



# Staff Report

PLANNING DIVISION  
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Brooke Olson, Principal Planner  
[Brooke.Olson@slcgov.com](mailto:Brooke.Olson@slcgov.com) or 801-535-7118

Date: December 14, 2022

Re: PLNPCM2022 - 00141 West Quarter Block C

## Design Review

**PROPERTY ADDRESS:** 260 W 200 S

**PARCEL ID:** 15-01-207-038-0000

**MASTER PLAN:** Downtown Community Master Plan

**ZONING DISTRICTS:** D-4 (Downtown Secondary Central Business District),  
National Historic District Overlay - Salt Lake City Warehouse

**REQUEST:** The applicant, Ashvini Dinoy, with Dwell Design Studio, representing the property owner, is requesting Design Review approval to develop the property at approximately 260 W 200 S in the D-4, Downtown Secondary Central Business District. The proposal is to construct a 16 story, multi-family residential, mixed-use building with 323 residential dwelling units. The applicant is also proposing to extend the existing Quarter Row mid-block private street along the eastern lot line of the subject site and record an associated public access easement.

Through the Design Review Process the applicant is requesting the following:

1. To exceed the building height allowance of the D-4 Zoning District by approximately 110 feet, 7 inches. The zone permits a building height of 75 feet and the applicant is proposing a height of approximately 185 feet 7 inches.

The regulations of the D-4 zone allow developments constructing privately owned mid-block streets with a public easement to increase the height of the building on the remaining abutting parcel through the Design Review process.

**RECOMMENDATION:** Based on the findings listed in the staff report, it is the Planning Staff's opinion that the request generally meets the applicable Design Review standards of approval and therefore recommends the Planning Commission approve the request with the following conditions:

1. Final approval of the details for site signage, development and site lighting, street lighting, streetscape details and sidewalk paving to be delegated to Planning Staff to ensure compliance with the standards for Design Review as well as the Downtown Master Plan.

2. The five existing Honey Locust street trees within the 200 S public right of way along the property frontage shall be protected and preserved.
3. A public easement between Salt Lake City and the property owner will be recorded on the property for the mid-block street.
4. The unique mid-block street paving pattern shall be limited to private property. The Downtown paving pattern shall be incorporated along the street frontage of the subject property to comply with Streetscape Improvements Design Review standard as well as the Downtown Master Plan.
5. Structural encroachments projecting into the public right of way airspace will require review and approval from applicable city divisions and issuance of an encroachment permit.

#### **ATTACHMENTS:**

- A. [Vicinity Map](#)
- B. [Plan Set](#)
- C. [Property and Vicinity Photos](#)
- D. [D-4 Zoning Standards](#)
- E. [Design Standards](#)
- F. [Public Process & Comments](#)
- G. [Department Review Comments](#)

#### **PROJECT DESCRIPTION:**

##### **Background**

The existing site constitutes approximately 1.46 acres (63,723 square feet) the majority of which is occupied by surface parking and a portion of the Royal Wood Office Plaza building. All existing structures will be demolished to allow for the redevelopment of the property.

The proposed West Quarter Block C development is the second phase of a larger mixed-use project to be constructed on the block bounded by 100 South, 200 West, 200 South, and 300 West, located directly west of the Salt Palace Convention Center and directly southeast of the Vivint Arena. The first phase of the West Quarter development is located directly north of the subject site and occupies the northwest corner of the block. Phase 1 consists of a mixed-use apartment



***Building Rendering - West Quarter Block C***

##### ***Quick Facts***

**Height:** 185 feet, 7 inches (16 stories)  
**Number of Residential Units:** 323 units  
**Ground Floor Uses:** Retail, entrance lobby, tenant mail room and storage, parking, and bicycle storage  
**Upper Floor Uses:** Residential units, 9<sup>th</sup> level rooftop courtyard/pool deck, club house and fitness Deck, 16<sup>th</sup> level community terrace.  
**Exterior Materials:** Glass, modular brick, metal panels/screens, CMU block, painted concrete, poly-mesh garage screen with a monochromatic printed image.  
**Parking:** 343 stall parking deck within building  
**Review Process & Standards:** Design Review, D-4 zoning standards, and general zoning standards.



building, a hotel, and a mid-block street which received Planning Commission approval in 2020 and are presently under construction.

Above is a rendering of the development and a list of quick facts about the proposal. The developer has also provided a detailed narrative about their proposal and design review considerations in [Attachment B](#).

## Project Details

The proposed West Quarter Block C project is a 16-story, multi-family residential, mixed-use building with 323 residential dwelling units. The unit mix includes 85 studios, 161 one-bedroom, 68 two-bedroom, and 9 three-bedroom units. The ground level of the building contains approximately 25,763 sq. ft. of retail space, a residential lobby, and leasing office and a small fenced pet area at the northwest corner of the site. Floors 2-8 consist of an interior parking deck with 343 parking stalls, wrapped in residential units and associated amenities spaces on the south, east, and west. The north end of the parking deck is enclosed by a poly mesh garage screen with a monochromatic printed image. The vehicular entries to the parking and service areas are located at the rear, northern facade of the building and accessed by a driveway off the mid-block street on the north end of the site. Floors 8-16 consist of residential units and associated amenity spaces including secure bike parking, storage facilities, a gear shop, a club house, exercise facilities, covered outdoor terraces, and a large courtyard/pool deck on level 9.



***Building Rendering  
Corner of 200 S & Mid-Block Street***

The project also includes the construction of a mid-block private street, Quarter Row. Though the proposed mid-block street is not identified as a required connection in the Downtown Master Plan, the plan encourages the development of mid-block walkways/streets to allow pedestrian access through the blocks. A segment of Quarter Row was approved with the West Quarter Phase 1 development which is presently under construction. This proposal extends Quarter Row from the northeast boundary of the site, creating a north/south connection to 200 S. The midblock street will be accessible to the public via a public access easement which is a condition of approval.

The applicant is requesting a Design Review to exceed the building height allowance of the D-4 Zoning District by approximately 110 feet, 7 inches. The zone permits a building height of 75 feet and the applicant is proposing a height of approximately 185 feet 7 inches. The regulations of the D-4 zone allow developments constructing privately owned mid-block streets with an associated public easement, to increase the height of the building on the remaining abutting parcel with Design Review approval from the Planning Commission.

The purpose of the D-4 district is to provide an area that fosters sustainable urban development and accommodates multiple uses that support the Central Business District. The zone encourages developments with high lot coverage, buildings placed close to the sidewalk, and promotes pedestrian activity by putting a strong emphasis on safe and attractive streetscapes.

The building's south and east street-facing façades predominately consist of a modular brick base with floor to ceiling storefront window systems, dark bronze metal, and wood colored metal screening accents. There are a total of eight public retail entrances off 200 South and three off of the mid-block street, towards the north end of the building. The upper 14 levels of the street-facing façades will include volumes of glazing and dark and light metal paneling.

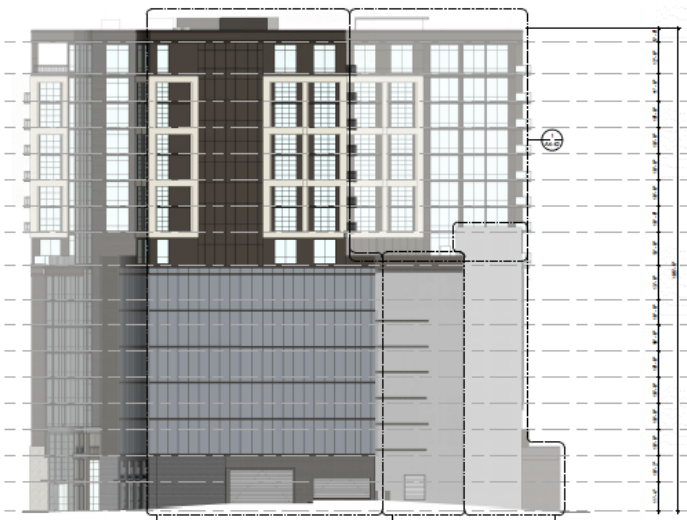


***South Building Elevation  
(200 S Street Facing Façade)***



***East Building Elevation  
(Mid-Block Street Facing Façade)***

The building's north and west facades predominantly consist of dark split face CMU and painted concrete base with dark modular brick at the northeast corner and dark bronze metal at the southeast corner. The upper levels of the north and west facades predominately consist of glazing, dark and light metal paneling, and a section of painted concrete at the northwest corner on levels 01-09.



***North Building Elevation***



***West Building Elevation***

As mentioned, a poly-mesh garage screen with a monochromatic printed image will wrap around the north east, north and north west façades of the buildings on levels 02-09 to screen the parking area and provide additional visual interest. The top of the building is defined by a 4 foot, 4 inch tall, continuous dark metal parapet wall that will screen mechanical equipment. The rooftop will also have a visible mechanical bulkhead. Parapet walls up to 5 feet in height are permitted height exceptions in the D-4 zone. Mechanical bulkheads are also a permitted height obstruction that cannot exceed 16 feet.

The Design Review process is intended to ensure high-quality outcomes for developments, while allowing flexibility and modifications to design standards and to achieve development goals and purposes stated in City master plans and the zoning district. For complete analysis and findings in relation to the Design Review standards, please refer to [Attachment E](#).

## KEY CONSIDERATIONS:

The key considerations listed below were identified through the analysis of the project:

**Consideration 1:** Consistency with the D-4 Zoning District and Applicable Master Plan Policies

**Consideration 2:** Request for Additional Building Height

## CONSIDERATION 1: Consistency with the Underlying Zoning District and Applicable Master Plan Policies

### Downtown Master Plan

The project site is located within the Downtown Master Plan, specifically the Salt Palace District. The downtown Master Plan outlines specific goals and initiatives for the Downtown Community and for the integration of the Salt Palace District into the larger extent of the downtown area and other Salt Lake City neighborhoods.

The Salt Palace District is located at the North end of the Downtown Master Plan boundaries, encompassing the blocks bound by South Temple, West Temple, 200 South and 300 West. The district constitutes a unique and diverse mix of development, cultural, art, and entertainment uses which attract locals and visitors to the area.

The north and east blocks within the district consist of the Salt Palace Convention Center, hotels, Abravanel Hall, and the Utah Museum of Contemporary Art. The subject property is located within the southwest block which contains a mix of uses and variety of low and high density building typologies including multi-family residential apartment buildings, hotels, The Asian Association of Utah Immigrant Center, The Salt Lake Buddhist Temple religious facility and associated retail shop and the Hills House Hogar Hotel – Historic Site.



**Downtown Master Plan  
Salt Palace District**



The master plan identifies the Salt Palace District as a major economic driver for downtown and the City. The district's vision statement calls for active street fronts that engage pedestrians and draw people from their convention and trade activities to the doors of restaurants, shops, lodging, theaters, and artistic entertainment opportunities. The vision identifies the need for building facades that have spaces for active uses and line the sidewalk with windows and doors, to maximize visual transparency, activate the sidewalk, and break up long expanses of walls. Additionally, the master plan encourages the development of mid-block walkways/streets to allow pedestrian access through the block and small plaza spaces that provide opportunities for passive recreation and social interaction.

The West Quarter Block C project fulfills several of the design and use elements identified for the district. The building is designed with ground floor retail spaces, storefront window systems, and entry doors to activate the streets and engage/enhance the public realm. As previously mentioned, the project includes the construction of a mid-block street which will be accessible to the public and allow pedestrian and vehicular access through the block. The design also includes a covered arcade at the southeast ground floor entry of the building providing seating, dining chairs, and tables for future tenants of the retail spaces along 200 South. Paved patio areas along the mid-block street offer seating, shade, and opportunities for outdoor dining and gathering spaces.

The proposed development meets five of the six best practices for urban residential development as described in the Downtown Master Plan, which includes:

- Outdoor access to usable outdoor space, such as a private yard, patio, or shared rooftop deck.
- Choice and convenience of onsite amenities, such as a gym or rooftop patio.
- Safety and security, transitions between public and private realms, orientation to the sidewalk and street, and clear views from inside to out to increase pedestrian safety.
- Unobstructed views and sunlight to public or semi-private outdoor spaces. Outdoor spaces, such as the western facing rooftop terrace, are located to receive direct sunlight during most days of the year.



***South Façade Building Rendering  
Sidewalk View along 200 S***



***East Façade Building Rendering  
Mid-block Street***

- Ground floor active uses with noticeable feature changes above the ground floor, such as the transition between the transparent ground floor façade and the private units above the second level.

### **Existing Street Trees**

One of the primary goals and initiatives of the Downtown Master Plan is enhance the urban tree canopy and discourage the removal of healthy shade trees that are in public spaces (pg. 76). The preservation of healthy mature street trees is particularly important in the downtown area due to the lack of trees and dominance of impermeable surfaces which generate heat and create urban heat islands. The landscape plans indicate there are five healthy existing Honey Locust street trees located along the property frontage, within the 200 South public right of way. The five mature street trees contribute to the mature urban street tree canopy along 200 South. The applicant is proposing to remove the existing mature Honey Locust Trees and replace them with six Frontier Elms, which does not comply with the Downtown Master Plan or City initiatives.



***Existing Honey Locust Street Trees Along 200 South***

The Urban Forestry Division has reviewed the proposal and indicated they will not issue a permit for the removal of the existing street trees. Staff recommends the Planning Commission require the preservation and protection of the five existing street trees as a condition of approval.

### **Plan Salt Lake**

The project is also supportive of Plan Salt Lake, a citywide plan that guides the city's direction. Plan Salt Lake includes goals directed toward housing, planning for future growth, transportation and mobility, and neighborhoods. Of the goals listed in these sections, the proposed Design Review is supported by the following initiatives:

- *“Promote increased connectivity through mid-block connections.*
- *Encourage a mix of land uses.*
- *Promote infill and redevelopment of underutilized land.*
- *Accommodate and promote an increase in the City’s population.*
- *Promote high density residential in areas served by transit.*
- *Direct new growth toward areas with existing infrastructure and services that have the potential to be people-oriented.*
- *Promote energy efficient housing.*
- *Create a safe and convenient place for people to carry out their daily lives.*
- *Incorporate artistic elements and support cultural events on a neighborhood scale to reinforce neighborhood character and identity.*
- *Incorporate pedestrian oriented elements, including street trees, pedestrian scale lighting, signage, and embedded art, into our rights-of-way and transportation networks.”*

### **D-4 Downtown Support District**

The purpose of the D-4 zoning district is, *“to foster an environment consistent with the area's function as a housing, entertainment, cultural, convention, business, and retail section of the City that supports the Central Business District.* The D-4 district is also intended to support the regional venues in the district, such as the Salt Palace Convention Center, and to be less intense than the Central Business District.



The project upholds the purpose of the D-4 district by providing new residential units and large ground floor retail spaces that activate the sidewalk and support the regional venue activities. The proposed high-rise building compliments the expanding Central Business District. The design and orientation of the building to the public sidewalk and mid-block street also meet this intent. The use of transparency and visual interest creates a sense of space that is safe and welcoming to the pedestrian.

## **CONSIDERATION 2: Request for Additional Building Height**

The D-4 zoning district allows for a maximum building height of 75 feet. The applicant is proposing to exceed the maximum building height in the underlying zoning district by 110 feet 7 inches, for a total building height of 185 feet 7 inches; this height includes a 4 foot 4 inch parapet wall. Parapet walls are allowed to project 5 feet into the maximum building height; elevator and stairwell bulkheads are permitted to extend 16 feet into the maximum height.



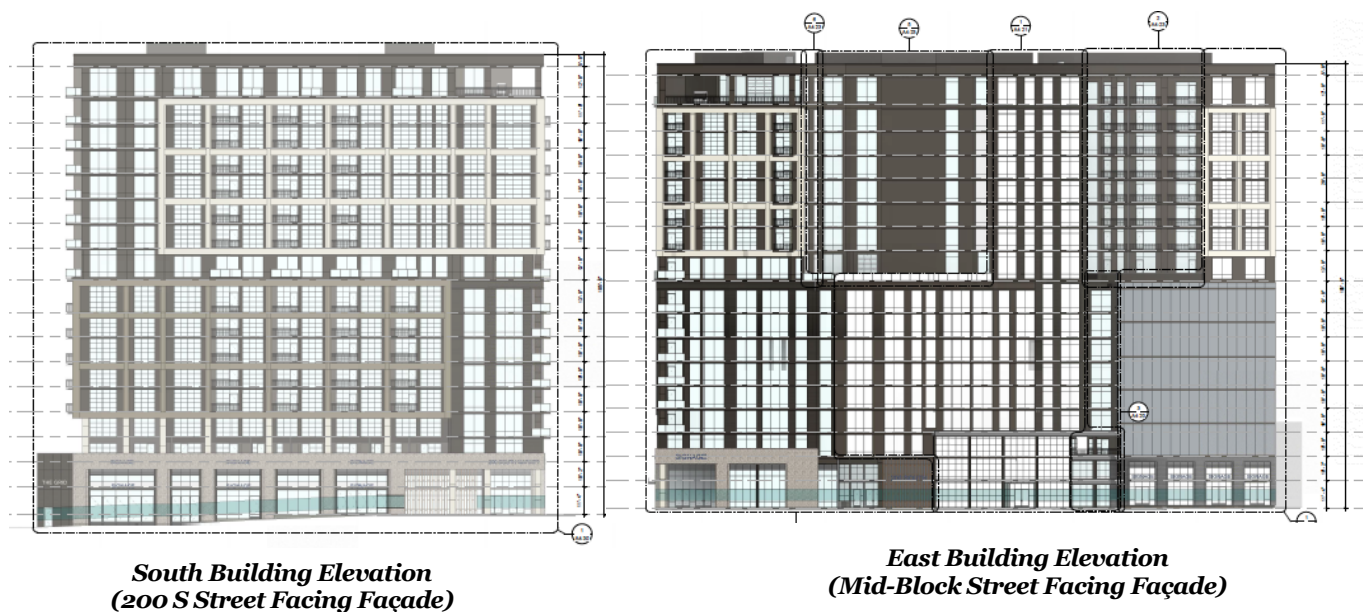
The regulations of the D-4 zone allow developments constructing privately owned mid-block streets with an associated public easement, to increase the height of the building on the remaining abutting parcel with Design Review approval from the Planning Commission.



***Building Renderings - Along 200 S Illustrating Potential Building Height to the East***

While the scale exceeds what is existing on the block, the adjacent buildings to the north, northwest and south exceed the 75 foot height allowance of the zone and it is anticipated that future development will also exceed 75 feet. West Quarter Lot 6-C is located directly east of the subject site and will be developed in a later phase of the West Quarter development. The D-4 zoning regulations specifically allow a potential building height of 375 feet within the boundaries of Lot 6-C, and the block directly east. Additionally, the tallest structure in the area is the Hyatt Regency Salt Lake City measuring approximately 335 feet in height and located in the block directly east. The overall proposed height will be compatible with buildings in the surrounding vicinity and also provide a height transition along 200 S, scaling down from the intensity of the D-1 Central Business District and the 375 foot building height allowance directly east to the smaller scale 40 foot tall multi-family building and lower density development directly west.

One intent of the Design Review standards is to break up the overall mass and scale of the building façade to provide for human scale and pedestrian connectivity. As discussed in detail in the Design Standard Analysis found in [Attachment E](#) of this Staff report, the scale of the proposed building height is broken down visually and structurally through application of horizontal and vertical building masses, use of differentiating exterior materials and colors, and implementation of recessed balconies, large rooftop terraces, and façade step-backs at level 9.



Design Standard G specifically discusses creating a distinct base, middle, and top and creating a distinctive roofline. The building's street facing facades have a distinct base, middle, and top. The base (retail) consists of transparent storefront glass systems framed with modular brick and dark bronze metal and wood colored metal screening accents. The middle of the building features horizontal masses clad in dark and light metal panels which emphasize the recessed balconies, and are defined with bands of glazing. The top of the building is distinguished by a large 16th floor covered terrace at the southeast corner of the building and continuous dark metal parapet wall.

Based on the context of the area, the development potential of the surrounding properties and the building's overall design, Staff is of the opinion the additional 110 feet, 7 inch height will not cause detrimental effects. As reviewed in the Design Standard Analysis in [Attachment E](#) of this Staff report, Planning Staff has found the proposed building height modifications meet the design review standards and the vision of the D-4 Downtown Support District.

## DISCUSSION:

The proposed development will meet the intent of the Downtown Support Zoning District and other applicable master plans by increasing housing supply and retail in the community, activating the street through ground floor transparency and rooftop amenity spaces, and by providing a mid-block street, that will connect to other developments.

While the building will be the tallest in the block, it will not be the tallest building in the Salt Palace District. The surrounding sites have the same and greater development potential as the subject site and it is anticipated that future development will also exceed the height allowance of the D-4 zone. As the Downtown area expands, there will be an increased demand for housing, retail options, and public gathering space to support the Central Business District and the District's regional venues.

## **NEXT STEPS:**

### **Approval of the Design Review Request**

If the request for 110 feet, 7 inches of additional building height is approved, the applicant will be required to comply with the conditions of approval, including any of the conditions required by other City departments and the Planning Commission. The public access easement for the mid-block street will need to be approved and recorded with the Salt Lake County Recorder's Office. The applicant will be able to submit plans for a building permit and a certificate of occupancy will be issued once all conditions of approval are met.

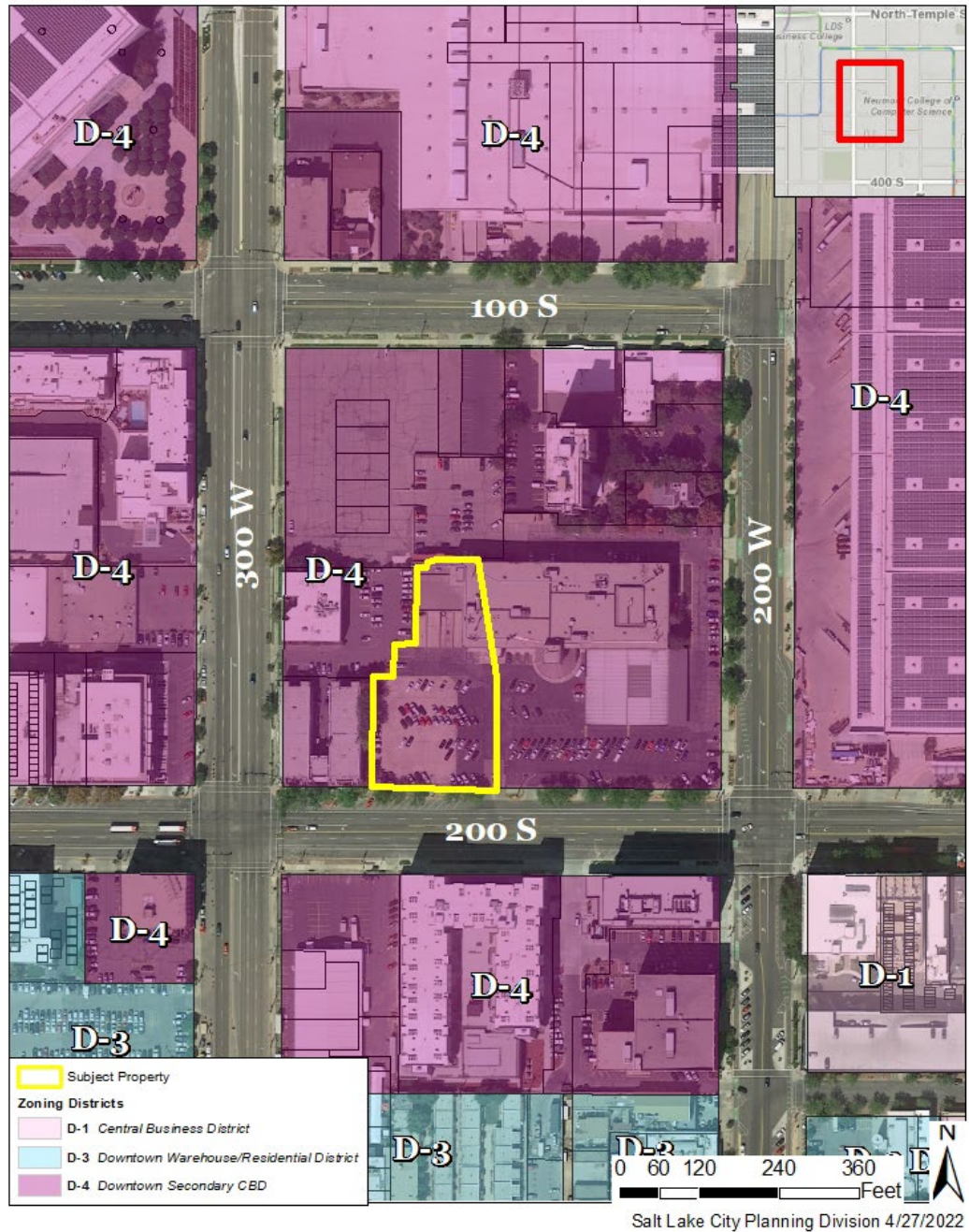
### **Denial of the Design Review Request**

If the design review request for additional height is denied, the applicant will still be able to develop the property by right, but the maximum building height will be 75 feet. The applicant will be able to submit plans for building permits and certificates of occupancy subject to meeting all applicable zoning requirements and requirements of other divisions.



# ATTACHMENT A – VICINITY MAP

## 260 West 200 South Vicinity Map



## **ATTACHMENT B – PLAN SET**

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# WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY,  
UTAH 84101

# THE RITCHIE GROUP

GMP / BUILDING PERMIT

## TEAM MEMBERS

OWNER  
THE RITCHIE GROUP  
1245 BRICKYARD ROAD, SUITE 70  
SALT LAKE CITY, UT 84106

**ARCHITECT**  
**JASON R. SHEPARD**  
DWELL DESIGN STUDIO, LLC  
3655 BROOKSIDE PARKWAY, SUITE 150  
ALPHARETTA, GA 30022  
(770) 864-1035

**CIVIL**  
**SCOTT CARLSON**  
TWIN PEAKS, PC  
2264 NORTH 1450 EAST  
LEHI, UT 84043  
(801) 450-3511

**MECHANICAL**  
**CRAIG GRADICK**  
PHILIPS GRADICK ENGINEERING, P.C.  
8215 ROSWELL ROAD, SUITE 925  
ATLANTA, GA 30350  
(770) 407-7217

**ELECTRICAL**  
**CRAIG GRADICK**  
PHILIPS GRADICK ENGINEERING, P.C.  
8215 ROSWELL ROAD, SUITE 925  
ATLANTA, GA 30350  
(770) 407-7217

**PLUMBING**  
**BILL MILES**  
PHILIPS GRADICK ENGINEERING, P.C.  
8215 ROSWELL ROAD, SUITE 925  
ATLANTA, GA 30350  
(770) 407-7217

**STRUCTURAL**  
**DAVID DUNN**  
DUNN ASSOCIATES, INC.  
380 WEST 800 SOUTH  
SALT LAKE CITY, UT 84101  
(801) 575-8877

**LANDSCAPE/HARDSCAPE DESIGN**  
**BRANDON REED**  
LOFT SIX FOUR  
9500 SOUTH 500 WEST  
SANDY, UT 84070  
(801) 878-4717

# PROJECT INFORMATION

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING  
WITH APPLICABLE CODES OR STATUS WHETHER OR NOT  
SPECIFICALLY REFERENCED IN THE CONSTRUCTION  
DOCUMENTS

- 2018 INTERNATIONAL BUILDING CODE (IBC), INCLUDING APPENDIX J, ISSUED BY THE INTERNATIONAL CODE COUNCIL (ICC) AND AMENDED BY THE STATE OF UTAH
- 2018 INTERNATIONAL PLUMBING CODE ISSUED BY THE INTERNATIONAL CODE COUNCIL (ICC) AND AMENDED BY THE STATE OF UTAH
- 2018 INTERNATIONAL MECHANICAL CODE ISSUED BY THE INTERNATIONAL CODE COUNCIL (ICC) AND AMENDED BY THE STATE OF UTAH
- 2018 INTERNATIONAL FUEL GAS CODE ISSUED BY THE INTERNATIONAL CODE COUNCIL (ICC) AND AMENDED BY THE STATE OF UTAH
- 2017 NATIONAL ELECTRICAL CODE, ISSUED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND AMENDED BY THE STATE OF UTAH
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) ISSUED BY THE INTERNATIONAL CODE COUNCIL (ICC) AND AMENDED BY THE STATE OF UTAH.

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## PROJECT RENDERING



## VICINITY MAP





| ISSUE | DATE       | DESCRIPTION                 | INCLUDED |
|-------|------------|-----------------------------|----------|
|       | 09/10/2021 | SCHEMATIC DESIGN            |          |
|       | 11/18/2021 | DESIGN DEVELOPMENT          |          |
|       | 12/16/2021 | SUB. CONSTRUCTION DOCUMENTS |          |
|       | 03/04/2022 | GMP / PERMIT                | X        |
|       |            |                             |          |
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| SHEET NAME                        |
|-----------------------------------|
| SHEET INDEX -<br>DESIGN<br>REVIEW |
| GMP / BUILDING PERMIT             |

|             |         |
|-------------|---------|
| JOB NUMBER: | 2138601 |
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CS-02.2

| SHEET NUMBER | SHEET NAME                                | DESIGN REVIEW |
|--------------|-------------------------------------------|---------------|
| NONE         | PROJECT NARRATIVE                         | X             |
| NONE         | TREE REMOVAL LETTER TO URBAN FORESTRY     | X             |
| NONE         | WEST QUARTER BLOCK C - SHADOW STUDY       | X             |
| NONE         | LANDSCAPE RESPONSE LETTER - PLAZA SEATING | X             |

| SHEET NUMBER        | SHEET NAME                                 | DESIGN REVIEW |
|---------------------|--------------------------------------------|---------------|
| 01.0. GENERAL       |                                            |               |
| CS-01.2             | COVER SHEET - DESIGN REVIEW                | X             |
| CS-02.2             | SHEET INDEX - DESIGN REVIEW                | X             |
| SP-01               | ARCHITECTURAL SITE PLAN                    | X             |
| SP-10               | SURROUNDING SITE CONTEXT - 200 SOUTH       | X             |
| SP-11               | SURROUNDING SITE CONTEXT - 300 WEST        | X             |
| SP-13               | ADJACENT BUILDING HEIGHTS                  | X             |
| SP-14               | ADJACENT BUILDING HEIGHTS                  | X             |
| SP-15               | ADJACENT BUILDING HEIGHTS                  | X             |
| SP-16               | ADJACENT BUILDING HEIGHTS                  | X             |
| 02.0. CIVIL         |                                            |               |
| C0                  | COVER SHEET                                | X             |
| C1                  | BLOCK CD - EXISTING CONDITIONS             | X             |
| C1a                 | BLOCK C - SITE PREPARATION PLAN            | X             |
| C4                  | PHASE 2 BLOCK C SITE PLAN                  | X             |
| C4a                 | PHASE 2 BLOCK CD SITE PLAN                 | X             |
| C4b                 | PHASE 2 BLOCK C - PHASED TEMPORARY PARKING | X             |
| C6                  | PHASE 2 BLOCK C GRADING PLAN               | X             |
| C6a                 | PHASE 2 BLOCK C GRADING PLAN A             | X             |
| C6b                 | PHASE 2 BLOCK C GRADING PLAN B             | X             |
| C6c                 | PHASE 2 UNDERGROUND STORM DRAIN FACILITIES | X             |
| C6d                 | PHASE 2 - STORM WATER DETAILS              | X             |
| C7                  | PHASE 2 BLOCK C - UTILITY PLAN             | X             |
| C7a                 | PHASE 2 BLOCK C - UTILITY PLAN QUARTER ROW | X             |
| C7b                 | PHASE 2 BLOCK C - UTILITY PLAN QUARTER ROW | X             |
| C7c                 | PHASE 2 BLOCK C - UTILITY SECTIONS         | X             |
| C7d                 | PHASE 2 BLOCK C - UTILITY PLAN 200 SOUTH   | X             |
| C7e                 | PHASE 2 BLOCK C - DETAILS                  | X             |
| C8a                 | PHASE 2 BLOCK C - DETAILS                  | X             |
| C8b                 | PHASE 2 BLOCK C - DETAILS                  | X             |
| 03.0. LANDSCAPE     |                                            |               |
| LP101               | PLANTING PLAN - (LEVEL 1)                  | X             |
| LS101               | SITE LAYOUT PLAN - LEVEL 1                 | X             |
| LS501               | SITE LAYOUT DETAILS                        | X             |
| LS502               | SITE LAYOUT DETAILS                        | X             |
| LS503               | SITE LAYOUT DETAILS                        | X             |
| LT101               | TREE REMOVAL PLAN                          | X             |
| 04.0. CODE DATA     |                                            |               |
| CD-00               | ZONING DATA                                | X             |
| 05.0. ARCHITECTURAL |                                            |               |
| A1-01               | OVERALL PLAN - LEVEL 01                    | X             |
| A1-01M              | OVERALL PLAN - LEVEL M                     | X             |
| A1-02               | OVERALL PLAN - LEVEL 02                    | X             |
| A1-03               | OVERALL PLAN - LEVEL 03                    | X             |
| A1-04               | OVERALL PLAN - LEVELS 04 -07               | X             |
| A1-08               | OVERALL PLAN - LEVEL 08                    | X             |
| A1-09               | OVERALL PLAN - LEVEL 09                    | X             |
| A1-10               | OVERALL PLAN - LEVELS 10 - 15              | X             |
| A1-16               | OVERALL PLAN - LEVEL 16                    | X             |
| A1-20               | OVERALL PLAN - ROOF                        | X             |
| A4-00               | NORTH & SOUTH ELEVATIONS                   | X             |
| A4-01               | EAST & WEST ELEVATIONS                     | X             |
| A4-60               | ELEVATION RENDERINGS                       | X             |
| A4-61               | ELEVATION RENDERINGS                       | X             |
| A4-62               | ELEVATION RENDERINGS                       | X             |

DESIGN REVIEW NOTE:  
PREVIOUS DESIGN REVIEW SUBMISSIONS SHOWED EACH BUILDING LEVEL INDIVIDUAL PLAN. ALL TYPICAL BUILDING PLANS HAVE NOW BEEN CONDENSED AND REPRESENTED BY TYPICAL PLANS FOR LEVELS 04-07, AND 10-15.

# dwell design studio

360 W 300 S, Suite 102  
Salt Lake City, UT 84101  
385-273-3888  
dwelldesignstudio.com

November 04, 2022

The Ritchie Group  
West Quarter – Block C  
Salt Lake City, UT

## Project Narrative

The project site occupies the mid-block lot along 200 South between 300 West and 200 West. This lot is the first lot to be developed in Phase II of the West Quarter Development. There is one existing building which is currently on the site. The building will be demolished and removed as part of the redevelopment of this lot and the adjacent lot directly to the East at the corner of 200 South and 200 West. The adjacent site will be developed in the next phase of the West Quarter Development

A mid-block road, Quarter Row, will be continued down from Phase I and connect to 200 South. This road will contain a public easement.

This project will deliver a 16-story building comprised of retail, parking, and residential uses (see enclosed plans). The streetscape will host 5 or 6 different retail spaces, consisting of a combined 21,400 sqft of retail space, as well as a 2,625 sqft residential lobby. Floors 02 through 08 will consist of a parking deck wrapped in residential units. Then the final 8 levels, floors 09 through 16 will be strictly residential with associated amenity spaces. The entire structure will be a Type 1A building with a cast in place concrete structural system. There will be an amenity courtyard located on top of the parking deck at Level 09 with a swimming pool. In total, the project will provide 323 residential units, in a mix of studio, 1, 2 and 3 bedroom options ranging from 350 sqft to 1,350 sqft..

The exterior materials, as shown in the renderings and elevations, will be brick, masonry block, metal panel, and a poly-mesh garage screen with a monochromatic printed image. The exact image / art piece displayed on the screen will be finalized at a later date. Signage for the building and retail spaces will comply with the Downtown Ordinances guidance on signage and be determined and placed at a later date based on retail tenants.

The parking deck will be a double ramp design with a speed ramp between level one and level two. 343 parking spaces will be provided. The overall unit density will be around 235 units/acre.

Given the proximity to both the Arena Trax Station and the Temple Square Station, we believe that this design will not only meet the city's vision for this downtown district but also enhance the area by adding a walkable, active, transit-oriented, multi-family option for city's residents on a lot which has a vacant structure.



**We have detailed our intentions to meet the design standards listed in 21A.59.050 as described below:**

*B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.*

- 1.) Primary Entrances face the public sidewalk (secondary entrances can face the parking lot.)
  - a. West Quarter – Block C Apartments will have a predominant retail entry located along 200 South as well as a main residential lobby entrance along Quarter Row.

Vehicular access is provided on the north side of the site on an interior street off Quarter Row.

- 2.) Building(s) shall be cited close to the public sidewalk, following, and responding to the desired development patterns of the neighborhood.
  - a. Block C's ground level Façade stands at the property line/sidewalk edge at 200 South and is set back along Quarter Row as shown on the attached plans. The majority of the building ground floor facade is lined with two story storefront glass windows providing views of the complex's leasing, lobby & retail. The setback along Quarter Row allows for a fluid pedestrian experience while providing potential for outdoor dining experiences for any restaurants which may lease the ground floor commercial spaces.
- 3.) Parking shall be located within, behind or to the side of the building.
  - a. An enclosed parking structure is located on Levels 02 thru 08 and are wrapped by residential units on the entire south façade as well as the majority of the East and West Façade. Where the garage is not wrapped by residential program the garage is screened with a poly-mesh screen which will have a printed monochromatic image. The entire garage will be hidden from pedestrian view. Vehicle access is located on a street accessed via quarter row on the north side of the lot.

The streetscape along Quarter Row will match the look, feel, and design intent that has been developed in Phase I. This will enhance the pedestrian experience and link all phases for the district's re-development into a seamless, walkable experience. The garage access area, to the west of Quarter Row, will be clad in a dark split face block and be subdued in appearance as to not attract attention away from the mid-block pedestrian experience and main facades of the building.

*C. Building Facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest & interaction.*

- 1.) Locate active ground floor uses at or near the public sidewalk.
  - 1 The apartment complex's entry lobby, and retail are all located along both the mid-block road, Quarter-Row, and the public sidewalk of 200 South.
- 2.) Maximize transparency of ground floor facades
  - a. The ground floor has been designed with large floor-to-ceiling two story windows at the residential lobby and retail not only maximizing the transparency of the ground floor at the sidewalk but creating sight lines into the complex's active areas. Glass storefront is maximized on the 200 South façade and wraps the corner to Quarter Row to provide an inviting corner façade.
- 3.) Use or reinterpret traditional store front elements like sign bands, clerestory glazing articulation and architectural detail at window transitions.
  - a. The ground floor glazing at the corner of 200 South and Quarter Row will be accented by both Dark and Light Brick Units, steel overhead window-awnings and a few warm wood-like screening elements. The storefront windows will have dark mullions and are separated by brick piers of considerable mass creating a visual contrast from the transparent glass. Signage

will be provided based off SLC Signage ordinance once retail tenants are in place to help provide feedback on how to best enhance the pedestrian experience.

- 4.) Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces.
  - a. Semi-outdoor dining patios, adjoined to interior retail spaces, are included on level 01 facing 200 South. These patios will be enclosed with an operable South wall that can open to the street. Along Quarter Row is hardscape that can be used by retail spaces for outdoor dining. In the Southeast corner of the building on level 01 is a covered arcade adjacent to retail spaces that could be used as outdoor dining. On level 02 is a covered terrace connected with the interior gear shop. This terrace faces East and has clear visibility to Quarter Row below. On level 09 is a pool deck and fitness deck. The pool deck has habitable landscaped yards, a pool, and a few covered seating areas. This deck is open to the West with no visual obstructions. The fitness deck is located on the opposite side of the building facing East. It has a direct visual connection to Quarter Row. Finally, on level 16 is a roof deck in the Southeast corner with great views of the mountains and the streets below.

#### D. Large masses shall be dividing into heights and sizes that relate to human scale.

- 1.) Relate building scale and massing to the size and scale of existing and anticipated buildings such as alignment established cornice heights building massing, step-backs, and vertical emphasis.
  - a. Vertical emphasis is created at street level though floor-to-ceiling glass that spans the 20' tall first level, along with awnings, brick piers, and marquee elements. Steel awnings bisect the floor-to-ceiling windows which provide a "grounding" element that emphasizes the human-scale factor. The building is further broken down along 200 South by a large 2 story terrace to help articulate the base versus the mid part of the building. This terrace is bisected by a channel which aligns with the adjacent apartment's roofline to the West. Along the West side, the building has significant setbacks to provide expansive outdoor roof top amenity space for residents, soften the increase in scale from adjacent buildings to the West, and create an amazing visual connection to the existing historic warehouse. Refer to attached SP-13, SP-14, SP-15, AND SP-16 for adjacent building height comparisons.
- 2.) Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights & widths) of the building in context to reduce the visual width or height.
  - a. Both vertical and horizontal emphases have been utilized on this project to reduce the visual massing from both 200 South and Quarter Row.

Along 200 South, at level 02 and 03 is a recess from the street providing relief in the mass of the building. This adds to a series of reliefs in conjunction with the apartments to the West that avoids a flat façade and creates visual interest at the street. Metal clad volumes also punctuate the upper residential floors providing visual interest and breaking down the overall building into small, related pieces and elements. A band of glazing at level 09 and level 16 separate these volumes, increase horizontal perception, and decrease perceived height. These elements create a visual bottom, middle, and top to the building to mimic language of the adjacent buildings to the south (across 200 South Street), west and north (Phase I). The massing and height of the building will also inform a transition in scale for a larger development likely to take place on the Southeast corner of the block. Refer to attached SP-13, SP-14, SP-15, and SP-16 for adjacent building height comparisons. On the East side, along Quarter Row, the use of the brick base extends around the corner continuing the retail articulation along the base of the building from the 200 S façade. Brick also highlights the smaller retail space on the north end of the East façade. The leasing lobby along Quarter Row, is highlighted with a volume of glass that protrudes out of the surrounding building plane to highlight the lobby and create a visual center along the base of the building. The combination of the brick base associated with the retail and the glass leasing lobby comprise the base portion of the entire east façade. The large metal-clad horizontal volumes continue around the East façade as well, to break down



the building mass and connect the visual interest on all sides. This makes up the middle portion of the east building mass. The top of the building along Quarter Row steps back to create negative space within the building mass and to distinct itself from the middle portion. Where the top east façade meets the building exterior, it is also distinguished with the metal-clad frame. Balconies were added to create more distinction of the top of the building at the south end where 200 S and Quarter Row meet.

- 3.) Include secondary elements such as balconies porches vertical bays, belt courses fenestration & window reveals.
  - a. Secondary elements have been included in the design of the project. You will find both recessed and a mix of fenestrations varying in size and shape depending on locations. Color and material variations and several other elements throughout the development.
- 5.) Reflect scale & solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.
  - a. Window Glazing at ground level has maximized at areas of the Residential Lobby and Retail Spaces.

**E. Building facades that exceed a combined contiguous length of 200' shall include:**

- 1.) Changes in vertical plane (breaks in façade)
  - 2.) Material Changes
  - 3.) Massing Changes
- a. We have provided changes in vertical plane through the varying of unit footprint, building layout, material transitions, and balcony recesses.

**F. If provided, privately owned public spaces shall include at least three (3) of the six (6) following Elements**

- 1.) Sitting space of at least one sitting space for each 250 sq ft shall be included in the plaza. Seating shall be a minimum of 16" in height and 30" in width. Ledge benches shall have a minimum depth of 30".
  - 2.) A Mixture of areas that provide seasonal shade
  - 3.) Trees in Proportion to the space, at a minimum of one tree per 800 square feet at least 2" in caliber.
  - 4.) Water Features or public art
  - 5.) Outdoor dining areas
  - 6.) Other amenities not listed above that provide a public benefit
- a. At the corner of 200 South and Quarter Row there is a covered Arcade area which will provide a prominent entry for retail along with potential outdoor seating if future retail tenants desire such space. Outdoor dining, shade, and sitting space will be provided. See below for response provided under "Landscape".

**G. Building height shall be modified to relate to human scale and minimize the negative impacts.**

- 1.) Human Scale
  - a. The building has a distinct brick and glazing base, which articulates the ground floor retail experience and sets a human scale streetscape. A combination of floor-to-ceiling glazing along with metal panel cladding articulates the upper portions of the building creating visual interest from a distance and from adjacent buildings. Generous setbacks along the west side of the building create step-downs to soften the transition in scale from adjacent buildings. Refer to attached SP-13, SP-14, SP-15, and SP-16 for adjacent building height comparisons. The differentiation in materials and articulation helps to communicate the differing program with commercial spaces at ground level and residences above. (See renderings & elevations).
  - b. The vertical mixed use on the structure is articulated via a bottom, middle, and top. The bottom retail is highlighted by a brick base. The middle of the building utilizes large horizontal

volumes clad in metal panels to break down the building mass and create visual interest. A horizontal band of glazing at level 09 separates these volumes and helps to decrease the perceived height of the building. Also, balconies add additional articulation to the middle of the building. The top of the building is highlighted by a band of glazing and a continuous metal clad parapet. This bottom, middle, top language is of a similar proportion in height and width to equate with the buildings in context. On the East side, along Quarter Row, the use of the brick base extends around the corner continuing the retail articulation along the base of the building from the 200 S façade. Brick also highlights the smaller retail space on the north end of the East façade. The leasing lobby along Quarter Row, is highlighted with a volume of glass that protrudes out of the surrounding building plane to highlight the lobby and create a visual center along the base of the building. The combination of the brick base associated with the retail and the glass leasing lobby comprise the base portion of the entire east façade. The large metal-clad horizontal volumes continue around the East façade as well, to break down the building mass and connect the visual interest on all sides. This makes up the middle portion of the east building mass. The top of the building along Quarter Row steps back to create negative space within the building mass and to distinct itself from the middle portion. Where the top east façade meets the building exterior, it is also distinguished with the metal-clad frame. Balconies were added to create more distinction of the top of the building at the south end where 200 S and Quarter Row meet.

## 2.) Negative Impacts

- a. See explanations of building modulations in "Human Scale" Above. See Renderings & Elevations. Refer to attached SP-13, SP-14, SP-15, and SP-16 for adjacent building height comparisons.
- b. The shadow/shade conditions on the streetscape are mitigated by the building being primarily oriented north-south and having a generous setback on the east and west side of the building. These setbacks create step downs to adjacent buildings and allow more afternoon sun and light to reach quarter row and the adjacent buildings to the west. Refer to attached updated Shadow Study.
- c. Wind Impacts – Salt Lake City tends to receive more prominent NW and SE wind. In context of this site, phase I will receive more of the NW wind and the building will receive more of the SE wind. Upon completion of both projects, wind channels are possible along quarter row and on the north side of the building where a gap exists between phase I. Setbacks above level 9 on both the east and west side will help to mitigate increasing wind speeds at building corners. To lessen the impact of the downdraught effect, trees have been placed at street level along the south and east part of the building.

## 3). Cornices & Rooflines

- a. West Quarter Block C has a continuous and consistent Parapet height, consistent with the look and feel of the buildings adjacent in Phase I as well as other contemporary High-rise buildings in the downtown district. The 16<sup>th</sup> floor and parapet are articulated with glazing and banding of metal panels to create a "top condition". (See Elevations and Renders).
- b. The height of the building will be similar to phase I of the West Quarter development to create a consistent roof line on the west side of the block. The massing and height of the building will also inform a transition in scale for larger development likely to take place on the Southeast corner of the block. The building also has a flat roof and consistent parapet height, similar to the adjacent buildings on the west side. Refer to explanation provided above for item D.2 for future explanation of building massing in relation to other existing building heights and massing.
- c. The building includes two accessible outdoor decks, a pool terrace on level 9 and a top floor deck on level 16. Both will be accessible to all building residents and create a visually appealing roof landscape. They utilize light colored pavers, a variety of vegetation, and canopies/awnings for shade. These tactics reduce solar gain, increase occupant comfort, decrease air pollution, and limit the amount of water entering the stormwater system.

H. Parking & Circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities or midblock walkway.

- a. The parking services are also hosted within the building and are screened and removed from the pedestrian experience from the street level. The entrance to these service areas are removed from the main road, Quarter Row, with a side service street, which further preserves the walk-able mid block road.
- I. Waste and recycling containers, mechanical equipment, storage areas and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of the building or located within the structure.
  - a.) All waste & recycling containers, mechanical equipment, storage areas and loading docks are hosted within the building, removing them from the pedestrian experience. See Building plans.
- J. Signage shall emphasize the pedestrian/mass transit orientation
  - 1.) Define Specific spaces for signage that are integral to the design of the building.  
Signage for the complex will be located
    - a. Along the South face of the building, visible traveling east/west on 200 South.
    - b. Along the East face of the building, visible traveling north/south on Quarter Row.
    - c. The South East corner of the Building, visible traveling east/West on 200 South and north/south on Quarter Row.
    - d. On/above the steel awning along 200 South, as well as on Brick piers separating storefront elements along 200 South.
    - e. Above the retail's doors along 200 South and Quarter Row
    - f. On/above the steel awning along Quarter Row, as well as on Brick piers separating storefront elements along 200 South.
    - g. Other possible locations for signage could include window signage for community or retail branding along 200 South and Quarter Row.
  - 2.) Signage will be provided with appropriate lighting.
  - 3.) The proposed building signage will be on the building above the landscaping.
- K. Lighting shall support pedestrian comfort and safety, neighborhood image , and dark sky goals.
  - 1.) Provide street lights as indicated in the Salt Lake City Lighting Master Plan.
    - a. Street lighting will be in line with the Salt Lake City Master plan and match the approved street lighting scheme from Phase 1 of the development.
  - 2.) Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and up lighting directly to the sky.
    - a. All outdoor/landscape lighting will be low voltage lighting and will be positioned and designed to light landscape area and avoid glare, trespass and up light to sky.
  - 3.) Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.
    - a. The signage lighting will provide for clearly legible signs which will enhance wayfinding on the site. Additional lighting will be integrated into the landscape to accentuate walkways/safe pedestrian paths and spaces.
- L. Streetscape improvements shall be as follows:
  - 1.) One Street tree chosen from the street tree list consistent with the city's urban forestry guidelines and with the approval of the city's urban forester shall be places for each 30' of property frontage.
    - a. Based off the linear footage of the of the property line we are required to have 3 street trees, we have selected a tree from the approved tree list and currently provide 6 street trees to meet this

requirement. Please refer to the attached letter response regarding the tree removal along 200 South, and the Urban Forestry Division Requirements.

2.) Hardscape paving material shall be utilized to differentiate privately owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately owned public spaces shall meet the following guidelines:

- a. We have shown a unique concrete color pattern and scoring to differentiate the private spaces and have follow the downtown SLC hardscape paving standards on the public streets and will follow all required detailing for all hardscape areas.

***We have detailed our intentions to meet the design standards listed in 21A.44.050 as described below:***

**B. Generally Applicable Transportation Demand Management Standards:**

2.) Electric Vehicle Parking: The following standards shall only apply to multi-family uses. At least one (1) parking space dedicated to electric vehicles shall be provided for every twenty five (25) parking spaces provided.

- a. The required electrical vehicle parking will be provided within the parking deck. Refer to the parking chart on sheet CD-00.

3.) Number of Required Bicycle Parking Spaces:

- c.(1) 18 secure bicycle parking spaces are provided in the building. This is 5% of the vehicular parking spaces.

4.) Bicycle Parking Locations Standards

- a. All secure bicycle parking is inside the building.

5.) Bicycle Rack Design Standards:

- a. Wall hung bicycle racks will be provided according to design standards.

Preliminary plans & renderings have been attached for your review. We look forward to your consideration and approval of this project in its current form.

***We have detailed our compliance with the purpose of the D-4 zoning district as described below:***

West Quarter Block C, The Grid, is designed to be the next extension of the overall West Quarter development and seamlessly integrate into the urban experience created in the D-4 Secondary Central Business District. The extension of Quarter Row, the new mid-block road, creates a pedestrian promenade experience lined with retail opportunities and a public park. These retail spaces wrap around the corner of the building along the 200 South frontage, creating a programmatic connection between the existing street, the new mid-block connection, and the new building on Block C. The street experience is designed to provide retail, restaurant, and other commercial opportunities for both the residents of the structure and others who might be in the surrounding downtown areas, including the Arena, The Salt Palace, and the CBD of Salt Lake City. In addition to the numerous retail activities which will bring life to the D-4 district, a public park is included midway down the mid-block providing an additional green space for the district as well as a place for the community to gather within the new vibrant, mid-block corridor.

***We have detailed our compliance with the purpose of the design standards outlined in 21A.37.060.D below:***

See Attached Spreadsheet.

## **Civil Response:**

### Public Utilities:

No objection to the height increase for the proposed project with the following conditions:

- 1 Project design drawings include installation of a new 12" water main line in 200 south across the frontage of the property. (see sheets C7 and C7d) . Project design drawings include installation of new storm detention / percolation tanks on site with capture of the 80<sup>th</sup> percentile storm and discharge of only 0.2cfs/acre. See project landscape drawings and storm percolation drawings (C6, C6a, C6b, C6c, C6d)
- 2 Existing conditions have nearly 100% hard surface with no detention or percolation. The project will be a tremendous improvement to low impact development and green infrastructure with the percolation tanks and site landscaping shown. See project landscape drawings and storm percolation drawings (C6, C6a, C6b, C6c, C6d)

### Transportation:

Since Quarter Row Street, which will provide access to the parking structure, will be private, dimensions will need to be provided to confirm there is adequate width for two-way travel.

- 1 Quarter Row dimensions are provided at 24ft, 26 ft and 28 ft on civil design drawing C4 Site Plan. There is adequate width for two-way travel.

### Site Plans:

Please provide the lot dimensions on the site plans.

- 1 See Subdivision plat for lot dimensions

## **Landscape Response:**

### Landscape Plan Pg LS101:

- 1 Waiting on response from Rocky Mountain Power.

### Tree Preservation 21A.48.135:

- 1 Trees removed documented on sheet LT101 Tree Removal Plan.

### Water Efficient Landscaping 21A.48.055.D:

- 1 Plant Hydrozones added to Plant Schedule on sheet LP101

### Standards of design Review 21A.59.050.L:

L.1: Number of trees is inconsistent on Pg LP101 and SP-01 please clarify. SP-01 should be updated to match LP101.

#### L.1: Urban Forestry Division:

L.2: Please address items L.2.a , L.2.b, L.2.c, L.2.d, L.2.e and L.2.f in the project narrative. Paving in the public right of way – Verifying proposed brick paver banding with the Engineering Department. Streetscape improvements provided include one street tree from the Urban Forestry list for every 30' of property



frontage. Hardscape is utilized to differentiate privately-owned public spaces from public spaces (the public sidewalk will be plain concrete, whereas the privately-owned public plazas will be a special finish concrete. Hardscape materials are durable. Concrete requires minimal maintenance and is easily replaceable. In lower traffic areas, planter beds that allow rainwater to infiltrate into the ground are provided. Dark materials have been limited and the large majority of hardscape materials are light in color. The materials and designs have a seamless relationship with the character of phase 1 of the West Quarter neighborhood. Textured ground surfaces, ramps, and seating have been provided to support access and comfort for people of all abilities. There is no asphalt proposed.

F.1: *Correction Required: This standard has very specific requirements for outdoor seating (see below). Please provide details indicating how the proposed sitting space will meet the requirements. Please label where each element (the proposed sitting space, outdoor dining and shade) is located on the site plan. "1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30")."*

See attached letter response and sheet LS101 for response.

## Planning Division Review Comments 11.1.22

Please note, preservation and protection of the existing street trees will be recommended to the Planning Commission as a condition of approval. - New trees are on the approved list from Urban Forestry and agreed upon in lieu of keeping the existing trees

Correction Required: Transformer Park – Conflicting notes regarding dog fence and dog /transformer locations (see attached redlines) please update for consistency. - Dog fence and fence around transformers are acting as the same thing

The landscape plans still show a raised structure in the Right of Way. Structural encroachments such as raised planters are subject to additional department reviews and encroachment permits in compliance with section 21A.48.060.E.5 - See updated sheets LS101, LI101 and LP101 where we removed the raised planter and made it an at grade planter



1245 Brickyard Rd., Ste. 70  
Salt Lake City, UT 84106  
801.433.2200 | O  
801.433.2201 | F  
[www.theritchiegroup.com](http://www.theritchiegroup.com)

August 5, 2022

Salt Lake City Corporation  
Salt Lake City Building Department  
451 S. State Street  
Salt Lake City, UT 84111

***Re: West Quarter Block C – Design Review (PLNPCM2022-00141) Planning Division Review  
Comments 7.7.22***

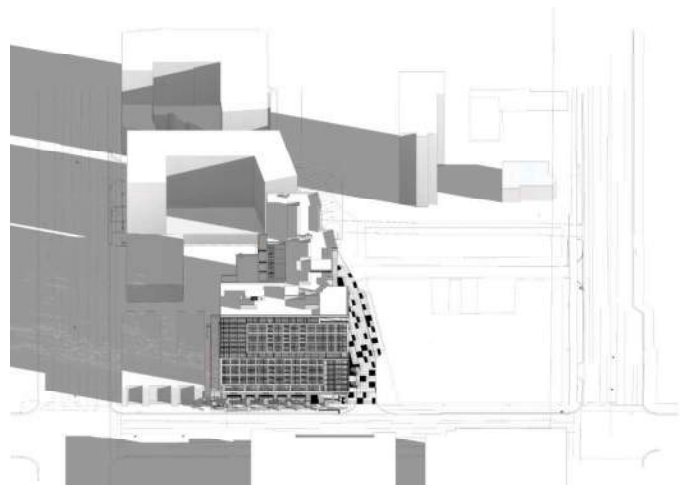
Salt Lake City Building Department and Urban Forestry Division,

As the property Owner of 260 W 200 South, of the proposed West Quarter Phase II project, we are writing in response to the Design Review comment received by the Urban Forestry Division regarding the removal of existing trees along 200 South. Due to the nature of the project design, site grading, streetscape installation and improvements, our project proposes the removal and replacement of five existing Honeylocust parkstrip trees along 200 South with seven Hedge Maple trees. The grading of the project requires extensive work to create access to the proposed retail spaces along 200 South. To allow an inviting streetscape access to future retailers, a "stramp" is being provided to resolve the grade change and streetscape of the project. It is our understanding that the demolition and installation of the designed streetscape for the project would result in the cutting of roots on all sides of the existing trees. This would make it very difficult to keep and preserve the health of these trees through construction, compromising the trees and potentially becoming a public safety concern if the trees were to fail over time. We have read and understand the Urban Forestry Division's Tree Removal Mitigation Policy and are willing to pay the cash value for the outstanding tree replacement inches, as outlined in the policy.

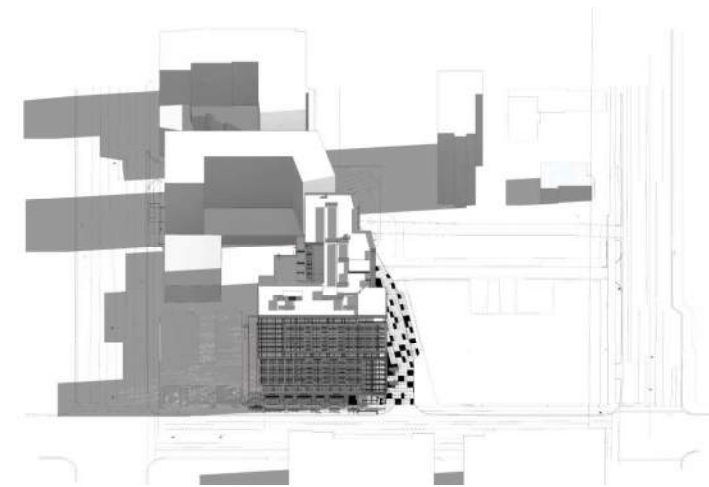
Our intent is to provide a project that will add great value to the City through the overall project design, including creating an inviting streetscape along both 200 South and the proposed mid-block road, Quarter Row, where the design language of the streetscape continues to add more value with more trees. While unable to fully replace the caliper inch per inch, the project proposes six street trees along Quarter Row, which is double the required amount along the frontage, trees near the leasing lobby entry, and additional trees along the access road on the north side of the project for a connected and well-balanced streetscape design overall. It is for the reasons above that we request the approval for the proposed removal of the five existing trees, as we believe in the value this project design will bring to the City of Salt Lake and the community.

Sincerely,

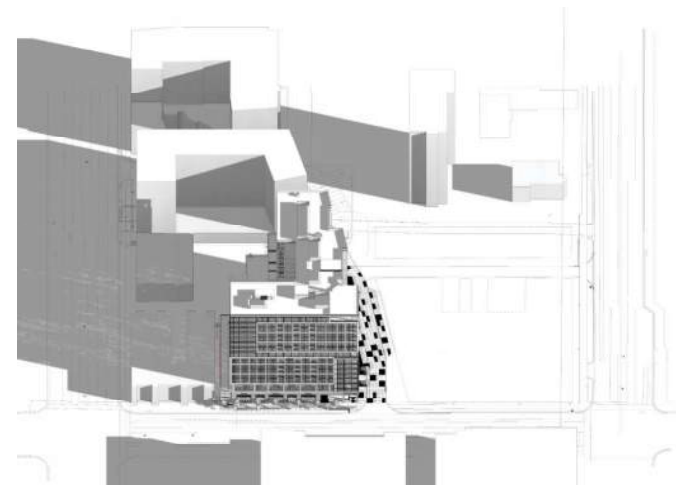
  
West Quarter Residential II, LLC  
By The Ritchie Group, LC, Manager  
By Jayson Newitt, Manager



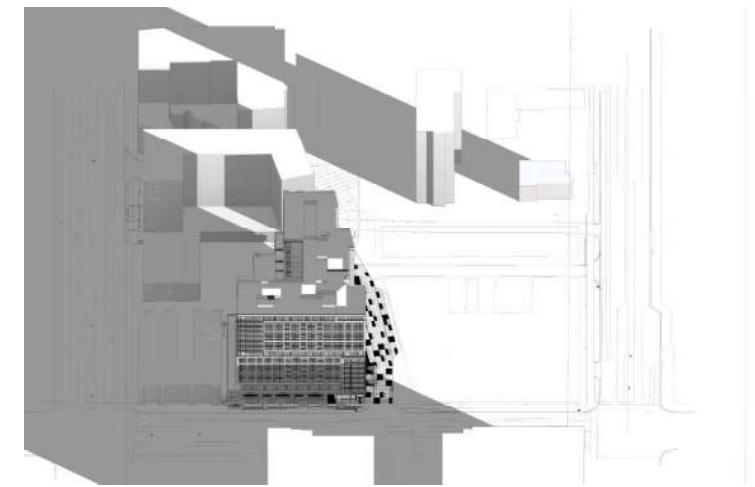
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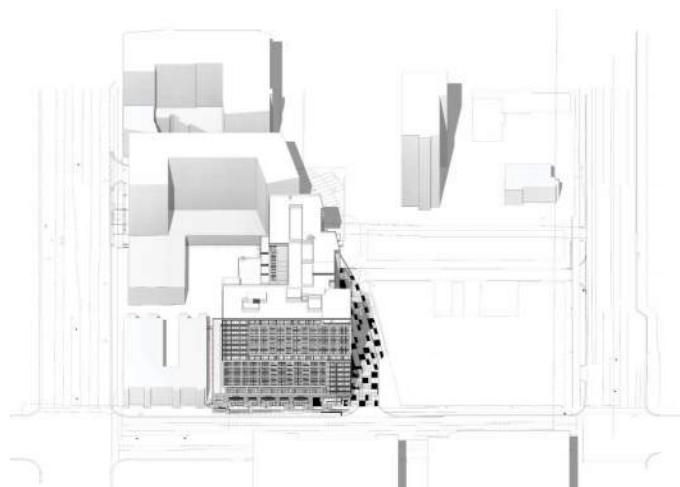
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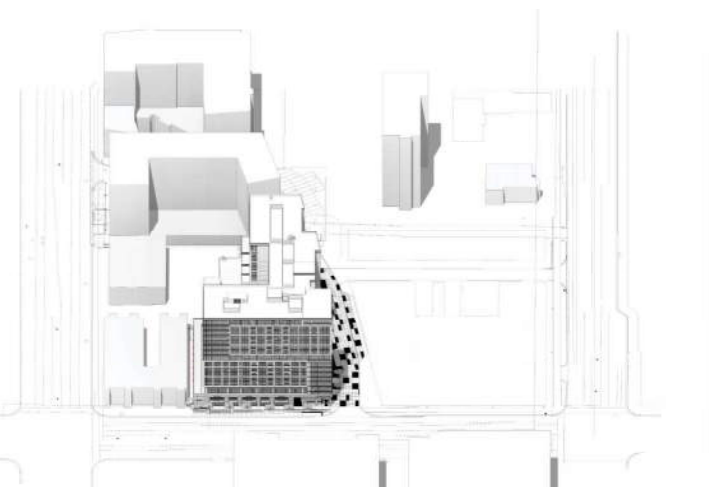
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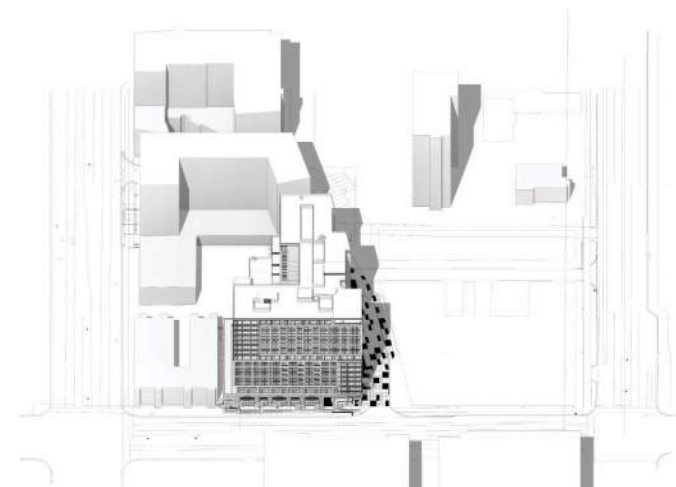
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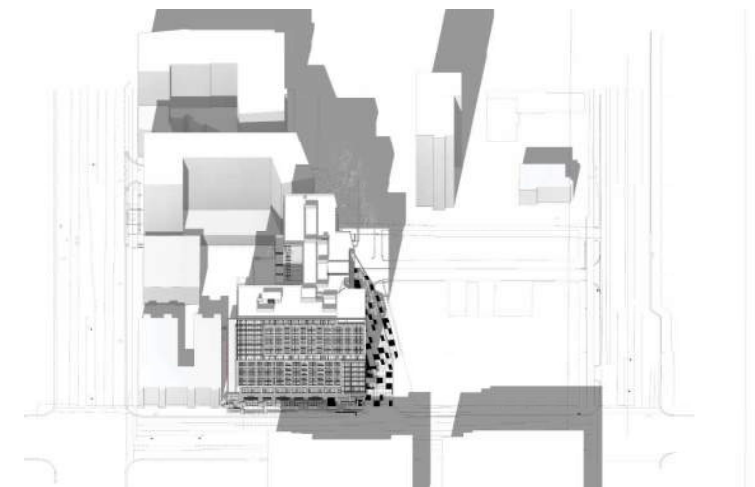
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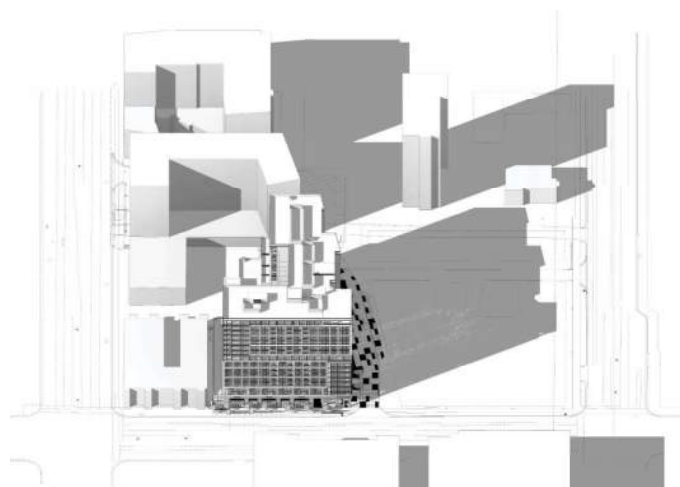
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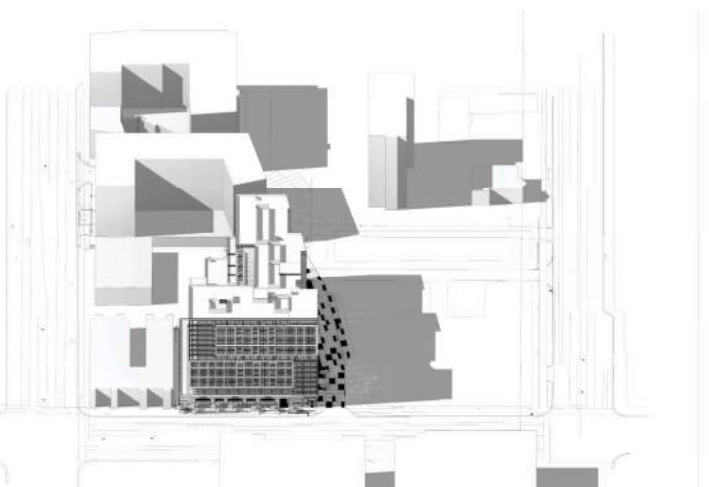
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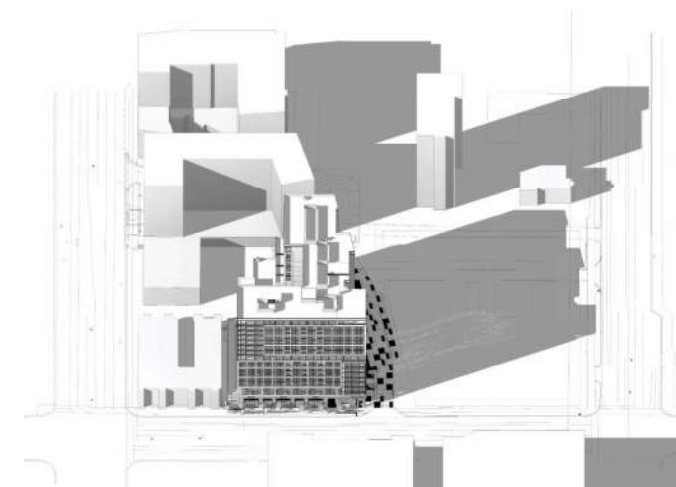
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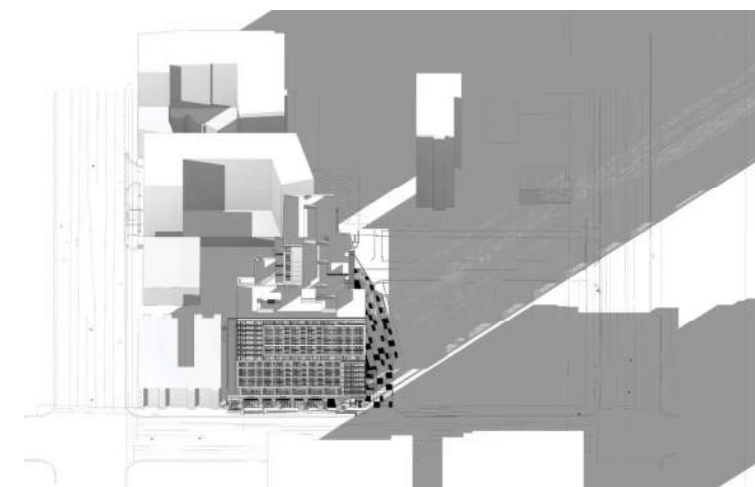
MARCH 21 @ 4 PM



JUNE 21 @ 4 PM



SEPTEMBER 21 @ 4 PM



DECEMBER 21 @ 4 PM



2022.10.03



**SALT LAKE CITY**

Attn: **City Code Council**

RE: Response and Update to Plaza Seating  
**WEST QUARTER BLOCK C | 100% PERMIT SET**

Dear City Code Council,

In response to the Design Review Standards for **WEST QUARTER BLOCK C | 100% PERMIT SET** Loft Six Four (**L64**) has made the following corrections to the street level in accordance to subsection F listed in 21A.59.050: *Please provide details indicating where the proposed sitting space, outdoor dining, and shade will be located in the narrative and on the site plans. Please address how these elements meet the requirements specified in F.1, F.3, and F.5.*

**Correction Required:**

This standard has very specific requirements for outdoor seating (see below). Please provide details indicating how the proposed sitting space will meet the requirements. Please label where each element (the proposed sitting space, outdoor dining and shade) is located on the site plan.

1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");

**Response:**

Forty (40) seats required by code to meet the 1 seat per 250 square feet requirement. One hundred fifty-three (130) seats provided by seatwalls, benches, and chairs.

Each seating element noted on Site Layout sheet LS101. See notes L-06, L-37, L-50, and 3D Detail callouts.

DESIGN REVIEW #3 SUMMARY

A PARKING LEGEND ADDED  
B ADA STALL AND ACCESS AISLE  
DIMENSIONS REFERENCED IN  
PARKING LEGEND  
C TRANSFORMERS  
D DRAIN MOVED, PERTAINING  
SLOPES ADJUSTED

WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

| ISSUE      | DATE       | DESCRIPTION            | INCLD |
|------------|------------|------------------------|-------|
| 09/10/2021 | 09/10/2021 | SCHEMATIC DESIGN       | X     |
| 11/18/2021 | 11/18/2021 | SCHEMATIC DEVELOPMENT  | X     |
| 12/15/2021 | 12/15/2021 | SCHEMATIC DEVELOPMENT  | X     |
| 02/04/2022 | 02/04/2022 | CONSTRUCTION DOCUMENTS | X     |
| 02/04/2022 | 02/04/2022 | GMP / PERMIT           | X     |

| REVISION   | DATE       | DESCRIPTION              | REV |
|------------|------------|--------------------------|-----|
| 09/10/2021 | 09/10/2021 | FOOTING AND FOUNDATION 1 | 1   |
| 02/04/2022 | 02/04/2022 | DESIGN REVIEW 1          | 2   |
| 02/04/2022 | 02/04/2022 | DESIGN REVIEW RESPONSE   | 3   |

| REMARKS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
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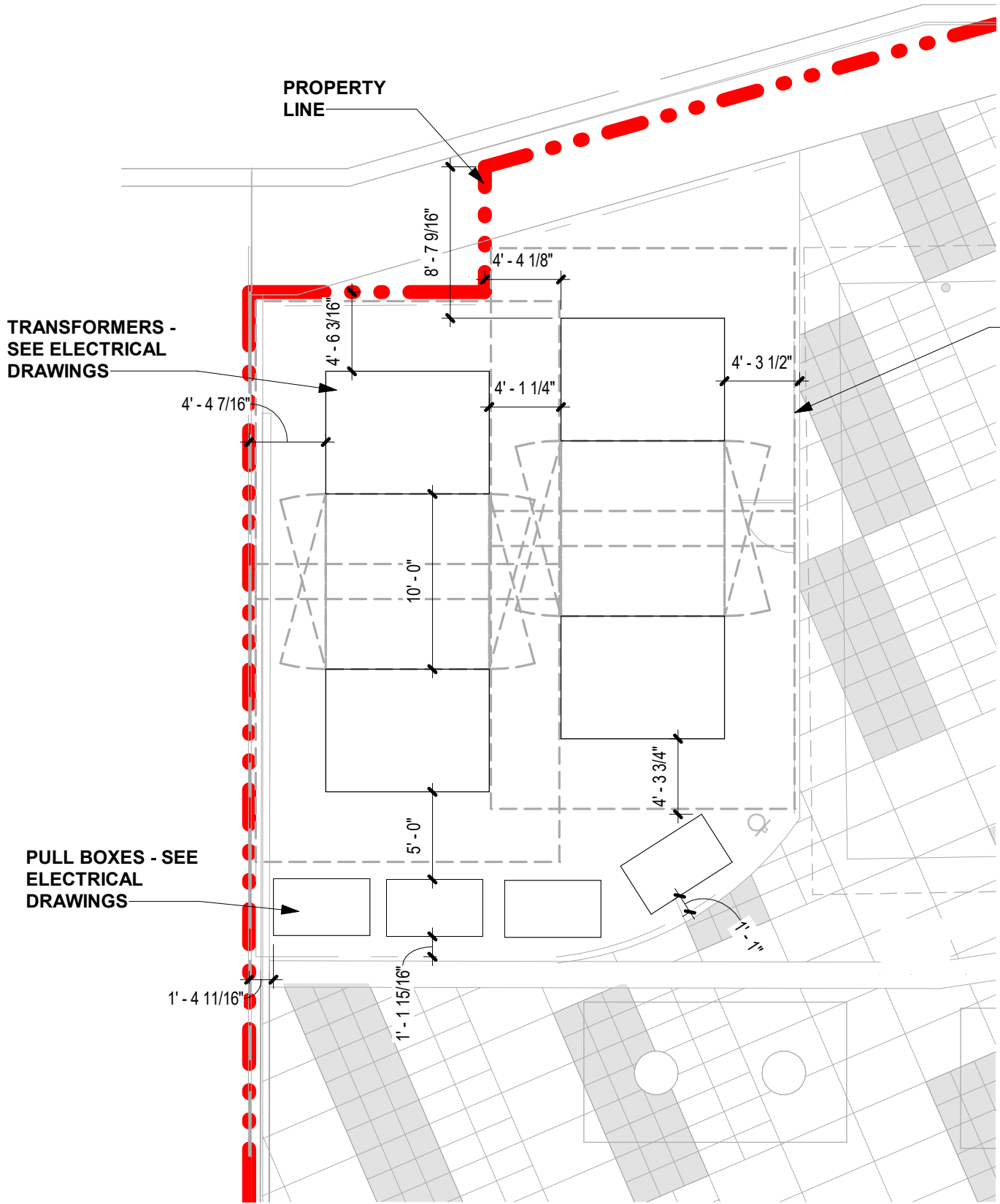
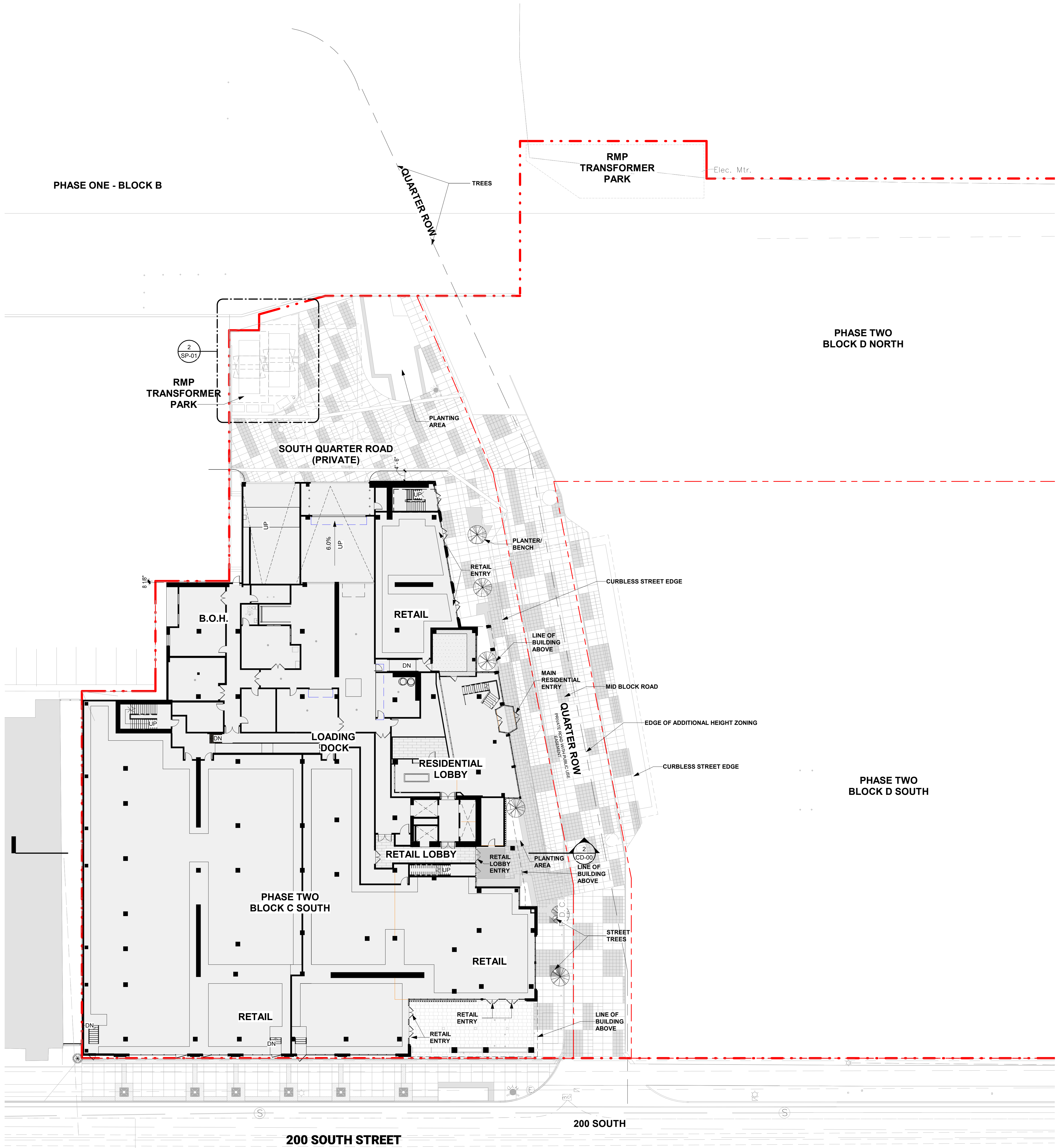
| DRIVER NAME             |
|-------------------------|
| ARCHITECTURAL SITE PLAN |

GMP / BUILDING PERMIT

JOB NUMBER: 2138601

DRAWN BY: Author  
CHECKED BY: Checker

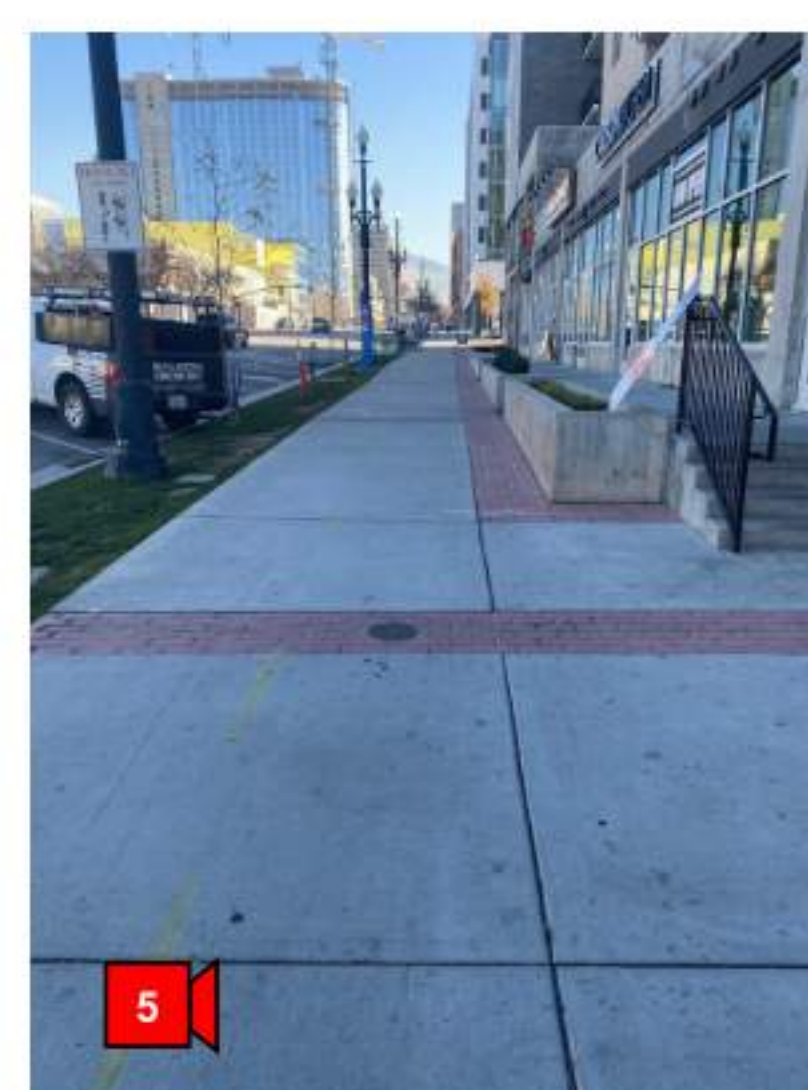
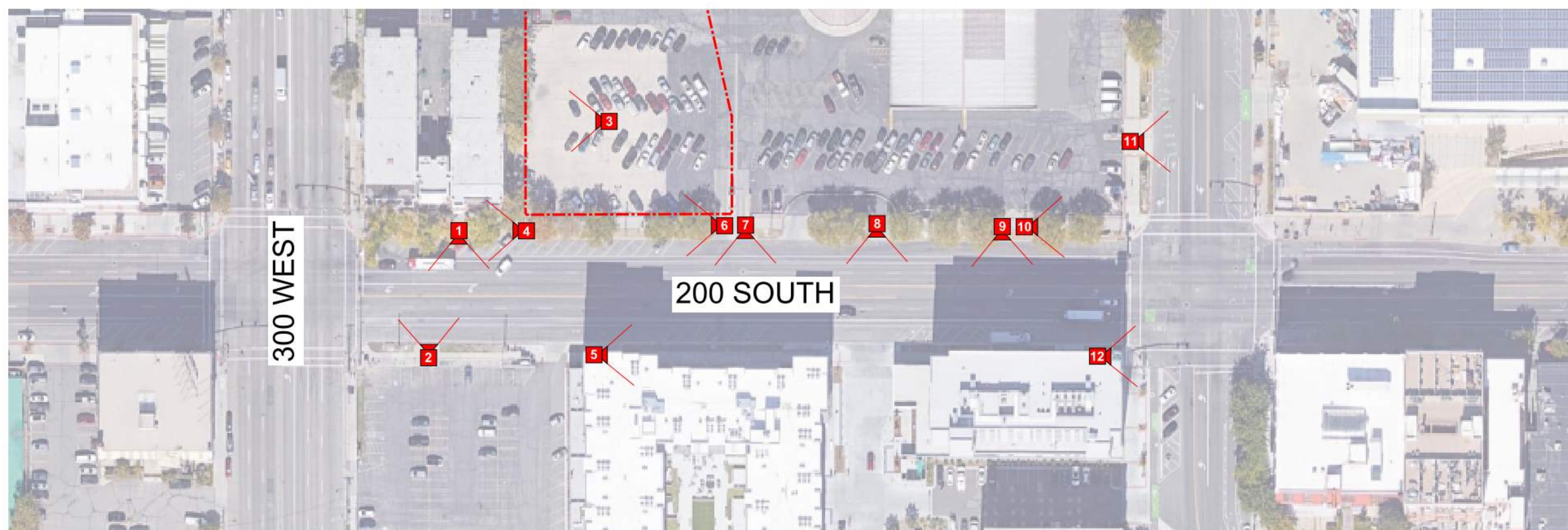
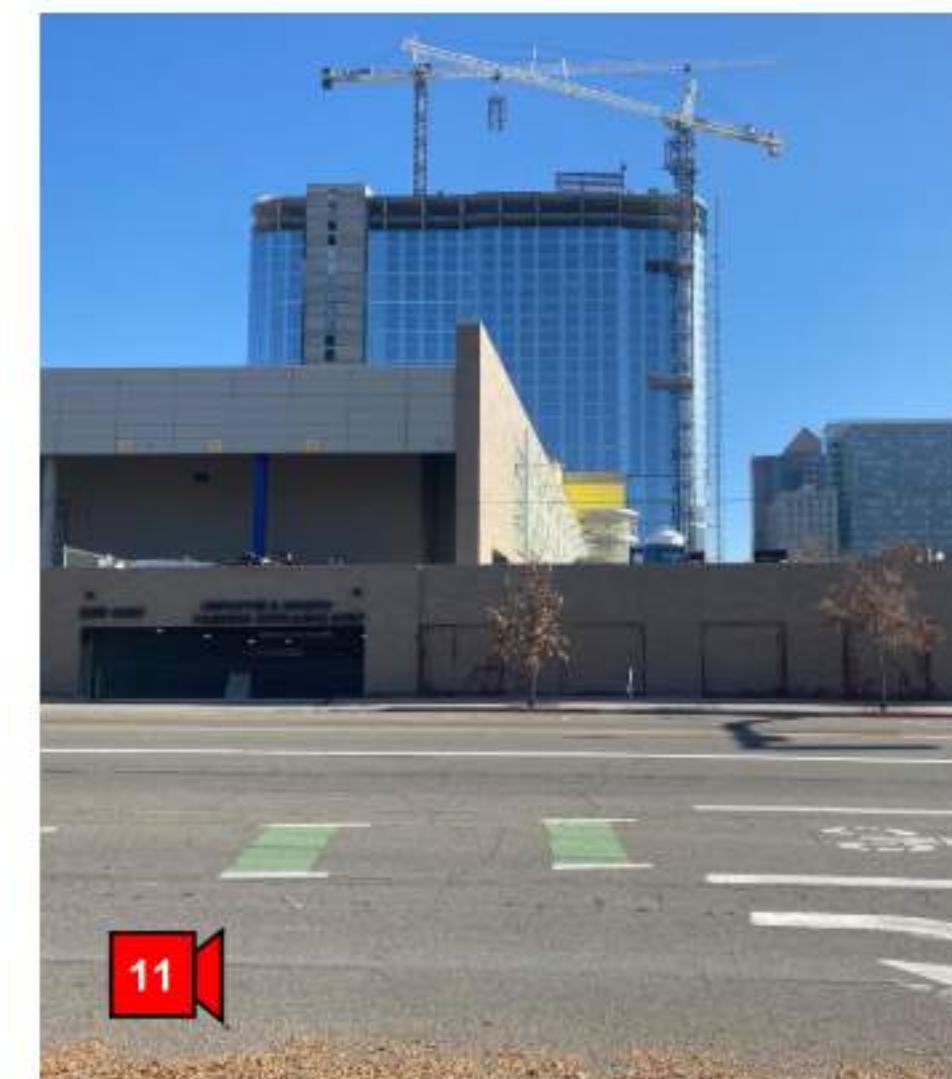
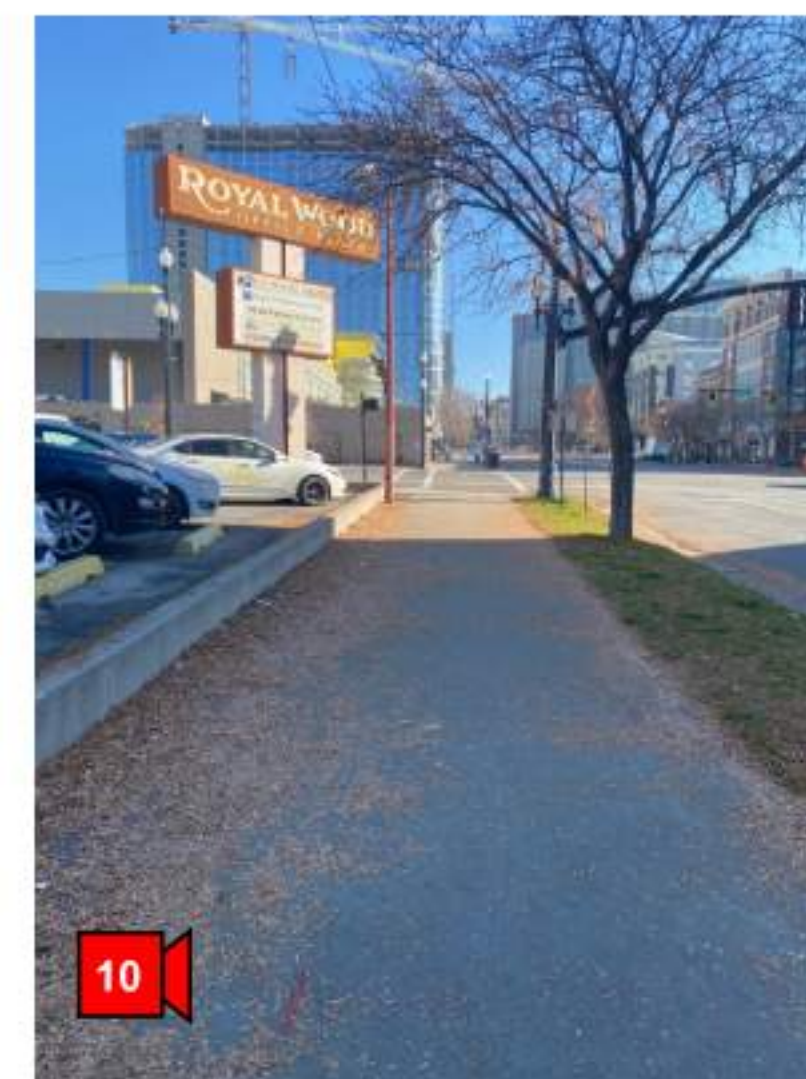
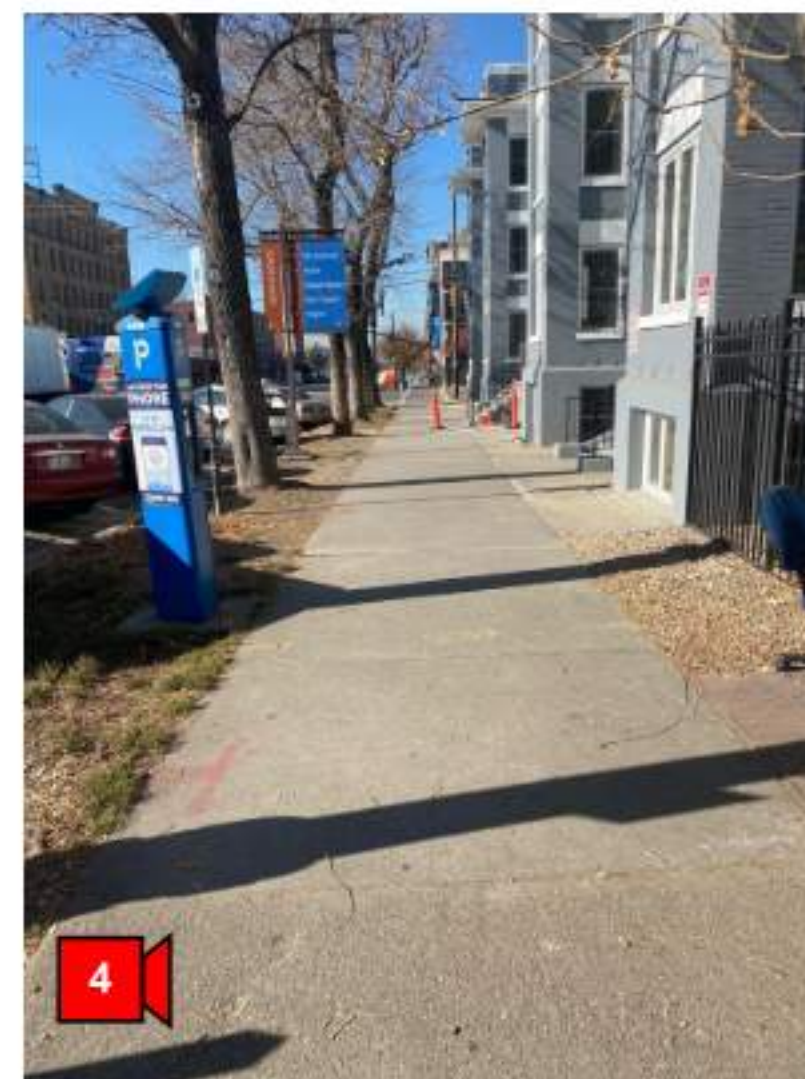
SP-01



2 LEVEL 01 - ENLARGED TRANSFORMER PARK PLAN  
1/8" = 1'-0"

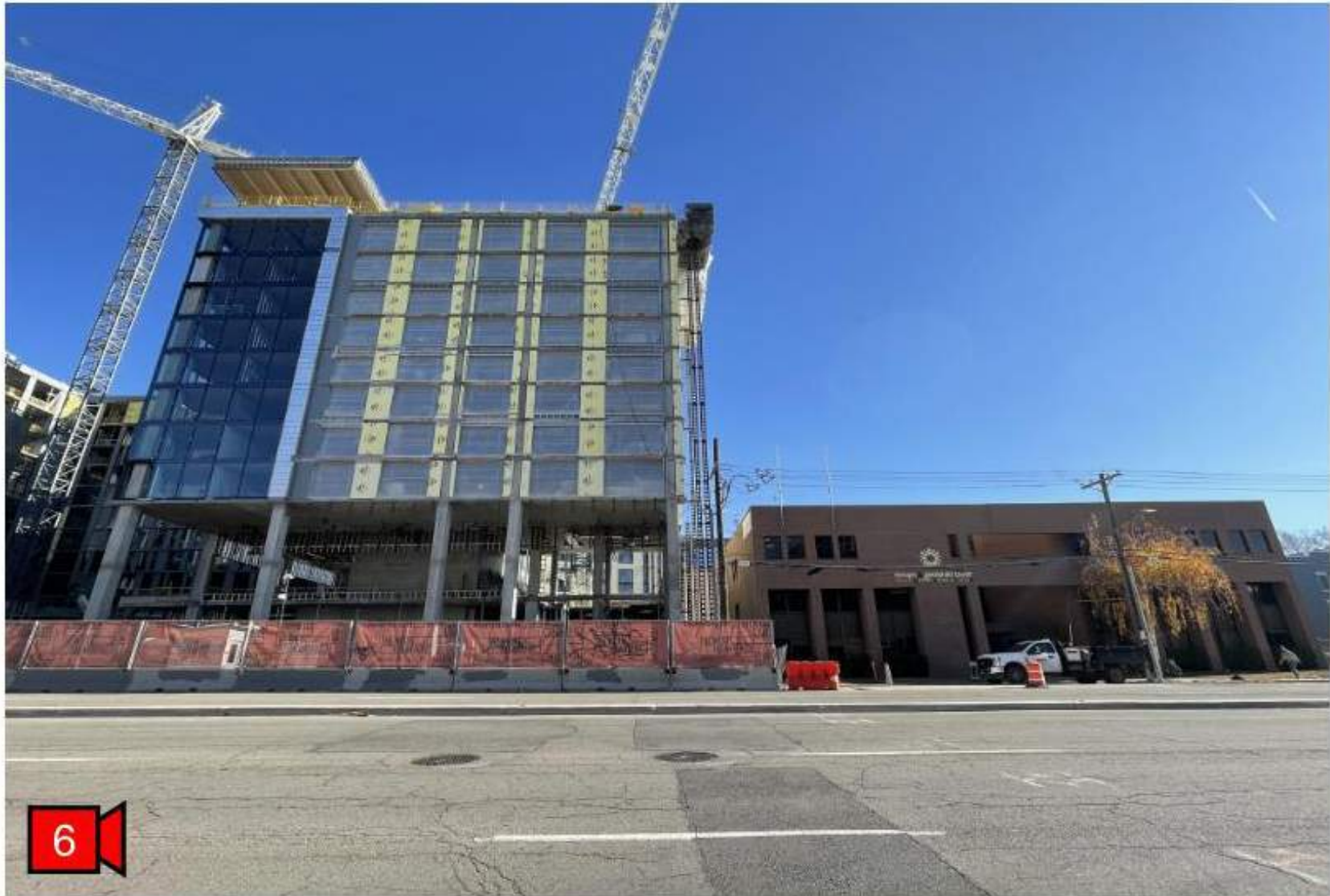
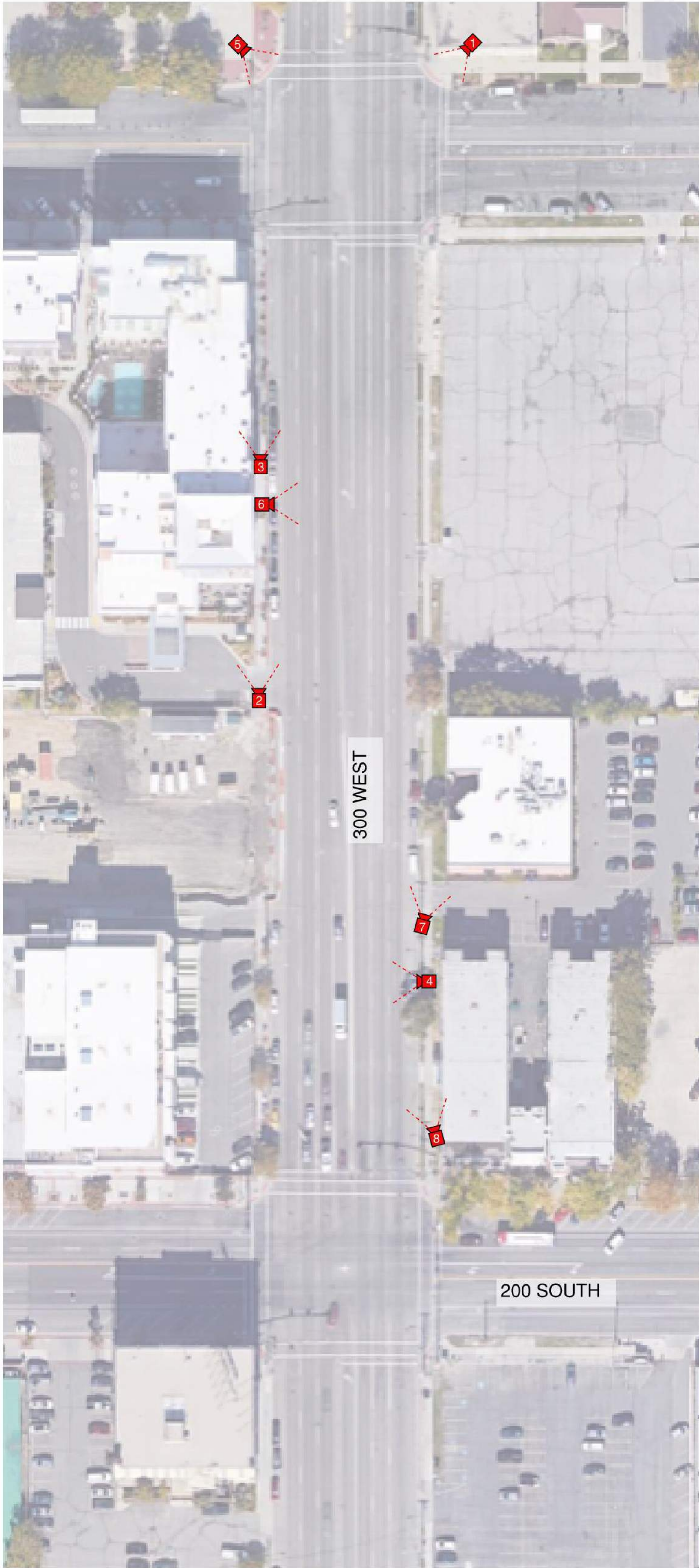
1 LEVEL 01 - SITE PLAN  
1" = 20'-0"



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## REVISION





## WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101



| ISSUE      | DESCRIPTION                | INCLUDED |
|------------|----------------------------|----------|
| 08/10/2021 | SCHEMATIC DESIGN           |          |
| 11/16/2021 | DESIGN DEVELOPMENT         |          |
| 12/30/2021 | 50% CONSTRUCTION DOCUMENTS |          |
| 02/02/2022 | GMP / PERMIT               | X        |

| REVISION | DESCRIPTION | REV |
|----------|-------------|-----|
| DATE     |             |     |

SEAL:

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SHEET NAME:  
**SURROUNDING  
SITE CONTEXT  
- 300 WEST**

GMP / BUILDING PERMIT

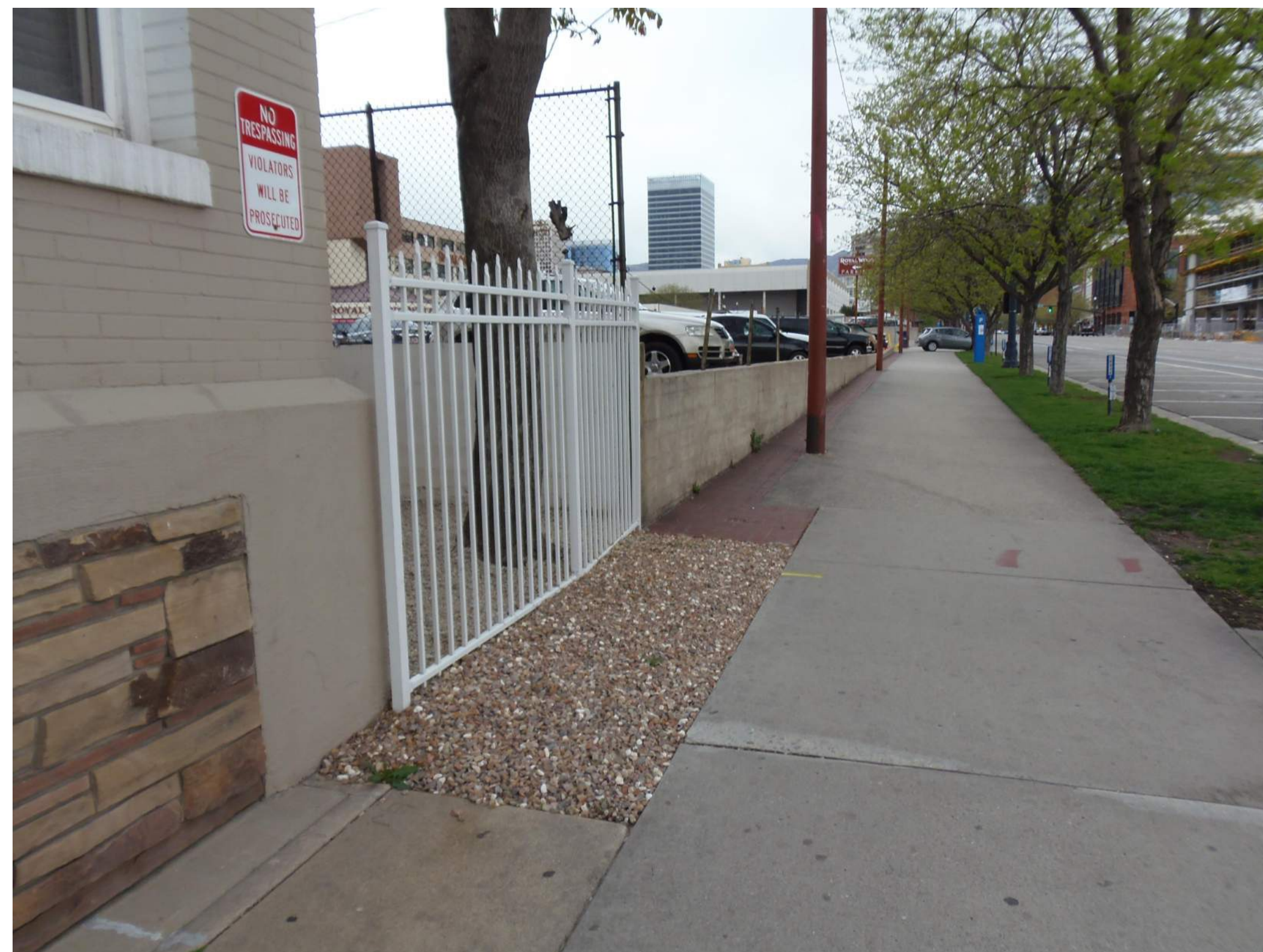
JOB NUMBER: 2138601

DRAWN BY  
Author

CHECKED BY  
Checker

SP-11







## WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

DEVELOPMENT FOR

| <b>SCHEDULE</b> | <b>DATE</b> | <b>DESCRIPTION</b>         | <b>INCLUDED</b> |
|-----------------|-------------|----------------------------|-----------------|
| 0-10/2021       |             | SCHEMATIC DESIGN           |                 |
| 1-7/9/2021      |             | DESIGN DEVELOPMENT         |                 |
| 2-3/3/2021      |             | 50% CONSTRUCTION DOCUMENTS |                 |
| 3-04/2022       |             | GMP / PERMIT               | X               |
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|                 |             |                            |                 |
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| REVISION |             |     |
|----------|-------------|-----|
| DATE     | DESCRIPTION | REV |

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HEET NAME:

## ADJACENT BUILDING HEIGHTS

P / BUILDING PERMIT

OB NUMBER: 2138601

W N BY      CHECKED BY  
hor              Checker

SP-13



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C:\Users\vanderhof\Documents\West Quarter Block C\_CD\_F20\_vanderhof\WCMB.rvt 10/4/2022 4:28:21 PM

341'-0"

40'-0"

JACKSON APARTMENTS

8' - 7"

22' - 11"

FUTURE BUILDING D -  
ZONING ALLOWABLE  
BUILDING HEIGHT

71' - 9"

375'-0"

1 ADJACENT BUILDING HEIGHTS - SOUTH  
1/16" = 1'-0"

dwell  
design  
studio

360 WEST 300 SOUTH  
SUITE 102  
SALT LAKE CITY, UT 84101  
PHONE: 385.273.3888  
dwelldesignstudio.com

WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

A DEVELOPMENT FOR

| ISSUE      | DATE | DESCRIPTION                | INCLUDED |
|------------|------|----------------------------|----------|
| 09/10/2021 |      | SCHEMATIC DESIGN           |          |
| 11/18/2021 |      | DESIGN DEVELOPMENT         |          |
| 12/16/2021 |      | 50% CONSTRUCTION DOCUMENTS |          |
| 03/04/2022 |      | GMP / PERMIT               | X        |
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SCALE

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SHEET NAME

ADJACENT BUILDING HEIGHTS

GMP / BUILDING PERMIT

JOB NUMBER: 2138601

DRAWN BY: Author  
CHECKED BY: Checker

SP-14

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260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

A DEVELOPMENT FOR:

[illegible]

| REVISION |             |     |
|----------|-------------|-----|
| DATE     | DESCRIPTION | REV |

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HEET NAME:

## ADJACENT BUILDING HEIGHTS

GMP / BUILDING PERMIT

OB NUMBER: 2138601

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| DRAWN BY | CHECKED BY |
| Author   | Checker    |

SP-15



1 ADJACENT BUILDING HEIGHTS - EAST  
1/16" = 1'-0"



**WEST QUARTER - BLOCK C**

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260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

A DEVELOPMENT FOR

[illegible]

| DATE | DESCRIPTION | REV |
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OBJECT NAME:

## ADJACENT BUILDING HEIGHTS

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OB NUMBER: 2138601

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SP-16



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# THE RITCHIE GROUP / BLOCK 67 PHASE 2

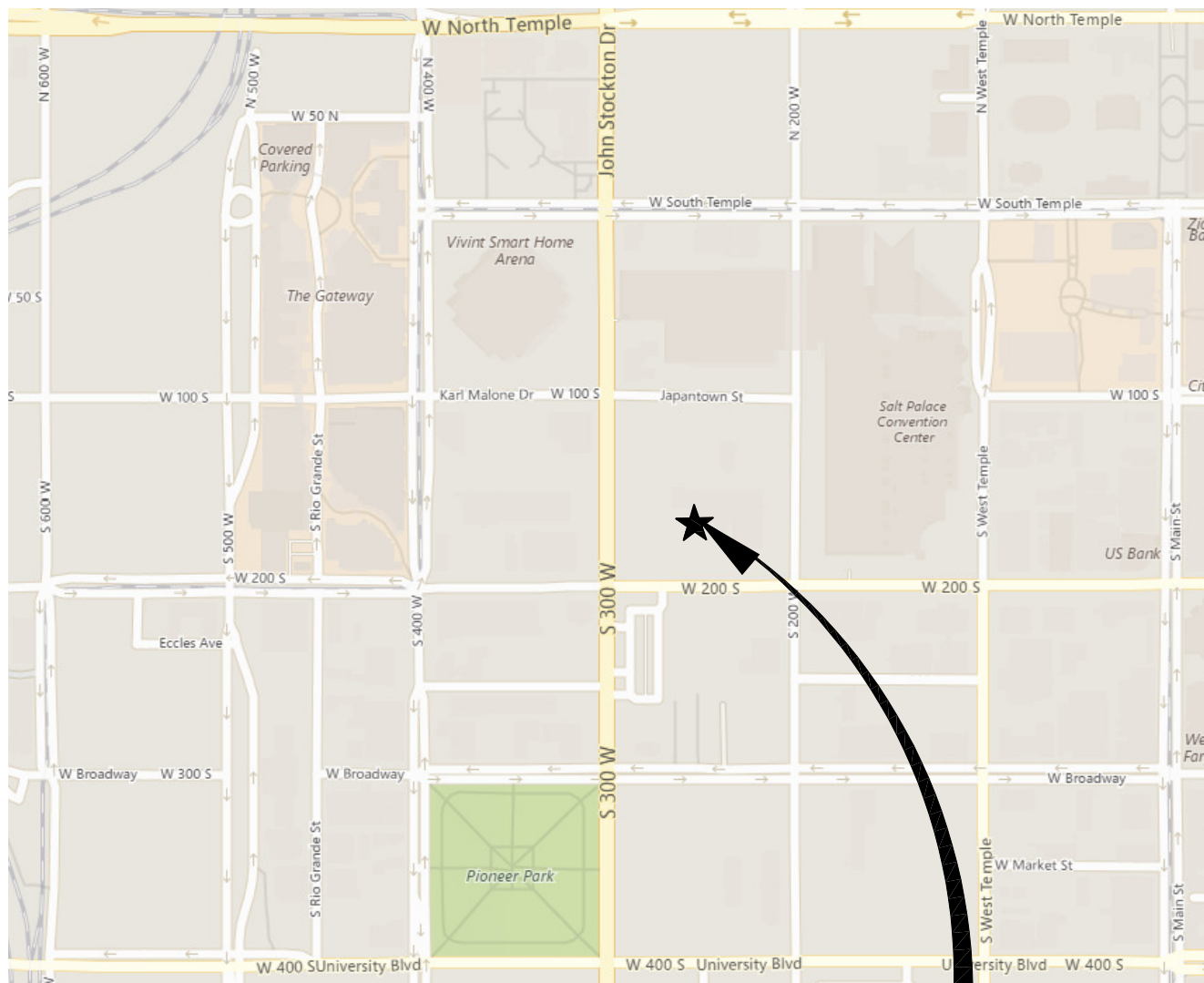
## 260 WEST 200 SOUTH, SALT LAKE CITY, UTAH



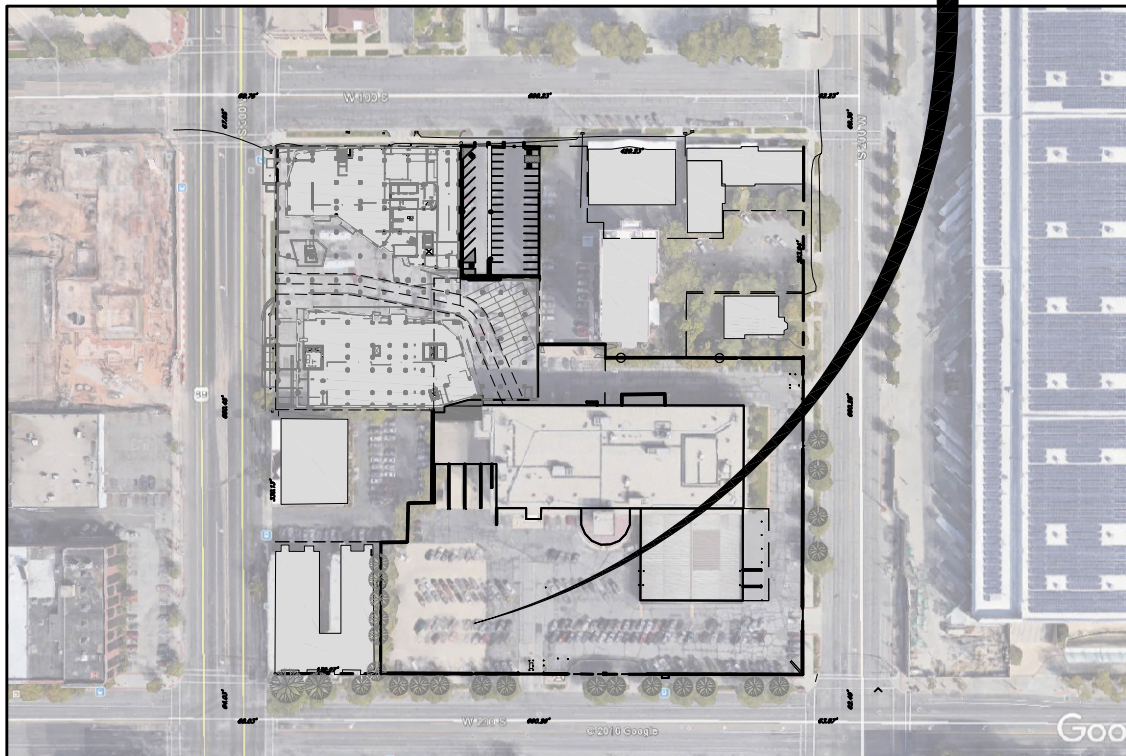
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| SHEET DIRECTORY |                                              |
|-----------------|----------------------------------------------|
| NO              | TITLE                                        |
| C0              | COVER SHEET                                  |
| C1              | BLOCK CD - EXISTING CONDITIONS               |
| C1a             | BLOCK C - SITE PREPARATION PLAN              |
| C4              | PHASE 2 BLOCK C SITE PLAN                    |
| C4a             | PHASE 2 BLOCK CD SITE PLAN                   |
| C4b             | PHASE 2 BLOCK C -PHASED TEMPORARY PARKING    |
| C6              | PHASE 2 BLOCK C GRADING PLAN                 |
| C6a             | PHASE 2 BLOCK C GRADING PLAN A               |
| C6b             | PHASE 2 BLOCK C GRADING PLAN B               |
| C6c             | PHASE 2 UNDERGROUND STORM DRAIN FACILITIES   |
| C6d             | PHASE 2 - STORM WATER DETAILS                |
| C7              | PHASE 2 BLOCK C - UTILITY PLAN               |
| C7a             | PHASE 2 BLOCK C - UTILITY PLAN QUARTER ROW A |
| C7b             | PHASE 2 BLOCK C - UTILITY PLAN QUARTER ROW B |
| C7c             | PHASE 2 BLOCK C - UTILITY SECTIONS           |
| C7d             | PHASE 2 BLOCK C - UTILITY PLAN 200 SOUTH     |
| C7e             | PHASE 2 BLOCK C - UTILITY SECTIONS           |
| C8a             | PHASE 2 BLOCK C - DETAILS                    |
| C8b             | PHASE 2 BLOCK C - DETAILS                    |

## Vicinity Maps



## PROJECT SITE



### 1. STANDARD NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND TO APPLICABLE UTILITY DISTRICT STANDARDS.
2. THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCES, WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CITY ENGINEER AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
4. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
5. CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
6. PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
7. ALL CITY MAINTAINED UTILITIES INCLUDING: WATERLINE, FIRE HYDRANTS, STREETLIGHT WIRING, AND STORM DRAIN MUST BE IN PUBLIC RIGHT OF WAY OR RECORDED IN EASEMENTS.
8. CONTRACTOR TO FOLLOW SALT LAKE CITY NOISE ORDINANCE STANDARDS.
9. CURB, GUTTER, AND SIDEWALK, FOUND TO BE UNACCEPTABLE TO THE CITY SHALL BE REMOVED AND REPLACED.
10. THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTORS OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
11. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACEWORK PROVIDED FOR DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE AS SHOWN ON PLANS.
12. ALL GRADING WORK SHALL CONFORM TO THE SOILS REPORT AS PREPARED BY THE SOILS ENGINEER AND APPROVED BY THE CITY ENGINEER, AND AS SHOWN ON THESE PLANS.
13. EXACT LOCATION OF ALL SAWCUT LINES MAY BE ADJUSTED OR DETERMINED IN THE FIELD BY A CITY ENGINEER IF LOCATION ON PLANS IS NOT CLEARLY SHOWN, OR EXISTING PAVEMENT CONDITION REQUIRES RELOCATION.
14. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEYING MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS AT THE SALT LAKE COUNTY SURVEYORS OFFICE.
15. UTILITY COMPANY METER BOXES, MANHOLE LIDS, VALVE COVERS, ETC., SHALL BE LOCATED OUT OF DRIVEWAYS, DRIVEWAY APRONS, FLOWLINES, AND CROSS GUTTERS UNLESS WRITTEN APPROVAL IS GRANTED BY THE UTILITY COMPANY AND THE CITY ENGINEER.
16. ALL WALLS, NEW OR EXISTING, ARE ONLY SHOWN ON CIVIL PLANS FOR THE PURPOSE OF REVEALING GRADING RELATIONSHIPS; FLOOD CONTROL AND SIGHT DISTANCE AT INTERSECTIONS. ALL WALLS SHALL HAVE A MINIMUM 2 FT X 2 FT X 30 INCH DEEP SPOT FOOTINGS. BOTTOM OF ALL FOOTINGS ON ALL WALLS SHALL BE A MINIMUM OF 30 INCHES BELOW FINISHED GRADE. WALLS GREATER THAN 6 FEET REQUIRE A SEPARATE PERMIT AND INSPECTION BY THE BUILDING DEPARTMENT.
17. ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN CITY RIGHT-OF-WAY.
18. CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING INLETS, VALVE BOXES, MANHOLE RIMS, AND SEWER CLEAN OUTS, ETC. TO FINISH GRADE AS APPLICABLE WHETHER OR NOT THEY ARE SHOWN ON THE PLANS.
19. APPLICATION FOR INSPECTION BY THE CITY ENGINEERING DEPT. SHALL BE MADE BY THE CONTRACTOR AT LEAST 48 HOURS BEFORE THE INSPECTION SERVICES WILL BE REQUIRED.
20. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
21. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION.
22. CONTRACTOR TO CONTACT BLUE STAKES FOR MARKING OF EXISTING UTILITIES PRIOR TO PERFORMING ANY EXCAVATION.
23. EFFECTED UTILITY COMPANIES SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
24. EXISTING UTILITIES ARE LOCATED ON PLANS FOR THE CONVENIENCE OF THE CONTRACTORS ONLY. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR THE PROTECTION OF UTILITIES AND THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN ON THE PLANS OR NOT IN THE LOCATION SHOWN ON THE PLANS. THIS INCLUDES ALL SERVICE LATERALS OF ANY KIND.
25. POWER POLES AND/OR OTHER EXISTING FACILITIES NOT IN PROPER LOCATION BASED ON PROPOSED IMPROVEMENTS SHOWN HEREON WILL BE RELOCATED AT NO EXPENSE TO THE CITY. POWER POLES ARE TO BE RELOCATED AND BURIED.
26. MODIFICATIONS TO EXISTING UTILITIES SHALL CONFORM TO THE OWNER'S UTILITY STANDARDS AND SPECIFICATIONS.
27. PROTECTION AND REPLACEMENT OF SURVEY MONUMENTS OR PROPERTY STAKES NOT DELINEATED ON THE CONTRACT DRAWINGS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
28. DELINEATION OF SURVEY MONUMENTS OR PROPERTY STAKES SHALL BE DONE TO SALT LAKE COUNTY STANDARDS.
29. ALL STATIONING IS REFERENCED TO CENTERLINE

### 1.4 GRADING NOTES

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER AND CITY ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
3. CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR GAINING OF THE EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
6. CONTRACTOR SHALL GRADE TO THE LINES AND ELEVATIONS SHOWN ON PLANS.
7. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
8. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM THE CITY WATER DEPARTMENT.
9. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS MUST BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
10. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEMS ARE REQUIRED THAT ARE NOT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE CITY ENGINEER. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

### SEWER DISTRICT NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH SEWER DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
3. FOUR FEET OF COVER (MINIMUM) IS REQUIRED OVER ALL SEWER LINES.

### SALT LAKE CITY NOTES:

1. ALL WORK IN THE PUBLIC WAY SHALL CONFORM TO APWA 2012 STANDARD PLANS AND SPECIFICATIONS.
2. THE CURB AND GUTTER SHALL BE CONSTRUCTED AS PER APWA 205A, AND 251 OR 252.
3. ALL UTILITY TRENCH WORK IN THE PUBLIC WAY SHALL BE CONSTRUCTED AS PER APWA 255.
4. ALL SIDEWALK WORK DONE IN THE PUBLIC WAY SHALL BE CONSTRUCTED AS PER APWA 231.
5. THE DRIVE APPROACH SHALL BE CONSTRUCTED AS PER APWA 225.
6. PRIOR TO OCCUPANCY PERMIT BEING ISSUED, ALL TRIP HAZARDS ON THE PUBLIC SIDEWALK MUST BE REMOVED.
7. PRIOR TO BEGINNING ANY WORK IN THE PUBLIC WAY, A LICENSED, BONDED AND INSURED CONTRACTOR MUST FIRST OBTAIN A PUBLIC WAY PERMIT FROM THE SLC ENGINEERING PERMITS OFFICE, AND MAY ALSO NEED A TRAFFIC CONTROL PERMIT FROM SLC TRANSPORTATION.

### SALT LAKE CITY PUBLIC UTILITIES GENERAL NOTES -UPDATED 6/27/18

1. COMPLIANCE:  
ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, AND SLC PUBLIC UTILITIES MODIFICATIONS TO APWA STANDARD PLANS AND APPROVED MATERIALS AND SLC PUBLIC UTILITIES APWA SPECIFICATIONS MODIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED IN WRITING BY THE SALT LAKE CITY DIRECTOR OF PUBLIC UTILITIES.

2. COORDINATION:  
THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL APPROPRIATE GOVERNMENT AND PRIVATE ENTITIES ASSOCIATED WITH THE PROJECT. THE FOLLOWING MUST BE CONTACTED 48-HOURS PRIOR TO CONSTRUCTION AS APPLICABLE TO THE PROJECT:

PUBLIC UTILITIES:  
BACKFLOW PREVENTION -483-6795  
DEVELOPMENT REVIEW ENGINEERING -483-6781  
INSPECTIONS, PERMITS, CONTRACTS & AGREEMENTS -483-6727  
PRETREATMENT -799-4002  
STORM WATER -483-6721

### SLC DEPARTMENTS:

- ENGINEERING - WATER PERMITS AND ISSUES -535-6248
- ENGINEERING - SUBDIVISIONS -535-6159
- FIRE DEPARTMENT -535-6658
- PERMITS AND LICENSING (BLDG SERVICES) -535-7752
- PLANNING AND ZONING -535-7700
- TRANSPORTATION -535-6630
- ALL OTHER POTENTIALLY IMPACTED GOVERNING AGENCIES OR ENTITIES
- ALL WATER USERS INVOLVED IN WATER MAIN SHUTDOWNS
- APPLICABLE SEWER, WATER AND DRAINAGE DISTRICTS
- BLUESTAKES LOCATING SERVICES -532-5000
- COUNTY FIRE DEPARTMENT -743-7231
- COUNTY FLOOD CONTROL -468-2779
- COUNTY HEALTH DEPARTMENT -385-468-3913
- COUNTY PUBLIC WAY PERMITS -468-2241
- SALT LAKE COUNTY HIGHWAY DEPARTMENT -468-3705 OR 468-2156
- THE UTAH TRAIL AUTHORITY FOR RE-ROUTING SERVICE -262-5626
- UNION PACIFIC RAILROAD CO. SUPERINTENDENT'S OFFICE -485-3405
- UTAH DEPARTMENT OF TRANSPORTATION, REGION #2 -975-4800
- UTAH STATE ENGINEER -538-7240

### 3. SCHEDULE

PRIOR TO CONSTRUCTION THE CONTRACTOR WILL PROVIDE, AND WILL UPDATE AS CHANGES OCCUR, A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE SPECIFICATIONS AND SALT LAKE CITY ENGINEERING OR SALT LAKE COUNTY REGULATIONS AS APPLICABLE FOR WORKING WITHIN THE PUBLIC WAY.

### 4. PERMITS, FEES AND AGREEMENTS

CONTRACTOR MUST OBTAIN ALL THE NECESSARY PERMITS AND AGREEMENTS AND PAY ALL APPLICABLE FEES PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT SALT LAKE CITY ENGINEERING (535-6248) FOR PERMITS AND INSPECTIONS REQUIRED FOR ANY WORK CONDUCTED WITHIN SALT LAKE CITY'S PUBLIC RIGHT-OF-WAY. APPLICABLE UTILITY PERMITS MAY INCLUDE MAINLINE EXTENSION AGREEMENTS AND SERVICE CONNECTION PERMITS. ALL UTILITY WORK MUST BE BONDED. ALL CONTRACTORS MUST BE LICENSED TO WORK ON CITY UTILITY MAINS.

CONSTRUCTION SITES MUST BE IN COMPLIANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) STORM WATER PERMIT FOR CONSTRUCTION ACTIVITIES (538-6923). A COPY OF THE PERMITS STORM WATER POLLUTION PREVENTION PLAN MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADDITIONAL WATER QUALITY AND EROSION CONTROL MEASURES MAY BE REQUIRED. THE CONTRACTOR MUST ALSO COMPLY WITH SALT LAKE CITY'S CLEAN WHEEL ORDINANCE.

### 5. ASPHALT AND SOIL TESTING

THE CONTRACTOR IS TO PROVIDE MARSHALL AND PROCTOR TEST DATA 24-HOURS PRIOR TO USE. CONTRACTOR IS TO PROVIDE COMPACTION AND DENSITY TESTING AS REQUIRED BY SALT LAKE CITY ENGINEERING, UDOT, SALT LAKE COUNTY OR OTHER GOVERNING ENTITY. TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS, SECTION 330520 -BACKFILLING TRENCHES, OR AS REQUIRED BY THE SLC PROJECT ENGINEER IF NATIVE MATERIALS ARE USED. NO NATURAL MATERIALS ARE ALLOWED WITHIN THE PIPE ZONE. THE MAXIMUM LIFTS FOR BACKFILLING EXCAVATIONS IS 8-INCHES. ALL MATERIALS AND COMPACTION TESTING IS TO BE PERFORMED BY A LAB RECOGNIZED AND ACCEPTED BY SALT LAKE COUNTY PUBLIC WORKS AND/OR SALT LAKE CITY ENGINEERING.

### 6. TRAFFIC CONTROL AND HAUL ROUTES

TRAFFIC CONTROL MUST CONFORM TO THE MOST CURRENT EDITION OF SALT LAKE CITY TRAFFIC CONTROL MANUAL -PART 6 OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR SALT LAKE COUNTY AND STATE ROADS. SLC TRANSPORTATION MUST APPROVE ALL PROJECT HAUL ROUTES (535-7129). THE CONTRACTOR MUST ALSO CONFORM TO UDOT, SALT LAKE COUNTY OR OTHER APPLICABLE GOVERNING ENTITIES REQUIREMENTS FOR TRAFFIC CONTROL.

### 7. SURVEY CONTROL

CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS APPROVED. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE GRADE OF THE MAIN AND/OR FACILITY AS APPROVED. IN ADDITION, THE CONTRACTOR AND/OR SURVEYOR SHALL PROVIDE TO SALT LAKE CITY PUBLIC UTILITIES CUT SHEETS FILLED OUT COMPLETELY AND CLEARLY SHOWING THE PERTINENT GRADES, ELEVATIONS AND CUT/FILLS ASSOCIATED WITH THE FIELD STAKING OF THE MAIN AND/OR FACILITY. THE CUT SHEET FORM IS AVAILABLE AT THE CONTRACTS AND AGREEMENTS OFFICE AT PUBLIC UTILITIES. ALL MAINS AND LATERALS NOT MEETING MINIMUM GRADE REQUIREMENTS AS SPECIFIED BY ORDINANCE OR AS REQUIRED TO MEET THE MINIMUM REQUIRED FLOWS OR AS APPROVED AND RECONSTRUCTED TO MEET DESIGN GRADE. THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS UNTIL PUBLIC UTILITY SURVEYORS COMPLETE FINAL MEASUREMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE. DEPENDING ON THE LOCATION ON THE PROJECT, CONTACT THE COUNTY SURVEYOR FOR SECTION CORNER MONUMENTS (801-468-2028) AND/OR THE SALT LAKE CITY SURVEYOR (801-535-7973) FOR SALT LAKE CITY MONUMENTS AND CONSTRUCTION REQUIREMENTS. ALL ELEVATIONS SHALL BE REFERENCED TO SALT LAKE CITY DATUM UNLESS NOTED OTHERWISE ON THE PLANS.

### 8. ASPHALT GUARANTEE

THE CONTRACTOR SHALL REMOVE, DISPOSE OF, FURNISH AND PLACE PERMANENT ASPHALT PER SALT LAKE CITY ENGINEERING, UDOT, COUNTY, OR OTHER GOVERNMENT STANDARDS AS APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING ENTITY.

### 9. TEMPORARY ASPHALT

IF THE CONTRACTOR CHOOSES TO WORK WITHIN THE PUBLIC WAY WHEN HOT MIX ASPHALT IS NOT AVAILABLE, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE APPROPRIATE GOVERNING ENTITY PRIOR TO INSTALLING TEMPORARY ASPHALT SURFACING MATERIAL WITHIN SALT LAKE CITY. WHEN PERMANENT ASPHALT BECOMES AVAILABLE, THE CONTRACTOR SHALL REMOVE THE TEMPORARY ASPHALT, FURNISH AND INSTALL THE PERMANENT ASPHALT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING ENTITY FROM THE DATE OF COMPLETION.

10. SAFETY  
THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA, STATE, COUNTY AND OTHER GOVERNING ENTITY REQUIREMENTS.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS.

### 11. DUST CONTROL

THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO THE GOVERNING ENTITY STANDARDS. USE OF HYDRANT WATER OR PUMPING FROM CITY-OWNED CANALS OR STORM DRAINAGE FACILITIES IS NOT ALLOWED FOR DUST CONTROL ACTIVITIES WITHOUT WRITTEN APPROVAL OF THE PUBLIC UTILITIES DIRECTOR.

### 12. DEWATERING

ALL ON-SITE DEWATERING ACTIVITIES MUST BE APPROVED IN WRITING BY PUBLIC UTILITIES. PROPOSED OUTFALL LOCATIONS AND ESTIMATED FLOW VOLUME CALCULATIONS MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADEQUATE MEASURES MUST BE TAKEN TO REMOVE ALL SEDIMENT PRIOR TO DISCHARGE. PUBLIC UTILITIES MAY REQUIRE ADDITIONAL MEASURES FOR SEDIMENT CONTROL AND REMOVAL.

### 13. PROJECT LIMITS

THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.

### 14. WATER, FIRE, SANITARY SEWER AND STORM DRAINAGE UTILITIES

- A. INSPECTIONS -  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE ANY WATER, SEWER, BACKFLOW AND DRAINAGE INSPECTION 48-HOURS IN ADVANCE TO WHEN NEEDED. CONTACT 483-6727 TO SCHEDULE INSPECTIONS.

- B. DAMAGE TO EXISTING UTILITIES -  
THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR, MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE, TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.

### C. UTILITY LOCATIONS -

CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING AND AVOIDING ALL UTILITIES AND SERVICE LATERALS, AND FOR REPAIRING ALL DAMAGE THAT OCCURS TO THE UTILITIES DUE TO THE CONTRACTORS ACTIVITIES. CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, MATERIAL AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLES A MINIMUM OF 300-FOOT AHEAD OF SCHEDULED CONSTRUCTION IN ORDER TO IDENTIFY POTENTIAL CONFLICTS AND PROBLEMS WITH FUTURE CONSTRUCTION ACTIVITIES. EXISTING UTILITY INFORMATION OBTAINED FROM SLC PUBLIC UTILITIES MAPS MUST BE ASSUMED AS APPROXIMATE AND REQUIRING FIELD VERIFICATION. CONTACT BLUE STAKES OR APPROPRIATE OWNER FOR COMMUNICATION LINE LOCATIONS.

### D. UTILITY RELOCATIONS -

FOR UTILITY CONFLICTS REQUIRING MAINLINE RELOCATIONS, THE CONTRACTOR MUST NOTIFY THE APPLICABLE UTILITY COMPANY OR USER A MINIMUM OF 72-HOURS IN ADVANCE. A ONE-WEEK MINIMUM NOTIFICATION IS REQUIRED FOR CONFLICTS REQUIRING THE RELOCATION OF SERVICE LATERALS. ALL RELOCATIONS ARE SUBJECT TO APPROVAL FROM THE APPLICABLE UTILITY COMPANY AND/OR USER.

### E. FIELD CHANGES -

NO ROADWAY, UTILITY ALIGNMENT OR GRADE CHANGES ARE ALLOWED FROM THE APPROVED CONSTRUCTION PLANS/DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE SLC PUBLIC UTILITIES DIRECTOR. CHANGES TO HYDRANT LOCATIONS AND/OR FIRE LINES MUST BE REVIEWED AND APPROVED BY THE SALT LAKE CITY OR SALT LAKE COUNTY FIRE DEPARTMENT (AS APPLICABLE TO THE PROJECT) AND PUBLIC UTILITIES.

### F. PUBLIC NOTICE TO PROJECTS IN THE PUBLIC WAY -

FOR APPROVED PROJECTS THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND DISTRIBUTE WRITTEN NOTICE TO ALL RESIDENTS LOCATED WITHIN THE PROJECT AREA AT LEAST 72-HOURS PRIOR TO CONSTRUCTION. WORK NO BE CONDUCTED WITHIN COMMERCIAL OR INDUSTRIAL AREAS MAY REQUIRE A LONGER NOTIFICATION PERIOD AND ADDITIONAL CONTRACTOR COORDINATION WITH PROPERTY OWNERS. THE WRITTEN NOTICE IS TO BE APPROVED BY THE SLC PUBLIC UTILITIES PROJECT ENGINEER.

### G. PUBLIC NOTICE FOR WATER MAIN SHUT DOWNS -

THROUGH THE SLC PUBLIC UTILITIES INSPECTOR AND WITH THE PUBLIC UTILITIES PROJECT ENGINEER APPROVAL, SLC PUBLIC UTILITIES MUST BE CONTACTED AND APPROVED FOR WATER MAIN SHUTDOWNS. ONCE APPROVED THE CONTRACTOR MUST NOTIFY ALL EFFECTED USERS BY WRITTEN NOTICE A MINIMUM OF 48-HOURS (RESIDENTIAL) AND 72-HOURS (COMMERCIAL/INDUSTRIAL) PRIOR TO THE WATER MAIN SHUT DOWN. PUBLIC UTILITIES MAY REQUIRE LONGER NOTICE PERIODS.

### H. WATER AND SEWER SEPARATION -

IN ACCORDANCE WITH UTAH'S DEPARTMENT OF HEALTH REGULATIONS, A MINIMUM TEN-FOOT HORIZONTAL AND 1.5-FOOT VERTICAL (WITH WATER ON TOP) SEPARATION IS REQUIRED. IF THESE CONDITIONS CANNOT BE MET, STATE AND SLC PUBLIC UTILITIES APPROVAL IS REQUIRED. ADDITIONAL CONSTRUCTION MEASURES WILL BE REQUIRED FOR THESE CONDITIONS.

### I. SALVAGE -

ALL METERS MUST BE RETURNED TO PUBLIC UTILITIES, AND AT PUBLIC UTILITIES REQUEST ALL SALVAGED PIPE AND/OR FITTINGS MUST BE RETURNED TO SLC PUBLIC UTILITIES (483-6727) LOCATED AT 1530 SOUTH WEST TEMPLE.

### J. SEWER MAIN AND LATERAL CONSTRUCTION REQUIREMENTS -

SLC PUBLIC UTILITIES MUST APPROVE ALL SEWER CONNECTIONS. ALL SEWER LATERALS 6-INCHES AND SMALLER MUST WYE INTO THE MAINS PER SLC PUBLIC UTILITIES REQUIREMENTS. ALL 8-INCH AND LARGER SEWER CONNECTIONS MUST BE PETITIONED FOR AT PUBLIC UTILITIES (483-6762) AND CONNECTED AT A MANHOLE. INSIDE DROPS IN MANHOLES ARE NOT ALLOWED. A MINIMUM 4-FOOT BURY DEPTH IS REQUIRED ON ALL SEWER MAINS AND LATERALS. CONTRACTOR SHALL INSTALL INVERT COVERS IN ALL SEWER MANHOLES WITHIN THE PROJECT AREA.

CONTRACTOR TO PROVIDE AIR PRESSURE TESTING OF SEWER MAINS IN ACCORDANCE WITH PIPE MANUFACTURERS RECOMMENDATIONS AND SALT LAKE CITY PUBLIC UTILITIES REQUIREMENTS. ALL PVC SEWER MAIN AND LATERAL TESTING SHALL BE IN ACCORDANCE WITH UTAH FIRE LBN-8-6-98 RECOMMENDED PRACTICE FOR LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE. CONTRACTOR SHALL PROVIDE SEWER LATERAL WATER TESTING AS REQUIRED BY THE SALT LAKE CITY PUBLIC UTILITIES PROJECT ENGINEER OR INSPECTOR. A MINIMUM OF 9-FEET OF HEAD

PRESSURE IS REQUIRED AS MEASURED VERTICALLY FROM THE HIGH POINT OF THE PIPELINE AND AT OTHER LOCATIONS ALONG THE PIPELINE AS DETERMINED BY THE SLC PUBLIC UTILITIES PROJECT ENGINEER OR INSPECTOR. TESTING TIME WILL BE NO LESS THAN AS SPECIFIED FOR THE AIR TEST DURATION IN TABLE I ON PAGE 12 OF UTAH-8-6-98. AIR TEST SUBJECT TO WATER TESTING SHALL BE FULLY VISIBLE TO THE INSPECTOR DURING TESTING. TESTING MUST BE PERFORMED IN THE PRESENCE OF A SLC PUBLIC UTILITIES REPRESENTATIVE. ALL VISIBLE LEAKAGE MUST BE REPAIRED TO THE SATISFACTION OF THE SLC PUBLIC UTILITIES ENGINEER OR INSPECTOR.

K. WATER AND FIRE MAIN AND SERVICE CONSTRUCTION REQUIREMENTS -  
SLC PUBLIC UTILITIES MUST APPROVE ALL FIRE AND WATER SERVICE CONNECTIONS. A MINIMUM 3-FOOT SEPARATION IS REQUIRED BETWEEN ALL WATER AND FIRE SERVICE TAPS INTO THE MAIN. ALL CONNECTIONS MUST BE MADE MEETING SLC PUBLIC UTILITIES REQUIREMENTS. A 5-FOOT MINIMUM BURY DEPTH (FINAL GRADE TO TOP OF PIPE) IS REQUIRED ON ALL WATER/FIRE LINES UNLESS OTHERWISE APPROVED BY PUBLIC UTILITIES. WATER LINE THRUST BLOCKS AND RESTRAINTS ARE AS PER SLC APPROVED DETAIL DRAWINGS AND SPECIFICATIONS. ALL EXPOSED NUTS AND BOLTS WILL BE COATED WITH CHEVRON FM1 GREASE PLUS MINIMUM 8 MIL THICKNESS PLASTIC. PROVIDE STAINLESS STEEL NUTS, BOLTS AND WASHERS FOR HIGH GROUNDWATER / SATURATED CONDITIONS AT FLANGE FITTINGS, ETC.

ALL WATERLINES INSTALLATIONS AND TESTING TO BE IN ACCORDANCE WITH AWWA SECTIONS C600, C601, C651, C206, C200, C900, C303 AWWA MANUAL M11 AND ALL OTHER APPLICABLE AWWA, UPWS, ASTM AND ANSI SPECIFICATIONS RELEVANT TO THE INSTALLATION AND COMPLETION OF THE PROJECT. AMENDMENT TO SECTION C600 SECTION 4.1.1; DOCUMENT TO READ MINIMUM TEST PRESSURE SHALL NOT BE LESS THAN 200 P.S.I. GAUGED TO A HIGH POINT OF THE PIPELINE BEING TESTED. ALL MATERIALS USED FOR WATERWORKS PROJECTS TO BE RATED FOR 150 P.S.I. MINIMUM OPERATING PRESSURE.

CONTRACTOR IS TO INSTALL WATER SERVICE LINES, METER YOKES AND/OR ASSEMBLIES AND METER BOXES WITH LIDS LOCATED AS APPROVED ON THE PLANS PER APPLICABLE PUBLIC UTILITIES DETAIL DRAWINGS. METER BOXES ARE TO BE PLACED IN THE PARK STRIPS PERPENDICULAR TO THE WATERMAIN SERVICE TAP CONNECTION. ALL WATER METERS, CATCH BASINS, CLEANOUT BOXES, MANHOLES, DOUBLE CHECK VALVE DETECTOR ASSEMBLIES, REDUCED PRESSURE DETECTOR ASSEMBLIES AND BACKFLOW PREVENTION DEVICES MUST BE LOCATED OUTSIDE OF ALL APPROACHES, DRIVEWAYS, PEDESTRIAN WALKWAYS AND OTHER TRAVELED WAYS UNLESS OTHERWISE APPROVED ON PLANS.

BACKFLOW PREVENTORS ARE REQUIRED ON ALL IRRIGATION AND FIRE SPRINKLING TAPS PER PUBLIC UTILITIES AND SLC FIRE DEPARTMENT REQUIREMENTS. CONTRACTORS SHALL INSTALL BACKFLOW PREVENTION DEVICES ON FIRE SPRINKLER CONNECTIONS. DOUBLE CHECK VALVE ASSEMBLIES SHALL BE INSTALLED ON CLASS 1, 2 AND 3 SYSTEMS. REDUCED PRESSURE PRINCIPLE VALVES SHALL BE INSTALLED ON CLASS 4 SYSTEMS. ALL FIRE SPRINKLING BACKFLOW ASSEMBLIES SHALL CONFORM TO ASSE STANDARD 1048, 1013, 1047 AND 1015. THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM BACKFLOW PREVENTION TESTS PER SALT LAKE CITY STANDARDS AND SUBMIT RESULTS TO PUBLIC UTILITIES. ALL TESTS MUST BE PERFORMED AND SUBMITTED TO PUBLIC UTILITIES WITHIN 10 DAYS OF INSTALLATION OR WATER TURN-ON. BACKFLOW TEST FORMS ARE AVAILABLE AT PUBLIC UTILITIES CONTRACTS AND AGREEMENTS OFFICE.

### L. GENERAL WATER, SEWER AND STORM DRAIN REQUIREMENTS -

ALL WATER, FIRE AND SEWER SERVICES STUBBED TO A PROPERTY MUST BE USED OR WATER AND FIRE SERVICES MUST BE KILLED AT THE MAIN AND SEWER LATERALS CAPPED AT THE SEWER MAIN PER PUBLIC UTILITIES REQUIREMENTS. ALLOWABLE SERVICES TO BE KEPT WILL BE AS DETERMINED BY THE PUBLIC UTILITIES PROJECT ENGINEER. ALL WATER AND FIRE SERVICE KILLS AND SEWER LATERAL CAPS ARE TO BE KILLED AND CAPPED AS DETERMINED AND VISUALLY VERIFIED BY THE ON-SITE PUBLIC UTILITIES INSPECTOR.

ALL MANHOLES, HYDRANTS, VALVES, CLEAN-OUT BOXES, CATCH BASINS, METERS, ETC. MUST BE BASED ON LOADED TO FINAL GRADE PER PUBLIC UTILITIES STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS AND VALVES PER PUBLIC UTILITIES STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUDED OR SEALED AS REQUIRED BY THE PUBLIC UTILITIES INSPECTOR. ALL MANHOLE, CLEANOUT BOX OR CATCH BASIN DISCONNECTIONS MUST BE REPAIRED AND GROUDED AS REQUIRED BY THE ON-SITE PUBLIC UTILITIES INSPECTOR.

CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION. UTILITY TRENCHING, BACKFILL, AND PIPE ZONE SHALL BE AS PER SLC PUBLIC UTILITIES, UTILITY INSTALLATION DETAIL "A".

### M. STREETLIGHTS

ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT SALT LAKE CITY STANDARDS AND N.E.C. (NATIONAL ELECTRICAL CODE). A STREET LIGHTING PLAN SHOWING WIRING LOCATION, WIRING TYPE, VOLTAGE, POWER SOURCE LOCATION, CONDUIT SIZE AND LOCATION SHALL BE SUBMITTED TO SALT LAKE CITY AND BE APPROVED PRIOR TO CONSTRUCTION. NO DEVIATION OF STREETLIGHT, PULL BOXES, CONDUITS, AND ETC. LOCATIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE STREET LIGHTING PROGRAM MANGER OR HIS/HER REPRESENTATIVE.

STREETLIGHT POLES SHALL NOT BE INSTALLED WITHIN 5 FEET OF A FIRE HYDRANT. THE LOCATION SHALL BE SUCH THAT IT DOES NOT WITHIN THE OPERATION OF THE FIRE HYDRANT AND WATER LINE OPERATION VALVES.

STREETLIGHTS AND STREETLIGHT POLES SHALL NOT BE INSTALLED WITHIN 5 FEET FROM ANY TREE, UNLESS WRITTEN APPROVAL IS RECEIVED FROM THE STREET LIGHTING PROGRAM MANAGER. BRANCHES MAY NEED TO BE PRUNED AS DETERMINED BY THE INSPECTOR IN THE FIELD AT THE TIME OF INSTALLATION.

STREETLIGHTS SHALL NOT BE INSTALLED WITHIN 5 FEET FROM THE EDGE OF ANY DRIVEWAY.

ANTI-SEIZE LUBRICANT SHALL BE USED ON ALL COVER BOLTS AND GROUND BOX BOLTS.

ALL EXISTING STREET LIGHTING SHALL REMAIN OPERATIONAL DURING CONSTRUCTION UNLESS APPROVED IN WRITING BY THE STREET LIGHTING PROGRAM MANAGER.

IF APPROVED PLANS REQUIRE REMOVAL OF STREETLIGHT POLES DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POLES WHILE THEY ARE DOWN. THE POLES SHALL BE STORED IN A SECURE LOCATION AND RAISED OFF THE GROUND. PICTURES SHALL BE TAKEN BEFORE THE POLES ARE REMOVED TO DOCUMENT THE CONDITION OF THE POLES BEFORE THEY WERE REMOVED. PICTURES SHALL BE SENT TO THE CITY. CONTRACTOR SHALL ENSURE THE POLES ARE IN SIMILAR CONDITION WHEN RESTORED TO THEIR ORIGINAL LOCATIONS.

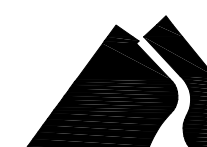
IF THE APPROVED PLANS REQUIRE PERMANENT REMOVAL OF STREETLIGHT POLES THE CONTRACTOR SHALL COORDINATE SALVAGE AND/OR DISPOSAL OF POLES, FIXTURES, AND LIGHTS WITH THE STREET LIGHTING PROGRAM MANAGER.

ANY STRUCTURE SUCH AS BLOCK WALLS, CHAIN LINK FENCES, RETAINING WALLS, ETC. SHALL LEAVE A MINIMUM OF EIGHTEEN (18) INCHES TO THE FACE OF THE STREETLIGHT POLE ON ALL SIDES.

ALL SERVICE POINTS SHALL BE COORDINATED WITH ROCKY MOUNTAIN POWER AND WHENEVER POSSIBLE BE LOCATED NEAR THE CENTER OF THE CIRCUIT. SERVICE POINTS SHALL BE SHOWN ON THE PLANS WITH A SCHEMATIC FROM ROCKY MOUNTAIN POWER. POLE LOCATIONS AS SHOWN ON THE APPROVED PLANS MAY BE ADJUSTED IN THE FIELD BY THE STREET LIGHTING PROGRAM MANAGER AT THE TIME OF INSTALLATION AT NO ADDITIONAL COST TO THE CITY.

IT SHALL BE REQUIRED THAT IN THE ABSENCE OF AN EXISTING WORKABLE CIRCUIT TO ATTACH TO, THAT ALL INSTALLATIONS SHALL REQUIRE A NEW SERVICE FOR OPERATION OF THE CIRCUITS. IN THIS CASE THE DEVELOPER AND/OR HIS ENGINEER SHALL CONTACT ROCKY MOUNTAIN POWER FOR INSTALLATION OF NEW SERVICE.

WHENEVER THERE IS AN OVERHEAD UTILITY THAT MAY CONFLICT WITH THE INSTALLATION OF THE STREETLIGHT CIRCUITS AND/OR STREETLIGHT POLES, THOSE CONFLICTS MUST BE RESOLVED BETWEEN THE DEVELOPER AND THE UTILITIES INVOLVED BEFORE THE STREETLIGHT BASES ARE CONSTRUCTED AT NO EXPENSE TO THE CITY OR ROCKY MOUNTAIN POWER. THE RESOLUTION MUST BE APPROVED BY THE CITY AND ROCKY MOUNTAIN POWER.



# TWIN PEAKS

Engineering & Land Surveying

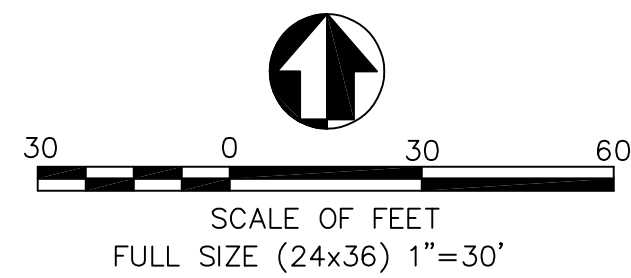
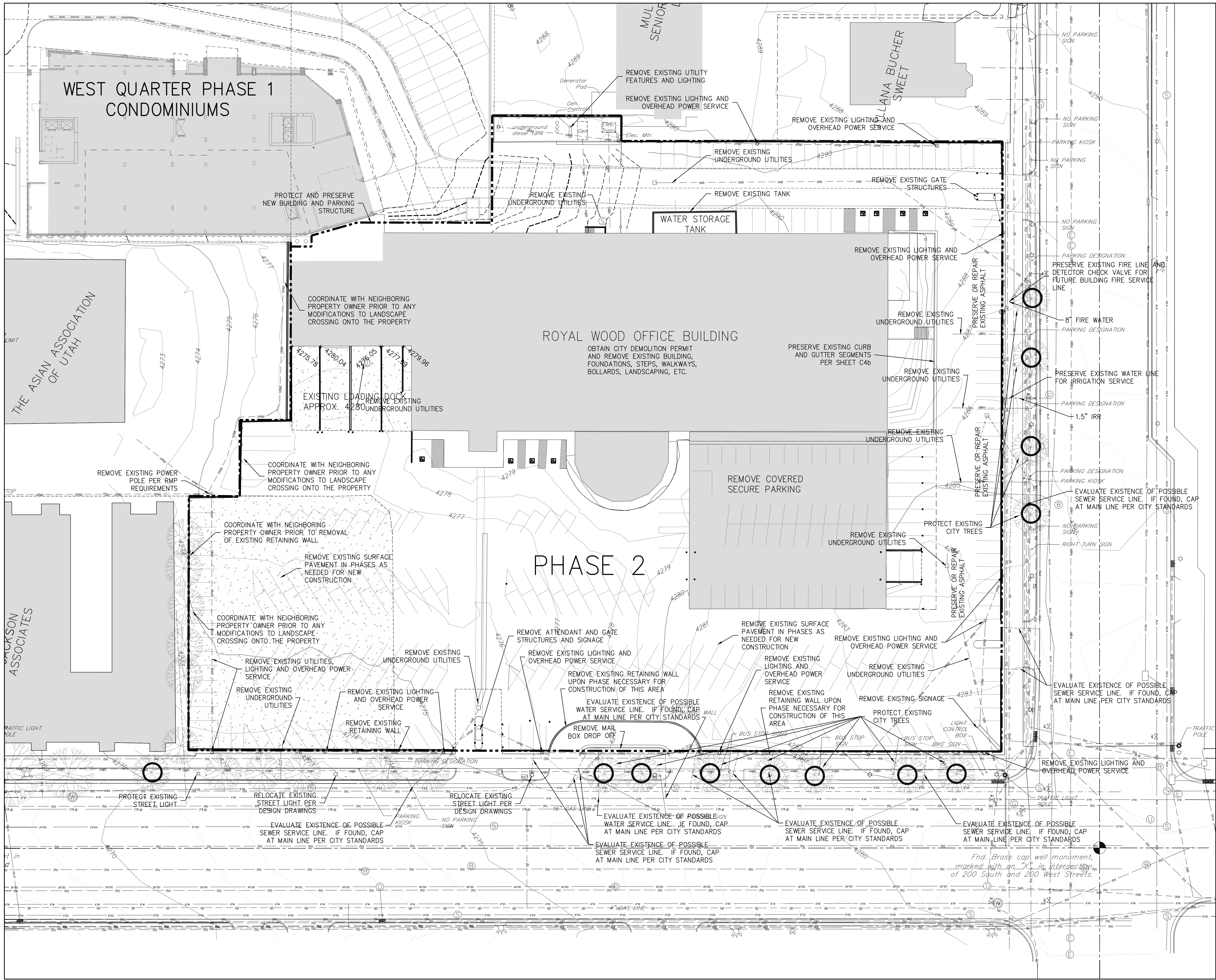
2264 NORTH 1450 EAST LEHI, UTAH 84043

(801) 450-3511









NOTES:  
UTILITIES AND OTHER EXISTING FEATURES ARE SHOWN TO THE EXTENT OF RECORDS AVAILABLE AT THE TIME THE DRAWING WAS PREPARED.

CONTRACTOR SHALL CONTACT BLUESTAKES AND OTHER NECESSARY LOCATING SERVICES TO VERIFY ACTUAL LOCATION OF ALL BURIED FEATURES PRIOR TO DIGGING.

CONTRACTOR SHALL ENSURE THAT ALL UTILITIES ARE DISCONNECTED AND OUT OF SERVICE PRIOR TO DISTURBANCE.

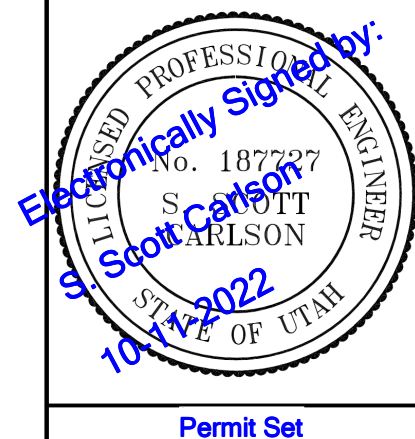
DISTURBANCE OR REMOVAL OF ANY FEATURES IN THE PUBLIC RIGHT OF WAY MAY NOT OCCUR EXCEPT WITH SPECIFIC PERMIT FROM CITY OR UTILITY COMPANY OR FROM UTA

CONSTRUCTION OF THIS SITE WILL OCCUR IN PHASES. SOME FEATURES OF THE EAST PORTION OF THE SITE (SUCH AS SURFACE PAVEMENT, RETAINING STRUCTURES, PARKING LOT LIGHTING, DRAINAGE FEATURES, ETC.) MAY REMAIN UNTIL A FUTURE PHASE.

INSTALL PROTECTION FENCE AROUND EXISTING TREES TO REMAIN IN CITY RIGHT OF WAY PER CITY FORESTER REQUIREMENTS.

LEGEND

- = ROAD CENTER LINE & INTERSECTION MONUMENT
- = BOUNDARY LINE & SET #5 REBAR & CAP "PLS 356548"
- = CENTERLINE FIBER OPTIC (fo)
- = CENTERLINE WATER (8 w)
- = CENTERLINE STORM DRAIN (sd)
- = CENTERLINE GAS (4 g)
- = CENTERLINE 8" SEWER PIPE (8 ss)
- = UNDERGROUND ELECTRICAL (uwp)
- = OVERHEAD ELECTRIC LINES (ohp)
- = BUILDING PERIMETER LINES
- = LIGHT POLES
- = POWER POLES
- = TREES
- = TREE PROTECTION ZONE (TPZ) FENCING INSTALL PER CITY FORESTRY REQUIREMENTS EVALUATE CONDITION OF ALL TREES AND COORDINATE PRESERVATION / REMOVAL / REPLACEMENT WITH LANDSCAPE ARCHITECT AND CITY FORESTER.



Permit Set

THE WEST QUARTER  
BLOCK C- SITE PREPARATION PLAN  
260 WEST 200 SOUTH  
SALT LAKE CITY, UTAH



2264 NORTH 1450 EAST LEHI, UTAH 84043  
(801) 450-3511

DWG DATE: JULY 2021

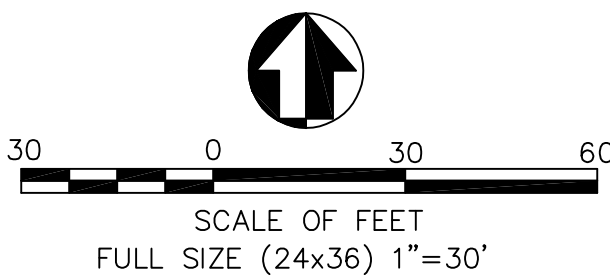
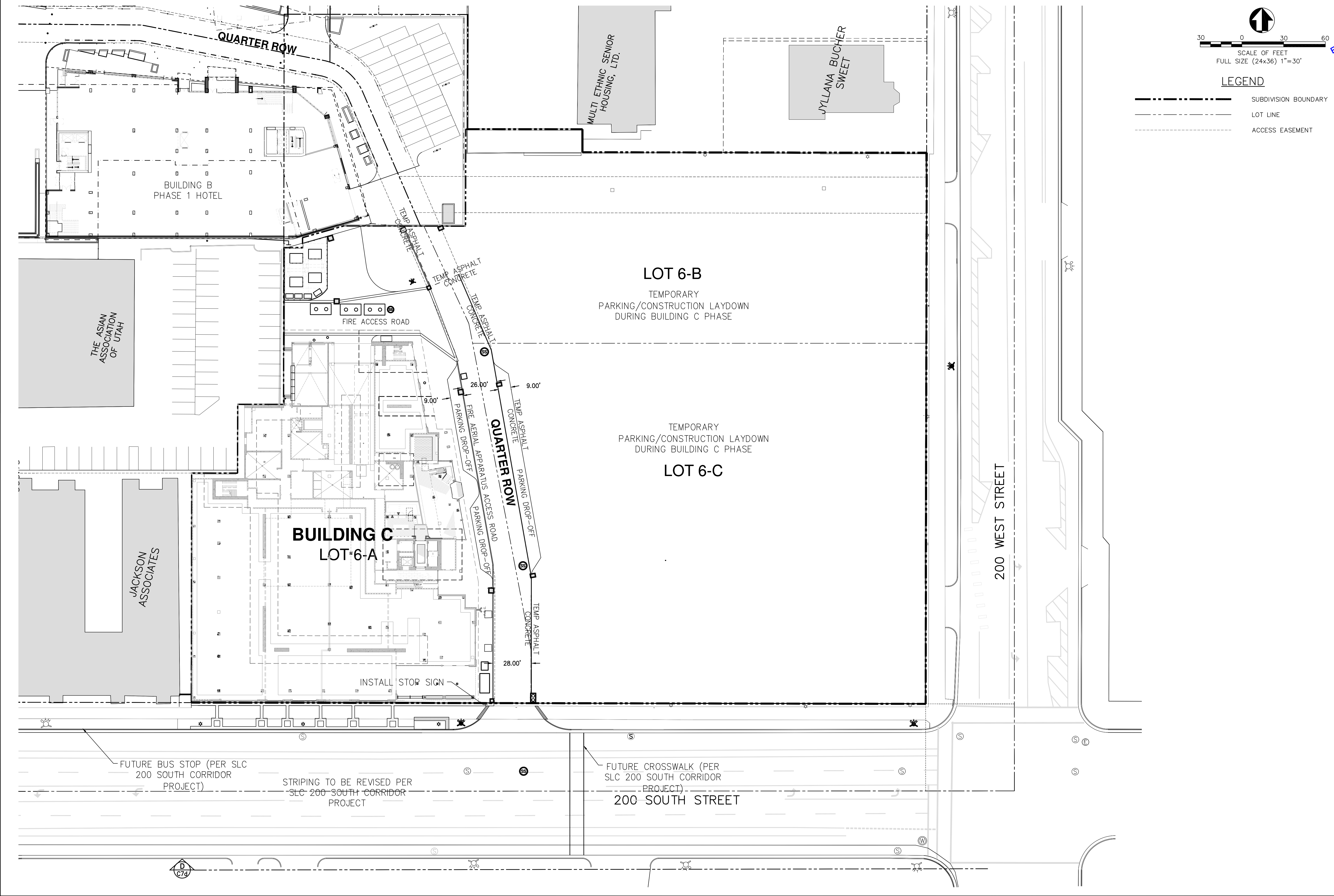
PLOT DATE: 10 October 2022

SHEET



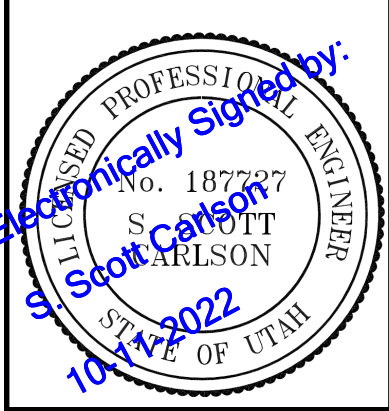
C1a





LEGEND

|     |                      |
|-----|----------------------|
| --- | SUBDIVISION BOUNDARY |
| --- | LOT LINE             |
| --- | ACCESS EASEMENT      |



Permit Set

**THE WEST QUARTER  
BLOCK C- SITE PLAN  
260 WEST 200 SOUTH  
SALT LAKE CITY, UTAH**

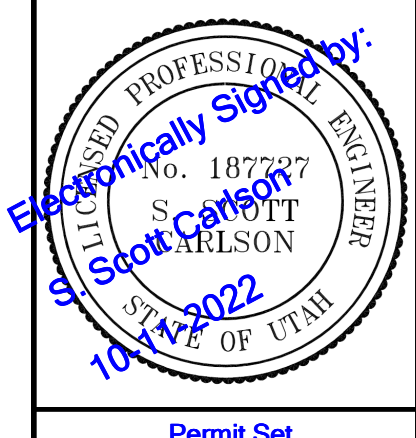
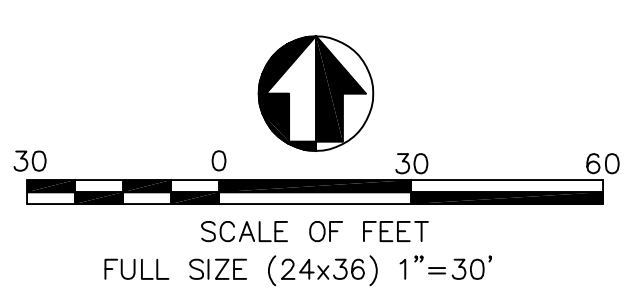
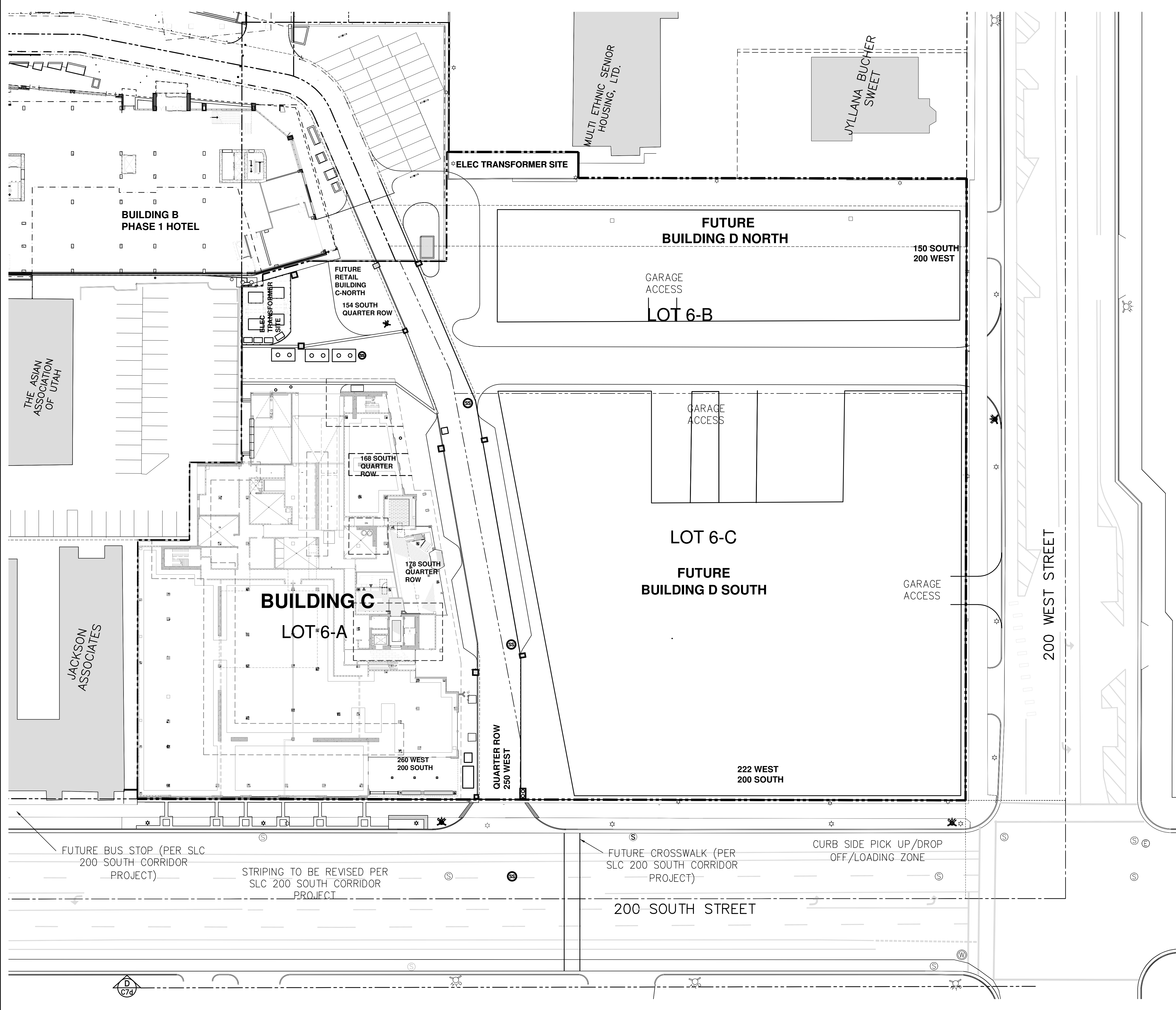
**TWIN PEAKS**  
Engineering & Land Surveying  
2264 NORTH 1450 EAST LEHI, UTAH 84043  
(801) 450-3511

DWG. DATE: October 2022  
PLOT. DATE: 10 October 2022

SHEET

**C4**





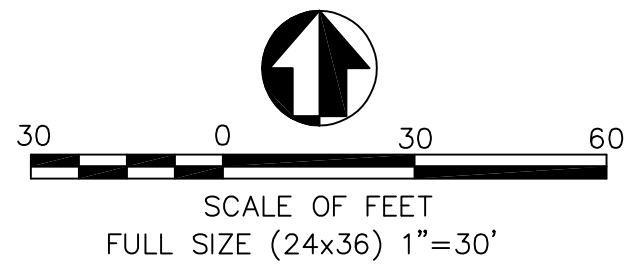
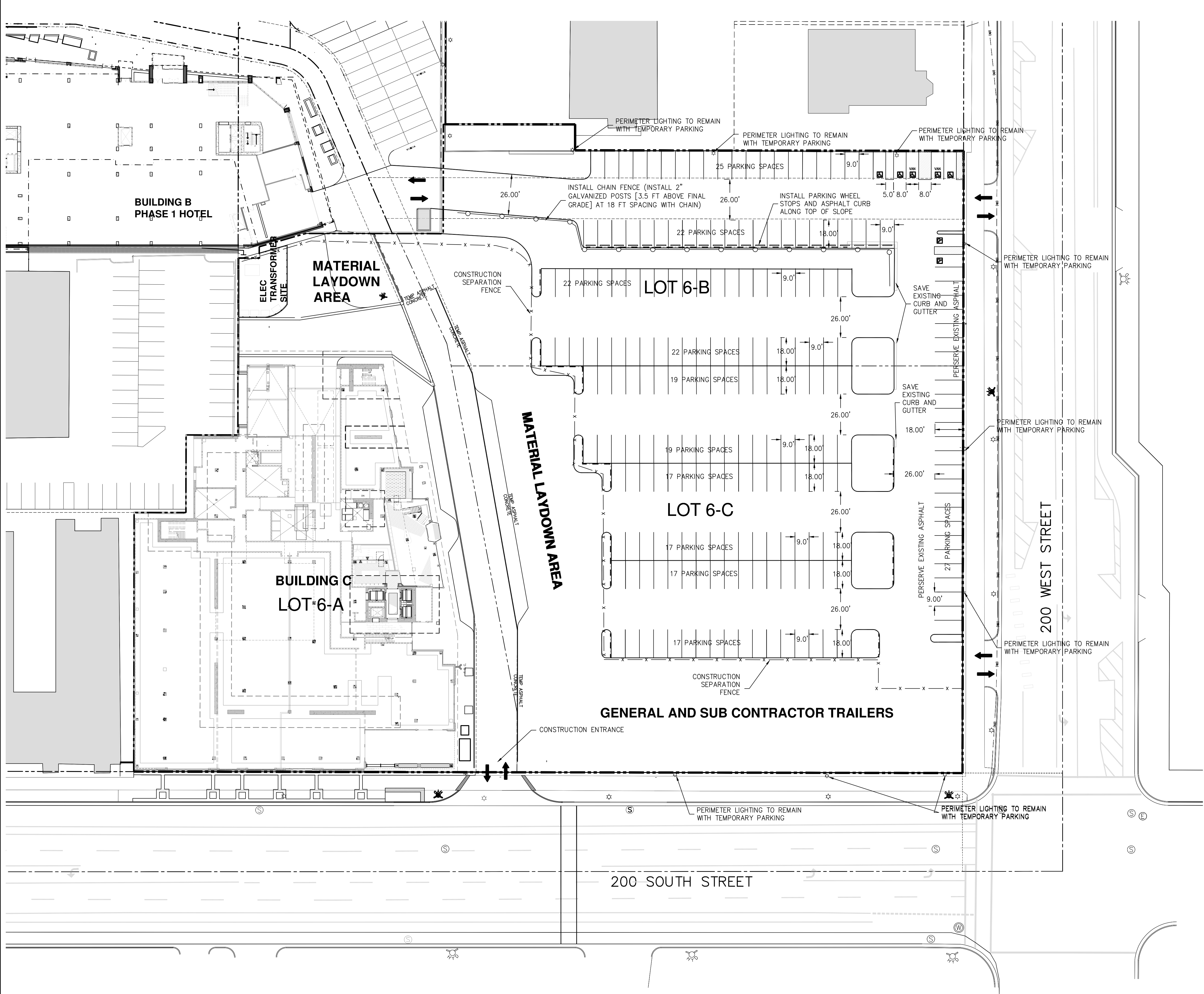
**THE WEST QUARTER  
BLOCK CD- SITE PLAN  
260 WEST 200 SOUTH  
SALT LAKE CITY, UTAH**

**TWIN PEAKS**  
Engineering & Land Surveying  
2264 NORTH 1450 EAST LEHI, UTAH 84043  
(801) 450-3511

DWG DATE: October 2022  
PLOT DATE: 10 October 2022

SHEET  
**C4a**





NOTES:  
TEMPORARY PARKING AREA, CONSTRUCTION MATERIAL LAYDOWN AREA, AND CONTRACTOR TRAILER AREA SHALL BE FILLED BASED ON FINISHED GRADES SHOWN ON C6 WITH COMPACTED FILL MATERIAL, THEN SURFACED WITH 4" COMPACTED ROAD BASE AND 2" ASPHALT.

PARKING SPACES AND ISLANDS SHOWN SHALL BE PAINTED WITH 4" YELLOW STRIPES

PRESERVE EXISTING ASPHALT EAST OF EXISTING ROYALWOOD BUILDING AND COVERED PARKING



THE WEST QUARTER  
BLOCK CD- PHASED TEMPORARY PARKING  
260 WEST 200 SOUTH  
SALT LAKE CITY, UTAH

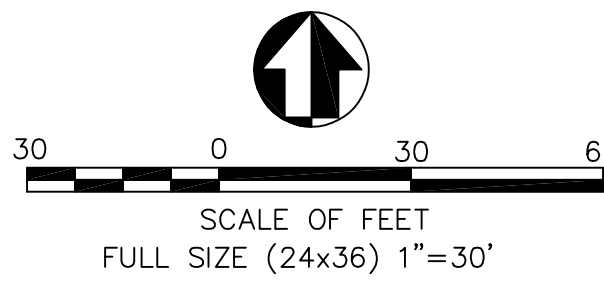
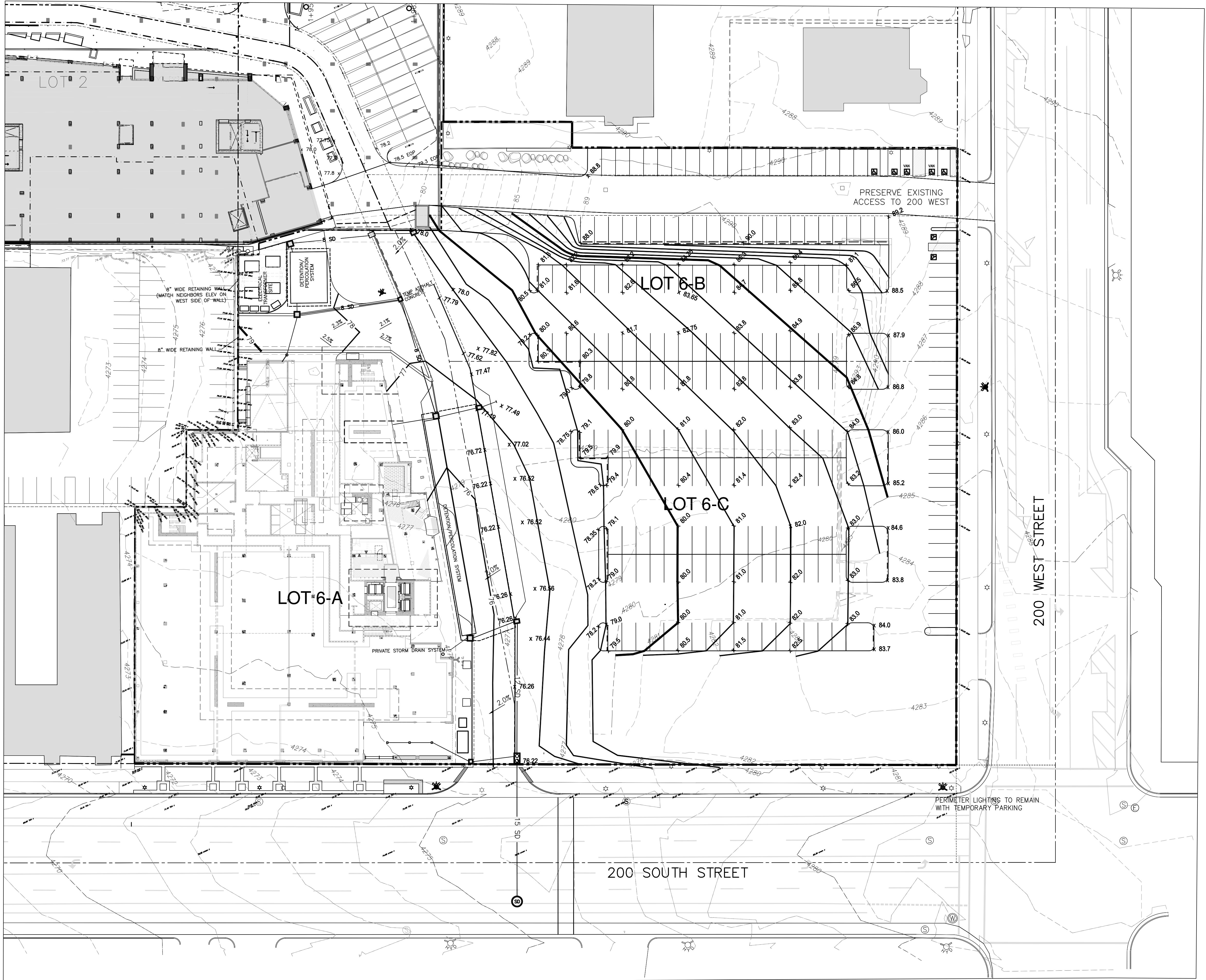


DWG. DATE: October 2022  
PLOT. DATE: 10 October 2022

SHEET

C4b





LEGEND  
81.30 BOW x = EXISTING POINTS  
x 81.94 = DESIGN POINTS

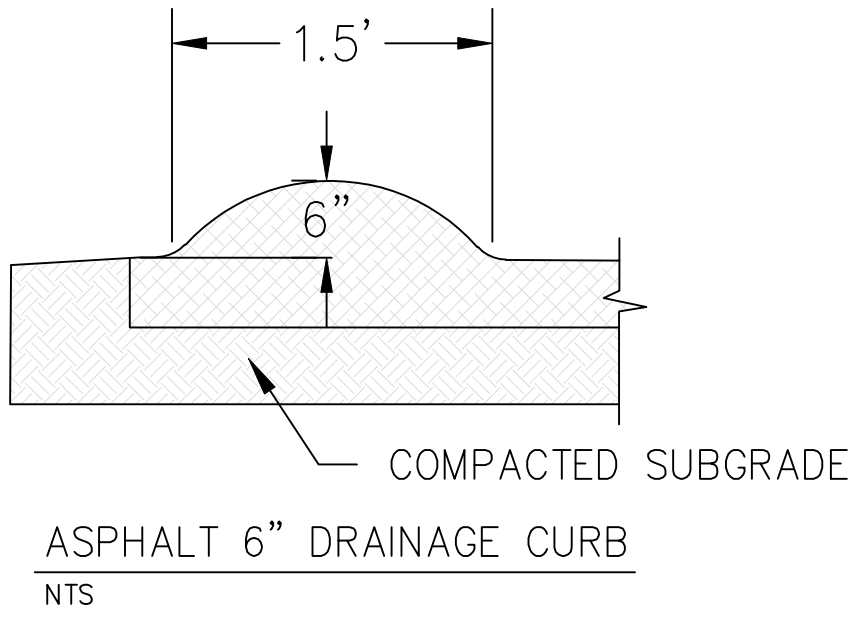
— = PROPOSED CONTOURS  
--- = EXISTING CONTOURS  
- - - - = PROPOSED ASPHALT CURB

NOTES:  
TEMPORARY PARKING AREA, CONSTRUCTION MATERIAL LAYDOWN AREA, AND CONTRACTOR TRAILER AREA SHALL BE FILLED BASED ON FINISHED GRADES SHOWN ON C6 WITH COMPACTED FILL MATERIAL, THEN SURFACED WITH 4" COMPACTED ROAD BASE AND 2" ASPHALT.

PARKING SPACES AND ISLANDS SHOWN SHALL BE PAINTED WITH 4" YELLOW STRIPES

PRESERVE EXISTING ASPHALT EAST OF EXISTING ROYALWOOD BUILDING AND COVERED PARKING

CATCH BASIN GRATES TO MATCH IRON AGE DESIGNS - RAIN MODEL / STYLE AND BE RATED FOR H20 LOADING COORDINATE WITH LANDSCAPE FOR STYLE ACCEPTANCE



THE WEST QUARTER  
BLOCK C- GRADING PLAN  
260 WEST 200 SOUTH  
SALT LAKE CITY, UTAH

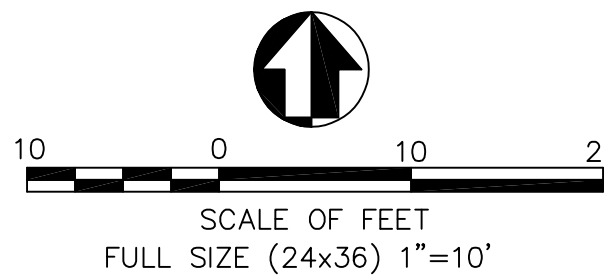
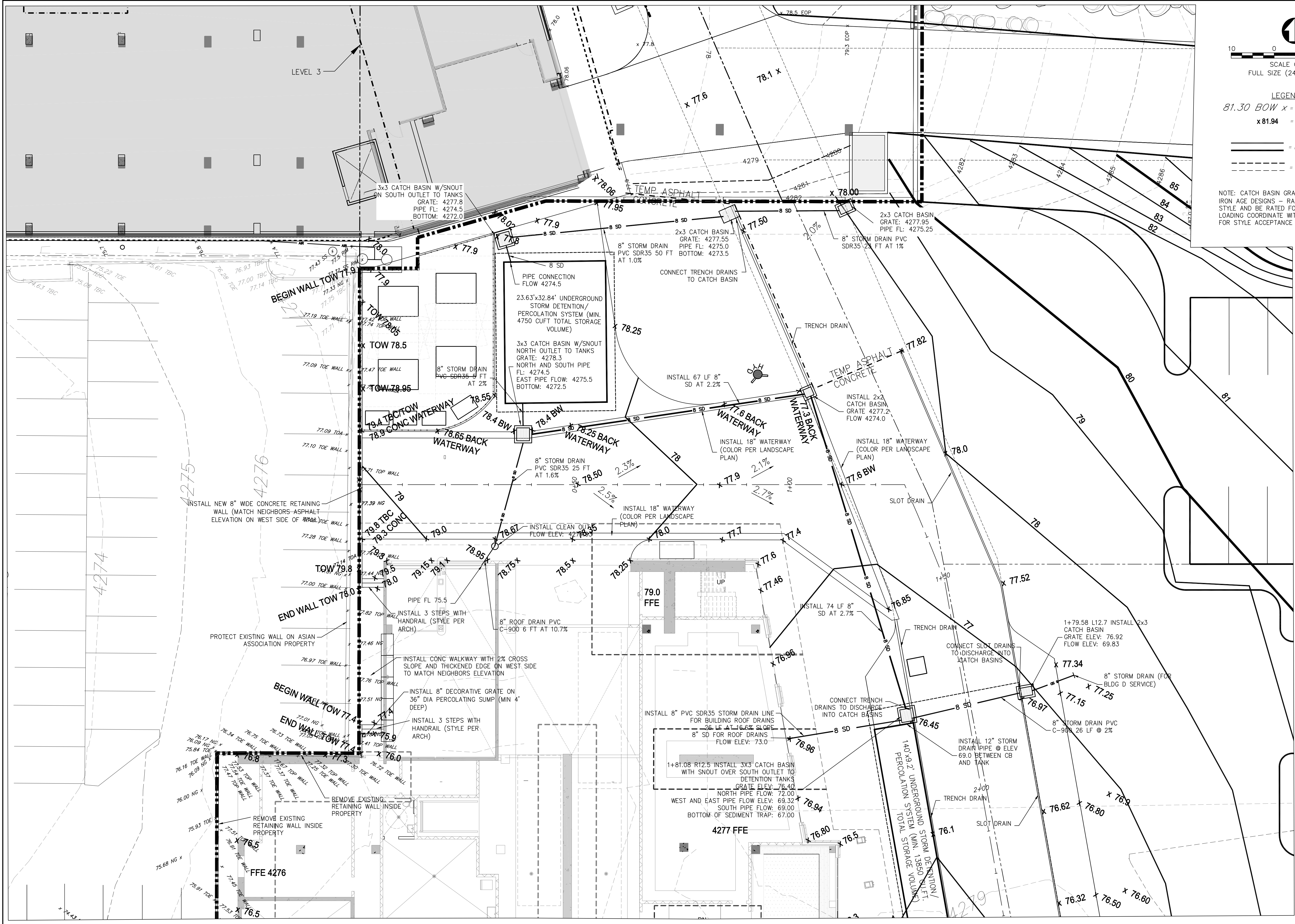
**TWIN PEAKS**  
Engineering & Land Surveying  
2264 NORTH 1450 EAST LEHI, UTAH 84043  
(801) 450-3511

DWG DATE: October 2022  
PLOT DATE: 10 October 2022

SHEET  
**C6**







LEGEND

81.30 BOW x = EXISTING POINTS

x 81.94 = DESIGN POINTS

— = PROPOSED CONTOURS

- - - = EXISTING CONTOURS

NOTE: CATCH BASIN GRATES TO MATCH IRON AGE DESIGNS - RAIN MODEL / STYLE AND BE RATED FOR H20 LOADING COORDINATE WITH LANDSCAPE FOR STYLE ACCEPTANCE



THE WEST QUARTER  
BLOCK C- GRADING PLAN A  
260 WEST 200 SOUTH  
SALT LAKE CITY, UTAH



DWG DATE: October 2022  
PLOT DATE: 10 October 2022

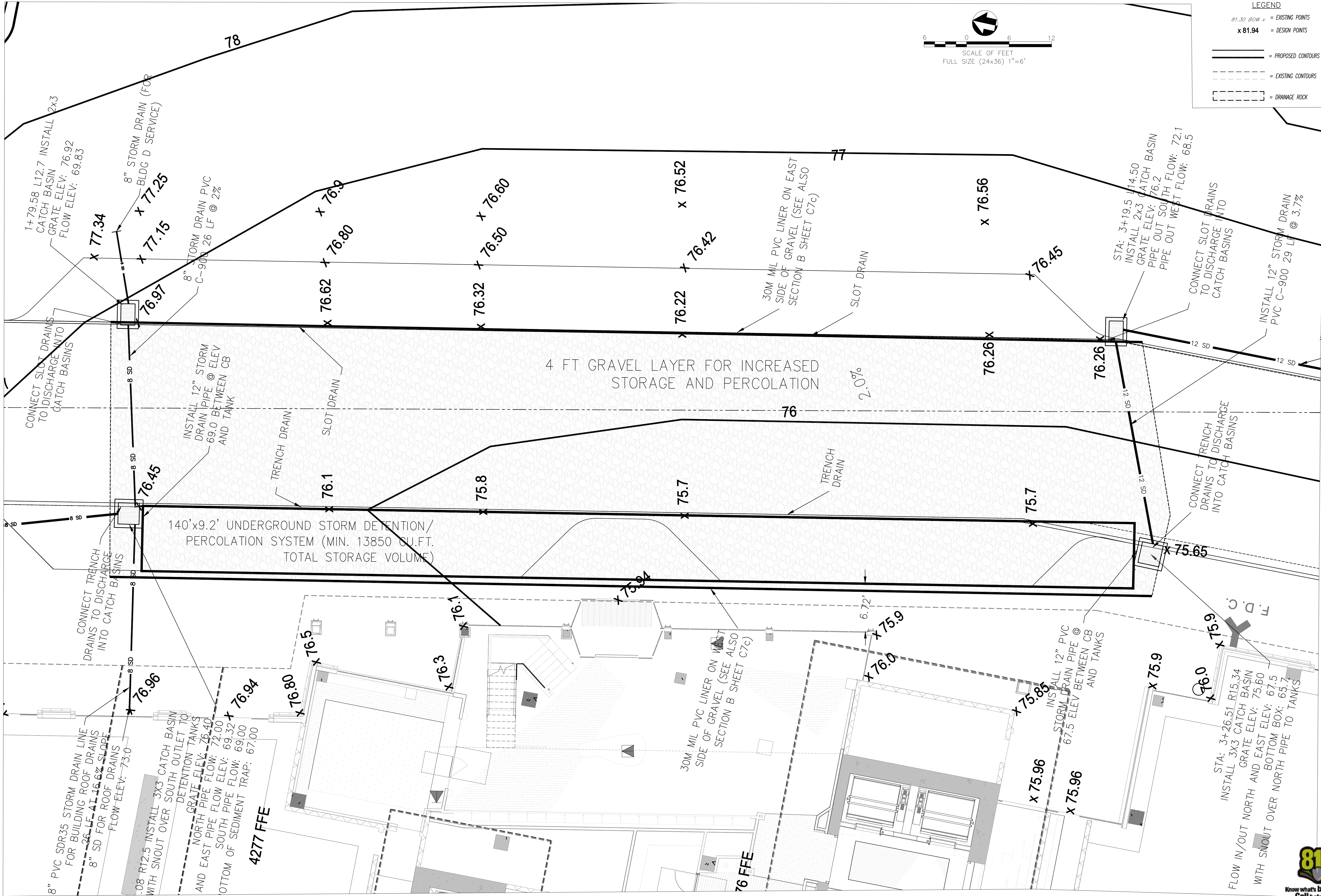
SHEET

C6a





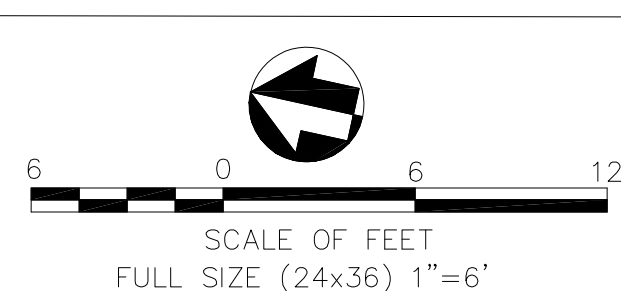




**LEGEND**

81.30 BOW x = EXISTING POINTS  
x 81.94 = DESIGN POINTS

— = PROPOSED CONTOURS  
--- = EXISTING CONTOURS  
[ ] = DRAINAGE ROCK



**THE WEST QUARTER**  
**UNDERGROUND STORM WATER FACILITIES**  
**260 WEST 200 SOUTH**  
**SALT LAKE CITY, UTAH**

**TWIN PEAKS**  
Engineering & Land Surveying  
2264 NORTH 1450 EAST LEHI, UTAH 84043  
(801) 450-3511

DWG DATE: September 27  
PLOT DATE: 04 September 2022

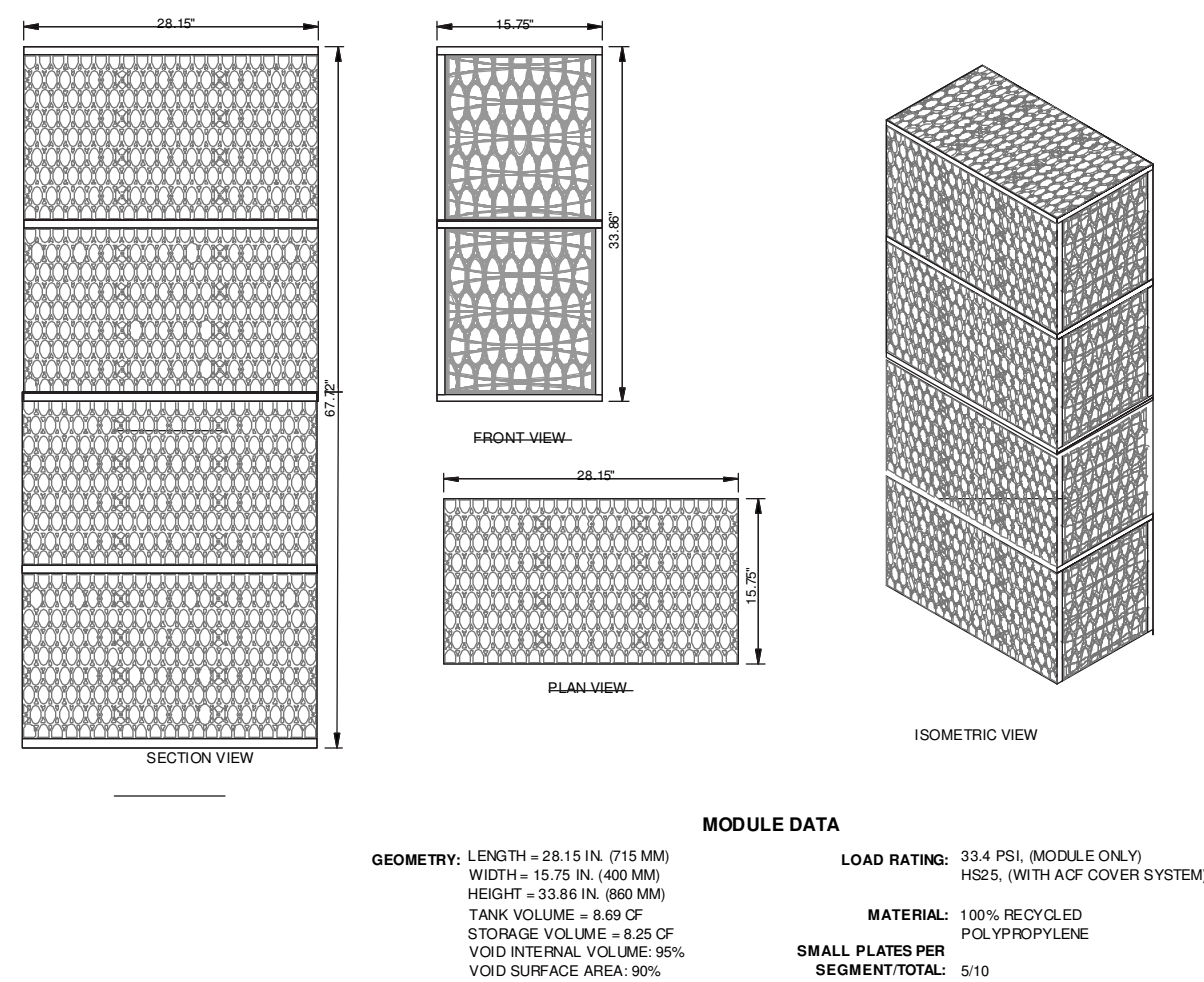
SHEET

**C6c**





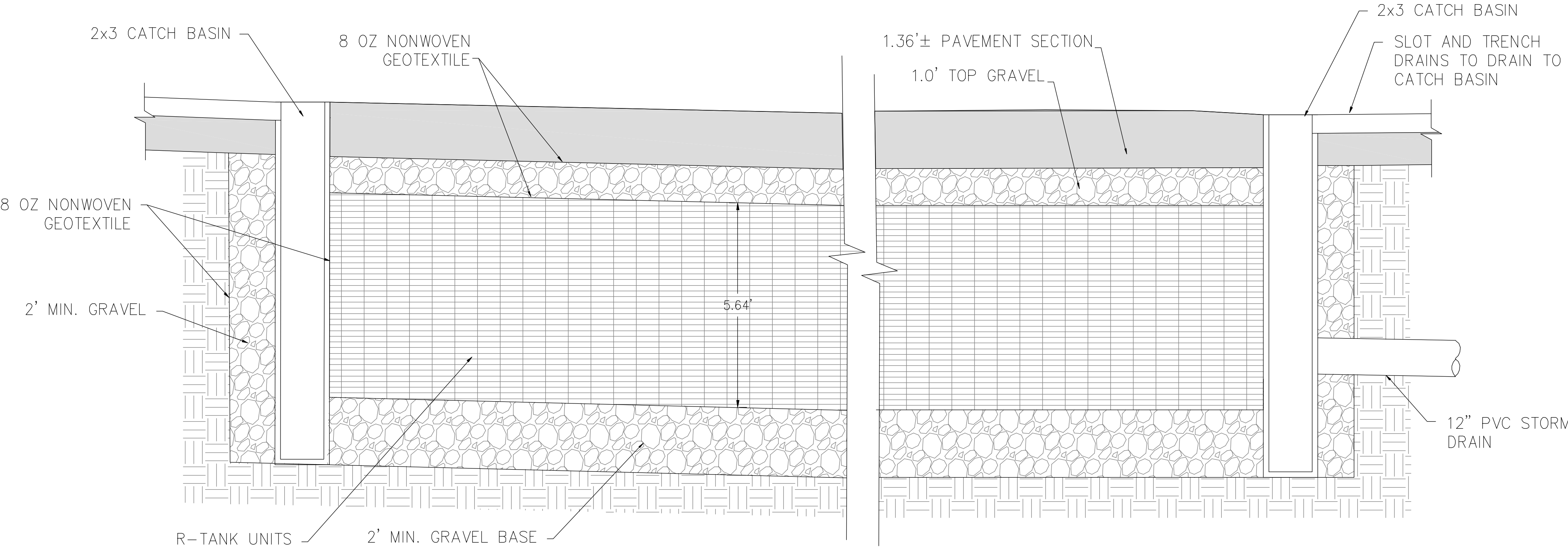
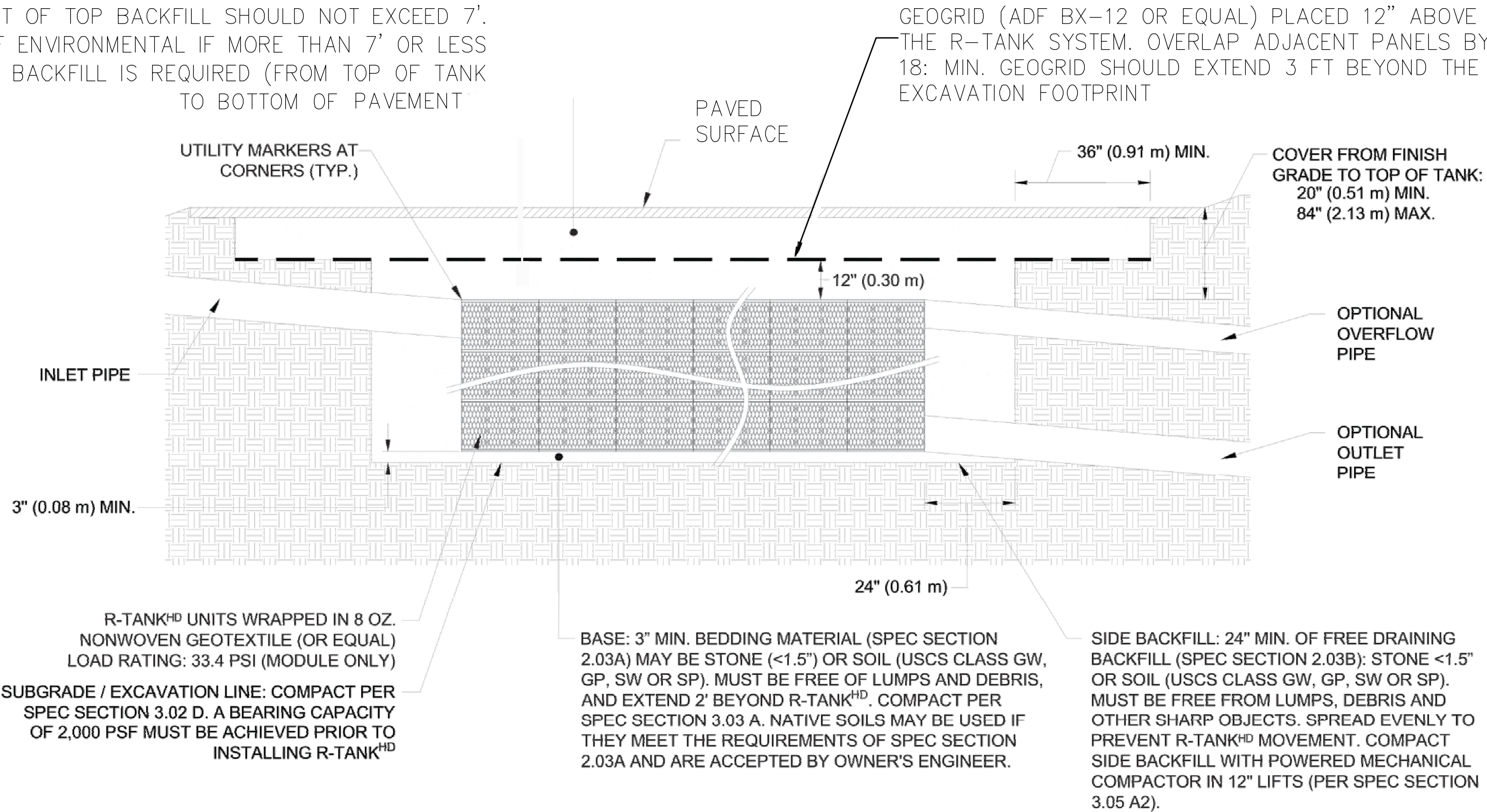
MODULE DRAWING - QUAD



TOTAL COVER: 20" MINIMUM AND 84" MAXIMUM. FIRST 12" MUST BE FREE DRAWING BACKFILL (SPEC SECTION 2.03B): STONE <1.5" OR SOIL (USCS CLASS GW, GP, SW, OR SP). ADDITIONAL FILL MAY BE STRUCTURAL FILL (SPEC SECTION 2.03C): STONE OR SOIL (USCS CLASS SM, SP, SW, GM, GP OR GW) WITH MAX CLAY CONTENT <10% MAX 25% PASSING NO. 200 SIEVE, AND MAX PLASTICITY INDEX OF 4. A MIN. 12" COVER MUST BE MAINTAINED BETWEEN BACKFILL EQUIPMENT AND THE TOP OF THE R-TANK SYSTEM AT ALL TIMES. TOTAL HEIGHT OF TOP BACKFILL SHOULD NOT EXCEED 7'. CONTACT ACF ENVIRONMENTAL IF MORE THAN 7' OR LESS THAN 12" OF TOP BACKFILL IS REQUIRED (FROM TOP OF TANK TO BOTTOM OF PAVEMENT

NOTES:

1. FOR COMPLETE MODULE DATA, SEE APPROPRIATE R-TANK MODULE SHEET.
2. PRE-TREATMENT STRUCTURES NOT SHOWN.
3. FOR INFILTRATION APPLICATIONS. GEOTEXTILE ENVELOPING R-TANK SHALL BE AVF M22 (PER SPEC SECTION 2.02A) AND BASE SHALL BE 2' MIN. UNCOMPACTED FREE DRAINING BACKFILL (SPEC SECTION 2.03A) TOO PROVIDE A LEVEL BASE. SURFACE MUST BE SMOOTH, FREE OF LUMPS OR DEBRIS, AND EXTEND 2' BEYOND R-TANK FOOTPRINT.



R-TANK DETAILS  
NTS

SPECIFICATIONS

| Item                 | Description                              | Value        |
|----------------------|------------------------------------------|--------------|
| Void Area            | Volume available for water storage       | 95%          |
| Surface Area Void    | % of exterior available for infiltration | 90%          |
| Compressive Strength | ASTM D 2412/ ASTM F 2318                 | 33.4 psi     |
| Unit Weight          | Weight of plastic per cubic foot of tank | 3.62 lbs/cf  |
| Rib Thickness        | Thickness of load-bearing members        | 0.18"        |
| Service Temperature  | Safe temperature range for use           | -14 - 167° F |
| Recycled Content     | Use of recycled polypropylene            | 100%         |
| Minimum Cover        | Cover required for HS-20 loading         | 20"          |
|                      | Cover required for HS-25 loading         | 24"          |
| Maximum Cover        | Maximum allowable cover depth            | 6.99'        |



Permit Set

BLOCK 67 - PHASE 2  
UNDERGROUND STORM WATER DETAILS  
260 WEST 200 SOUTH  
SALT LAKE CITY, UTAH



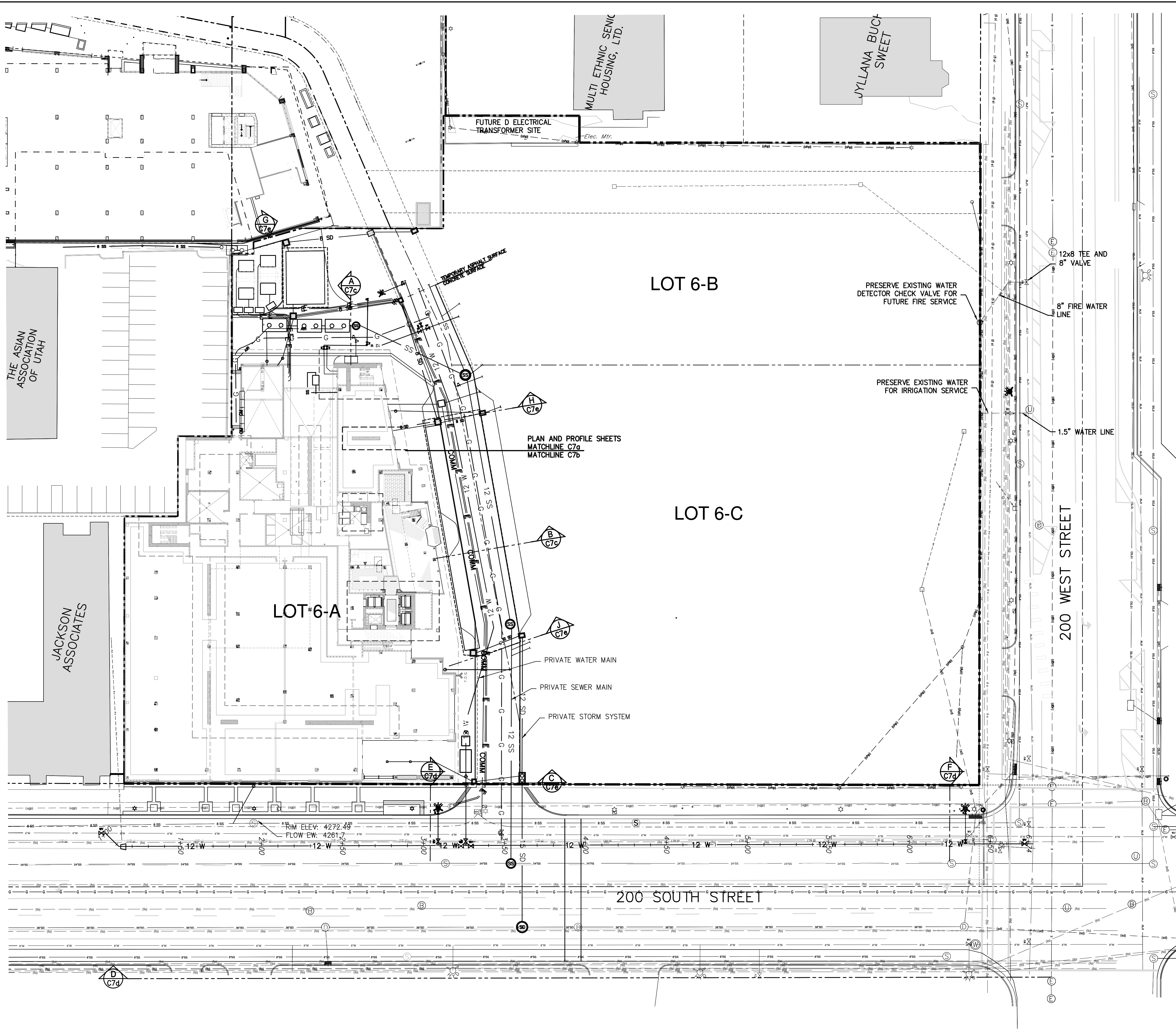
DWG DATE: JULY 2021

PLOT DATE: 06 April 2022

SHEET

C6d





| LEGEND |                                            |
|--------|--------------------------------------------|
|        | = ROAD CENTER LINE & INTERSECTION MONUMENT |
|        | = BOUNDARY LINE                            |
|        | = SANITARY SEWER                           |
|        | = 8" SANITARY SEWER, OR SIZE, AS NOTED     |
|        | = STORM DRAIN                              |
|        | = 8" WATER, OR SIZE AND TYPE AS NOTED      |
|        | = SYRINGA                                  |
|        | = CENTURY LINK                             |
|        | = US WEST                                  |
|        | = ELECTRIC                                 |
|        | = OVERHEAD ELECTRIC                        |
|        | = MOI                                      |
|        | = TRAFFIC STRIPING                         |
|        | = GAS                                      |
|        | = ATT                                      |
|        | = PROPOSED STORM DRAIN                     |
|        | = PROPOSED SEWER                           |
|        | = PROPOSED WATER                           |
|        | = PROPOSED ELECTRICAL CONDUIT              |
|        | = PROPOSED GAS                             |
|        | = PROPOSED COMMUNICATION CONDUITS          |
|        | = SEWER MANHOLE NUMBER                     |
|        | = UNKNOWN MANHOLE                          |
|        | = ELECTRIC MANHOLE                         |
|        | = STORM DRAIN MANHOLE                      |
|        | = SANITARY SEWER MANHOLE                   |
|        | = BELL TELEPHONE MANHOLE                   |
|        | = GAS MANHOLE                              |
|        | = UTILITY BOX AS LABELED                   |
|        | = GUY POLE                                 |
|        | = WATER MANHOLE                            |
|        | = GAS VALVE                                |
|        | = FIRE HYDRANT                             |
|        | = WATER VALVE                              |
|        | = LIGHT POLE                               |
|        | = POWER POLE                               |
|        | = CATCH BASIN                              |
|        | = CURB CATCH BASIN                         |
|        | = SIGN OR FEATURE AS NOTED                 |
|        | = ELECTRIC BOX                             |
|        | = GRAVEL DRAINAGE AREA                     |

NOTE: PROVIDE PROPER VENTILATION FOR GREASE TRAP TO ACCEPTABLE LOCATION. DO NOT COMBINE WITH OTHER BUILDING PLUMBING VENTS

NOTE: FOR ANY INSTALLATION OR RELOCATION OF UTILITY LINES OR OTHER CONSTRUCTION WORK THAT IMPACTS CURB, GUTTER, SIDEWALK OR PAVEMENT:

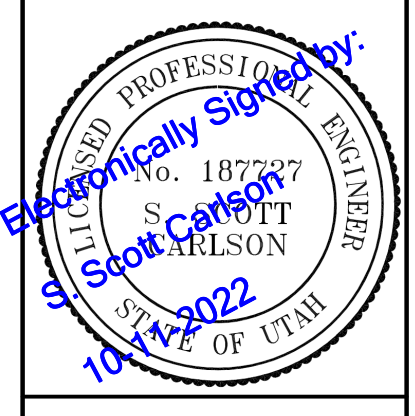
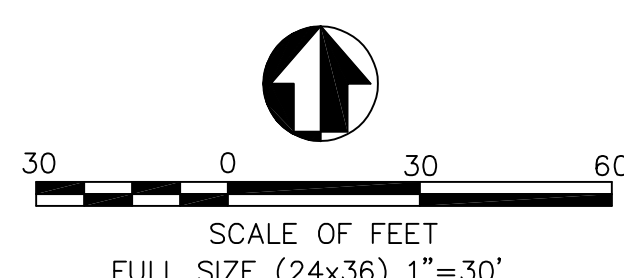
FOLLOW APWA # 231 FOR REPAIR OF SIDEWALK,  
FOLLOW APWA #205 FOR REPAIR OF CURB & GUTTER,  
FOLLOW APWA#255 FOR REPAIR OF ASPHALT  
FOLLOW APWA #225 FOR RADIIUSED DRIVE APPROACHES

REPLACE CURB GUTTER OR SIDEWALK TO NEXT EXISTING JOINT  
WORK WITHIN THE 200 SOUTH STREET RIGHT OF WAY WILL REQUIRE A RIGHT OF WAY PERMIT FROM SLC ENGINEERING. (A PUBLIC RIGHT OF WAY PERMIT FROM SLC ENGINEERING IS SEPARATE FROM PERMITS ISSUED BY OTHER SLC ENTITIES SUCH AS BUILDING SERVICES, PUBLIC UTILITIES ETC. IT MUST BE OBTAINED BY CONTRACTOR WITH BOND INSURANCE AND LICENSE ON FILE WITH THE ENGINEERING OFFICE.)

CITY ORDINANCE 17.48.200 REQUIRES THAT A SEWER LATERAL CANNOT BE PLACED UNTIL THE SUB ROUGH IS IN. IF CONSTRUCTION SEQUENCING REQUIRES THAT THE SEWER LATERALS BE INSTALLED PRIOR TO THE SUB ROUGH, THEN AN EXCEPTION TO THE ORDINANCE WILL NEED TO BE APPROVED BY CITY IN ADVANCE OF LATERAL INSTALLATION.

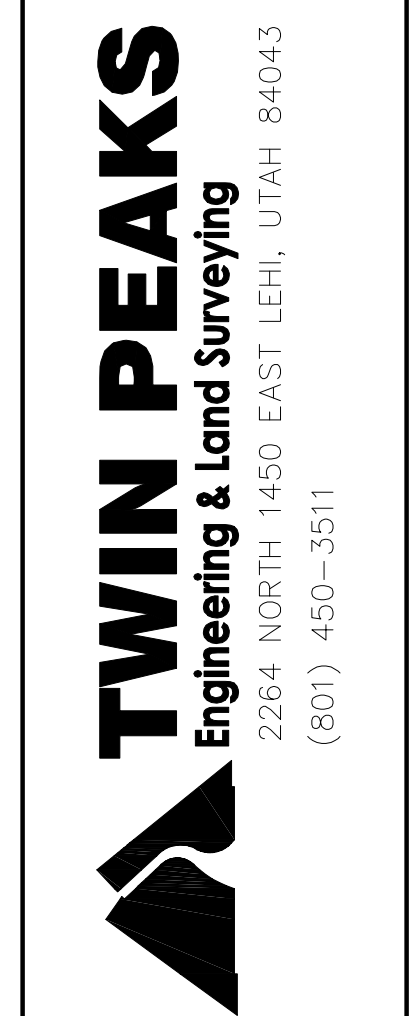
POWER COMPANY, GAS COMPANY AND COMMUNICATION COMPANIES ARE RESPONSIBLE FOR SUBMITTING DESIGN PLANS AS REQUIRED BY TITLE 14 CHAPTER 32 OF THE REVISED ORDINANCES OF SALT LAKE CITY FOR ALL PROPOSED WORK FOR THEIR RESPECTIVE UTILITY LINES IN OR ADJACENT TO THE CITY ROW OR A PUBLIC UTILITIES ROW. PLAN REVIEWS ARE REQUIRED BY THE PUBLIC UTILITIES DEPT. UTILITY COORDINATOR AND THE CITY ENGINEERING PUBLIC WAY PERMIT PLAN REVIEWER.

ALL UTILITIES MUST MEET HORIZONTAL AND VERTICAL CLEARANCE REQUIREMENTS. WATER AND SEWER LINES REQUIRE 10 FEET MINIMUM HORIZONTAL SEPARATION AND 18" MINIMUM VERTICAL SEPARATION. SEWER MUST MAINTAIN 5 FEET MINIMUM HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM ANY NON-WATER UTILITIES. WATER MUST MAINTAIN 3 FEET MINIMUM HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM ANY NON-SEWER UTILITIES



Permit Set

# THE WEST QUARTER BLOCK C - UTILITY PLAN 260 WEST 200 SOUTH SALT LAKE CITY, UTAH



CWG DATE: October 2022  
PLOT DATE: 10 October 2022

SHEET



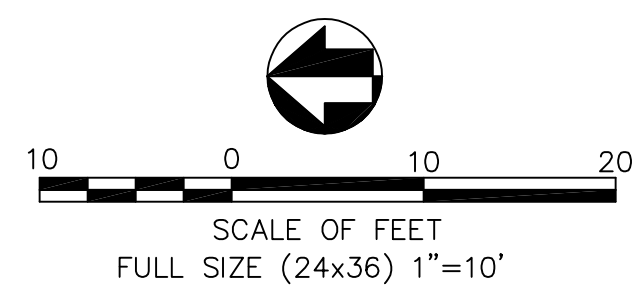
## C7







LOT 6-C



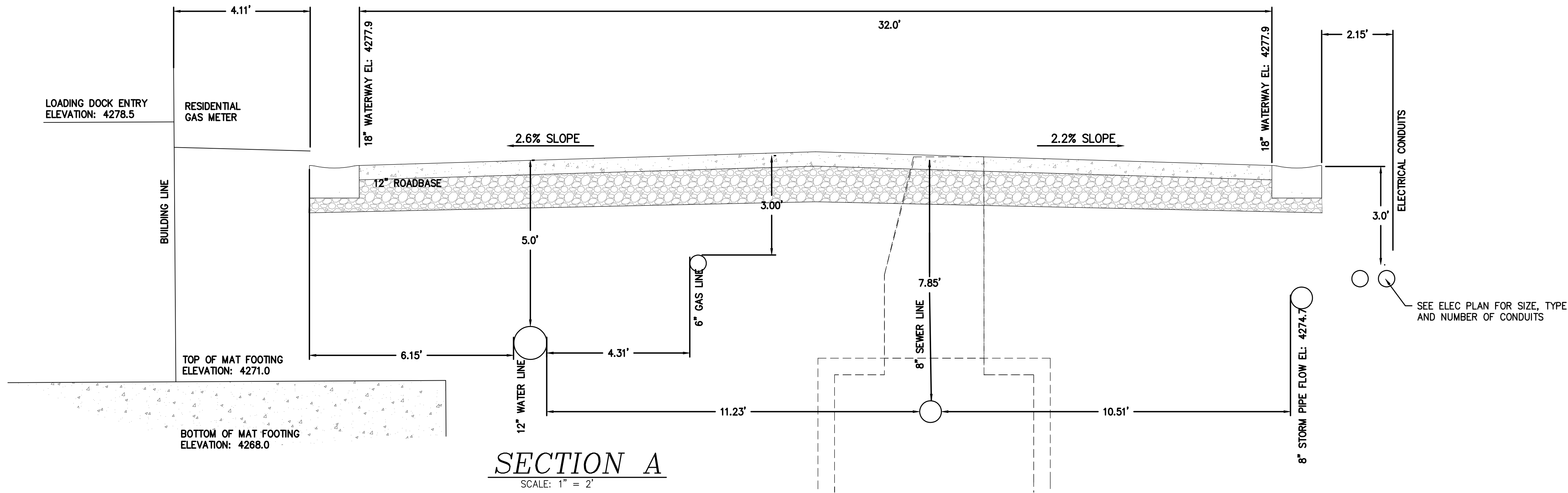
10-11-2022 FOOTING AND FOUNDATION1 REV 5



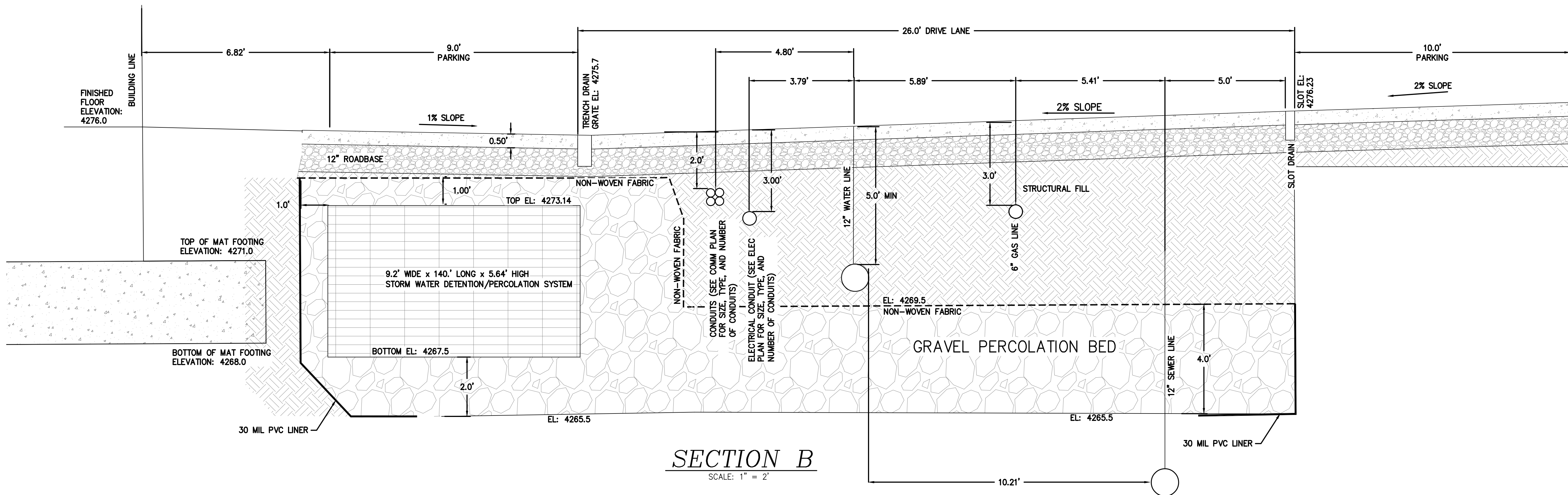
2260+ NORTH 1430 EAST LEHI, UT 84043  
(801) 450-3511

## C7b





SECTION A  
SCALE: 1" = 2'



SECTION B  
SCALE: 1" = 2'

SEE SHEET C7 FOR  
SECTION LOCATIONS



Permit Set

THE WEST QUARTER  
BLOCK C - UTILITY SECTIONS  
260 WEST 200 SOUTH  
SALT LAKE CITY, UTAH



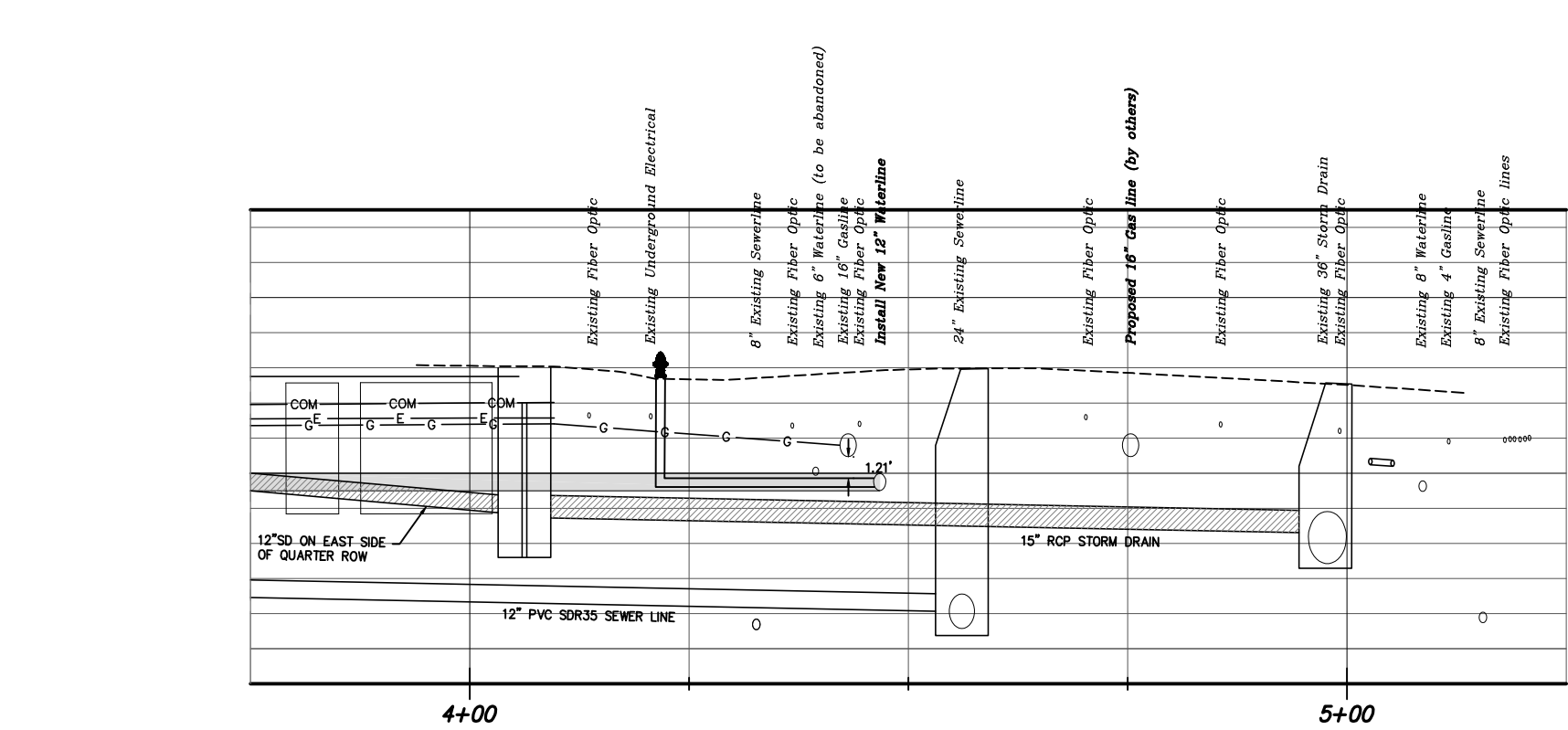
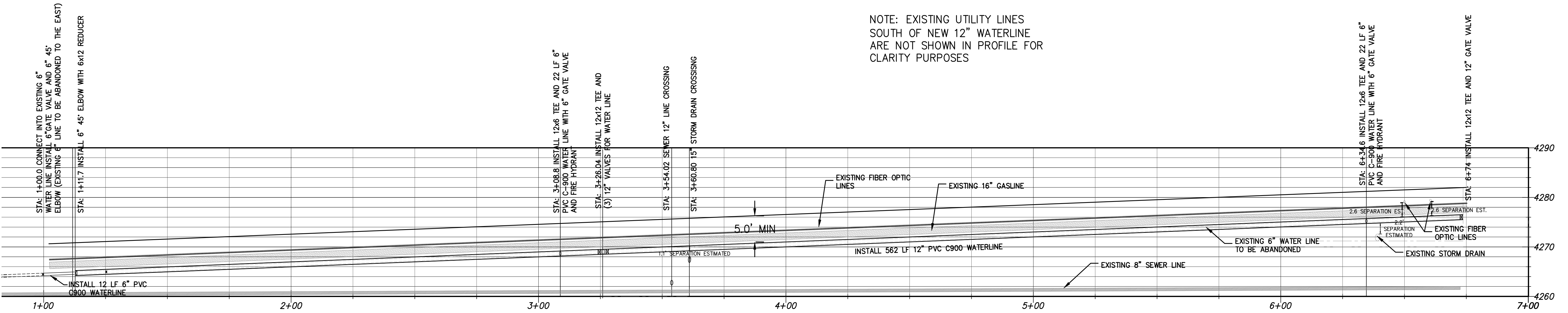
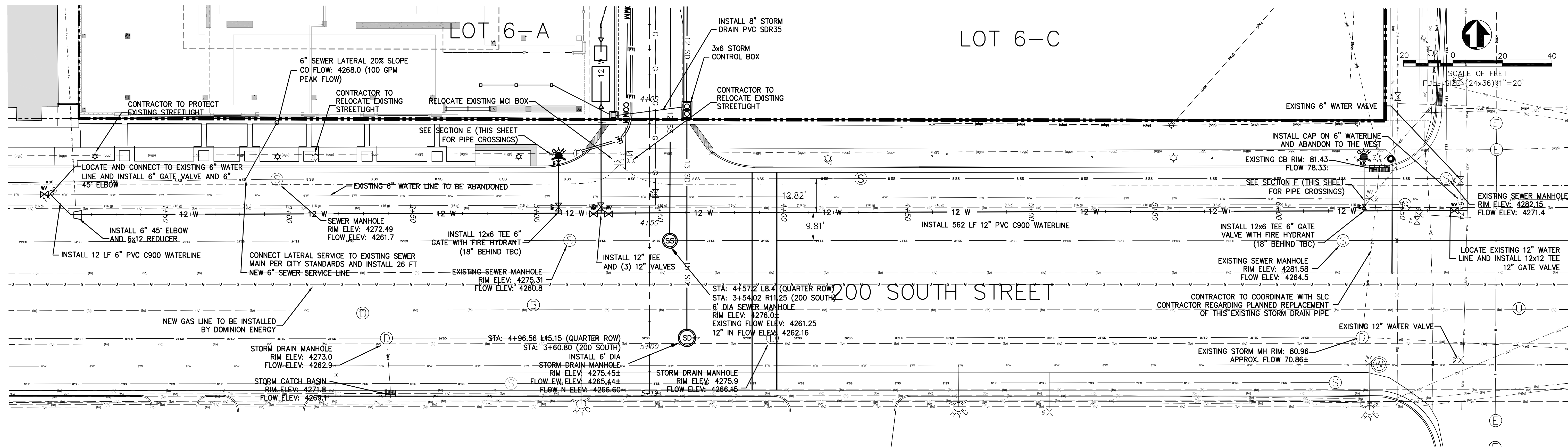
DWG. DATE: September 20

PLOT. DATE: 04 September 2022

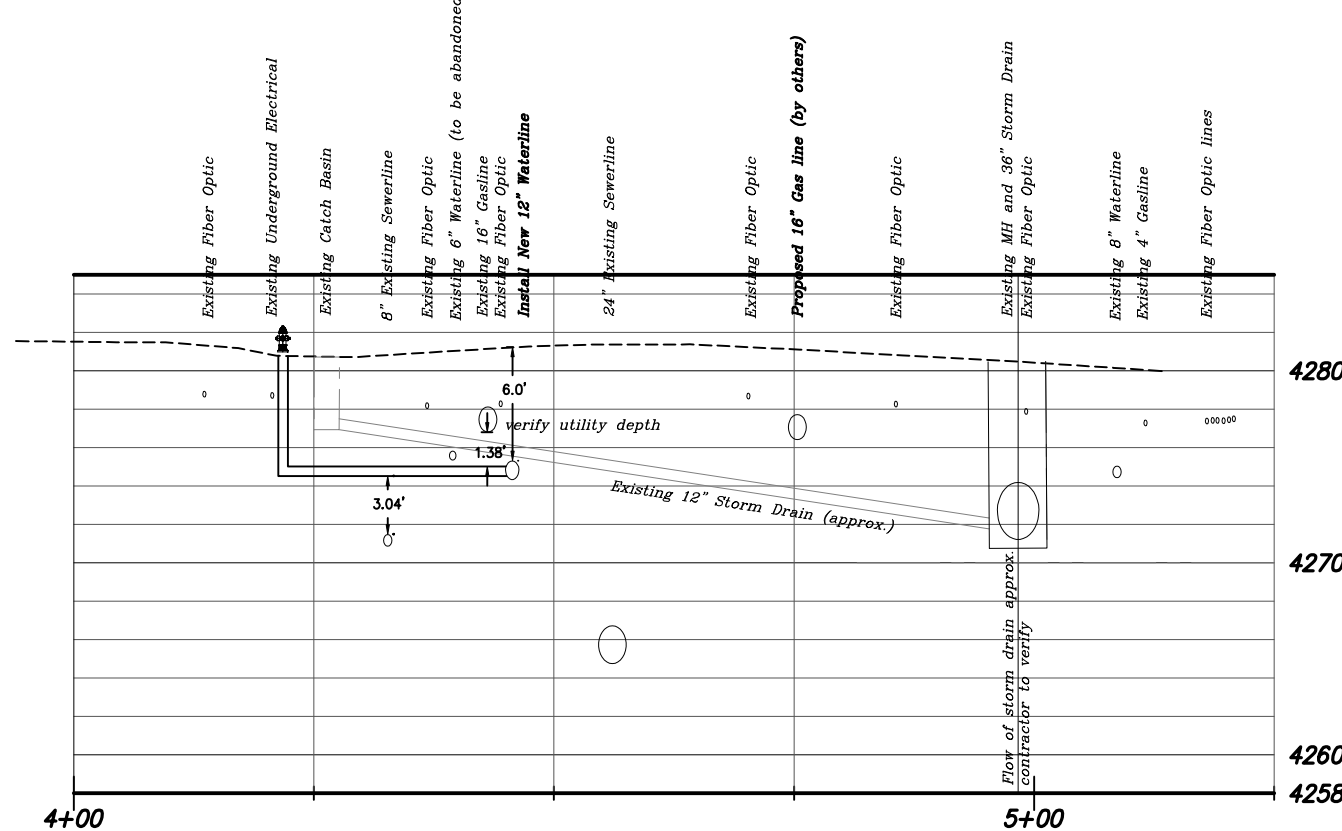
SHEET

C7c





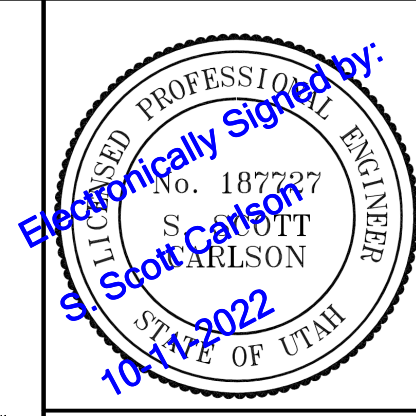
SECTION E  
SCALE: 1" = 20"



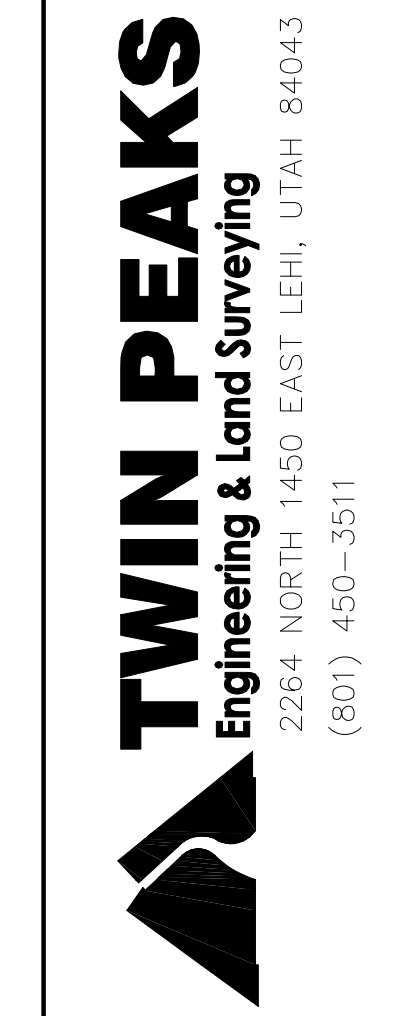
SECTION F  
SCALE: 1" = 20"

NOTE: DEPTH EXISTING DRY UTILITIES IS ESTIMATED CONTRACTOR TO VERIFY UNDERGROUND CONDITIONS PRIOR TO DIGGING

SEE SHEET C7 FOR SECTION LOCATIONS



THE WEST QUARTER  
BLOCK C - UTILITY PLAN 200 SOUTH  
260 WEST 200 SOUTH  
SALT LAKE CITY, UTAH

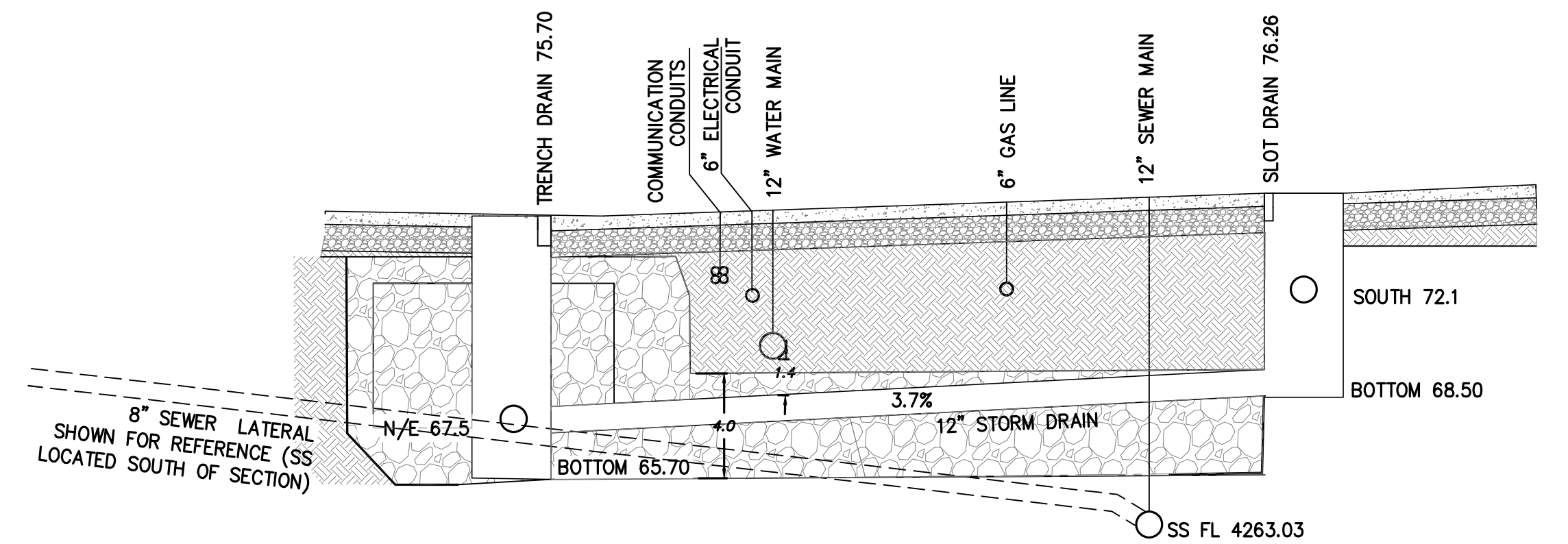
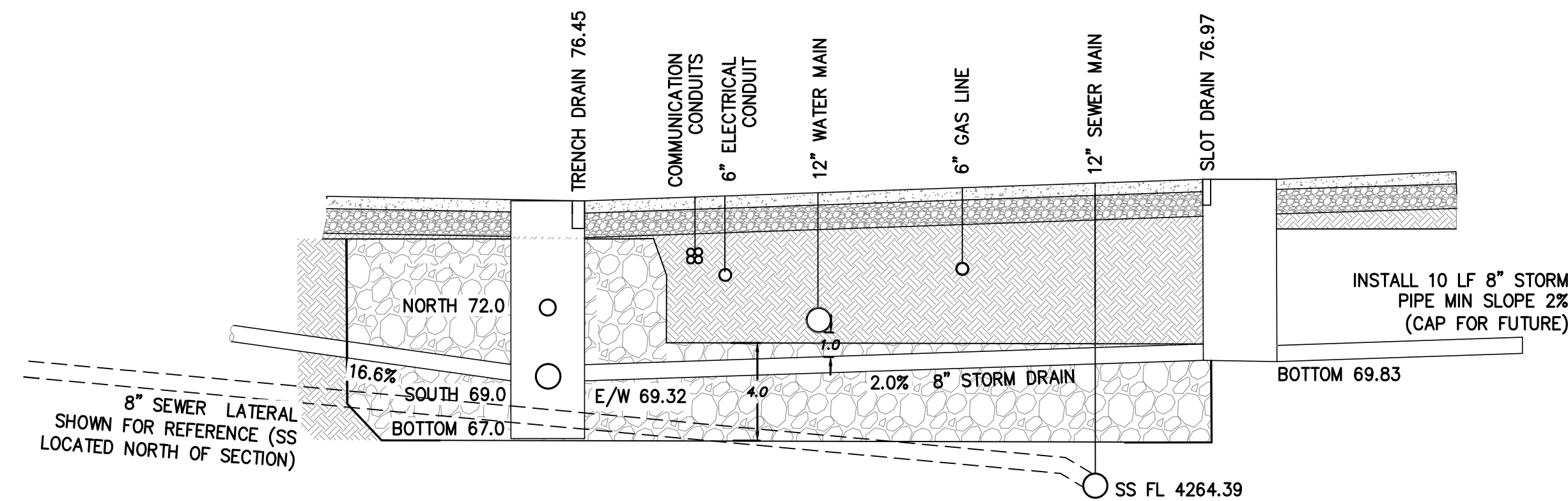
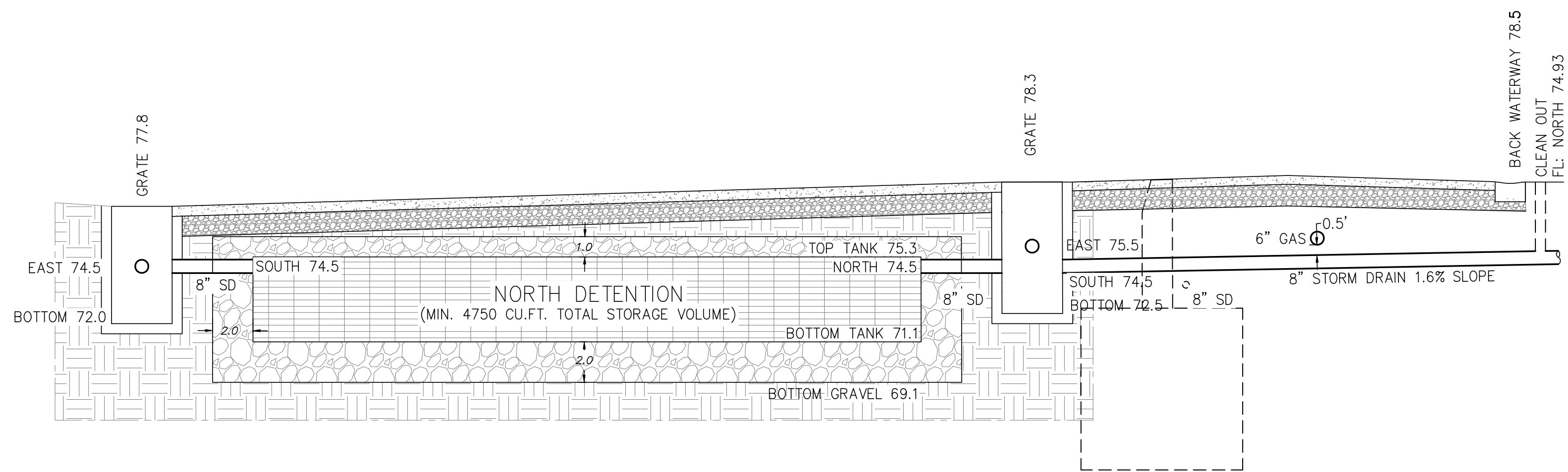
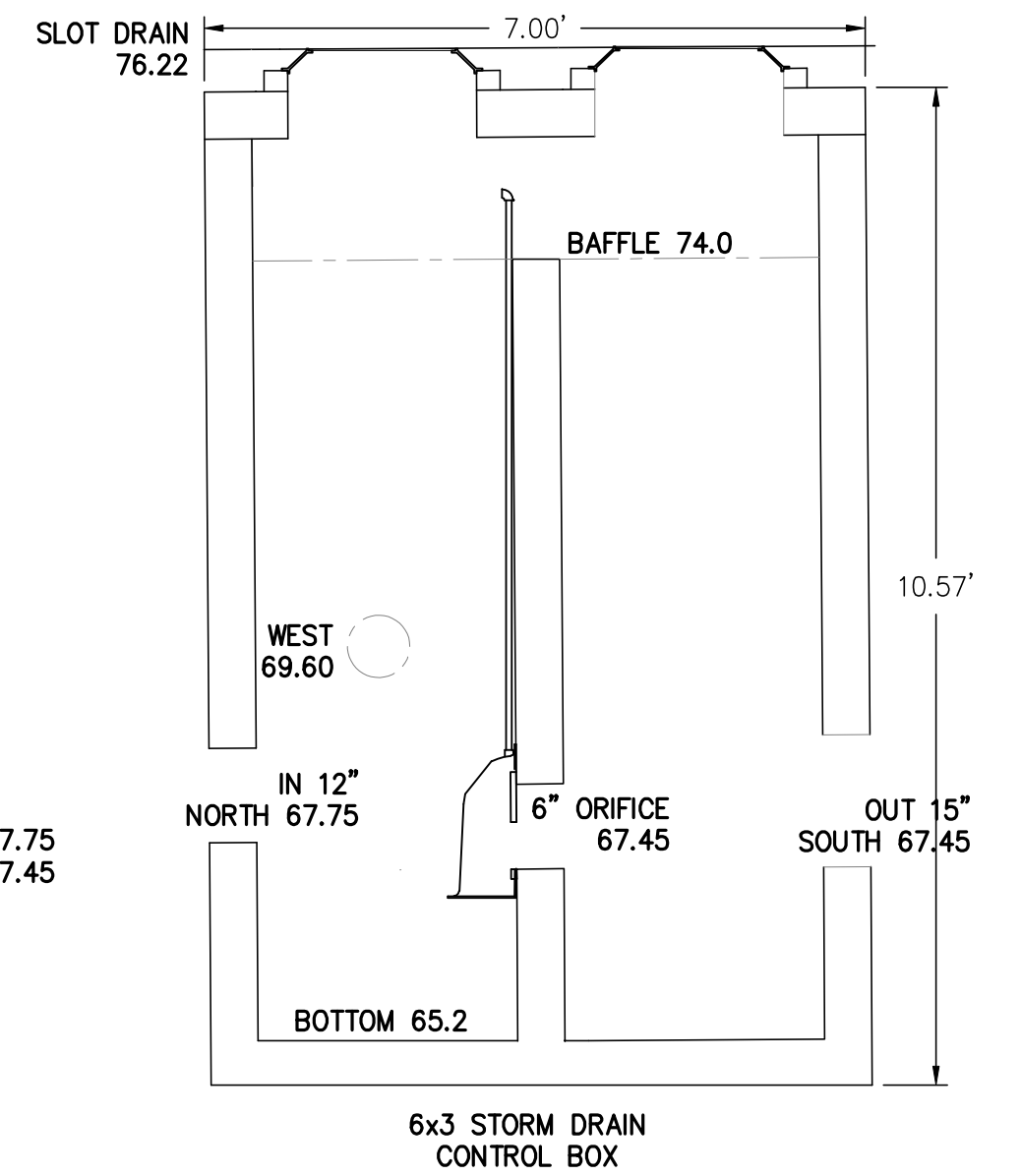
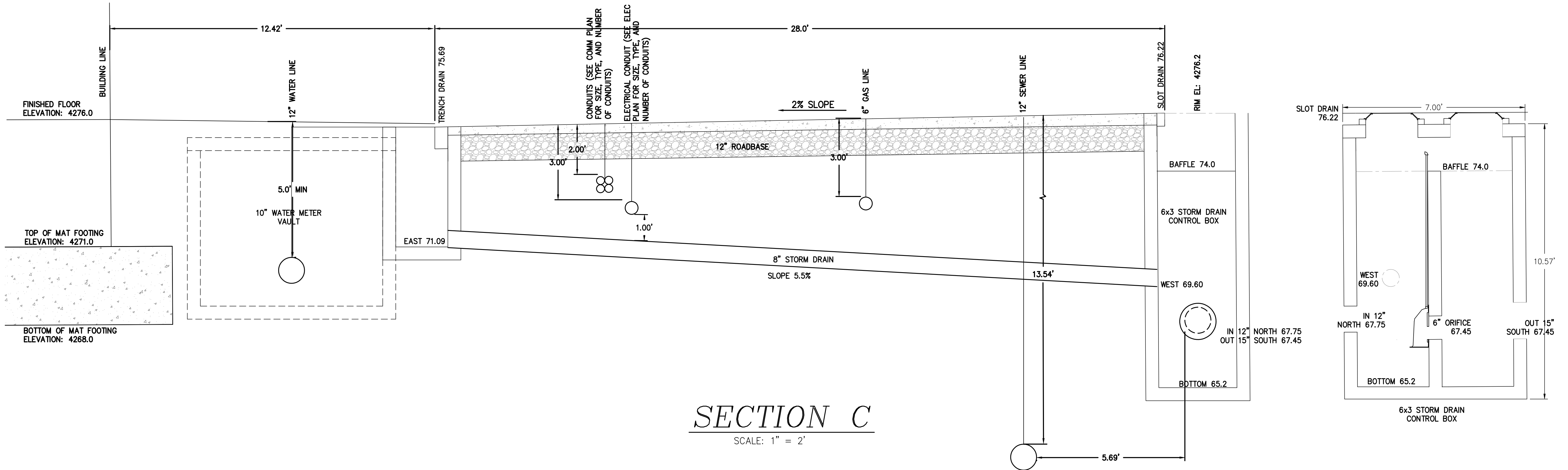


DWG. DATE: October 2022  
PLOT DATE: 10 October 2022

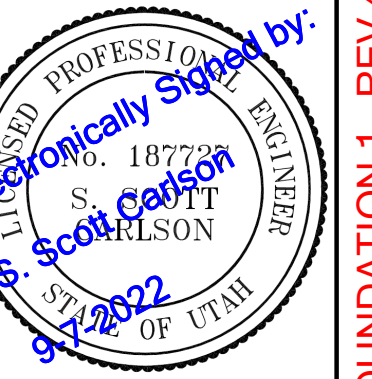
SHEET  
**C7d**

10-11-2022 FOOTING AND FOUNDATION 1 REV 5





SEE SHEET C7 FOR SECTION LOCATIONS



Permit Set

THE WEST QUARTER  
BLOCK C - UTILITY SECTIONS  
260 WEST 200 SOUTH  
SALT LAKE CITY, UTAH



DWG. DATE: September 20

PLOT DATE: 04 September 2022

SHEET

C7e



| ISSUE | DATE       | DESCRIPTION     | INCL. LOG |
|-------|------------|-----------------|-----------|
| 1     | 10/17/2022 | GMP ACCORD AM 1 | X         |
| 2     | 10/17/2022 | GMP ACCORD AM 2 |           |
|       |            |                 |           |
|       |            |                 |           |
|       |            |                 |           |
|       |            |                 |           |
|       |            |                 |           |
|       |            |                 |           |
|       |            |                 |           |
|       |            |                 |           |

| REVISION | DATE       | DESCRIPTION     | REV |
|----------|------------|-----------------|-----|
| 1        | 10/17/2022 | GMP ACCORD AM 2 | Δ   |
|          |            |                 |     |
|          |            |                 |     |
|          |            |                 |     |
|          |            |                 |     |
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TREE  
REMOVAL PLAN  
- (LEVEL 1)

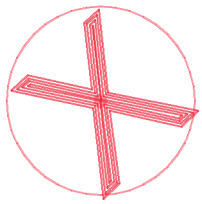
GMP/Building Permit

JOB NUMBER:

DRAWN BY: NKJ  
CHECKED BY: BAR

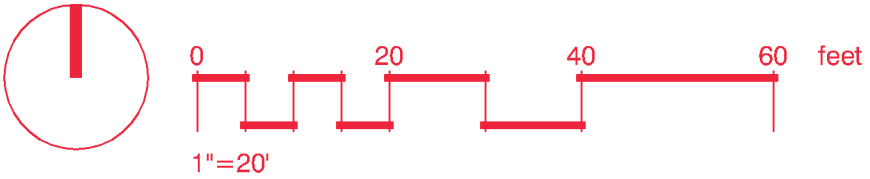
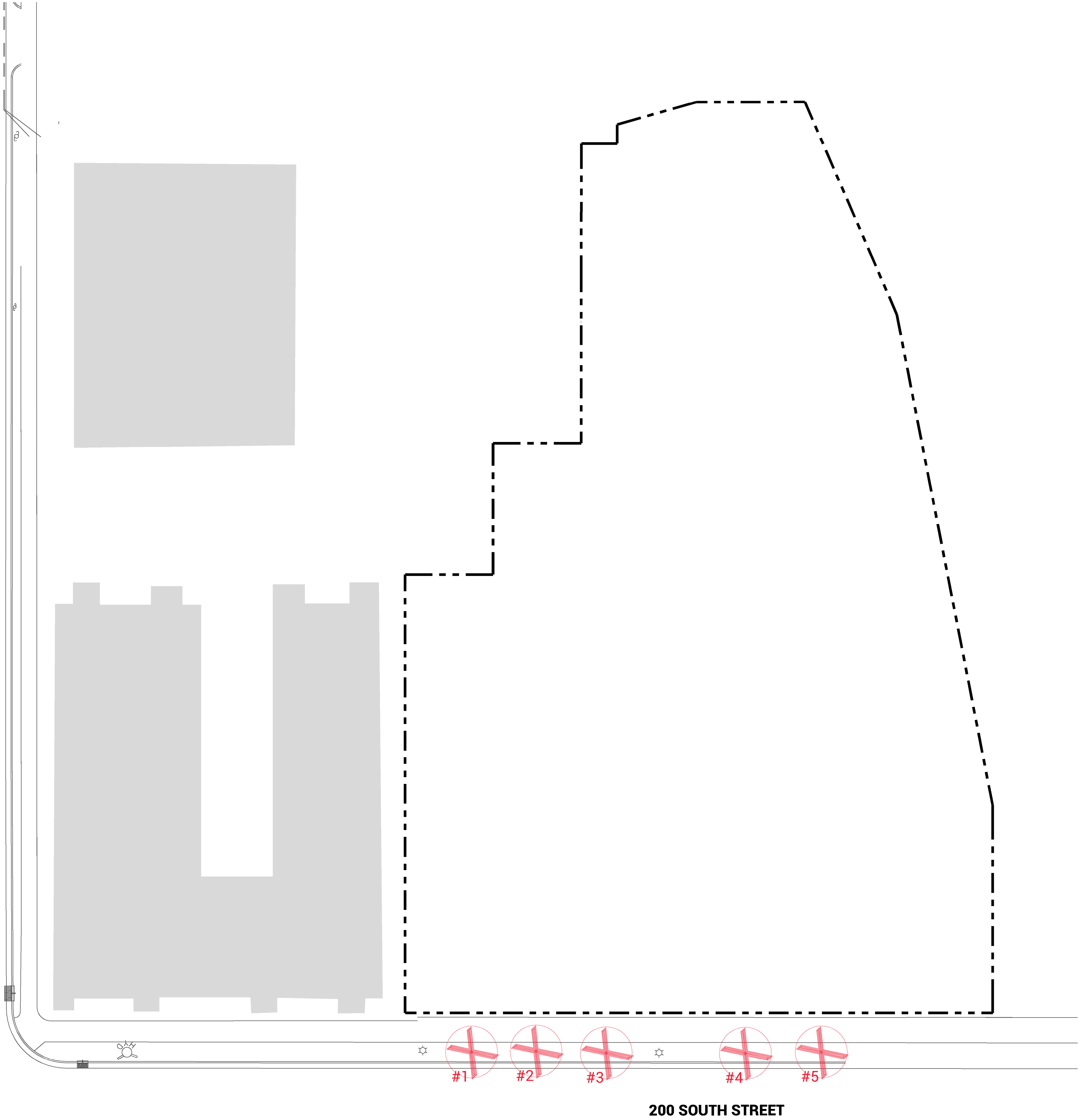
LT101

CONCEPT PLANT SCHEDULE



EXISTING TREE TO BE REMOVED 5

| TREE INVENTORY SPREAD SHEET |            |                                 |           |         |        |
|-----------------------------|------------|---------------------------------|-----------|---------|--------|
| TREE SPECIES                | SIZE (dbh) | LOCATION                        | CONDITION | STATUS  | NUMBER |
| GLEDITSIA TRIACANTHOS       | 12 IN.     | PUBLIC                          | GOOD      | REMOVAL | 1      |
| GLEDITSIA TRIACANTHOS       | 10 IN.     | PUBLIC                          | GOOD      | REMOVAL | 2      |
| GLEDITSIA TRIACANTHOS       | 13 IN.     | PUBLIC                          | GOOD      | REMOVAL | 3      |
| GLEDITSIA TRIACANTHOS       | 12 IN.     | PUBLIC                          | GOOD      | REMOVAL | 4      |
| GLEDITSIA TRIACANTHOS       | 16 IN.     | PUBLIC                          | GOOD      | REMOVAL | 5      |
|                             |            |                                 |           |         |        |
| TOTAL INCHES REMOVED        | 63 IN.     |                                 |           |         | 6      |
| TOTAL INCHES PROPOSED       | 12 IN.     | *SEE LANDSCAPE PLAN SHEET PL101 |           |         |        |





## SALT LAKE CITY, UTAH



THE RITCHIE GROUP

| REVISION  |                |                                                                                       |
|-----------|----------------|---------------------------------------------------------------------------------------|
| DATE      | DESCRIPTION    | REV                                                                                   |
| 5/17/2022 | QMP ADDENDUM 2 |  |

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SITE LAYOUT  
PLAN -  
(LEVEL1)

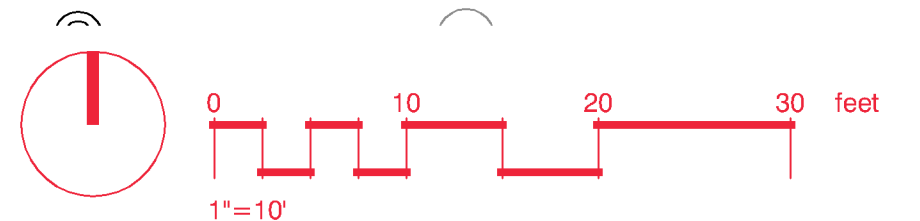
JOB NUMBER:

LS101

| <u>SYMBOL</u> | <u>SITE LAYOUT DESCRIPTION</u>                                                                                                                                                                                                                                                                                                                                                                                                                                                      | <u>QTY</u> | <u>DETAIL</u> |
|---------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|---------------|
| <b>L-04</b>   | TREE GRATE TO MATCH PHASE 1 - CASCADE TREE GRATES - BY URBAN ACCESSORIES                                                                                                                                                                                                                                                                                                                                                                                                            |            | 3/L5501       |
| <b>L-06</b>   | 30" W X 18" H X L VARIES - CONCRETE BOARDFORM WALL PLAIN GREY FINISH WITH SMOOTH TROWEL FINISH TOP                                                                                                                                                                                                                                                                                                                                                                                  |            | 5/L5501       |
| <b>L-10</b>   | SYNTHETIC TURF                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |            | 2/L5501       |
| <b>L-27</b>   | FAUX GREEN WALL FROM TOP OF BENCH TO TOP OF CEILING (APPROXIMATELY 20' HIGH) - EASYIVY AGAVE PANELS ATTACHED TO MOUNTING WALL - PER EASY GRASS OR APPROVED EQL - INSTALLATION PER MANUFACTURERS SPECIFICATIONS                                                                                                                                                                                                                                                                      |            |               |
| <b>L-30</b>   | PLAZA CONCRETE #1 (REINFORCED) - INCRETE SYSTEMS - COLOR: SOFT GRAY, FINISH: BROOM FINISH BEVELED SAWCUT JOINT - (FINAL FINISH AND COLOR TO MATCH PHASE 1-A)                                                                                                                                                                                                                                                                                                                        |            | 4/L5501       |
| <b>L-31</b>   | PLAZA CONCRETE #2 (REINFORCED) - INCRETE SYSTEMS - FINISH: SANDBLAST FINISH BEVELED SAWCUT JOINT - (FINAL FINISH AND COLOR TO MATCH PHASE 1-A)                                                                                                                                                                                                                                                                                                                                      |            | 4/L5501       |
| <b>L-32</b>   | DOG WASTE RECEPTACLE - PER LUCKY DOG                                                                                                                                                                                                                                                                                                                                                                                                                                                |            |               |
| <b>L-33</b>   | LIGHTED BOLLARD, 5" DIA, FIXED, FORMS AND SURFACES 500 SERIES LIGHT COLUMN WITH 360 SHIELD (PERFORMANCE), BRONZE RAL#6014 FINISH, 3000K LAMP, SURFACE MOUNT WITH J BOLTS - (TO MATCH PHASE 1-A)                                                                                                                                                                                                                                                                                     |            |               |
| <b>L-34</b>   | BLACK VINYL COATED CHAIN LINK - 4' HIGH DOG FENCE - TOP & BOTTOM RAILS                                                                                                                                                                                                                                                                                                                                                                                                              |            | 5/L5502       |
| <b>L-36</b>   | EXTERIOR SNOW GRATE SYSTEM - MANUFACTURER: CONCNICHOLS, TYPE: ALUMINUM RECTANGULAR BAR GRATING, SPACING: 7-P-4, BAR HEIGHT AND THICKNESS: 1" X 3/16", CROSS BAR SIZE AND SHAPE: 7/8" H X 1/8" T, SURFACE: SMOOTH, COLOR: PAINTED DARK GRAY, NOTES: ADA INSTALLED SO BAR SPANS PERPENDICULAR TO NORMAL FLOW OF TRAFFIC AND CLIPS ADDED PER MANUFACTURE TO HOLD GRATES TOGETHER, CONTACT: SALT LAKE CITY METALS SERVICE CENTER, 271 WEST 12800 S, STE 210-211 DRAPER, UT 877-969-1948 |            | 1/L5501       |
| <b>L-37</b>   | 30" WIDE RAISED CONCRETE PLANTER WITH STEEL PANEL - TO MATCH PHASE 1                                                                                                                                                                                                                                                                                                                                                                                                                |            | 7/L5501       |
| <b>L-43</b>   | FUTURE TRANSFORMER LOCATION                                                                                                                                                                                                                                                                                                                                                                                                                                                         |            |               |
| <b>L-47</b>   | CONCRETE PATHWAYS- COLOR: PLAIN GREY- SOURCE: CONCRETE CONTRACTOR                                                                                                                                                                                                                                                                                                                                                                                                                   |            |               |
| <b>L-50</b>   | DINING CHAIRS AND TABLES - SEE SHEET LF101 FOR MORE DETAILS                                                                                                                                                                                                                                                                                                                                                                                                                         |            |               |
| <b>L-51</b>   | CONCRETE PAVERS TO MATCH PHASE ONE                                                                                                                                                                                                                                                                                                                                                                                                                                                  |            |               |

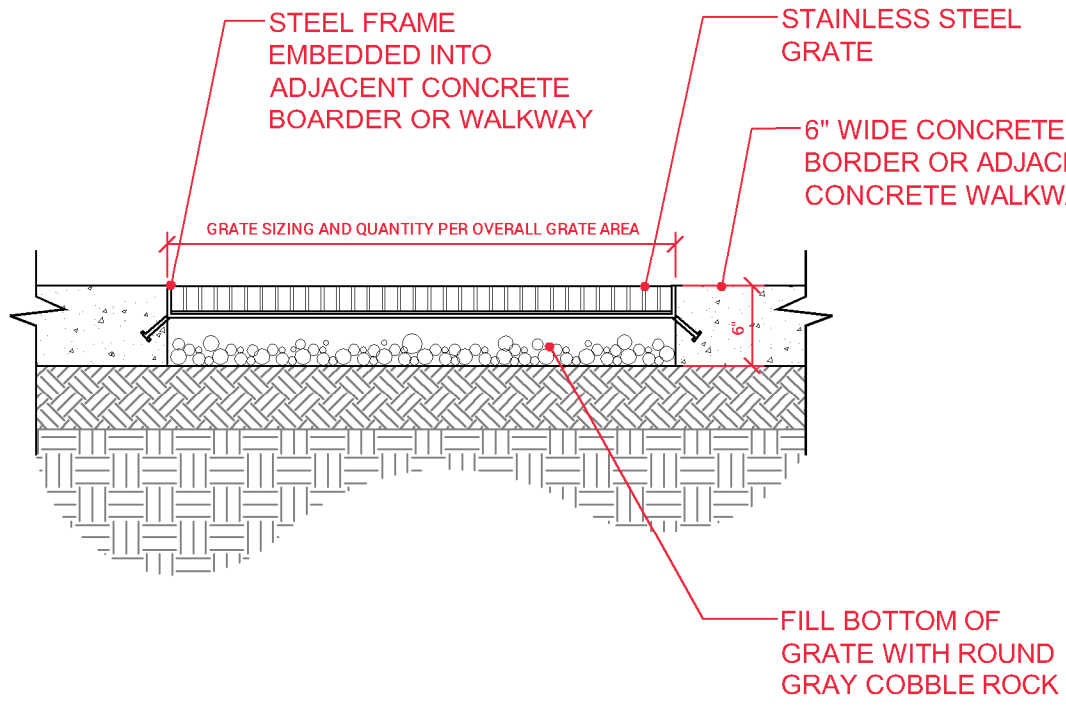
SEAT REQUIREMENT IS 1 SEAT PER 250 SQUARE FEET  
SEAT REQUIREMENT: 30" DEEP (IF BENCH) X 30" WIDE

|                       |                   |
|-----------------------|-------------------|
| TOTAL PLAZA AREA:     | ~9955 SQUARE FEET |
| TOTAL REQUIRED SEATS: | 40                |
| TOTAL PROVIDED SEATS: | 161               |

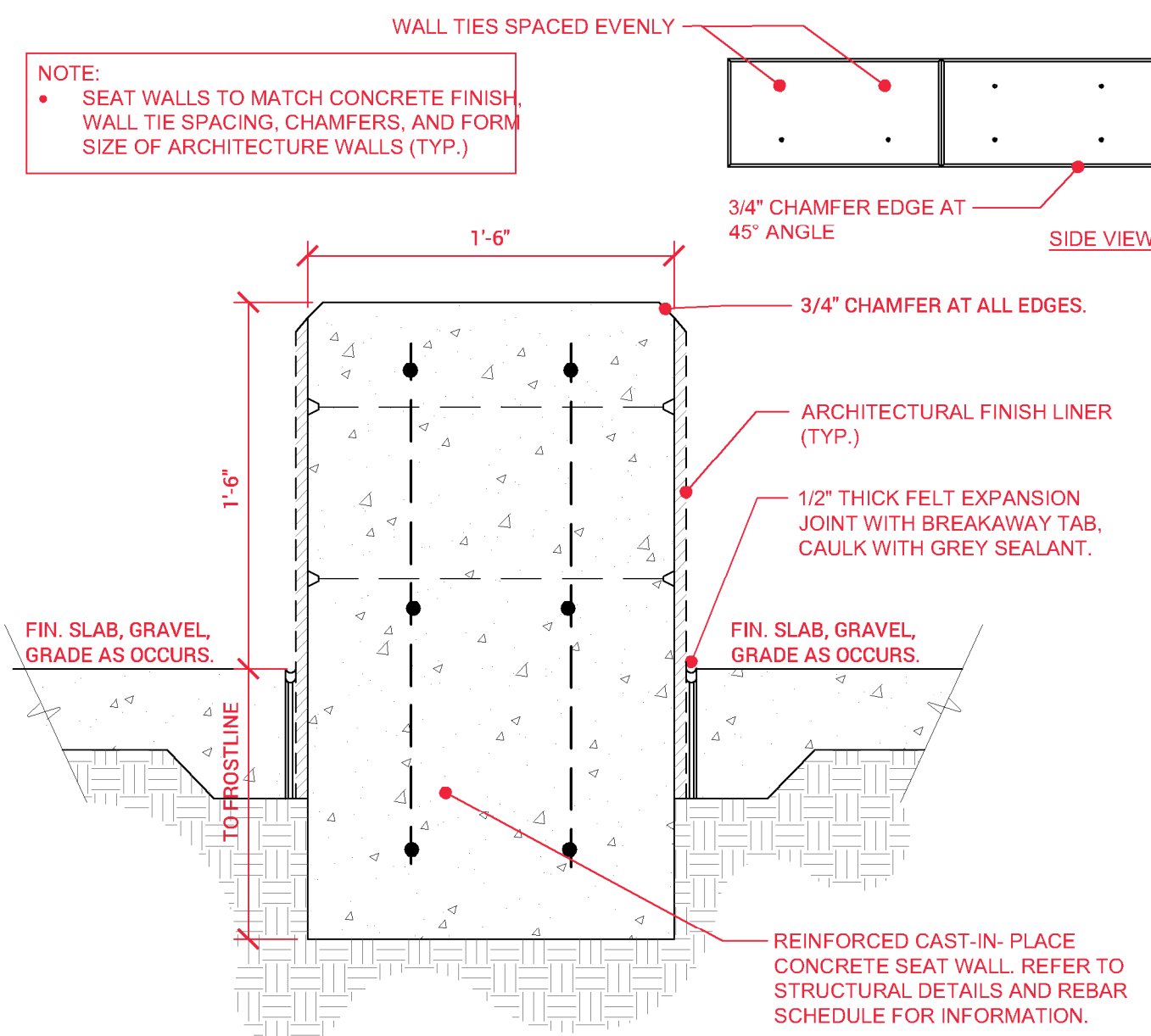
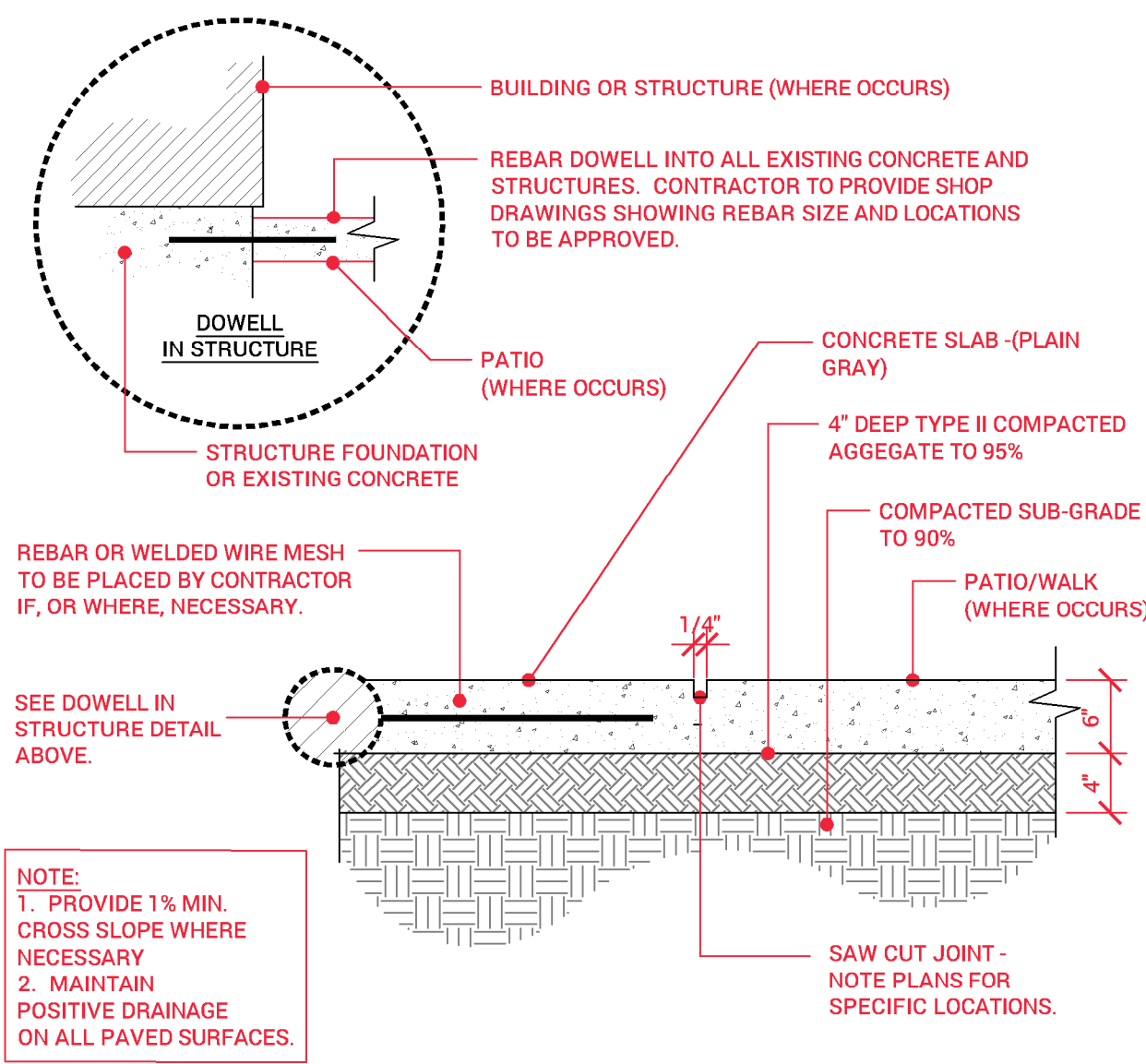
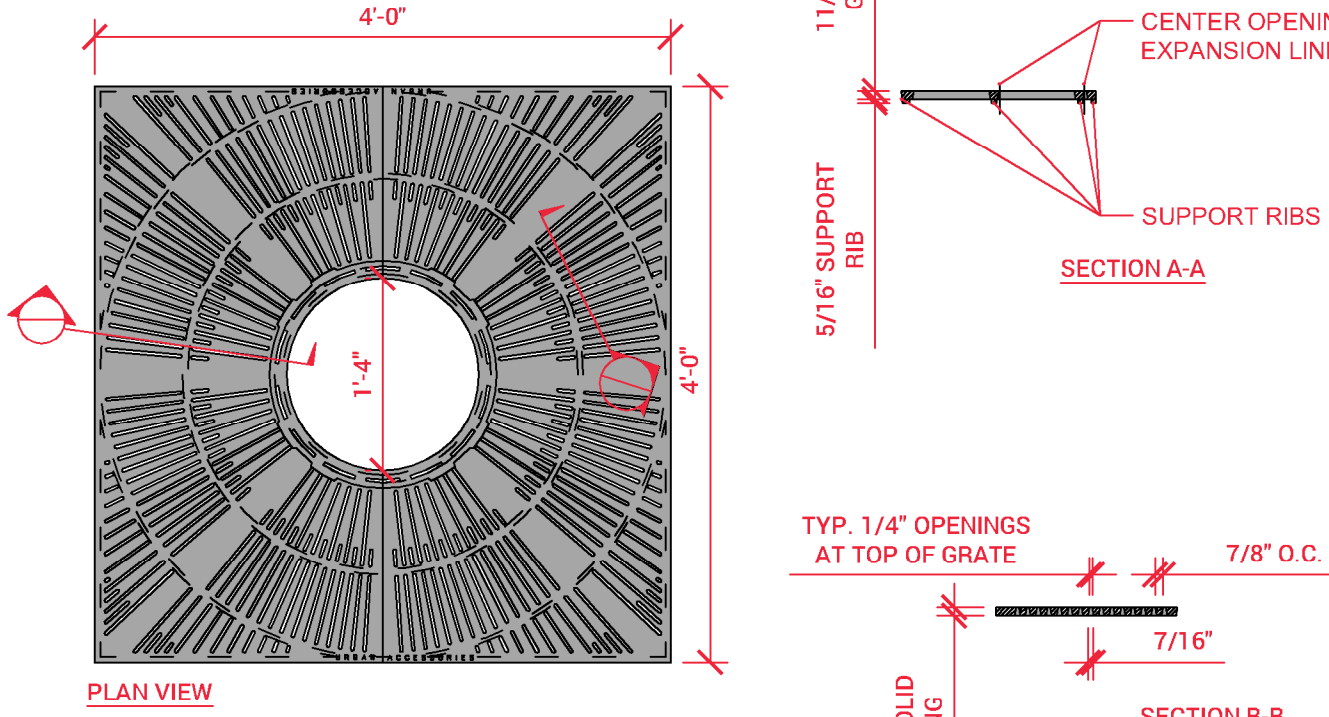
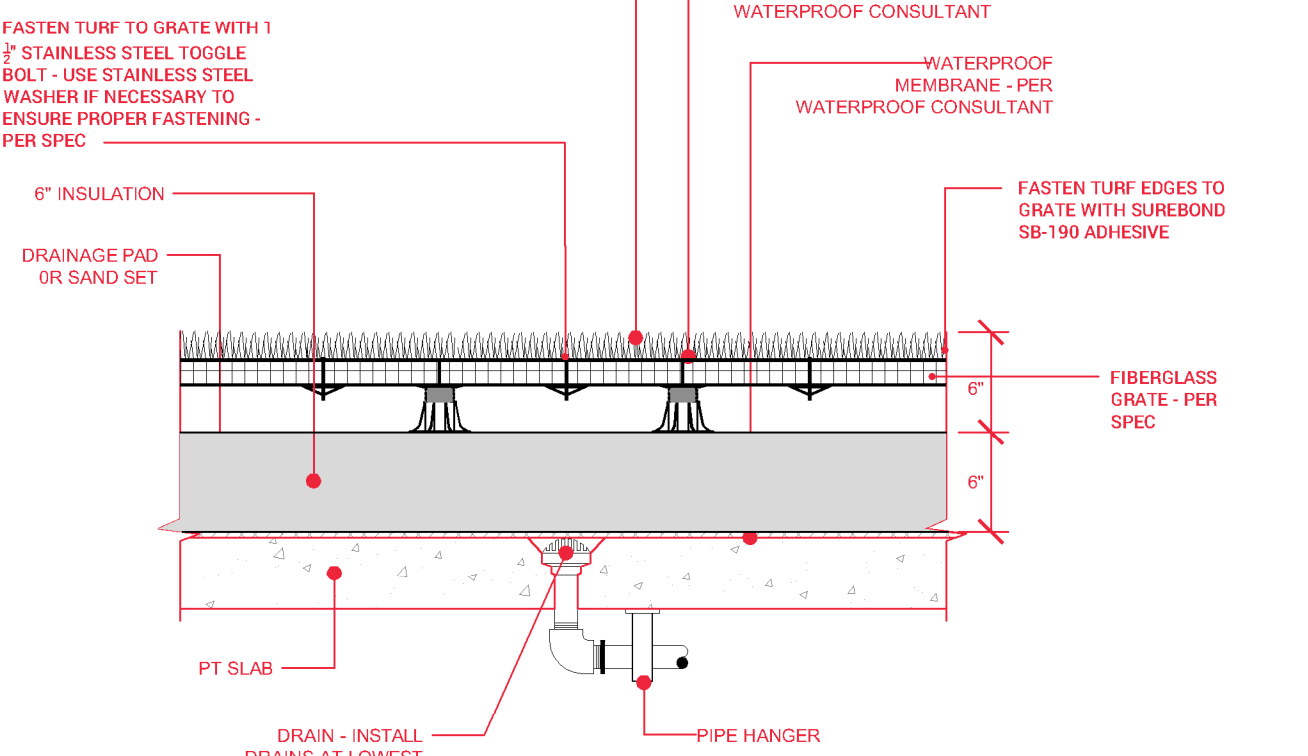




NOTE:  
1. CONSULT MANUFACTURER FOR QUESTIONS ON FINAL INSTALLATION.  
2. CONTRACTOR TO NOTIFY ARCHITECT AND LANDSCAPE ARCHITECT WITH ANY CHANGES TO ORIGINAL DESIGN INTENT.



SPECIAL NOTE:  
1. APPLY THE FOLLOWING RATIO TO THE SAND TO ZEOLITE:  
1LB OF ZEOLITE FOR EVERY 2 LBS OF SAND.  
2. APPLY ZEOLITE ON TOP OF BEDDING SAND.  
3. THE GRASS MUST BE INSTALLED AND SEALED WITH ADJACENT PIECES RUNNING IN THE SAME DIRECTION.



## 1 EXTERIOR SNOW GRATE SYSTEM

1" = 1'-0" PROJ-HOUS-WES1-SITE-163

## 2 SYNTHETIC TURF OVER - PODIUM LEVEL

3/4" = 1'-0" PROJ-HOUS-WES1-SITE-01

## 3 4' SQ. COHO - URBAN ACCESSORIES

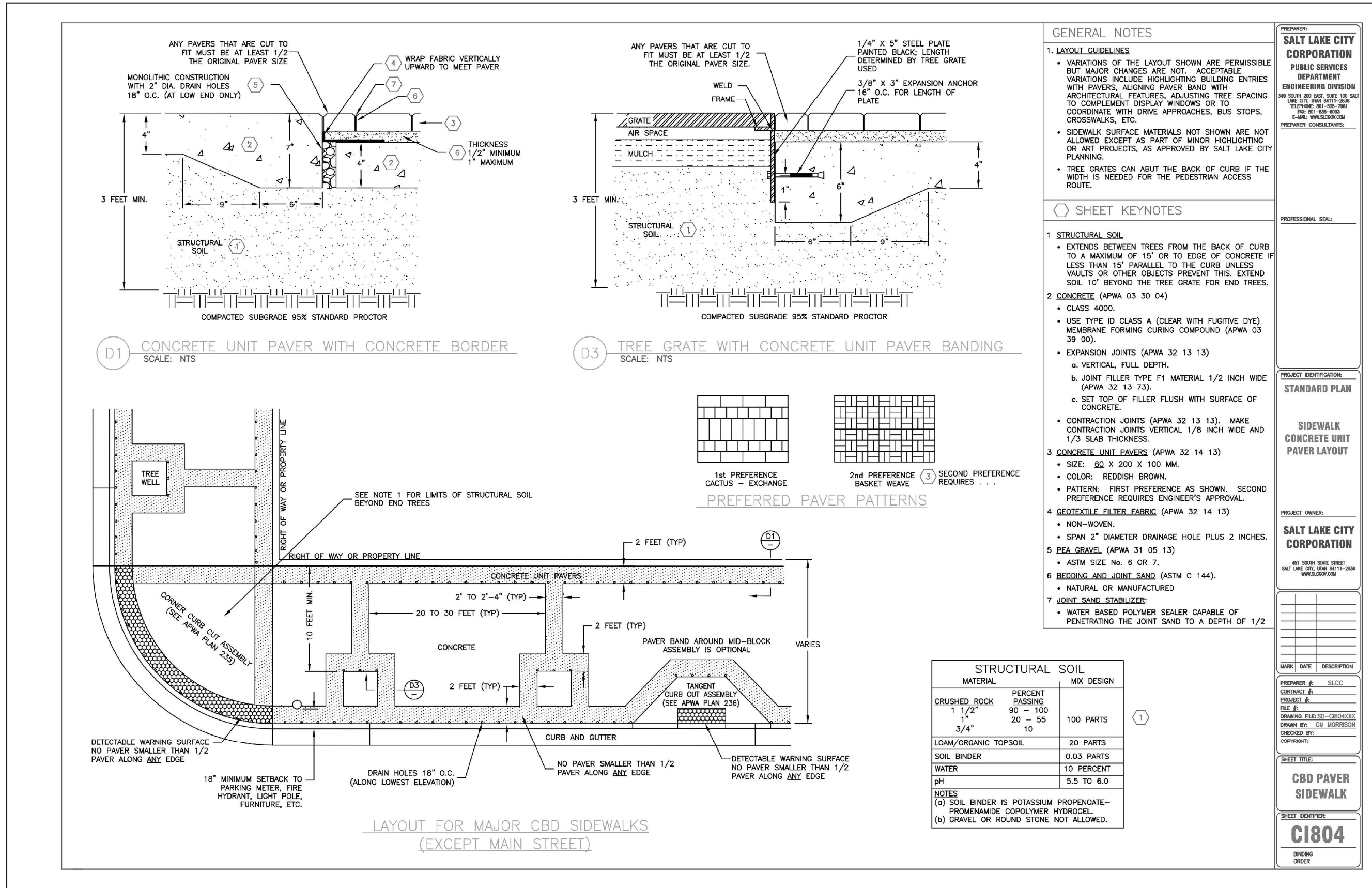
3/4" = 1'-0" PROJ-HOUS-WES1-SITE-22

## 4 CONCRETE PATIO/WALK - SAW CUT SCORING

1" = 1'-0" PROJ-HOUS-WES1-SITE-28

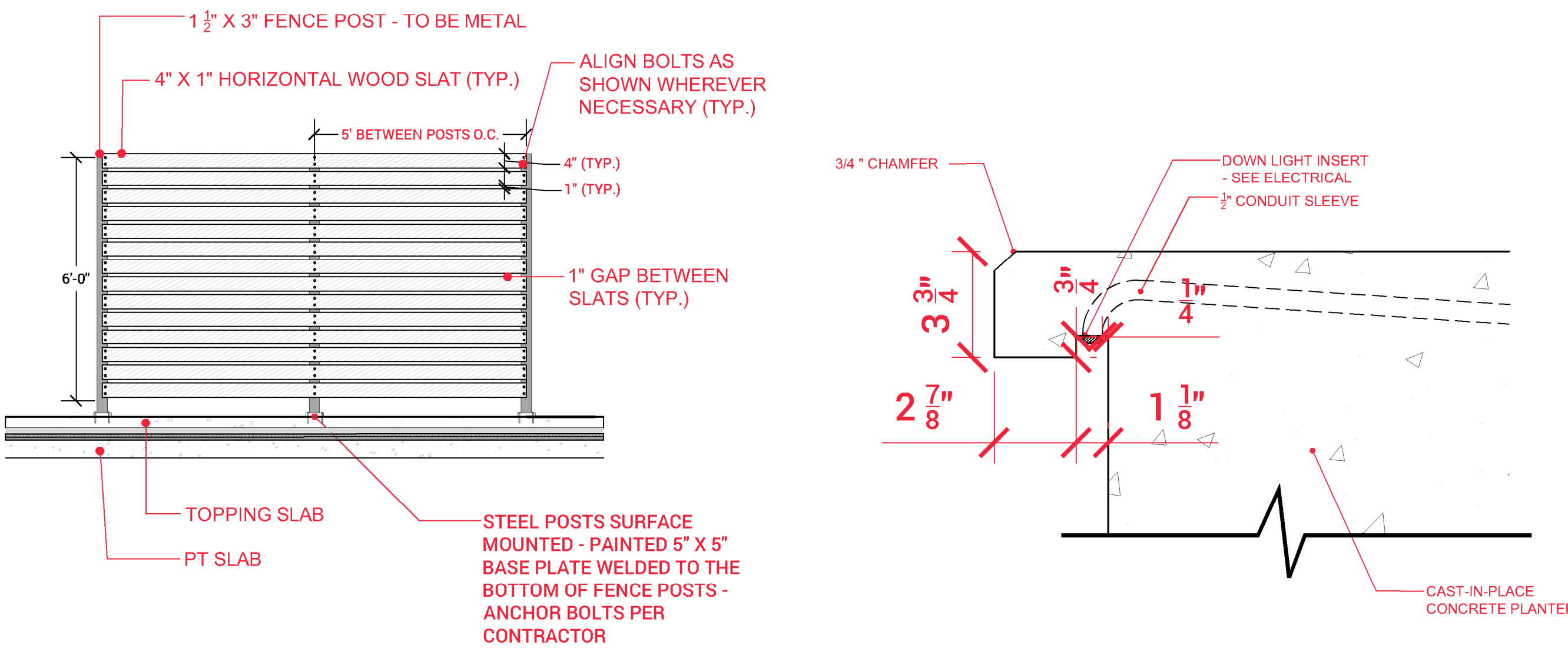
## 5 CONCRETE SEAT WALL

1 1/2" = 1'-0"



## 6 SLC CBD PAVER SIDEWALK

1" = 1'-0" PROJ-HOUS-WES1-SITE-164



## 8 HORIZONTAL SLATTED WOOD FENCE DETAIL

SCALE: NOT TO SCALE PROJ-HOUS-WES1-SITE-25

## 9 LIGHT INSERT

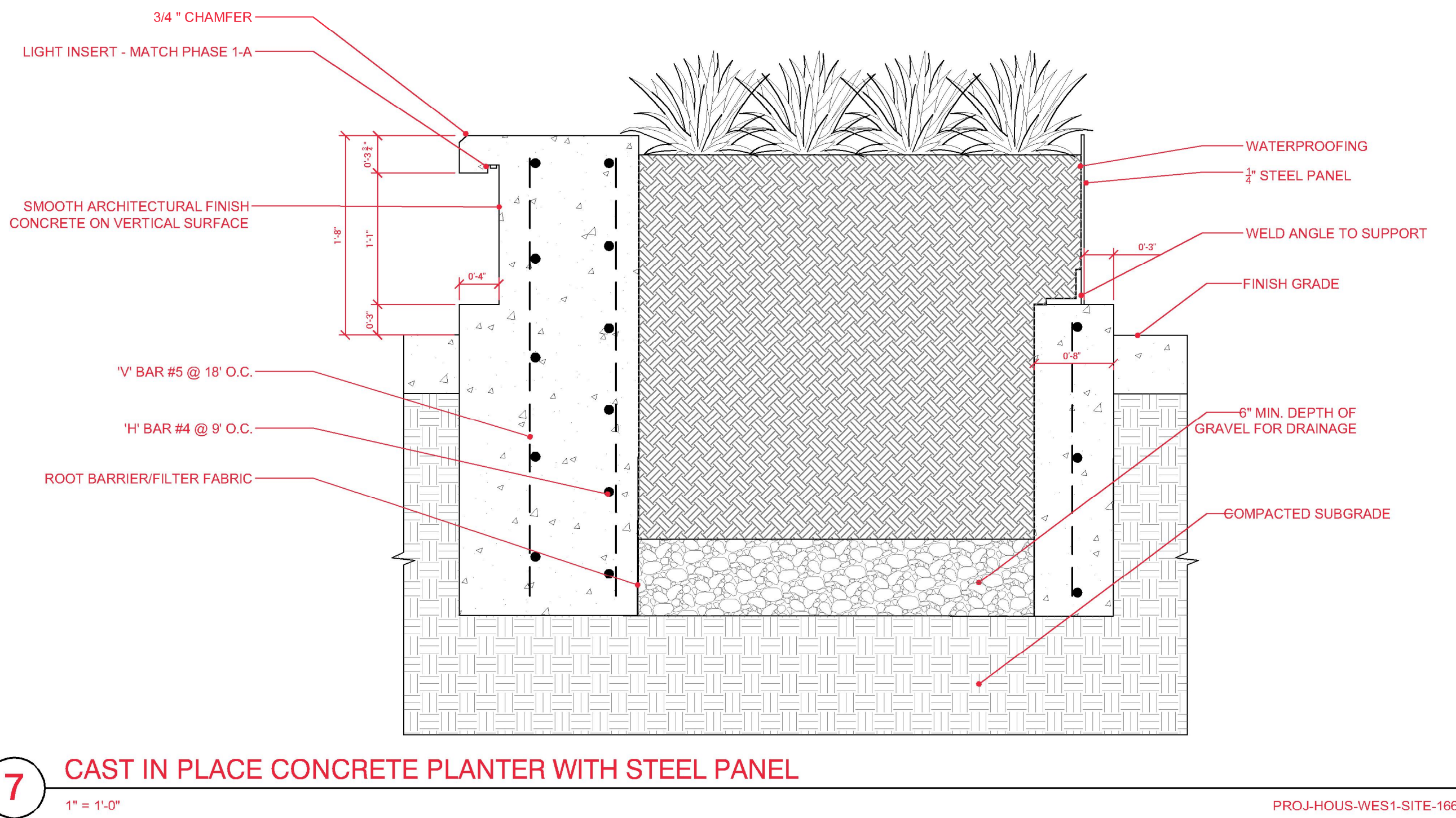
1" = 1'-0" PROJ-HOUS-WES1-SITE-166

## 10 CONCRETE STAIRS

1" = 1'-0" PROJ-HOUS-WES1-SITE-26

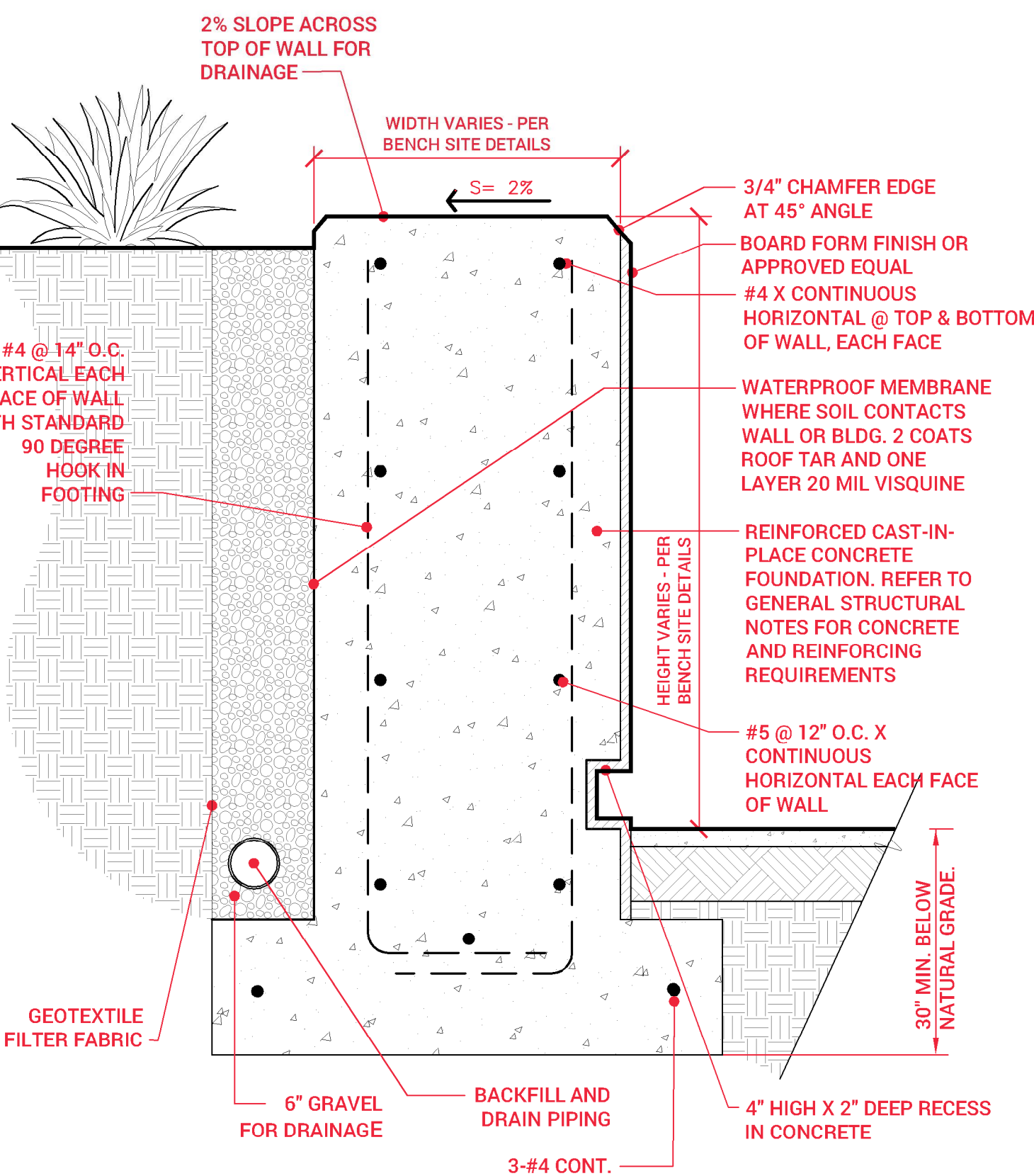
## 11 CONCRETE COURTYARD WALL

NTS PROJ-HOUS-WES1-SITE-99



## 7 CAST IN PLACE CONCRETE PLANTER WITH STEEL PANEL

1" = 1'-0" PROJ-HOUS-WES1-SITE-166



| ISSUE | DATE      | DESCRIPTION        | IN/OUT |
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| 3     | 10/1/2024 | FOR REVIEW         | IN     |
| 4     | 10/1/2024 | FOR REVIEW         | IN     |
| 5     | 10/1/2024 | FOR REVIEW         | IN     |
| 6     | 10/1/2024 | FOR REVIEW         | IN     |
| 7     | 10/1/2024 | FOR REVIEW         | IN     |
| 8     | 10/1/2024 | FOR REVIEW         | IN     |
| 9     | 10/1/2024 | FOR REVIEW         | IN     |
| 10    | 10/1/2024 | FOR REVIEW         | IN     |
| 11    | 10/1/2024 | FOR REVIEW         | IN     |

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| DATE      | DESCRIPTION        | BY  |
|-----------|--------------------|-----|
| 10/1/2024 | ISSUED FOR PERMITS | NTS |
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SHEET NAME:  
SITE LAYOUT  
DETAILS

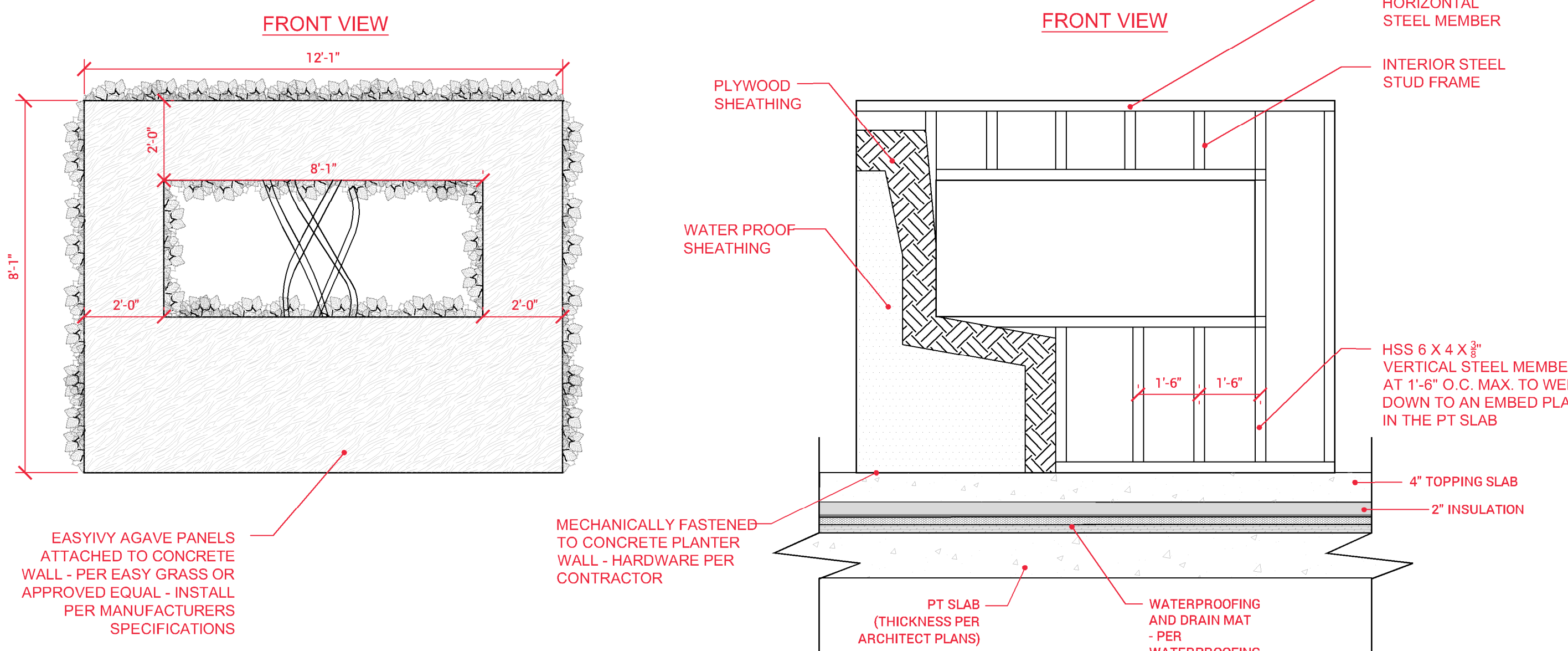
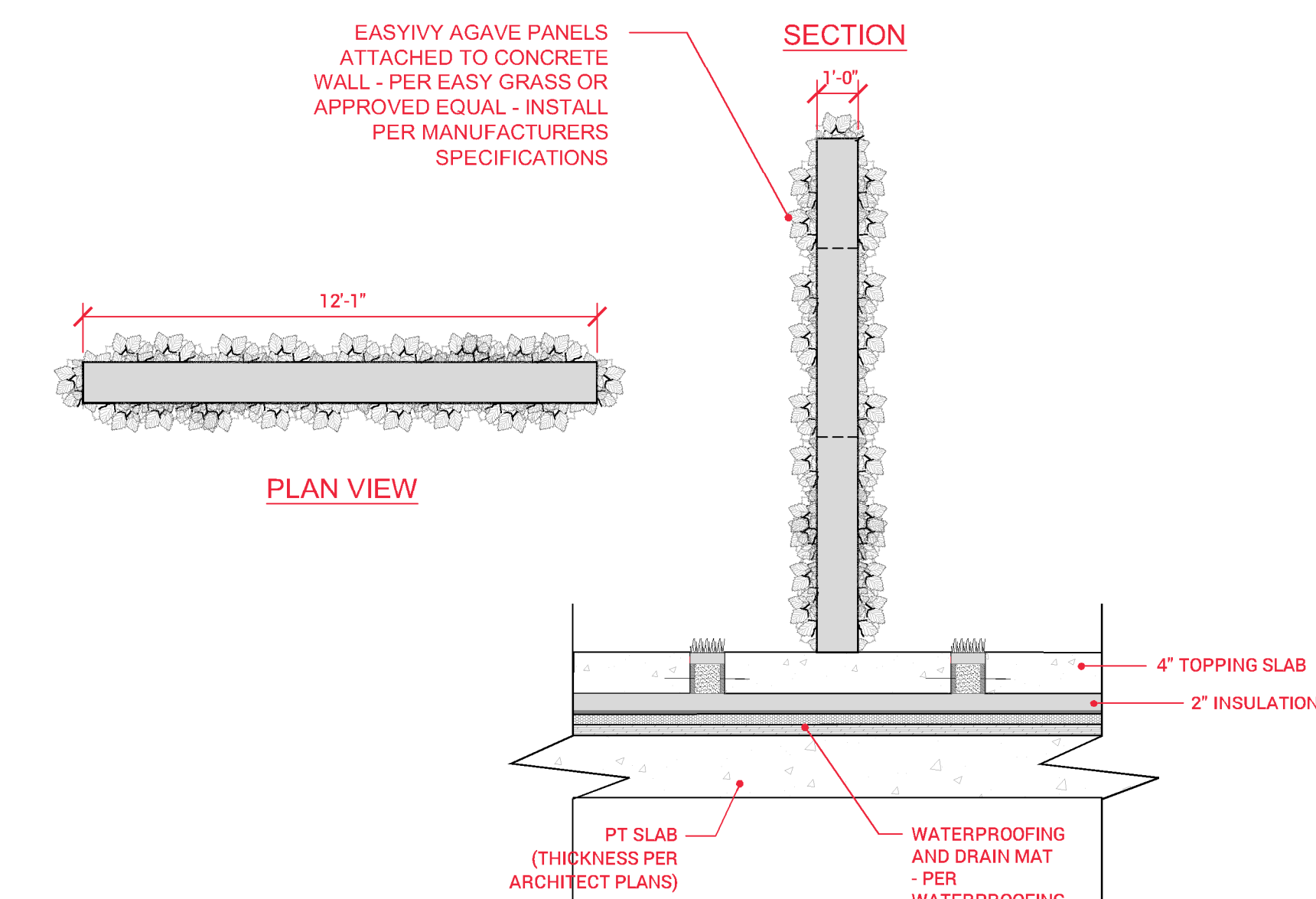
GMP/Building Permit

JOB NUMBER:

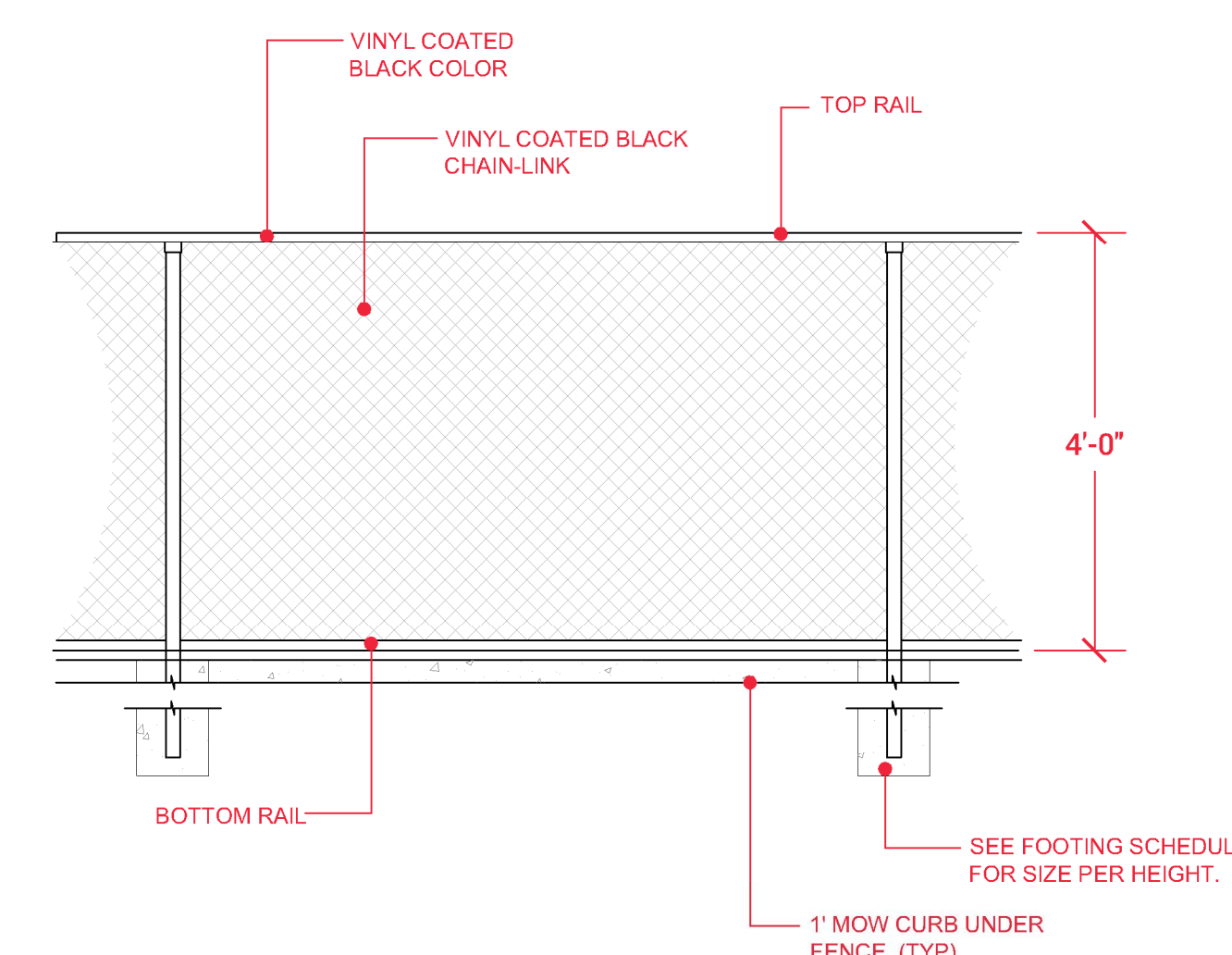
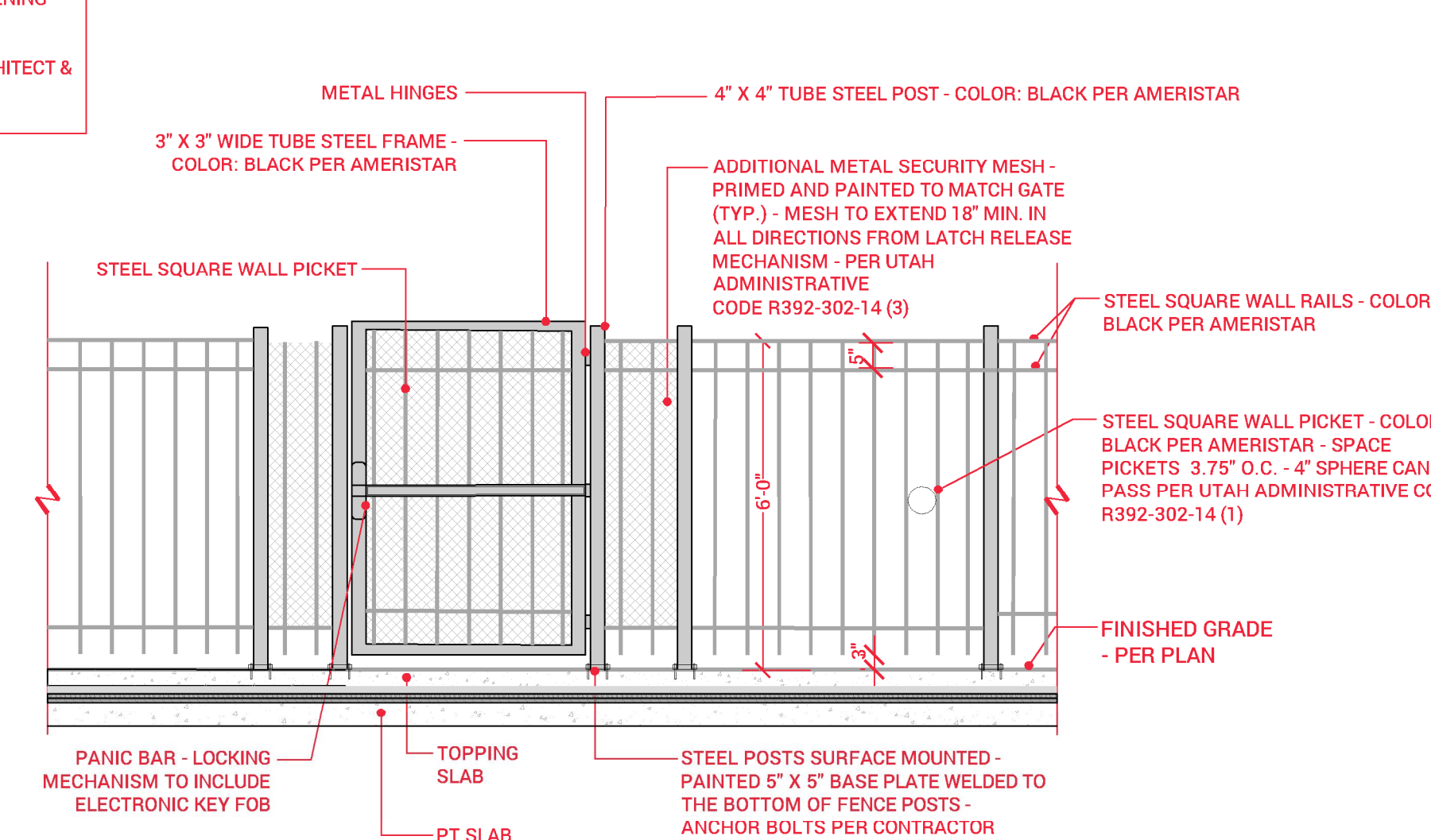
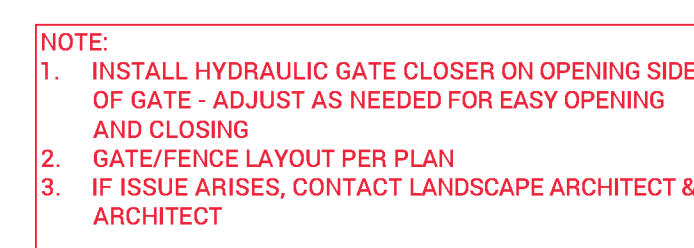
DRAWN BY: NKJ CHECKED BY: BAR

LS501

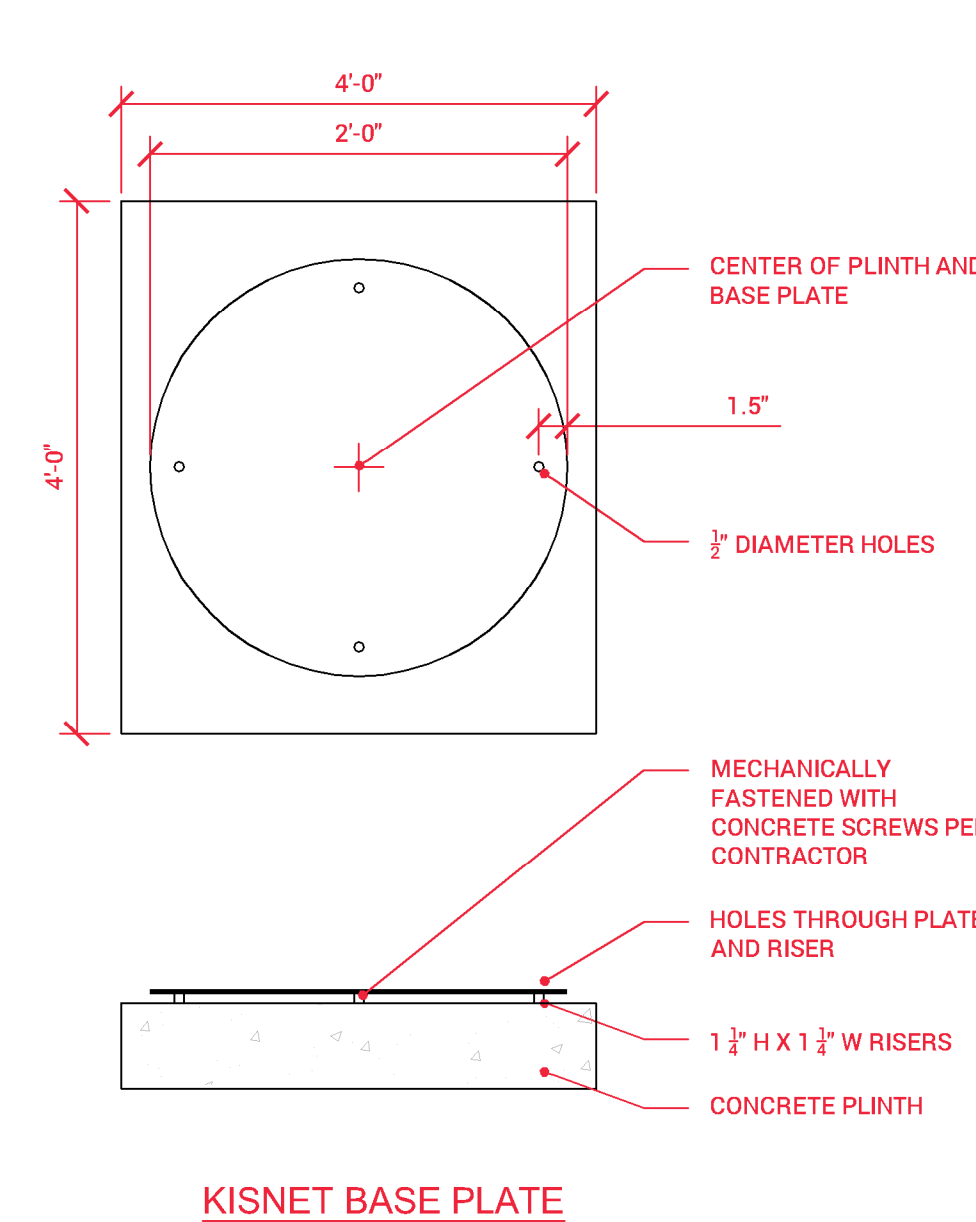
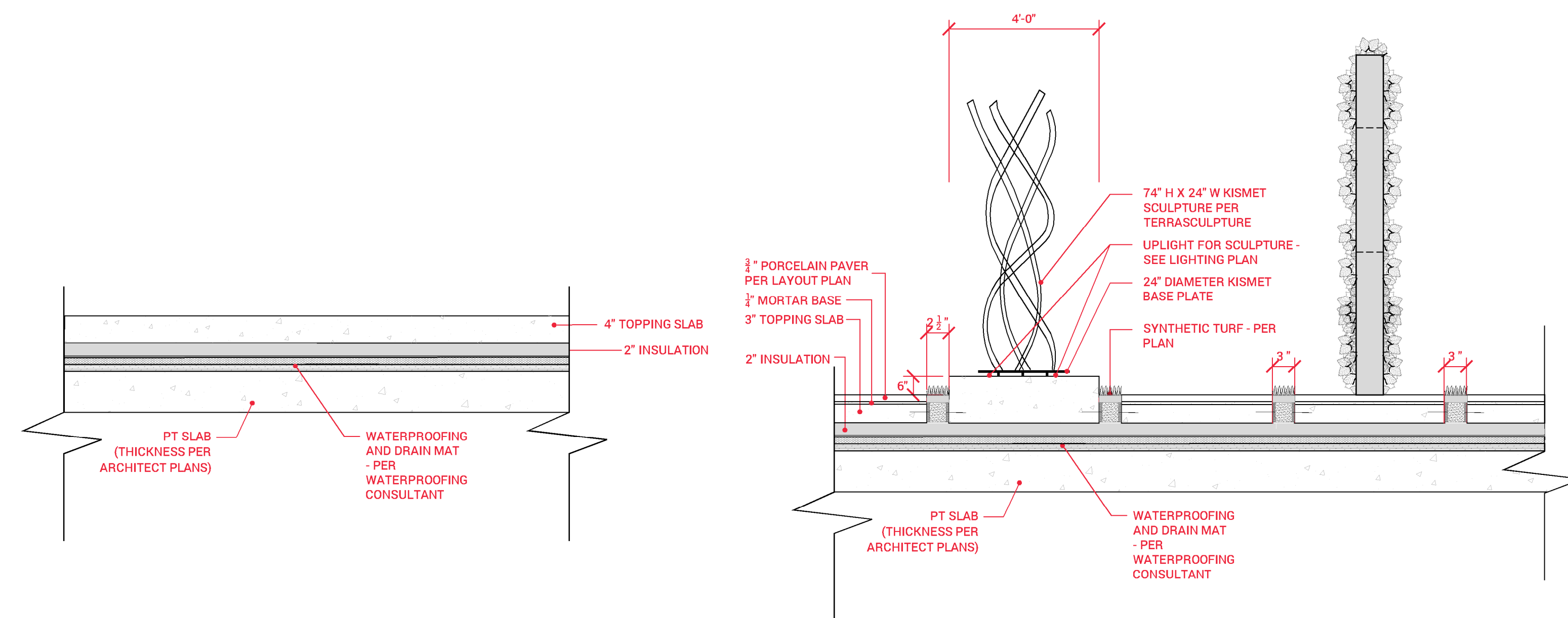
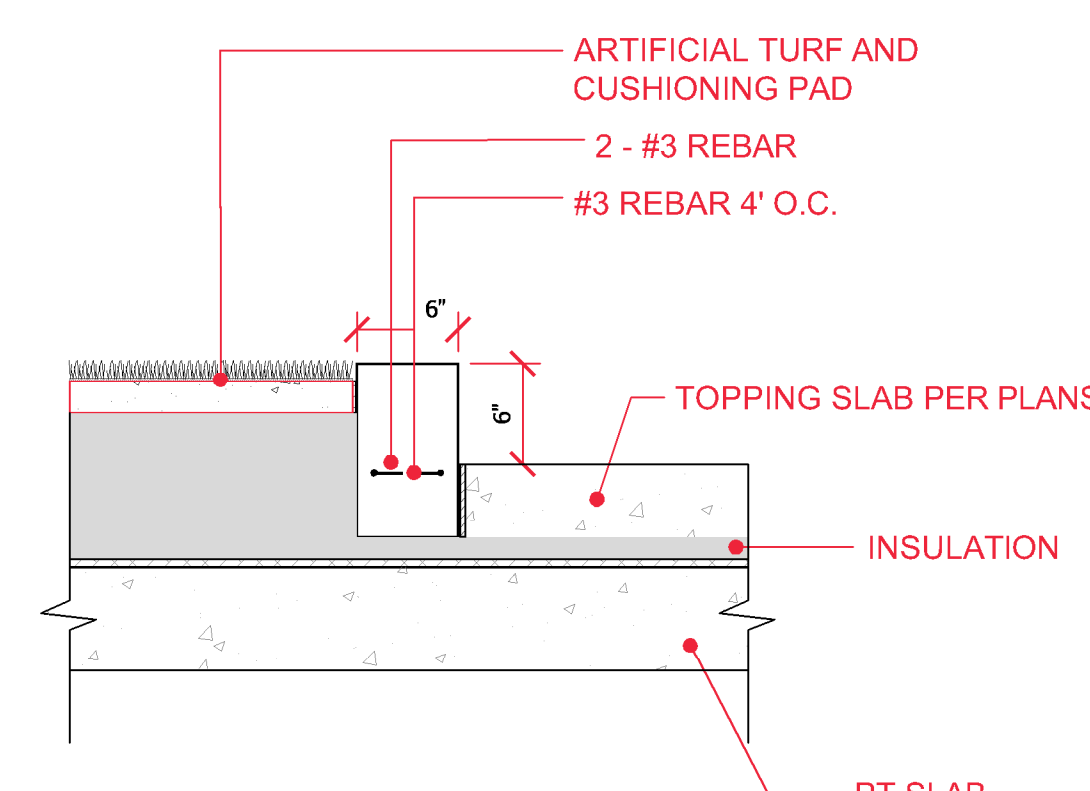
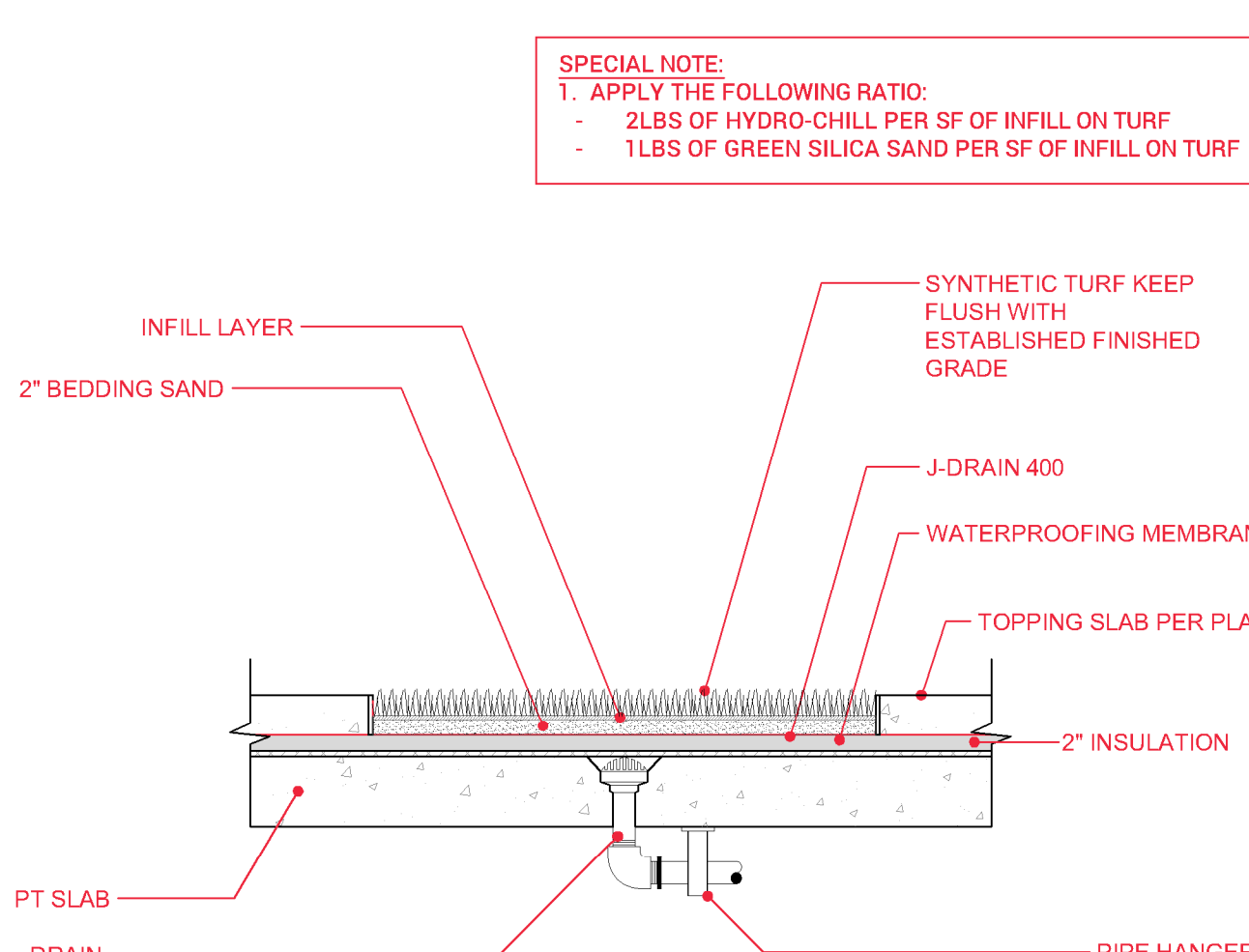



$$1^* = 1 \cdot 0^*$$

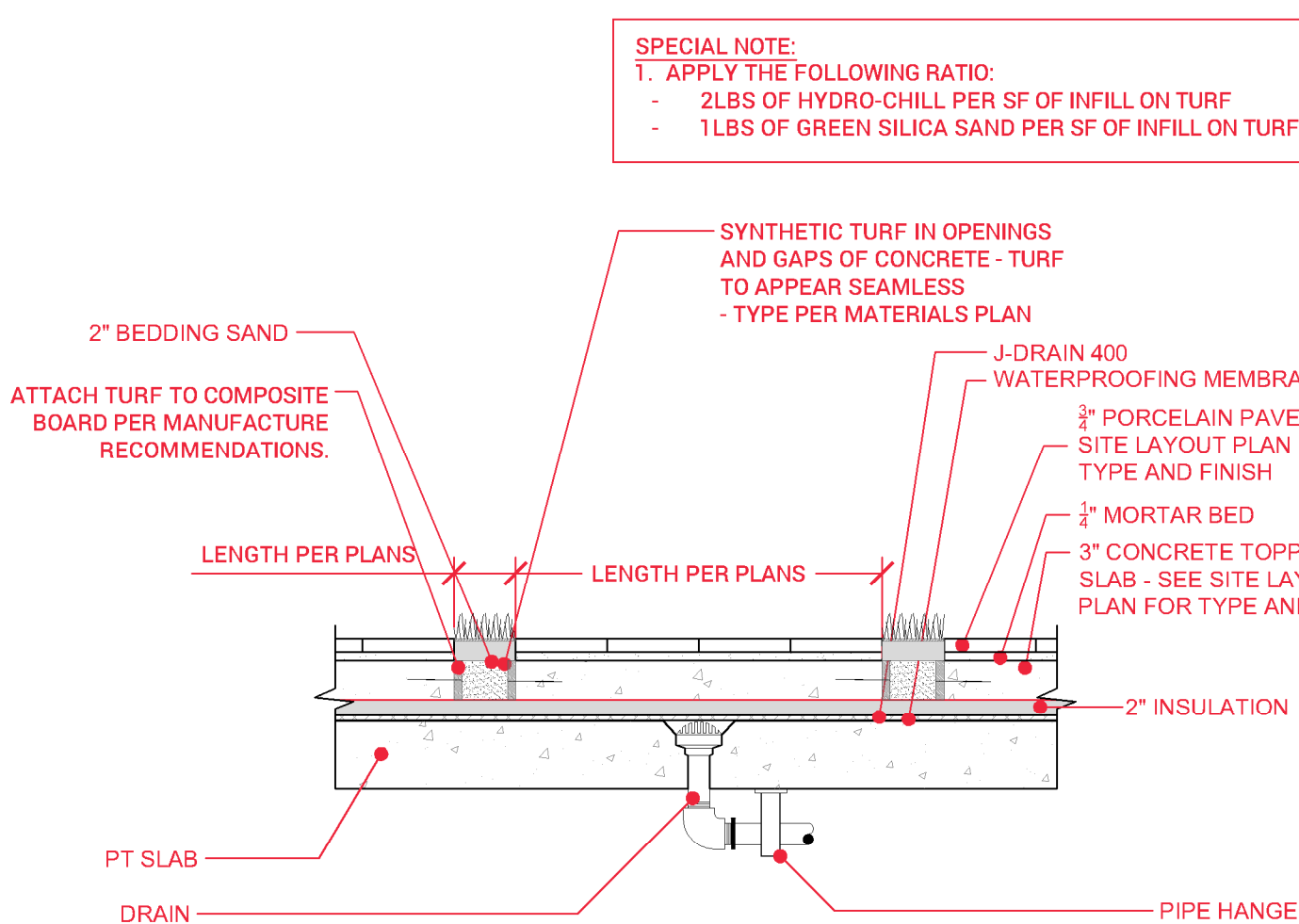
2


$$1^{\circ} = 1^{\circ}-0'$$
$$\frac{3}{8}'' = 1'$$

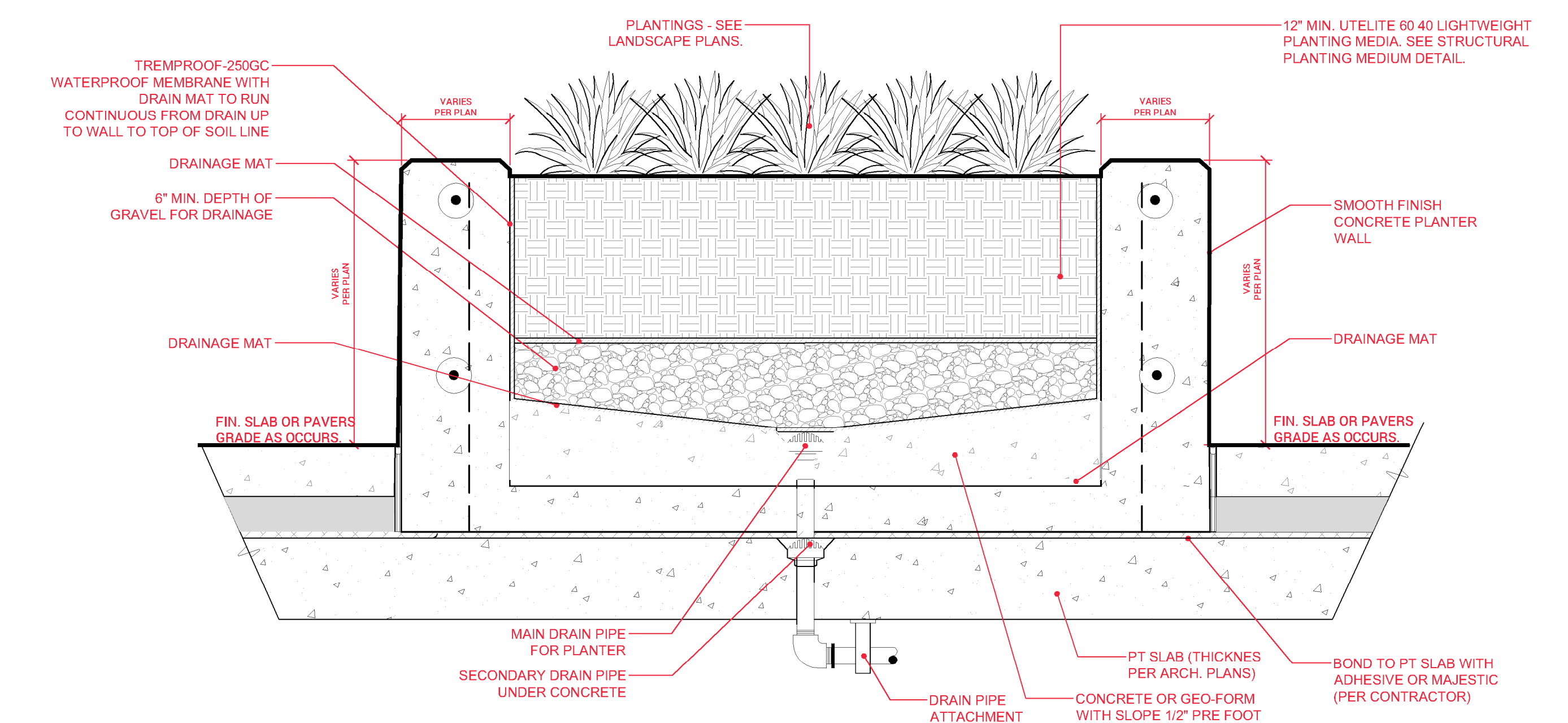
3

 $1^\circ = 1' 0''$  $\frac{3}{4}'' = 1'$ 

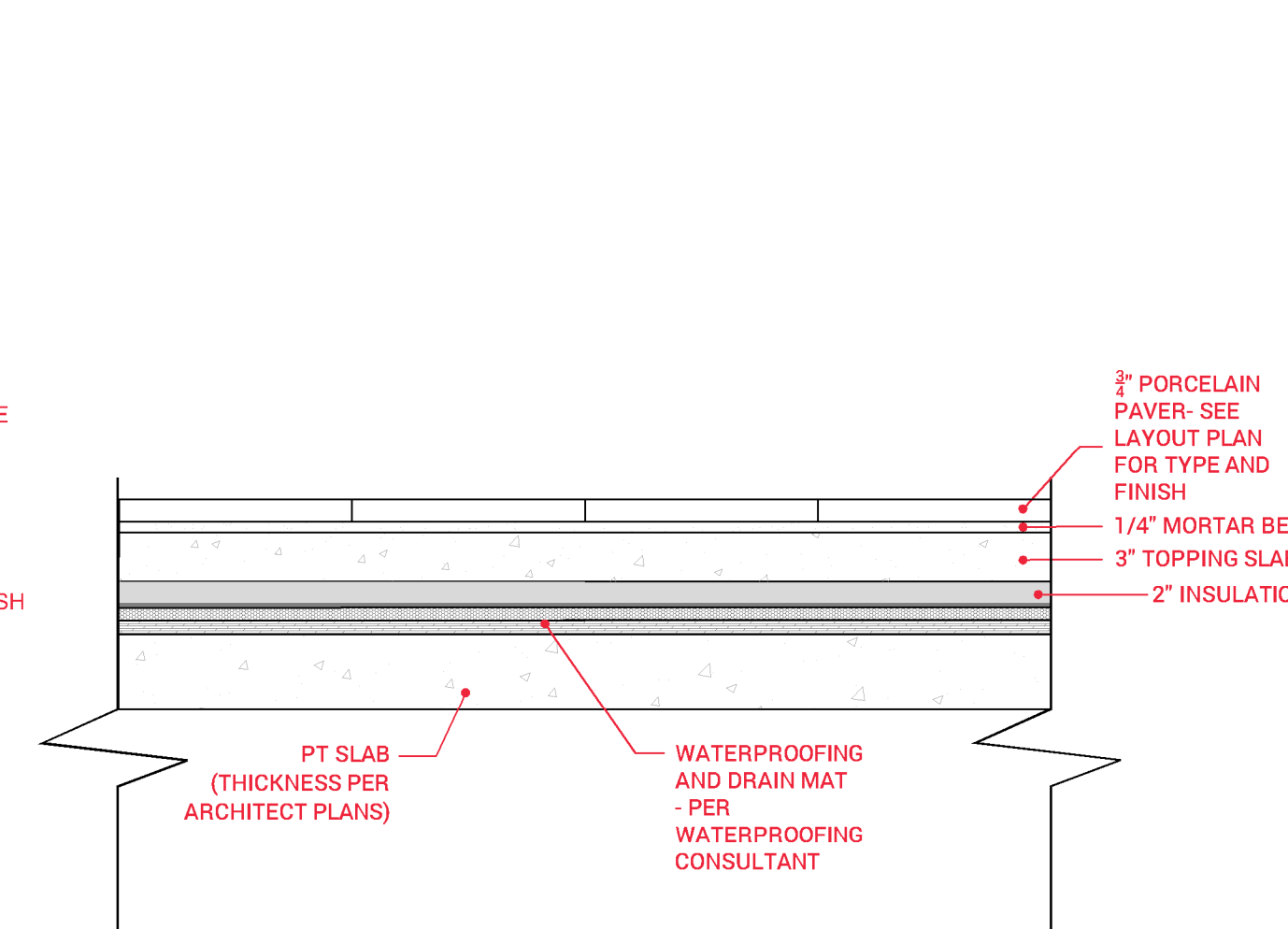
1" = 1'-0"



1" = 1'-0"



1" = 1' 0"



1" = 1'

[illegible]

| REVISION   |                |
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| 06/17/2022 | IMP ADDENDUM 2 |

884

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SHEET NAME:

## SITE LAYOUT DETAILS

GMP/Building PermitJOB NUMBER:

|          |            |
|----------|------------|
| DRAWN BY | CHECKED BY |
|----------|------------|

|  |     |     |
|--|-----|-----|
|  | NKJ | BAR |
|--|-----|-----|

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LS502



| ISSUE | DATE       | DESCRIPTION               | REVISION |
|-------|------------|---------------------------|----------|
| 1     | 08/15/2024 | ISSUE 001: INITIAL DESIGN |          |
| 2     | 08/15/2024 | ISSUE 002: REVISIONS      |          |
| 3     | 08/15/2024 | ISSUE 003: REVISIONS      |          |
| 4     | 08/15/2024 | ISSUE 004: REVISIONS      |          |
| 5     | 08/15/2024 | ISSUE 005: REVISIONS      |          |
| 6     | 08/15/2024 | ISSUE 006: REVISIONS      |          |
| 7     | 08/15/2024 | ISSUE 007: REVISIONS      |          |
| 8     | 08/15/2024 | ISSUE 008: REVISIONS      |          |
| 9     | 08/15/2024 | ISSUE 009: REVISIONS      |          |
| 10    | 08/15/2024 | ISSUE 010: REVISIONS      |          |
| 11    | 08/15/2024 | ISSUE 011: REVISIONS      |          |
| 12    | 08/15/2024 | ISSUE 012: REVISIONS      |          |
| 13    | 08/15/2024 | ISSUE 013: REVISIONS      |          |
| 14    | 08/15/2024 | ISSUE 014: REVISIONS      |          |
| 15    | 08/15/2024 | ISSUE 015: REVISIONS      |          |
| 16    | 08/15/2024 | ISSUE 016: REVISIONS      |          |
| 17    | 08/15/2024 | ISSUE 017: REVISIONS      |          |

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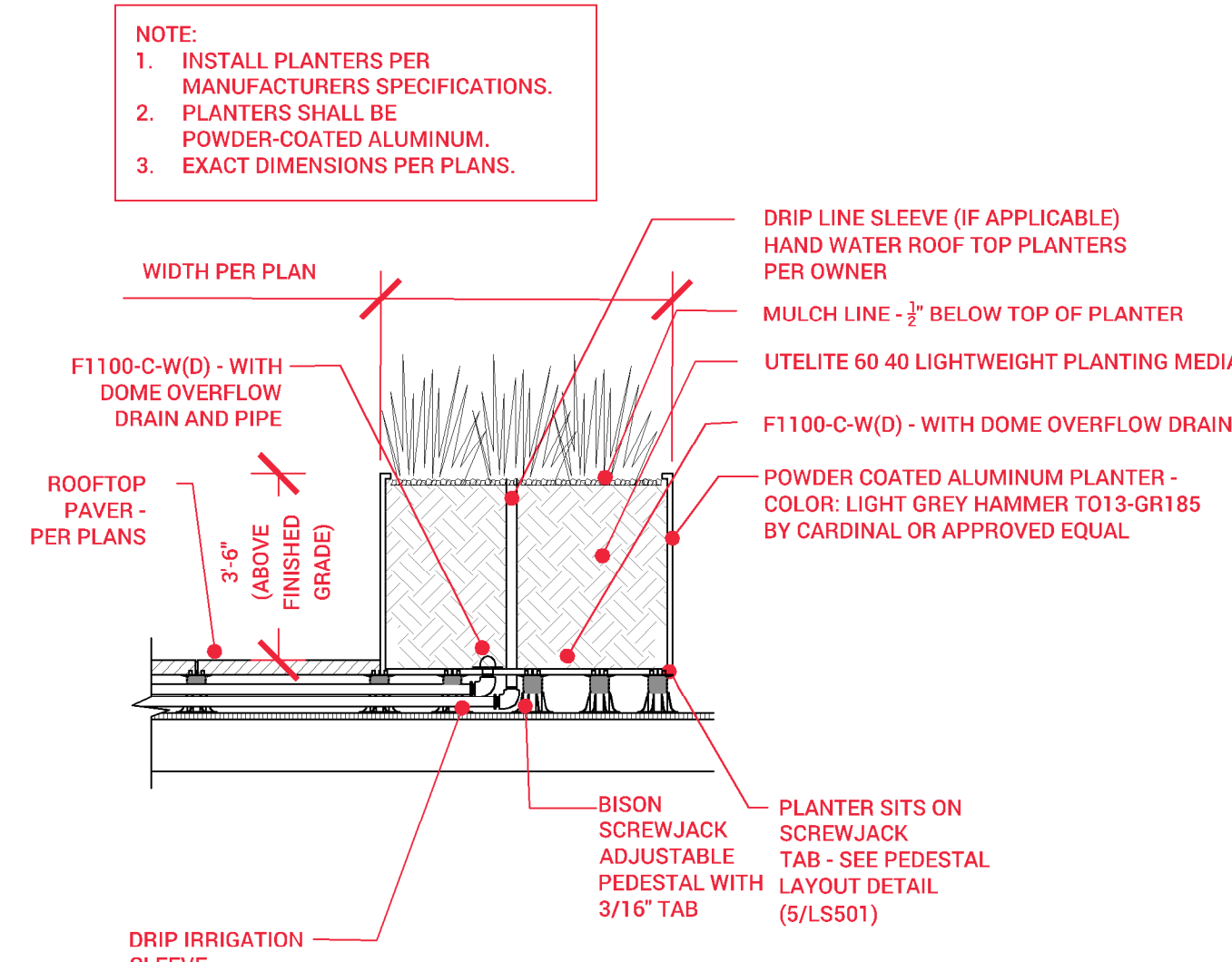
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| 1        | 08/15/2024 | ISSUE 001: INITIAL DESIGN |    |

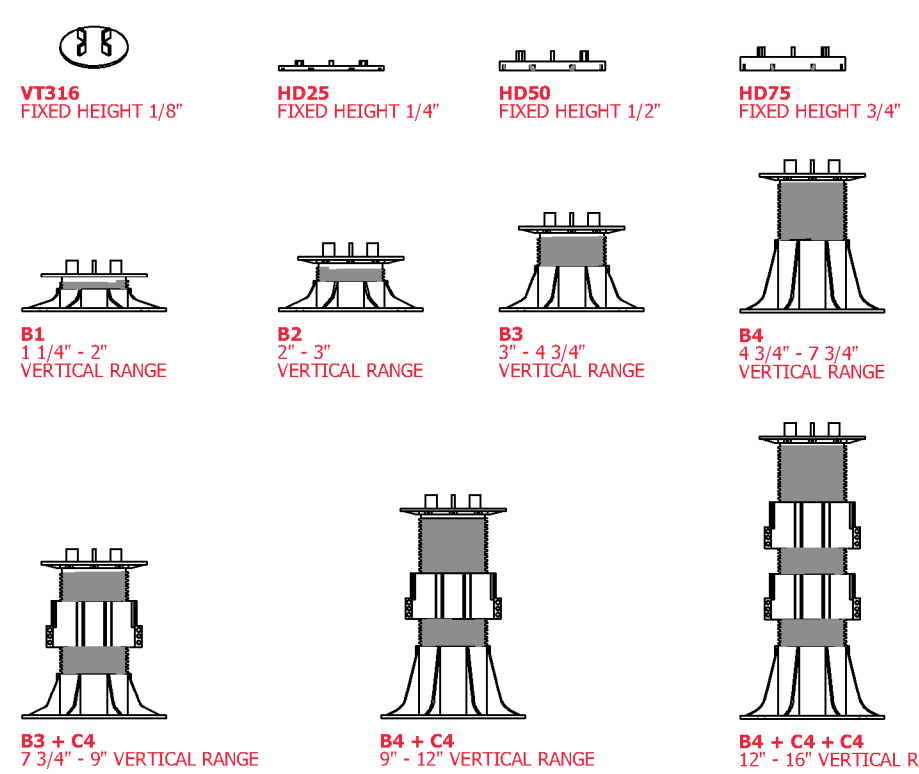


## 5 ALUMINUM ROOF TOP PLANTER

3/4" = 1'-0"

| ITEM NAME / ACCESSORIES | MODEL NUMBER | RANGE OF ADJUSTMENT | ADDS             | DESCRIPTION                                 |
|-------------------------|--------------|---------------------|------------------|---------------------------------------------|
|                         | B1           | 1 1/4" - 2"         | -                | ADJUSTABLE PEDESTAL                         |
|                         | B2           | 2" - 3"             | -                | ADJUSTABLE PEDESTAL                         |
|                         | B3           | 3" - 4 3/4"         | -                | ADJUSTABLE PEDESTAL                         |
|                         | B4           | 4 3/4" - 7 3/4"     | -                | ADJUSTABLE PEDESTAL                         |
|                         | C4           | 2 1/2" - 4"         | ADDS 2 1/2" - 4" | 4" COUPLER                                  |
|                         | VT316        | -                   | ADDS 1/8"        | ULTRA LOW FIXED HEIGHT                      |
|                         | HD25         | -                   | ADDS 1/4"        | FIXED HEIGHT                                |
|                         | HD50         | -                   | ADDS 1/2"        | FIXED HEIGHT                                |
|                         | HD75         | -                   | ADDS 3/4"        | FIXED HEIGHT                                |
|                         | LD4          | 1/4" PER FOOT       | ADDS 3/8"        | BASE LEVELER DISK                           |
|                         | B11          | -                   | ADDS 1/8"        | FLEXIBLE SHIM SOUND DAMPENING               |
|                         | PS1          | -                   | ADDS 1/8"        | RIGID SHIM                                  |
|                         | FFB          | -                   | ADDS 1/4"        | FLOATING FOUNDATION BASE 12" x 12" x 1 1/4" |
|                         | FFB          | -                   | ADDS 1/16"       | FLOATING FOUNDATION BASE 12" x 12" x 1 1/4" |

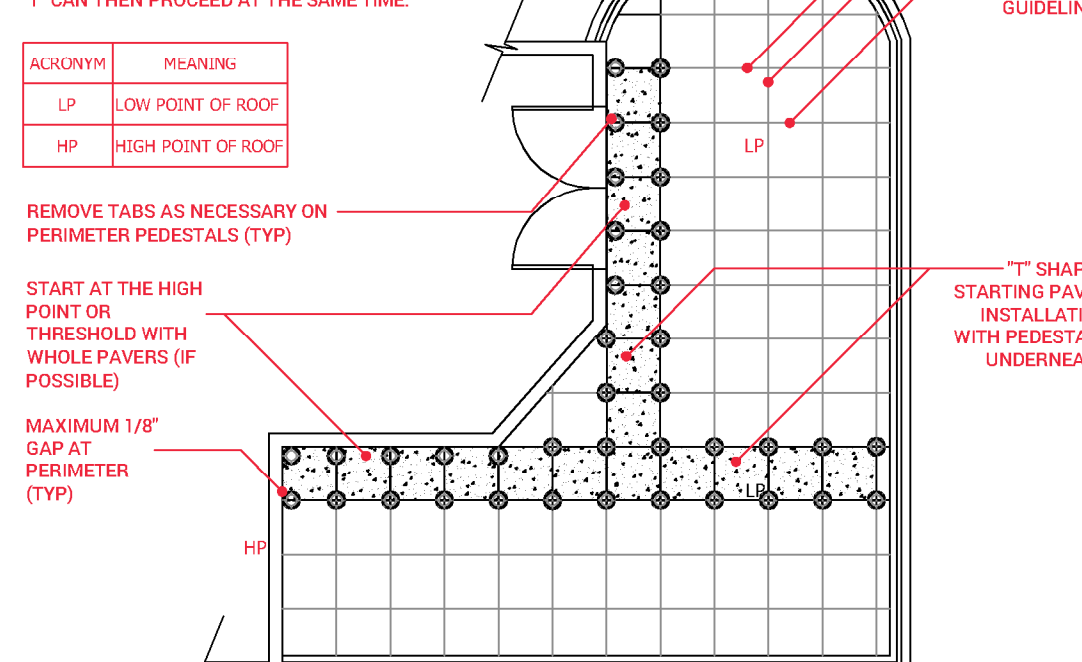
GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS  
1. INSTALLATION MUST BE COMPLETED IN ACCORDANCE WITH BISON INNOVATIVE PRODUCTS SPECIFICATIONS.  
2. DRAWINGS NOT TO SCALE.  
3. CONTRACTOR'S NOTE FOR PRODUCT AND COMPANY INFORMATION VISIT [www.BisonIP.com](http://www.BisonIP.com)



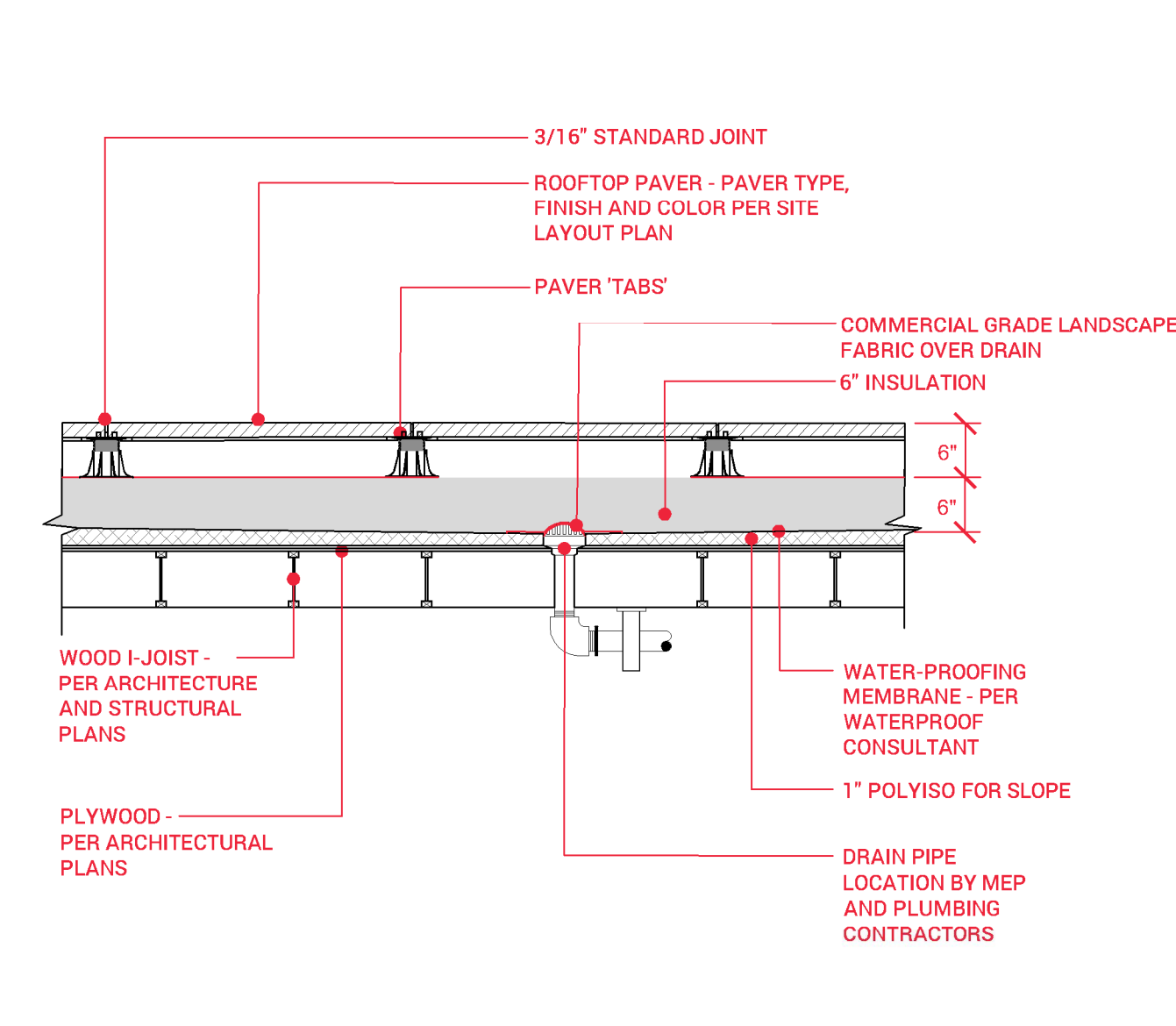
PRODUCT CHARACTERISTICS  
MAXIMUM DESIGN CAPACITY OF 1000 LBS PER PEDESTAL FACTOR OF SAFETY 2.  
SCREW ADJUSTABILITY WHILE PEDESTAL IS BEING LOADED FOR FINAL ADJUSTMENT.  
IMPERVIOUS TO FREEZE, THAW, WATER, MOIST AND SOLVENT FREE CHEMICALS.  
SCORED BASE ALLOWING SUPPORTS TO BE TRIMMED FOR TIGHT AREAS.  
WEIGHT BEARING SYSTEM DOES NOT PENETRATE ROOFING MEMBRANE OR SUBSTRATE.  
LARGE FOOTPRINT SPREADS WEIGHT OVER ROOFING MEMBRANE AND SUBSTRATE.  
MAXIMUM HEIGHT 16" OR UP TO 24" WITH ADDITIONAL BRACING.

GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS  
1. INSTALLATION MUST BE COMPLETED IN ACCORDANCE WITH BISON INNOVATIVE PRODUCTS SPECIFICATIONS.  
2. DRAWINGS NOT TO SCALE.  
3. CONTRACTOR'S NOTE FOR PRODUCT AND COMPANY INFORMATION VISIT [www.BisonIP.com](http://www.BisonIP.com)

"T" METHOD: DETERMINE CAVITY HEIGHT AT ALL THRESHOLDS, DRAINS AND HIGH POINTS. DEDUCT THE THICKNESS OF THE DECKING MATERIAL FROM THE MEASURED DISTANCE BETWEEN THE TOP OF THE MEMBRANE AND THE TOP OF THE DECKING MATERIAL TO DETERMINE THE PEDESTAL HEIGHT AND MODEL NUMBER FOR EACH LOCATION. USE A "LASER LEVEL" TO MARK THE TOP OF PEDESTAL ELEVATION AROUND THE DECK. PLAN PAVEMENT/PEDESTAL LAYOUT PATTERN BEFORE STARTING. BY MARKING GUIDELINES ON THE ROOF IT NEEDED. USING THE GUIDELINES INSTALL A "T" SHAPED PORTION OF THE NEW DECK STARTING FROM THE THRESHOLD (OR HIGH POINT) DECIDING ON BOTH SIDES OF THE "T" SHOULD BE ADJUSTED TO THE CORRECT HEIGHT AND LEVEL BEFORE PROCEEDING. INSTALLATION ON ALL SIDES OF THE "T" CAN THEN PROCEED AT THE SAME TIME.



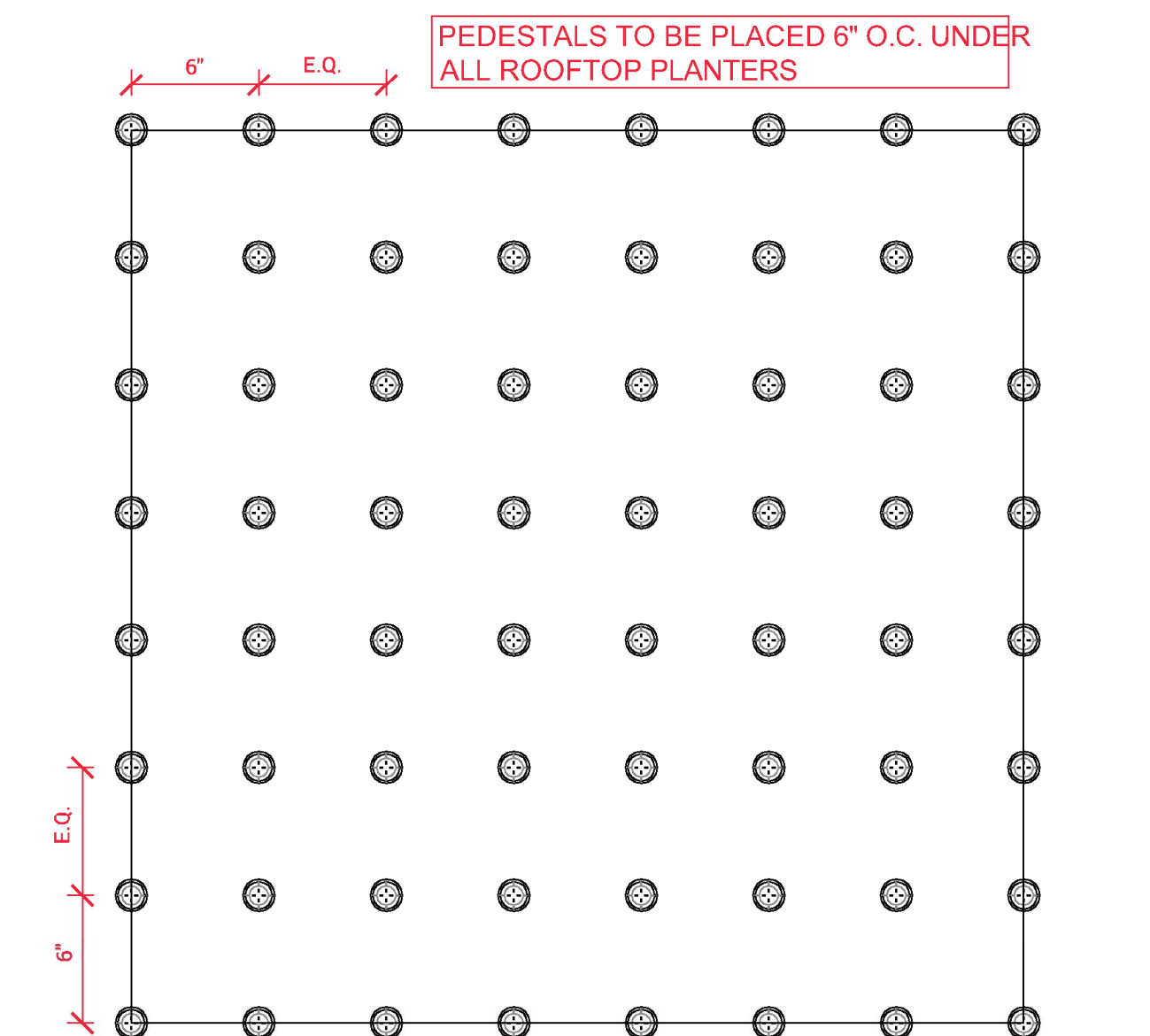
GENERAL NOTES: APPLY TO ALL OF THE ABOVE PRODUCTS  
1. INSTALLATION MUST BE COMPLETED IN ACCORDANCE WITH BISON INNOVATIVE PRODUCTS SPECIFICATIONS.  
2. DRAWINGS NOT TO SCALE.  
3. CONTRACTOR'S NOTE FOR PRODUCT AND COMPANY INFORMATION VISIT [www.BisonIP.com](http://www.BisonIP.com)



## 6 PEDESTAL PAVER - ROOFTOP LEVEL

3/4" = 1'-0"

PROJ-HOUS-WES1-SITE-14



## 7 PEDESTAL LAYOUT UNDER ROOFTOP PLANTER

1 1/2" = 1'-0"

PROJ-HOUS-WES1-SITE-39

## 8 BISON SCREWJACK PEDESTAL PRODUCT LINE

3/4" = 1'-0"

PROJ-HOUS-WES1-SITE-05

## 9 BISON SCREWJACK PEDESTAL ELEVATIONS

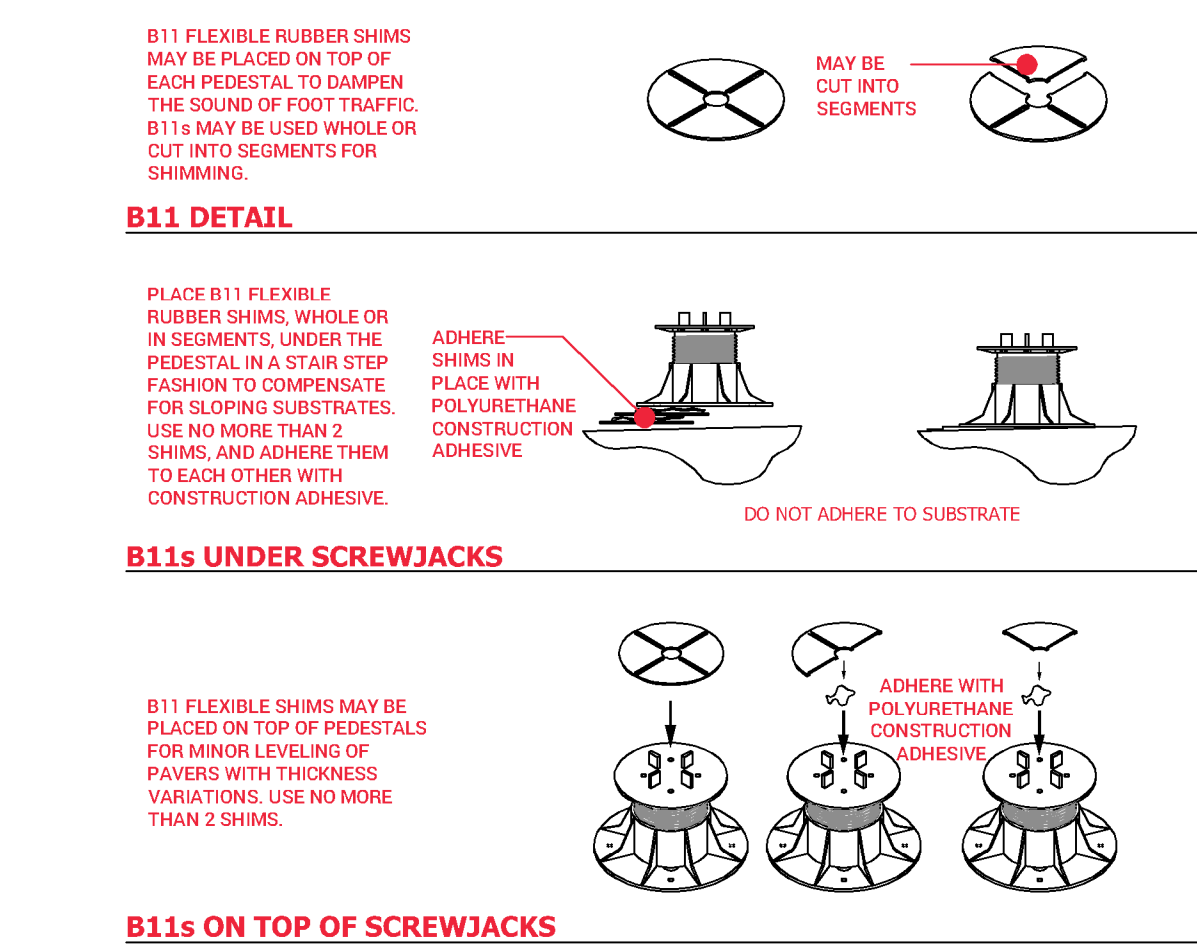
3/4" = 1'-0"

PROJ-HOUS-WES1-SITE-04

## 10 BISON PEDESTAL STARTING INSTALLATION

3/4" = 1'-0"

PROJ-HOUS-WES1-SITE-16



## 11 BISON SCREWJACK RUBBER SHIM

3/4" = 1'-0"

PROJ-HOUS-WES1-SITE-07

## 12 SCREWJACK PEDESTAL THRESHOLD PLACEMENT

3/4" = 1'-0"

## 13 SCREWJACK PEDESTAL PERIMETER PLACEMENT

3/4" = 1'-0"

## 14 PEDESTAL DRAIN PLACEMENT

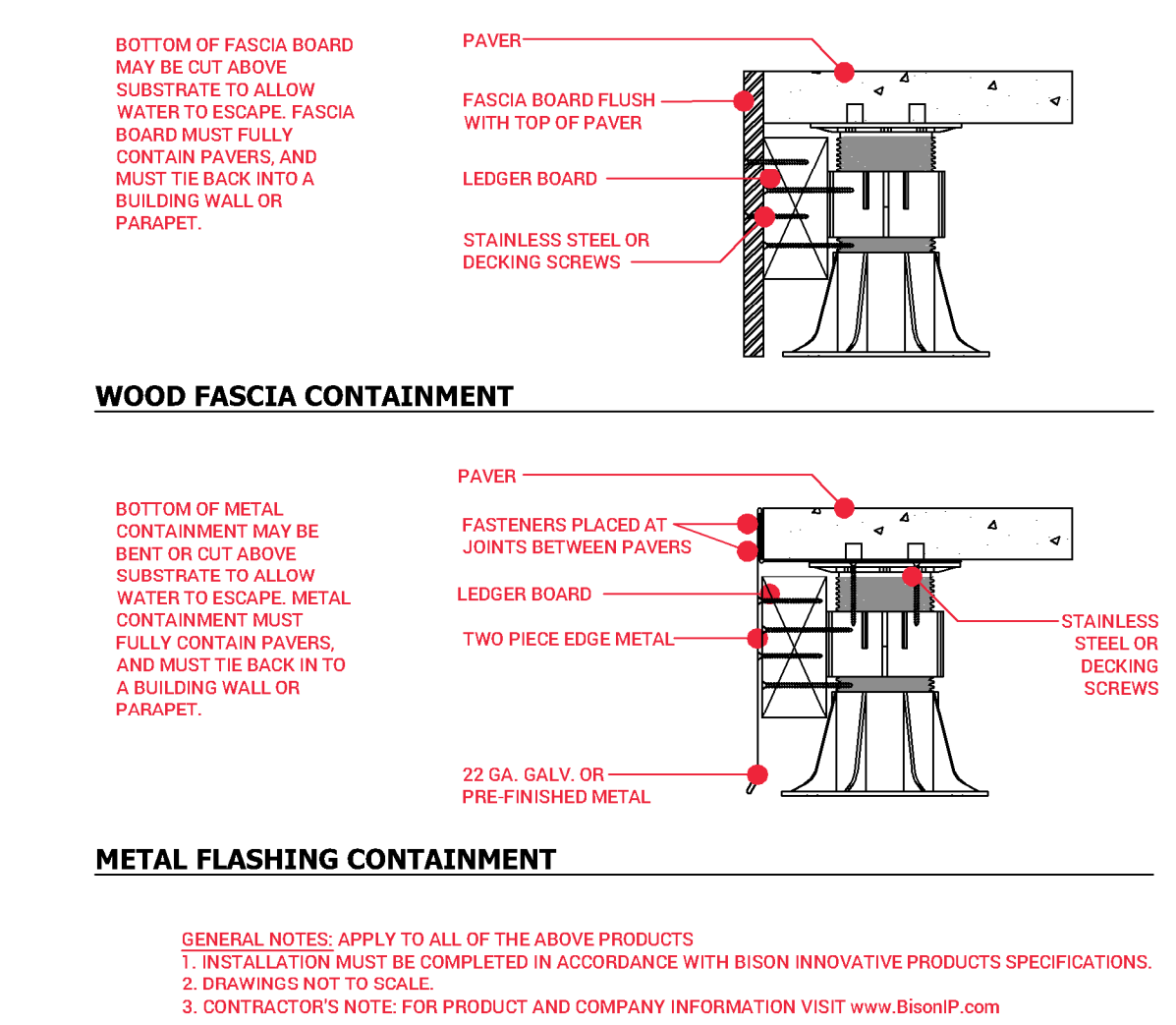
3/4" = 1'-0"

PROJ-HOUS-WES1-SITE-12

## 15 PEDESTAL LOW CAVITY HEIGHT PLACEMENT

3/4" = 1'-0"

PROJ-HOUS-WES1-SITE-16



## 16 PEDESTAL PAVER EDGE RESTRAINT

3/4" = 1'-0"

PROJ-HOUS-WES1-SITE-13

## 17 ROOFTOP/PODIUM GENERAL NOTES

1" = 20'

PROJ-HOUS-WES1-SITE-06

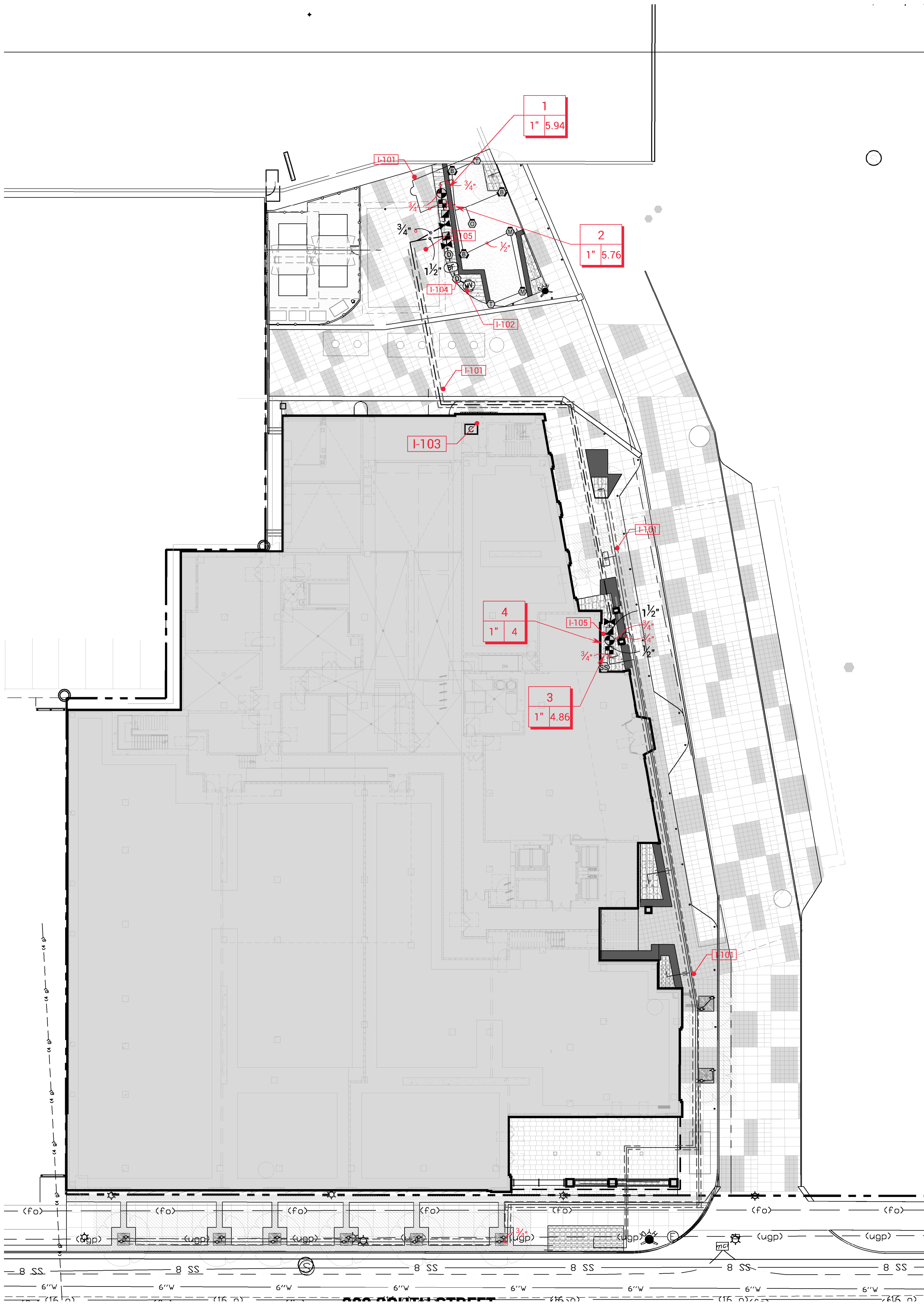
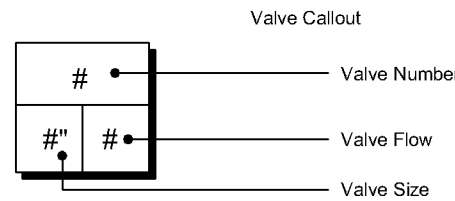


REFERENCE NOTES SCHEDULE

| SYMBOL | IRRIGATION DESCRIPTION                                                                                                                                                                                                                                                                                                                               | QTY | DETAIL |
|--------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|--------|
| I-101  | IRRIGATION PIPING AND EQUIPMENT ARE SHOWN IN PAVED AREAS FOR GRAPHIC CLARITY ONLY. LOCATE ALL PIPES AND EQUIPMENT IN LANDSCAPE AREAS WHERE POSSIBLE. ALL PIPES UNDER PAVEMENT SHALL BE SLEEVED. ALIGN VALVE BOXES WITHIN SHRUB BEDS AND ALIGN WITH BUILDING, WALL, OR EDGE OF PAVEMENT. (TYP.)                                                       |     |        |
| I-102  | CONNECT SERVICE LINE TO IRRIGATION POINT OF CONNECTION - SEE CIVIL PLANS FOR EXACT LOCATION, SERVICE LINE AND METER SIZE. PLACE ALL IRRIGATION EQUIPMENT IN PLANTER BED SO AS TO HIDE IT FROM VIEW. IRRIGATION IS DESIGNED FOR 65 PSI AT POINT OF CONNECTION WITH A 37.5 GPM MINIMUM FLOW. CONTRACTOR TO USE PRESSURE REGULATOR FOR PSI OVER 90 PSI. |     |        |
| I-103  | WALL MOUNT IRRIGATION CONTROLLER ON INTERIOR WALL OF BUILDING WITHIN 16" WM STRONGBOX. VERIFY EXACT LOCATION WITH OWNER/FACILITY MANAGER. COORDINATE CONTROLLER LOCATION WITH POWER SUPPLY.                                                                                                                                                          |     |        |
| I-104  | MANUAL DRAIN VALVE TO BE LOCATED AT END OF SYSTEM FOR WINTERIZATION. SEE PLUMBING PLANS FOR EXACT LOCATION OF PROPOSED DRAINS. (TYP.) CONFIRM LOCATION WITH ARCHITECT.                                                                                                                                                                               |     |        |
| I-105  | PROVIDE QUICK COUPLER CONNECTION FOR MAINTENANCE AND CLEANING OF PATIO.                                                                                                                                                                                                                                                                              |     |        |

IRRIGATION SCHEDULE

| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION                                                                                                                                                                                                                                  | QTY        | PSI | DETAIL |
|--------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|-----|--------|
|        | HUNTER MP CORNER PROS-04-PRS40-CV TURF ROTATOR, 4" (10.16CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE. T=TURQUOISE ADJ ARC 45-105 ON PRS40 BODY.                                                   | 2          | 40  |        |
|        | HUNTER MP1000 PROS-04-PRS40-CV TURF ROTATOR, 4" (10.16 CM) POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.                         | 3          | 40  |        |
|        | HUNTER MP3000 PROS-04-PRS40-CV TURF ROTATOR, 4" (10.16 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.                | 3          | 40  |        |
|        | HUNTER RZWS-10 25 10' LONG RZWS WITH INSTALLED .25 GPM OR .50 GPM BUBBLER OPTIONS, INTERNAL PLUMBING, AND 1/2" SWING JOINT FOR CONNECTION TO 1/2" PIPE                                                                                                          | 16         | 30  |        |
| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION                                                                                                                                                                                                                                  | QTY        |     | DETAIL |
|        | HUNTER ICZ-101-25 DRIP CONTROL ZONE KIT. 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 25PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.                                                                              | 2          |     |        |
|        | AREA TO RECEIVE DRIPLINE<br>HUNTER PLD-06-18 (18) IN-LINE PRESSURE COMPENSATING LANDSCAPE DRIPLINE WITH BUILT-IN CHECK VALVE, 0.6GPH EMITTERS AT 18.0" O.C. DRIPLINE LATERALS SPACED AT 18.0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. | 978.8 S.F. |     |        |
| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION                                                                                                                                                                                                                                  | QTY        |     | DETAIL |
|        | HUNTER IBV 1", 1-1/2", 2", AND 3" BRASS ELECTRIC REMOTE CONTROL VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.                                                                                                       | 2          |     |        |
|        | HUNTER HQ-44LRC QUICK COUPLER VALVE, YELLOW RUBBER LOCKING COVER, RED BRASS AND STAINLESS STEEL, WITH 1" NPT INLET, 2-PIECE BODY.                                                                                                                               | 3          |     |        |
|        | MATCO-NORCA 759 BRASS SHUT OFF BALL VALVE, 1/2" TO 4". TWO PIECE BODY, BLOW-OUT PROOF STEM, CHROME PLATED SOLID BRASS BALL, THREADED, WITH PTFE SEATS. SAME SIZE AS MAINLINE PIPE.                                                                              | 3          |     |        |
|        | HUNTER ICV-G MASTER 1-1/2" 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.                                                                                             | 1          |     |        |
|        | DRAIN VALVE<br>MANUEL MAINLINE DRAIN VALVE. INSTALL AFTER HYDROMETER. INSTALL WITH 3' X 3' X 3' GRAVEL SUMP MIN. SEE DETAIL (TYP.)                                                                                                                              | 2          |     |        |
|        | FEBCO 825Y 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER                                                                                                                                                                                                           | 1          |     |        |
|        | HUNTER HC-6 6 STATION CONTROLLER WITH WI-FI CONNECTION                                                                                                                                                                                                          | 1          |     |        |
|        | HUNTER WSS WIRELESS SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE, CONNECTS TO HUNTER PCC, PRO-C, AND I-CORE CONTROLLERS. INSTALL AS NOTED. INCLUDES 10 YEAR LITHIUM BATTERY AND RUBBER MODULE COVER, AND GUTTER MOUNT BRACKET.                              | 1          |     |        |
|        | IRRIGATION LATERAL LINE: PVC SCHEDULE 40 PVC SCHEDULE 40 IRRIGATION PIPE. ONLY LATERAL TRANSITION PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" IN SIZE.                                                                        | 1,016 L.F. |     |        |
|        | IRRIGATION MAINLINE: PVC SCHEDULE 40 PVC SCHEDULE 40 IRRIGATION PIPE.                                                                                                                                                                                           | 234.2 L.F. |     |        |
|        | PIPE SLEEVE: BLU-LOCK AND PVC CLASS 200                                                                                                                                                                                                                         | 674.4 L.F. |     |        |



| ISSUE | DATE       | DESCRIPTION      | REVISION |
|-------|------------|------------------|----------|
| 1     | 08/11/2024 | ISSUE FOR PERMIT |          |
| 2     | 08/11/2024 | FOR REVIEW       |          |
| 3     | 08/11/2024 | FOR REVIEW       |          |
| 4     | 08/11/2024 | FOR REVIEW       |          |
| 5     | 08/11/2024 | FOR REVIEW       |          |
| 6     | 08/11/2024 | FOR REVIEW       |          |
| 7     | 08/11/2024 | FOR REVIEW       |          |
| 8     | 08/11/2024 | FOR REVIEW       |          |
| 9     | 08/11/2024 | FOR REVIEW       |          |
| 10    | 08/11/2024 | FOR REVIEW       |          |

| REVISION | DATE       | DESCRIPTION      | REVISION |
|----------|------------|------------------|----------|
| 1        | 08/11/2024 | ISSUE FOR PERMIT |          |
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| 4        | 08/11/2024 | FOR REVIEW       |          |
| 5        | 08/11/2024 | FOR REVIEW       |          |
| 6        | 08/11/2024 | FOR REVIEW       |          |
| 7        | 08/11/2024 | FOR REVIEW       |          |
| 8        | 08/11/2024 | FOR REVIEW       |          |
| 9        | 08/11/2024 | FOR REVIEW       |          |
| 10       | 08/11/2024 | FOR REVIEW       |          |

|        |
|--------|
| SCALE  |
| 1"=10' |

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SHEET NAME:  
IRRIGATION  
PLAN -  
(LEVEL 1)

GMP/Building Permit

JOB NUMBER:

DRAWN BY  
NKJ

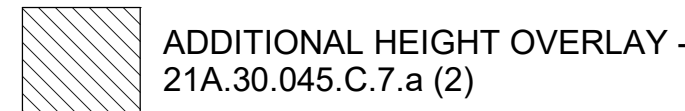
CHECKED BY  
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L1101

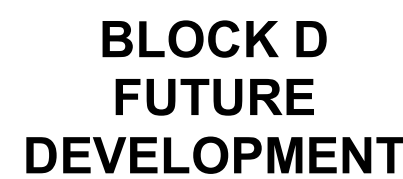








**ZONING MAP**  
12" = 1'-0"



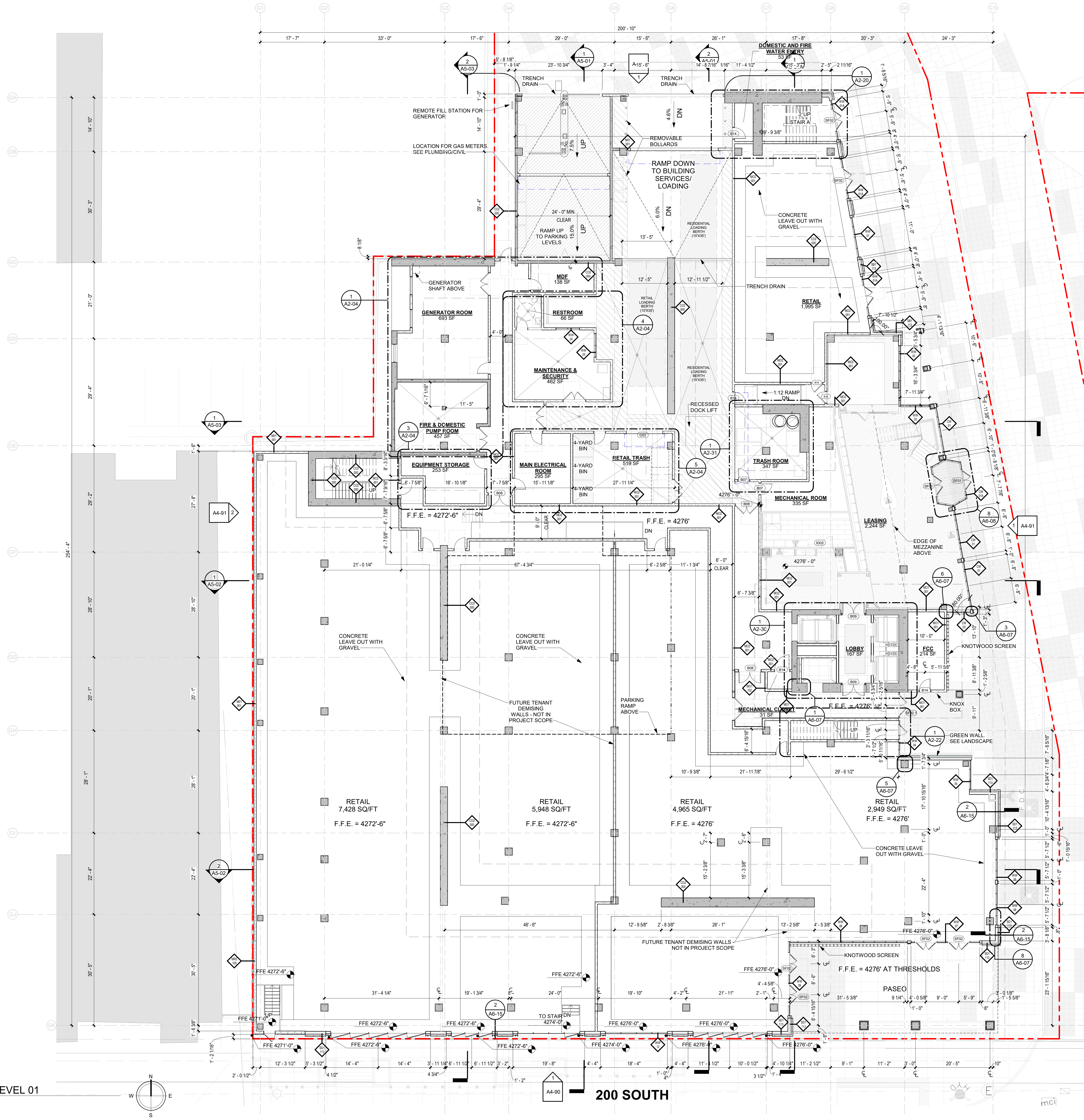
LEVEL 01 - ZONING SITE PLAN  
1" = 20'-0"



100



DESIGN REVIEW #3 SUMMARY  
A PARKING LEGEND ADDED  
B VAN HEIGHT CLEARANCE  
C LOADING BERTH LABELS



| FLOOR PLAN NOTES                                                                                                                                        |                                                                                                                                                |                                                                                                                                                |                             |
|---------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------|
| 1.                                                                                                                                                      | ALL DIMENSIONS ARE TO THE FACE OF STUD/ STRUCTURE UNLESS OTHERWISE NOTED.                                                                      |                                                                                                                                                |                             |
| 2.                                                                                                                                                      | REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.                                                                                         |                                                                                                                                                |                             |
| 3.                                                                                                                                                      | ALL TENANT SEPARATION WALL ARE 1-HR RATED PER UL# W475.                                                                                        |                                                                                                                                                |                             |
| 4.                                                                                                                                                      | ALL CORRIDOR WALL ARE 1-HR RATED PER UL# U419.                                                                                                 |                                                                                                                                                |                             |
| 5.                                                                                                                                                      | SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.                                               |                                                                                                                                                |                             |
| 6.                                                                                                                                                      | REFER TO SP-05 FOR ADDRESSING PLAN                                                                                                             |                                                                                                                                                |                             |
| 7.                                                                                                                                                      | PIPE SAFETY GUARDS - PROVIDE GUARDS AROUND EVERY VERTICAL PIPE (STORM, SANITARY, ETC.) IN THE PARKING GARAGE TO PROTECT THE PIPES FROM DAMAGE. |                                                                                                                                                |                             |
| <div><div></div>SPRAY-APPLIED INSULATION UNDER PODIUM SLAB - R-10 CI</div> <div><div></div>CRICKET ROOF</div> <div><div></div>PROTECTIVE WALKPATH</div> |                                                                                                                                                |                                                                                                                                                |                             |
| UNIT TYPE LEGEND                                                                                                                                        |                                                                                                                                                |                                                                                                                                                |                             |
| A1                                                                                                                                                      | A1.1                                                                                                                                           | A1-A                                                                                                                                           |                             |
| BASE UNIT                                                                                                                                               | UNIT VARIATION                                                                                                                                 | MOBILITY ACCESSIBLE UNIT                                                                                                                       |                             |
| PARKING LEGEND: LEVEL 1                                                                                                                                 |                                                                                                                                                |                                                                                                                                                |                             |
| STALL                                                                                                                                                   | TYPE                                                                                                                                           | SIZE (U.N.O.)                                                                                                                                  | COUNT PER FLOOR TOTAL: NONE |
| <div></div> STANDARD                                                                                                                                    | A                                                                                                                                              | 9'-0" WIDE<br>18'-0" DEEP                                                                                                                      | NONE                        |
|                                                                                                                                                         |                                                                                                                                                | 8'-3" WIDE<br>18'-0" DEEP                                                                                                                      | NONE                        |
|                                                                                                                                                         |                                                                                                                                                | 9'-3" WIDE<br>(8'-3" + 1'-0" PER SLC PARKING CODE 21A.44.20)<br>18'-0" DEEP                                                                    | NONE                        |
| <div></div> ACCESSIBLE                                                                                                                                  | B                                                                                                                                              | 9'-0" WIDE<br>18'-0" DEEP<br>60" ACCESS AISLE MIN.                                                                                             | NONE                        |
|                                                                                                                                                         |                                                                                                                                                | 9'-3" WIDE<br>18'-0" DEEP<br>60" ACCESS AISLE MIN.                                                                                             | NONE                        |
| <div></div> VAN ACCESSIBLE                                                                                                                              |                                                                                                                                                | 9'-0" WIDE<br>18'-0" DEEP<br>96" ACCESS AISLE MIN.<br><div><div></div>98" VERTICAL CLEARANCE<br/>PATHWAY<br/>PER 2009 ICC A117.1 - 502.6</div> | NONE                        |

dwelldesignstudio

360 WEST 300 SOUTH  
UNIT 102  
SALT LAKE CITY, UT 84101  
PHONE: 385.273.3888  
dwelldesignstudio.com

WEST QUARTER - BLOCK C  
260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

THE RITCHIE GROUP

ISSUE  
DATE DESCRIPTION  
09/10/2021 SCHEMATIC DESIGN  
11/18/2021 DESIGN DEVELOPMENT  
12/24/2021 S&B CONSTRUCTION DOCUMENTS  
03/04/2022 GMP / PERMIT

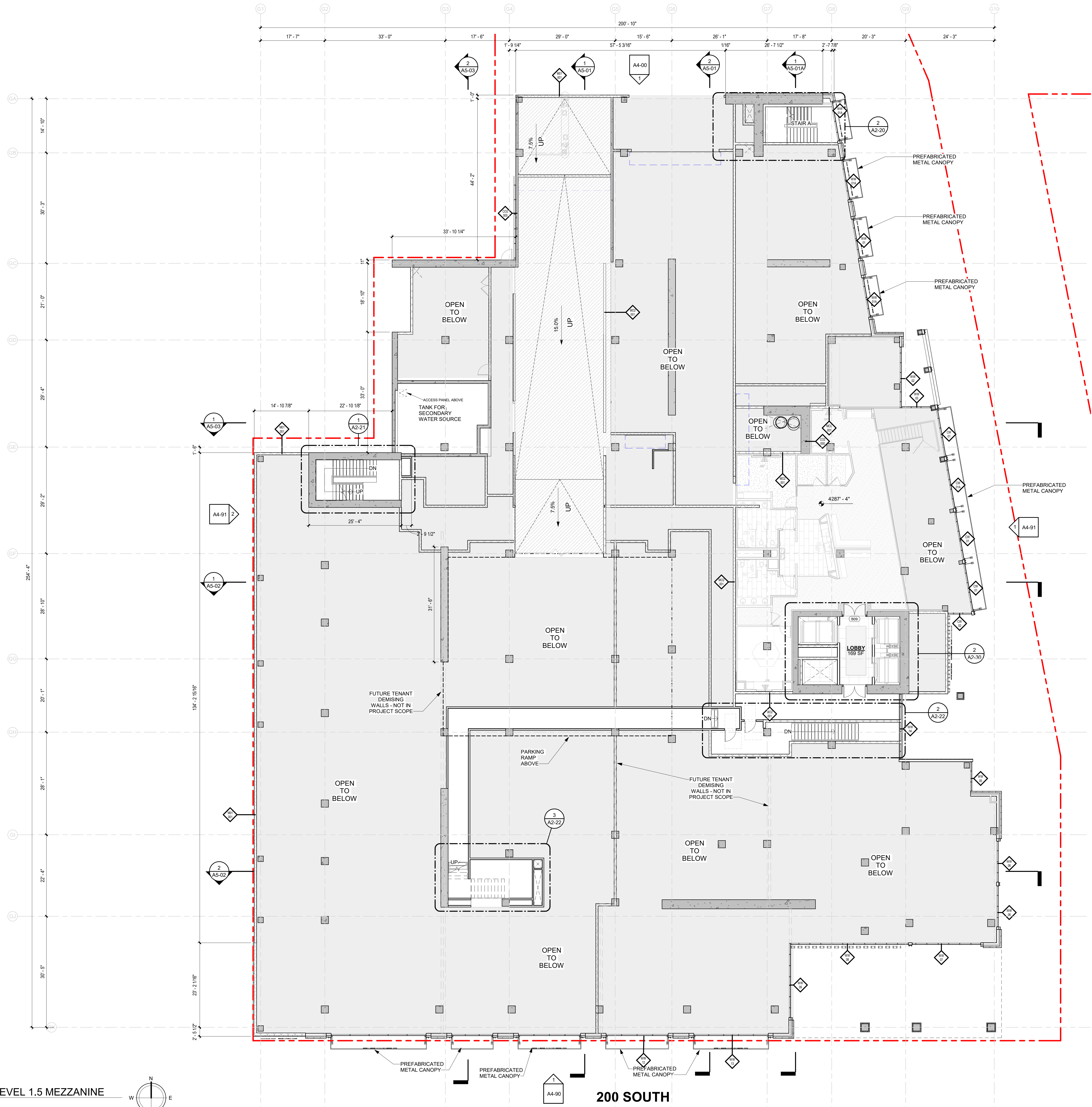
REVISION  
DATE DESCRIPTION  
09/10/2021 FOOTING AND FOUNDATION 1  
09/10/2021 RAMP REVISIONS 2  
09/10/2021 DESIGN REVIEW RESPONSE 3

OVERALL PLAN - LEVEL 01  
GMP / BUILDING PERMIT  
JOB NUMBER: 2138601  
DRAWN BY: Author  
CHECKED BY: Checker  
A1-01

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DESIGN REVIEW #3 SUMMARY  
A PARKING LEGEND ADDED  
B VAN HEIGHT CLEARANCE



**FLOOR PLAN NOTES**

- ALL DIMENSIONS ARE TO THE FACE OF STUD/ STRUCTURE UNLESS OTHERWISE NOTED.
- REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
- ALL TENANT SEPARATION WALL ARE 1-HR RATED PER ULA# W475.
- ALL CORRIDOR WALL ARE 1-HR RATED PER ULA# U419.
- SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.
- REFER TO SP-05 FOR ADDRESSING PLAN
- PIPE SAFETY GUARDS - PROVIDE GUARDS AROUND EVERY VERTICAL PIPE (STORM, SANITARY, ETC.) IN THE PARKING GARAGE TO PROTECT THE PIPES FROM DAMAGE.

SPRAY-APPLIED INSULATION UNDER PODIUM SLAB - R-10 CI

CRICKET ROOF

PROTECTIVE WALKPATH

**UNIT TYPE LEGEND**

| A1        | A1.1           | A1-A                     |
|-----------|----------------|--------------------------|
| BASE UNIT | UNIT VARIATION | MOBILITY ACCESSIBLE UNIT |

**PARKING LEGEND: LEVEL M**

| STALL | TYPE | SIZE (U.N.O.)                                                                                              | COUNT PER FLOOR TOTAL: NONE |
|-------|------|------------------------------------------------------------------------------------------------------------|-----------------------------|
|       | A    | 9'-0" WIDE 18'-0" DEEP                                                                                     | NONE                        |
|       |      | 8'-3" WIDE 18'-0" DEEP                                                                                     | NONE                        |
|       |      | 9'-3" WIDE (8'-3" + 1'-0" PER SLC PARKING CODE 21A.44.20) 18'-0" DEEP                                      | NONE                        |
|       | B    | 9'-0" WIDE 18'-0" DEEP 60" ACCESS AISLE MIN.                                                               | NONE                        |
|       |      | 9'-3" WIDE 18'-0" DEEP 60" ACCESS AISLE MIN.                                                               | NONE                        |
|       |      | 9'-0" WIDE 18'-0" DEEP 96" ACCESS AISLE MIN. 3' 98" VERTICAL CLEARANCE PATHWAY PER 2009 ICC A117.1 - 502.6 | NONE                        |

360 WEST 300 SOUTH  
UNIT 102  
SALT LAKE CITY, UT 84101  
PHONE: 385.273.3888  
dwelldesignstudio.com

WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

THE RITCHIE GROUP

ISSUE DATE DESCRIPTION INCLUDED  
09/10/2021 SCHEMATIC DESIGN X  
11/18/2021 DESIGN DEVELOPMENT X  
12/28/2021 SDC CONSTRUCTION DOCUMENTS X  
03/04/2022 GMP / PERMIT X

REVISION DATE DESCRIPTION REV  
09/10/2021 FOOTING AND FOUNDATION 1  
09/10/2021 SDC PERMITTING 1  
09/10/2021 DESIGN REVIEW RESPONSE 5

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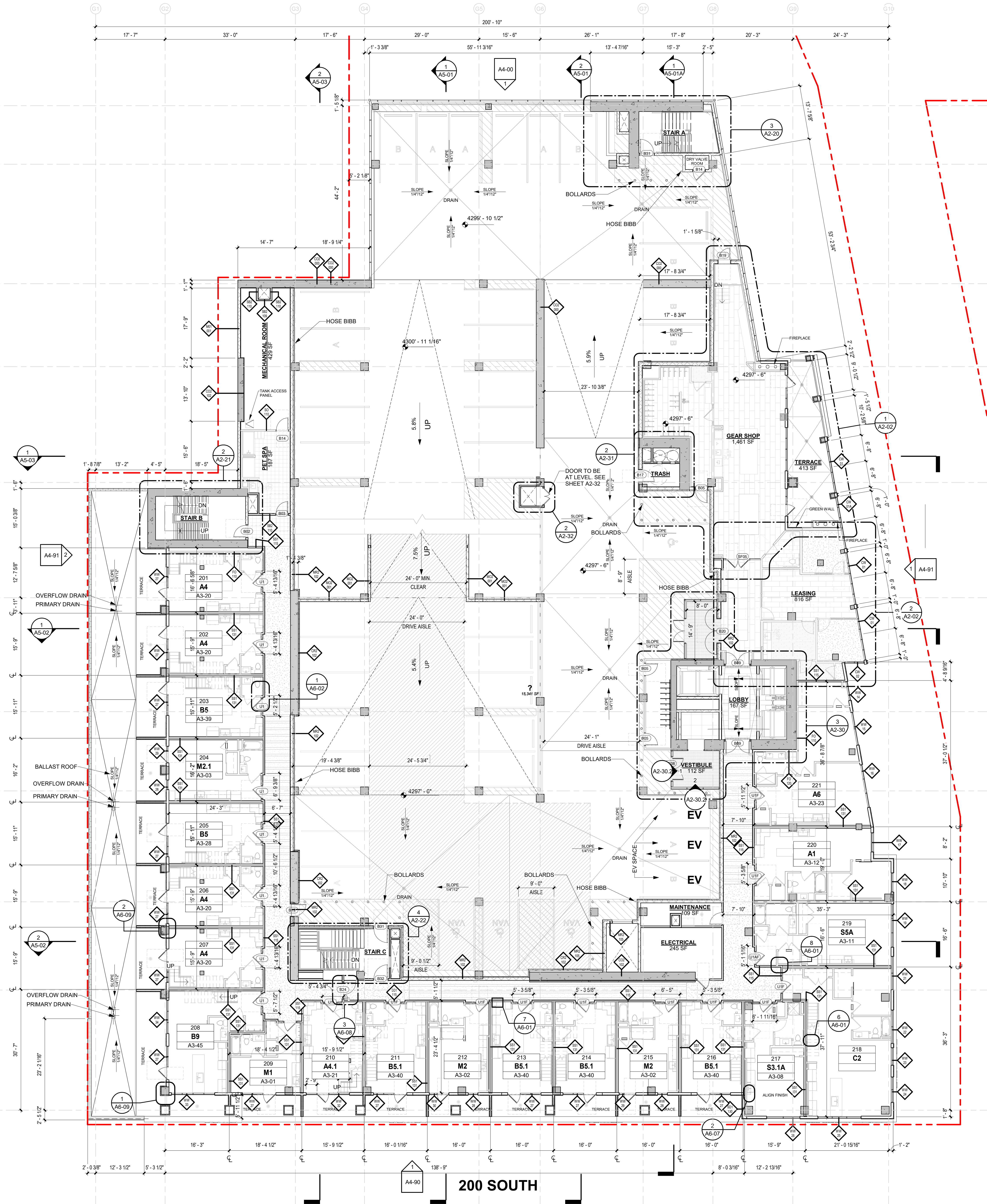
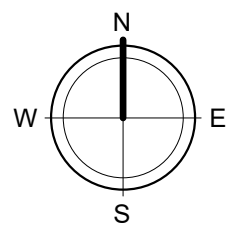
SHEET NAME: OVERALL PLAN - LEVEL M  
GMP / BUILDING PERMIT  
JOB NUMBER: 2138601  
DRAWN BY: Author  
CHECKED BY: Checker

A1-01M


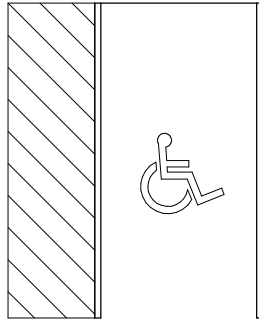
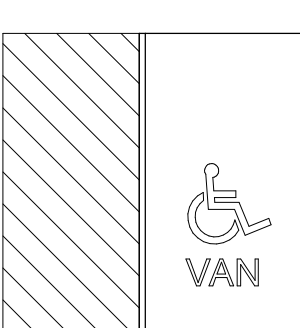

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1 OVERALL PLAN - LEVEL 02  
3/32" = 1'-0"



| FLOOR PLAN NOTES                                                                                                                                        |                                                                                                                                                |                          |  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|--|
| 1.                                                                                                                                                      | ALL DIMENSIONS ARE TO THE FACE OF STUD/ STRUCTURE UNLESS OTHERWISE NOTED.                                                                      |                          |  |
| 2.                                                                                                                                                      | REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.                                                                                         |                          |  |
| 3.                                                                                                                                                      | ALL TENANT SEPARATION WALL ARE 1-HR RATED PER U/L# W475.                                                                                       |                          |  |
| 4.                                                                                                                                                      | ALL CORRIDOR WALL ARE 1-HR RATED PER U/L# U419.                                                                                                |                          |  |
| 5.                                                                                                                                                      | SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS                                                |                          |  |
| 6.                                                                                                                                                      | REFER TO SP-05 FOR ADDRESSING PLAN                                                                                                             |                          |  |
| 7.                                                                                                                                                      | PIPE SAFETY GUARDS - PROVIDE GUARDS AROUND EVERY VERTICAL PIPE (STORM, SANITARY, ETC.) IN THE PARKING GARAGE TO PROTECT THE PIPES FROM DAMAGE. |                          |  |
| <div><div></div>SPRAY-APPLIED INSULATION UNDER PODIUM SLAB - R-10 CI</div> <div><div></div>CRICKET ROOF</div> <div><div></div>PROTECTIVE WALKPATH</div> |                                                                                                                                                |                          |  |
| UNIT TYPE LEGEND                                                                                                                                        |                                                                                                                                                |                          |  |
| A1                                                                                                                                                      | A1.1                                                                                                                                           | A1-A                     |  |
| BASE UNIT                                                                                                                                               | UNIT VARIATION                                                                                                                                 | MOBILITY ACCESSIBLE UNIT |  |

| PARKING LEGEND: LEVEL 2                                                                               |      |                                                                                                                                                |                                  |
|-------------------------------------------------------------------------------------------------------|------|------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------|
| STALL                                                                                                 | TYPE | SIZE (U.N.O.)                                                                                                                                  | COUNT PER FLOOR TOTAL: 45 STALLS |
| <br>STANDARD       | A    | 9'-0" WIDE<br>18'-0" DEEP                                                                                                                      | 27 STALLS                        |
|                                                                                                       |      | 8'-3" WIDE<br>18'-0" DEEP                                                                                                                      | 5 STALLS<br>2 EV STALLS          |
|                                                                                                       |      | 9'-3" WIDE<br>(8'-3" + 1'-0" PER SLC<br>PARKING CODE 21A.44.20)<br>18'-0" DEEP                                                                 | 6 STALLS<br>1 EV STALL           |
| <br>ACCESSIBLE     | B    | 9'-0" WIDE<br>18'-0" DEEP<br>60" ACCESS AISLE MIN.                                                                                             | 1 STALL                          |
|                                                                                                       |      | 9'-3" WIDE<br>18'-0" DEEP<br>60" ACCESS AISLE MIN.                                                                                             | NONE                             |
| <br>VAN ACCESSIBLE | C    | 9'-0" WIDE<br>18'-0" DEEP<br>96" ACCESS AISLE MIN.                                                                                             | 3 STALLS                         |
|                                                                                                       |      |  98" VERTICAL CLEARANCE PATHWAY PER 2009 ICC A117.1 - 502.6 |                                  |

15 EV STALLS  
54 FUTURE EV STALLS INDICATED

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PHONE: 385.273.3888  
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WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

THE RITCHIE GROUP

ISSUE  
DATE DESCRIPTION  
09/10/2021 SCHEMATIC DESIGN  
11/10/2021 DESIGN DEVELOPMENT  
12/20/2021 S&P CONSTRUCTION DOCUMENTS  
02/04/2022 S&P / PERMIT

REVISION  
DATE DESCRIPTION  
09/10/2021 S&P ADDENDUM 1  
11/10/2021 S&P ADDENDUM 2  
12/20/2021 S&P ADDENDUM 3  
02/04/2022 S&P / PERMIT

OVERALL PLAN  
- LEVEL 02

GMP / BUILDING PERMIT

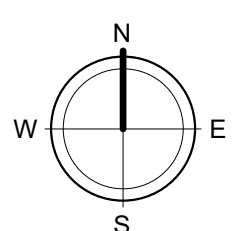
JOB NUMBER: 2138601

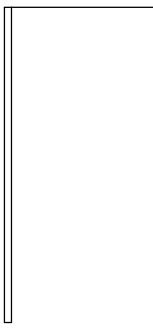
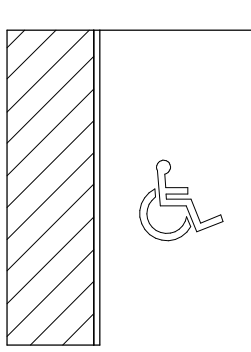
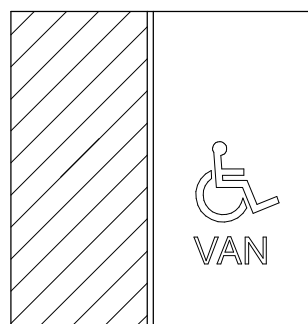

DRAWN BY: Author  
CHECKED BY: Checker

A1-02

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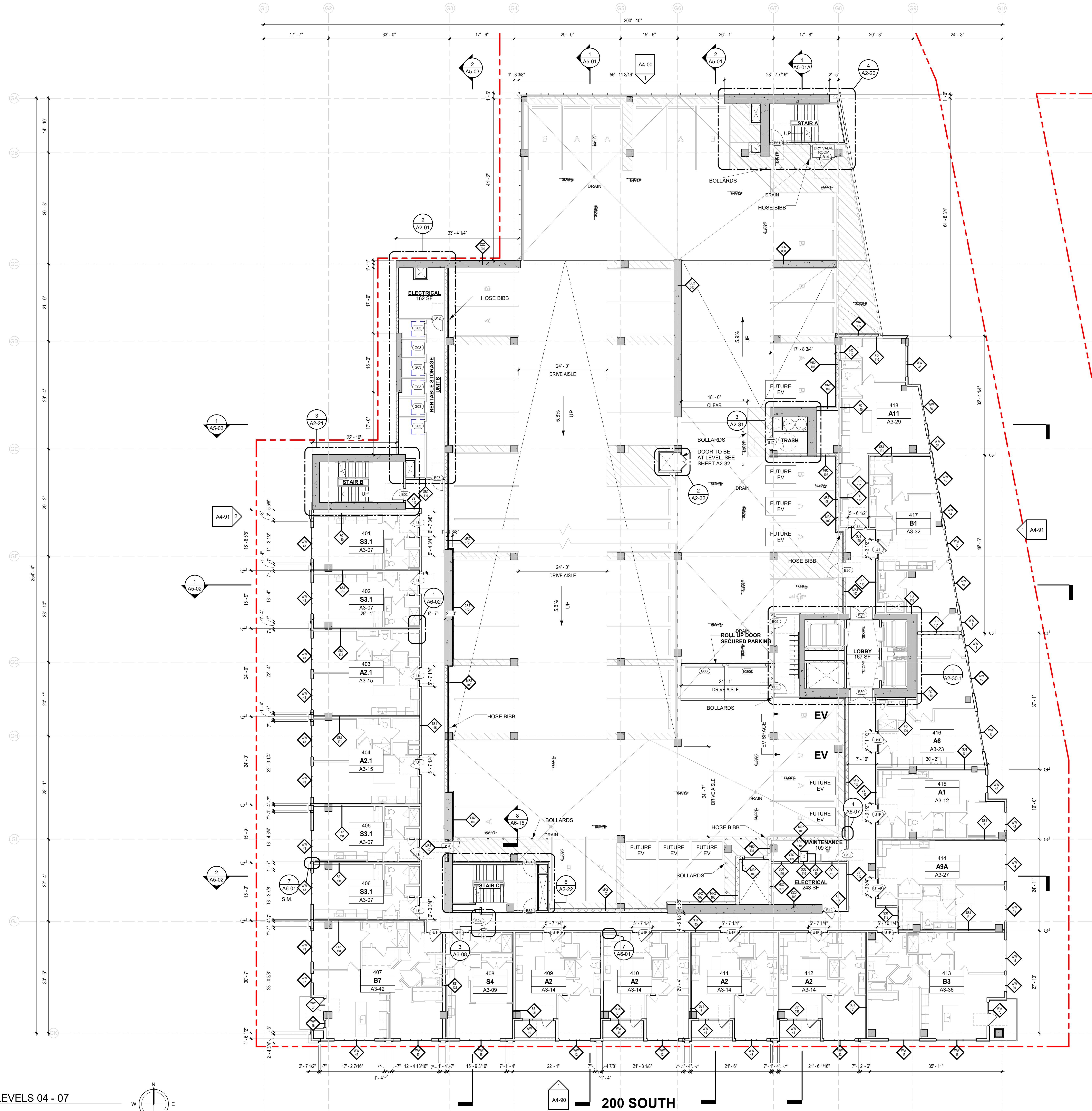

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| PARKING LEGEND: LEVEL 3                                                                               |      |                                                                                                                                                                                                                       |                                     |
|-------------------------------------------------------------------------------------------------------|------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|
| STALL                                                                                                 | TYPE | SIZE<br>(U.N.O.)                                                                                                                                                                                                      | COUNT PER FLOOR<br>TOTAL: 51 STALLS |
| <br>STANDARD       |      | 9'-0" WIDE<br>18'-0" DEEP                                                                                                                                                                                             | 31 STALLS<br>1 EV STALL             |
|                                                                                                       | A    | 8'-3" WIDE<br>18'-0" DEEP                                                                                                                                                                                             | 9 STALLS                            |
|                                                                                                       | B    | 9'-3" WIDE<br>(8'-3" + 1'-0" PER SLC<br>PARKING CODE 21A.44.20)<br>18'-0" DEEP                                                                                                                                        | 8 STALLS                            |
| <br>ACCESSIBLE     |      | 9'-0" WIDE<br>18'-0" DEEP<br><br>60" ACCESS AISLE MIN.                                                                                                                                                                | 1 EV STALL                          |
|                                                                                                       | B    | 9'-3" WIDE<br>18'-0" DEEP<br><br>60" ACCESS AISLE MIN.                                                                                                                                                                | 1 STALL                             |
| <br>VAN ACCESSIBLE |      | 9'-0" WIDE<br>18'-0" DEEP<br><br>96" ACCESS AISLE MIN.<br><br> 98" VERTICAL<br>CLEARANCE<br>PATHWAY<br>PER 2009 ICC A117.1 - 502.6 | NONE                                |

15 EV STALLS  
54 FUTURE EV STALLS INDICATED



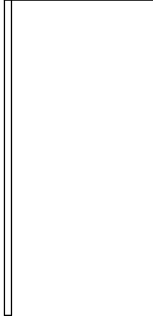
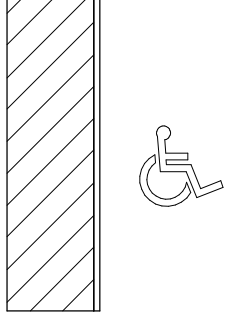
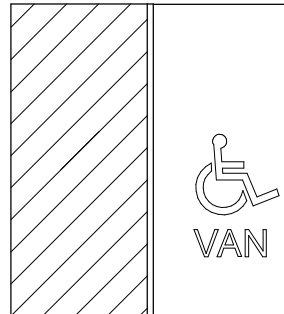

.A PARKING LEGEND ADDED  
.B ADA STALL AND ACCESS AISLE  
DIMENSIONS REFERENCED IN  
PARKING LEGEND  
.D DRAIN MOVED, PERTAINING  
SLOPES ADJUSTED



1. ALL DIMENSIONS ARE TO THE FACE OF STUD/ STRUCTURE UNLESS OTHERWISE NOTED.
2. REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
3. ALL TENANT SEPARATION WALL ARE 1-1R RATED PER ULR #W475.
4. ALL CORRIDOR WALL ARE 1-1R RATED PER ULR #U419.
5. SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.
6. REFER TO SP-05 FOR ADDRESSING PLAN
7. PIPE SAFETY GUARDS - PROVIDE GUARDS AROUND EVERY VERTICAL PIPE (STORM, SANITARY, ETC.) IN THE PARKING GARAGE TO PROTECT THE PIPES FROM DAMAGE.

 SPRAY-APPLIED INSULATION UNDER PODIUM SLAB - R-10 CI  
 CRICKET ROOF  
 PROTECTIVE WALKPATH

| UNIT TYPE LEGEND              |                                      |                                                   |
|-------------------------------|--------------------------------------|---------------------------------------------------|
| <b><u>A1</u></b><br>BASE UNIT | <b><u>A1.1</u></b><br>UNIT VARIATION | <b><u>A1-A</u></b><br>MOBILITY<br>ACCESSIBLE UNIT |

| PARKING LEGEND: LEVEL 4-7 TYPICAL                                                                     |      |                                                                                                                                                                                                                       |                                     |
|-------------------------------------------------------------------------------------------------------|------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|
| STALL                                                                                                 | TYPE | SIZE<br>(J.N.O.)                                                                                                                                                                                                      | COUNT PER FLOOR<br>TOTAL: 53 STALLS |
| <br>STANDARD       |      | 9'-0" WIDE<br>18'-0" DEEP                                                                                                                                                                                             | 31 STALLS                           |
|                                                                                                       | A    | 8'-3" WIDE<br>18'-0" DEEP                                                                                                                                                                                             | 10 STALLS<br>1 EV STALLS            |
|                                                                                                       | B    | 9'-3" WIDE<br>(8'-3" + 1'-0" PER SLC<br>PARKING CODE 21A.44.20)<br>18'-0" DEEP                                                                                                                                        | 9 STALLS<br>1 EV STALLS             |
| <br>ACCESSIBLE     |      | 9'-0" WIDE<br>18'-0" DEEP<br><br>60" ACCESS AISLE MIN.                                                                                                                                                                | NONE                                |
|                                                                                                       | B    | 9'-3" WIDE<br>18'-0" DEEP<br><br>60" ACCESS AISLE MIN.                                                                                                                                                                | 1 STALL                             |
| <br>VAN ACCESSIBLE |      | 9'-0" WIDE<br>18'-0" DEEP<br><br>96" ACCESS AISLE MIN.<br><br> 98" VERTICAL<br>CLEARANCE<br>PATHWAY<br>PER 2009 ICC A117.1 - 502.6 | NONE                                |

15 EV STALLS  
54 FUTURE EV STALLS INDICATED



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UNIT 102  
SALT LAKE CITY, UT 84101  
PHONE: 385.273.3888  
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## WEST QUARTER - BLOCK C

2260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

[illegible]

| REVISION   |                             |     |
|------------|-----------------------------|-----|
| DATE       | DESCRIPTION                 | REV |
| XX/XX/XXXX | GMP ADDENDUM 1              | 2   |
| 07/08/2022 | DESIGN REVISION R3 RESPONSE | 5   |
| 07/29/2022 | PERMIT RESPONSE ISSUANCE    | 6   |

SEAL:

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SHEET NAME:

OVERALL PLAN  
- LEVELS 04 -07

GMP / BUILDING PERMIT

JOB NUMBER: 2138601

|          |            |
|----------|------------|
| DRAWN BY | CHECKED BY |
| Author   | Checker    |

A1-04

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10/4/2022 3:44:02 PM C:\Users\wanderhoo\Documents\West Quarter Block C\_CD\_R20\_wanderhoo\WCEM6.rvt

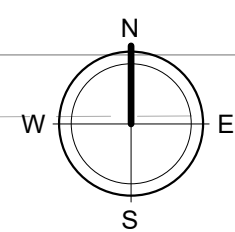
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.A PARKING LEGEND ADDED  
.B ADA STALL AND ACCESS AISLE  
DIMENSIONS REFERENCED IN  
PARKING LEGEND  
.D DRAIN MOVED, PERTAINING  
SLOPES ADJUSTED

.A PARKING LEGEND ADDED  
.B ADA STALL AND ACCESS AISLE  
DIMENSIONS REFERENCED IN  
PARKING LEGEND  
.D DRAIN MOVED, PERTAINING  
SLOPES ADJUSTED

1 OVERALL PLAN - LEVEL 08  
3/32" = 1'-0"



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280 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

|   | DESCRIPTION                | INCLUDED |
|---|----------------------------|----------|
| 1 | SCHEMATIC DESIGN           | X        |
| 1 | DESIGN DEVELOPMENT         | X        |
| 1 | 50% CONSTRUCTION DOCUMENTS | X        |
| 2 | GMP / PERMIT               | X        |
|   |                            | X        |

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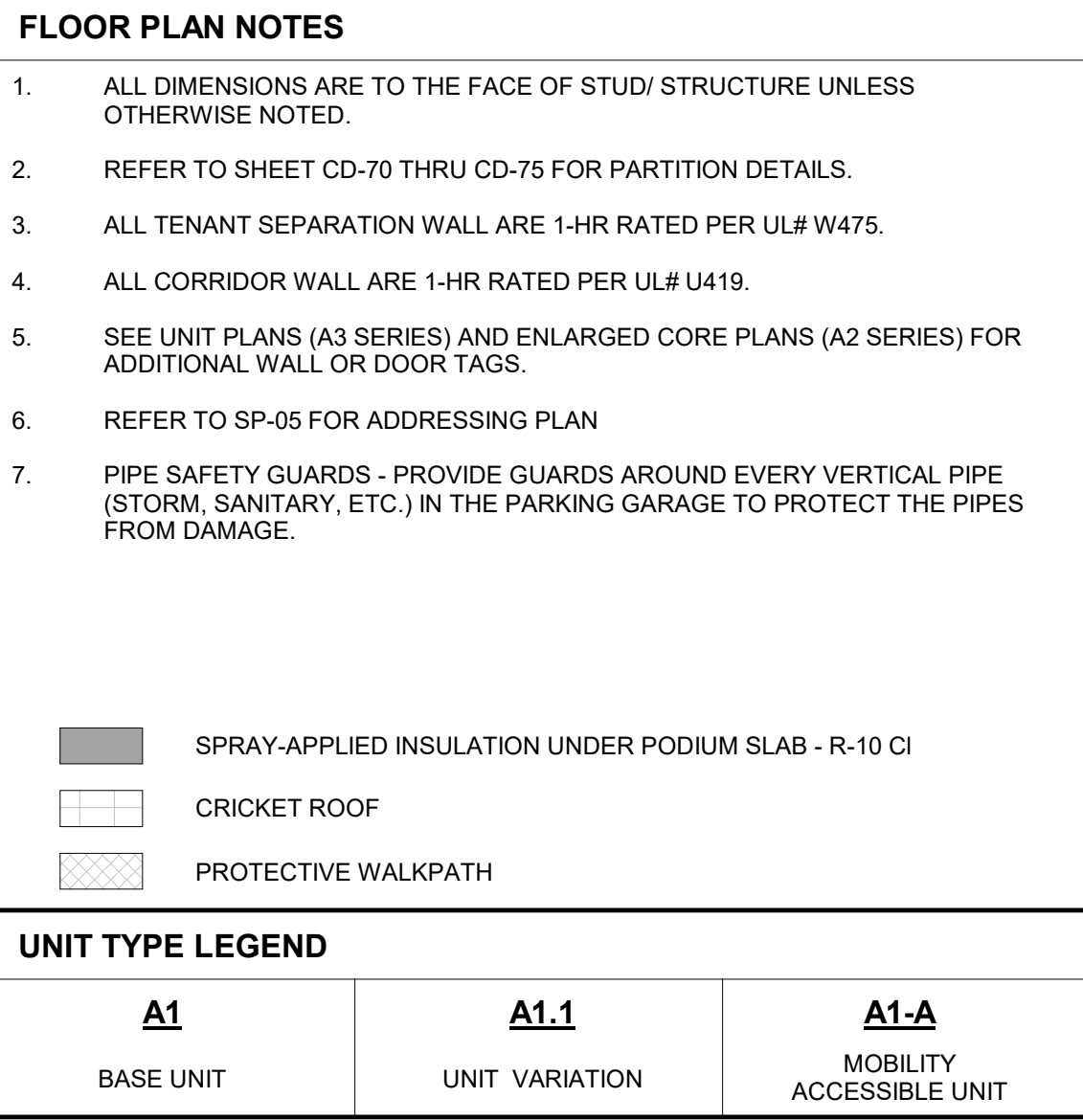
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OVERALL PLAN  
- LEVELS 10 - 15

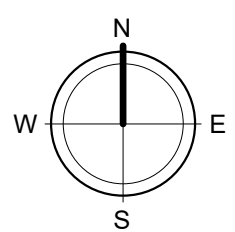
GMP / BUILDING PERMIT

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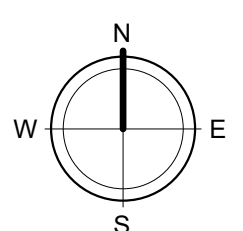
A1-10



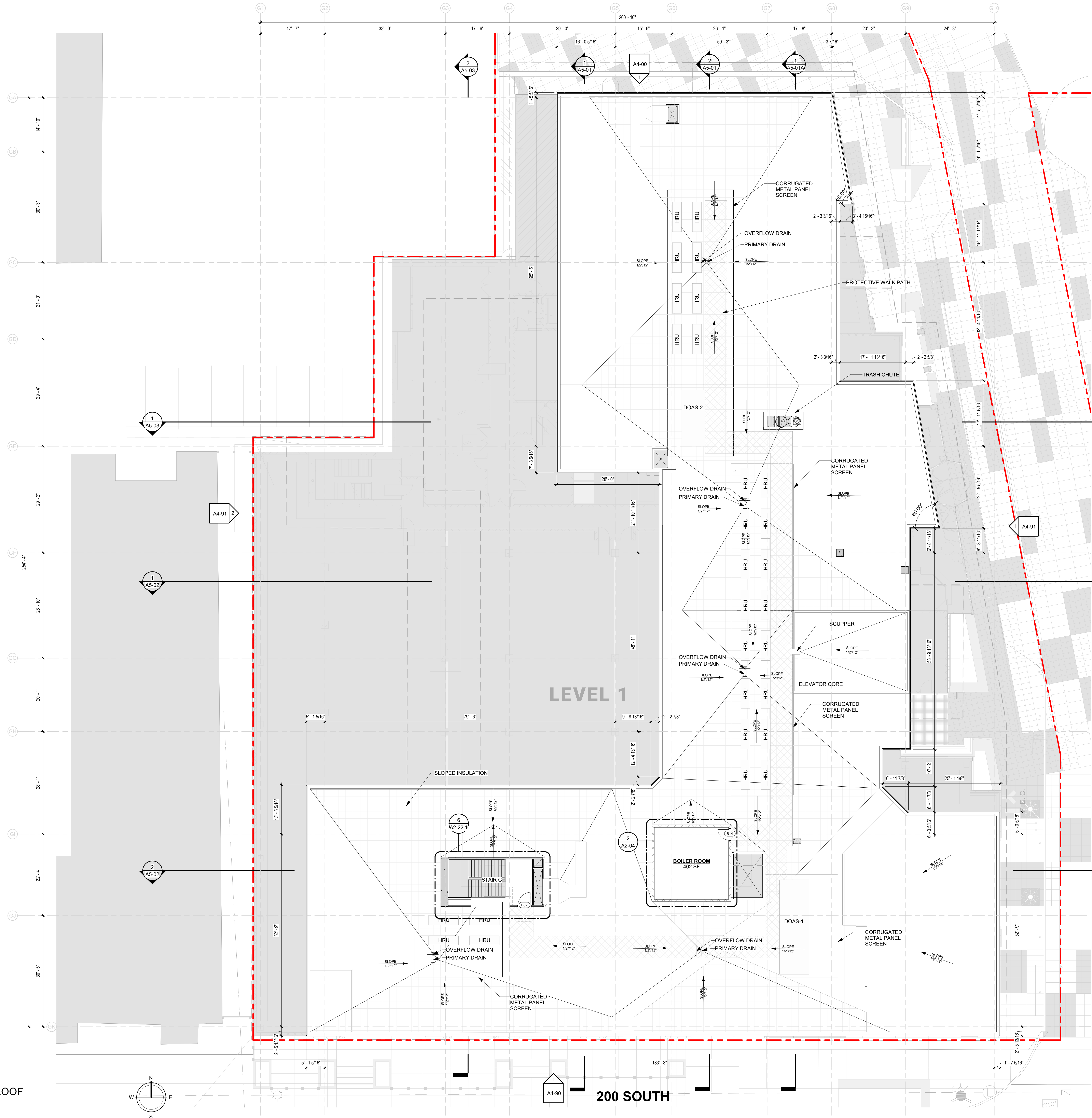
1 OVERALL PLAN - LEVELS 10 - 15  
3/32" = 1'-0"





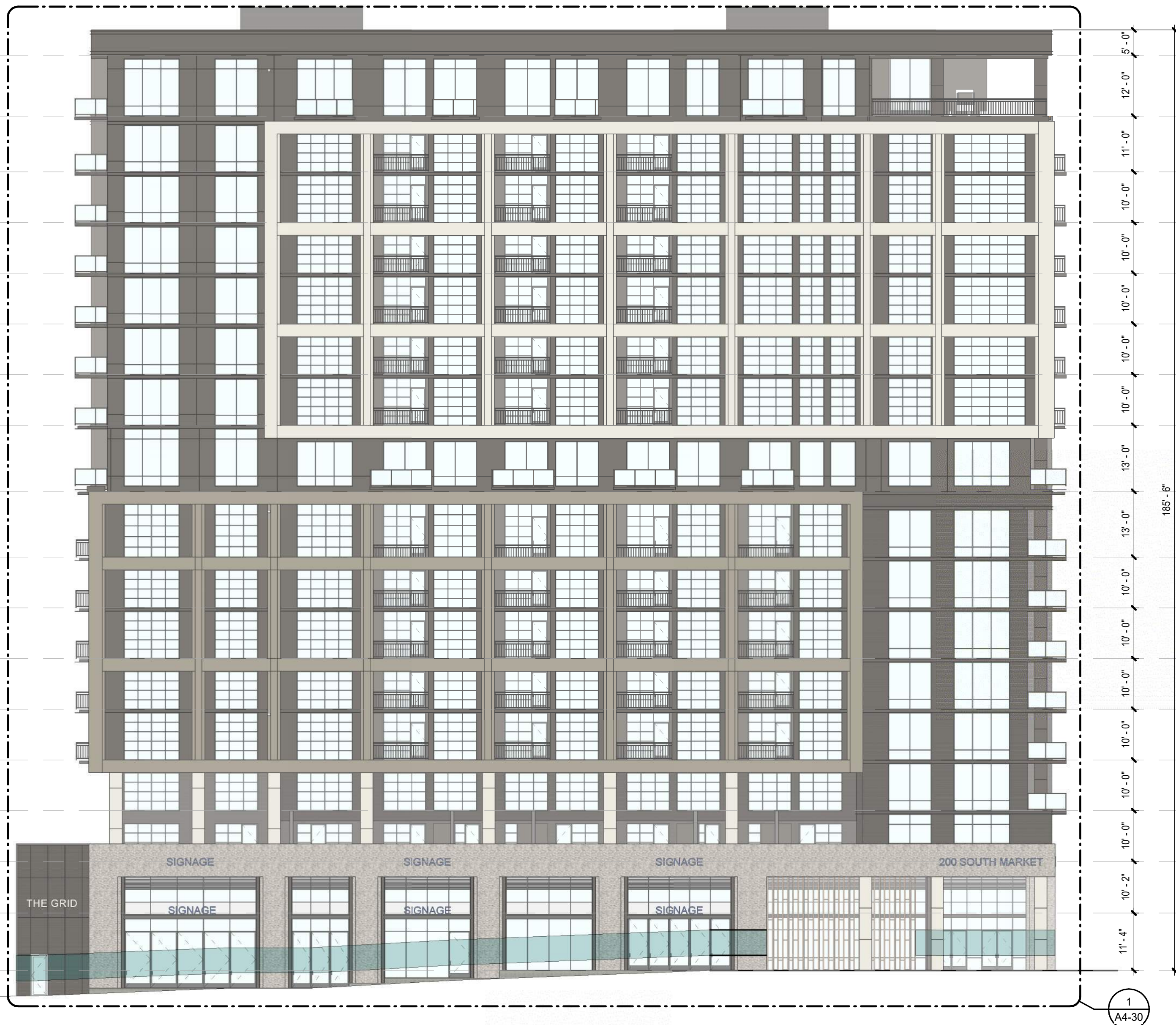




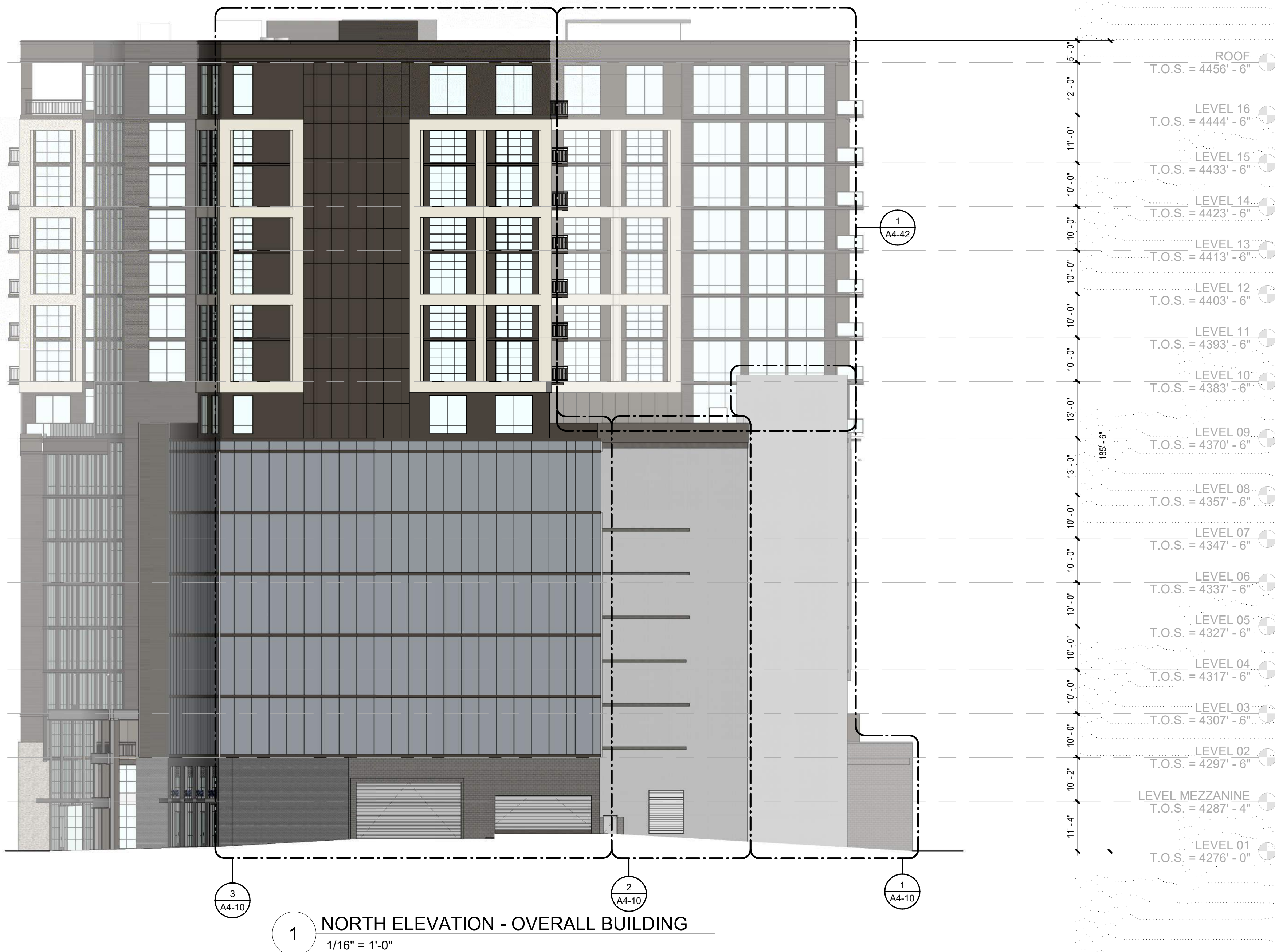




Per design standards 21A.37.C.1, there is 45.18% glazing between three feet (3') and eight feet (8') above grade.

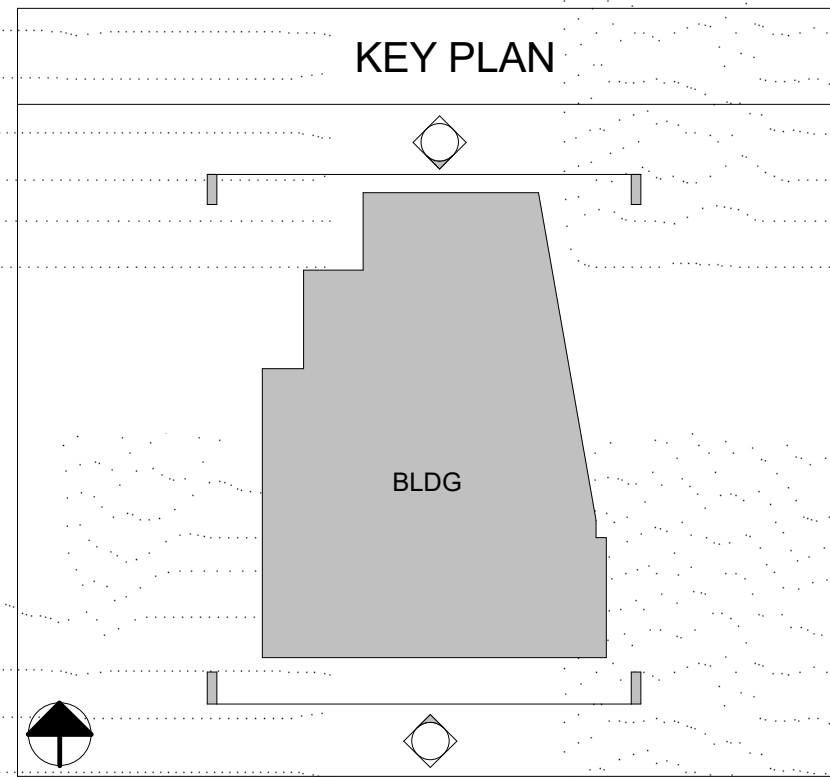


2 SOUTH ELEVATION - OVERALL BUILDING  
1/16" = 1'-0"



1 NORTH ELEVATION - OVERALL BUILDING  
1/16" = 1'-0"

| EXTERIOR FINISH LEGEND                                                                                                                                                                                |                                                                   | MANUFACTURER & COLOR INFORMATION                           |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|------------------------------------------------------------|
| NO.                                                                                                                                                                                                   | MATERIAL DESCRIPTION                                              |                                                            |
| MRY 01                                                                                                                                                                                                | MODULAR BRICK - DARK                                              | INTERSTATE BRICK; MIDNIGHT BLACK                           |
| MRY 01-A                                                                                                                                                                                              | ROWLOCK AND SOLDIER BRICK COURSE - DARK                           | INTERSTATE BRICK; MIDNIGHT BLACK                           |
| MRY 02                                                                                                                                                                                                | MODULAR BRICK - LIGHT                                             | INTERSTATE BRICK; SMOKEY MOUNTAIN                          |
| MRY 02-A                                                                                                                                                                                              | ROWLOCK AND SOLDIER BRICK COURSE - LIGHT                          | INTERSTATE BRICK; SMOKEY MOUNTAIN                          |
| MRY 03                                                                                                                                                                                                | SPLITFACE CMU - DARK                                              | SUNROC; DOUBLE BLACK                                       |
| PNT 01                                                                                                                                                                                                | ELASTOMERIC PAINT OVER CONCRETE                                   | (COLOR TO MATCH SPLITFACE CMU)                             |
| MTL 01                                                                                                                                                                                                | FLAT LOCK METAL PANEL - LIGHT                                     | PAC CLAD; CHAMPAGNE                                        |
| MTL 02                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK                                      | PAC CLAD; BURNISHED SLATE                                  |
| MTL 03                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK BRONZE                               | PAC CLAD; MIDNIGHT BRONZE                                  |
| MTL 04                                                                                                                                                                                                | CORRUGATED METAL PANEL - DARK BRONZE                              | PAC CLAD; MIDNIGHT BRONZE                                  |
| MTL 04-A                                                                                                                                                                                              | METAL PANEL TRIM - DARK BRONZE                                    | PAC CLAD; MIDNIGHT BRONZE                                  |
| MTL 05                                                                                                                                                                                                | CHANNEL SHAPED ALUM. PANEL - DARK BRONZE                          | PUREFORM (BASIS OF DESIGN - COLOR SIM. TO MIDNIGHT BRONZE) |
| MTL 06                                                                                                                                                                                                | PRE-FABRICATED METAL CANOPY - DARK BRONZE                         | (COLOR SIM. TO MIDNIGHT BRONZE)                            |
| MTL 07                                                                                                                                                                                                | ALUM. POST BALCONY RAILING - DARK BRONZE                          | (COLOR SIM. TO BURNISHED SLATE)                            |
| MTL 08                                                                                                                                                                                                | ARCHITECTURAL METAL SCREENING - WOOD FINISH                       | KNOTWOOD; (SIM. TO DIZAL122 WHITE OAK MAPLE)               |
| MTL 09                                                                                                                                                                                                | ARCHITECTURAL METAL SIGNAGE - COORDINATE WITH CONSULTANT DRAWINGS | (PROVIDE ELECTRICAL @ EACH POTENTIAL LOCATION)             |
| MTL 10                                                                                                                                                                                                | MESH GARAGE SCREENING SYSTEM                                      | FLEX FACADE BASIS OF DESIGN                                |
| MTL 11                                                                                                                                                                                                | PERFORATED METAL ROOF SCREEN - DARK BRONZE                        | (COLOR SIM. TO BURNISHED SLATE)                            |
| GRS 01                                                                                                                                                                                                | FLOOR MOUNTED STRUCTURAL GLASS RAILING                            | (COLOR SIM. TO BURNISHED SLATE)                            |
| WWS 01                                                                                                                                                                                                | WINDOW WALL SYSTEM - DARK BRONZE                                  | (KAWNEER OR WAUSAU BASIS OF DESIGN)                        |
| CWS 01                                                                                                                                                                                                | CURTAIN WALL SYSTEM - DARK BRONZE                                 | (KAWNEER OR WAUSAU BASIS OF DESIGN)                        |
| GENERAL NOTES & LEGEND                                                                                                                                                                                |                                                                   |                                                            |
| HATCH HERE INDICATES VISION GLASS OF WINDOW/WALL TO INCLUDE SHADOW BOX FOR WALL AND EXHAUST WALL CAP TERMINATIONS AND BLEND WITH REMAINING FACADE GLAZING.                                            |                                                                   |                                                            |
| WALL CAP - SEE MECHANICAL FOR LOCATIONS (WHERE WALL CAPS OCCUR AT WINDOW, VISION GLASS PANEL TO BE REPLACED BY METAL PANEL TO MATCH SURROUNDING METAL PANEL COLOR AND BLEND WITH SURROUNDING FACADE.) |                                                                   |                                                            |



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UNIT 102  
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WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

THE RITCHIE GROUP

ISSUE

REVISION

DATE

DESCRIPTION

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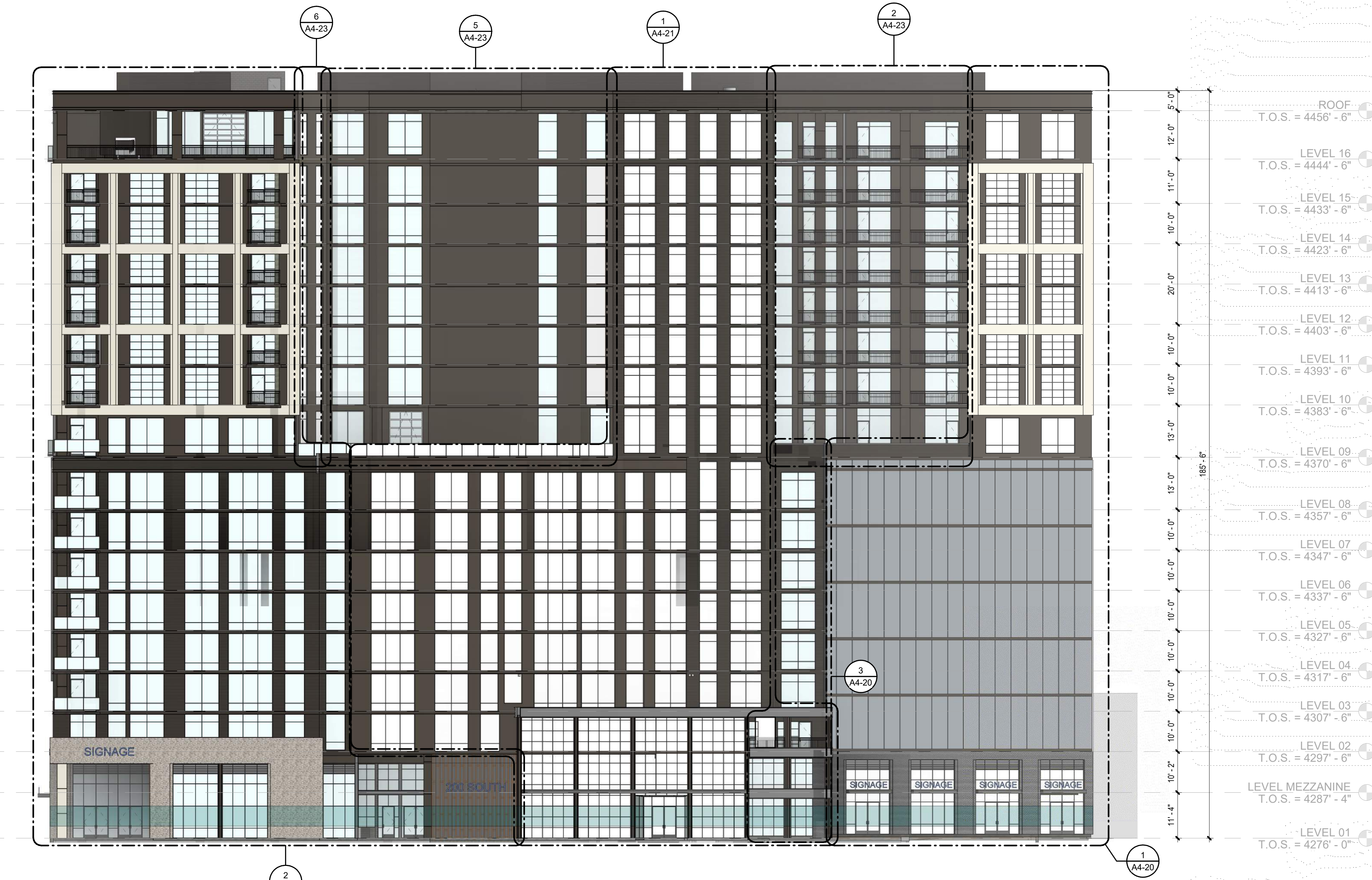
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Per design standards 21A.37.C.1, there is 70.36% glazing between three feet (3') and eight feet (8') above grade.

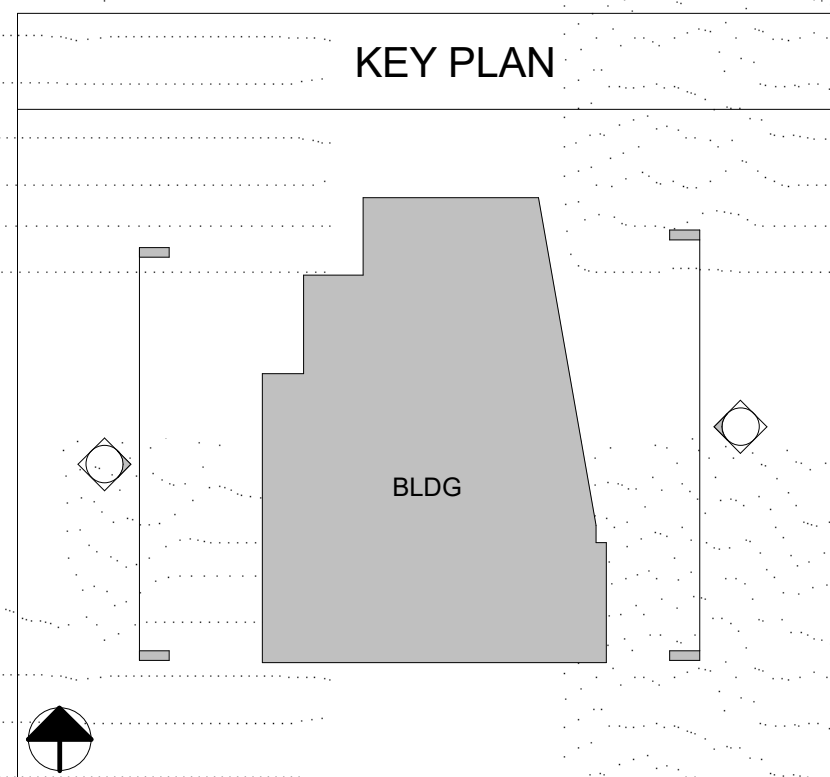


2 EAST ELEVATION - OVERALL BUILDING  
1/16" = 1'-0"



1 WEST ELEVATION - OVERALL BUILDING  
1/16" = 1'-0"

| EXTERIOR FINISH LEGEND                                                                                                                                                                                |                                                                   | MANUFACTURER & COLOR INFORMATION                           |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|------------------------------------------------------------|
| NO.                                                                                                                                                                                                   | MATERIAL DESCRIPTION                                              |                                                            |
| MRY 01                                                                                                                                                                                                | MODULAR BRICK - DARK                                              | INTERSTATE BRICK; MIDNIGHT BLACK                           |
| MRY 01-A                                                                                                                                                                                              | ROWLOCK AND SOLDIER BRICK COURSE - DARK                           | INTERSTATE BRICK; MIDNIGHT BLACK                           |
| MRY 02                                                                                                                                                                                                | MODULAR BRICK - LIGHT                                             | INTERSTATE BRICK; SMOKEY MOUNTAIN                          |
| MRY 02-A                                                                                                                                                                                              | ROWLOCK AND SOLDIER BRICK COURSE - LIGHT                          | INTERSTATE BRICK; SMOKEY MOUNTAIN                          |
| MRY 03                                                                                                                                                                                                | SPLITFACE CMU - DARK                                              | SUNROC; DOUBLE BLACK                                       |
| PNT 01                                                                                                                                                                                                | ELASTOMERIC PAINT OVER CONCRETE                                   | (COLOR TO MATCH SPLITFACE CMU)                             |
| MTL 01                                                                                                                                                                                                | FLAT LOCK METAL PANEL - LIGHT                                     | PAC CLAD; CHAMPAGNE                                        |
| MTL 02                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK                                      | PAC CLAD; BURNISHED SLATE                                  |
| MTL 03                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK BRONZE                               | PAC CLAD; MIDNIGHT BRONZE                                  |
| MTL 04                                                                                                                                                                                                | CORRUGATED METAL PANEL - DARK BRONZE                              | PAC CLAD; MIDNIGHT BRONZE                                  |
| MTL 04-A                                                                                                                                                                                              | METAL PANEL TRIM - DARK BRONZE                                    | PAC CLAD; MIDNIGHT BRONZE                                  |
| MTL 05                                                                                                                                                                                                | CHANNEL SHAPED ALUM. PANEL - DARK BRONZE                          | PUREFORM (BASIS OF DESIGN - COLOR SIM. TO MIDNIGHT BRONZE) |
| MTL 06                                                                                                                                                                                                | PRE-FABRICATED METAL CANOPY - DARK BRONZE                         | (COLOR SIM. TO MIDNIGHT BRONZE)                            |
| MTL 07                                                                                                                                                                                                | ALUM. POST BALCONY RAILING - DARK BRONZE                          | (COLOR SIM. TO BURNISHED SLATE)                            |
| MTL 08                                                                                                                                                                                                | ARCHITECTURAL METAL SCREENING - WOOD FINISH                       | KNOTWOOD; (SIM. TO DIZAL 122 WHITE OAK MAPLE)              |
| MTL 09                                                                                                                                                                                                | ARCHITECTURAL METAL SIGNAGE - COORDINATE WITH CONSULTANT DRAWINGS | (PROVIDE ELECTRICAL @ EACH POTENTIAL LOCATION)             |
| MTL 10                                                                                                                                                                                                | MESH GARAGE SCREENING SYSTEM                                      | FLEX FACADE BASIS OF DESIGN                                |
| MTL 11                                                                                                                                                                                                | PERFORATED METAL ROOF SCREEN - DARK BRONZE                        | (COLOR SIM. TO BURNISHED SLATE)                            |
| GRS 01                                                                                                                                                                                                | FLOOR MOUNTED STRUCTURAL GLASS RAILING                            | (COLOR SIM. TO BURNISHED SLATE)                            |
| WWS 01                                                                                                                                                                                                | WINDOW WALL SYSTEM - DARK BRONZE                                  | (KAWNEER OR WAUSAU BASIS OF DESIGN)                        |
| CWS 01                                                                                                                                                                                                | CURTAIN WALL SYSTEM - DARK BRONZE                                 | (KAWNEER OR WAUSAU BASIS OF DESIGN)                        |
| GENERAL NOTES & LEGEND                                                                                                                                                                                |                                                                   |                                                            |
| HATCH HERE INDICATES VISION GLASS OF WINDOW/WALL TO INCLUDE SHADOW BOX FOR WALL AND EXHAUST WALL CAP TERMINATIONS AND BLEND WITH REMAINING FACADE GLAZING.                                            |                                                                   |                                                            |
| WALL CAP - SEE MECHANICAL FOR LOCATIONS (WHERE WALL CAPS OCCUR AT WINDOW, VISION GLASS PANEL TO BE REPLACED BY METAL PANEL TO MATCH SURROUNDING METAL PANEL COLOR AND BLEND WITH SURROUNDING FACADE.) |                                                                   |                                                            |



dwelldesignstudio

360 WEST 300 SOUTH  
UNIT 102  
SALT LAKE CITY, UT 84101  
PHONE: 385.273.3888  
dwelldesignstudio.com

WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

THE RITCHIE GROUP

ISSUE

DATE

DESCRIPTION

INCHES

09/10/2021

SCHEMATIC DESIGN

1

11/10/2021

DESIGN DEVELOPMENT

2

12/10/2021

S&P CONSTRUCTION DOCUMENTS

3

03/04/2022

GMP / PERMIT

4

REVISION

DATE

DESCRIPTION

REV

09/10/2021

FOOTING AND FOUNDATION

1

09/10/2021

FOUNDATION

2

09/10/2021

DESIGN REVIEW

3

BLDG

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SHEET NAME:

EAST & WEST ELEVATIONS

GMP / BUILDING PERMIT

JOB NUMBER:

2138601

DRAWN BY:

AUTHOR

CHECKED BY:

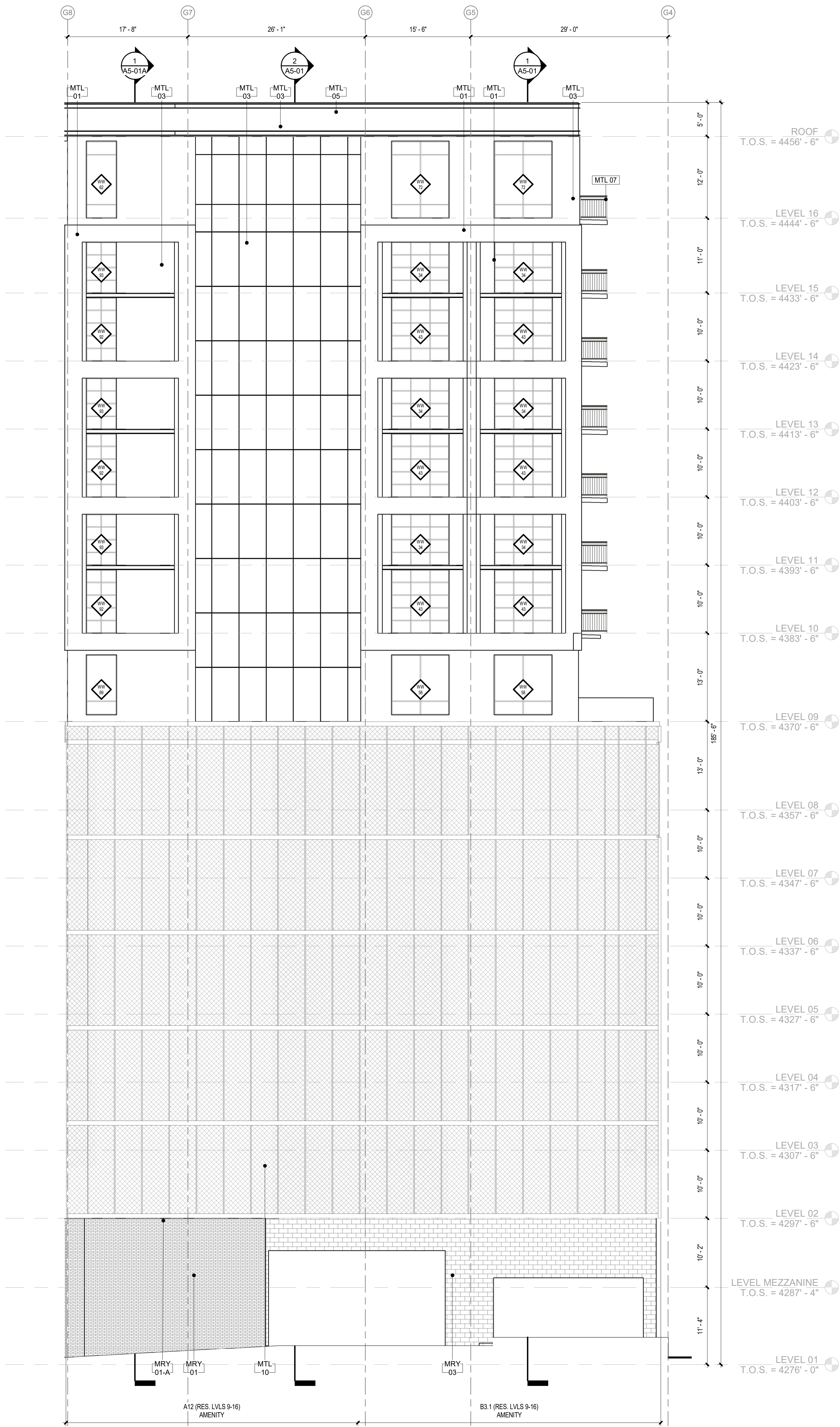
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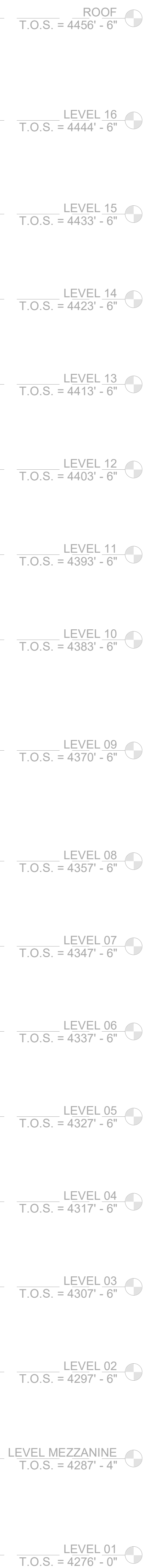
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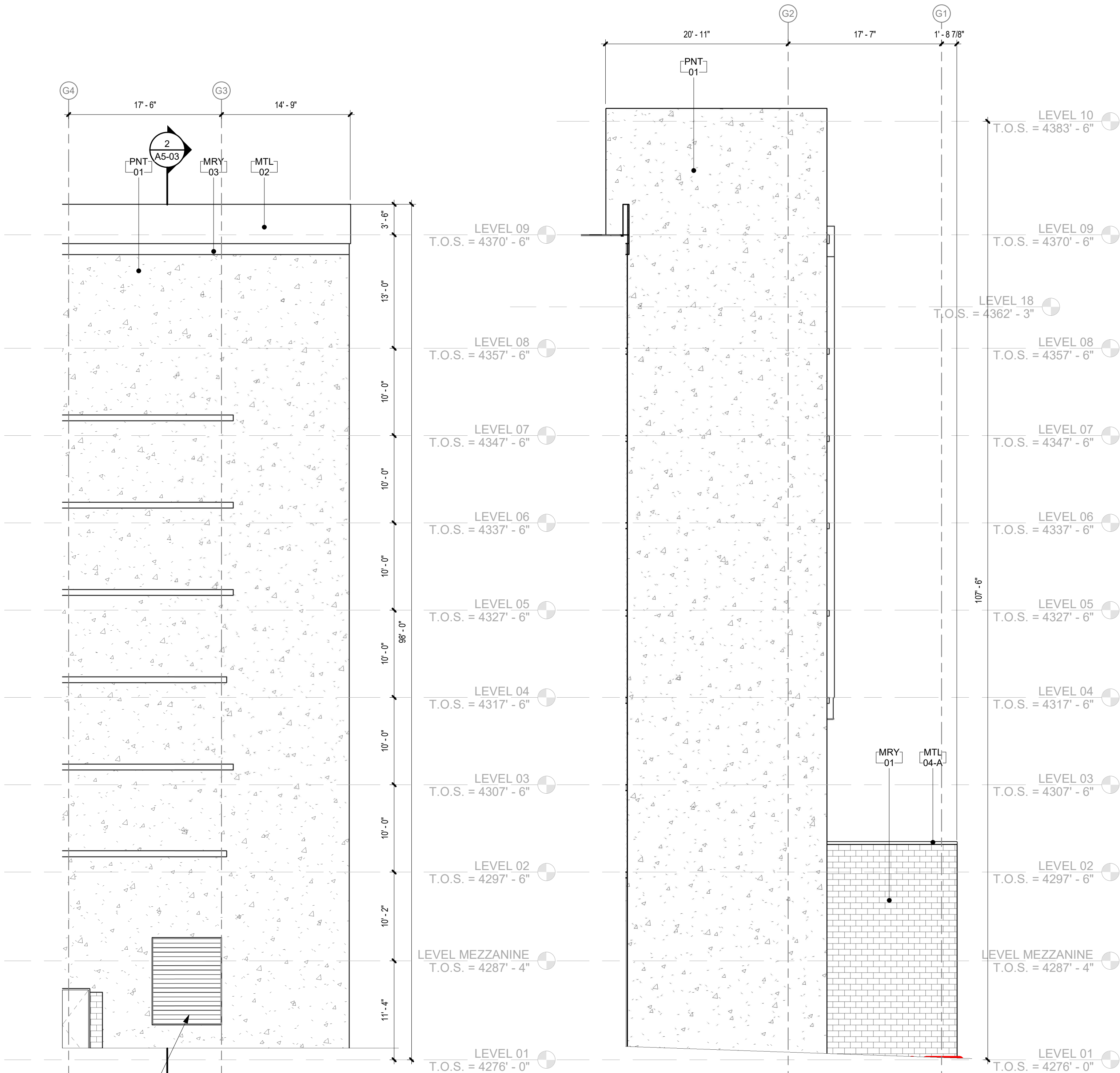
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3 NORTH ELEVATION 1 - LVL 1-16  
1/8" = 1'-0"

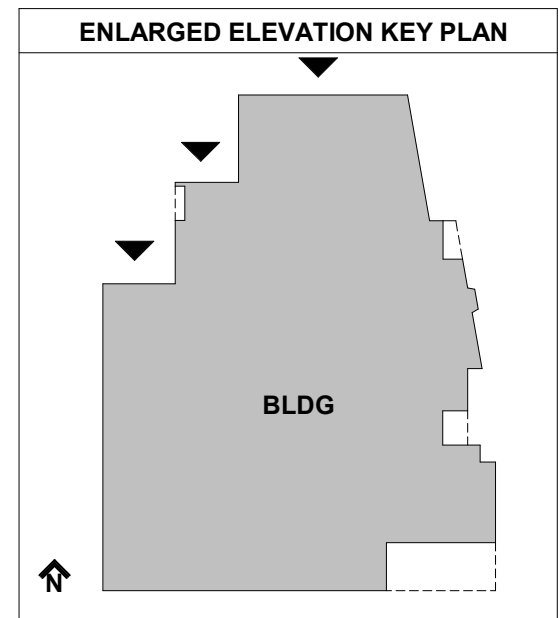


2 NORTH ELEVATION 2 - LVL 1-9  
1/8" = 1'-0"



1 NORTH ELEVATION 3 - LVL 1-10  
1/8" = 1'-0"

| EXTERIOR FINISH LEGEND                                                                                                                                                                                |                                                                   | MANUFACTURER & COLOR INFORMATION                        |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|---------------------------------------------------------|
| NO.                                                                                                                                                                                                   | MATERIAL DESCRIPTION                                              |                                                         |
| MRY 01                                                                                                                                                                                                | MODULAR BRICK - DARK                                              | INTERSTATE BRICK; MIDNIGHT BLACK                        |
| MRY 01-A                                                                                                                                                                                              | ROWLOCK AND SOLDIER BRICK COURSE - DARK                           | INTERSTATE BRICK; MIDNIGHT BLACK                        |
| MRY 02                                                                                                                                                                                                | MODULAR BRICK - LIGHT                                             | INTERSTATE BRICK; SMOKEY MOUNTAIN                       |
| MRY 02-A                                                                                                                                                                                              | ROWLOCK AND SOLDIER BRICK COURSE - LIGHT                          | INTERSTATE BRICK; SMOKEY MOUNTAIN                       |
| MRY 03                                                                                                                                                                                                | SPLITFACE CMU - DARK                                              | SUNROC; DOUBLE BLACK                                    |
| PNT 01                                                                                                                                                                                                | ELASTOMERIC PAINT OVER CONCRETE                                   | (COLOR TO MATCH SPLITFACE CMU)                          |
| MTL 01                                                                                                                                                                                                | FLAT LOCK METAL PANEL - LIGHT                                     | PAC CLAD; CHAMPAGNE                                     |
| MTL 02                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK                                      | PAC CLAD; BURNISHED SLATE                               |
| MTL 03                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK BRONZE                               | PAC CLAD; MIDNIGHT BRONZE                               |
| MTL 04                                                                                                                                                                                                | CORRUGATED METAL PANEL - DARK BRONZE                              | PAC CLAD; MIDNIGHT BRONZE                               |
| MTL 04-A                                                                                                                                                                                              | METAL PANEL TRIM - DARK BRONZE                                    | PAC CLAD; MIDNIGHT BRONZE                               |
| MTL 05                                                                                                                                                                                                | CHANNEL SHAPED ALUM. PANEL - DARK BRONZE                          | PUREFORM (BASIS OF DESIGN-COLOR SIM TO MIDNIGHT BRONZE) |
| MTL 06                                                                                                                                                                                                | PRE-FABRICATED METAL CANOPY - DARK BRONZE                         | (COLOR SIM. TO MIDNIGHT BRONZE)                         |
| MTL 07                                                                                                                                                                                                | ALUM. POST BALCONY RAILING - DARK BRONZE                          | (COLOR SIM. TO BURNISHED SLATE)                         |
| MTL 08                                                                                                                                                                                                | ARCHITECTURAL METAL SCREENING - WOOD FINISH                       | KNOTWOOD; (SIM. TO DIZAL122 WHITE OAK MAPLE)            |
| MTL 09                                                                                                                                                                                                | ARCHITECTURAL METAL SIGNAGE - COORDINATE WITH CONSULTANT DRAWINGS | (PROVIDE ELECTRICAL @ EACH POTENTIAL LOCATION)          |
| MTL 10                                                                                                                                                                                                | MESH GARAGE SCREENING SYSTEM                                      | FLEX FACADE BASIS OF DESIGN                             |
| MTL 11                                                                                                                                                                                                | PERFORATED METAL ROOF SCREEN - DARK BRONZE                        | (COLOR SIM. TO BURNISHED SLATE)                         |
| GRS 01                                                                                                                                                                                                | FLOOR MOUNTED STRUCTURAL GLASS RAILING                            | (COLOR SIM. TO BURNISHED SLATE)                         |
| WWS 01                                                                                                                                                                                                | WINDOW WALL SYSTEM - DARK BRONZE                                  | (KAWNEER OR WAUSAU BASIS OF DESIGN)                     |
| CWS 01                                                                                                                                                                                                | CURTAIN WALL SYSTEM - DARK BRONZE                                 | (KAWNEER OR WAUSAU BASIS OF DESIGN)                     |
| GENERAL NOTES & LEGEND                                                                                                                                                                                |                                                                   |                                                         |
| HATCH HERE INDICATES VISION GLASS OF WINDOW/WALL TO INCLUDE SHADOW BOX FOR WALL AND EXHAUST WALL CAP TERMINATIONS AND BLEND WITH REMAINING FACADE GLAZING.                                            |                                                                   |                                                         |
| WALL CAP - SEE MECHANICAL FOR LOCATIONS (WHERE WALL CAPS OCCUR AT WINDOW, VISION GLASS PANEL TO BE REPLACED BY METAL PANEL TO MATCH SURROUNDING METAL PANEL COLOR AND BLEND WITH SURROUNDING FACADE.) |                                                                   |                                                         |



360 WEST 300 SOUTH  
UNIT 102  
SALT LAKE CITY, UT 84101  
PHONE: 385.273.3888  
dwelldesignstudio.com

WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

REVISION

| NO. | DESCRIPTION            | REV |
|-----|------------------------|-----|
| 01  | SCHEMATIC DESIGN       | 1   |
| 02  | DESIGN DEVELOPMENT     | 2   |
| 03  | CONSTRUCTION DOCUMENTS | 3   |
| 04  | CONSTRUCTION DOCUMENTS | 4   |

ENLARGED ELEVATIONS - NORTH

GMP / BUILDING PERMIT

JOB NUMBER: 2138601

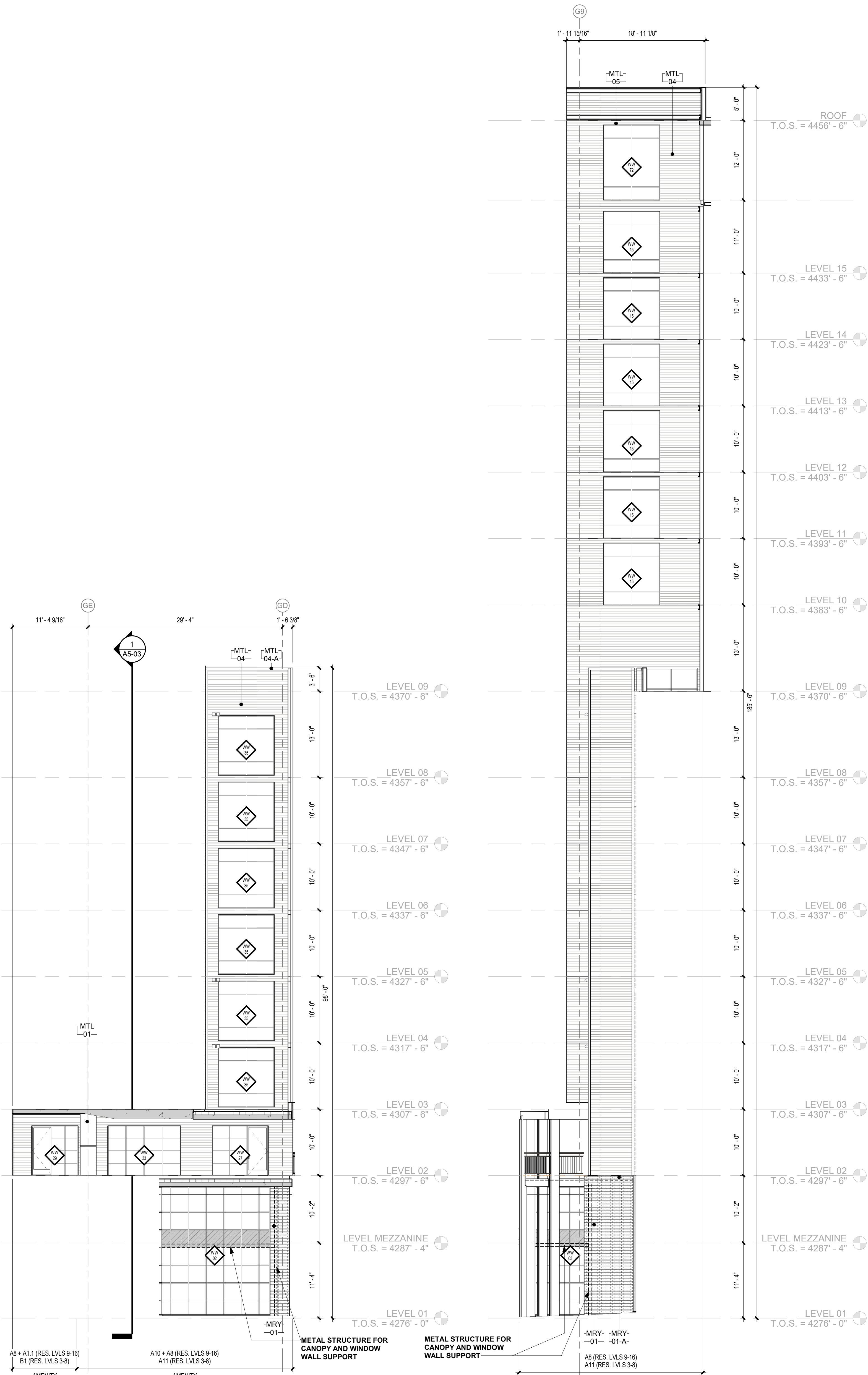
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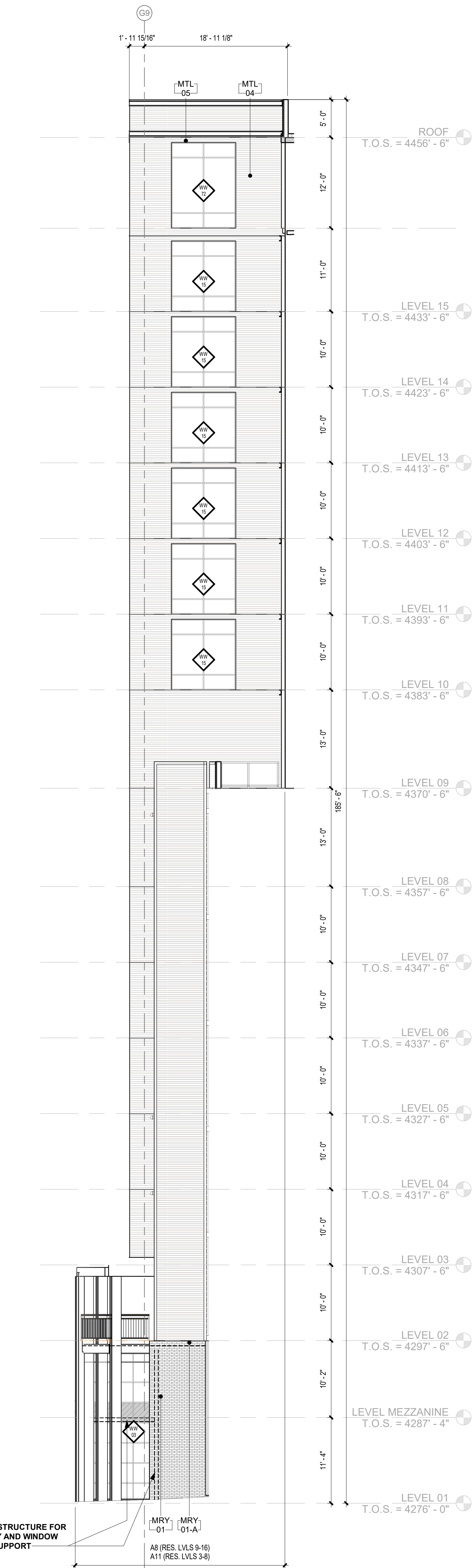
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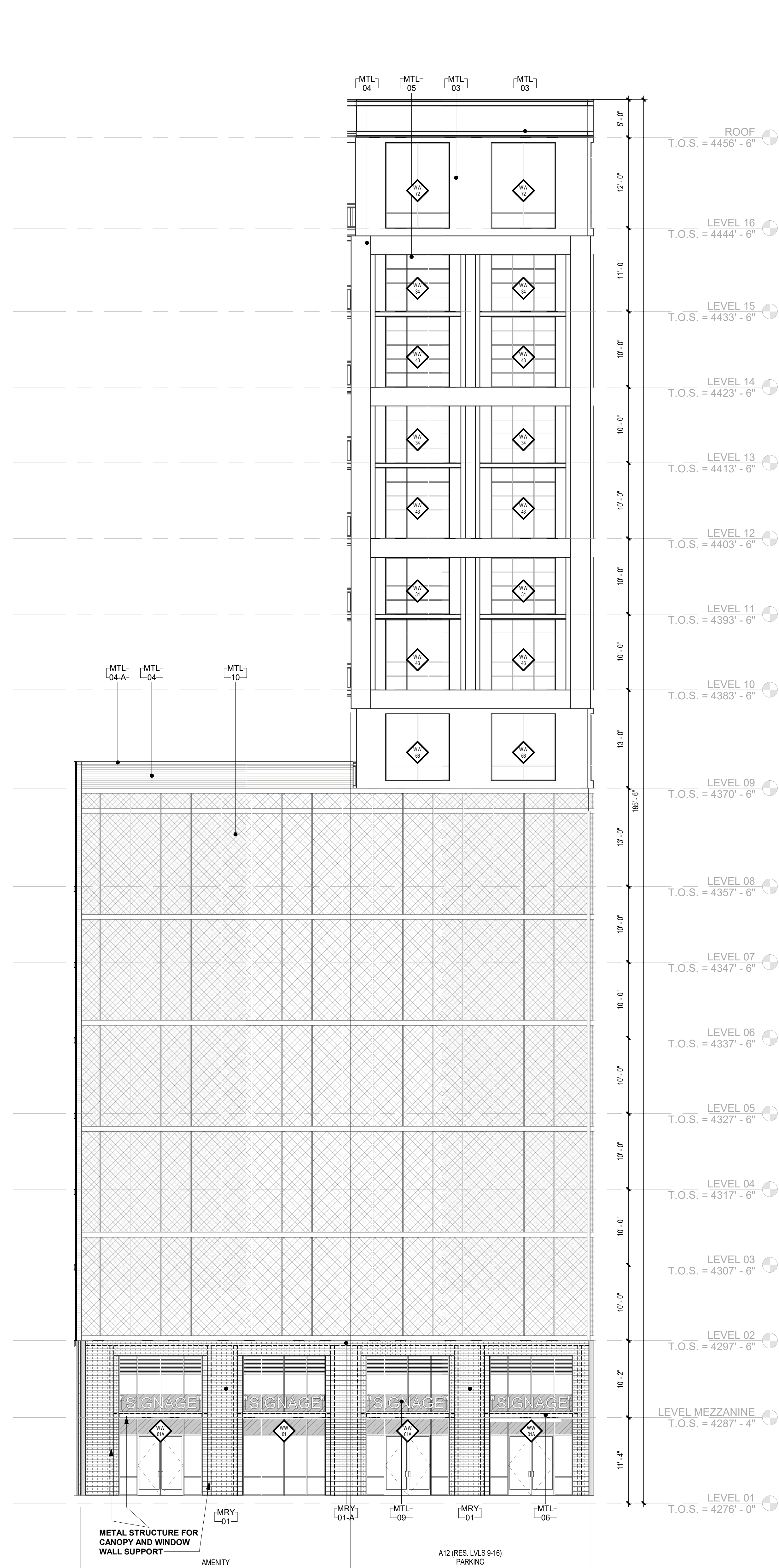
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3 EAST ELEVATION 3 - LVL 1-9  
1/8" = 1'-0"

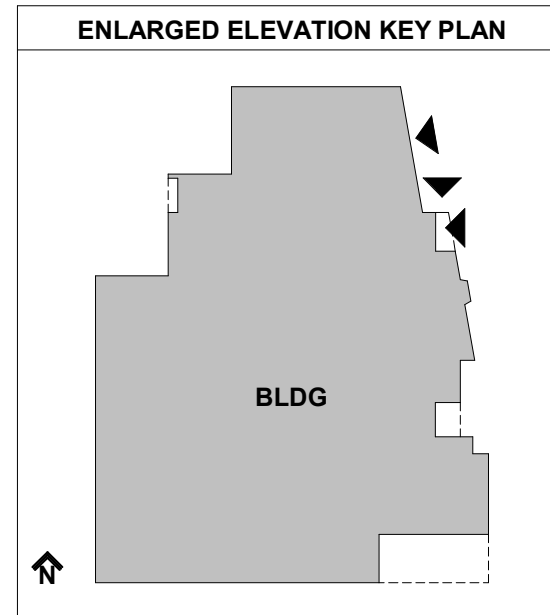


2 EAST ELEVATION 2 - LVL 1-16  
1/8" = 1'-0"



1 EAST ELEVATION 1 A - LVL 1-16  
1/8" = 1'-0"

| EXTERIOR FINISH LEGEND                                                                                                                                                                                |                                                                   | MANUFACTURER & COLOR INFORMATION                          |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|-----------------------------------------------------------|
| NO.                                                                                                                                                                                                   | MATERIAL DESCRIPTION                                              |                                                           |
| MRY 01                                                                                                                                                                                                | MODULAR BRICK - DARK                                              | INTERSTATE BRICK; MIDNIGHT BLACK                          |
| MRY 01-A                                                                                                                                                                                              | ROWLOCK AND SOLDIER BRICK COURSE - DARK                           | INTERSTATE BRICK; MIDNIGHT BLACK                          |
| MRY 02                                                                                                                                                                                                | MODULAR BRICK - LIGHT                                             | INTERSTATE BRICK; SMOKEY MOUNTAIN                         |
| MRY 02-A                                                                                                                                                                                              | ROWLOCK AND SOLDIER BRICK COURSE - LIGHT                          | INTERSTATE BRICK; SMOKEY MOUNTAIN                         |
| MRY 03                                                                                                                                                                                                | SPLITFACE CMU - DARK                                              | SUNROC; DOUBLE BLACK                                      |
| PNT 01                                                                                                                                                                                                | ELASTOMERIC PAINT OVER CONCRETE                                   | (COLOR TO MATCH SPLITFACE CMU)                            |
| MTL 01                                                                                                                                                                                                | FLAT LOCK METAL PANEL - LIGHT                                     | PAC CLAD; CHAMPAGNE                                       |
| MTL 02                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK                                      | PAC CLAD; BURNISHED SLATE                                 |
| MTL 03                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK BRONZE                               | PAC CLAD; MIDNIGHT BRONZE                                 |
| MTL 04                                                                                                                                                                                                | CORRUGATED METAL PANEL - DARK BRONZE                              | PAC CLAD; MIDNIGHT BRONZE                                 |
| MTL 04-A                                                                                                                                                                                              | METAL PANEL TRIM - DARK BRONZE                                    | PAC CLAD; MIDNIGHT BRONZE                                 |
| MTL 05                                                                                                                                                                                                | CHANNEL SHAPED ALUM. PANEL - DARK BRONZE                          | PUREFORM (BASIS OF DESIGN - COLOR SIM TO MIDNIGHT BRONZE) |
| MTL 06                                                                                                                                                                                                | PRE-FABRICATED METAL CANOPY - DARK BRONZE                         | (COLOR SIM. TO MIDNIGHT BRONZE)                           |
| MTL 07                                                                                                                                                                                                | ALUM. POST BALCONY RAILING - DARK BRONZE                          | (COLOR SIM. TO BURNISHED SLATE)                           |
| MTL 08                                                                                                                                                                                                | ARCHITECTURAL METAL SCREENING - WOOD FINISH                       | KNOTWOOD; (SIM. TO DIZAL122 WHITE OAK MAPLE)              |
| MTL 09                                                                                                                                                                                                | ARCHITECTURAL METAL SIGNAGE - COORDINATE WITH CONSULTANT DRAWINGS | (PROVIDE ELECTRICAL @ EACH POTENTIAL LOCATION)            |
| MTL 10                                                                                                                                                                                                | MESH GARAGE SCREENING SYSTEM                                      | FLEX FACADE BASIS OF DESIGN                               |
| MTL 11                                                                                                                                                                                                | PERFORATED METAL ROOF SCREEN - DARK BRONZE                        | (COLOR SIM. TO BURNISHED SLATE)                           |
| GRS 01                                                                                                                                                                                                | FLOOR MOUNTED STRUCTURAL GLASS RAILING                            | (COLOR SIM. TO BURNISHED SLATE)                           |
| WWS 01                                                                                                                                                                                                | WINDOW WALL SYSTEM - DARK BRONZE                                  | (KAWNEER OR WAUSAU BASIS OF DESIGN)                       |
| CWS 01                                                                                                                                                                                                | CURTAIN WALL SYSTEM - DARK BRONZE                                 | (KAWNEER OR WAUSAU BASIS OF DESIGN)                       |
| GENERAL NOTES & LEGEND                                                                                                                                                                                |                                                                   |                                                           |
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dwelldesignstudio

360 WEST 300 SOUTH

UNIT 102

SALT LAKE CITY, UT 84101

PHONE: 385.273.3888

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WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

REVISION

| DATE       | DESCRIPTION                | REV |
|------------|----------------------------|-----|
| 09/10/2021 | SCHEMATIC DESIGN           | 1   |
| 11/18/2021 | DESIGN DEVELOPMENT         | 2   |
| 12/16/2021 | 50% CONSTRUCTION DOCUMENTS | 3   |
| 02/04/2022 | 60% / PERMIT               | 4   |

ISSUE

| DATE       | DESCRIPTION                | REV |
|------------|----------------------------|-----|
| 09/10/2021 | SCHEMATIC DESIGN           | 1   |
| 11/18/2021 | DESIGN DEVELOPMENT         | 2   |
| 12/16/2021 | 50% CONSTRUCTION DOCUMENTS | 3   |
| 02/04/2022 | 60% / PERMIT               | 4   |

REVISION

| DATE       | DESCRIPTION                | REV |
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| 12/16/2021 | 50% CONSTRUCTION DOCUMENTS | 3   |
| 02/04/2022 | 60% / PERMIT               | 4   |

ENLARGED ELEVATIONS - EAST

GMP / BUILDING PERMIT

JOB NUMBER: 2138601

DRAWN BY: VV

CHECKED BY: TT

A4-20

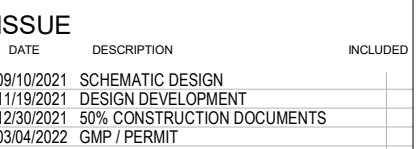
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260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101



| REVISION |             |     |
|----------|-------------|-----|
| DATE     | DESCRIPTION | REV |

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| 700XXXXX, GMP ADDENDUM 1 | 2 |
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ENLARGED  
LEVATIONS -  
EAST



GMP / BUILDING PERMIT

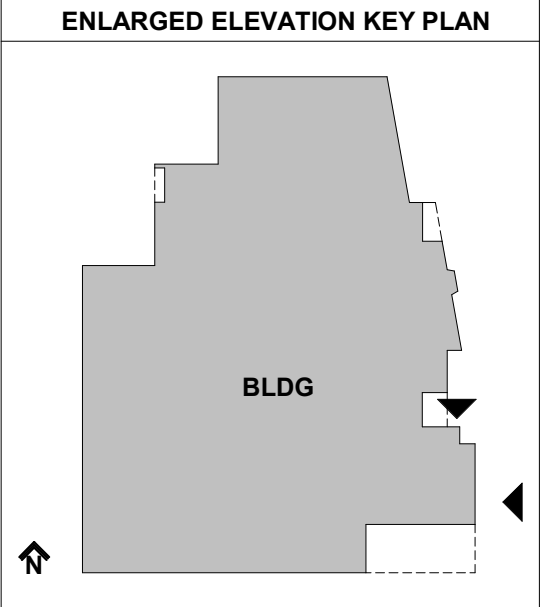
NUMBER: 2138601

AWN BY \_\_\_\_\_ CHECKED BY \_\_\_\_\_

A4-22



| EXTERIOR FINISH LEGEND                                                              |                                                                                                                                                                                                       | MANUFACTURER & COLOR INFORMATION                          |
|-------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------|
| NO.                                                                                 | MATERIAL DESCRIPTION                                                                                                                                                                                  |                                                           |
| MRY 01                                                                              | MODULAR BRICK - DARK                                                                                                                                                                                  | INTERSTATE BRICK; MIDNIGHT BLACK                          |
| MRY 01-A                                                                            | ROWLOCK AND SOLDIER BRICK COURSE - DARK                                                                                                                                                               | INTERSTATE BRICK; MIDNIGHT BLACK                          |
| MRY 02                                                                              | MODULAR BRICK - LIGHT                                                                                                                                                                                 | INTERSTATE BRICK; SMOKEY MOUNTAIN                         |
| MRY 02-A                                                                            | ROWLOCK AND SOLDIER BRICK COURSE - LIGHT                                                                                                                                                              | INTERSTATE BRICK; SMOKEY MOUNTAIN                         |
| MRY 03                                                                              | SPLITFACE CMU - DARK                                                                                                                                                                                  | SUNROC; DOUBLE BLACK                                      |
| PNT 01                                                                              | ELASTOMERIC PAINT OVER CONCRETE                                                                                                                                                                       | (COLOR TO MATCH SPLITFACE CMU)                            |
| MTL 01                                                                              | FLAT LOCK METAL PANEL - LIGHT                                                                                                                                                                         | PAC CLAD; CHAMPAGNE                                       |
| MTL 02                                                                              | FLAT LOCK METAL PANEL - DARK                                                                                                                                                                          | PAC CLAD; BURNISHED SLATE                                 |
| MTL 03                                                                              | FLAT LOCK METAL PANEL - DARK BRONZE                                                                                                                                                                   | PAC CLAD; MIDNIGHT BRONZE                                 |
| MTL 04                                                                              | CORRUGATED METAL PANEL - DARK BRONZE                                                                                                                                                                  | PAC CLAD; MIDNIGHT BRONZE                                 |
| MTL 04-A                                                                            | METAL PANEL TRIM - DARK BRONZE                                                                                                                                                                        | PAC CLAD; MIDNIGHT BRONZE                                 |
| MTL 05                                                                              | CHANNEL SHAPED ALUM. PANEL - DARK BRONZE                                                                                                                                                              | PUREFORM (BASIS OF DESIGN- COLOR SIM. TO MIDNIGHT BRONZE) |
| MTL 06                                                                              | PRE-FABRICATED METAL CANOPY - DARK BRONZE                                                                                                                                                             | (COLOR SIM. TO MIDNIGHT BRONZE)                           |
| MTL 07                                                                              | ALUM. POST BALCONY RAILING - DARK BRONZE                                                                                                                                                              | (COLOR SIM. TO BURNISHED SLATE)                           |
| MTL 08                                                                              | ARCHITECTURAL METAL SCREENING - WOOD FINISH                                                                                                                                                           | KNOTWOOD; (SIM. TO DZAL122 WHITE OAK MAPLE)               |
| MTL 09                                                                              | ARCHITECTURAL METAL SIGNAGE - COORDINATE WITH CONSULTANT DRAWINGS                                                                                                                                     | (PROVIDE ELECTRICAL @ EACH POTENTIAL LOCATION)            |
| MTL 10                                                                              | MESH GARAGE SCREENING SYSTEM                                                                                                                                                                          | FLEX FACADE BASIS OF DESIGN                               |
| MTL 11                                                                              | PERFORATED METAL ROOF SCREEN - DARK BRONZE                                                                                                                                                            | (COLOR SIM. TO BURNISHED SLATE)                           |
| GRS 01                                                                              | FLOOR MOUNTED STRUCTURAL GLASS RAILING                                                                                                                                                                | (COLOR SIM. TO BURNISHED SLATE)                           |
| WWS 01                                                                              | WINDOW WALL SYSTEM - DARK BRONZE                                                                                                                                                                      | (KAWNEER OR WAUSAU BASIS OF DESIGN)                       |
| CWS 01                                                                              | CURTAIN WALL SYSTEM - DARK BRONZE                                                                                                                                                                     | (KAWNEER OR WAUSAU BASIS OF DESIGN)                       |
| GENERAL NOTES & LEGEND                                                              |                                                                                                                                                                                                       |                                                           |
|  | HATCH HERE INDICATES VISION GLASS OF WINDOW WALL TO INCLUDE SHADOW BOX FOR WALL AND EXHAUST WALL CAP TERMINATIONS AND BLEND WITH REMAINING FACADE GLAZING.                                            |                                                           |
|  | WALL CAP - SEE MECHANICAL FOR LOCATIONS (WHERE WALL CAPS OCCUR AT WINDOW, VISION GLASS PANEL TO BE REPLACED BY METAL PANEL TO MATCH SURROUNDING METAL PANEL COLOR AND BLEND WITH SURROUNDING FACADE.) |                                                           |







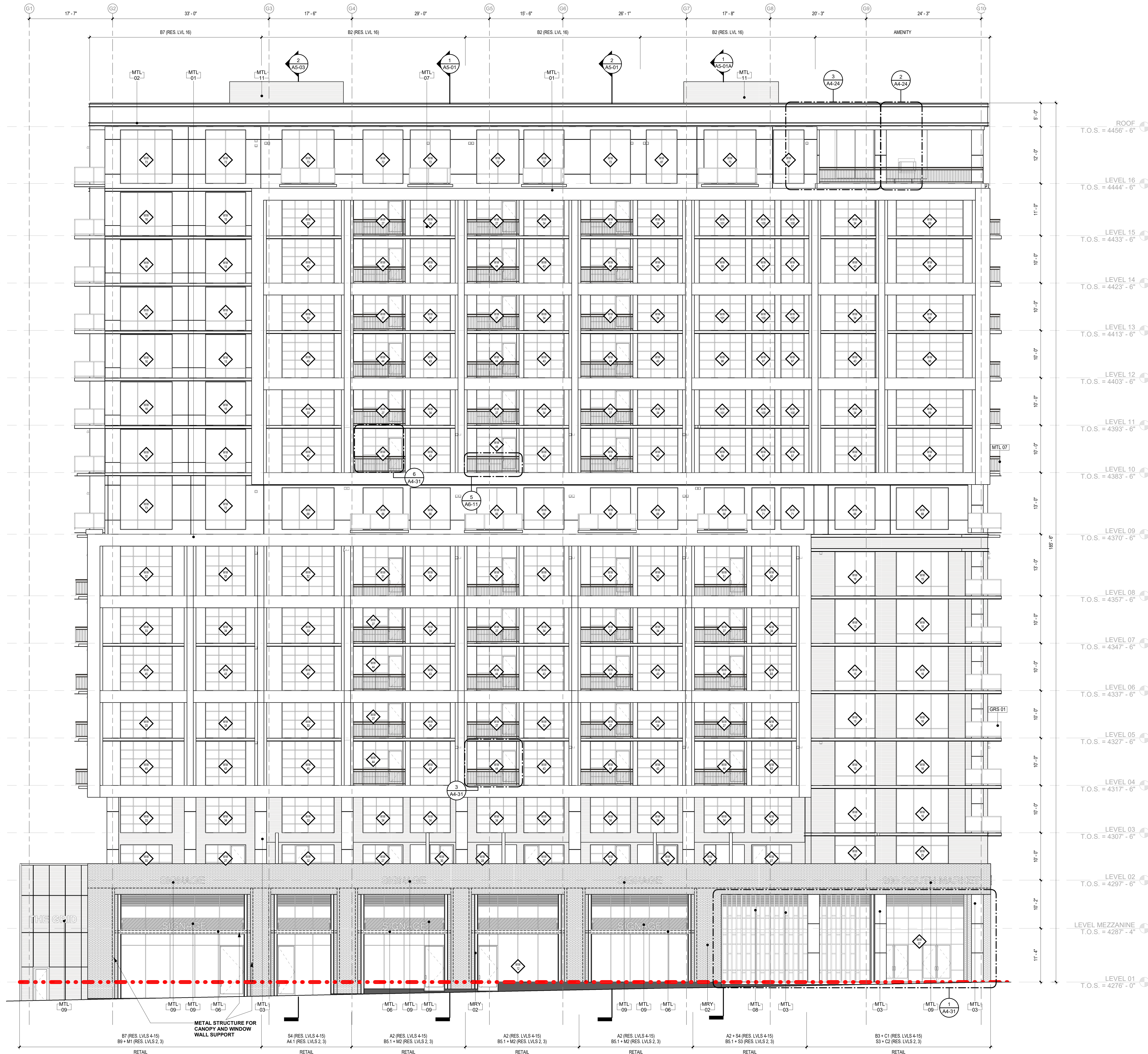




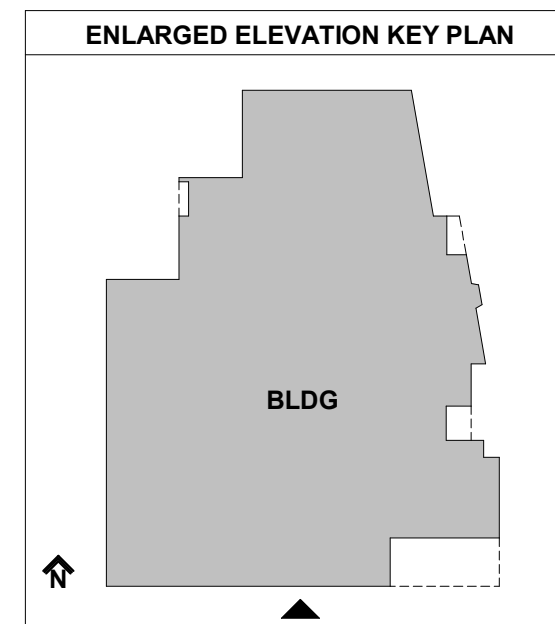


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1 SOUTH ELEVATION 1 - LVL 1-16  
1/8" = 1'-0"



| EXTERIOR FINISH LEGEND                                                                                                                                                                                |                                                                   | MANUFACTURER & COLOR INFORMATION                        |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|---------------------------------------------------------|
| NO.                                                                                                                                                                                                   | MATERIAL DESCRIPTION                                              |                                                         |
| MRY 01                                                                                                                                                                                                | MODULAR BRICK - DARK                                              | INTERSTATE BRICK; MIDNIGHT BLACK                        |
| MRY 01-A                                                                                                                                                                                              | ROWLOCK AND SOLDIER BRICK COURSE - DARK                           | INTERSTATE BRICK; MIDNIGHT BLACK                        |
| MRY 02                                                                                                                                                                                                | MODULAR BRICK - LIGHT                                             | INTERSTATE BRICK; SMOKEY MOUNTAIN                       |
| MRY 02-A                                                                                                                                                                                              | ROWLOCK AND SOLDIER BRICK COURSE - LIGHT                          | INTERSTATE BRICK; SMOKEY MOUNTAIN                       |
| MRY 03                                                                                                                                                                                                | SPLITFACE CMU - DARK                                              | SUNROC; DOUBLE BLACK                                    |
| PNT 01                                                                                                                                                                                                | ELASTOMERIC PAINT OVER CONCRETE                                   | (COLOR TO MATCH SPLITFACE CMU)                          |
| MTL 01                                                                                                                                                                                                | FLAT LOCK METAL PANEL - LIGHT                                     | PAC CLAD; CHAMPAGNE                                     |
| MTL 02                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK                                      | PAC CLAD; BURNISHED SLATE                               |
| MTL 03                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK BRONZE                               | PAC CLAD; MIDNIGHT BRONZE                               |
| MTL 04                                                                                                                                                                                                | CORRUGATED METAL PANEL - DARK BRONZE                              | PAC CLAD; MIDNIGHT BRONZE                               |
| MTL 04-A                                                                                                                                                                                              | METAL PANEL TRIM - DARK BRONZE                                    | PAC CLAD; MIDNIGHT BRONZE                               |
| MTL 05                                                                                                                                                                                                | CHANNEL SHAPED ALUM. PANEL - DARK BRONZE                          | PUREFORM (BASIS OF DESIGN-COLOR SIM TO MIDNIGHT BRONZE) |
| MTL 06                                                                                                                                                                                                | PRE-FABRICATED METAL CANOPY - DARK BRONZE                         | (COLOR SIM. TO MIDNIGHT BRONZE)                         |
| MTL 07                                                                                                                                                                                                | ALUM. POST BALCONY RAILING - DARK BRONZE                          | (COLOR SIM. TO BURNISHED SLATE)                         |
| MTL 08                                                                                                                                                                                                | ARCHITECTURAL METAL SCREENING - WOOD FINISH                       | KNOTWOOD; (SIM. TO DIZAL122 WHITE OAK MAPLE)            |
| MTL 09                                                                                                                                                                                                | ARCHITECTURAL METAL SIGNAGE - COORDINATE WITH CONSULTANT DRAWINGS | (PROVIDE ELECTRICAL @ EACH POTENTIAL LOCATION)          |
| MTL 10                                                                                                                                                                                                | MESH GARAGE SCREENING SYSTEM                                      | FLEX FACADE BASIS OF DESIGN                             |
| MTL 11                                                                                                                                                                                                | PERFORATED METAL ROOF SCREEN - DARK BRONZE                        | (COLOR SIM. TO BURNISHED SLATE)                         |
| GRS 01                                                                                                                                                                                                | FLOOR MOUNTED STRUCTURAL GLASS RAILING                            | (COLOR SIM. TO BURNISHED SLATE)                         |
| WWS 01                                                                                                                                                                                                | WINDOW WALL SYSTEM - DARK BRONZE                                  | (KAWNEER OR WAUSAU BASIS OF DESIGN)                     |
| CWS 01                                                                                                                                                                                                | CURTAIN WALL SYSTEM - DARK BRONZE                                 | (KAWNEER OR WAUSAU BASIS OF DESIGN)                     |
| GENERAL NOTES & LEGEND                                                                                                                                                                                |                                                                   |                                                         |
| HATCH HERE INDICATES VISION GLASS OF WINDOW/WALL TO INCLUDE SHADOW BOX FOR WALL AND EXHAUST WALL CAP TERMINATIONS AND BLEND WITH REMAINING FACADE GLAZING.                                            |                                                                   |                                                         |
| WALL CAP - SEE MECHANICAL FOR LOCATIONS (WHERE WALL CAPS OCCUR AT WINDOW, VISION GLASS PANEL TO BE REPLACED BY METAL PANEL TO MATCH SURROUNDING METAL PANEL COLOR AND BLEND WITH SURROUNDING FACADE.) |                                                                   |                                                         |



360 WEST 300 SOUTH  
UNIT 102  
SALT LAKE CITY, UT 84101  
PHONE: 385.273.3888  
dwelldesignstudio.com

WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

REVISION

| DATE       | DESCRIPTION                | APPROVED |
|------------|----------------------------|----------|
| 09/02/2021 | SCHEMATIC DESIGN           |          |
| 11/02/2021 | DESIGN DEVELOPMENT         |          |
| 12/02/2021 | S&P CONSTRUCTION DOCUMENTS |          |
| 02/04/2022 | CMF / PERMIT               |          |

REVISION

| DATE       | DESCRIPTION    | REV |
|------------|----------------|-----|
| 09/02/2021 | CMF ADDENDUM 1 | 1   |
| 11/02/2021 | CMF ADDENDUM 2 | 2   |
| 02/04/2022 | CMF ADDENDUM 3 | 3   |

ENLARGED ELEVATIONS - SOUTH

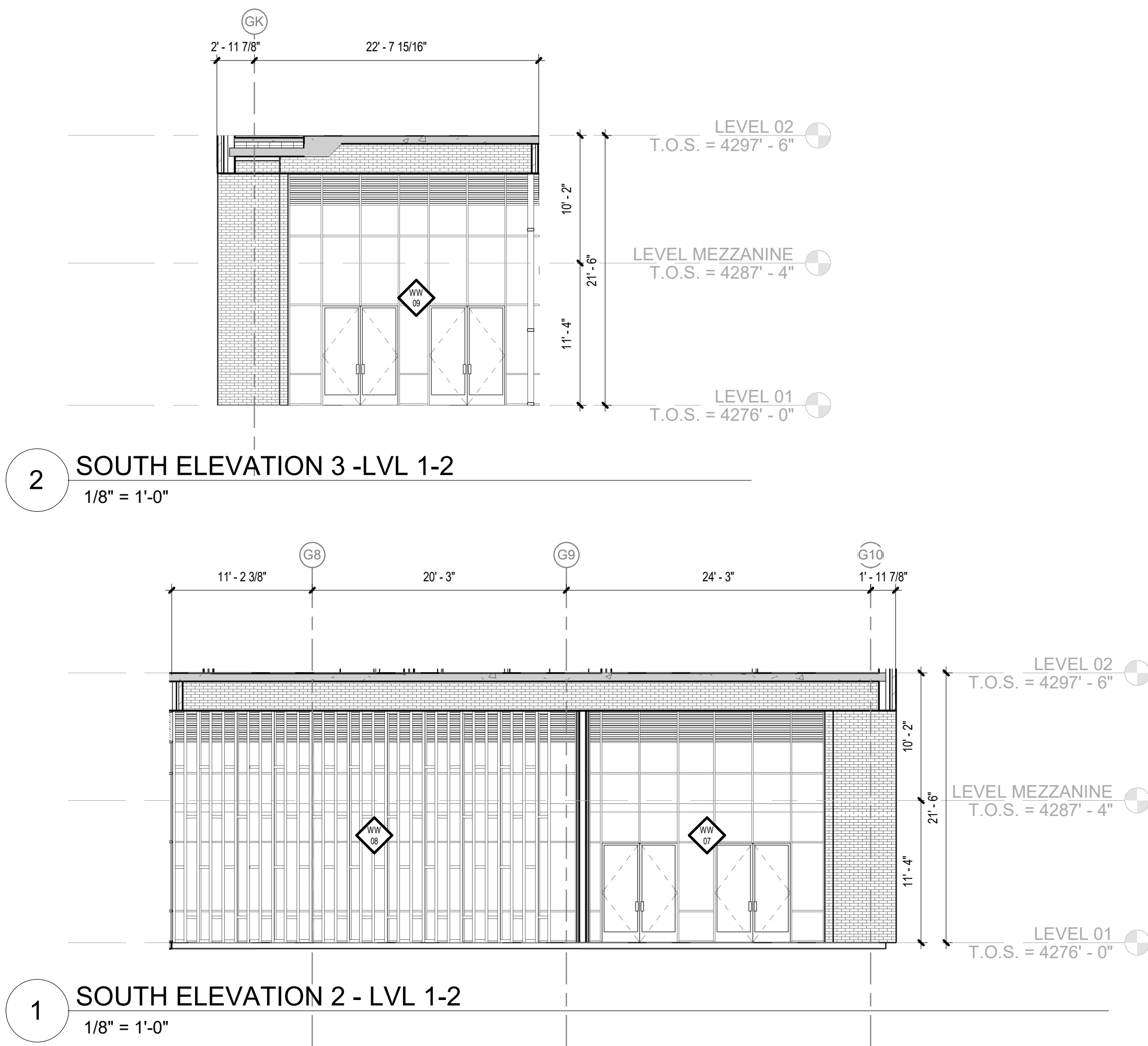
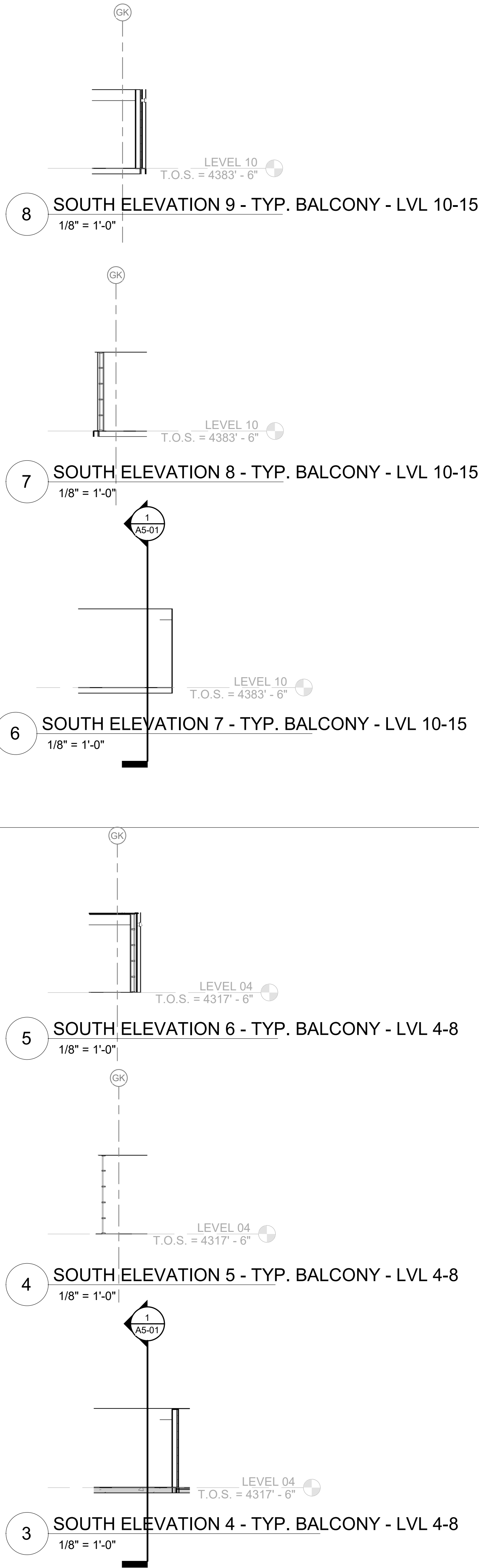
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JOB NUMBER: 2138601

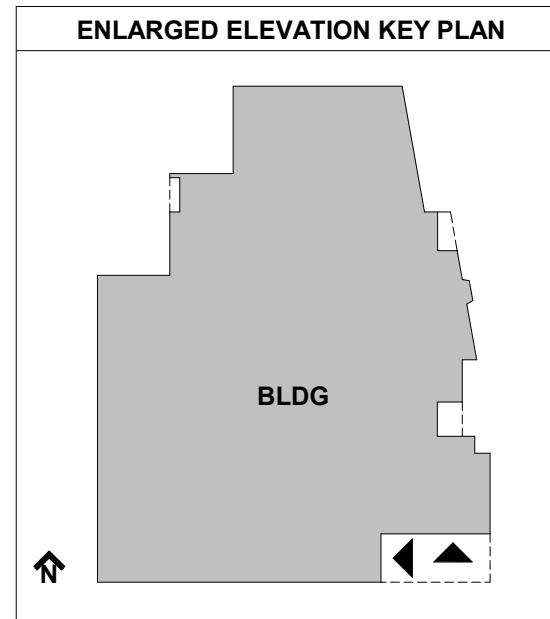
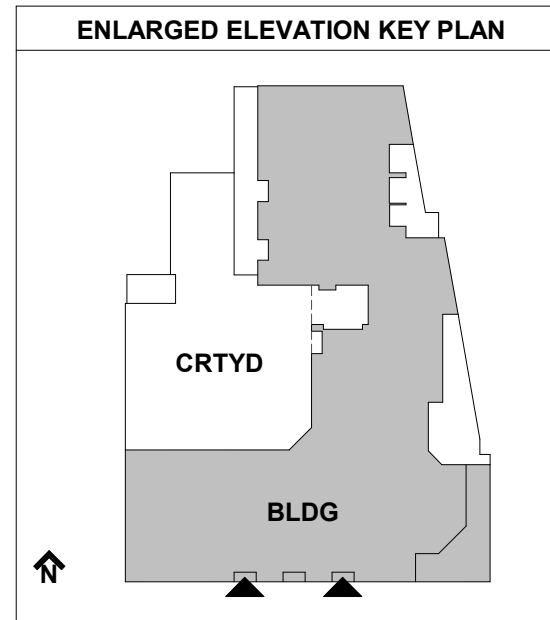
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CHECKED BY: TT

A4-30





| EXTERIOR FINISH LEGEND                                                                                                                                                                                |                                                                   | MANUFACTURER & COLOR INFORMATION                          |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|-----------------------------------------------------------|
| NO.                                                                                                                                                                                                   | MATERIAL DESCRIPTION                                              |                                                           |
| MRY 01                                                                                                                                                                                                | MODULAR BRICK - DARK                                              | INTERSTATE BRICK; MIDNIGHT BLACK                          |
| MRY 01-A                                                                                                                                                                                              | ROWLOCK AND SOLDIER BRICK COURSE - DARK                           | INTERSTATE BRICK; MIDNIGHT BLACK                          |
| MRY 02                                                                                                                                                                                                | MODULAR BRICK - LIGHT                                             | INTERSTATE BRICK; SMOKEY MOUNTAIN                         |
| MRY 02-A                                                                                                                                                                                              | ROWLOCK AND SOLDIER BRICK COURSE - LIGHT                          | INTERSTATE BRICK; SMOKEY MOUNTAIN                         |
| MRY 03                                                                                                                                                                                                | SPLITFACE CMU - DARK                                              | SUNROC; DOUBLE BLACK                                      |
| PNT 01                                                                                                                                                                                                | ELASTOMERIC PAINT OVER CONCRETE                                   | (COLOR TO MATCH SPLITFACE CMU)                            |
| MTL 01                                                                                                                                                                                                | FLAT LOCK METAL PANEL - LIGHT                                     | PAC CLAD; CHAMPAGNE                                       |
| MTL 02                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK                                      | PAC CLAD; BURNISHED SLATE                                 |
| MTL 03                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK BRONZE                               | PAC CLAD; MIDNIGHT BRONZE                                 |
| MTL 04                                                                                                                                                                                                | CORRUGATED METAL PANEL - DARK BRONZE                              | PAC CLAD; MIDNIGHT BRONZE                                 |
| MTL 04-A                                                                                                                                                                                              | METAL PANEL TRIM - DARK BRONZE                                    | PAC CLAD; MIDNIGHT BRONZE                                 |
| MTL 05                                                                                                                                                                                                | CHANNEL SHAPED ALUM. PANEL - DARK BRONZE                          | PUREFORM (BASIS OF DESIGN - COLOR SIM TO MIDNIGHT BRONZE) |
| MTL 06                                                                                                                                                                                                | PRE-FABRICATED METAL CANOPY - DARK BRONZE                         | (COLOR SIM. TO MIDNIGHT BRONZE)                           |
| MTL 07                                                                                                                                                                                                | ALUM. POST BALCONY RAILING - DARK BRONZE                          | (COLOR SIM. TO BURNISHED SLATE)                           |
| MTL 08                                                                                                                                                                                                | ARCHITECTURAL METAL SCREENING - WOOD FINISH                       | KNOTWOOD; (SIM. TO DIZAL122 WHITE OAK MAPLE)              |
| MTL 09                                                                                                                                                                                                | ARCHITECTURAL METAL SIGNAGE - COORDINATE WITH CONSULTANT DRAWINGS | (PROVIDE ELECTRICAL @ EACH POTENTIAL LOCATION)            |
| MTL 10                                                                                                                                                                                                | MESH GARAGE SCREENING SYSTEM                                      | FLEX FACADE BASIS OF DESIGN                               |
| MTL 11                                                                                                                                                                                                | PERFORATED METAL ROOF SCREEN - DARK BRONZE                        | (COLOR SIM. TO BURNISHED SLATE)                           |
| GRS 01                                                                                                                                                                                                | FLOOR MOUNTED STRUCTURAL GLASS RAILING                            | (COLOR SIM. TO BURNISHED SLATE)                           |
| WWS 01                                                                                                                                                                                                | WINDOW WALL SYSTEM - DARK BRONZE                                  | (KAWNEER OR WAUSAU BASIS OF DESIGN)                       |
| CWS 01                                                                                                                                                                                                | CURTAIN WALL SYSTEM - DARK BRONZE                                 | (KAWNEER OR WAUSAU BASIS OF DESIGN)                       |
| GENERAL NOTES & LEGEND                                                                                                                                                                                |                                                                   |                                                           |
| HATCH HERE INDICATES VISION GLASS OF WINDOW/WALL TO INCLUDE SHADOW BOX FOR WALL AND EXHAUST WALL CAP TERMINATIONS AND BLEND WITH REMAINING FACADE GLAZING.                                            |                                                                   |                                                           |
| WALL CAP - SEE MECHANICAL FOR LOCATIONS (WHERE WALL CAPS OCCUR AT WINDOW, VISION GLASS PANEL TO BE REPLACED BY METAL PANEL TO MATCH SURROUNDING METAL PANEL COLOR AND BLEND WITH SURROUNDING FACADE.) |                                                                   |                                                           |



dwell design studio

360 WEST 300 SOUTH  
UNIT 102  
SALT LAKE CITY, UT 84101  
PHONE: 385.273.3888  
dwelldesignstudio.com

WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

A DEVELOPMENT FOR

THE RITCHIE GROUP

| ISSUE      | DATE | DESCRIPTION                | INCLUDED |
|------------|------|----------------------------|----------|
| 09/10/2021 |      | SCHEMATIC DESIGN           |          |
| 11/18/2021 |      | DESIGN DEVELOPMENT         |          |
| 12/28/2021 |      | 50% CONSTRUCTION DOCUMENTS |          |
| 02/04/2022 |      | GMP / PERMIT               | X        |

| REVISION | DATE | DESCRIPTION | REV |
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ENLARGED ELEVATIONS - SOUTH

GMP / BUILDING PERMIT

JOB NUMBER:

2138601

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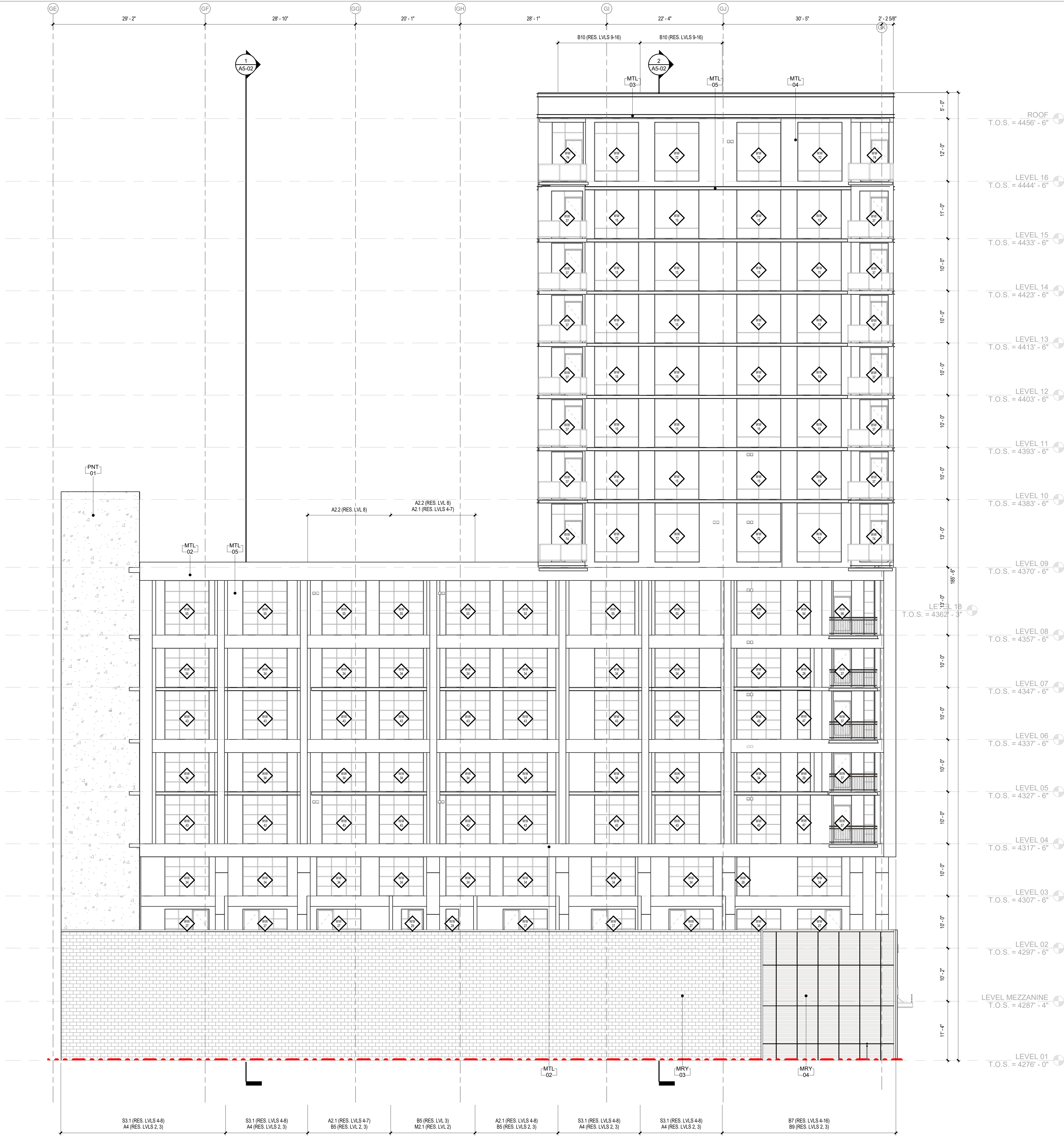
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TT

A4-31





| EXTERIOR FINISH LEGEND                                                                                                                                                                                |                                                                   | MANUFACTURER & COLOR INFORMATION                          |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|-----------------------------------------------------------|
| NO.                                                                                                                                                                                                   | MATERIAL DESCRIPTION                                              |                                                           |
| MRY 01                                                                                                                                                                                                | MODULAR BRICK - DARK                                              | INTERSTATE BRICK; MIDNIGHT BLACK                          |
| MRY 01-A                                                                                                                                                                                              | ROWLOCK AND SOLDIER BRICK COURSE - DARK                           | INTERSTATE BRICK; MIDNIGHT BLACK                          |
| MRY 02                                                                                                                                                                                                | MODULAR BRICK - LIGHT                                             | INTERSTATE BRICK; SMOKEY MOUNTAIN                         |
| MRY 02-A                                                                                                                                                                                              | ROWLOCK AND SOLDIER BRICK COURSE - LIGHT                          | INTERSTATE BRICK; SMOKEY MOUNTAIN                         |
| MRY 03                                                                                                                                                                                                | SPLITFACE CMU - DARK                                              | SUNROC; DOUBLE BLACK                                      |
| PNT 01                                                                                                                                                                                                | ELASTOMERIC PAINT OVER CONCRETE                                   | (COLOR TO MATCH SPLITFACE CMU)                            |
| MTL 01                                                                                                                                                                                                | FLAT LOCK METAL PANEL - LIGHT                                     | PAC CLAD; CHAMPAGNE                                       |
| MTL 02                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK                                      | PAC CLAD; BURNISHED SLATE                                 |
| MTL 03                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK BRONZE                               | PAC CLAD; MIDNIGHT BRONZE                                 |
| MTL 04                                                                                                                                                                                                | CORRUGATED METAL PANEL - DARK BRONZE                              | PAC CLAD; MIDNIGHT BRONZE                                 |
| MTL 04-A                                                                                                                                                                                              | METAL PANEL TRIM - DARK BRONZE                                    | PAC CLAD; MIDNIGHT BRONZE                                 |
| MTL 05                                                                                                                                                                                                | CHANNEL SHAPED ALUM. PANEL - DARK BRONZE                          | PUREFORM (BASIS OF DESIGN - COLOR SIM TO MIDNIGHT BRONZE) |
| MTL 06                                                                                                                                                                                                | PRE-FABRICATED METAL CANOPY - DARK BRONZE                         | (COLOR SIM. TO MIDNIGHT BRONZE)                           |
| MTL 07                                                                                                                                                                                                | ALUM. POST BALCONY RAILING - DARK BRONZE                          | (COLOR SIM. TO BURNISHED SLATE)                           |
| MTL 08                                                                                                                                                                                                | ARCHITECTURAL METAL SCREENING - WOOD FINISH                       | KNOTWOOD; (SIM. TO DIZAL 122 WHITE OAK MAPLE)             |
| MTL 09                                                                                                                                                                                                | ARCHITECTURAL METAL SIGNAGE - COORDINATE WITH CONSULTANT DRAWINGS | (PROVIDE ELECTRICAL @ EACH POTENTIAL LOCATION)            |
| MTL 10                                                                                                                                                                                                | MESH GARAGE SCREENING SYSTEM                                      | FLEX FACADE BASIS OF DESIGN                               |
| MTL 11                                                                                                                                                                                                | PERFORATED METAL ROOF SCREEN - DARK BRONZE                        | (COLOR SIM. TO BURNISHED SLATE)                           |
| GRS 01                                                                                                                                                                                                | FLOOR MOUNTED STRUCTURAL GLASS RAILING                            | (COLOR SIM. TO BURNISHED SLATE)                           |
| WWS 01                                                                                                                                                                                                | WINDOW WALL SYSTEM - DARK BRONZE                                  | (KAWNEER OR WAUSAU BASIS OF DESIGN)                       |
| CWS 01                                                                                                                                                                                                | CURTAIN WALL SYSTEM - DARK BRONZE                                 | (KAWNEER OR WAUSAU BASIS OF DESIGN)                       |
| GENERAL NOTES & LEGEND                                                                                                                                                                                |                                                                   |                                                           |
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dwelldesignstudio

360 WEST 300 SOUTH  
UNIT 102  
SALT LAKE CITY, UT 84101  
PHONE: 385.273.3888  
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WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

THE RITCHIE GROUP

ISSUE

| DATE       | DESCRIPTION                | APPROVED |
|------------|----------------------------|----------|
| 09/10/2021 | SCHEMATIC DESIGN           |          |
| 11/18/2021 | DESIGN DEVELOPMENT         |          |
| 12/28/2021 | S&P CONSTRUCTION DOCUMENTS |          |
| 03/04/2022 | GMP / PERMIT               | X        |

REVISION

| NO.      | DESCRIPTION        | REV |
|----------|--------------------|-----|
| 00000000 | GMP ADDENDUM 1     | 1   |
| 00000000 | DESIGN DEVELOPMENT | 2   |

ENLARGED ELEVATION KEY PLAN

ENLARGED ELEVATIONS - WEST

GMP / BUILDING PERMIT

JOB NUMBER: 2138601

DRAWN BY: VV  
CHECKED BY: TT

A4-40

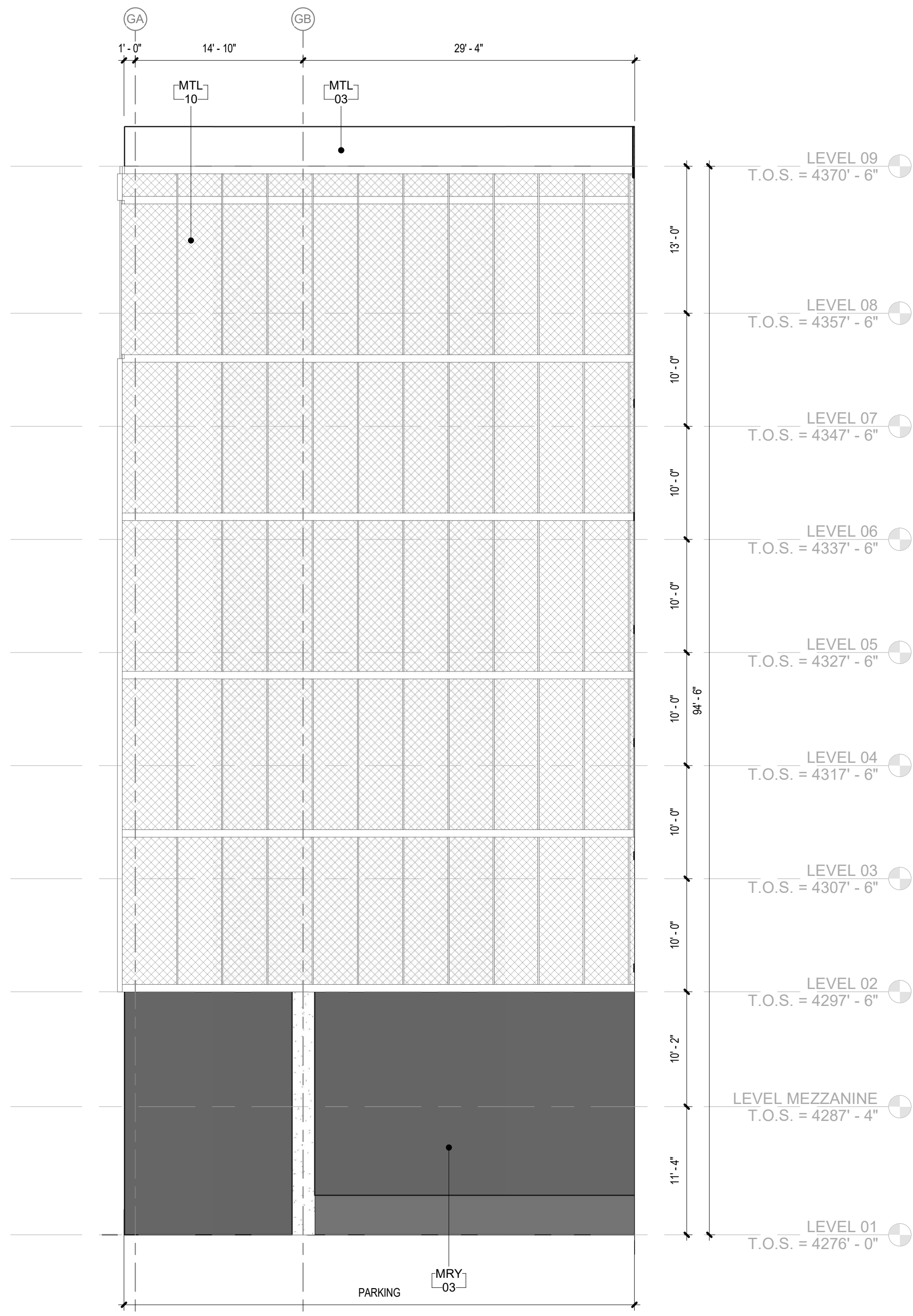
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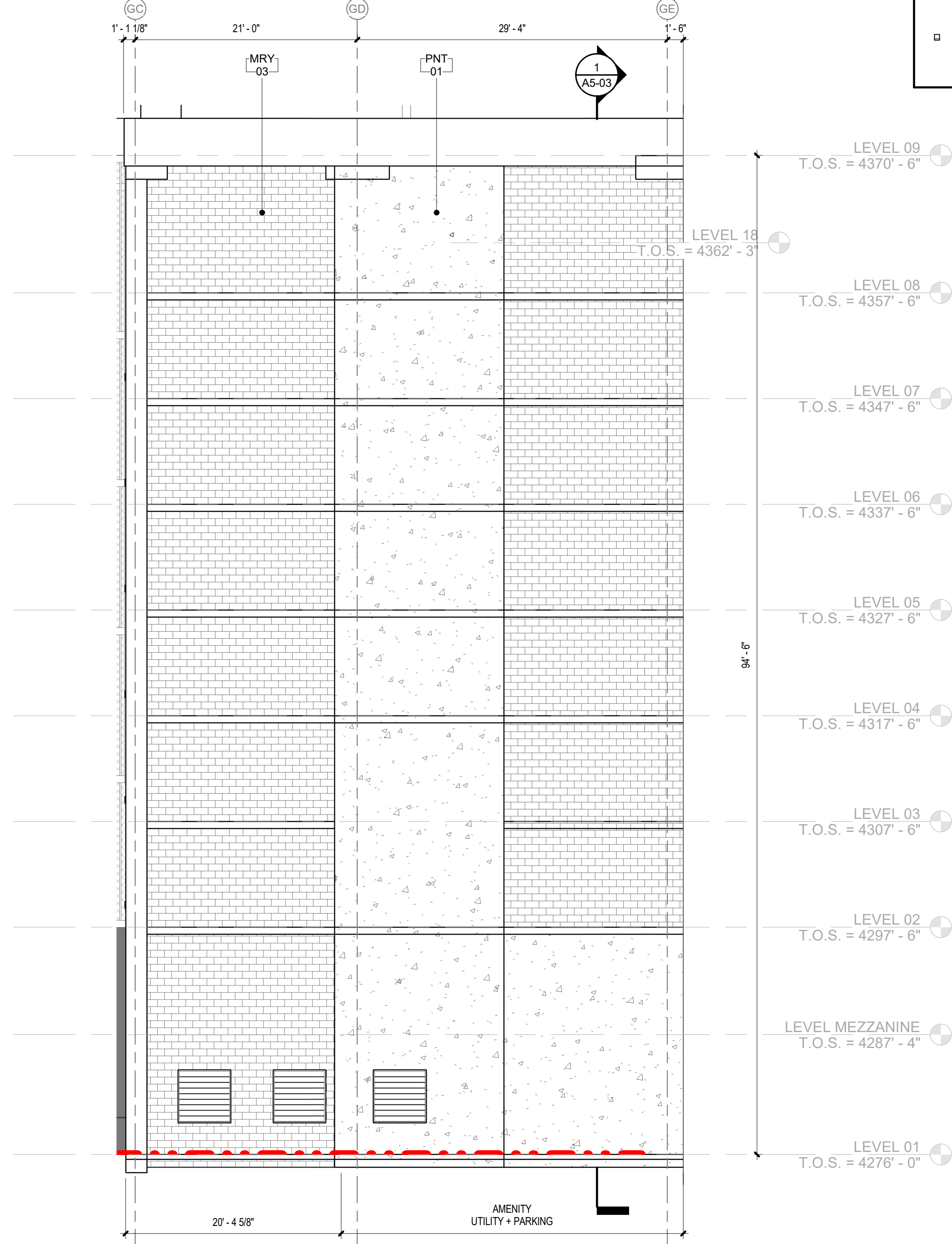


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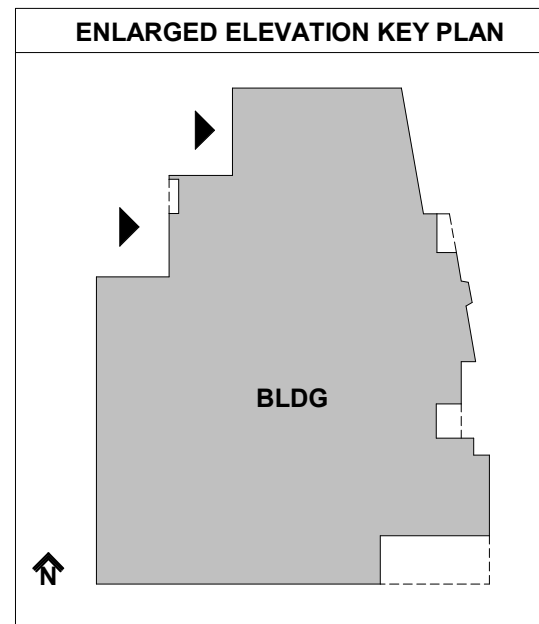
2 WEST ELEVATION 3 - LVL 1-9  
1/8" = 1'-0"



1 WEST ELEVATION 2 - LVL 1-9  
1/8" = 1'-0"



| EXTERIOR FINISH LEGEND                                                                                                                                                                                |                                                                   | MANUFACTURER & COLOR INFORMATION                           |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|------------------------------------------------------------|
| MR_Y 01                                                                                                                                                                                               | MODULAR BRICK - DARK                                              | INTERSTATE BRICK; MIDNIGHT BLACK                           |
| MR_Y 01-A                                                                                                                                                                                             | ROWLOCK AND SOLDIER BRICK COURSE - DARK                           | INTERSTATE BRICK; MIDNIGHT BLACK                           |
| MR_Y 02                                                                                                                                                                                               | MODULAR BRICK - LIGHT                                             | INTERSTATE BRICK; SMOKEY MOUNTAIN                          |
| MR_Y 02-A                                                                                                                                                                                             | ROWLOCK AND SOLDIER BRICK COURSE - LIGHT                          | INTERSTATE BRICK; SMOKEY MOUNTAIN                          |
| MR_Y 03                                                                                                                                                                                               | SPLITFACE CMU - DARK                                              | SUNROC; DOUBLE BLACK                                       |
| PNT 01                                                                                                                                                                                                | ELASTOMERIC PAINT OVER CONCRETE                                   | (COLOR TO MATCH SPLITFACE CMU)                             |
| MTL 01                                                                                                                                                                                                | FLAT LOCK METAL PANEL - LIGHT                                     | PAC CLAD; CHAMPAGNE                                        |
| MTL 02                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK                                      | PAC CLAD; BURNISHED SLATE                                  |
| MTL 03                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK BRONZE                               | PAC CLAD; MIDNIGHT BRONZE                                  |
| MTL 04                                                                                                                                                                                                | CORRUGATED METAL PANEL - DARK BRONZE                              | PAC CLAD; MIDNIGHT BRONZE                                  |
| MTL 04-A                                                                                                                                                                                              | METAL PANEL TRIM - DARK BRONZE                                    | PAC CLAD; MIDNIGHT BRONZE                                  |
| MTL 05                                                                                                                                                                                                | CHANNEL SHAPED ALUM. PANEL - DARK BRONZE                          | PUREFORM (BASIS OF DESIGN - COLOR SIM. TO MIDNIGHT BRONZE) |
| MTL 06                                                                                                                                                                                                | PRE-FABRICATED METAL CANOPY - DARK BRONZE                         | (COLOR SIM. TO MIDNIGHT BRONZE)                            |
| MTL 07                                                                                                                                                                                                | ALUM. POST BALCONY RAILING - DARK BRONZE                          | (COLOR SIM. TO BURNISHED SLATE)                            |
| MTL 08                                                                                                                                                                                                | ARCHITECTURAL METAL SCREENING - WOOD FINISH                       | KNOTWOOD; (SIM. TO DIZAL122 WHITE OAK MAPLE)               |
| MTL 09                                                                                                                                                                                                | ARCHITECTURAL METAL SIGNAGE - COORDINATE WITH CONSULTANT DRAWINGS | (PROVIDE ELECTRICAL @ EACH POTENTIAL LOCATION)             |
| MTL 10                                                                                                                                                                                                | MESH GARAGE SCREENING SYSTEM                                      | FLEX FACADE BASIS OF DESIGN                                |
| MTL 11                                                                                                                                                                                                | PERFORATED METAL ROOF SCREEN - DARK BRONZE                        | (COLOR SIM. TO BURNISHED SLATE)                            |
| GRS 01                                                                                                                                                                                                | FLOOR MOUNTED STRUCTURAL GLASS RAILING                            | (COLOR SIM. TO BURNISHED SLATE)                            |
| WWS 01                                                                                                                                                                                                | WINDOW WALL SYSTEM - DARK BRONZE                                  | (KAWNEER OR WAUSAU BASIS OF DESIGN)                        |
| CWS 01                                                                                                                                                                                                | CURTAIN WALL SYSTEM - DARK BRONZE                                 | (KAWNEER OR WAUSAU BASIS OF DESIGN)                        |
| GENERAL NOTES & LEGEND                                                                                                                                                                                |                                                                   |                                                            |
| HATCH HERE INDICATES VISION GLASS OF WINDOW/WALL TO INCLUDE SHADOW BOX FOR WALL AND EXHAUST WALL CAP TERMINATIONS AND BLEND WITH REMAINING FACADE GLAZING.                                            |                                                                   |                                                            |
| WALL CAP - SEE MECHANICAL FOR LOCATIONS (WHERE WALL CAPS OCCUR AT WINDOW, VISION GLASS PANEL TO BE REPLACED BY METAL PANEL TO MATCH SURROUNDING METAL PANEL COLOR AND BLEND WITH SURROUNDING FACADE.) |                                                                   |                                                            |



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dwelldesignstudio

360 WEST 300 SOUTH

UNIT 102

SALT LAKE CITY, UT 84101

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WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

REVISION

| DATE       | DESCRIPTION                | REV |
|------------|----------------------------|-----|
| 09/10/2021 | SCHEMATIC DESIGN           |     |
| 11/18/2021 | DESIGN DEVELOPMENT         |     |
| 12/16/2021 | 50% CONSTRUCTION DOCUMENTS |     |
| 02/04/2022 | GMP / PERMIT               | X   |

ISSUE

| DATE       | DESCRIPTION                | INCLUDED |
|------------|----------------------------|----------|
| 09/10/2021 | SCHEMATIC DESIGN           |          |
| 11/18/2021 | DESIGN DEVELOPMENT         |          |
| 12/16/2021 | 50% CONSTRUCTION DOCUMENTS |          |
| 02/04/2022 | GMP / PERMIT               | X        |

REVISION

| DATE       | DESCRIPTION                | REV |
|------------|----------------------------|-----|
| 09/10/2021 | SCHEMATIC DESIGN           |     |
| 11/18/2021 | DESIGN DEVELOPMENT         |     |
| 12/16/2021 | 50% CONSTRUCTION DOCUMENTS |     |
| 02/04/2022 | GMP / PERMIT               | X   |

ENLARGED ELEVATIONS - WEST

GMP / BUILDING PERMIT

JOB NUMBER: 2138601

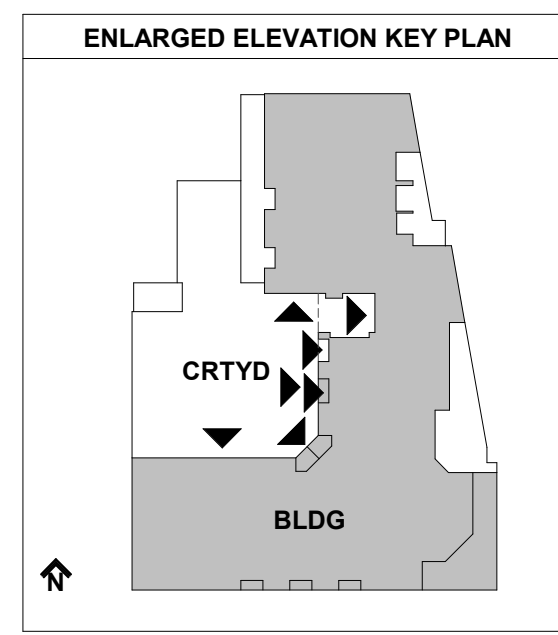
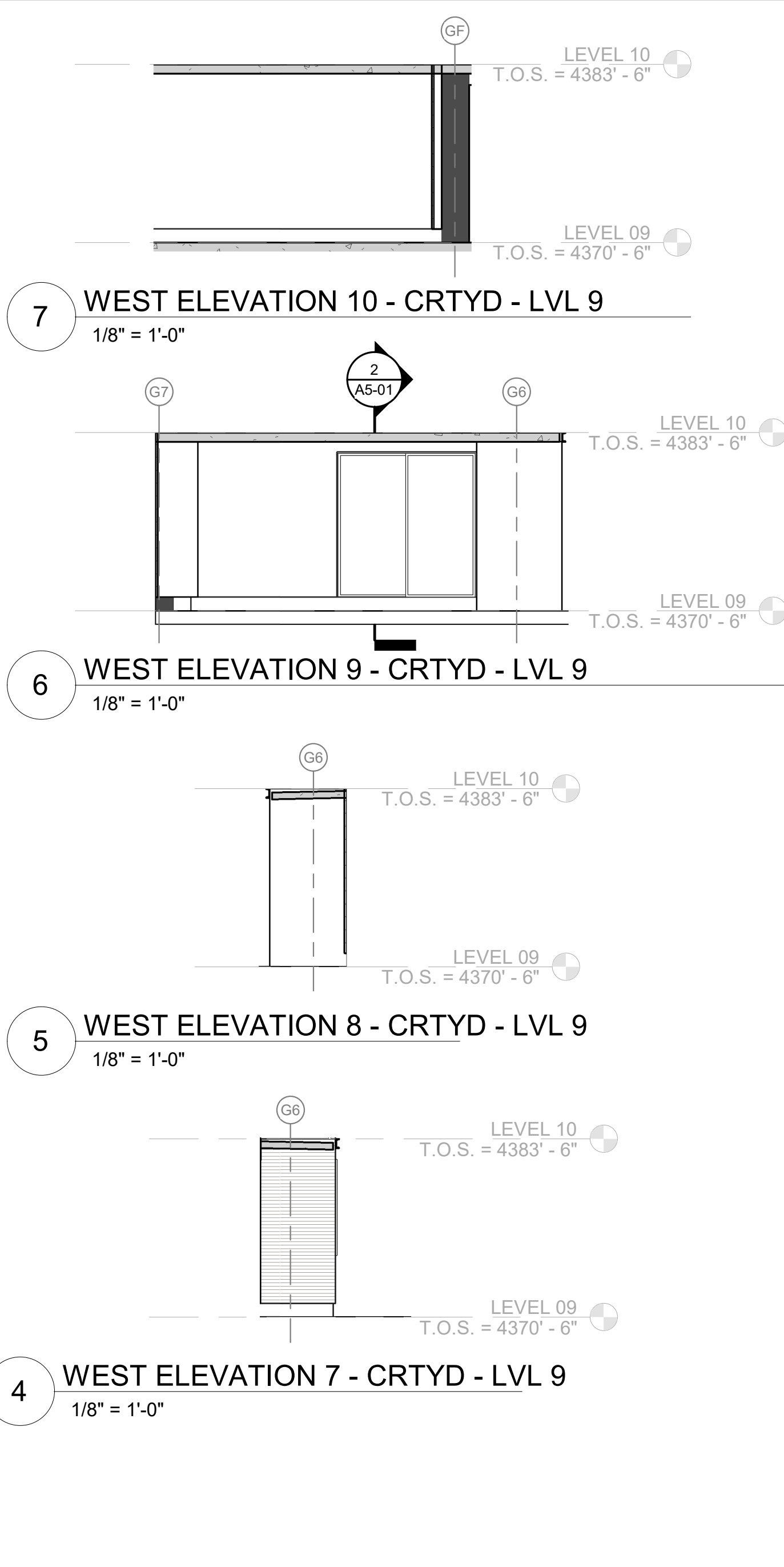
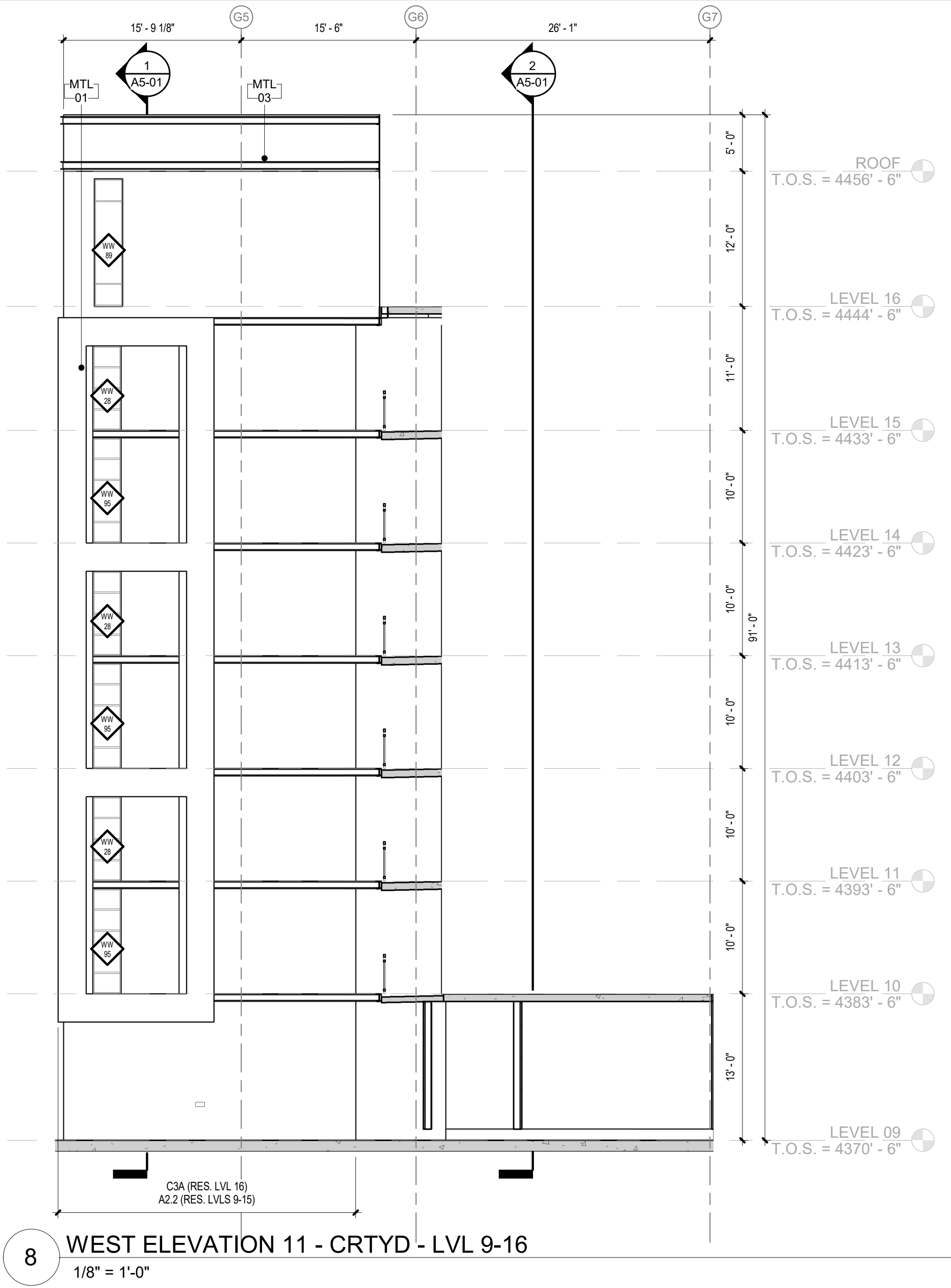
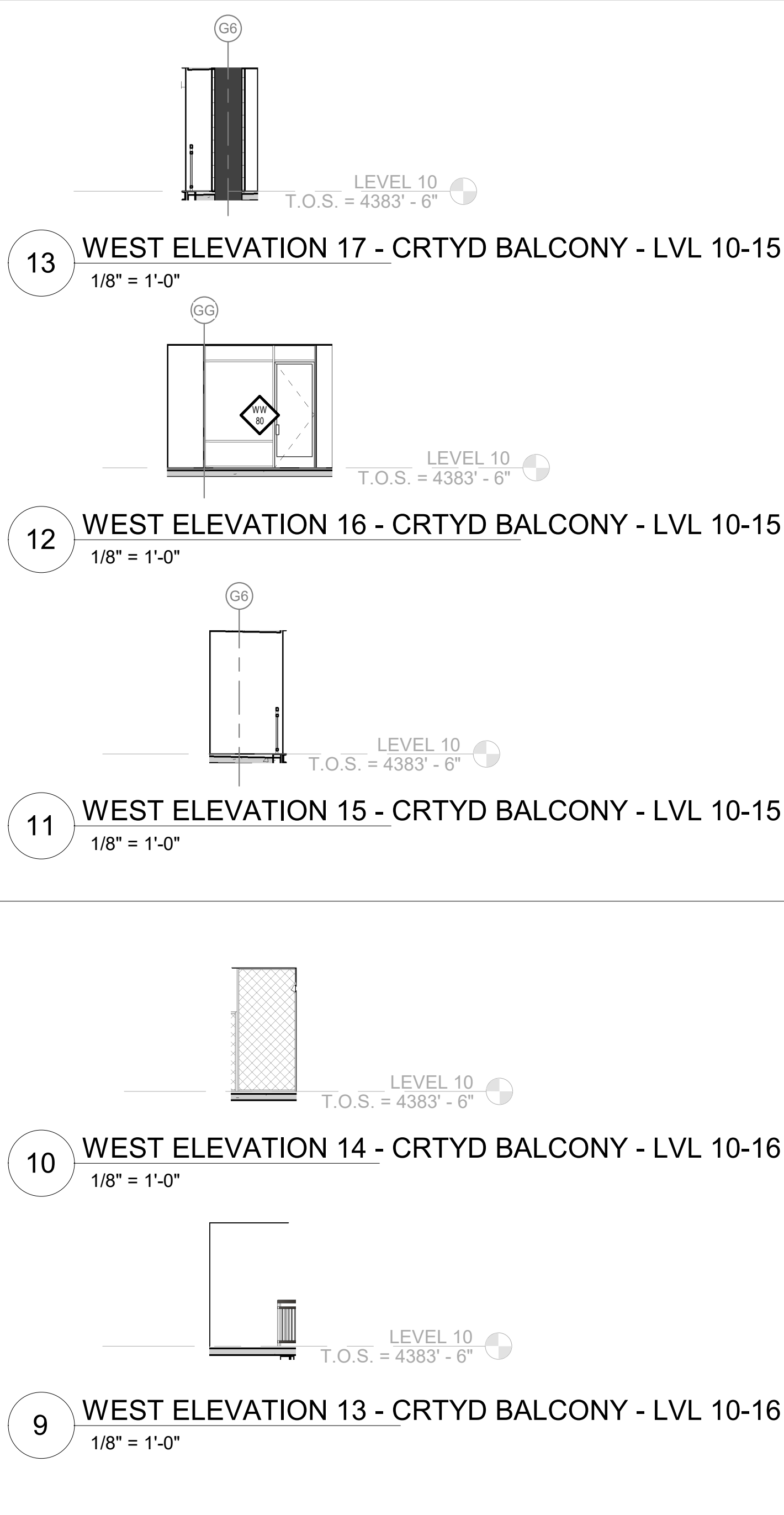
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CHECKED BY: TT

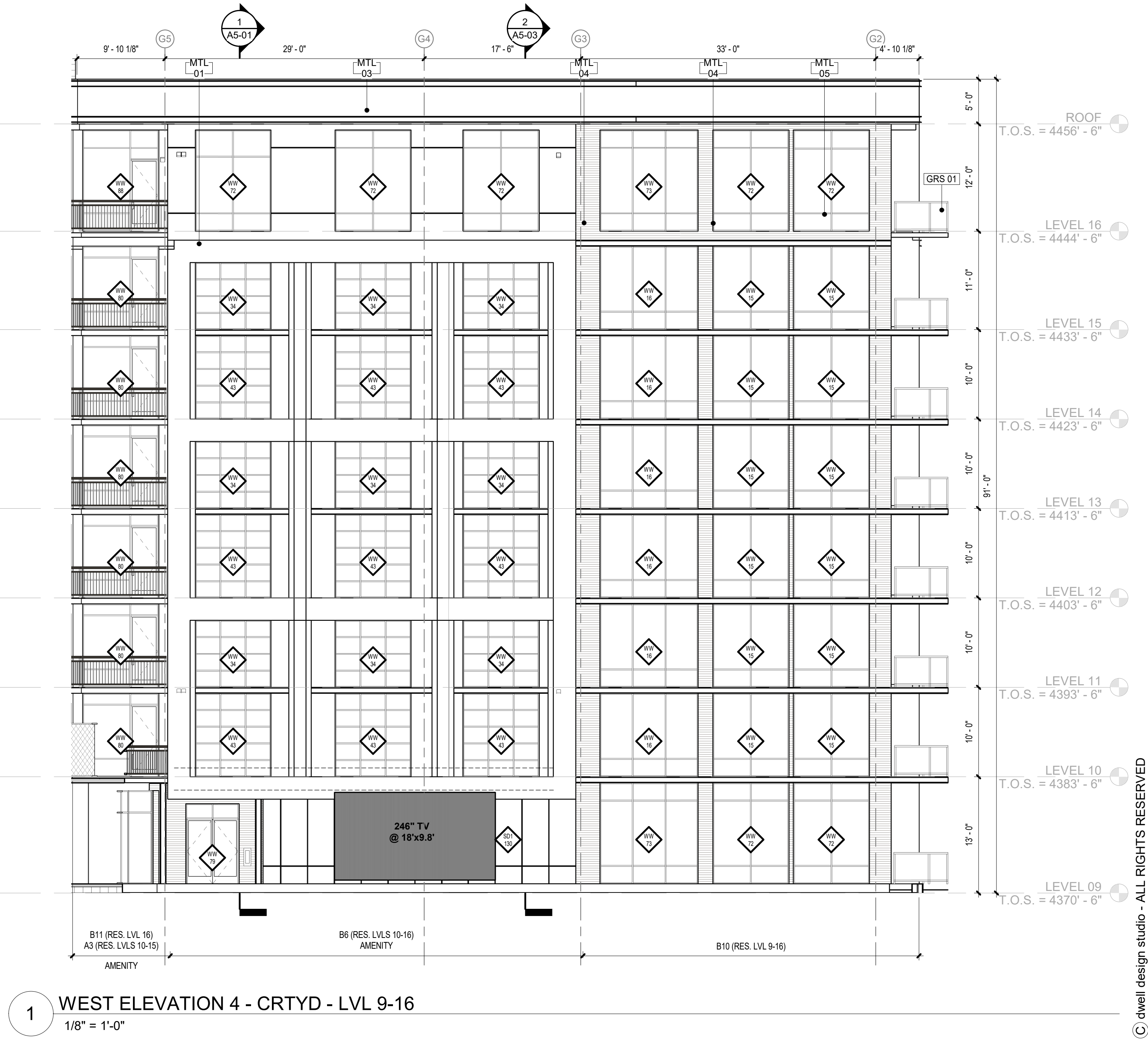
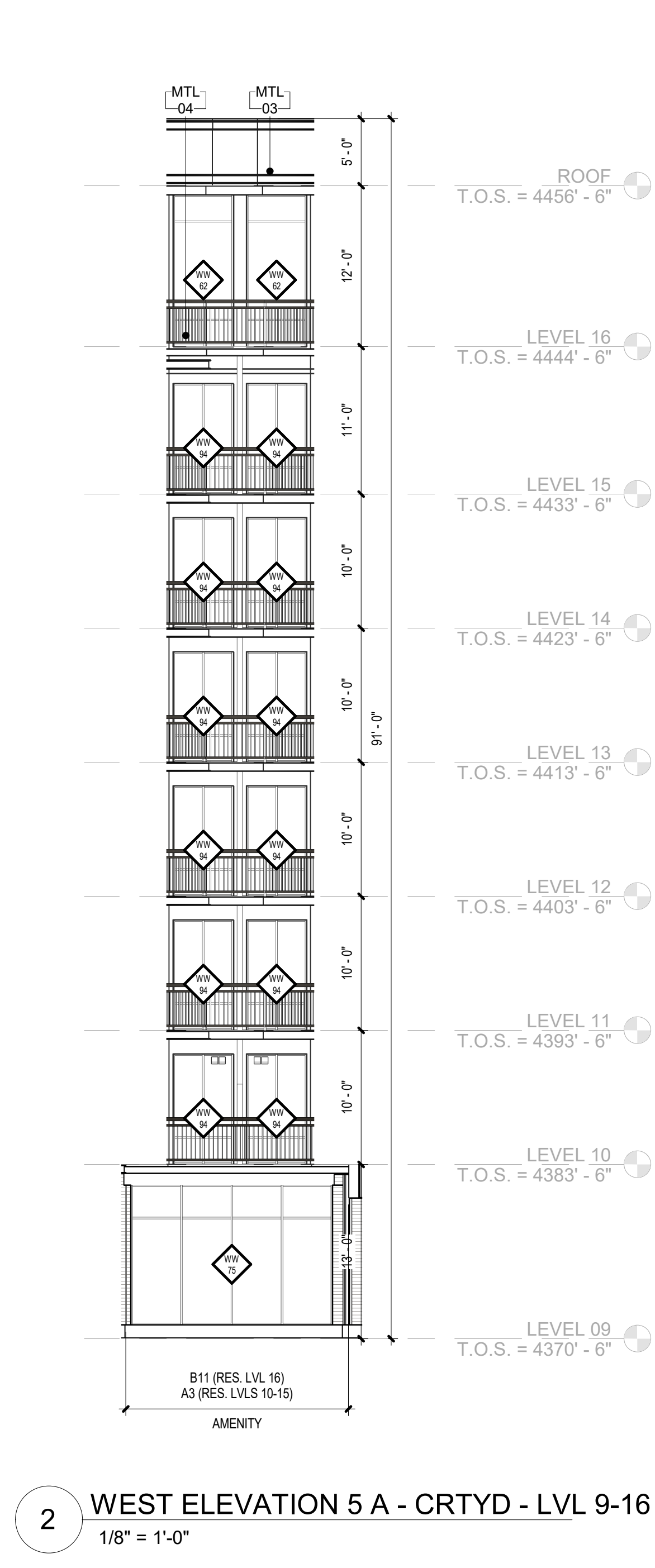
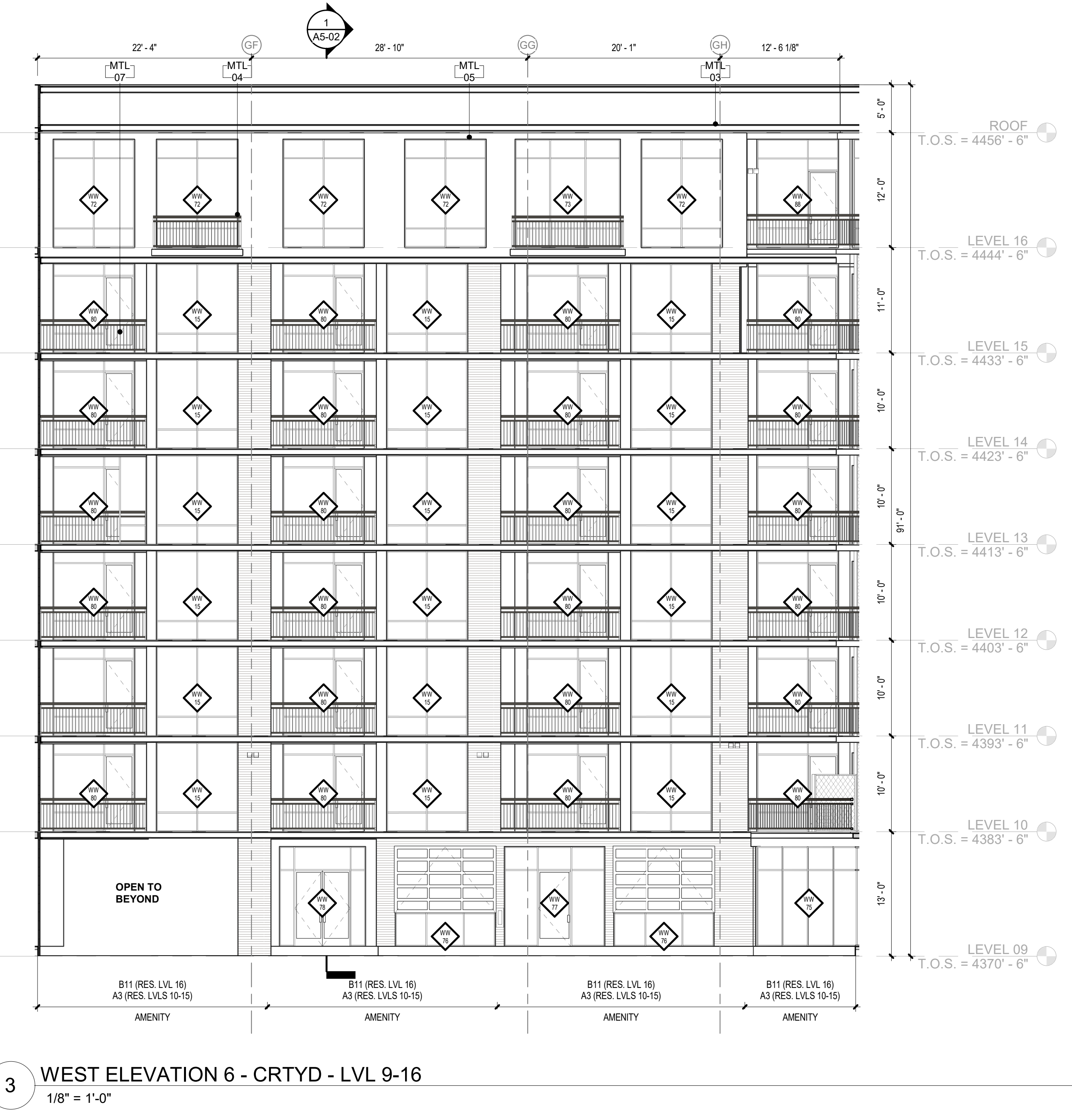
A4-41



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| EXTERIOR FINISH LEGEND                                                                                                                                                                                |                                                                   | MANUFACTURER & COLOR INFORMATION                          |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|-----------------------------------------------------------|
| NO.                                                                                                                                                                                                   | MATERIAL DESCRIPTION                                              |                                                           |
| MRY 01                                                                                                                                                                                                | MODULAR BRICK - DARK                                              | INTERSTATE BRICK; MIDNIGHT BLACK                          |
| MRY 01-A                                                                                                                                                                                              | ROWLOCK AND SOLDIER BRICK COURSE - DARK                           | INTERSTATE BRICK; MIDNIGHT BLACK                          |
| MRY 02                                                                                                                                                                                                | MODULAR BRICK - LIGHT                                             | INTERSTATE BRICK; SMOKEY MOUNTAIN                         |
| MRY 02-A                                                                                                                                                                                              | ROWLOCK AND SOLDIER BRICK COURSE - LIGHT                          | INTERSTATE BRICK; SMOKEY MOUNTAIN                         |
| MRY 03                                                                                                                                                                                                | SPLITFACE CMU - DARK                                              | SUNROC; DOUBLE BLACK                                      |
| PNT 01                                                                                                                                                                                                | ELASTOMERIC PAINT OVER CONCRETE                                   | (COLOR TO MATCH SPLITFACE CMU)                            |
| MTL 01                                                                                                                                                                                                | FLAT LOCK METAL PANEL - LIGHT                                     | PAC CLAD; CHAMPAGNE                                       |
| MTL 02                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK                                      | PAC CLAD; BURNISHED SLATE                                 |
| MTL 03                                                                                                                                                                                                | FLAT LOCK METAL PANEL - DARK BRONZE                               | PAC CLAD; MIDNIGHT BRONZE                                 |
| MTL 04                                                                                                                                                                                                | CORRUGATED METAL PANEL - DARK BRONZE                              | PAC CLAD; MIDNIGHT BRONZE                                 |
| MTL 04-A                                                                                                                                                                                              | METAL PANEL TRIM - DARK BRONZE                                    | PAC CLAD; MIDNIGHT BRONZE                                 |
| MTL 05                                                                                                                                                                                                | CHANNEL SHAPED ALUM. PANEL - DARK BRONZE                          | PUREFORM (BASIS OF DESIGN - COLOR SIM TO MIDNIGHT BRONZE) |
| MTL 06                                                                                                                                                                                                | PRE-FABRICATED METAL CANOPY - DARK BRONZE                         | (COLOR SIM TO MIDNIGHT BRONZE)                            |
| MTL 07                                                                                                                                                                                                | ALUM. POST BALCONY RAILING - DARK BRONZE                          | (COLOR SIM TO BURNISHED SLATE)                            |
| MTL 08                                                                                                                                                                                                | ARCHITECTURAL METAL SCREENING - WOOD FINISH                       | KNOTWOOD; (SIM. TO DIZAL122 WHITE OAK MAPLE)              |
| MTL 09                                                                                                                                                                                                | ARCHITECTURAL METAL SIGNAGE - COORDINATE WITH CONSULTANT DRAWINGS | (PROVIDE ELECTRICAL @ EACH POTENTIAL LOCATION)            |
| MTL 10                                                                                                                                                                                                | MESH GARAGE SCREENING SYSTEM                                      | FLEX FACADE BASIS OF DESIGN                               |
| MTL 11                                                                                                                                                                                                | PERFORATED METAL ROOF SCREEN - DARK BRONZE                        | (COLOR SIM TO BURNISHED SLATE)                            |
| GRS 01                                                                                                                                                                                                | FLOOR MOUNTED STRUCTURAL GLASS RAILING                            | (COLOR SIM TO BURNISHED SLATE)                            |
| WWS 01                                                                                                                                                                                                | WINDOW WALL SYSTEM - DARK BRONZE                                  | (KAWNEER OR WAUSAU BASIS OF DESIGN)                       |
| CWS 01                                                                                                                                                                                                | CURTAIN WALL SYSTEM - DARK BRONZE                                 | (KAWNEER OR WAUSAU BASIS OF DESIGN)                       |
| GENERAL NOTES & LEGEND                                                                                                                                                                                |                                                                   |                                                           |
| HATCH HERE INDICATES VISION GLASS OF WINDOW/WALL TO INCLUDE SHADOW BOX FOR WALL AND EXHAUST WALL CAP TERMINATIONS AND BLEND WITH REMAINING FACADE GLAZING.                                            |                                                                   |                                                           |
| WALL CAP - SEE MECHANICAL FOR LOCATIONS (WHERE WALL CAPS OCCUR AT WINDOW, VISION GLASS PANEL TO BE REPLACED BY METAL PANEL TO MATCH SURROUNDING METAL PANEL COLOR AND BLEND WITH SURROUNDING FACADE.) |                                                                   |                                                           |



360 WEST 300 SOUTH  
UNIT 102  
SALT LAKE CITY, UT 84101  
PHONE: 385.273.3888  
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WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

THE RITCHIE GROUP

| ISSUE      | DATE       | DESCRIPTION                | APPROVED |
|------------|------------|----------------------------|----------|
| 09/10/2021 | 09/10/2021 | SCHEMATIC DESIGN           |          |
| 11/18/2021 | 11/18/2021 | DESIGN DEVELOPMENT         |          |
| 12/28/2021 | 12/28/2021 | 50% CONSTRUCTION DOCUMENTS |          |
| 02/04/2022 | 02/04/2022 | GMP / PERMIT               |          |

| REVISION | DATE     | DESCRIPTION | REV |
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| 00000000 | 00000000 | 00000000    | 2   |

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SHEET NAME: ENLARGED ELEVATIONS - WEST

GMP / BUILDING PERMIT

JOB NUMBER: 2138601

DRAWN BY: VV  
CHECKED BY: TT

A4-42

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## WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101

A DEVELOPMENT FOR



THE  
RITCHIE  
GROUP

[illegible]

| REVISION   |                |     |
|------------|----------------|-----|
| DATE       | DESCRIPTION    | REV |
| XX/XX/XXXX | GMP ADDENDUM 1 | 2   |

SEAL:

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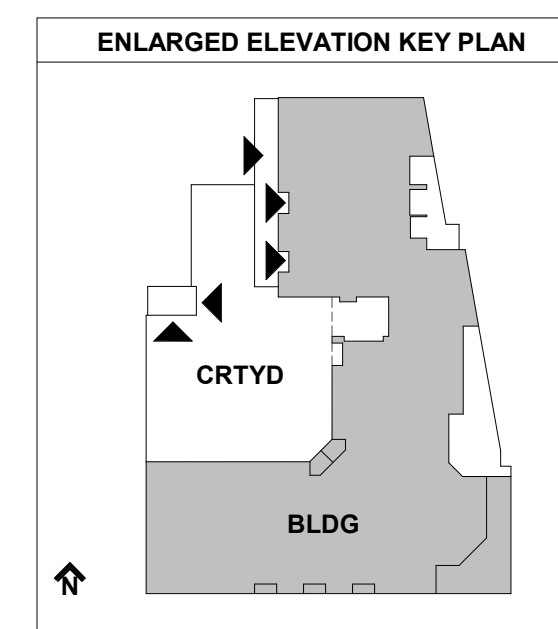
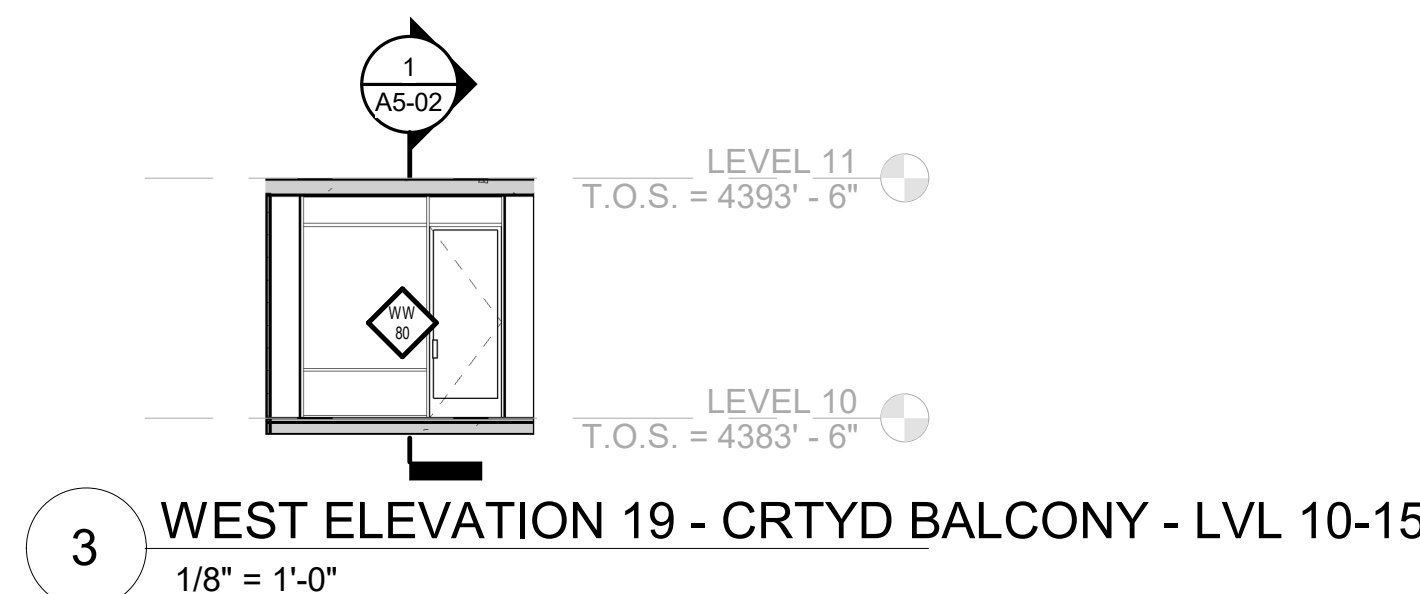
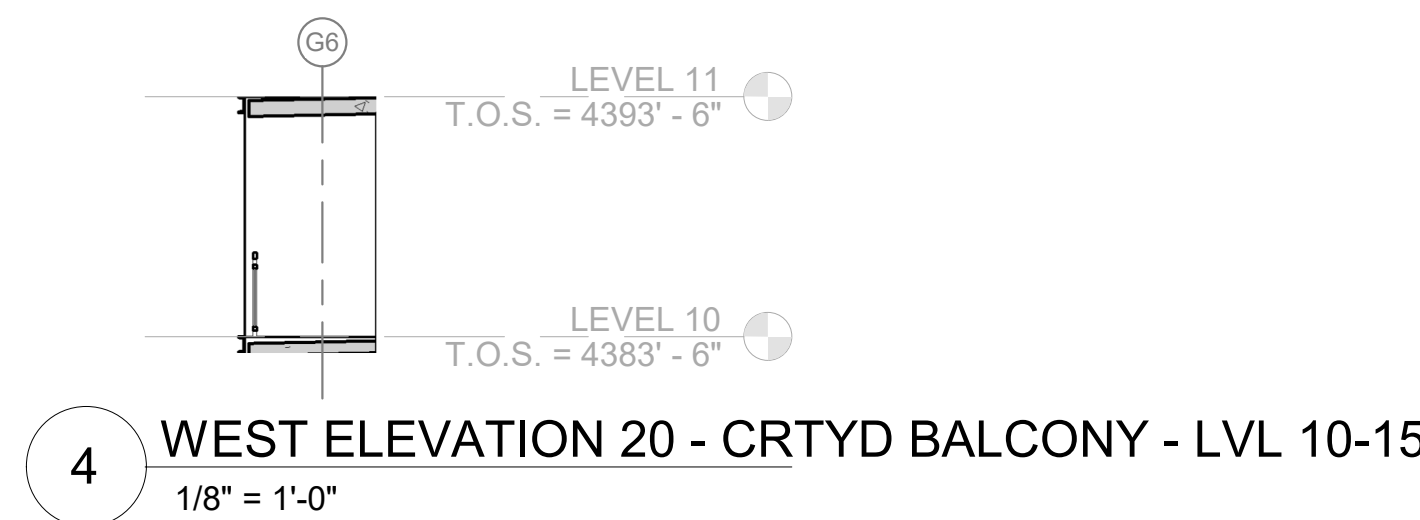
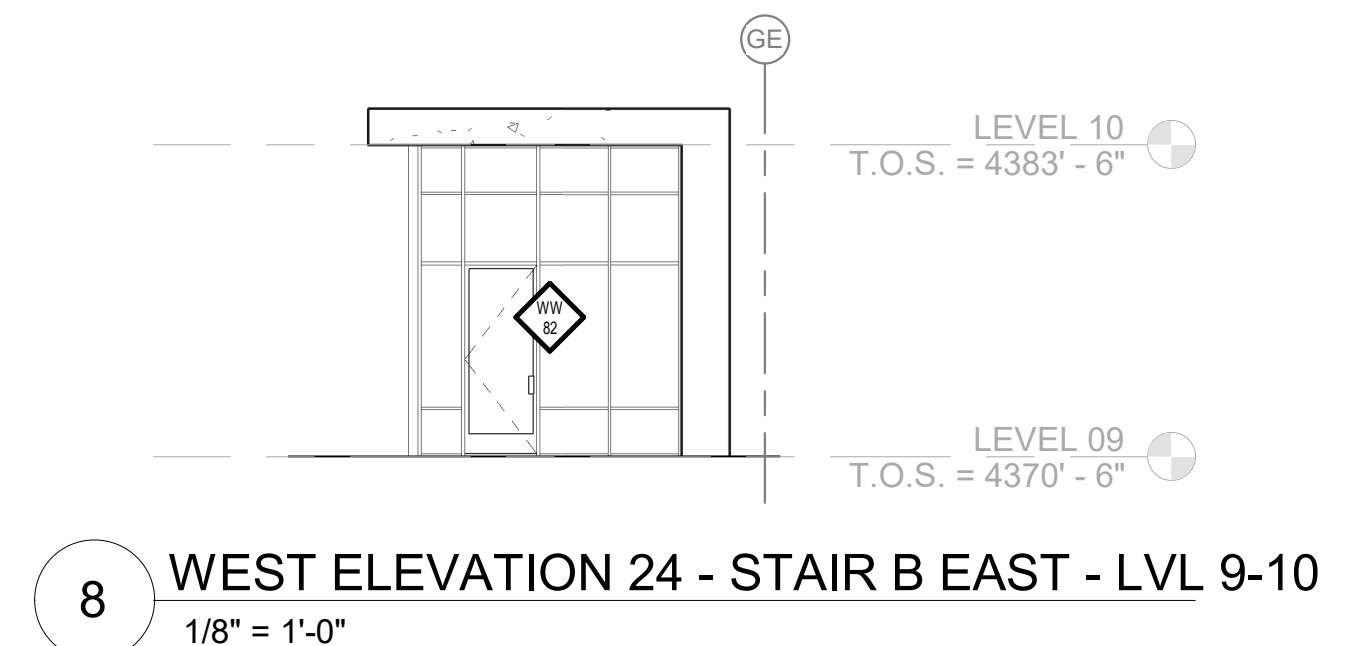
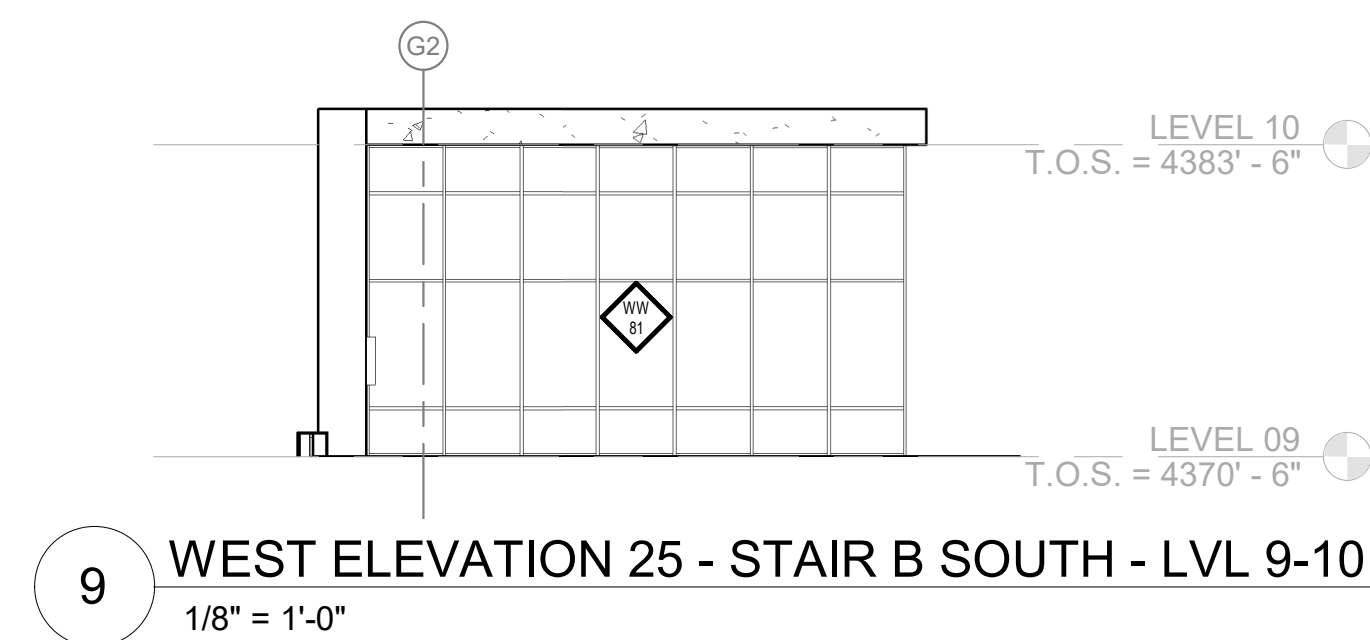
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

GMP / BUILDING PERMIT

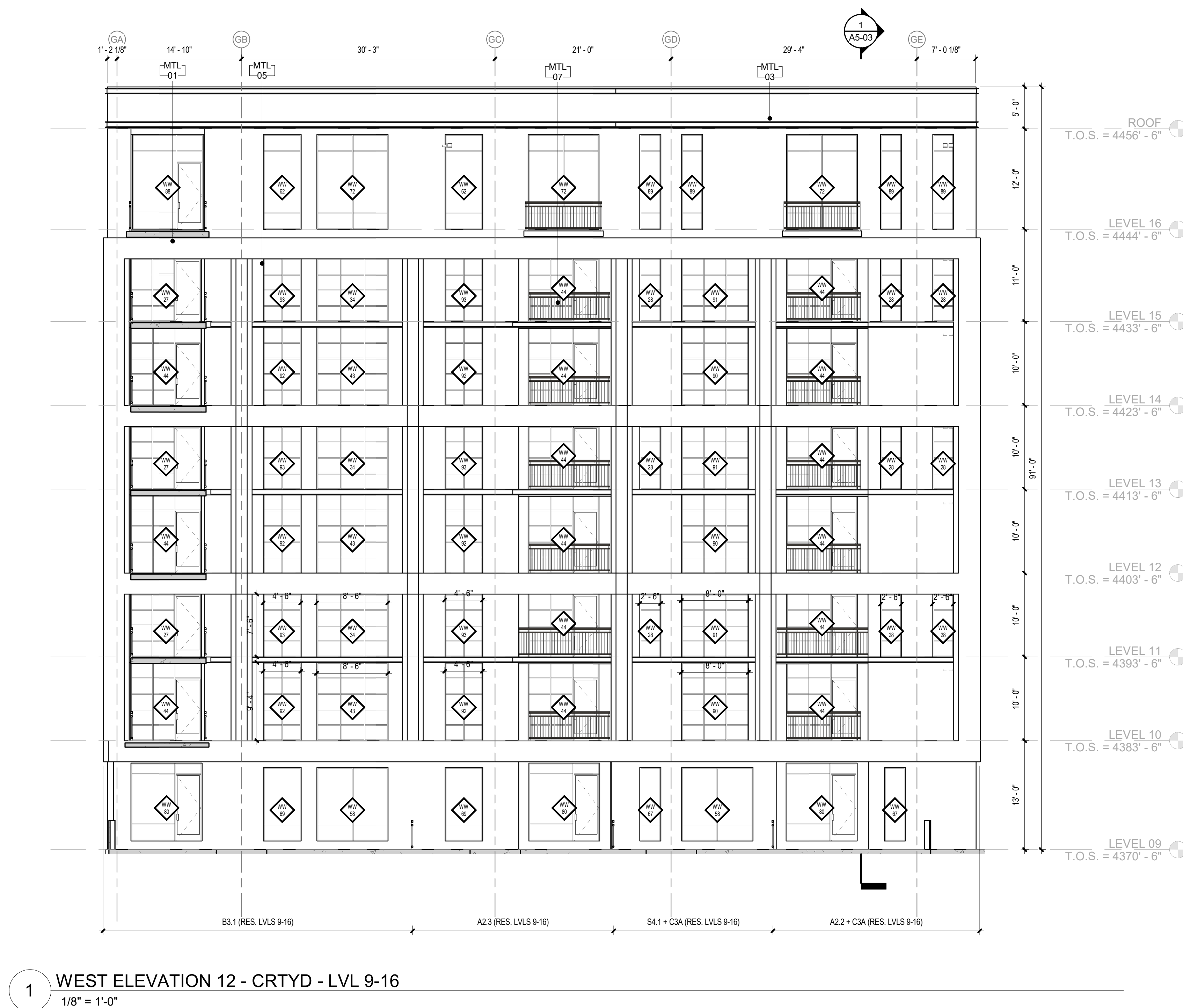
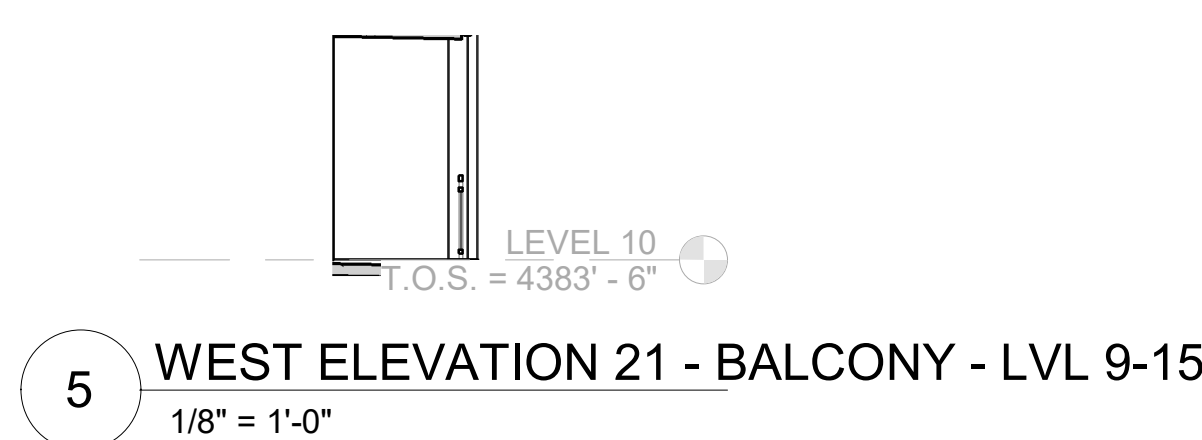
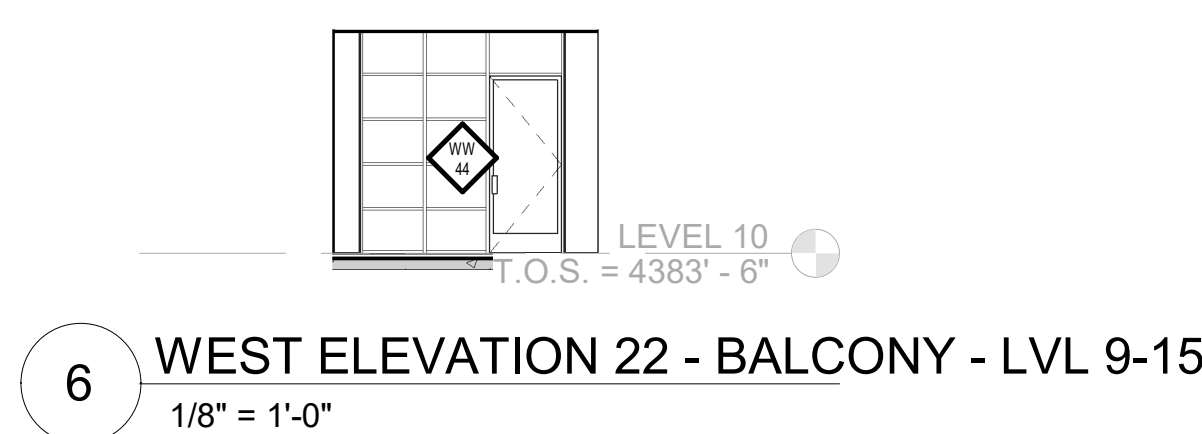
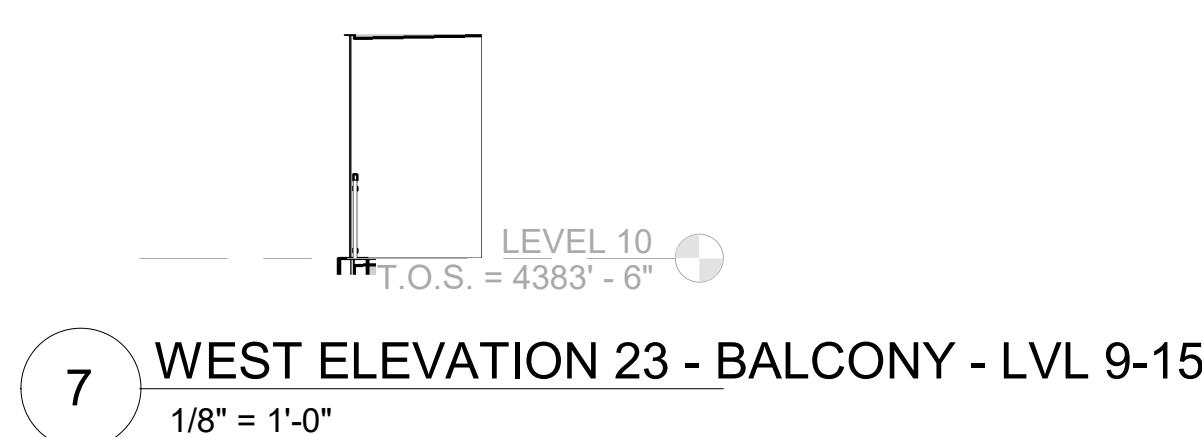
JOB NUMBER: 2138601

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| DRAWN BY | CHECKED BY |
| VV       | II         |

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| EXTERIOR FINISH LEGEND                                                              |                                                                                                                                                                                                       | MANUFACTURER & COLOR INFORMATION                           |
|-------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------|
| NO.                                                                                 | MATERIAL DESCRIPTION                                                                                                                                                                                  |                                                            |
| MRY_01                                                                              | MODULAR BRICK - DARK                                                                                                                                                                                  | INTERSTATE BRICK; MIDNIGHT BLACK                           |
| MRY_01-A                                                                            | ROWLOCK AND SOLDIER BRICK COURSE - DARK                                                                                                                                                               | INTERSTATE BRICK; MIDNIGHT BLACK                           |
| MRY_02                                                                              | MODULAR BRICK - LIGHT                                                                                                                                                                                 | INTERSTATE BRICK; SMOKEY MOUNTAIN                          |
| MRY_02-A                                                                            | ROWLOCK AND SOLDIER BRICK COURSE - LIGHT                                                                                                                                                              | INTERSTATE BRICK; SMOKEY MOUNTAIN                          |
| MRY_03                                                                              | SPLITFACE CMU - DARK                                                                                                                                                                                  | SUNROCK; DOUBLE BLACK                                      |
| PNT_01                                                                              | ELASTOMERIC PAINT OVER CONCRETE                                                                                                                                                                       | (COLOR TO MATCH SPLITFACE CMU)                             |
| MTL_01                                                                              | FLAT LOCK METAL PANEL - LIGHT                                                                                                                                                                         | PAC CLAD; CHAMPAGNE                                        |
| MTL_02                                                                              | FLAT LOCK METAL PANEL - DARK                                                                                                                                                                          | PAC CLAD; BURNISHED SLATE                                  |
| MTL_03                                                                              | FLAT LOCK METAL PANEL - DARK BRONZE                                                                                                                                                                   | PAC CLAD; MIDNIGHT BRONZE                                  |
| MTL_04                                                                              | CORRUGATED METAL PANEL - DARK BRONZE                                                                                                                                                                  | PAC CLAD; MIDNIGHT BRONZE                                  |
| MTL_04-A                                                                            | METAL PANEL TRIM - DARK BRONZE                                                                                                                                                                        | PAC CLAD; MIDNIGHT BRONZE                                  |
| MTL_05                                                                              | CHANNEL SHAPED ALUM. PANEL - DARK BRONZE                                                                                                                                                              | PUREFORM (BASIS OF DESIGN - COLOR SIM. TO MIDNIGHT BRONZE) |
| MTL_06                                                                              | PRE-FABRICATED METAL CANOPY - DARK BRONZE                                                                                                                                                             | (COLOR SIM. TO MIDNIGHT BRONZE)                            |
| MTL_07                                                                              | ALUM. POST BALCONY RAILING - DARK BRONZE                                                                                                                                                              | (COLOR SIM. TO BURNISHED SLATE)                            |
| MTL_08                                                                              | ARCHITECTURAL METAL SCREENING - WOOD FINISH                                                                                                                                                           | KNOTWOOD; (SIM. TO DZAL 122 WHITE OAK MAPLE)               |
| MTL_09                                                                              | ARCHITECTURAL METAL SIGNAGE - COORDINATE WITH CONSULTANT DRAWINGS                                                                                                                                     | (PROVIDE ELECTRICAL @ EACH POTENTIAL LOCATION)             |
| MTL_10                                                                              | MESH GARAGE SCREENING SYSTEM                                                                                                                                                                          | FLEX FACADE BASIS OF DESIGN                                |
| MTL_11                                                                              | PERFORATED METAL ROOF SCREEN - DARK BRONZE                                                                                                                                                            | (COLOR SIM. TO BURNISHED SLATE)                            |
| GRS_01                                                                              | FLOOR MOUNTED STRUCTURAL GLASS RAILING                                                                                                                                                                | (COLOR SIM. TO BURNISHED SLATE)                            |
| WWS_01                                                                              | WINDOW WALL SYSTEM - DARK BRONZE                                                                                                                                                                      | (KAWNEER OR WALSAU BASIS OF DESIGN)                        |
| CWS_01                                                                              | CURTAIN WALL SYSTEM - DARK BRONZE                                                                                                                                                                     | (KAWNEER OR WALSAU BASIS OF DESIGN)                        |
| GENERAL NOTES & LEGEND                                                              |                                                                                                                                                                                                       |                                                            |
|  | HATCH HERE INDICATES VISION GLASS OF WINDOW WALL TO INCLUDE SHADOW BOX FOR WALL AND EXHAUST WALL CAP TERMINATIONS AND BLEND WITH REMAINING FACADE GLAZING.                                            |                                                            |
|  | WALL CAP - SEE MECHANICAL FOR LOCATIONS (WHERE WALL CAPS OCCUR AT WINDOW, VISION GLASS PANEL TO BE REPLACED BY METAL PANEL TO MATCH SURROUNDING METAL PANEL COLOR AND BLEND WITH SURROUNDING FACADE.) |                                                            |







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|---|----------------------------|----------|
| 1 | SCHEMATIC DESIGN           | X        |
| 1 | DESIGN DEVELOPMENT         |          |
| 1 | 50% CONSTRUCTION DOCUMENTS |          |
| 2 | GMP / PERMIT               | X        |
|   |                            | X        |
|   |                            |          |
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# ELEVATION RENDERINGS

COMP / BUILDING PERMIT

|                 |                  |
|-----------------|------------------|
| NUMBER: 2138601 |                  |
| AWN BY<br>VV    | CHECKED BY<br>TT |

A4-60



1 ELEVATION ALONG 200 S.  
12" = 1'-0"



[illegible]

## REVISION



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SHEET NAME:

ELEVATION  
RENDERINGS

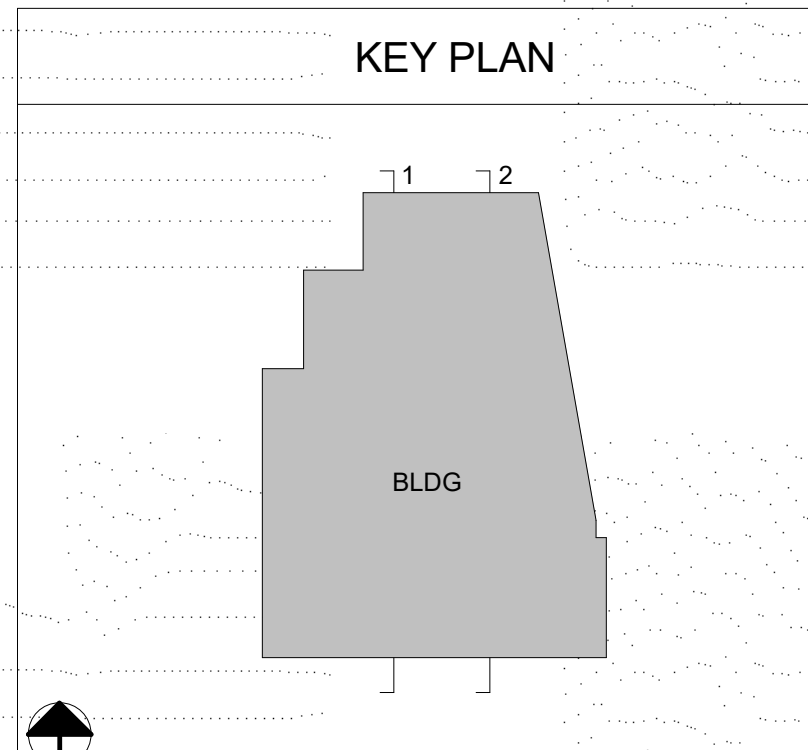
JOB NUMBER: 2138601

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| DRAWN BY | CHECKED BY |
| W        | TT         |



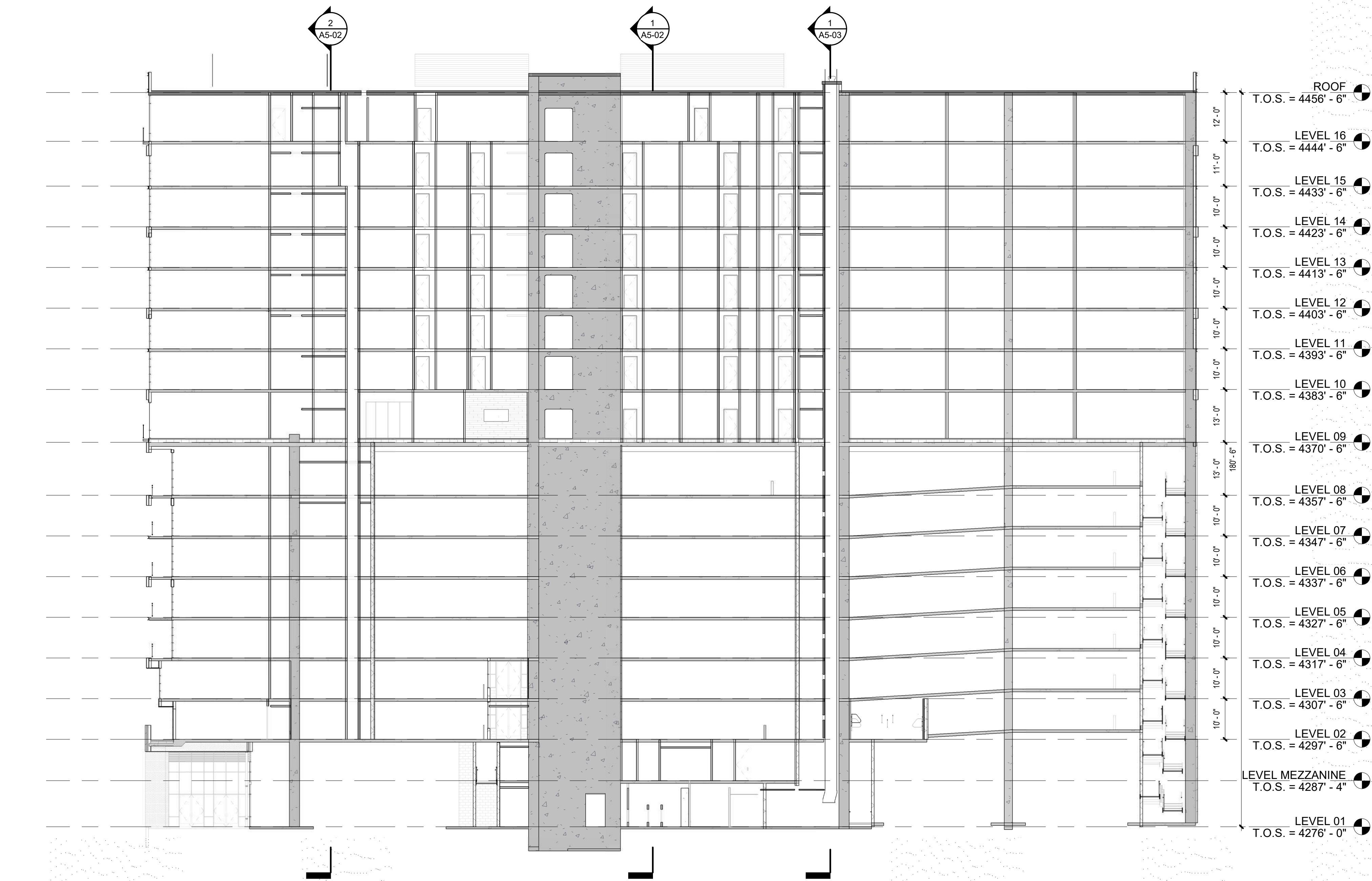








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1 NORTH - SOUTH BUILDING SECTION B1  
1/16" = 1'-0"



360 WEST 300 SOUTH  
UNIT 102  
SALT LAKE CITY, UT 84101  
PHONE: 385.273.3888  
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## WEST QUARTER - BLOCK C

260 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101



| ISSUE      | DATE | DESCRIPTION                | APPROVED |
|------------|------|----------------------------|----------|
| 09/10/2021 |      | SCHEMATIC DESIGN           |          |
| 11/16/2021 |      | DESIGN DEVELOPMENT         |          |
| 12/16/2021 |      | 30% CONSTRUCTION DOCUMENTS |          |
| 03/04/2022 |      | GMP / PERMIT               |          |

| REVISION | DATE | DESCRIPTION | REV |
|----------|------|-------------|-----|
|----------|------|-------------|-----|

| DATE |
|------|
|------|

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SHEET NAME:  
**NORTH -  
SOUTH  
BUILDING  
SECTIONS**  
GMP / BUILDING PERMIT

JOB NUMBER: 2138601

DRAWN BY: Author  
CHECKED BY: Checker

A5-01A



## **ATTACHMENT C – PROPERTY AND VICINITY PHOTOS**



*North Facing View of Subject Property from 200 S*



*Adjacent Property to the West*



*Adjacent Lot to the East (West Quarter Lot 6-C)*

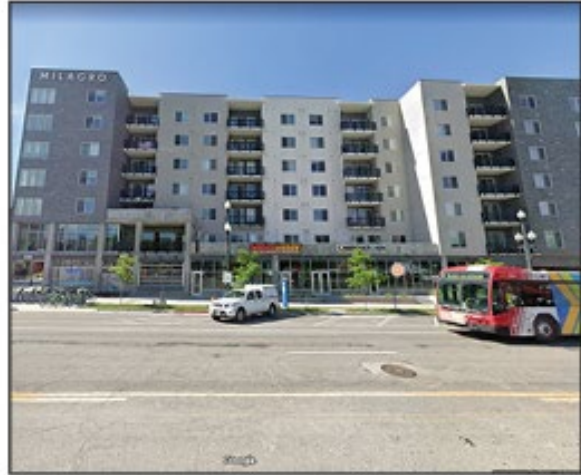


*Adjacent Property to the Northwest - West Quarter  
Phase 1*





*South (Rear) Facing View of Subject Property from  
100 S*



*Adjacent Buildings to the South  
(South Side of 200 S)*



*Adjacent Block to the East*



*Existing Street Trees Along the Property Frontage  
in the 200 S Right of Way*



## ATTACHMENT D – D-4 ZONING STANDARDS

### D-4 (Downtown Secondary Central Business District)

The purpose of the D-4 Secondary Central Business District is to foster an environment consistent with the area's function as a housing, entertainment, cultural, convention, business, and retail section of the City that supports the Central Business District. Development is intended to support the regional venues in the district, such as the Salt Palace Convention Center, and to be less intense than in the Central Business District. This district is appropriate in areas where supported by applicable master plans. The standards are intended to achieve established objectives for urban and historic design, pedestrian amenities, and land use control, particularly in relation to retail commercial uses.

| Standard                                         | Requirement                                                                                                                                                                        | Proposed                                                                                                                                                                                                                                                                                                                                  | Finding                                                              |
|--------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------|
| <b>Maximum Building Height</b>                   | 75 feet (without Design Review);                                                                                                                                                   | 181 feet 3 inches to the roof line<br>185 feet 7 inches to the top of the parapet<br>191 feet 3 inches to top of mechanical screen bulk head                                                                                                                                                                                              | <b>Additional height requested through the Design Review process</b> |
| <b>Front/Corner/Side/Rear Yard Setbacks</b>      | No minimum setbacks.<br>Maximum front yard and corner side yard setback is 5 feet.                                                                                                 | Front – 1 foot setback at the ground level<br><br>Steel overhead window awnings on level 1 of the south building facade encroach 2 feet 6 inches into the 200 South public right of way. Encroachment permit review will be required as a condition of approval.<br>Side Yard – 4 inches<br>Eastern Side Yard – 12 feet<br>Rear – 68 feet | <b>Complies with the conditions</b>                                  |
| <b>Lot Size</b>                                  | No minimum lot area or lot width shall be required.                                                                                                                                | The lot is approximately 1.46 acres (63,723 square feet) and 244 feet wide.                                                                                                                                                                                                                                                               | <b>Complies</b>                                                      |
| <b>Refuse Control</b>                            | Containers covered and stored within completely enclosed buildings or screened.                                                                                                    | All refuse containers on the site will be integrated into the building footprint on the ground level.                                                                                                                                                                                                                                     | <b>Complies</b>                                                      |
| <b>Lighting</b>                                  | On site lighting, including parking lot lighting and illuminated signs, shall be located, directed, or designed in such a manner so as not to create glare on adjacent properties. | All on-site lighting will be directed towards illuminating the structure or signage.<br><br>As a condition of Design Review approval, the applicant will work with staff to finalize the lighting plan.                                                                                                                                   | <b>Complies</b>                                                      |
| <b>Off Street Parking &amp; Loading (21A.44)</b> | Minimum off-street parking in the D-4 zone is 1/2 stall per residential unit.<br><br>Minimum off-street parking in D-4 zone for a non-residential                                  | <u>Residential parking stalls:</u><br>Min. required: 161<br>Max. allowed: 358                                                                                                                                                                                                                                                             | <b>Complies</b>                                                      |



|                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                 |
|---------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------|
|                                             | <p>Use: No spaces for the first 25,000 sf and 1 space per 1,000 sf thereafter.*</p> <p>Maximum parking allowance (D-4): Residential Use: 1/2 space for a studio, 1 space for a one-bedroom unit and 2 spaces for a two (or more) bedroom unit.</p> <p>Maximum parking allowance (D-4): Nonresidential Use: 1 space per 1,000 sf.</p> <p><u>ADA Parking Stalls:</u><br/>8 ADA stalls for 301 to 400 parking stalls provided</p> <p><u>Electric vehicle charging stations:</u><br/>1 space per 25 stalls provided</p> <p><u>Bike Parking:</u><br/>5% of provided parking stalls</p> | <p><u>Retail parking stalls:</u><br/>Min. required: 1<br/>Max. allowed: 26</p> <p><b>Total Vehicle parking stalls:</b><br/>Min. required: 162<br/>Max. allowed: 384<br/><b>Proposed: 342</b></p> <p><u>ADA stalls:</u><br/>Min. required: 8<br/>Proposed: 11 (8 ADA stalls + 3 Van ADA stalls)</p> <p><u>Electric vehicle stalls:</u><br/>Min. required: 14<br/>Proposed: 15</p> <p><u>Bike Parking</u><br/>Min required: 18<br/>Proposed: 88</p> <p><u>Off Street Loading Areas:</u><br/>Min required: 3 Short Loading Berths<br/>Proposed: 3 Short Loading Berths</p> |                                 |
| <b>Landscaping &amp; Buffering (21A.48)</b> | Urban Forestry Division is requiring the preservation of the five existing Honey Locust street trees along the property frontage in the 200 S right of way.                                                                                                                                                                                                                                                                                                                                                                                                                       | The landscape plans show the removal of the five existing street trees. As a condition of approval, the applicant will be required to preserve and protect the five existing Honey Locust Street trees in the 200 South right of way and the applicant will work with staff to finalize the landscaping, sidewalk, and paving plan.                                                                                                                                                                                                                                     | <b>Complies with conditions</b> |
| <b>Signage (21A.46.110)</b>                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | <p>Primary building signage will be integrated into the building's entrance canopies.</p> <p>As a condition of approval, the applicant will work with</p>                                                                                                                                                                                                                                                                                                                                                                                                               | <b>Complies with conditions</b> |



|                                  |                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                   |                 |
|----------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|
|                                  |                                                                                                                                                                                                                                                                                                                                      | staff and Building Services to finalize the signage plan.                                                                                                                                         |                 |
| <b>Ground Floor Use (21A.37)</b> | The ground floor of a new principal building, a permitted or conditional use other than parking shall occupy a minimum portion of the length (75% not including parking entrance) of any street facing building façade. All portions of such ground floor spaces shall extend a minimum of twenty five feet (25') into the building. | 100% of the ground floor fronting 200 S is activated with a proposed retail space. Ground floor retail spaces are also provided on the ground floor of the building fronting the mid-block street | <b>Complies</b> |
| <b>Ground Floor Glass</b>        | 40% - The ground floor building elevation of all new buildings facing a street, and all new ground floor additions facing a street, shall have a minimum amount of 40% glass between 3 FT and 8 FT above grade.                                                                                                                      | 45% of the ground floor fronting 200 S is glass.<br><br>70.36% of the ground floor fronting Quarter Row Mid-block street is glass.                                                                | <b>Complies</b> |



## ATTACHMENT E – DESIGN REVIEW STANDARDS

**21A.59.050: Standards for Design Review:** In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

The Finding for each standard is the recommendation of the Planning Division based on the facts associated with the proposal, the discussion that follows, and the input received during the engagement process. Input received after the staff report is published has not been considered in this report.

**A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.**

**Finding: Complies**

**Discussion:**

The proposed development is directly aligned with the purpose statement for the D-4 zone. The project addresses the need for additional housing and retail to support the Central Business District and the District's regional venues such as the Salt Palace Convention Center. The development also aligns with many of the objectives of the Downtown Master Plan. See page 5 of Staff discussion.

**Condition(s):**

**B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.**

- 1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot). This is the lot line adjustment**
- 2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood.**
- 3. Parking shall be located within, behind, or to the side of buildings.**

**Finding: Complies With Conditions**

**Discussion:**

- 1. The development and primary building entrances are oriented towards 200 South and the mid-block street. Eight retail entries are located along 200 S while the main residential lobby and leasing entrance and two additional retail entries are located on the eastern façade of the building oriented towards Quarter Row.**
- 2. No front yard setback is required, and the maximum setback is 5 feet. The ground floor of the building along 200 S is setback approximately 1 foot from the front property line, adjacent to the public sidewalk. The applicant is proposing to install overhead steel window awnings approximately 10 feet above grade along the south and east ground floor entries which will encroach approximately 2.5 feet into the 200 S public right of way. Encroachment requests are subject to department review and approval. The applicant will be required to obtain an encroachment permit for the steel window awnings as a condition of approval.**



The eastern façade of the building is located along the proposed, mid-block street, which will be accessible to the public through a public access easement. Since the mid-block street is a private street, the eastern yard of the development is considered an interior side yard. The D-4 zoning regulations do not require interior side yard setbacks. The setback of the eastern building façade along the mid-block street varies from 12 feet to 28 feet. A portion of the mid-block street is currently under construction with West Quarter Phase 1, located directly north of the subject site.

The proposed segment of Quarter Row will join the existing portion to the north, and extend along the eastern lot line of the subject site connecting to 200 S. The streetscape along Quarter Row will match the appearance and design that has been developed in Phase I. Quarter Row will not have curb/gutter but will be delineated by a trench drain on the western boundary and a slot drain along the eastern boundary to provide a walkable, pedestrian friendly experience. Lighted bollards will be placed a short distance behind the eastern trench drains for further delineation.

3. Floors 2-8 consist of an interior parking deck with 343 parking stalls, wrapped in residential units and associated amenities spaces on the south, east, and west. The north end of the parking deck is enclosed by a poly mesh garage screen with a monochromatic printed image. The entire garage will be hidden from pedestrian view. The vehicular entries to the parking and service areas are located at the rear, northern facade of the building and accessed by a driveway off the mid-block street on the north end of the site. The vehicular entries will not be visible from 200 S and will be slightly visible from the mid-block street. The northern façade of the building is designed with dark ground floor materials to create a subdued appearance with the intent to detract attention from the vehicular entries.

**Condition(s):** The applicant obtain an encroachment permit for the steel window awnings during the building permit review.

**C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.**

1. Locate active ground floor uses at or near the public sidewalk.
2. Maximize transparency of ground floor facades.
3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions.
4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces.

**Finding:** Complies

**Discussion:**

1. The applicant is proposing approximately 23,768 sq ft of retail space on the ground floor fronting 200 S which can be accessed from the public sidewalk along 200 S. The ground floor of the eastern façade, fronting the midblock street, is also activated by a leasing office, residential lobby and 1,995 sq. ft. retail space.



2. The ground floors of the south and east street facing facades are primarily composed of glass, storefront window systems. The glass extends from the floor to ceiling, approximately 18 feet in height, along the 200 South storefronts, the residential lobby, and the retail spaces along the midblock street and approximately 30 feet in height along the residential leasing office. The remainder of the ground floor façade is light brick with accents of dark brick, dark bronze corrugated metal paneling and metal screening systems which replicates the appearance of wood.
3. The applicant is proposing floor to ceiling storefront window systems with steel overhead window awnings. The windows have dark mullions and are separated by prick piers and accents of wood colored metal screening elements to create visual contrast from the transparent glass.
4. The applicant is proposing the following outdoor and semi-outdoor spaces:
  - The ground level of the southern façade is designed with operable windows that can open to 200 S, to create semi-outdoor dining patios adjoined to the interior retail spaces.
  - A covered arcade is located at the southeast corner of the ground floor of the building providing seating, dining chairs, and tables for future tenants of the retail spaces along 200 South.
  - Paved patios along the ground floor of the eastern facade provide seating and opportunities for outdoor dining areas along the mid-block street.
  - A covered terrace connected with the interior gear shop is located on the second level of the eastern building façade along the midblock street.
  - The ninth floor of the building features a pool deck and courtyard on the west side and a fitness deck on the east side oriented towards the mid-block street.
  - Private residential balconies on levels 02-16 provide visual connections to the pool deck, courtyard, 200 S and mid-block street.
  - A roof deck off of the 16<sup>th</sup> level Sky Lounge provides views of the City, and streets below.

**Condition(s):**

**D. Large building masses shall be divided into heights and sizes that relate to human scale.**

1. **Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis.**
2. **Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height.**
3. **Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals.**
4. **Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.**

**Finding: Complies**

**Discussion:**

1. The proposed building height is 185 feet 7 inches. While the scale exceeds what is existing on the block, the adjacent buildings to the north, northwest and south exceed the 75-foot height allowance of the zone and it is anticipated that future development will also exceed 75 feet. The zoning of the West Quarter Lot 6-C, directly east of the subject site, allows a potential building height of 375 feet which will be developed in a later phase of the West Quarter development. The overall proposed height will be compatible with buildings in the surrounding vicinity and also provide a height transition along 200 S, scaling down from the intensity of D-1 Central Business District and the 375-foot building height allowance directly east to the smaller scale 40-foot multi-family building and lower density development directly west.



The building façade is designed to be complimentary to the smaller scale, 40-foot-tall multi-family building directly west. The 200 S façade features a two-story terrace on the second level of the building. The terrace creates a break in the building façade which aligns with the adjacent apartment's roofline to the west.

The east and west facades of the building utilize step-backs that help minimize the scale of the building along the mid-block street and the transition to the smaller scale buildings directly west. The 9<sup>th</sup> level of the eastern (mid-block) façade step-backs approximately 23 feet at the northeast corner terrace and approximately 25 feet at the southeast corner fitness deck. The second level of the western building façade step-backs approximately 14 feet at level 2 and approximately 98 feet at the 9<sup>th</sup> level exterior courtyard and pool deck.

2. The proposed building modulates well to relate to the scale of pedestrians and to the existing buildings to the west, north, and south and the anticipated buildings to the east. The street facing facades feature large floor to ceiling glass, storefront window systems, overhead awnings, and brick piers similar to surrounding buildings, creating human scale and vertical emphasis at the ground level.

The visual massing of the building is reduced through application of differentiating exterior materials and colors which increase vertical and horizontal perception and create high contrast of foreground and background planes. The building's south and east street-facing façades predominately consist of a modular brick base with floor to ceiling storefront window systems, dark bronze metal and wood colored metal screening accents. The upper 14 levels of the street-facing façades include volumes of glazing and dark and light metal paneling.

The building's north and west facades predominantly consist of dark split face CMU and painted concrete base with dark modular brick at the northeast corner and dark bronze metal at the southeast corner. The upper levels of the north and west facades predominately consist of glazing, dark and light metal paneling, and a section of painted concrete at the northwest corner on levels 01-09.

3. The building massing is visually and structurally broken down into smaller masses through implementation of recessed balconies, large rooftop terraces, and façade step-backs at level 9. The south, east, and west facades of the building contain recessed, private residential balconies. The building also features four covered terraces at levels 2, 9, and 16 in addition to large step-backs at level 9 for a fitness deck (east façade), residential terrace, and a large courtyard/pool deck (west façade).
4. The subject property is within the Downtown Master Plan, Salt Palace District. The existing buildings within the Salt Palace District are composed of a variety of architectural styles and do not reflect a predominant architectural character.

One of the main initiatives of this district is to *“Maximize visual transparency from the sidewalk into stores and vice versa including lights for optimal nighttime light spill and daytime solar shading to enhance the safety and quality of the pedestrian experience. Window displays that stimulate interest in products or services is encourage”* pg. 101



While the existing buildings within the Salt Palace District are composed of a variety of architectural styles, newer buildings such as West Quarter Phase 1 and the Hyatt Regency Salt Lake City were designed to facilitate pedestrian interest and activate the street through implementation of ground floor glazing and active ground floor uses. Additionally, both developments incorporate architectural features to emphasize building entrances such as awnings and upper building levels that cantilever over the main entrances.

The West Quarter Block C incorporates similar design elements, building upon the emerging development patterns in the Salt Palace District. The project features ground level storefront glazing and engages the street and the mid-block street through ground floor activation and transparency. The primary entrance is located at the southeast corner of the building, which is emphasized by the 2<sup>nd</sup> floor building overhang. Steel awnings provide human scale elements and accentuate retail entries along 200 S and the mid-block street.

**Condition(s):**

**E. Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include:**

- 1. Changes in vertical plane (breaks in facade)**
- 2. Material changes; and**
- 3. Massing changes.**

**Finding:** Complies

**Discussion:**

- 1.** The east mid-block street facing façade of the building measures approximately 238 feet in length. The footprint of the building varies creating breaks in the western and eastern facades and massing changes in the vertical plane.
- 2.** As mentioned, the east street-facing façade of the building massing is reduced through application of differentiating exterior materials and colors. The east façade predominately consists of a modular brick base with floor to ceiling storefront window systems, dark bronze metal and wood colored metal screening accents. The upper 14 levels of the façade include volumes of glazing and dark and light metal paneling
- 3.** The eastern façade of the building is visually and structurally broken down into smaller masses through implementation of recessed balconies, large rooftop terraces, and façade step-backs at level 9. The 9th level of the eastern mid-block façade step-backs approximately 23 feet at the northeast corner terrace and approximately 25 feet at the southeast corner fitness deck.

**Condition(s):** None

**F. If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements:**

- 1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");**
- 2. A mixture of areas that provide seasonal shade;**



3. **Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two-inch (2") caliper when planted;**
4. **Water features or public art;**
5. **Outdoor dining areas; and**
6. **Other amenities not listed above that provide a public benefit.**

**Finding:** Complies With Conditions

**Discussion:**

1. The entry arcade and outdoor plaza spaces along the mid-block street provide 153 seats in the form of seat walls, benches, and chairs. The applicant will submit final seating calculations with their building permit to show compliance.
2. The applicant is providing a variety of ground level seating areas. The southeast entry arcade provides a covered ground level outdoor seating area with year-round shade. Several trees will be planted in the outdoor plaza spaces along the mid-block street offering shade for seat walls and benches.
3. The applicant has submitted a landscaping plan showing all trees will be at least 2 inch caliper when planted.
4. A poly mesh garage screen with a monochromatic printed image wraps around levels 2-8 of the north, northeast, and northwest facades of the building. Staff is recommending that a staff approved image is required as a condition of approval.
5. The entry arcade at the southeast corner of the building includes a ground level dining area with chairs and tables.
6. Other amenities include the mid-block street, with a public access easement and the ground floor retail spaces.

**Condition(s):** Final garage screen design will be approved at staff level during the building permit review.

**G. Building height shall be modified to relate to human scale and minimize negative impacts. In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive City skyline.**

**1. Human scale:**

- a. **Utilize stepbacks to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans.**
- b. **For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height.**

**2. Negative impacts:**

- a. **Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors.**
- b. **Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height.**



- c. **Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.**

**3. Cornices and rooflines:**

- a. **Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition.**
- b. **Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings.**
- c. **Green Roof And Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.**

**Finding:** Complies

**Discussion:**

**1a.** Please see *Large Building Masses* section. The varying massing components of the structure, the rooftop terraces, and rooftop courtyard areas effectively function as façade step-backs.

**1b.** The building's street facing facades have a distinct base, middle, and top. The base (retail) consists of transparent floor storefront glass systems framed with modular brick and dark bronze metal and wood colored metal screening accents. The middle of the building features horizontal masses clad in dark and light metal panels which emphasize the recessed balconies, and are defined with bands of glazing. The top of the building is distinguished by the 16<sup>th</sup> floor terrace at the southeast corner of the building and continuous dark metal parapet.

**Negative Impacts**

**2a.** As shown in the building elevations and adjacent building height diagrams, the building features horizontal and vertical design elements to relate with the adjacent buildings. These elements are emphasized through the use of differentiating exterior material and colors in addition to building step-backs, recessed balconies, and rooftop terraces which create foreground and background elements adding depth and shadows to the building façade.

**2b.** The applicant submitted a shadow study demonstrating shadow impacts. The building's north-south orientation in addition to the east, west façade step-backs minimize shadow impacts on 200 S, the mid-block street, and adjacent properties.

**2c.** Most prominent winds are expected to impact the site from the northwest and southeast. Wind channels along the mid-block street and the north side of the building are possible, however the 9<sup>th</sup> level step-backs on the east and west facades of the building will help mitigate potential wind impacts at the building corners. Trees have also been placed along the north, south, and east boundaries of the property at the street level to reduce downdraught effects.

**3a.** The building features a continuous parapet wall which is clad in dark metal and designed with a contemporary aesthetic consistent with the overall design of the building and design of the adjacent buildings.

**3b.** The surrounding buildings vary in height, and predominantly feature flat roofs. The roof form is complimentary to others within the vicinity.



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| <p><b>3c.</b> The building contains three covered outdoor terraces (levels 2, 9 and 16), a fitness deck (level 9) and a large courtyard/pool deck (level 9) which will be accessible to all building residents. The rooftop courtyard incorporates a multitude of amenities for residents including landscaping, lounging areas, tables, etc. It is a visually compelling feature that adds to the building design. It should serve to reduce solar gain and allow for cooling by the air circulating in the open area.</p>                      |
| <p><b>Condition(s):</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| <p>H. Parking and on-site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway.</p>                                                                                                                                                                                                                                                                                                                                                                     |
| <p><b>Finding: Complies</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <p><b>Discussion:</b></p> <ol style="list-style-type: none"> <li>1. All parking is within the building. Access to the parking and services areas is located at the rear of the building via a driveway off the mid-block street to minimize interference with the pedestrian experience along the southern and eastern building facades.</li> </ol>                                                                                                                                                                                              |
| <p><b>Condition(s):</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| <p><b>I. Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (See subsection 21A.37.050K of this title.)</b></p>                                                                                                                                                   |
| <p><b>Finding: Complies</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <p><b>Discussion:</b></p> <ol style="list-style-type: none"> <li>1. All waste and recycling containers, mechanical equipment, storage areas and loading docks are hosted within the building, removing them from the pedestrian experience.</li> </ol>                                                                                                                                                                                                                                                                                           |
| <p><b>Condition(s):</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| <p><b>J. Signage shall emphasize the pedestrian/mass transit orientation.</b></p> <ol style="list-style-type: none"> <li>1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building.</li> <li>2. Coordinate signage locations with appropriate lighting, awnings, and other projections.</li> <li>3. Coordinate sign location with landscaping to avoid conflicts.</li> </ol> |
| <p><b>Finding: Complies With Conditions</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <p><b>Discussion:</b></p> <ol style="list-style-type: none"> <li>1. The signage is proposed to be integrated into the entrance canopy along 200 South.</li> <li>2. Signage will provide with appropriate lighting.</li> <li>3. The signage location will not conflict with landscaping.</li> </ol>                                                                                                                                                                                                                                               |



**Condition(s):** Final signage design will be approved at staff level during the building permit review.

**K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals.**

- 1. Provide street lights as indicated in the Salt Lake City Lighting Master Plan.**
- 2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky.**
- 3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.**

**Finding:** Complies

**Discussion:**

1. Street lighting will match the approved street lighting scheme from Phase 1 and will be in line with the Salt Lake City Master plan.
2. All outdoor/landscape lighting will be low voltage and downlit.
3. Lighting will be provided for signage and integrated into the landscape to identify pedestrian circulation and spaces. Lighting plans will meet the requirements set forth in Chapter 4 of the Salt Lake City lighting master plan. Lighting Master Plan:  
<http://www.slcdocs.com/transportation/StreetLighting/PDF/StreetLightingMP.pdf>

**Condition(s):** 1. Existing Streetlights will be coordinated with the Salt Lake City Streets Department.  
2. Final lighting design be approved at staff level during the building permit review.

**L. Streetscape improvements shall be provided as follows:**

- 1. One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the approval of the City's Urban Forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester.**
- 2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards:**
  - a. Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur.**
  - b. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table.**
  - c. Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar- Reflective Index (SRI).**
  - d. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City.**
  - e. Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities.**
  - f. Asphalt shall be limited to vehicle drive aisles.**



**Finding: Complies With Conditions**

**Discussion:**

**1.** The applicant is proposing to remove five existing healthy Honey Locust Trees and replace them with six Frontier Elms, which does not comply with the Downtown Master Plan or City initiatives. The Urban Forestry Division has reviewed the proposal and indicated they will not issue a permit for the removal of the existing street trees. Staff recommends the Planning Commission require the preservation and protection of the five existing street trees as a condition of approval.

**2a.** Paving in the public right of way along 200 South is distinguished with the typical downtown brick paver banding per city requirements. Privately owned public spaces including plazas and midblock street will be paved with soft grey and charcoal concrete pavers with a broom finish, to match the paving and design materials approved for West Quarter Phase 1.

**2b.** Raised planters and planting beds, and pet facilities containing landscape rock and synthetic turf areas are provided in the norther portion of the site and are evenly distributed throughout the plaza areas located along the eastern and northern façades allowing rainwater to infiltrate into the ground and recharge the water table.

**2c.** The majority of proposed landscape materials are light colored and use of dark landscape materials

**2d.** The proposed paving materials are selected to match typical downtown brick paver banding. The midblock street and associated plazas are design to match the paving and design materials approved for West Quarter Phase 1.

**2e.** Textured ground surfaces, ramps, and seating areas have been incorporated to support access and comfort for all pedestrians.

**2f.** No asphalt is proposed.

**Condition(s):**

- 1.** Preserve and protect the five existing Honey Locust street trees per Urban Forestry Division requirements.
- 2.** The unique mid-block walkway paving pattern shall be limited to private property. The Downtown paving pattern shall be incorporated along the street frontage of the subject property to comply with Streetscape Improvements Design Review standard as well as the Downtown Master Plan.
- 3.** Final landscape, streetscape details, and sidewalk paving to be delegated to Planning Staff to ensure compliance with the standards for Design Review as well as the Downtown Master Plan.



## **ATTACHMENT F– PUBLIC PROCESS & COMMENTS**

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### **Public Notice, Meetings, Comments**

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- April 21, 2022 – The Downtown Community Council was sent the 45 day required notice for recognized community organizations. The council did not provide comments.
- April 21, 2022 - Property owners and residents within 300 feet of the development were provided early notification of the proposal.
- April – December 2022 – The project was posted to the Online Open House webpage.

### **Notice of the public hearing for the proposal included:**

- November 30, 2022
  - Public hearing notice mailed
  - Public notice posted on City and State websites and Planning Division list serve
- December 5, 2022
  - Public hearing notice sign posted on the property

### **Public Input:**

As of the publication of this Staff Report, Staff has not received public comment on the proposal. If Staff receives additional comments on the proposal, they will be forwarded to the Planning Commission and included in the public record.



# ATTACHMENT G— DEPARTMENT REVIEW COMMENTS

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## Building Review:

All construction within the corporate limits of Salt Lake City shall be per the State of Utah adopted construction codes and to include any state or local amendments to those codes. RE: Title 15A State Construction and Fire Codes Act.

HIGH-RISE BUILDING. A building with an occupied floor located more than 75 feet (22 860 mm) above the lowest level of fire department vehicle access.

## Engineering Review:

Engineering has no objections to the PLNPCM2022-00141 design review application. That said, if a subdivision plat is to be recorded for PLNSUB2022-00245, Engineering must sign that plat. If there are substantial public way improvements to be made in 200 South for this development, a Subdivision Improvement Construction Agreement might be the vehicle used to facilitate the installation of those public improvements. An easier way to facilitate construction of public improvements is through a Permit to Work in the Public Way.

## Zoning Review:

The removal of trees within the street right of way is prohibited without the approval of the Zoning Administrator in consultation with the Urban Forester.

The Urban Forestry Division has indicated they will not approve of the removal of the existing street trees. Additionally, the removal of healthy existing street trees is contradictory to the goals and initiatives stated in the Downtown Master Plan (pg. 76) Please note, preservation and protection of the existing street trees will be recommended to the Planning Commission as a condition of approval. Please ensure preservation of existing street trees is in compliance with 21A.48.060E.5.a *Paving Materials Near Existing Street Trees: Poured concrete shall not be placed in any park strip with existing street trees unless the park strip is being improved as part of an improvement district or pedestrian traffic counts warrant (as determined by Salt Lake City transportation and engineering divisions) and tree grates and an operable irrigation system is being installed, except as otherwise noted. Organic mulch or gravel, as approved by the city forester, shall be used near existing street trees. Poured concrete or rocks/gravel may not be used in any park strip unless an operable irrigation system is provided to the street trees.*

Parking and Off-Street Loading: 21A.44.020.E.2.a. - Please note parking stalls adjacent to walls and columns are required to be 1' wider. It appears some stalls adjacent to columns on sheets A1-02 through A1-08 and do not meet width requirements.

The prefabricated metal canopies on the south and east facades of the building encroach in the right of way (airspace). Please show all structures projecting from the building in the right of way on the proposed site plan. Structural encroachments projecting into the public right of way airspace will require review and approval from applicable city divisions and issuance of an encroachment permit.

## Fire Review:

All construction within the corporate limits of Salt Lake City shall be per the State of Utah adopted construction codes and to include any state or local amendments to those codes. RE: Title 15A State Construction and Fire Codes Act.

Existing structures on adjacent parcels shall not be made less complying to the construction codes than it was before the proposed construction.



There shall be a fire hydrant within 400 feet of all exterior walls of the first floor on a fire apparatus access road.

Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of IFC section 503 and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

Multiple-family residential projects having more than 200 dwelling units shall be provided with two separate and approved fire apparatus access roads

**HIGH-RISE BUILDING.** A building with an occupied floor located more than 75 feet (22 860 mm) above the lowest level of fire department vehicle access

#### **Urban Forestry:**

These plans propose the removal of five established Honeylocust parkstrip trees along 200 S. The shade canopy that these trees provide is the only break from the massive concrete/asphalt heat island surrounding them. Any proposed replacement trees will not offer the benefit that these established trees are currently offering for at least 15 years. The small species Hedge Maple that they are currently proposing as replacement trees will never offer the benefit in shade canopy that the current trees do. The line of existing Honeylocust trees surrounding this entire block should be preserved and protected throughout this project as outlined in our Tree Protection and Preservation Policy available at <https://www.slc.gov/parks/urban-forestry/> and for the future phases of this project also.

#### **Sustainability Review:**

No comments.

#### **Police Review:**

No comments.

#### **Public Utilities Review:**

No objection to the height increase for the proposed project with the following conditions:

1. This increased density will require offsite improvements to the water system and possibly storm drain and sewer system. The water main in 200 South will be required to be upgraded to a 12" water main between 200 West and 300 West.
2. This design does not take into account the requirements for stormwater retention, LID and green infrastructure. Site evaluation and updates must be done to meet the storm water requirements.

#### **Transportation Review:**

The minimum parking requirements and maximum parking allowances for the D-4 zone are as follows:

Minimum parking requirement (D-4): Residential Use: 1/2 space per dwelling unit.

Minimum parking requirement (D-4): Non-Residential Use: No spaces for the first 25,000 sf and 1 space per 1,000 sf thereafter.\*

Maximum parking allowance (D-4): Residential Use: 1/2 space for a studio, 1 space for a one-bedroom unit, and 2 spaces for a two(or more)-bedroom unit.

Maximum parking allowance (D-4): Non-Residential Use: 1 space per 1,000 sf.\*

\*Square footage is based on usable floor area.



The applicant needs to provide, as applicable to project, the following details:

ADA parking stall dimensions, signage, pavement markings, and ramps.

Parking stall and aisle width dimensions

Signage and/or pavement markings for electric vehicle parking spaces indicating exclusive availability for electric vehicles (see 21A.44.050.B.2).

Bike rack installation (See SLC Transportation Standard Detail, F1.f2, "Bicycle Parking" @ <http://www.slcdocs.com/transportation/design/pdf/F1.f2.pdf>).