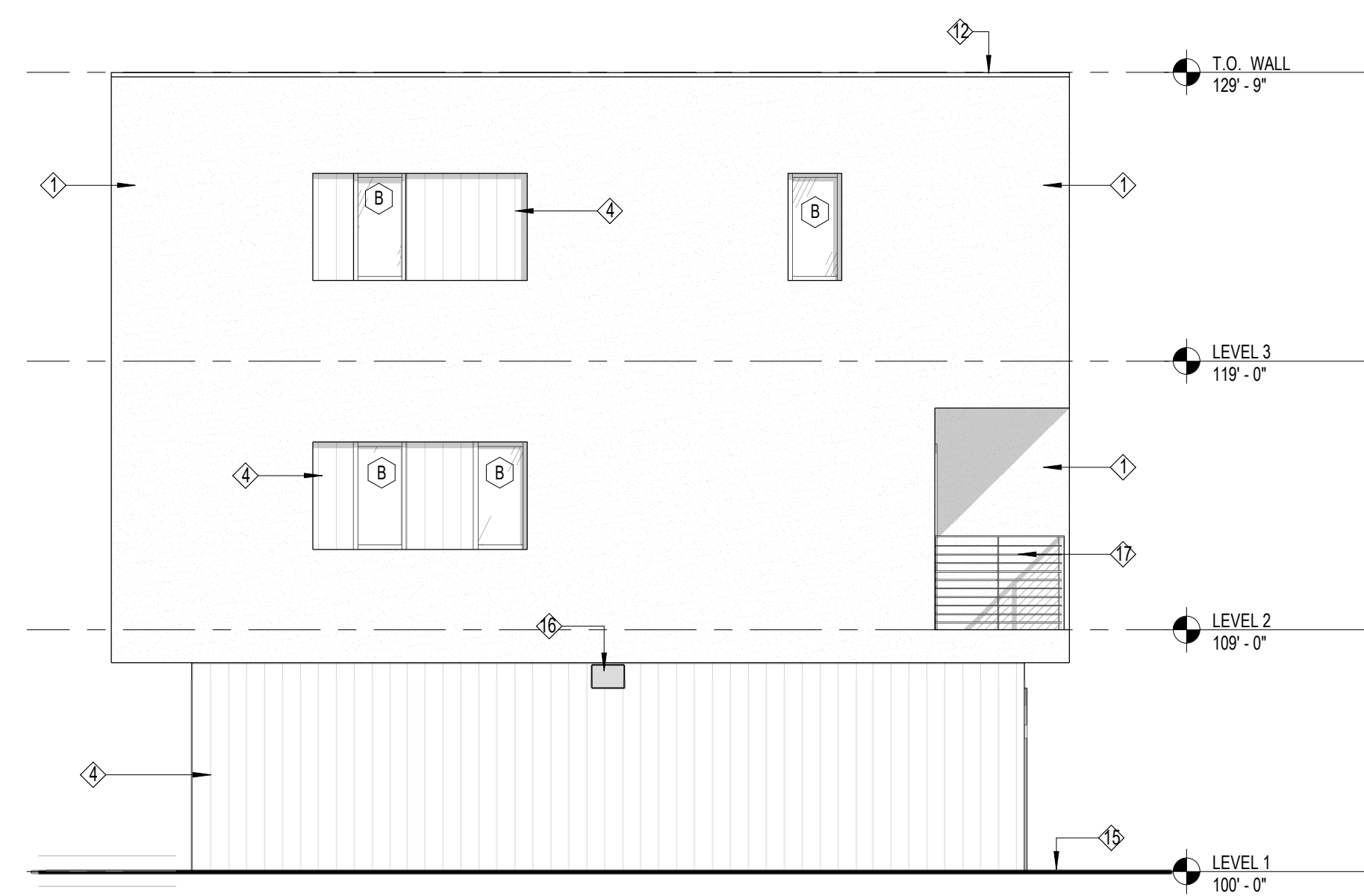
4 BUILDING 2 GARAGE ELEVATION
3/16" = 1'-0"



5 BUILDING 2 STREET FACING ELEVATION
3/16" = 1'-0"



2 BUILDING 2 END ELEVATION A
3/16" = 1'-0"



3 BUILDING 2 END ELEVATION B
3/16" = 1'-0"

EXTERIOR ELEVATION KEYED NOTES

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EXTERIOR ELEVATION GENERAL NOTES

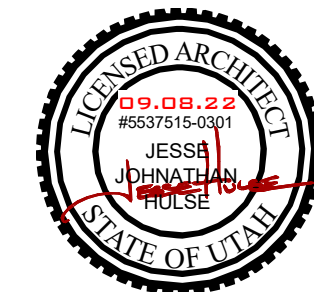
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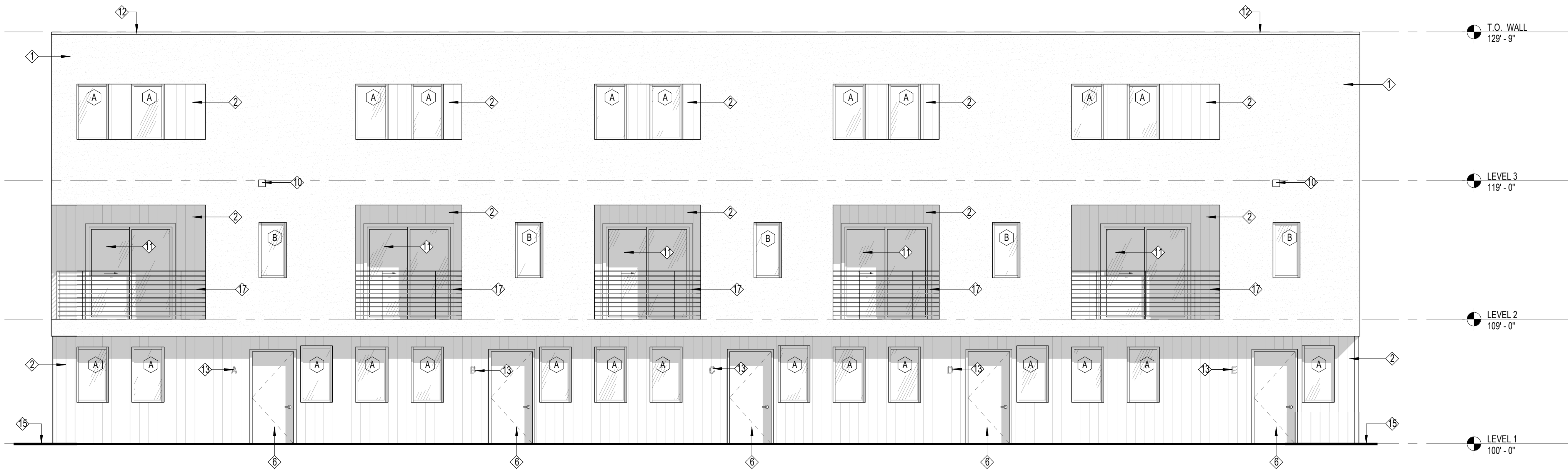
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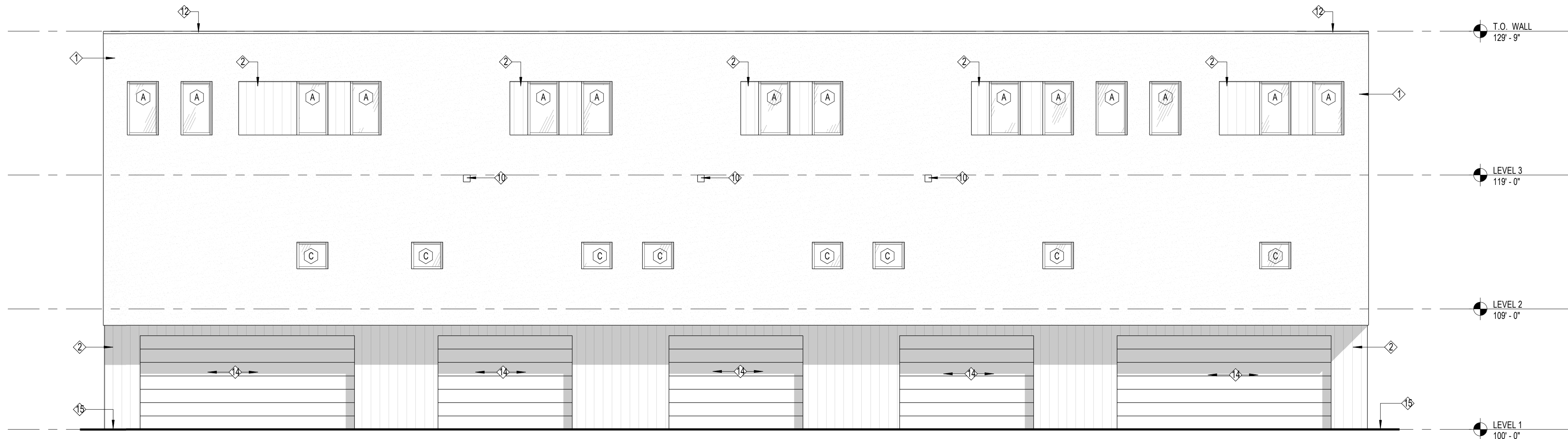
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BUILDING 2
ELEVATIONS

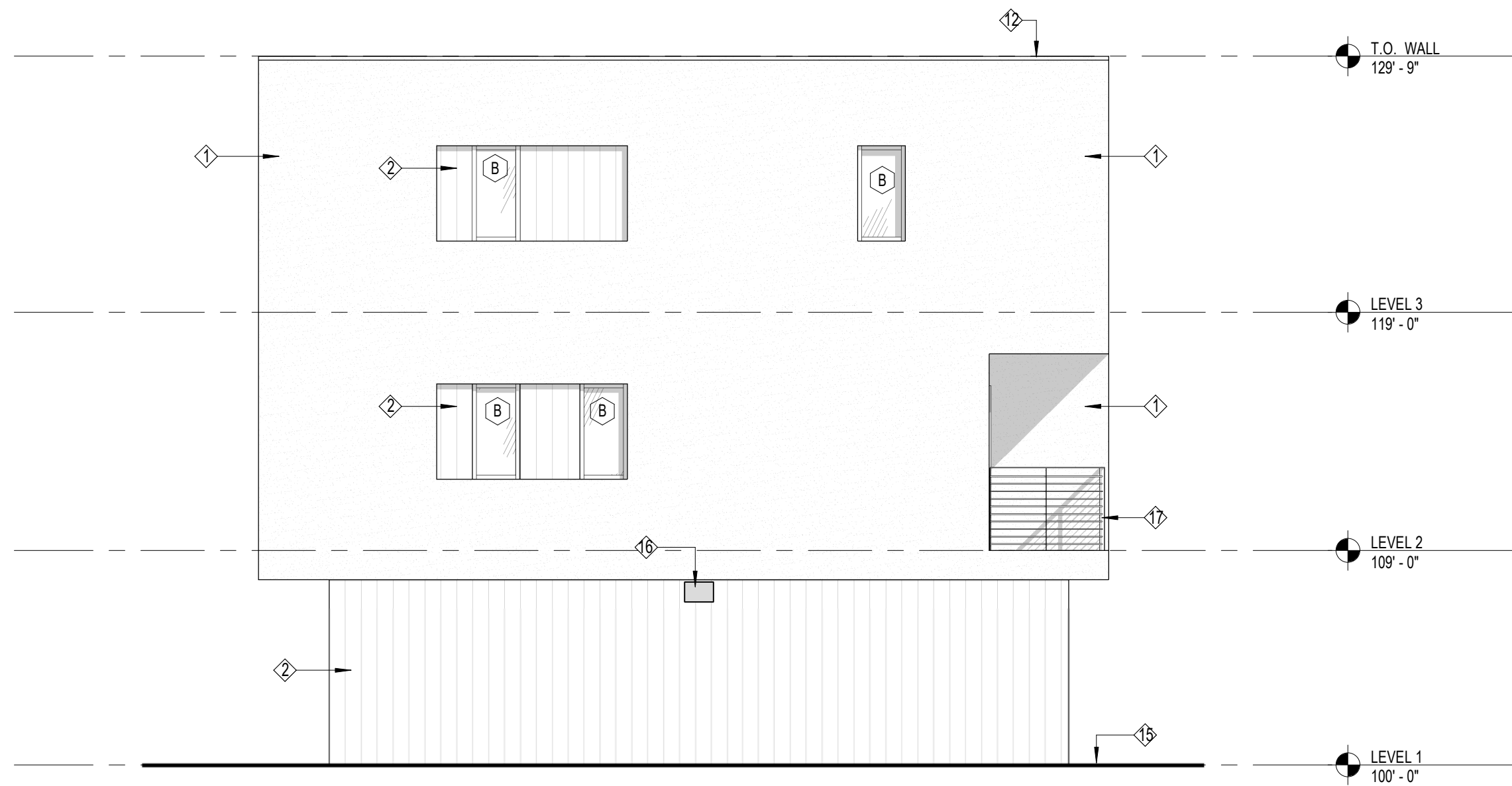
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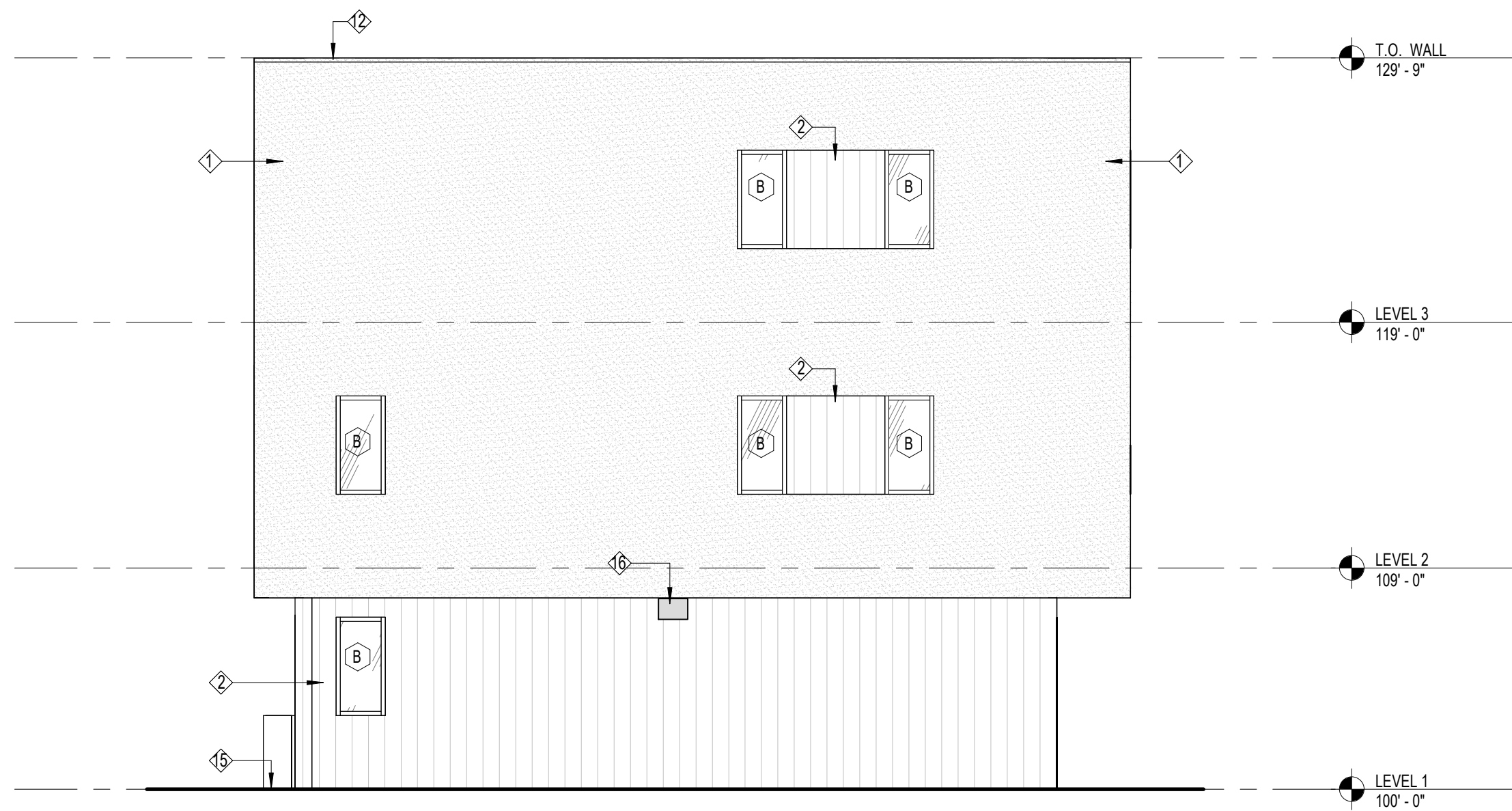
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3/16" = 1'-0"



4 BUILDING 3 GARAGE ELEVATION
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2 BUILDING 3 END ELEVATION B
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1 BUILDING 3 END ELEVATION A
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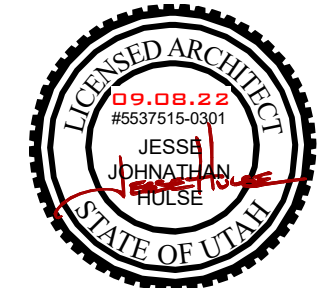
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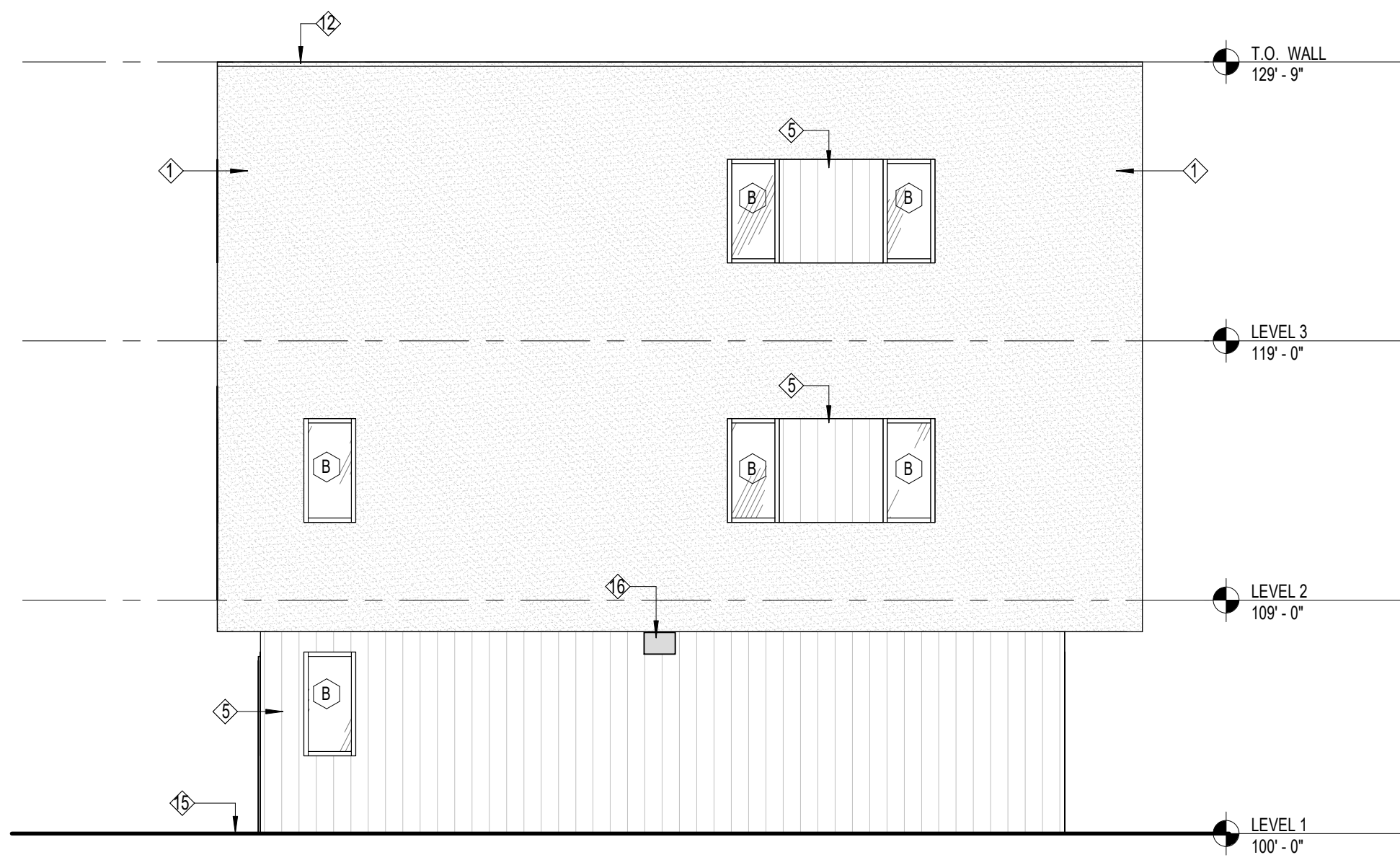
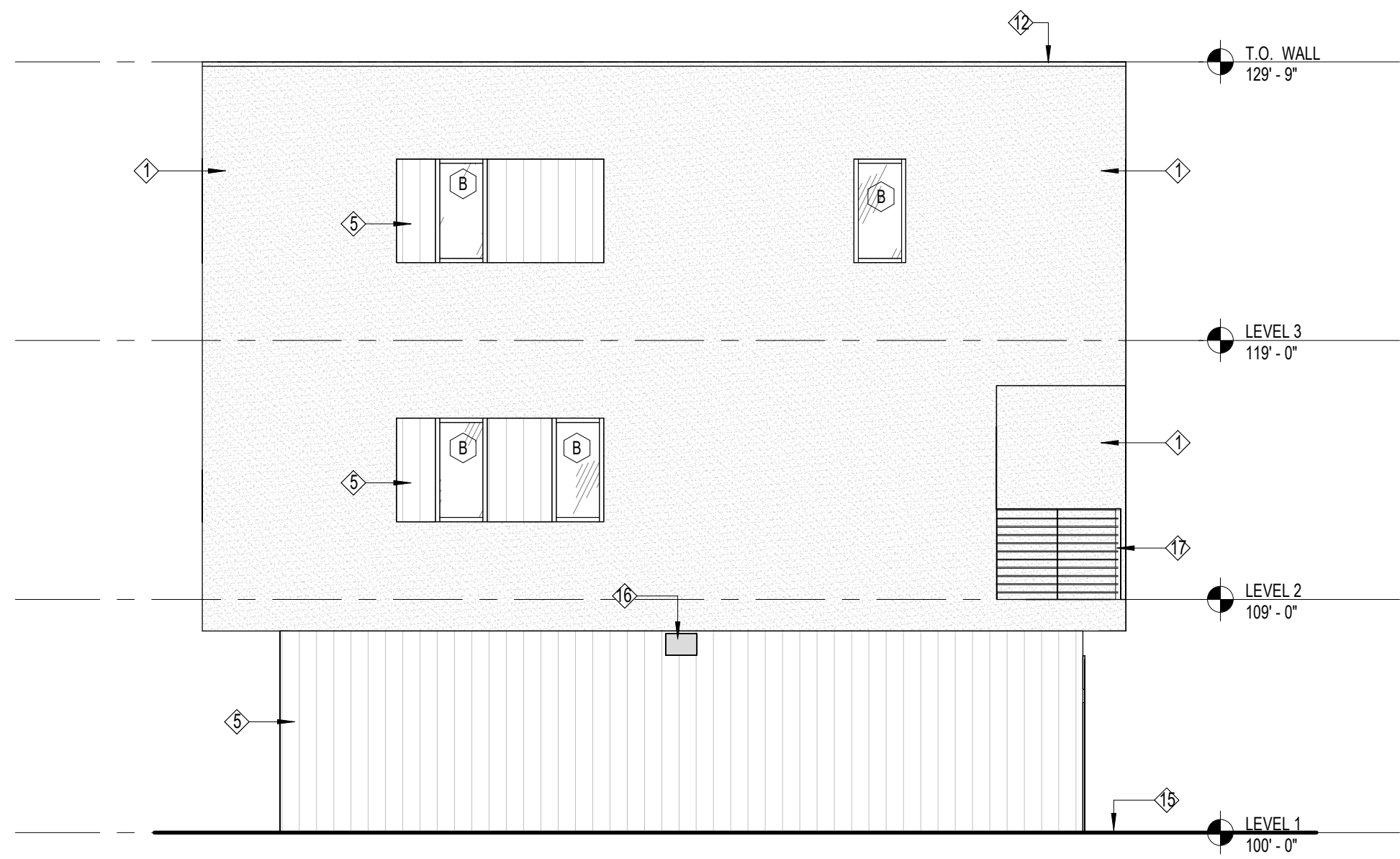
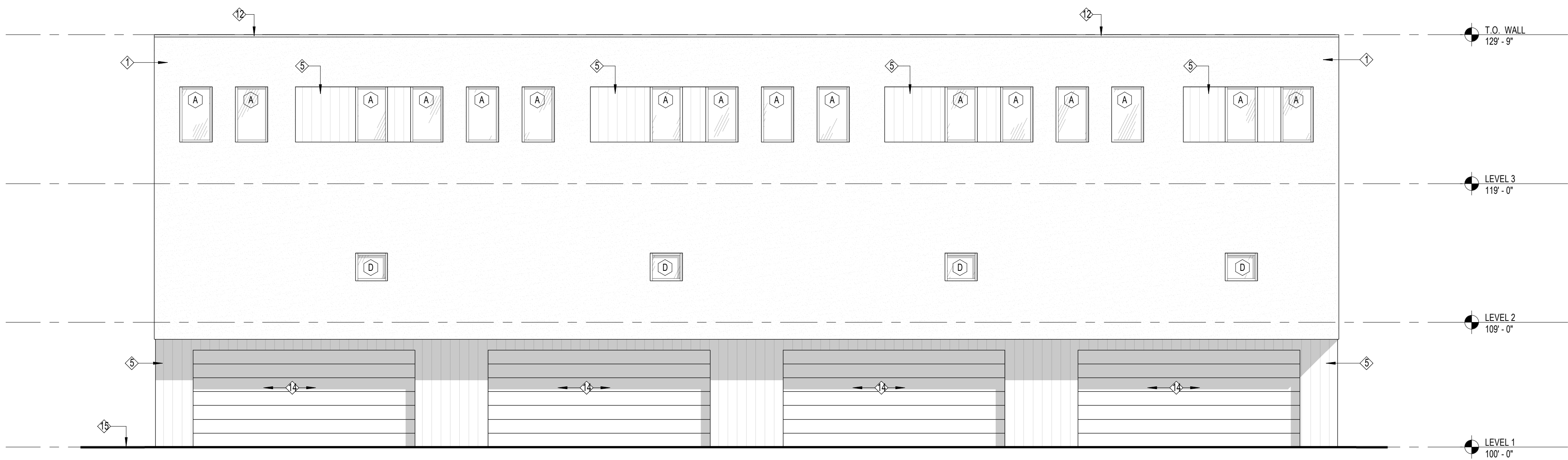
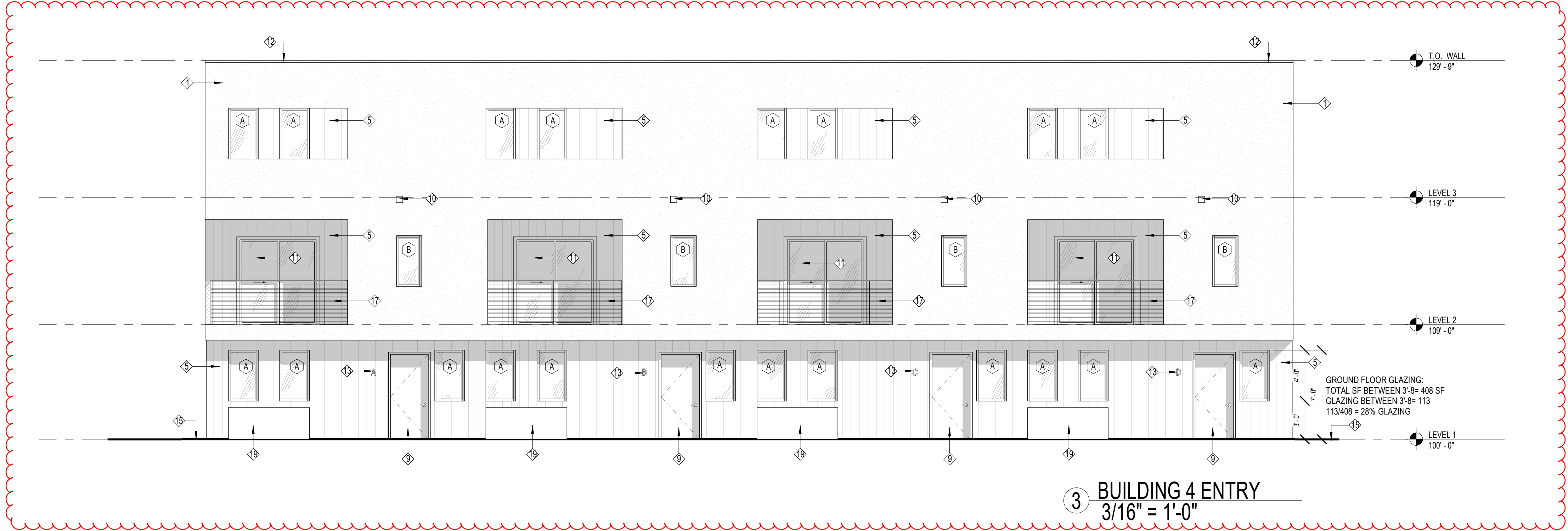
GLENDALE TOWNHOMES
1590 SOUTH 900 WEST
SALT LAKE CITY UTAH 84101

09.08.22

PD

BUILDING 3
ELEVATIONS

A203



EXTERIOR ELEVATION KEYED NOTES

- 1 HARD COAT STUCCO FINISH, SMOOTH, COLOR: TOQUE WHITE SW7003
- 2 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: BATHE BLUE SW6771
- 3 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: LACEWING SW6729
- 4 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: ROSEBUD SW6288
- 5 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: OLEANDER SW6603
- 6 SOLID WOOD DOOR, COLOR: FRESHWATER SW6774
- 7 SOLID WOOD DOOR, COLOR: PICNIC SW6731
- 8 SOLID WOOD DOOR, COLOR: ROSE SW6290
- 9 SOLID WOOD DOOR, COLOR: CHARISMA SW6605
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- 11 GLASS SLIDING DOOR, RE: DOOR SCHEDULE
- 12 PREFINISHED SHEET METAL COPING, COLOR: TOQUE WHITE SW7003
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- 14 GARAGE DOOR, RE: DOOR SCHEDULE
- 15 FINISH GRADE, RE: CIVIL
- 16 EXTERIOR LIGHT
- 17 PAINTED GALVANIZED STEEL RAILING
- 18 METAL CLAD CANOPY
- 19 PLANTER BOX, WHERE OCCURS, ONLY AT BUILDINGS FACING 900 WEST, RE: SITE PLAN AND LANDSCAPING

EXTERIOR ELEVATION GENERAL NOTES

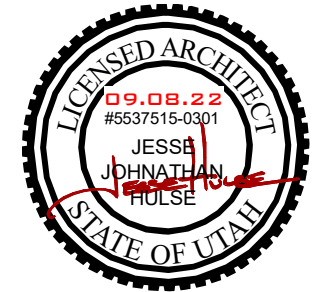
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7. RE: CIVIL AND STRUCTURAL CONCRETE PLAN FOR GRADING AND STEPPED FOUNDATION

ADDRESS NOTE

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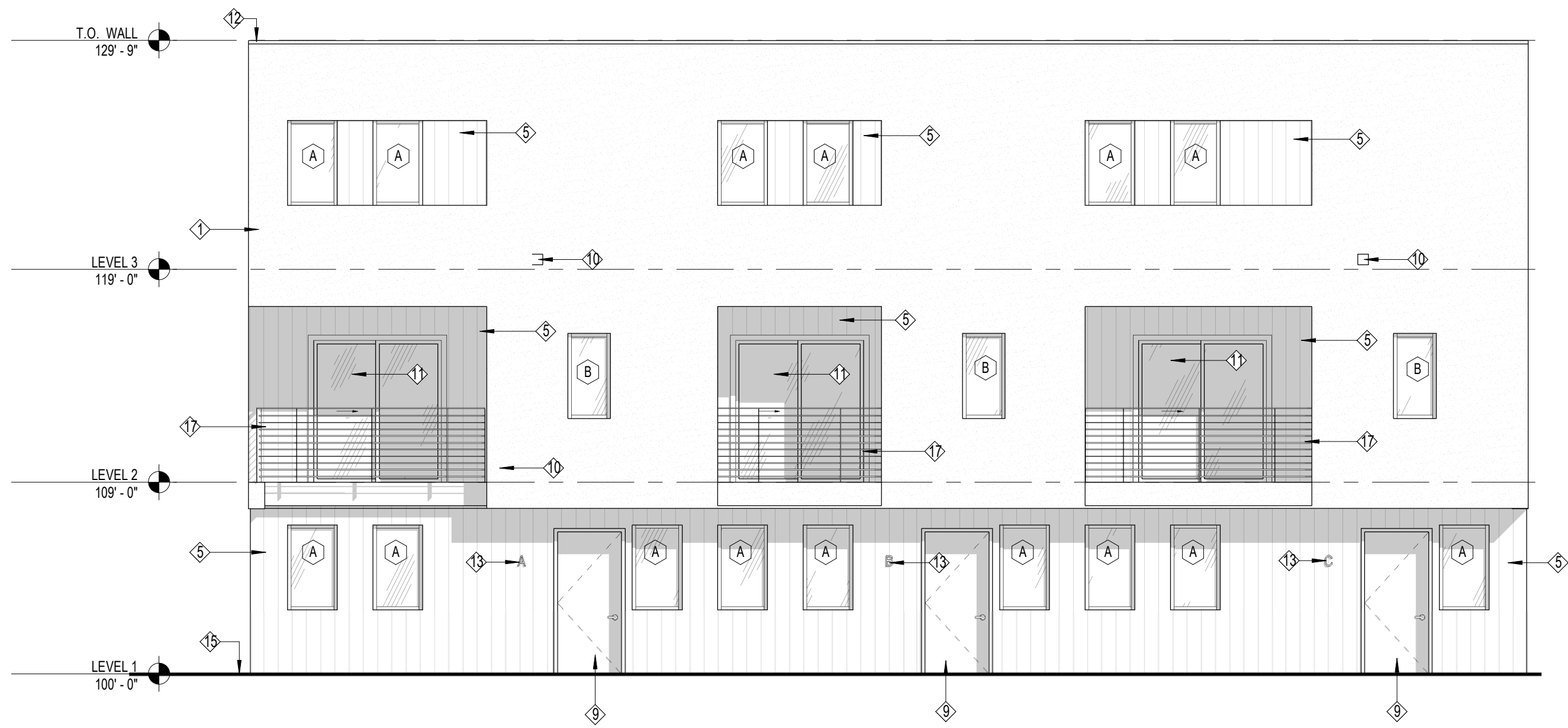
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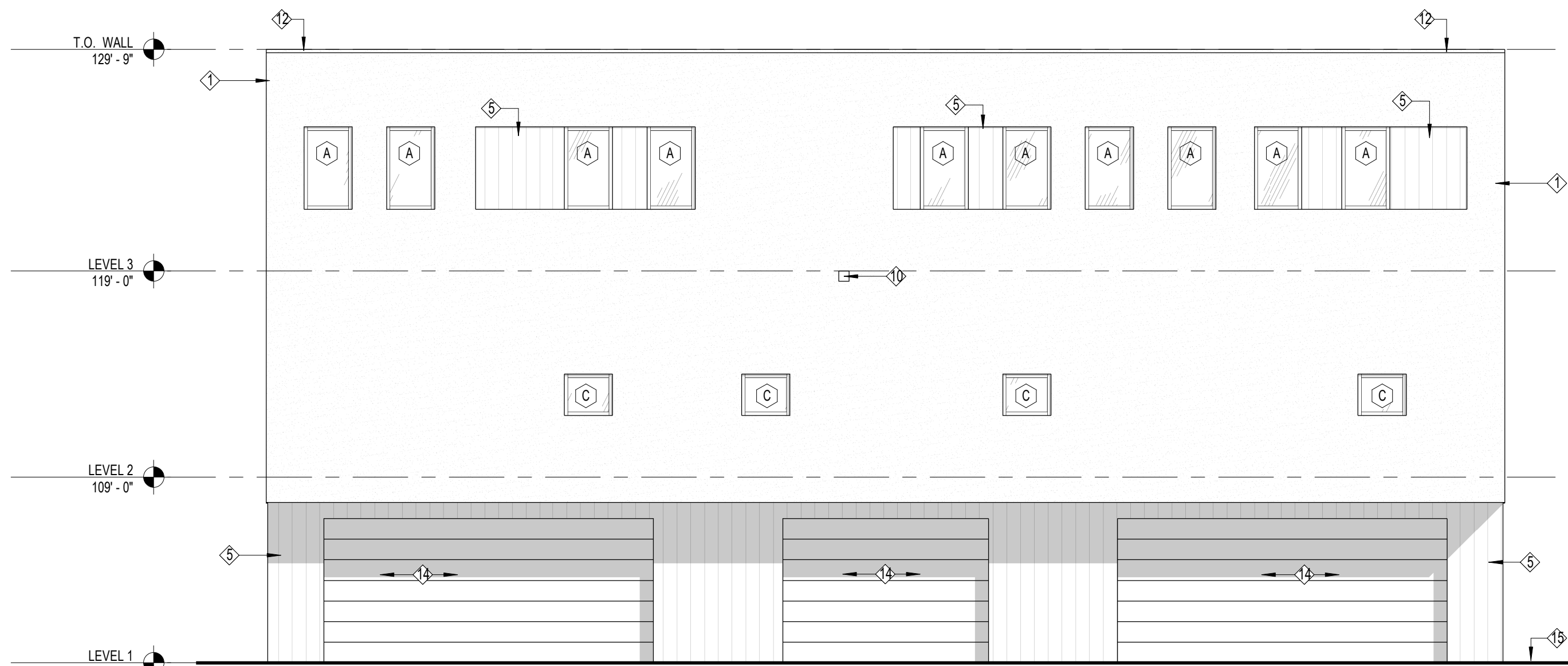
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BUILDING 4
ELEVATIONS

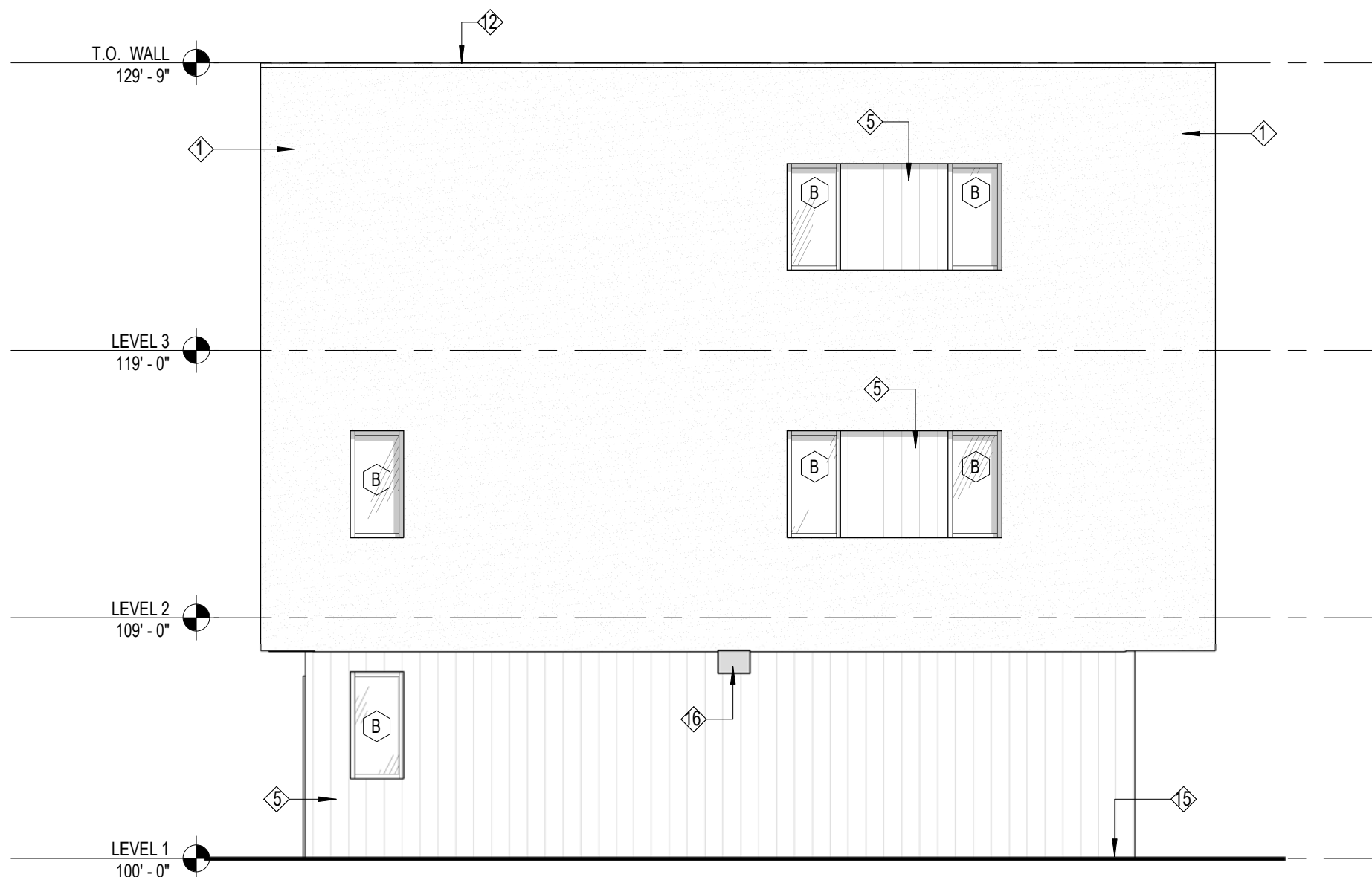
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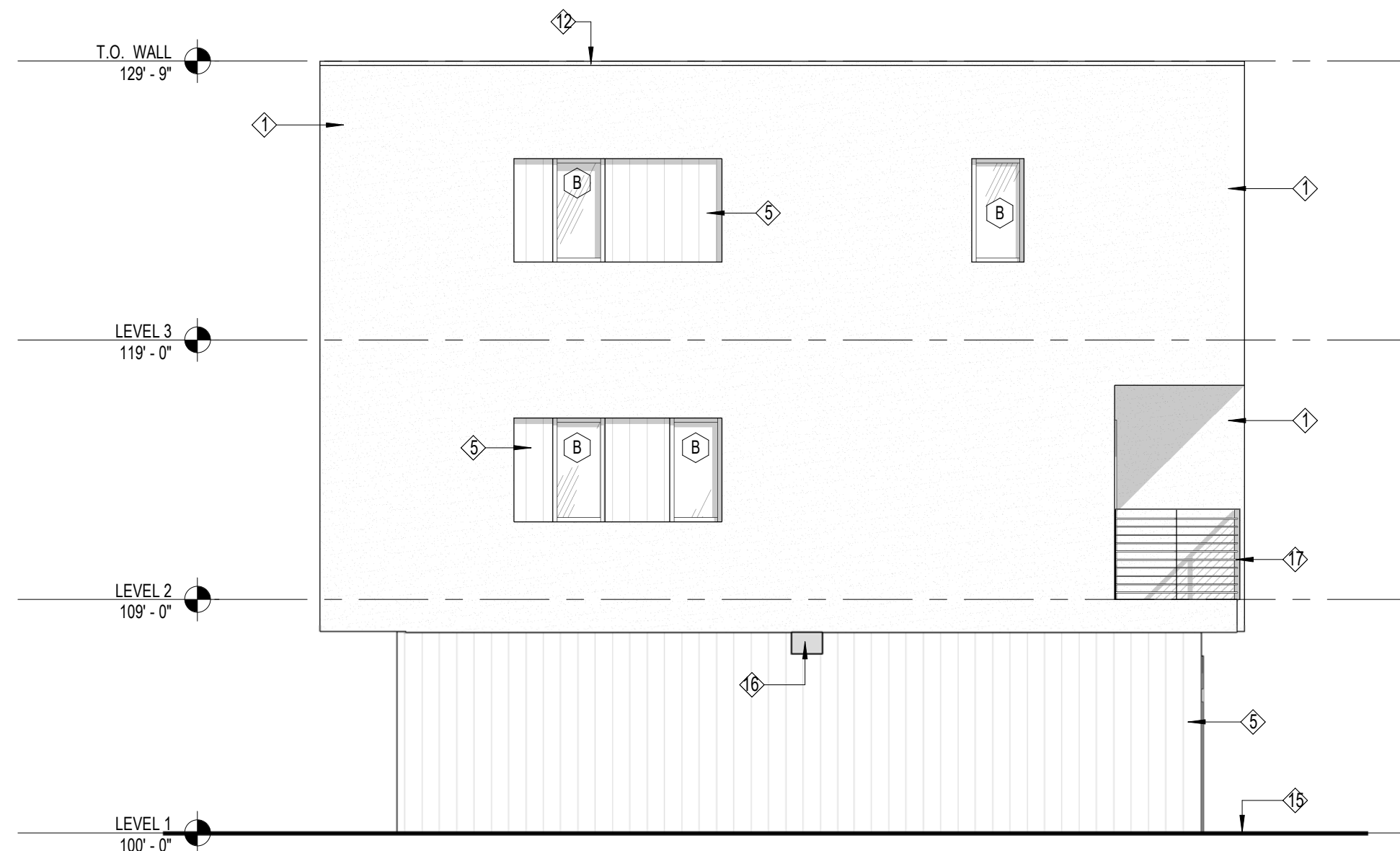
1 BUILDING 5 ENTRY
3/16" = 1'-0"



2 BUILDING 5 GARAGE
3/16" = 1'-0"



3 BUILDING 5 END A
3/16" = 1'-0"



4 BUILDING 5 END B
3/16" = 1'-0"

EXTERIOR ELEVATION KEYED NOTES

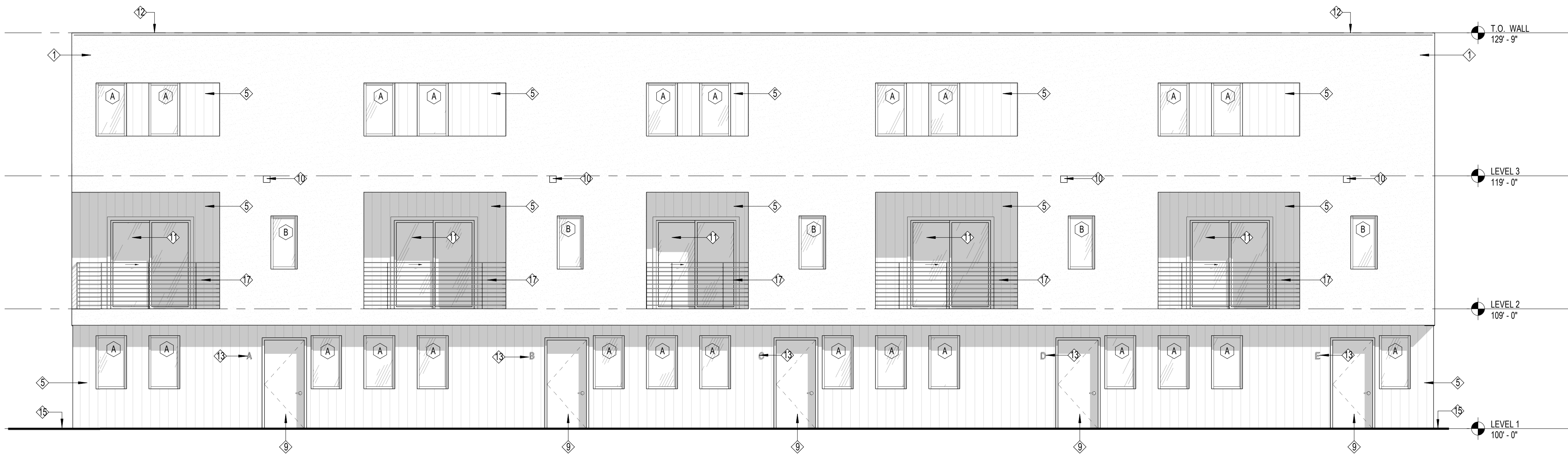
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EXTERIOR ELEVATION GENERAL NOTES

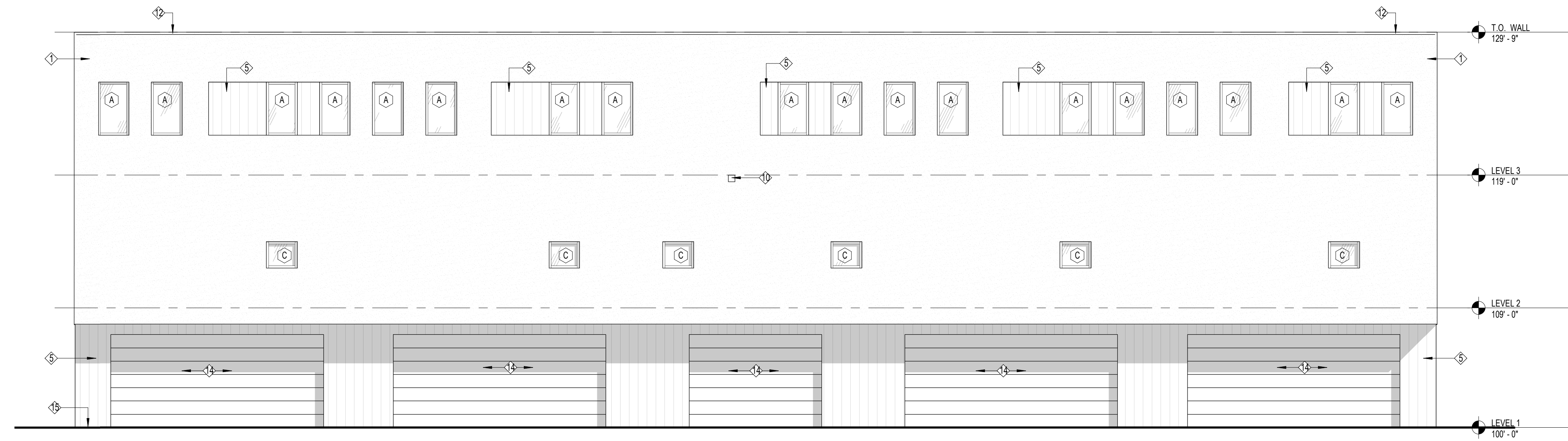
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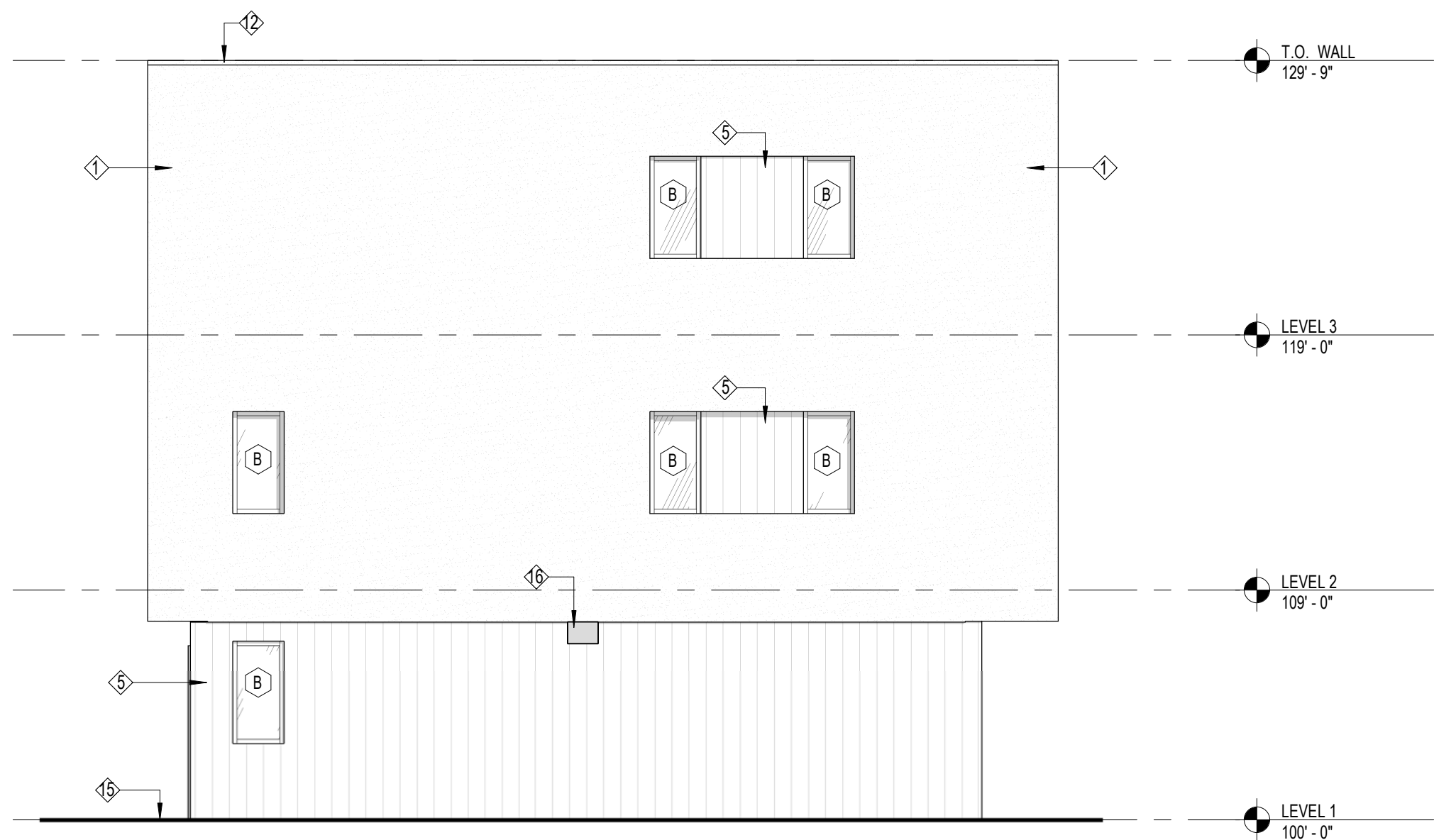
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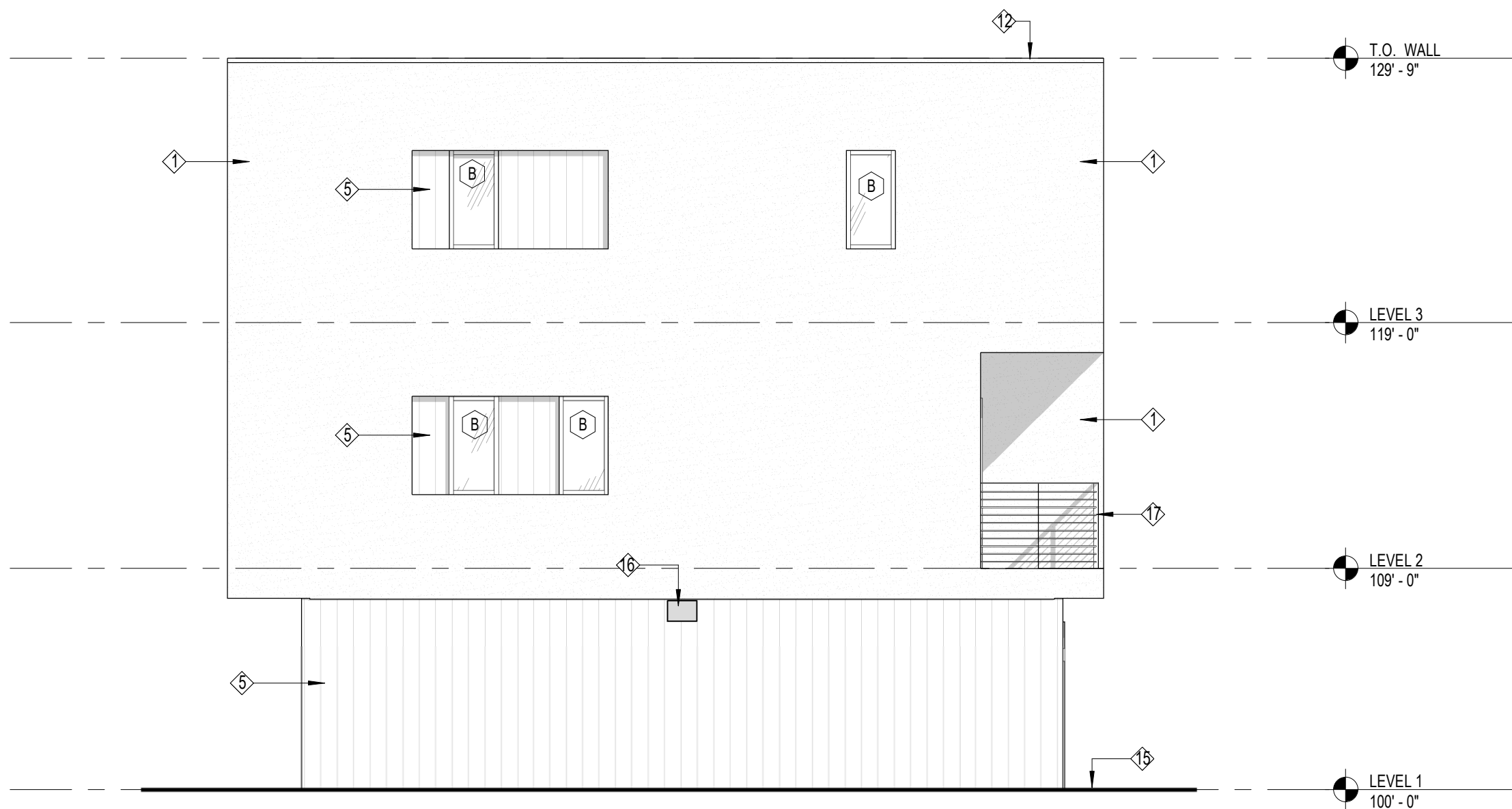
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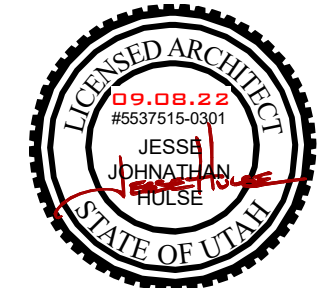
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PD

BUILDING 6
ELEVATIONS

A206

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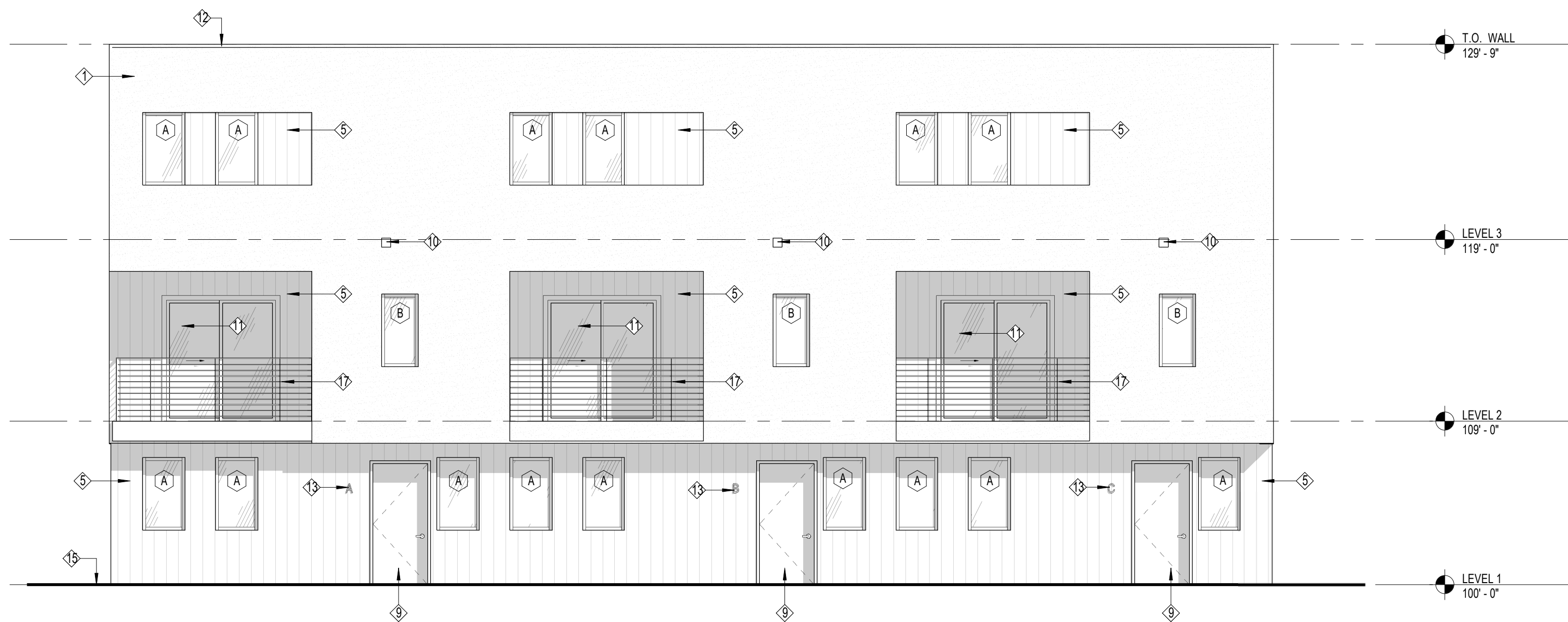
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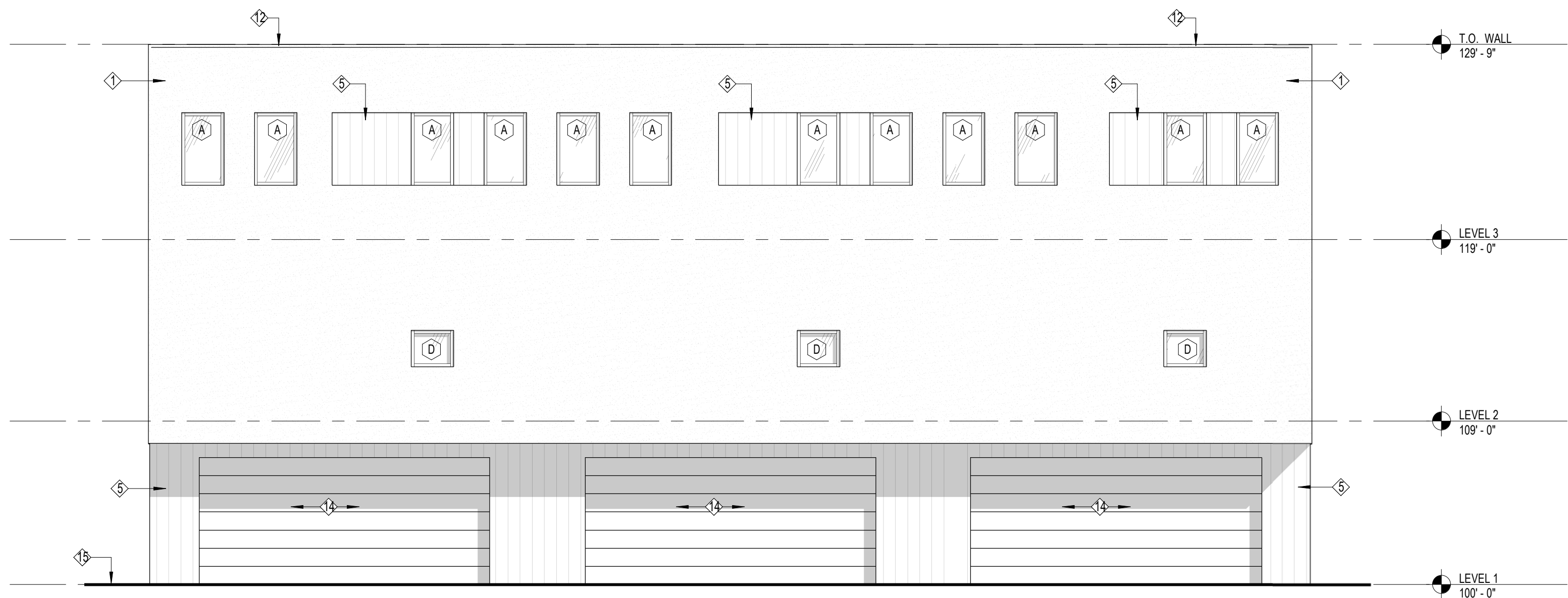
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BUILDING 7
ELEVATIONS

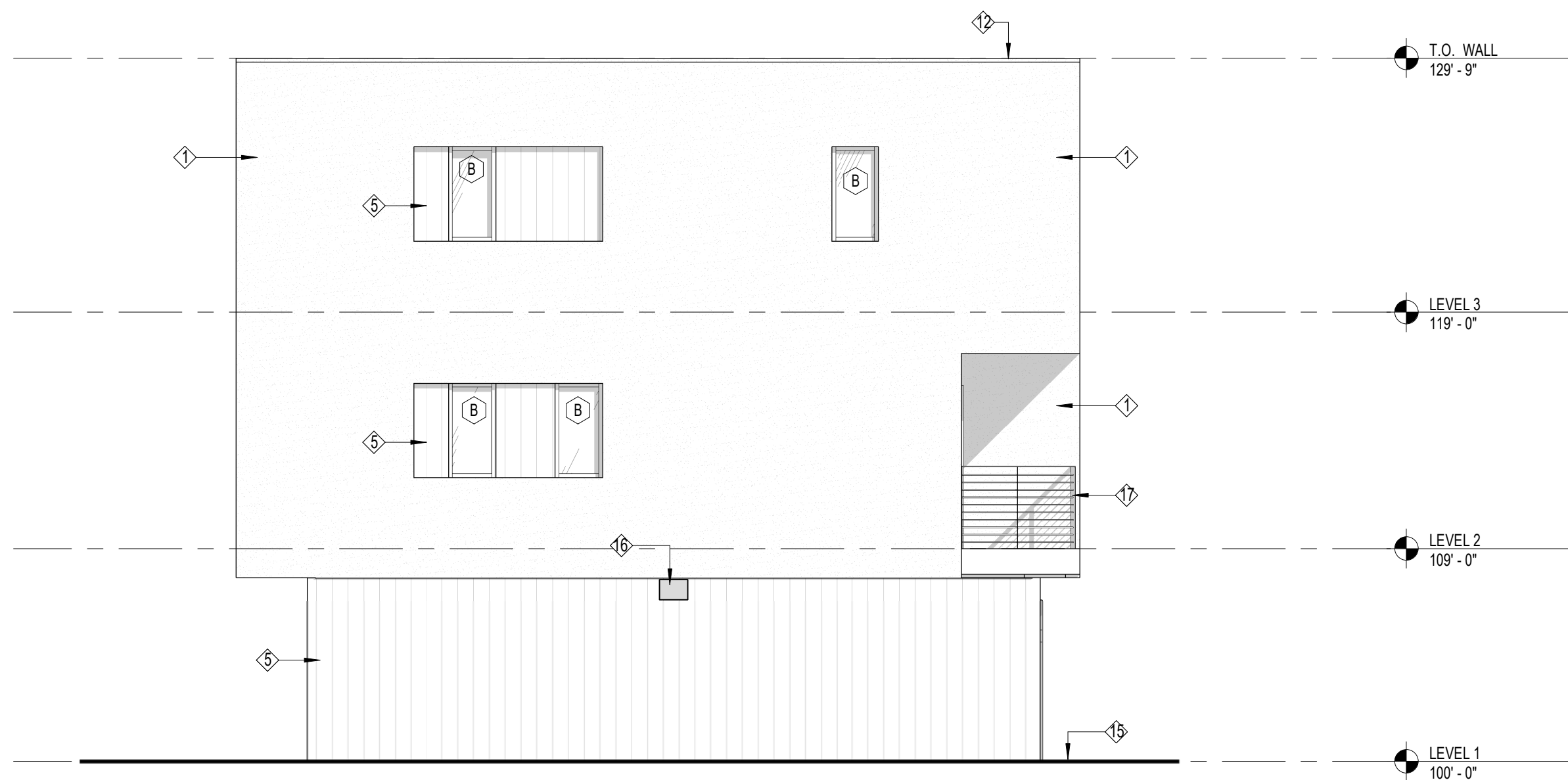
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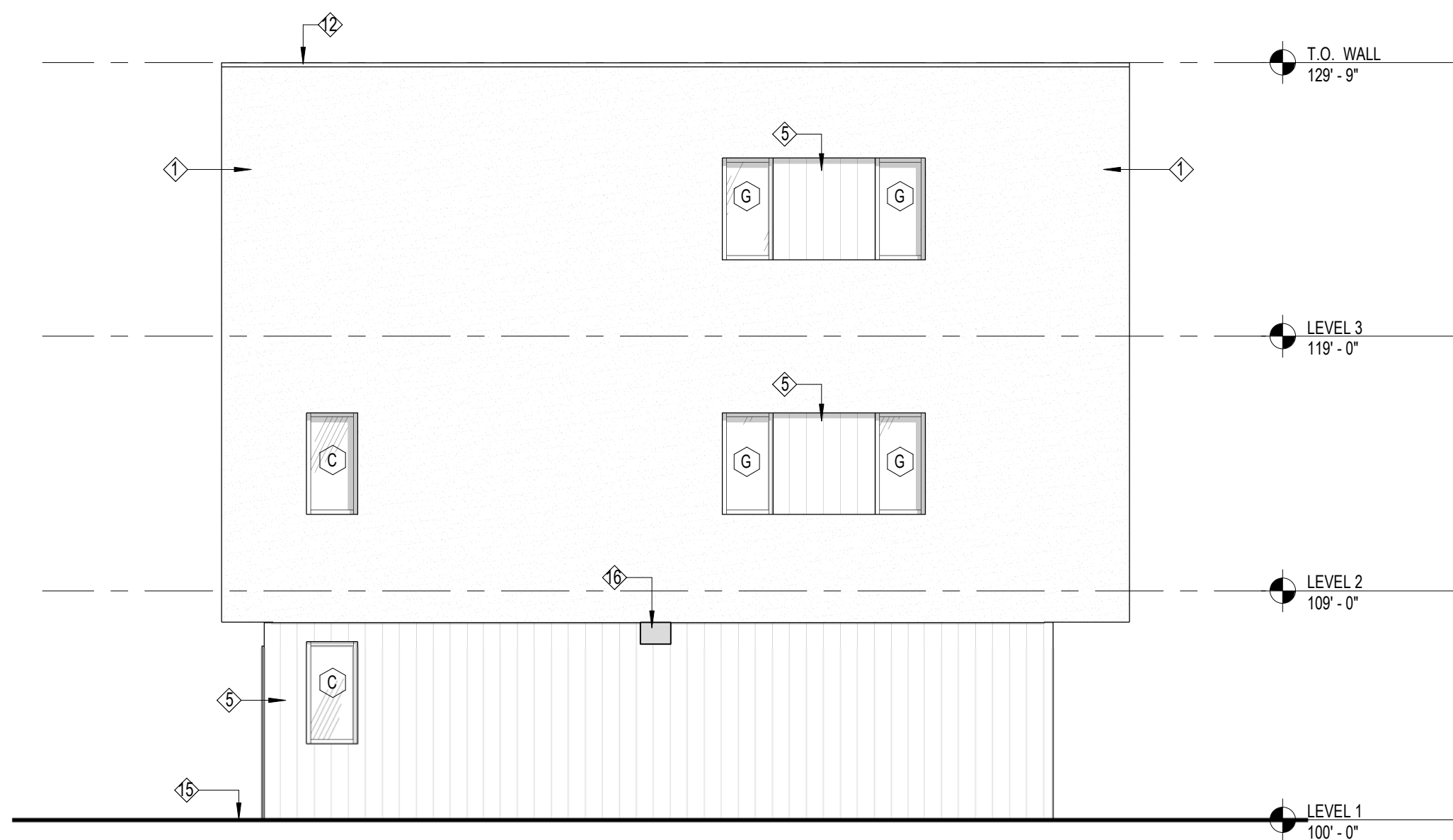
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3/16" = 1'-0"



4 BUILDING 7 GARAGE
3/16" = 1'-0"



2 BUILDING 7 END B
3/16" = 1'-0"



1 BUILDING 7 END A
3/16" = 1'-0"

DRAWING LIST

L001	COVER PAGE
L101	PLANTING PLAN AND DETAILS
L201	IRRIGATION PLAN
L202	IRRIGATION DETAILS

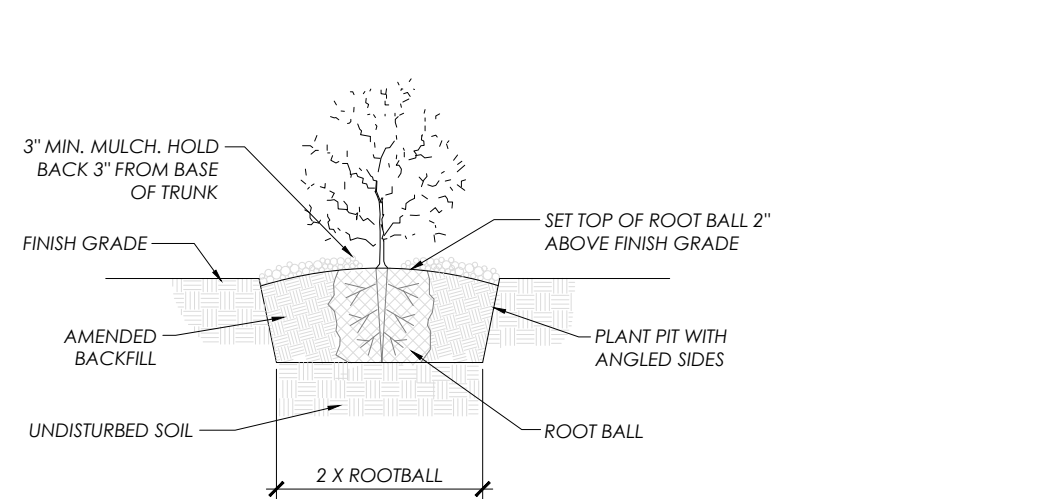
GENERAL NOTES

- LANDSCAPE CONTRACTOR TO EXAMINE SITE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. IF CONDITIONS ARE UNSATISFACTORY CONTRACTOR TO CONTACT OWNER'S REPRESENTATIVE IN WRITING. DO NOT PROCEED UNTIL CONDITIONS ARE SATISFACTORY.
- BEFORE EXCAVATING, DIGGING, OR DISTURBING SITE FOR ANY REASON, LANDSCAPE CONTRACTOR TO HAVE AREA "BLUE STAKED" IN ORDER TO LOCATE UNDERGROUND UTILITIES. LANDSCAPE CONTRACTOR TO ALSO NOTE LOCATION OF NEW AND PROPOSED UTILITIES AND WORK IN SUCH A MANNER TO PROTECT EXISTING AND PROPOSED UTILITIES FROM DAMAGE.
- THE LANDSCAPE CONTRACTOR TO COORDINATE THE WORK WITH OTHER CONTRACTORS. LANDSCAPE CONTRACTOR TO BE FAMILIAR WITH ALL ASPECTS OF THE SITE AND WORK IN SUCH A MANNER AS TO AVOID DAMAGING ANY PORTION OF THE SITE OR STRUCTURE. LANDSCAPE CONTRACTOR TO REPAIR ANY DAMAGE, AT NO EXPENSE TO THE OWNER, THAT IS INCURRED BY THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISH GRADE ELEVATIONS IN ALL LANDSCAPED AREAS. ALLOW FOR 3" OF ROCK MULCH IN ALL PLANTING BEDS.
- LANDSCAPE CONTRACTOR TO LAYOUT PLANTS PRIOR TO PLANTING. ADJUSTMENT MAY BE REQUIRED. NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE TO RECEIVE APPROVAL OF PLANT LAYOUT BEFORE PROCEEDING WITH PLANTING.
- ALL PLANT MATERIALS MUST MEET SIZES INDICATED IN SCHEDULES. SHALL MEET ANSI STANDARDS, AND SHALL MEET MINIMUM REQUIREMENTS OF LOCAL CODES. THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET SPECIFICATIONS OR DO NOT MEET THE QUALITY STANDARDS OF THE OWNER. ALL PLANT MATERIAL SHALL HAVE WELL DEVELOPED FIBROUS ROOT SYSTEM THAT ARE FREE OF PHYSICAL DAMAGE, DISEASE, AND INSECT INFESTATION.
- CONTRACTOR TO PROVIDE 3" OF WASATCH GREY CHAT ROCK MULCH IN ALL PLANTER AREAS.
- ANY PLANT DAMAGED DURING ANY STAGE OF THE INSTALLATION PROCESS SHALL BE REPLACED AT NO EXPENSE TO THE OWNER.
- ANY PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL VERIFY ALL QUANTITIES REQUIRED AND PROVIDE THE PLANTS NECESSARY TO COMPLETE THE PLANTINGS. PLANT MATERIAL QUANTITIES INDICATED FOR BEDS/PLANTERS ARE ESTIMATES. VERIFY QUANTITY TO MATCH DETAILED DESIGN INTENT. PLANT QUANTITIES ARE FOR INDIVIDUAL PLANTS ONLY.
- LANDSCAPE CONTRACTOR TO PROVIDE A ONE YEAR WARRANTY (MINIMUM) ON ALL PLANTING INSTALLATION. CONTRACTOR SHALL REPLACE, AT NO EXPENSE TO OWNER, ANY PLANT MATERIAL THAT DOES NOT SURVIVE.
- SEE SPECIFICATIONS FOR PLANTING PROCEDURES, SOIL COMPOSITION, AND INFORMATION PERTINENT TO LANDSCAPE INSTALLATION.

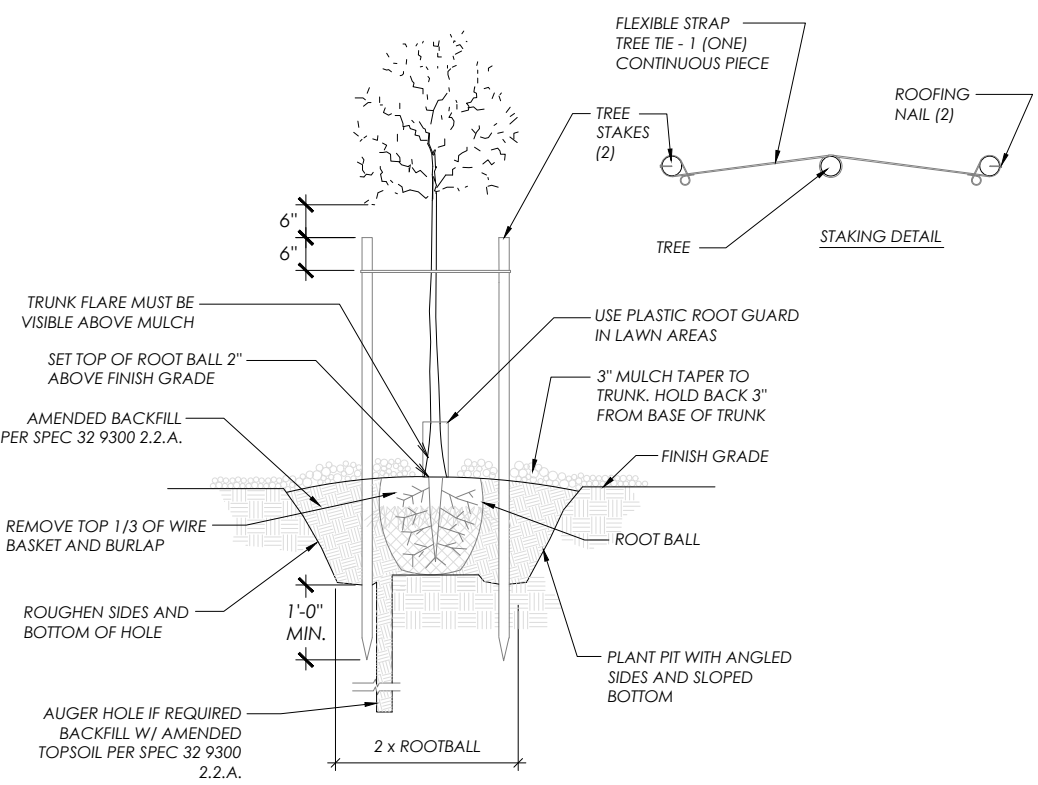
PLANTING NOTES

- THE INTENTION OF THE OWNER AND DESIGNER IS TO HAVE CONSTRUCTED UNDER THE CONSTRUCTION CONTRACT, A COMPLETE PROJECT READY FOR USE. THE GENERAL LANDSCAPE CONTRACTOR AND HIS SUB-CONTRACTORS SHOULD VIEW THESE DOCUMENTS ACCORDINGLY. ANY APPARENT QUESTION, INCOMPLETE AREA, AREAS OF DISCREPANCY OR CONTRADICTION IN THESE DOCUMENT IS TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO BIDDING. BY SUBMITTING A BID ON THIS PROJECT THE BIDDER CERTIFIES THAT HE HAS FULLY INFORMED HIMSELF OF THE REQUIREMENTS OF THE CONSTRUCTION DRAWINGS AS THEY RELATE TO HIS WORK AND HAS READ AND UNDERSTANDS THE NOTES AND SPECIFICATIONS. ALSO, THAT ANY QUESTIONS, INCOMPLETE AREAS, DISCREPANCIES OR CONTRADICTIONS HAVE BEEN BROUGHT TO THE ATTENTION OF THE LANDSCAPE DESIGNER AND THE OWNER AND THAT THEY ARE ALL RESOLVED.
- WILLFUL INSTALLATION OF THIS WORK WHEN IT IS OBVIOUS THERE EXISTS JOB/SITE CONDITIONS OR DISCREPANCIES ON PLANS THAT ARE DETRIMENTAL TO THE PROJECT AND THAT SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER OR THE LANDSCAPE DESIGNER WILL BE BACK CHARGED TO THE INSTALLER. THE INSTALLER ASSUMES FULL RESPONSIBILITY TO CORRECT THE WORK AT HIS OWN EXPENSE IF HE FAILS TO GIVE THE REQUIRED NOTIFICATION FOR RESOLUTION.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO COMPLETE ROUGH GRADING, FINE GRADING AND PLACING AND GRADING OF TOPSOIL.
- SEE PLANS, DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- EXISTING LANDSCAPE TO REMAIN SHALL BE PROTECTED AND MAINTAINED BY CONTRACTOR.
- COMPACTED LANDSCAPE AREAS SHALL BE REPAIRED BEFORE PLANTING OCCURS.
- PRE-EMERGENT HERBICIDE APPLICATIONS ARE REQUIRED DURING LANDSCAPE INSTALLATION. THE APPLICATION IS TO OCCUR AFTER THE LANDSCAPE AREA IS WEED FREE AND BEFORE THE WEED BARRIER OR WOOD MULCH IS INSTALLED.
- QUANTITIES ARE TO BE VERIFIED BY THE CONTRACTOR. IF DISCREPANCIES EXIST THE PLAN QUANTITIES SHALL DICTATE.
- DECORATIVE ROCK PLACED AROUND PAVERS AND IN GRAVEL AREAS IS TO BE PLACED AT 3" DEPTH OVER DEWITT PRO 5 WEED BARRIER OR APPROVED EQUAL. SPRAY PRE-EMERGENT HERBICIDE PRIOR TO PLACEMENT OF WEED BARRIER AND AFTER PLACEMENT OF ROCK.
- BETWEEN ALL PLANTING, LAWN, AND GRAVEL AREAS, INSTALL METAL EDGING. USE COL-MET 1/8" X 5" BLACK EDGING OR APPROVED EQUAL.
- WASATCH GREY CHAT MULCH SHALL BE PLACED AT 3" DEPTH ON SOIL IN MULCHED AREAS. SPRAY PRE-EMERGENT HERBICIDE PRIOR TO AND AFTER PLACEMENT.
- SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY OWNER.

PLANTING DETAILS



A SHRUB PLANTING DETAIL
 NOT TO SCALE



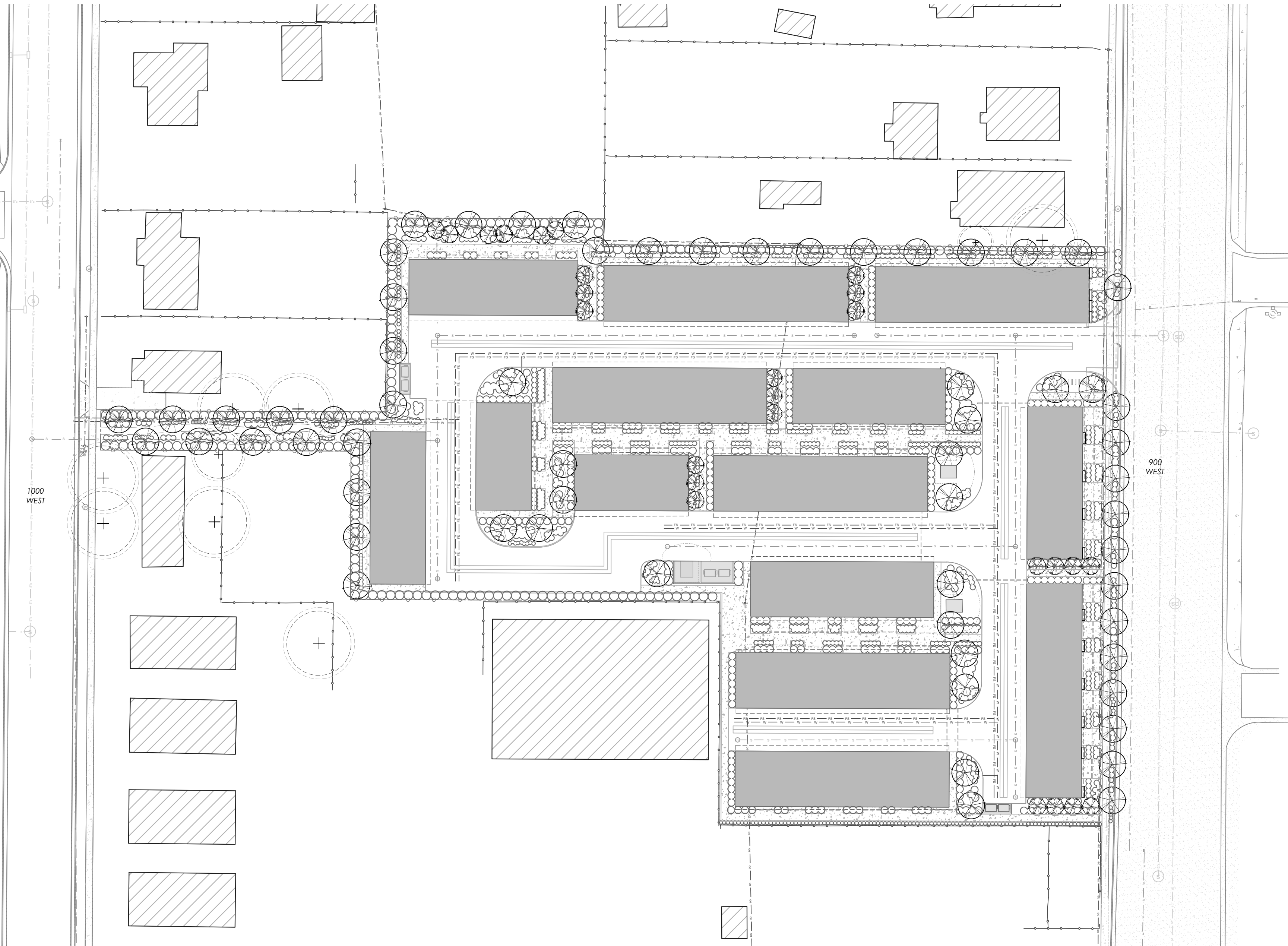
B TREE PLANTING AND STAKING
 NOT TO SCALE

SALT LAKE BUILDING CODE NOTES

- Urban Forestry calculations:
 - Salt Lake City Urban Forestry Program requires one tree for every 30 feet of street front. The Lot has 323.64' of frontage along 900 West, and 22' of frontage alone 1000 West, for a total of 345.64' of street frontage. $345.64' / 30' = 11.52$ trees, which rounds up to 12 trees. There is 13 trees shown, thereby exceeding the requirement.
 - The park strip tree has the following city requirements:
 - 900 West: 3-5 ft park strip - small tree at maturity (less than 30 ft tall), Zelkova serrata 'Wireless' is selected, with a mature height of 24 ft.
 - Zelkova serrata is listed in the "SLC Plant List and Hydrozone Schedule 2013" as Td4.
- Drought tolerant species calculations:
 - There are 686 shrubs indicated on the plan (AMAL, COAC, MACO, PMMP, PLOL, RAGL, ROWO). All shrubs are water conserving, and 94% of these are on the SLC water conserving plant list, which exceeds the 80% requirement. 41% of these shrubs are evergreen.
 - There are 64 trees indicated on the plan (CEOC, CROK, FRVE, MASS, ZSWI). All trees are water conserving, and 90% of these are on the SLC water conserving plant list, which exceeds the 80% requirement.
- Park strip ground surface treatment - plant coverage calculations:
 - The plantings within the park strip are prostrate shrubs or low growing perennials, so will not exceed 22" height. Coverage within 3 years should be 48%, which exceeds the 33% minimum. All plants in the park strip are water wise plants found in the SLC plant list.
- Area Calculations:

• Lot area:	113316 s.f.
• Roadways and curbs:	34366 s.f.
• Buildings:	43377 s.f.
• Mechanical / garbage:	758 s.f.
• Sidewalk:	12190 s.f.
• Drought tolerant landscape:	22625 s.f. (=20% of lot area)
• Park strip:	920 s.f.
Planted area:	440 s.f. (48 %)
- Landscape Buffers:
 - Lot is in CB district and requires 7' buffers when abutting residential districts
 - Shade trees (FRVE) are planted every 30 linear feet of landscape buffer
 - The shrub COAC is planted along the entire length of the buffer, and grows greater than 4'
 - Additional drought tolerant shrubs and perennials are planted within the buffer
 - A solid 6 foot fence is shown to be erected along the property line abutting residential districts

OVERALL SITE PLAN



Glendale Townhomes
 1500 South 900 West
 Salt Lake City, UT

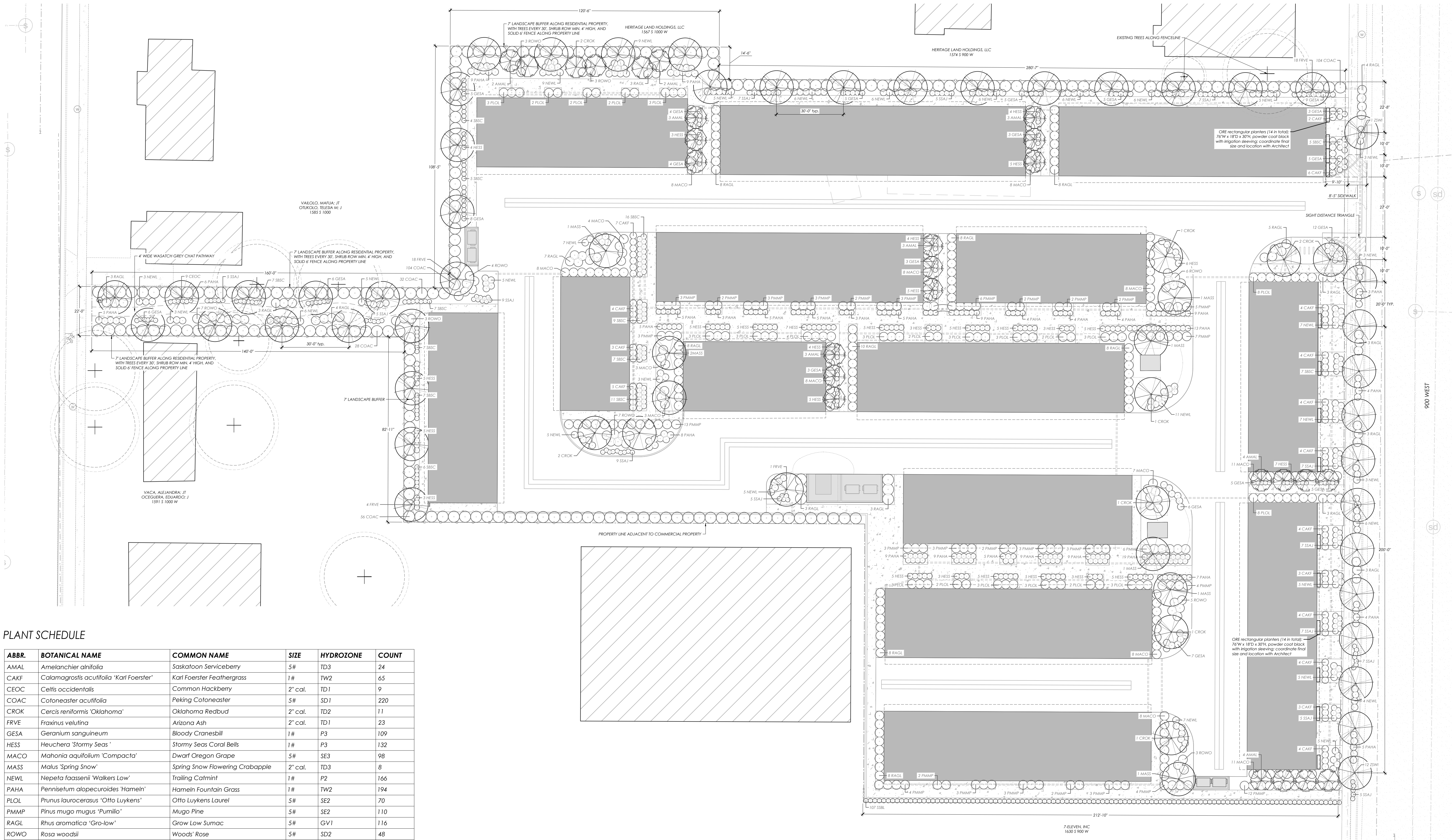
1	Permit Set	9/23/22
No.	Revision/Issue	Date



VODA Landscape + Planning
 100 West Broadway #200
 Salt Lake City, Utah 84101
 801-520-0382 www.vodaslp.com

Sheet No.	Cover
Sheet	L001

Project	P222-49	North
Date	2022-08-01	↑
Scale	1" = 40'	



PLANT SCHEDULE

ABBR.	BOTANICAL NAME	COMMON NAME	SIZE	HYDROZONE	COUNT
AMAL	Amelanchier alnifolia	Saskatoon Serviceberry	5#	TD3	24
CAKF	Calamagrostis acutifolia 'Karl Foerster'	Karl Foerster Feathergrass	1#	TW2	65
CEOC	Celtis occidentalis	Common Hackberry	2" cal.	TD1	9
COAC	Cotoneaster acutifolia	Peking Cotoneaster	5#	SD1	220
CROK	Cercis reniformis 'Oklahoma'	Oklahoma Redbud	2" cal.	TD2	11
FRVE	Fraxinus velutina	Arizona Ash	2" cal.	TD1	23
GESA	Geranium sanguineum	Bloody Cranesbill	1#	P3	109
HESS	Heuchera 'Stormy Seas '	Stormy Seas Coral Bells	1#	P3	132
MACO	Mahonia aquifolium 'Compacta'	Dwarf Oregon Grape	5#	SE3	98
MASS	Malus 'Spring Snow'	Spring Snow Flowering Crabapple	2" cal.	TD3	8
NEWL	Nepeta faassenii 'Walkers Low'	Trailing Catmint	1#	P2	166
PAHA	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	1#	TW2	194
PLOL	Prunus laurocerasus 'Otto Luykens'	Otto Luykens Laurel	5#	SE2	70
PMMP	Pinus mugo mugs 'Pumilio'	Mugo Pine	5#	SE2	110
RAGL	Rhus aromatica 'Gro-low'	Grow Low Sumac	5#	GV1	116
ROWO	Rosa woodsii	Woods' Rose	5#	SD2	48
SBSC	Stachys byzantina 'Silver Carpet'	Silver Carpet Lambs Ear	1#	GV1	91
SSAJ	Sedum spectabile 'Autumn Joy'	Autumn Joy Stonecrop	1#	P1	90
SSBL	Schizachyrium scoparium 'Blaze'	Little Bluestem	1#	TW1	107
ZSWI	Zelkova serrata 'Wireless'	Wireless Zelkova	2" cal.	TD4	13

Glendale Townhomes

1500 South 900 West

Salt Lake City, UT

1

Permit Set

9/23/22

No.

Revision/Issue

Date

VODA

VODA Landscape + Planning

100 West Broadway, #200

Salt Lake City, Utah 84101

801.520.5362

www.vodalandscape.com

Draw Title

Landscape Plan

Draw

L101

Project

P22-49

Date

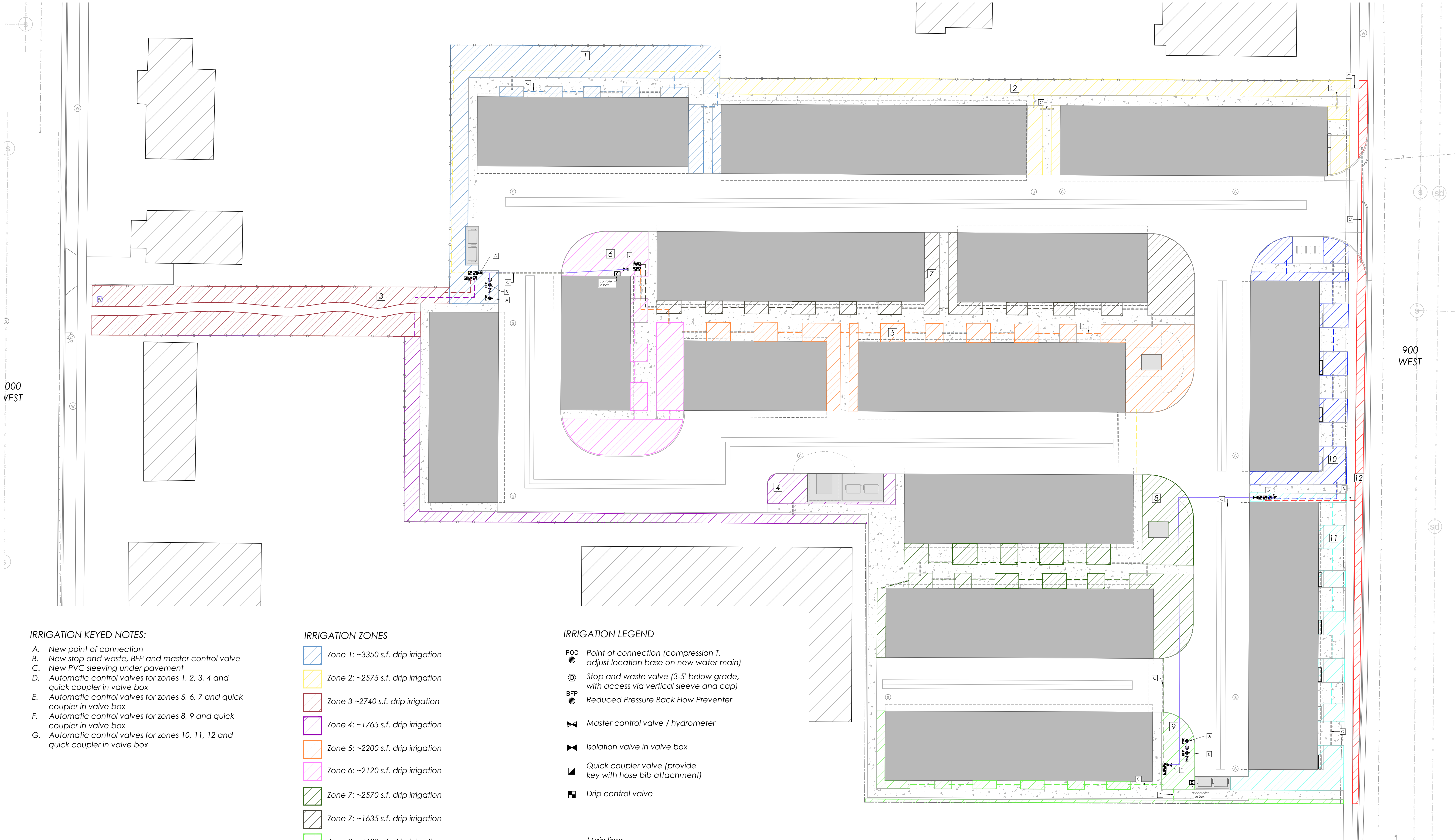
2022-09-01

Scale

1" = 20'

North

↑



IRRIGATION KEYED NOTES:

- A. New point of connection
- B. New stop and waste, BFP and master control valve
- C. New PVC sleeving under pavement
- D. Automatic control valves for zones 1, 2, 3, 4 and quick coupler in valve box
- E. Automatic control valves for zones 5, 6, 7 and quick coupler in valve box
- F. Automatic control valves for zones 8, 9 and quick coupler in valve box
- G. Automatic control valves for zones 10, 11, 12 and quick coupler in valve box

IRRIGATION ZONES

- Zone 1: ~3350 s.f. drip irrigation
- Zone 2: ~2575 s.f. drip irrigation
- Zone 3: ~2740 s.f. drip irrigation
- Zone 4: ~1765 s.f. drip irrigation
- Zone 5: ~2200 s.f. drip irrigation
- Zone 6: ~2120 s.f. drip irrigation
- Zone 7: ~2570 s.f. drip irrigation
- Zone 8: ~1635 s.f. drip irrigation
- Zone 9: ~1130 s.f. drip irrigation
- Zone 10: ~1225 s.f. rotor irrigation
- Zone 11: ~1315 s.f. drip irrigation
- Zone 12: ~920 s.f. drip irrigation

IRRIGATION LEGEND

- POC Point of connection (compression T, adjust location base on new water main)
- Stop and waste valve (3-5' below grade, with access via vertical sleeve and cap)
- BFP Reduced Pressure Back Flow Preventer
- Master control valve / hydrometer
- Isolation valve in valve box
- Quick coupler valve (provide key with hose bib attachment)
- Drip control valve
- Main lines
- Lateral lines
- PCV sleeving under paving

Glendale Townhomes

1500 South 900 West

Salt Lake City, UT

1

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9/23/22

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Revision/Issue

Date

VODA

VODA Landscape + Planning

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Draw Title

Draw

Project

Date

Scale

North

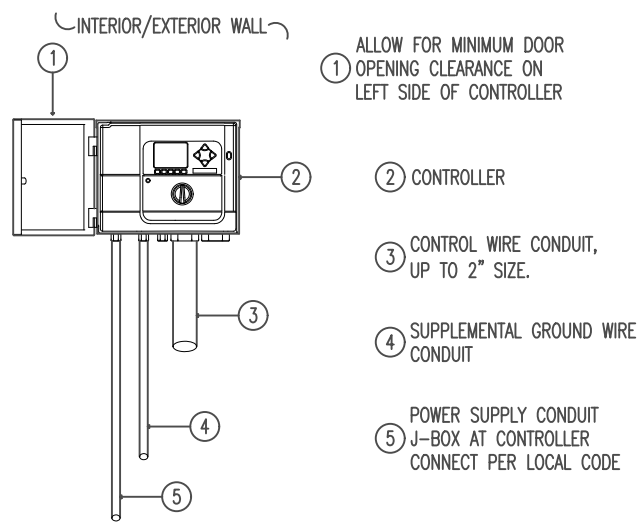
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2022-09-01

1" = 20'

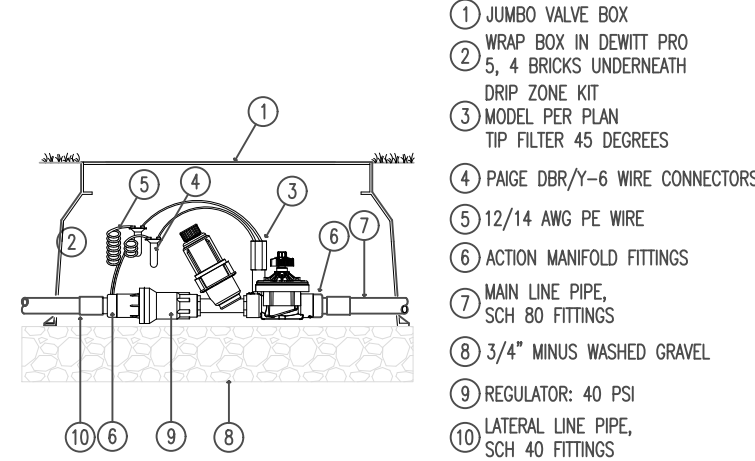
Irriation Plan

L201



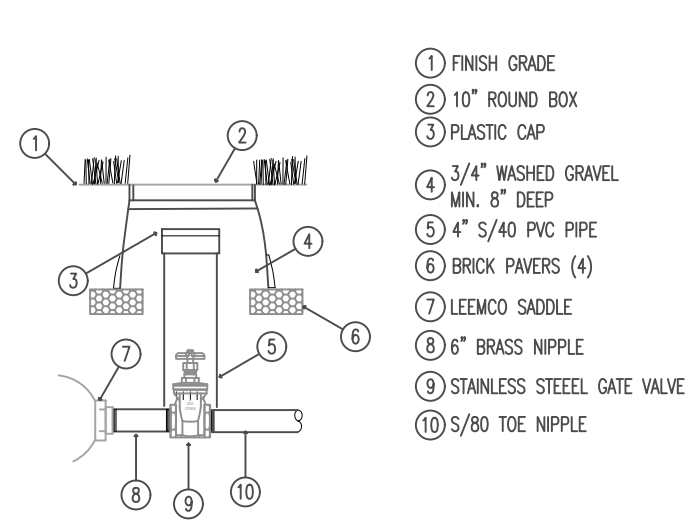
A WALL MOUNT CONTROLLER

SCALE: NTS SECTION DETAIL



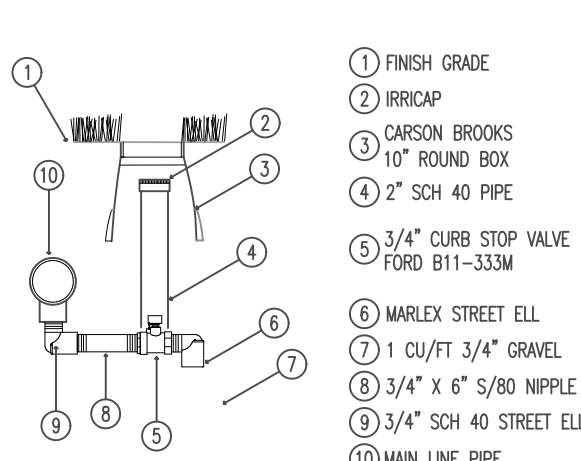
B DRIP CONTROL ZONE

SCALE: NTS SECTION DETAIL



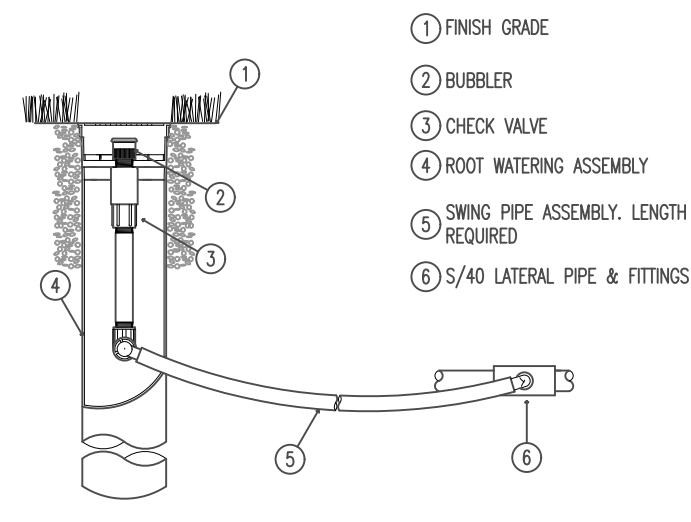
C GATE VALVE

SCALE: NTS SECTION DETAIL



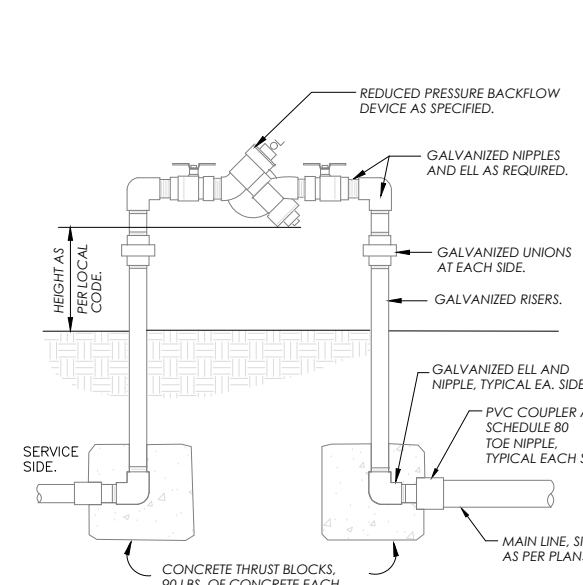
D MANUAL DRAIN VALVE-SMALL

SCALE: NTS SECTION DETAIL



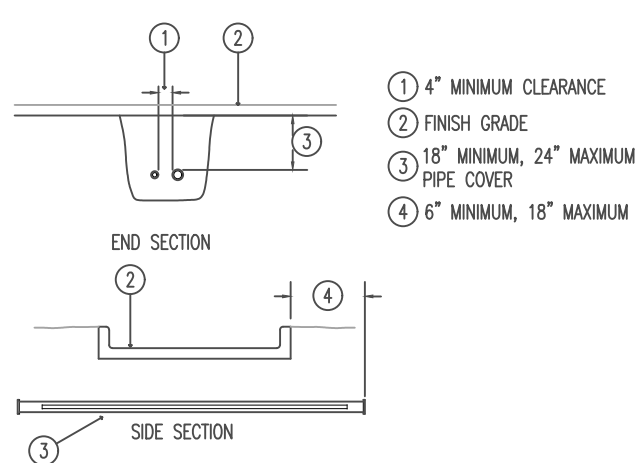
E ROOT WATERING ASSEMBLY

SCALE: NTS PLAN VIEW DETAIL



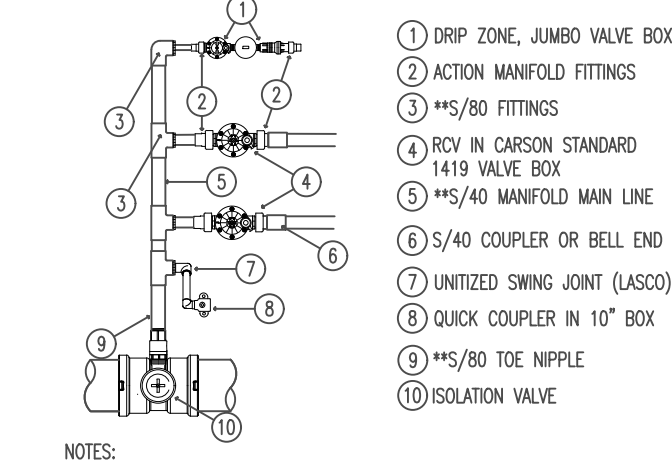
F BACKFLOW DEVICE

SCALE: NTS PLAN VIEW DETAIL



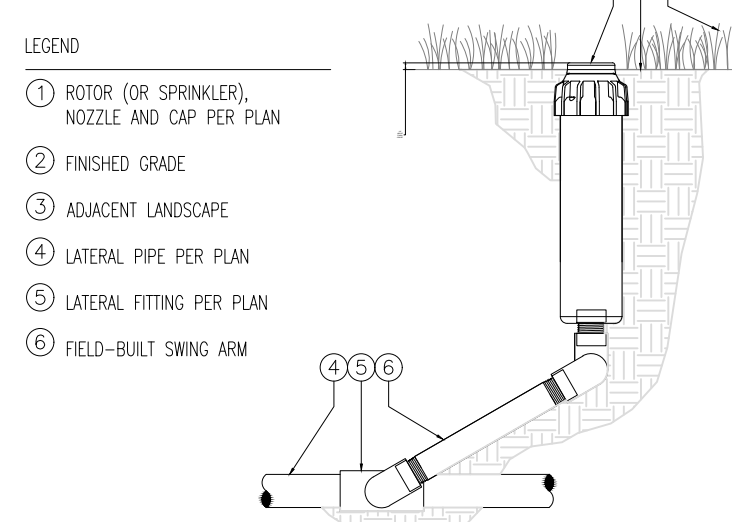
G SLEEVING

SCALE: NTS LANDSCAPE & IRRIGATION DETAIL



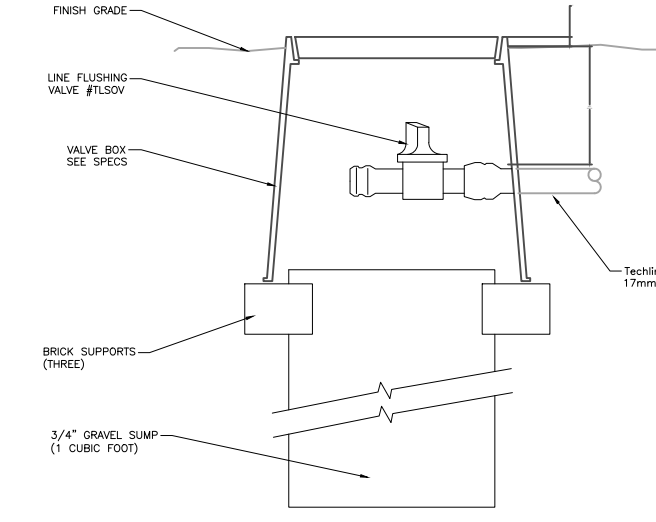
H VALVE MANIFOLD

SCALE: NTS PLAN VIEW DETAIL



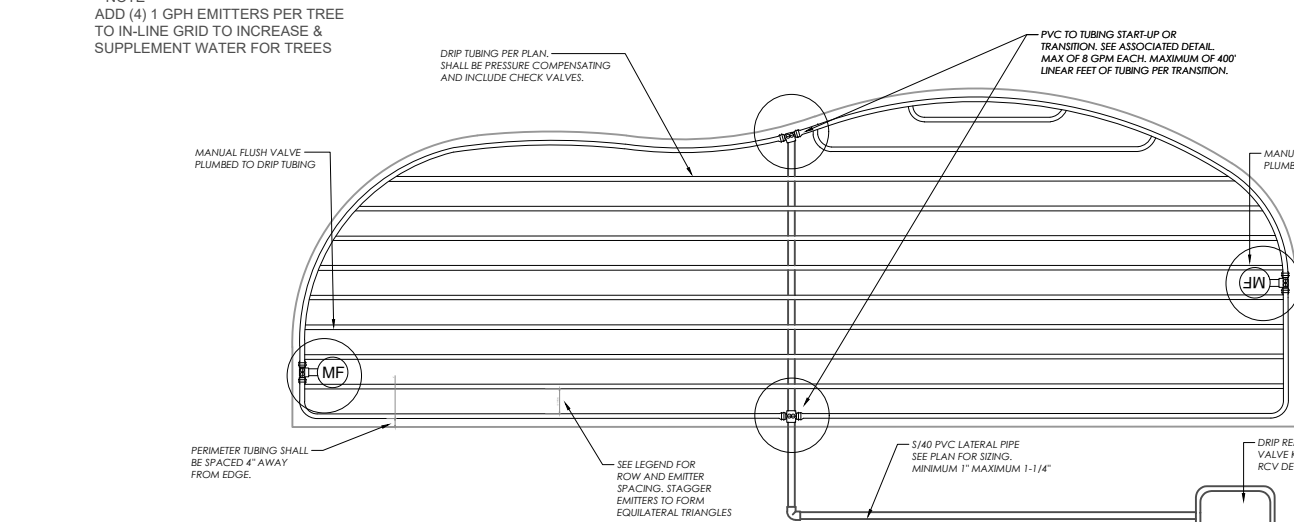
I POP-UP ROTOR (OR SPRINKLER) WITH FIELD BUILT SWING ARM

SCALE: NTS SECTION DETAIL



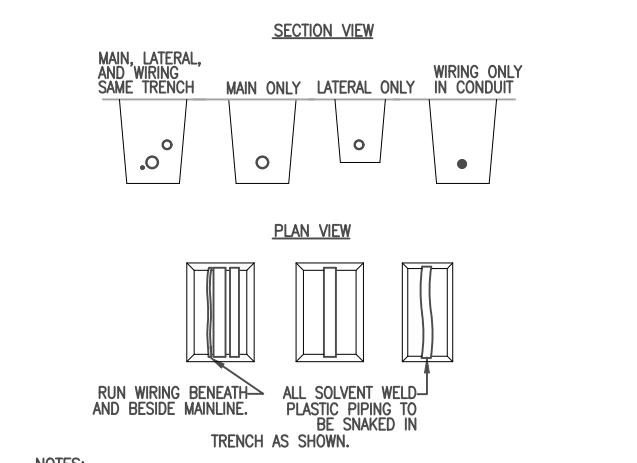
J MANUAL FLUSH/DRAIN VALVE

SCALE: NTS SECTION DETAIL



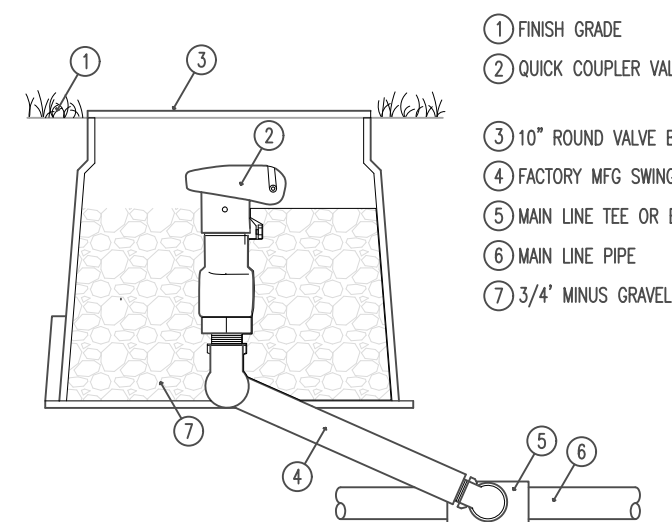
K IN-LINE TUBING LAYOUT

SCALE: NTS SECTION DETAIL



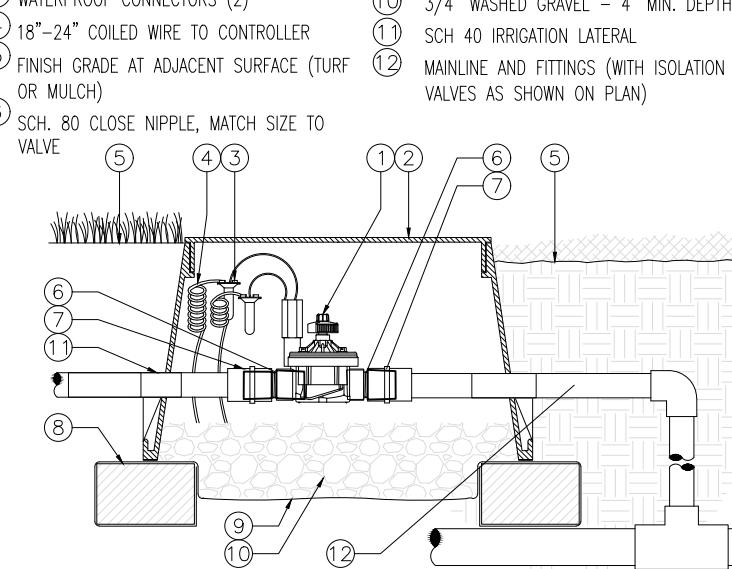
L PIPE/WIRE IN TRENCH

SCALE: NTS LANDSCAPE & IRRIGATION DETAIL



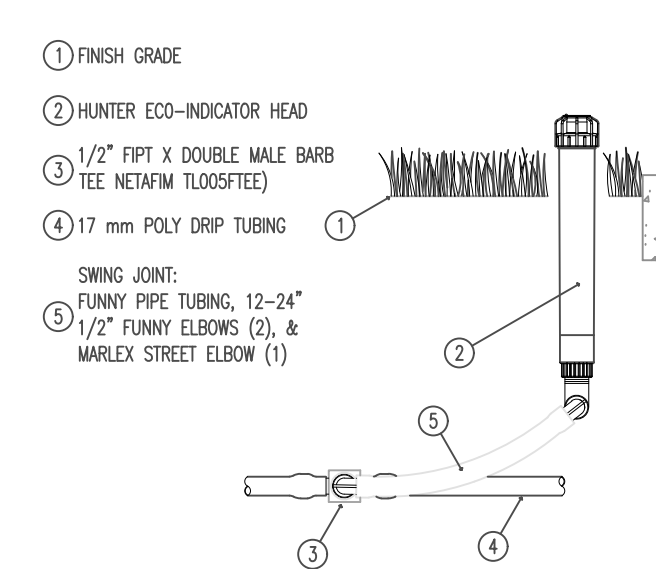
M QUICK COUPLER VALVE

SCALE: NTS SECTION DETAIL



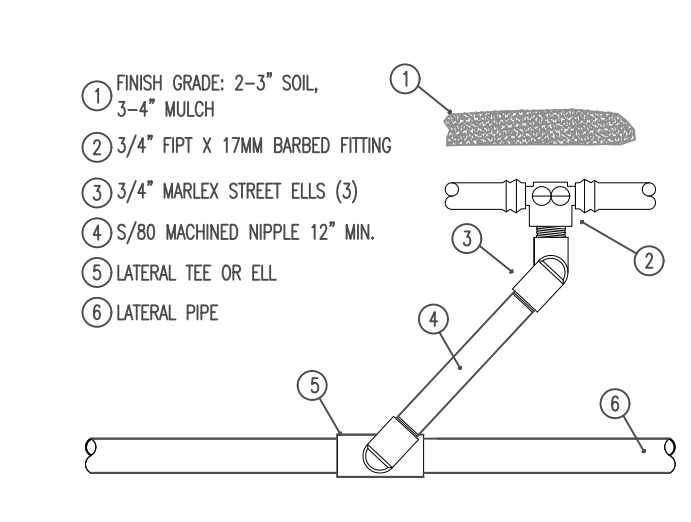
N IN-LINE VALVE (as specified)

SCALE: NTS SECTION DETAIL



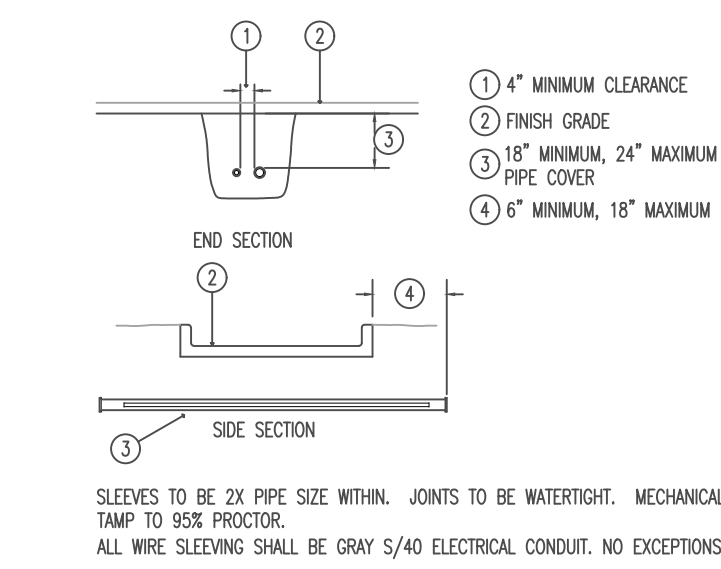
O DRIP OPERATING INDICATOR

SCALE: NTS SECTION DETAIL



P PVC / DRIP TRANSITION POINT

SCALE: NTS SECTION DETAIL



Q SLEEVING

SCALE: NTS LANDSCAPE & IRRIGATION DETAIL



Glendale Townhomes
1500 South 900 West
Salt Lake City, UT

1	Permit Set	9/23/22
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139 West Broadway, #300
Salt Lake City, Utah 84101
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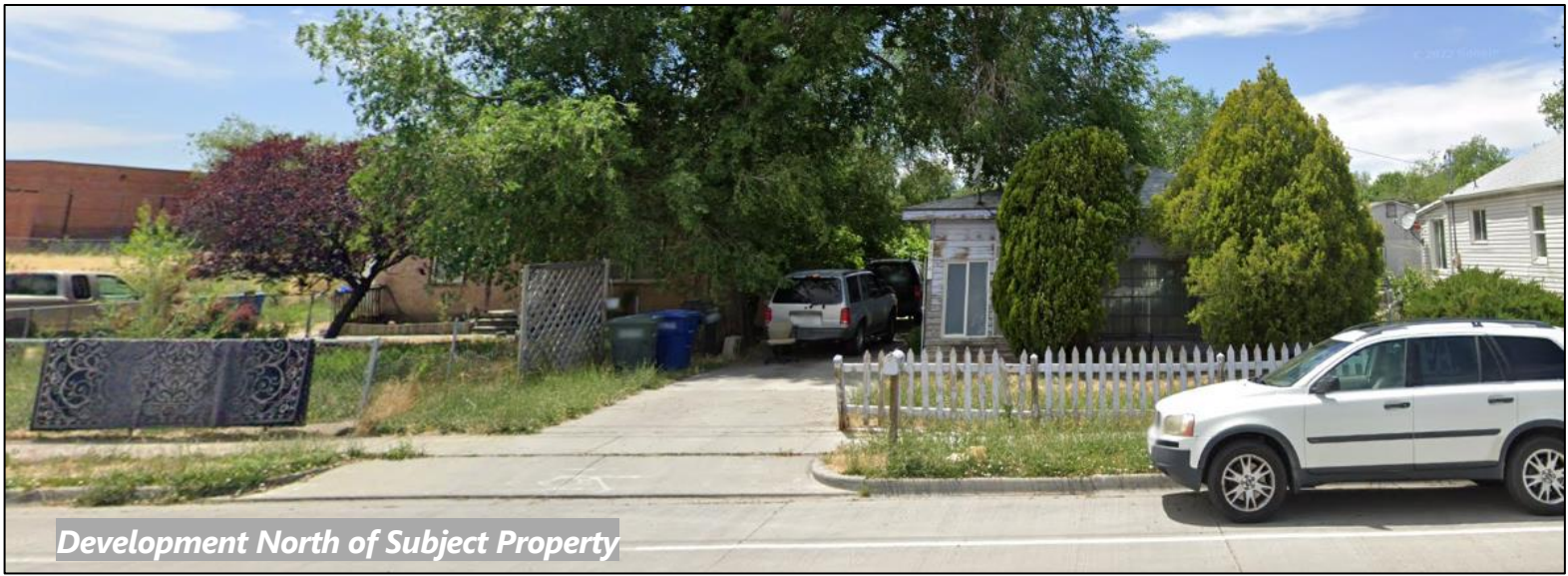
Sheet Title
Irrigation Details

Sheet No.
L202

Project P22-49	North ↑
Date 2022-08-01	Scale not to scale

ATTACHMENT D – PROPERTY AND VICINITY PHOTOS

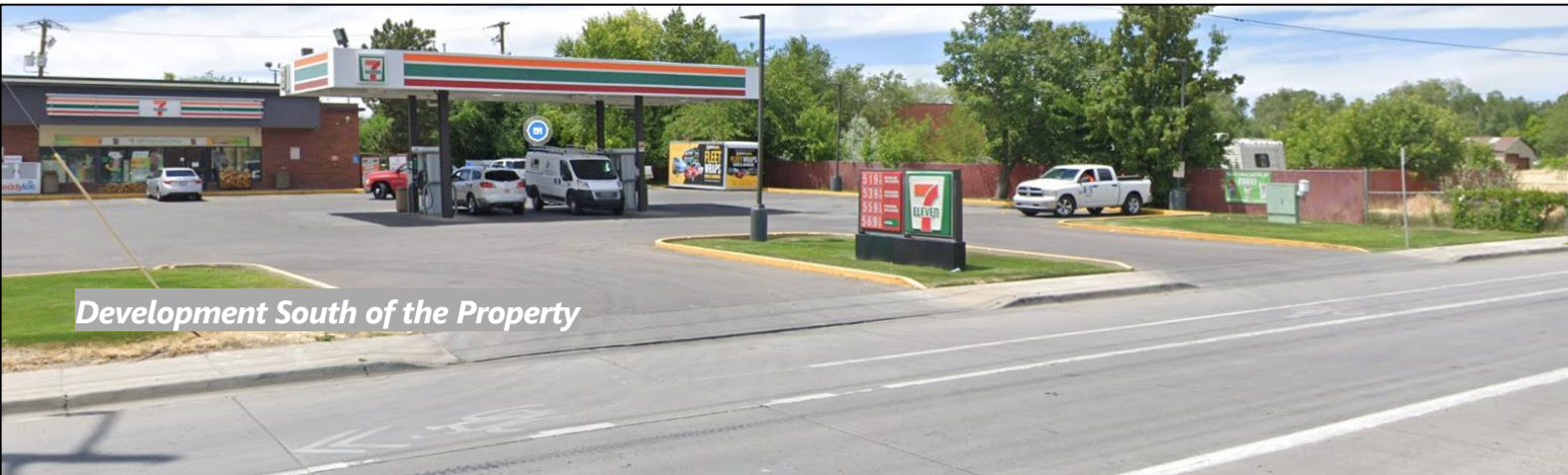




Development North of Subject Property



Development East of the Property, across the street, 900 W



Development South of the Property

ATTACHMENT E: ZONING ORDINANCE STANDARDS

CB (Community Business)

The CB Community Business District is intended to provide for the close integration of moderately sized commercial areas with adjacent residential neighborhoods. The design guidelines are intended to facilitate retail that is pedestrian in its orientation and scale, while also acknowledging the importance of transit and automobile access to the site.

Zoning Ordinance Standards for CB zone (21A.26.030)

Standard	Proposed	Finding
Minimum Lot Area: No minimum lot area or lot width is required. Any lot exceeding 4 acres in size shall be allowed only through design review.	The project site is approximately 2.51 acres.	Complies
Maximum Building Height: 30 feet	30 feet	Complies
Minimum Front and Corner Side Yard Requirement: No minimum yard is required.	The project is proposing frontage along 900 W for a portion of the total units. The units with frontage along 900 W are setback 18' 3" from curb along 900 W.	Complies
Minimum Interior Side Yard Requirement: None	Although there is no required interior side yard, there is a range of distance between buildings/property lines. All buildings have between 9' and 14'. Only the southernmost structure has 6' 4" between it and the Southern property boundary.	Complies
Minimum Rear Yard Requirement: 10 feet	10 feet	Complies
Landscape Yard Requirements: If a front or corner side yard is provided, such yard shall be maintained as a landscape yard. The landscape yard can take the form of a patio or plaza, subject to site plan review approval.	This standard is met along 900 W. There are front yards for each unit along 900 W, which has 8' 8" landscaped setback from sidewalk. This space includes a planter box attached to the front of each unit. This portion of the project would meet the requirement.	Complies

ATTACHMENT F: PLANNED DEVELOPMENT STANDARDS

21a.55.050: Standards for Planned Developments: The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

Standard	Finding	Rationale
A. Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (Section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development. The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development. The planning commission should consider the relationship between the proposed modifications to the zoning regulations and the purpose of a planned development, and determine if the project will result in a more enhanced product than would be achievable through strict application of the land use regulations.	Complies	<p>The applicant has stated that the project is meeting Objective F, which states, “F. Master Plan Implementation: A project that helps implement portions of an adopted Master Plan in instances where the Master Plan provides specific guidance on the character of the immediate vicinity of the proposal:</p> <ol style="list-style-type: none"> 1. A project that is consistent with the guidance of the Master Plan related to building scale, building orientation, site layout, or other similar character defining features. <p>In reviewing the objectives, staff believes that the project does also meet the housing objective C which states,</p> <p>“2. The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood.”</p> <p>This neighborhood has a mix of uses but the primary residential use is low density residential including mostly single and two-family residential uses. This project would add multi-family residential uses which will be owner occupied to the area but in a townhome style design which is generally compatible with low density residential uses which helps to implement the goals from adopted master plans as well as the city’s housing policies .</p>
B. The proposed planned development is generally consistent with adopted policies set forth in the citywide, community, and/or small area master plan that is applicable to the site where the planned development will be located.	Complies	<p>As listed in the Key Considerations section of this report, staff believes that the project is consistent with Plan Salt Lake, The Westside Master Plan, and the GrowingSLC as the project will add vitality and growth to a mixed-use neighborhood but will be compatible while mitigating negative impacts to surrounding neighborhoods.</p>

C. Design and Compatibility: The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the planning commission should consider:		Complies	The project has been designed with the existing development pattern in mind creating a development that is compatible with an area that has been identified by the Westside Master Plan as a community node of focus.
C1	Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable master plan related to building and site design;	Complies	The project is designed as a townhouse style development with 71 individual units divided between 13 structures. The length of the building facades are limited by the buildable area which is an abnormal shape, and for the sake of continuity, having multiple buildings allows them to fit together on the property. The structures are proposed at 30 feet which is the permitted height in the zone and no additional height has been requested. The area surrounding the parcels is mixed between commercial and residential development. The properties to the west are single-family residential dwellings, in response, this development is required to install a 10 foot landscaped buffer.
C2	Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable master plan related to building and site design;	Complies	<p>Building materials in the planned development include glass, hardi board, steel, and wood which are all found in the current neighborhood and are compatible with the policies stated in the applicable master plans.</p> <p>The eastern two buildings are oriented to the street and each unit has an entry way and patio space facing the public street. This is similar to the typical residential development in the adjacent residential neighborhood. The Zoning Ordinance requires entrances from each building on each street frontage. The project as proposed is meeting that standard on 900 W. Although some of the buildings will not have frontage along 900 W, they will still have entrances in the inside of the project. The buildings that do not have frontage along 900 W will interact with one another with shared landscaped courtyards and common design language. As was discussed in the Key Considerations section of this report, this request has been made because of the atypical buildable area of the project site.</p>

C3	<p>Whether building setbacks along the perimeter of the development:</p> <p>a. Maintain the visual character of the neighborhood or the character described in the applicable master plan.</p> <p>b. Provide sufficient space for private amenities.</p> <p>c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise.</p> <p>d. Provide adequate sight lines to streets, driveways and sidewalks.</p> <p>e. Provide sufficient space for maintenance.</p>	Complies	<p>The project is currently meeting the front, side and rear setbacks which are determined by using the outline of the project area.</p> <p>The property will be completely landscaped with a landscaped buffer along the north and west property lines to minimize impacts to adjacent properties.</p> <p>The visual character of the neighborhood is represented with trees and vegetation similar to what is presented in the landscaping plan. This project is adjacent to several R-1-7000/residential properties, and by limiting the west access to pedestrians and not vehicles, the impact to the neighboring properties will be minimal. The project meets City standards for sufficient open space buffering between the proposed development and commercial uses to the South and residential uses to the West and North.</p> <p>Adequate sight lines provide safety for pedestrians using the sidewalk, and allow for adequate visibility to vehicles traveling on 900 W. Sufficient space for maintenance is provided through the project orientation and setback requirements.</p>
C4	Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;	Complies	The front façade has a symmetrical design and the building has significant articulation and glass on lower and upper floors to avoid creating any large blank walls. The exterior building materials are glazing, wood, and hardie board panels in multiple shades. The project is easily accessed by pedestrians with public sidewalks.
C5	Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;	Complies	Lighting will be provided throughout the development as illuminated bollards and typical porch lights. There will be no tall overhead lights. There should be no lighting impact to adjacent properties.
C6	Whether dumpsters, loading docks and/or service areas are appropriately screened; and	Complies	There are dumpsters on the project property, but enclosures are proposed to comply with the standard.
C7	Whether parking areas are appropriately buffered from adjacent uses.	Complies	Each unit has a garage that is sized to meet the minimum parking standard. There are no other parking areas proposed with this development and no buffering would be required.
D. Landscaping: The proposed planned development preserves, maintains or provides native landscaping where		Complies	The project has significant amounts of landscaping including a buffer yard and street trees along 900 W.

appropriate. In determining the landscaping for the proposed planned development, the planning commission should consider:			
D1	Whether mature native trees located along the periphery of the property and along the street are preserved and maintained;	Complies	There are no existing trees on the subject property.
D2	Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved;	Complies	The property is in an undeveloped state with no existing landscaping other than weeds and brush.
D3	Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development; and	Complies	The proposed landscaped buffer along the North and West property lines will minimize any negative impacts to the adjacent properties. Street trees will also be provided along all street frontages in addition to existing street trees to provide shade to pedestrians.
D4	Whether proposed landscaping is appropriate for the scale of the development.	Complies	The landscaping that is proposed is extensive and attractive and covers all portions of the property that is not covered in structures, sidewalks or driveways. Private as well as common landscaped areas have been designed in the project. A landscaped buffer has also been provided. The proposed landscaping is appropriate for the scale.
E. Mobility: The proposed planned development supports citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the planning commission should consider:		Complies	The scale of the project will have a limited impact on circulation in the neighborhood. Although the path isn't direct, there is clear proposed accessibility between 900 W and 1000 W through a short walking trail and interior sidewalks.
E1	Whether drive access to local streets will negatively impact the safety, purpose and character of the street;	Complies	Drive access to the entire development is limited to a single entrance off of 900 W. Because the access is limited to 900 W, there will be minimal impact to the safety, purpose, and character of 900 W. The scale of the development will not create a significant amount of traffic and will have little impact on local streets. The Fire Dept. has reviewed the proposed access and finds that it meets its minimum safety standards.
E2	Whether the site design considers safe circulation for a range of transportation options including: a. Safe and accommodating pedestrian environment and pedestrian oriented design;	Complies	The project has connections directly from the front door to the sidewalk on 900 W. The project has sidewalk pedestrian access running North and South along 900 W.

	bicycle facilities and connections where appropriate, and orientation to transit where available; and c. Minimizing conflicts between different transportation modes;		The project also includes a pedestrian path that connects the residential units to 1000 W. This path meets the standard by providing a safe and accommodating design for pedestrians.
E3	Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities;	Complies	The project has public sidewalk along its east side which can provide easy pedestrian access from the site to points in the neighborhood. There are also sidewalks throughout the project providing easy access to 900 W or 1000 W.
E4	Whether the proposed design provides adequate emergency vehicle access; and	Complies	Emergency vehicle access can be provided from 900 W. Fire has reviewed the application and found the design provides adequate emergency vehicle access.
E5	Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.	Complies	The site is small and will not require any loading access or services areas.
F. Existing Site Features: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.		Complies	There are no natural or built features which significantly contribute to the character of the neighborhood or environment.
G. Utilities: Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area.		Complies	The Public Utilities Department has reviewed the project and finds that they are able to provide all necessary services for this proposed project.

ATTACHMENT G: PUBLIC PROCESS AND COMMENTS

Meetings & Public Notice

The following is a list of public meetings and other public input opportunities related to the project that have been held.

June 7, 2022 – Initial notices were sent to property owners within 300 ft. The 45 day initial notice period commenced.

June 15, 2022 – The applicant met with the Community Council. The project was reviewed by the group and was generally well received by the community council.

Notice of the Planning Commission public hearing for the proposal included:

Public Comments

Staff sent an early engagement and Planning Commission Meeting notice about the project to all properties within 300 feet of the project area.

Staff has received no additional comments from the public.

ATTACHMENT H – DEPARTMENT REVIEW COMMENTS

Fire Code (Douglas Bateman at douglas.bateman@slcgov.com or +1-801-535-6619)

- Fire hydrant shall be located within 600-feet of all ground level exterior walls of structures with measurements following the drive route and in straight lines and right angles
- A minimum distance shall be provided to lot lines or other permanent obstructions that equals the height of the structure X .3 + 4 feet. If this cannot be provided, the applicant may submit an alternate means and methods to provide additional fire protection system or features to buildings that are non-compliant

Public Utility Review (Kristeen Beitel at Kristeen.beitel@slcgov.com or 385-252-8991)

Comments have been provided to assist in the future development of the property. The following comments are provided for information only and do not provide official project review or approval. Comments are provided to assist in design and development by providing guidance for project requirements.

- Public Utility permit, connection, survey, and inspection fees will apply.
- All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.
- All utilities must meet horizontal and vertical clearance requirements. Water and sewer lines require 10 ft minimum horizontal separation and 18" minimum vertical separation. Sewer must maintain 5 ft minimum horizontal separation and 12" vertical separation from any non-water utilities. Water must maintain 3 ft minimum horizontal separation and 12" vertical separation from any non-sewer utilities.
- Contact SLCPU Street Light Program Manager, Dave Pearson (801-483-6738), for information regarding street lights.
- CC&R's must address utility service ownership and maintenance responsibility from the public main to each individual unit.
- Utilities cannot cross property lines without appropriate easements and agreements between property owners.
- Parcels must be consolidated prior to permitting.
- Site utility and grading plans will be required for building permit review. Other plans such as erosion control plans and plumbing plans may also be required, depending on the scope of work. Submit supporting documents and calculations along with the plans.
- Applicant must provide fire flow, culinary water, and sewer demand calculations to SLCDPU for review. The public sewer and water system will be modeled with these demands. If the water demand is not adequately delivered by the existing main, then a water main upsizing will be required at the property owner's expense. The expected maximum daily flow (gpd) from the development will be modeled to determine the impacts on the public sewer system. If one or more sewer lines reaches of the sewer system reach capacity as a result of the development, sewer main upsizing will be required at the property owner's expense. Required improvements on the public water and sewer system will be determined by the Development Review Engineer. A plan and profile of the new main(s) and engineer's

cost estimate must be submitted for review. Design drawings and cost estimate must be stamped and signed by a professional engineer. The property owner is required to bond for the amount of the approved cost estimate.

- One culinary water meter is permitted per parcel and fire services, as required, will be permitted for this property. If the parcel is larger than 0.5 acres, a separate irrigation meter is also permitted. Each service must have a separate tap to the main.
- A minimum of one sewer lateral is required per building. Shared laterals require a request for variance to be approved.
- Site stormwater must be collected on site and routed to the public storm drain system. Stormwater cannot discharge across property lines or public sidewalks.
- Stormwater treatment is required prior to discharge to the public storm drain. Utilize stormwater Best Management Practices (BMP's) to remove solids and oils. Green Infrastructure should be used whenever possible. Green Infrastructure and LID treatment of stormwater is a design requirement and required by the Salt Lake City UPDES permit for Municipal Separate Storm Sewer System (MS4). This permit was updated with this requirement in June 2021. The applicant will need to provide options for stormwater treatment and retention for the 80th percentile storm. If additional property is not available, there are other options such as green roof or other BMP's. Lack of room or cost is generally not an exception for this requirement. If green infrastructure is not used, then applicant must provide documentation of what green infrastructure measures were considered and why these were not deemed feasible. Please verify that plans include appropriate treatment measures. Please visit the following websites for guidance with Low Impact Development: <https://deq.utah.gov/water-quality/low-impact-development?form=MY01SV&OCID=MY01SV> and <https://documents.deq.utah.gov/water-quality/stormwater/updes/DWQ-2019-000161.pdf?form=MY01SV&OCID=MY01SV>.
- Stormwater detention is required for this project. The allowable release rate is 0.2 cfs per acre. Detention must be sized using the 100-year 3-hour design storm using the farmer Fletcher rainfall distribution. Provide a complete Technical Drainage Study including all calculations, figures, model output, certification, summary, and discussion.
- Projects larger than one acre require that a Stormwater Pollution Prevention Plan (SWPPP) and Technical Drainage Study are submitted for review.

Transportation (Michael Barry at michael.barry@slcgov.com or 801-535-7147)

- The minimum parking requirement for the R-MU is one half space per dwelling unit for multi-family and there appear to be one- or two-car garages provided for each unit, so the parking is sufficient. The requirement for ADA stalls does not come into play because the parking spaces are in garages and are not accessible to the general public. The EV stalls are provided in the garages as there is power in the garages. The 24' drive aisles are acceptable and the 26-foot wide driveway is acceptable. Please let me know if you have any questions.

Engineering (Scott Weiler at scott.weiler@slcgov.com or 801-535-6159)

No Comment

Police Review (Lamar Ewell at lamar.ewell@slcgov.com or 801-799-3260)

Police Department has no concerns with this project.