

DESIGN AND CODE CRITERIA

SLC ZONING: CB - COMMERCIAL BUILDING R-1-700 SINGLE FAMILY RESIDENTIAL		ENERGY CODE: THE FOLLOWING ASSEMBLIES SHALL COMPLY BY N1102.4.1.1 WHERE APPLICABLE	
CODE ANALYSIS: NOTE:		ROOF: REQUIRED PROVIDED	R49 R49 + 2 CI SLOPED
CONSTRUCTION TYPE: OCCUPANCY BASIS: GROSS AREA: BUILDING:		WALL: REQUIRED PROVIDED	R20 OR R13 + R5 R23
NUMBER OF STORIES: FIRE SPRINKLERS: FIRE SEPARATION: RATED WALL ASSEMBLES: DRAFT STOPS: WINDOW EGRESS:		SLAB: REQUIRED PROVIDED	R10 FOR 2' R10 FOR 2'
2015 IRC AS BASIS OF ANALYSIS VB R-3 VARIES, SEE A002 VARIES, SEE A002 3 YES, 130 SYSTEM 2 HR PROVIDED 2 HR UL #263 NOT REQUIRED FOR AREAS <1,000 SF REFER TO A600		FENESTRATION U-FACTOR REQUIRED PROVIDED	.32 .32

STANDARD ABBREVIATIONS

#	NUMBER
&	AND
@	AT
±	PLUS OR MINUS, APPROXIMATELY
ABV	ABOVE
AC	AIR CONDITIONING
ADJ	ADJUST, ADJACENT
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
ANOD	ANODIZED
BLDG	BUILDING
BTWN	BETWEEN
BYD	BEYOND
BO	BOTTOM OF
BOT	BOTTOM
BOW	BOTTOM OF WALL
CI	CONTINUOUS INSULATION
CIP	CAST-IN-PLACE
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
CO	CLEANOUT
COL	COLUMN
COMM	COMMUNICATIONS
CONC	CONCRETE
CONT	CONTINUOUS
COORD	COORDINATE
CPT	CARPET
CTR	CENTER
CUST	CUSTOM
DBL	DOUBLE
DET	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DIV	DIVISION
DN	DOWN
DR	DOOR
EA	EACH
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
ELEV	ELEVATION
EMER	EMERGENCY
ENGR	ENGINEER
EQ	EQUAL
EQUIP	EQUIPMENT
EXG	EXISTING
EXP	EXPOSED, EXPANSION
EXT	EXTERIOR
FAB	FABRICATE
FD	FLOOR DRAIN
FF&E	FIXTURES FURNISHINGS & EQUIPMENT
FLEX	FLEXIBLE
FLR	FLR
FO	FACE OF
FOC	FACE OF CONCRETE
FND	FOUNDATION
FUT	FUTURE
GA	GAUGE
GC	GENERAL CONTRACTOR
GFCI	GROUND FAULT CIRCUIT INTERRUPTED
GLAZ	GLAZING
GWB	GYPSPUM WALL BOARD
GYP	GYPSPUM
HM	HOLLOW METAL
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
INSUL	INSULATED, INSULATION
INT	INTERIOR
J-BOX	JUNCTION BOX
JST	JOIST
LAM	LAMINATED, LAMINATE
LB	POUND, POUNDS
MAX	MAXIMUM
MECH	MECHANICAL
MISC	MISCELLANEOUS
MIN	MINIMUM
MIR	MIRROR
MTD	MOUNTED
NIC	NOT IN CONTRACT
NRC	NOISE REDUCTION COEFFICIENT
NTS	NOT TO SCALE
OC	ON CENTER
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OZ	OUNCE
PERF	PERFORATE, PERFORATED
PLAM	PLASTIC LAMINATE
PLYD	PLYWOOD
PKFAB	PREFABRICATED
PTD	PAINTED
QTY	QUANTITY
RB	RUBBER BASE, RUBBER
RCP	REFLECTED CEILING PLAN
REQD	REQUIRED
RO	ROUGH OPENING
SCHED	SCHEDULE, SCHEDULED
SF	SQUARE FEET
SIM	SIMILJAR
SPEC	SPECIFIED, SPECIFICATION
STC	SOUND TRANSMISSION COEFFICIENT
STD	STANDARD
STRUCT	STRUCTURAL
SUB	SUBSTITUTE, SUBCONTRACTOR
TEMP	TEMPORARY, TEMPERATURE
THRU	THROUGH
TO	TOP OF
TOW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
WI	WITH
W/O	WITHOUT
WD	WOOD
WRB	WEATHER-RESISTANT BARRIER

BUILDING TYPE SF

REFERENCE SHEET A002 FOR BUILDING TYPES AND LOCATIONS

BUILDING TYPE 1 13,994 GROSS SF	BUILDING TYPE 5 4,006 GROSS SF
BUILDING TYPE 2 12,229 GROSS SF	BUILDING TYPE 6 10,487 GROSS SF
BUILDING TYPE 3 9,643 GROSS SF	BUILDING TYPE 7 6,472 GROSS SF
BUILDING TYPE 4 8,697 GROSS SF	

UNIT FIXTURE COUNT

REFERENCE SHEETS A400, A401, A402, A403 FOR UNIT LAYOUTS AND FIXTURE LOCATIONS

UNIT A (13 UNITS TOTAL)	
CONDITIONED SPACE:	1,515 SF
HOSE BIB:	2 EXTERIOR
TOILETS:	3
SHOWER:	1
TUB:	1
SINKS:	4
DISHWASHER	1
WASHER	1
WATER HEATER	1
HVAC SYSTEM	1

UNIT B (13 UNITS TOTAL)	
CONDITIONED SPACE:	1,515 SF
HOSE BIB:	2 EXTERIOR
TOILETS:	3
SHOWER:	1
TUB:	1
SINKS:	4
DISHWASHER	1
WASHER	1
WATER HEATER	1
HVAC SYSTEM	1

UNIT C (22 UNITS TOTAL)	
CONDITIONED SPACE:	1,515 SF
HOSE BIB:	2 EXTERIOR
TOILETS:	3
SHOWER:	1
TUB:	1
SINKS:	4
DISHWASHER	1
WASHER	1
WATER HEATER	1
HVAC SYSTEM	1

UNIT D (23 UNITS TOTAL)	
CONDITIONED SPACE:	1,223 SF
HOSE BIB:	2 EXTERIOR
TOILETS:	3
SHOWER:	0
TUB:	2
SINKS:	4
DISHWASHER	1
WASHER	1
WATER HEATER	1
HVAC SYSTEM	1

SYMBOLS LEGEND

	GRID LABEL
ROOM NAME 	ROOM TAG SQUARE FOOTAGE
	EXTERIOR ELEVATION TAG
	BUILDING SECTION TAG
	WALL SECTION TAG
	ENLARGED PLAN OR PLAN DETAIL TAG
	DOOR TAG
	GLAZING TAG
	WALL TYPE TAG
	ARCHITECTURAL ELEVATION TAG

SHEET INDEX

SHEET	NAME
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ARCHITECTURE

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A002	SITE PLAN
A003	BUILDING TYPE KEY PLAN
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TAG SLC

GLENDALE TOWNHOMES

PLANNED DEVELOPMENT

09.08.22

PROJECT NARRATIVE: THIS PROJECT CONSISTS OF 8 BUILDING TYPES CONTAINING A MIXTURE OF 3 STORY, 2 AND 3 BEDROOM UNITS, WITH AN OFFICE SPACE AND GARAGE ON LEVEL 1. CONSTRUCTION WILL WOOD FRAMED. IN TOTAL THERE WILL BE (13) BUILDINGS WITH 71 LIVING UNITS.

GENERAL NOTES

- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR THE ENTIRE SET OF DRAWINGS AND THEIR RELEVANT SPECIFICATION SECTIONS. IN ORDER TO COORDINATE THEIR PORTION OF THE WORK, ALL CONTRACTORS SHALL MAKE THEMSELVES AVAILABLE FOR A PRE-CONSTRUCTION COORDINATION MEETING TO REVIEW MOUNTING HEIGHTS OF EQUIPMENT, FIXTURES, DUCTWORK, ETC. IN ORDER TO VERIFY INTENT AND IDENTIFY AND RESOLVE POTENTIAL CONFLICTS
- CONTRACTOR TO VERIFY ANY DISCREPANCIES WITH ARCHITECT PRIOR TO BID
- GENERAL CONTRACTOR SHALL CONTACT THE UTAH DIVISION OF AIR QUALITY 801.536.4000. COMPLIANCE WITH THEIR REQUIREMENTS IS MANDATORY

MECHANICAL, ELECTRICAL, PLUMBING GENERAL NOTES:

- MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS ARE SCHEMATIC IN NATURE TO INDICATE DESIGN INTENT. CONTRACTOR AND CONTRACTOR'S ENGINEERING CONSULTANT TO VERIFY LOADS, SIZING, AND DETAILS PRIOR TO INSTALLATION OF ALL M.E.P. SYSTEMS AND APPLIANCES

FIRE CODE REQUIREMENTS

- REQUIRED MEANS OF EGRESS AND FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED DURING CONSTRUCTION AND DEMOLITION, REMODELING, OR ALTERATIONS AND ADDITIONS TO THE BUILDING. FIRE PREVENTION BUREAU SHALL APPROVE REVIEW OF ANY EXISTING ALTERATIONS AS REQUIRED IN IFC SECTION 3311.2
- THERMAL AND SOUND INSULATION AND COVERING WHICH ARE INSTALLED IN CONCEALED AND EXPOSED SPACES AND AS COVERING OVER PIPE AND TUBING SHALL BE TESTED IN ACCORDANCE WITH AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) E B4 AND HAVE A FLAME SPREAD OF 0-25 AND A SMOKE INDEX OF 0-450
- CONSTRUCTION SHALL NOT COMMENCE UNTIL FIRE DEPARTMENT ACCESS ROADS ARE INSTALLED 100' OF ALL EXTERIOR WALLS OF FIRST FLOOR AND FIRE HYDRANTS ARE INSTALLED AND REQUIRED FIRE FLOW IF PROVIDED AS REQUIRED IN IFC 3312.1
- FIRE PERMITS SHALL BE IN ACCORDANCE WITH IFC SECTIONS 105.1.1 THROUGH 105.7.16. THE FOLLOWING ITEM(S) REQUIRE A SEPARATE PERMIT:
 - UNDERGROUND FIRE PERMIT TO INCLUDE WATER MAINS AND FIRE HYDRANTS
- PROVIDE A MINIMUM 2A-10 BC RATED FIRE EXTINGUISHERS WITHIN 75-FOOT TRAVEL DISTANCE TO ALL SPACES IN THE STRUCTURE DURING CONSTRUCTION, ALTERATION, OR DEMOLITION IN THE FOLLOWING AREAS AS REQUIRED IN IFC CHAPTER 33:
 - AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED
 - IN EVERY STORAGE AND CONSTRUCTION SHED
 - ADDITIONAL PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED WHERE SPECIAL HAZARDS EXIST INCLUDING, BUT NOT LIMITED TO, THE STORAGE AND USE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS
- Fire line shall provide a minimum 12-inch clearance to any footing and shall provide an annular space of at least 2-inches greater than the size of the pipe when it penetrates a foundation wall or concrete floor.
- FIRE RISER: NFPA 24 – 10.4.3.1 Private fire service mains supplying fire protection systems within a building shall be permitted to extend no more than 10-feet, as measured from the outside of the building, under the building to the riser location.

FIRE HYDRANT NOTES

FIRE HYDRANTS ARE EXISTING AND CONTRACTOR SHALL VERIFY THE FOLLOWING

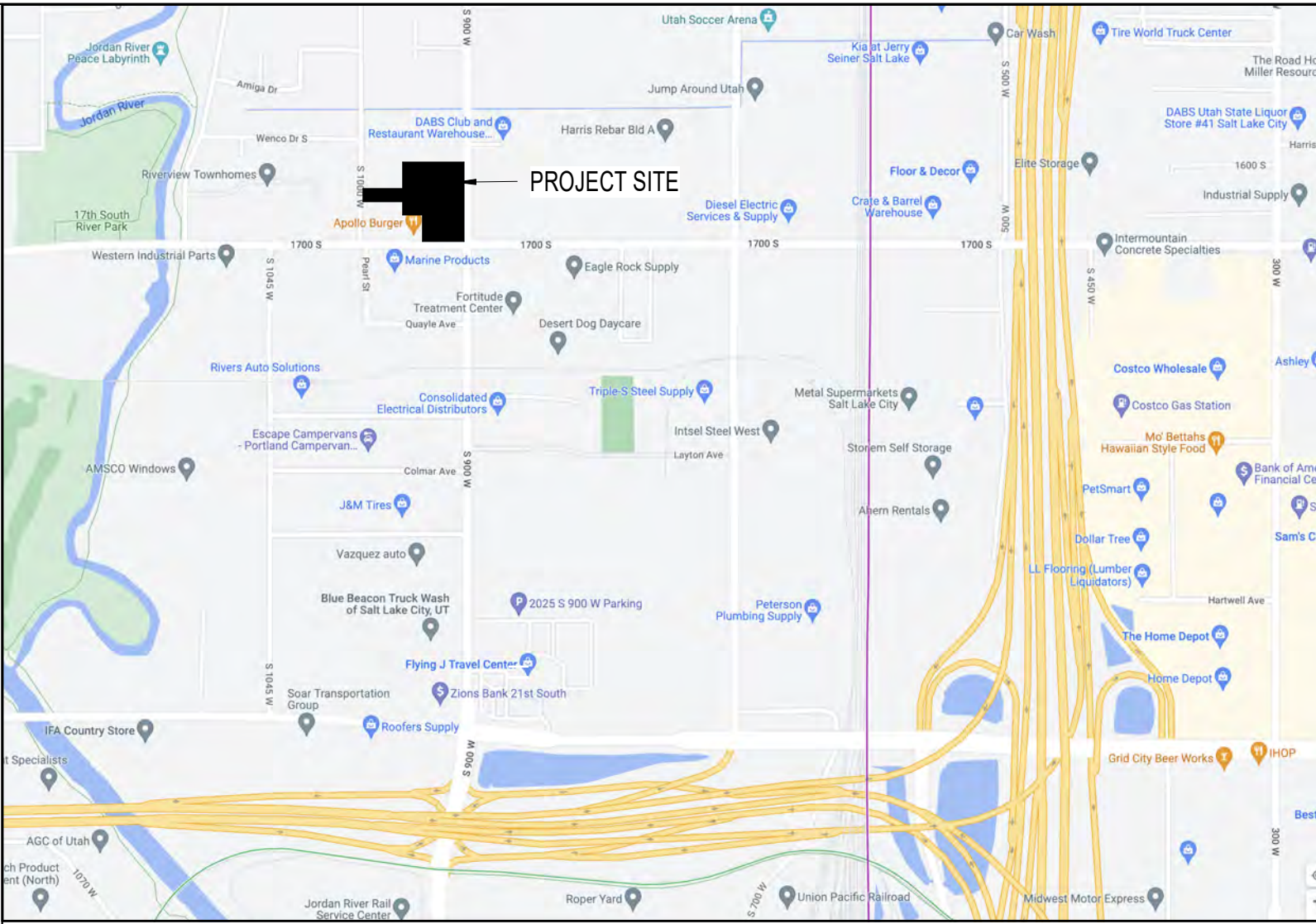
- STRUCTURE REQUIRES 1,000 GMP AT 20 PSI
- FIRE HYDRANTS SHALL PROVIDE (2) 2 1/2" OUTLETS AND (1) 4 1/2" OUTLET
- FIRE HYDRANT SHALL BE 15' OF FIRE DEPARTMENT ACCESS ROAD
- FIRE HYDRANT SHALL BE EQUIPPED WITH AN INDEPENDENT LATERAL CONTROL VALVE PLACED AT BASE INLET
- A 3' CLEARANCE SHALL BE MAINTAINED AT ALL TIMES AROUND FIRE HYDRANT
- WATER MAINS AND LATERALS SHALL BE 8"
- WATER LATERALS OVER 16' OR LONGER SHALL HAVE CONTROL VALVES AT THE TOP OF WATER MAIN AND THE FIRE HYDRANT
- WATER LATERAL SHALL BE SIZED TO MEET REQUIRED FLOW OF SYSTEM
- WATER MAIN AND LATERALS SHALL BE PROVIDED WITH THRUST BLOCKS AND SIZED AS REQUIRED BY NFPA STANDARD 24
- FIRE HYDRANT COVERAGE SHALL BE WITHIN 600' OF ALL EXTERIOR WALLS OF FIRST FLOOR

SPECIFICATIONS

- SUBMIT SAMPLES FOR ARCHITECT'S APPROVAL

- MANUFACTURERS AND MODELS LISTED ARE BASIS OF DESIGN - SUBSTITUTIONS ARE TO BE REVIEWED BY OWNER AND ARCHITECT AND COORDINATED BY CONTRACTOR

COMPONENT	MANUFACTURER	MODEL	COLOR/FINISH	NOTES
WALL STUCCO			VARIES	REFER TO EXTERIOR ELEVATIONS
CEMENT FIBER BOARD	JAMES HARDIE		VARIES	REFER TO EXTERIOR ELEVATIONS
SOFFIT STUCCO			VARIES	REFER TO RCP
WINDOWS	AMSCO WINDOWS	VINYL	WHITE	
SLIDING DOOR SYSTEMS	AMSCO WINDOWS	VINYL	WHITE	
ROOFING	BY ROOFER	60 MIL TPO	WHITE	
ROOF DRIP EDGE	BY ROOFER		MATCH STUCCO	
WOOD ENTRY DOORS	ABS	CHERRY	VARIES	REFER TO EXTERIOR ELEVATIONS
SITE FENCING	BY CONTRACTOR	CEDAR	SILVERED FINISH	REF: LANDSCAPING
RAILINGS	BY FABRICATOR		GLAZING	GALVANIZED STEEL PRIMED & PTD, SEE DETAILS
GARAGE DOOR	NORTHWEST DOOR	SOLID PANEL	WHITE OR MATCH STUCCO	INSULATED IS REQUIRED TO MAINTAIN 40 DEGREES FOR FIRE RISER



VICINITY MAP
NTS

CIVIL ENGINEER

TOM HILL
PRICE ENGINEERING
801.814.0227

LANDSCAPE ARCHITECT

MARK MORRIS
VODA LANDSCAPE AND PLANNING
159 WEST BROADWAY #200
SLC UTAH 84101
385.429.2858

STRUCTURAL ENGINEER

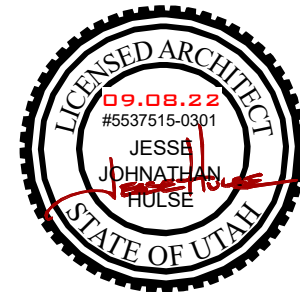
GARRETT JENKINS
IRIDIUM ENGINEERING
635 W 5300 S #203
MURRAY, UT 84123
801.974.5101

DEFERRED SUBMITTALS

PLUMBING PERMIT
ELECTRICAL PERMIT
POWER PLAN PERMIT
MECHANICAL PERMIT
SIGN ON CANOPY: SIGNS REQUIRE A SEPARATE SIGN PERMIT.

ATLAS
ARCHITECTS, INC

175 WEST 900 SOUTH
SLC, UT 84101
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WWW.ATLASARCHITECTS.COM



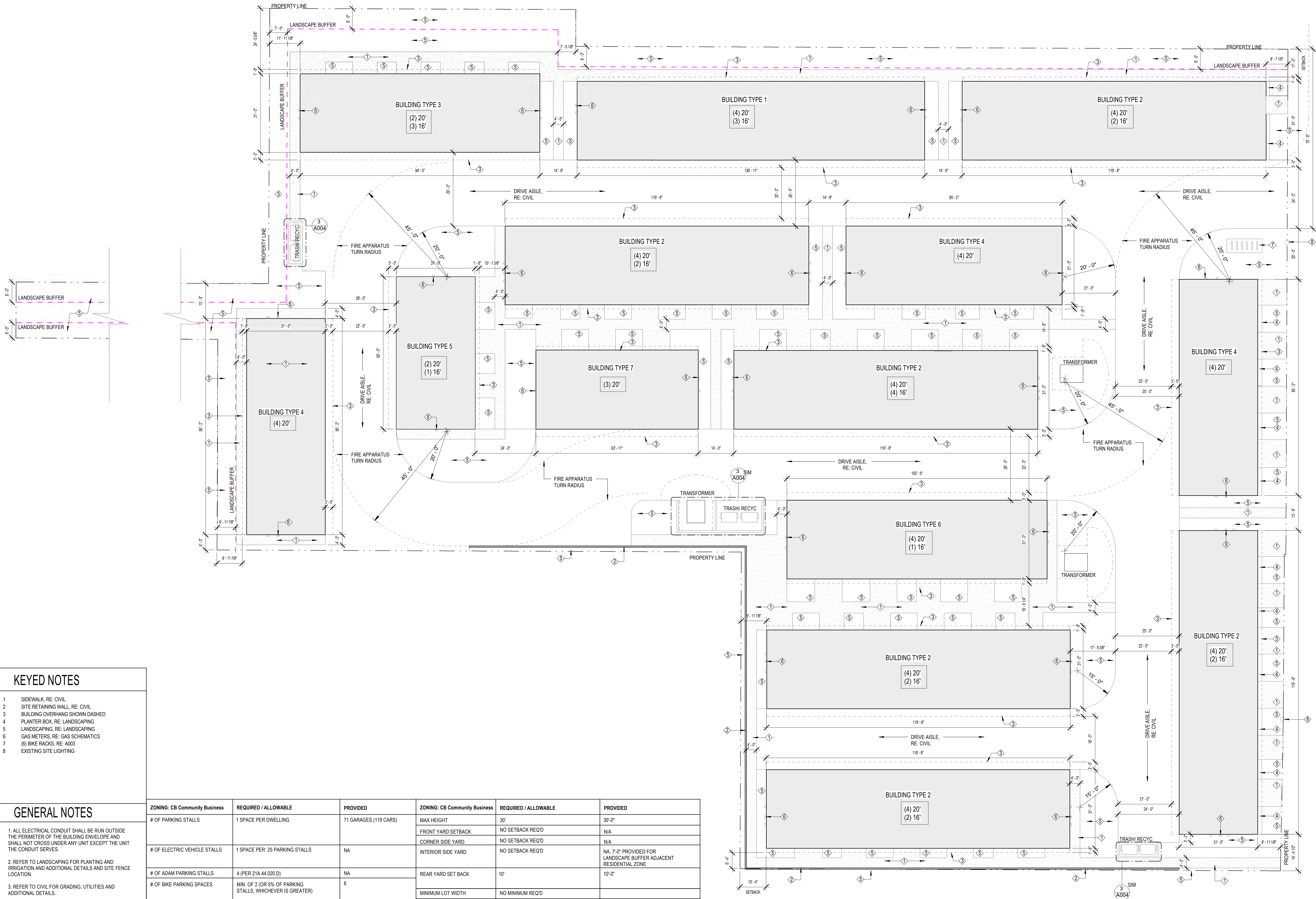
GLENDALE TOWNHOMES
1590 SOUTH 900 WEST
SALT LAKE CITY UTAH 84101

09.08.22

PD

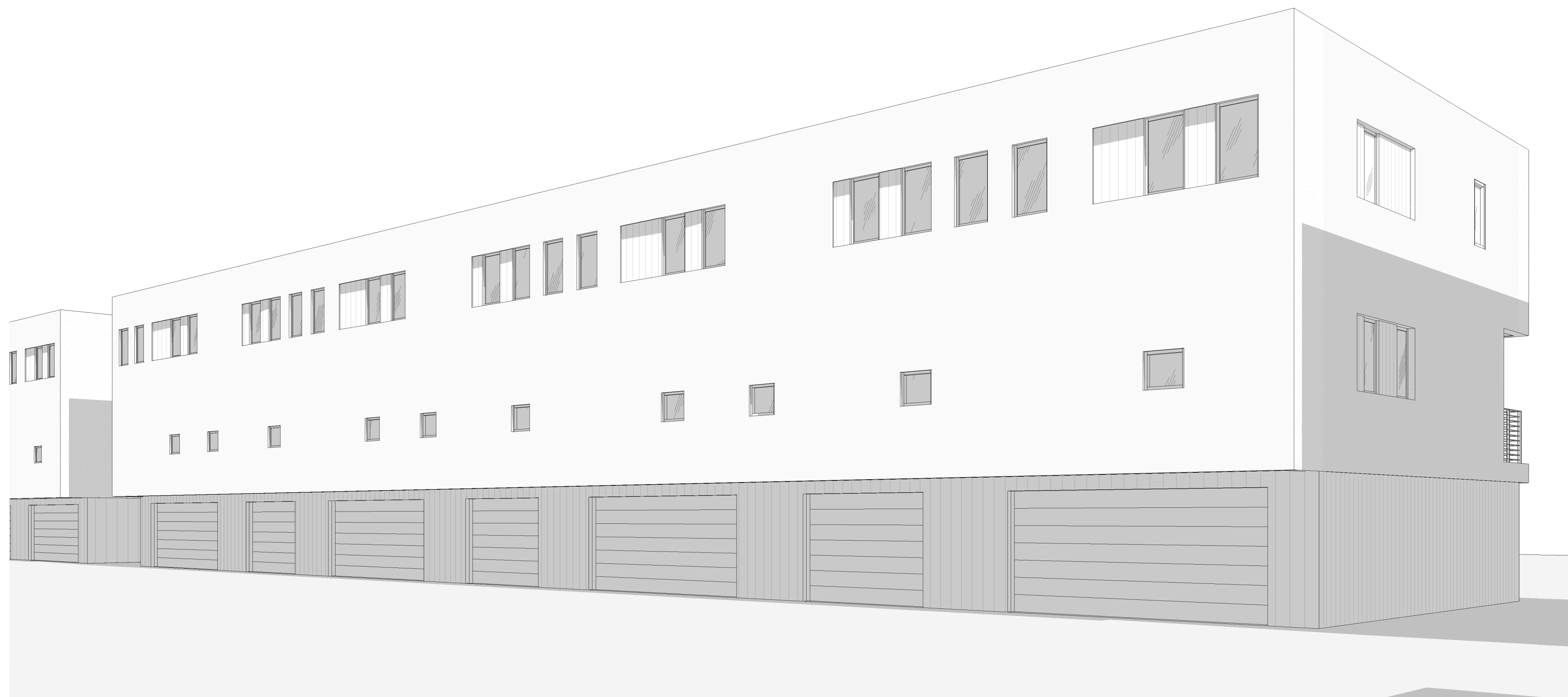
COVER

CVR





② TYPICAL FRONT VIEW



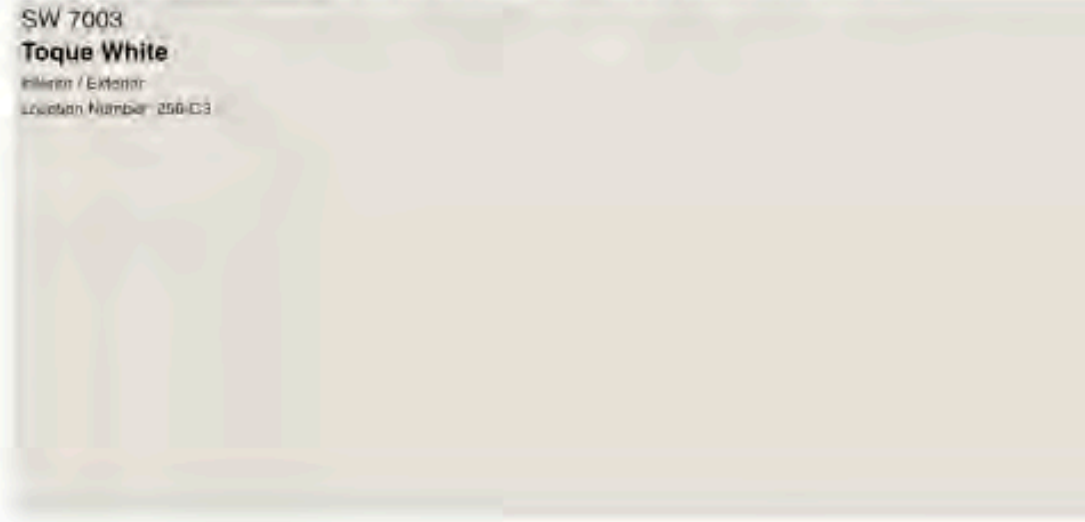
① TYPICAL GARAGE VIEW



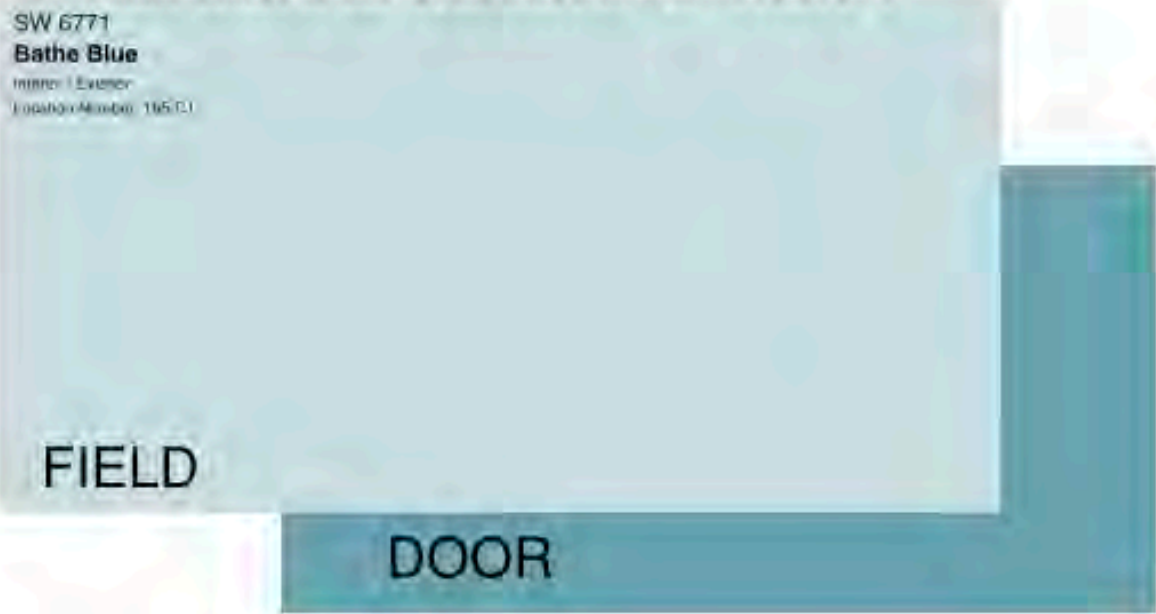
③ BUILDING 2 NE CORNER



STUCCO COLOR: ALL BUILDINGS



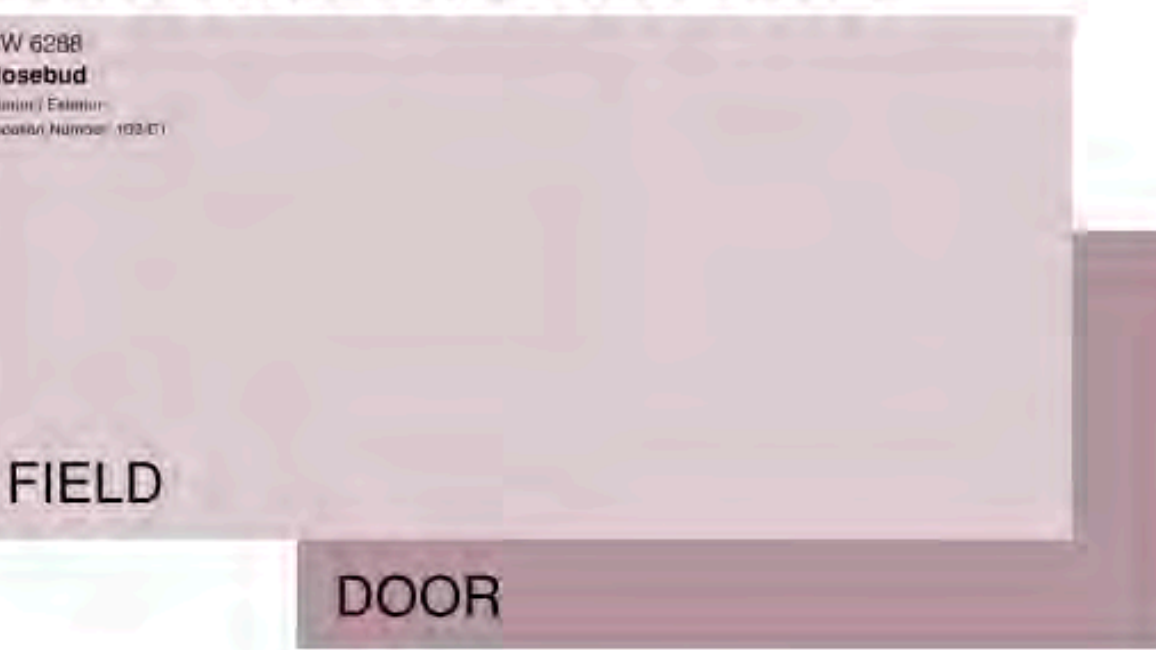
HARDI BOARD COLOR: OPTION 1



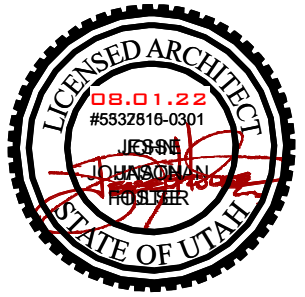
HARDI BOARD COLOR: OPTION 2



HARDI BOARD COLOR: OPTION 3



HARDI BOARD COLOR: OPTION 4



NOT FOR CONSTRUCTION

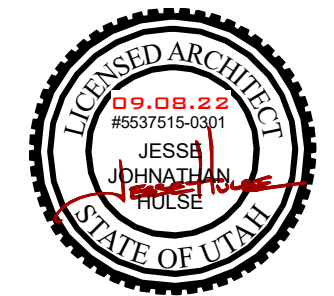
GLENDALE TOWNHOMES
1590 SOUTH 900 WEST
SALT LAKE CITY UTAH 84101

08.01.22

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MATERIAL
SELECTION AND
RENDERINGS

A001



GLENDALE TOWNHOMES
 1590 SOUTH 900 WEST
 SALT LAKE CITY UTAH 84101

09.08.22

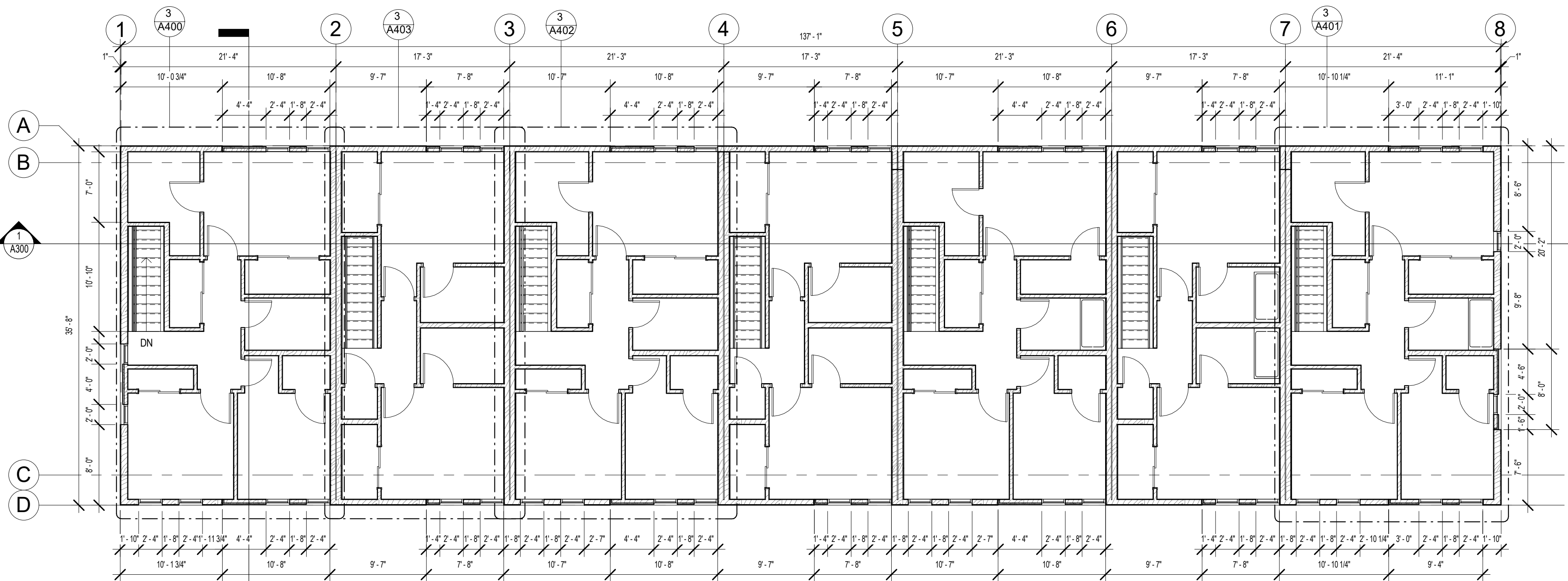
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**BUILDING TYPE
KEY PLAN**

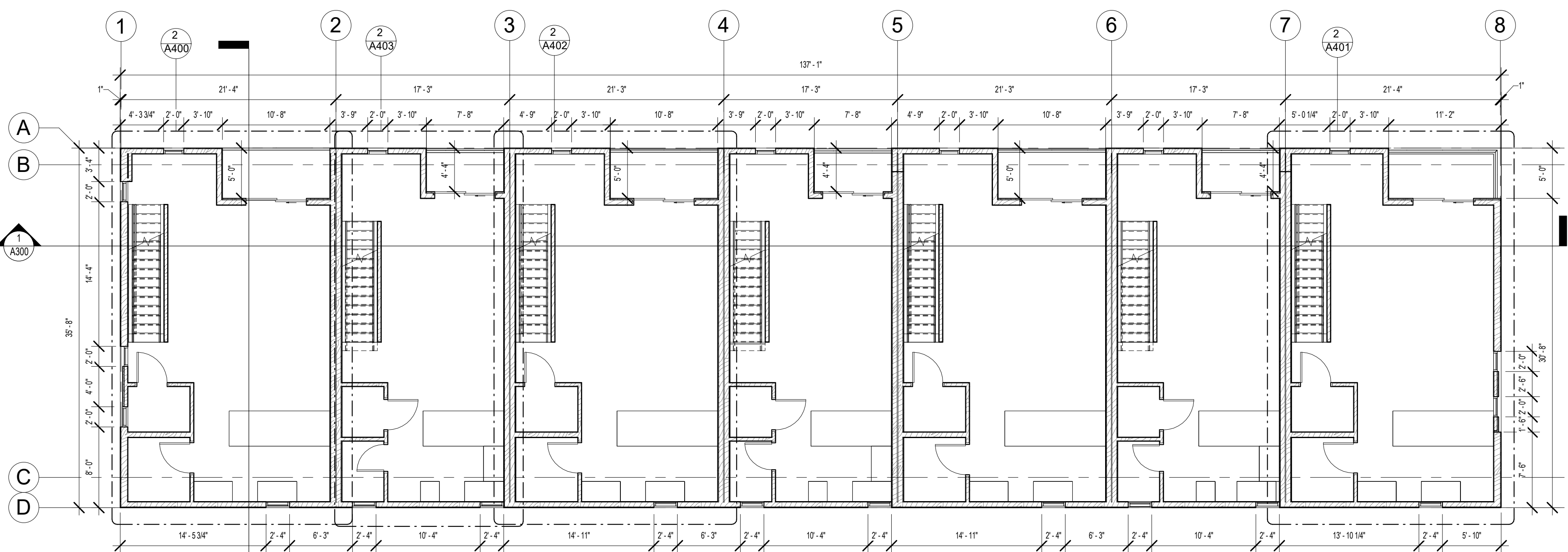
A003



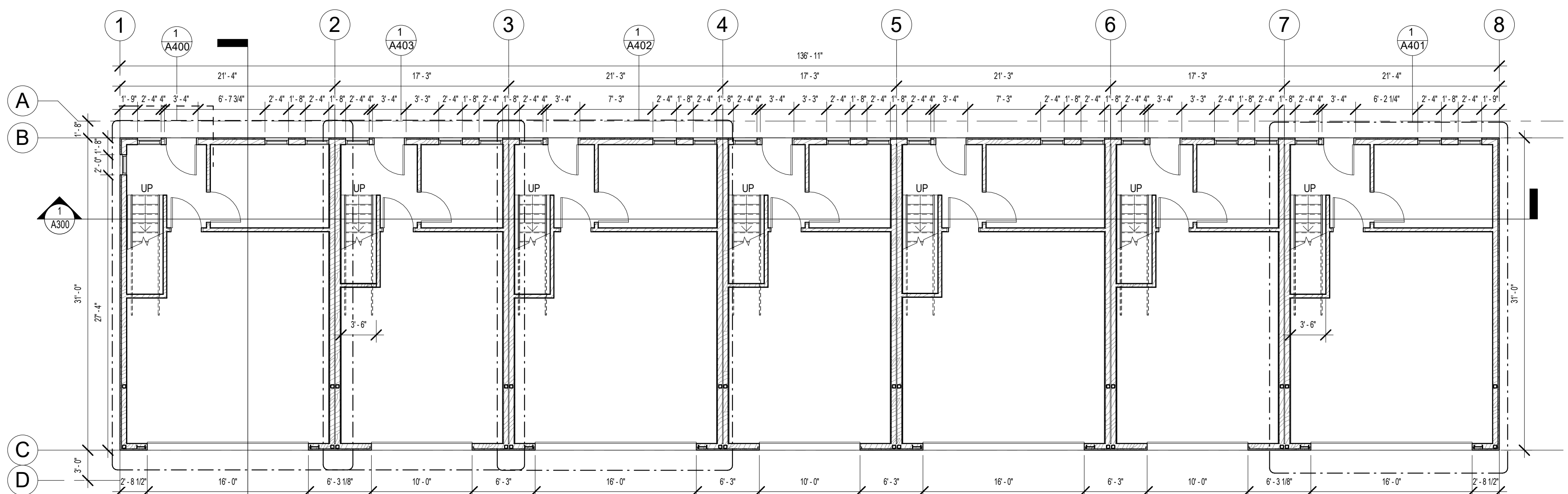
1 SITE PLAN
1/16" = 1'-0"



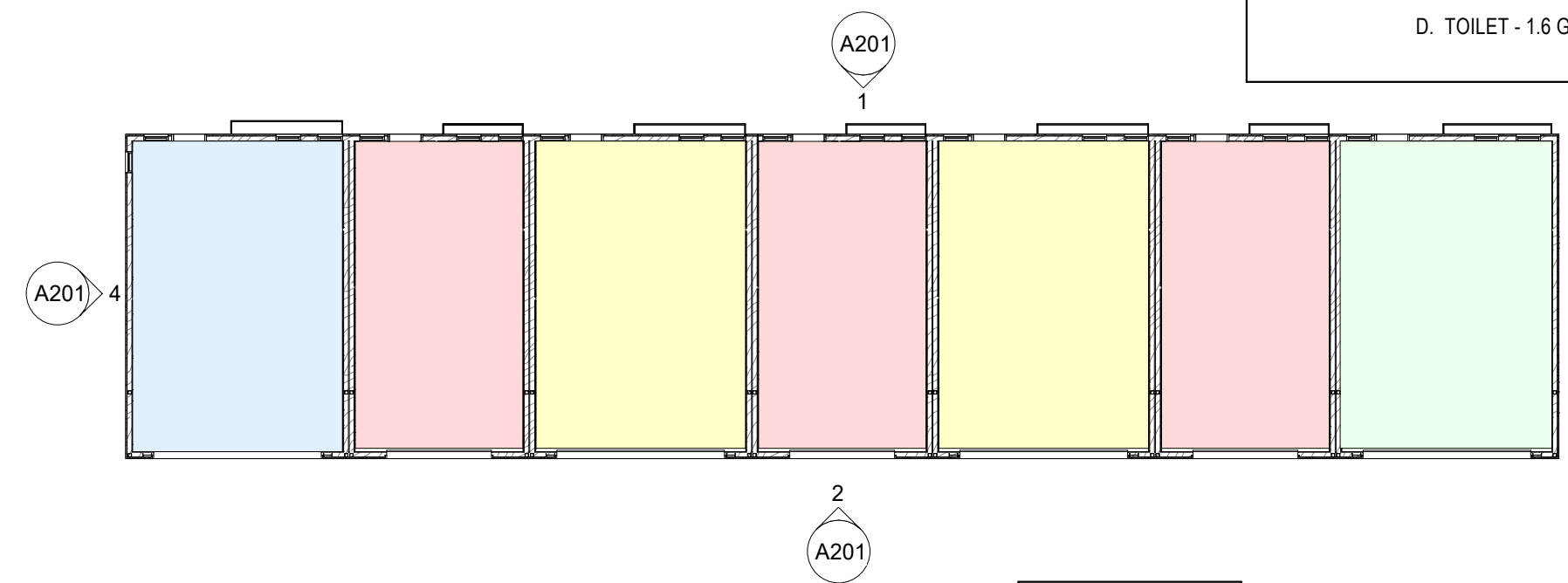
3 LEVEL 3 OVERALL PLAN
1/8" = 1'-0"



2 LEVEL 2 OVERALL PLAN
1/8" = 1'-0"



1 LEVEL 1 OVERALL PLAN
1/8" = 1'-0"



4 BUILDING 1 KEY PLAN
1/16" = 1'-0"

- UNIT TYPE A
- UNIT TYPE B
- UNIT TYPE C
- UNIT TYPE D

WALL

- 1 BOARD AND BATTEN HARDIE BOARD OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- 2 BOARD AND BATTEN HARDIE BOARD OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X4 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- 3 STUCCO OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- 3B STUCCO OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER, 2" FURRING, 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- 4 2X4 WOOD STUD FRAMING WITH PAINTED GYPSUM BOARD ON BOTH SIDES.
- 5 2X6 WOOD STUD FRAMING WITH PAINTED GYPSUM BOARD ON BOTH SIDES.
- 6 (2) 2X6 WOOD STUD FRAMING WITH 1" AIR GAP BETWEEN STUDS AND (2) LAYERS PAINTED GYPSUM BOARD ON EXTERIOR SIDES, FIRE RATED WALL, RE: WALL SECTIONS AND DETAILS

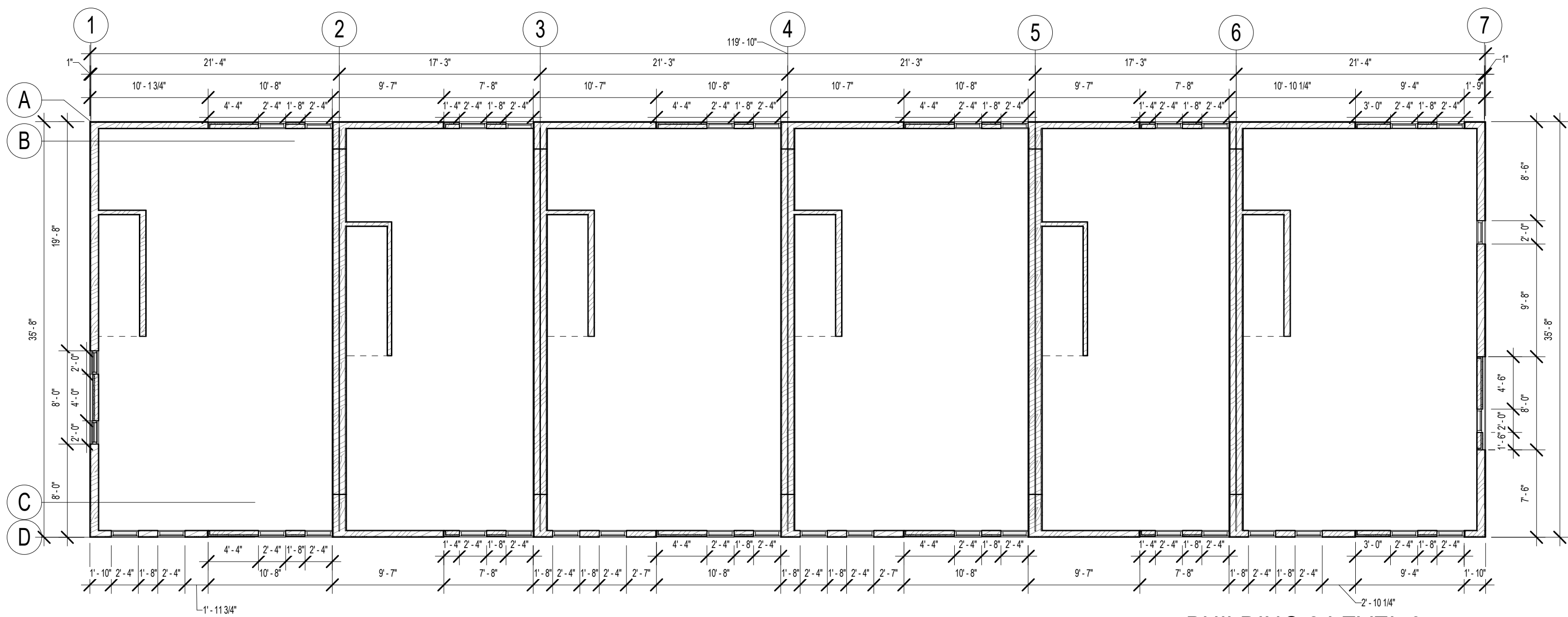
BUILDING TYPE 1 13,994 GROSS SF	
7 TOWNHOUSE UNITS	
CONDITIONED SPACE:	9,729 SF
HOSE BIB:	14 EXTERIOR
TOILETS:	21
SHOWERS:	4
TUB:	10
SINKS:	28
DISHWASHER:	7
WASHER:	7
WATER HEATER:	7
HVAC SYSTEM:	7

GENERAL

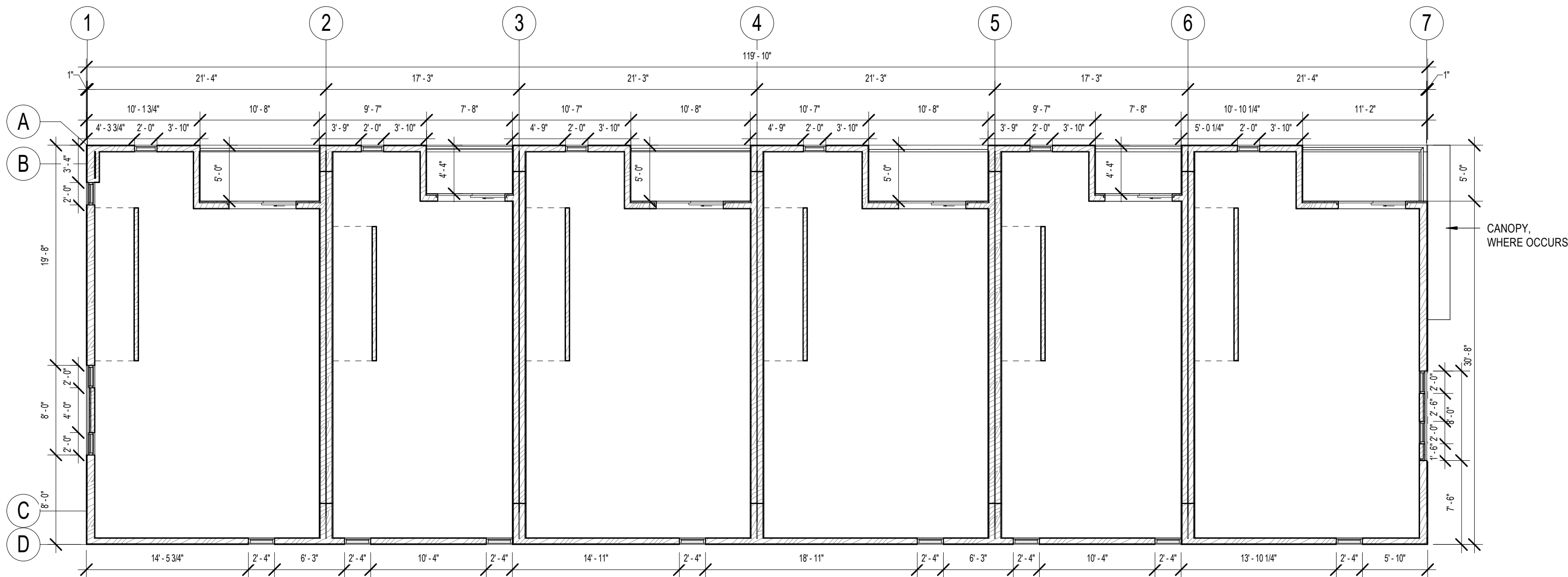
1. REFER TO ENLARGED PLANS AND EXTERIOR ELEVATIONS FOR UNIT LAYOUTS, DOOR AND WINDOW TAGS, WALL TYPES AND OTHER ADDITIONAL INFORMATION AND INTERIOR DIMENSIONS.
2. REFER TO FOUNDATION PLAN AND ENLARGED PLANS FOR COLUMN LOCATIONS.
3. CONTRACTOR TO VERIFY WITH ARCHITECT ANY DISCREPANCIES PRIOR TO BID.
4. SUBSTRATE FOR TILED WET AREAS SHALL CONFORM TO IRC R702.4.2
5. NONABSORBENT SURFACE SHALL EXTEND TO A MINIMUM 6" ABOVE THE FLOOR AT SHOWER LOCATIONS PER IRC R307.2
6. THE COMMON WALL SHARED BY TWO TOWNHOUSES SHALL BE CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS, OR VENTS IN THE CAVITY OF THE COMMON WALL PER R302.2
7. IF APPLICABLE PROVIDE MAKE-UP AIR FOR RANGE HOODS EXHAUSTING IN EXCESS OF 400CFM PER IRC M1503.4
8. FIRE RISER LOCATION MUST MAINTAIN A TEMPERATURE OF 40 DEGREES AND 12" FROM EXTERIOR FOUNDATIONS WALLS

PLUMBING

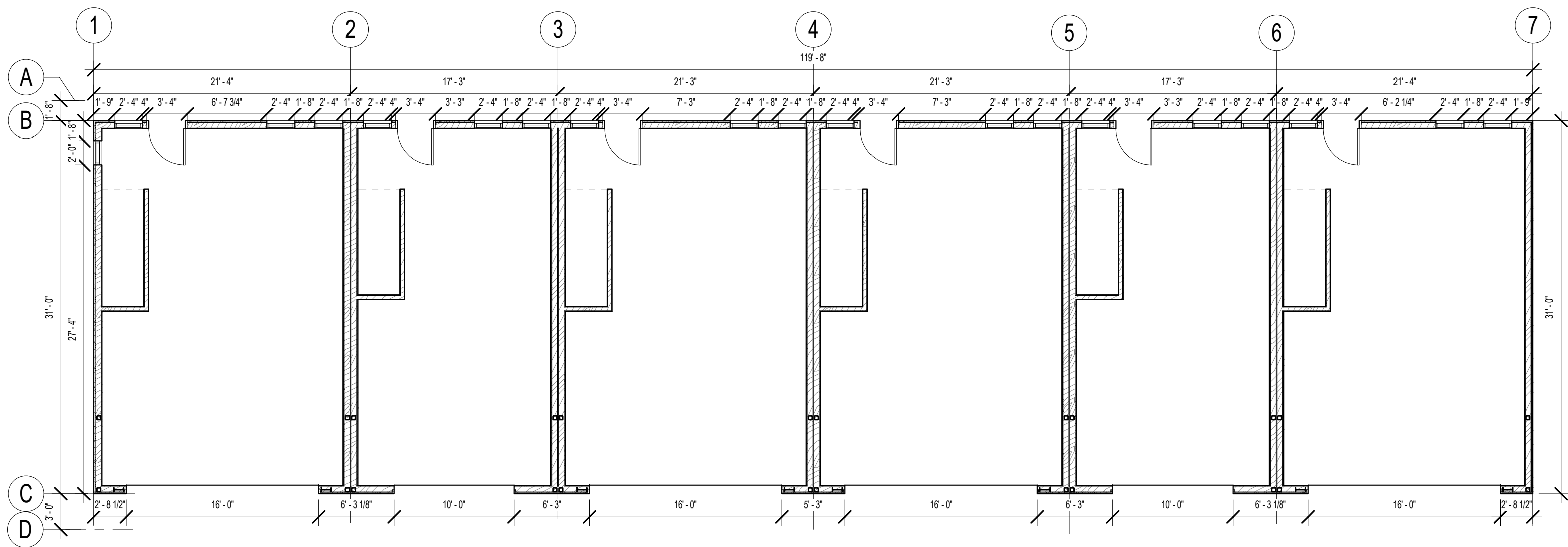
1. WATER HEATER TO BE SEISMICALLY BRACED PER IRC P2801.8
 2. PROVIDE EXPANSION TANK PER IRC P2903.4
 3. FLOOR DRAIN TO HAVE A MINIMUM THICKNESS 24 GAGE PER IRC P2801.6
 4. WATER HEATER SOURCE OF IGNITION MUST BE AT A MINIMUM 18" ABOVE THE FLOOR PER IRC M1307.3 & PROTECTED FROM IMPACT PER IRC M1307.3.1
 5. BACKWATER VALVES SHALL BE INSTALLED SO THAT THE WORKING PARTS ARE ACCESSIBLE FOR SERVICE AND REPAIR PER IRC P3008.5
 6. FROSTPROOF HOSE BIB TO COMPLY PER IRC P2903.10
 7. PLUMBING FIXTURES & CLEARANCES TO COMPLY PER IRC R307 & P2705.1
 8. ALL TUBS & SHOWERS ARE REQUIRED TO BE EQUIPPED WITH WATER TEMPERATURE LIMITING DEVICE THAT IS SET TO 120° F MAXIMUM PER IRC P2708.4 & P2713.3
 9. SHOWER PAN IS TO BE PROVIDED PER IRC P2709
 10. WATER HAMMER ARRESTORS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS PER IRC P2903.5
 11. SHOWER ACCESS OPENINGS SHALL HAVE A CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF NOT LESS THAN 22 INCHES PER IRC P2708.1.1
 12. WATER HEATER IN EACH UNIT WILL BE ELEVATED PER IRC M1307.3
 13. MAXIMUM FLOW RATES AND CONSUMPTION OF FIXTURES PER IRC TABLE P2903.2
- PSI
- A. LAVATORY FAUCET - 2.2 GPM AT 60
 - B. SHOWER HEAD - 2.5 GPM AT 80 PSI
 - C. SINK - 2.2 GPM AT 60 PSI
 - D. TOILET - 1.6 GALLONS PER FLUSH



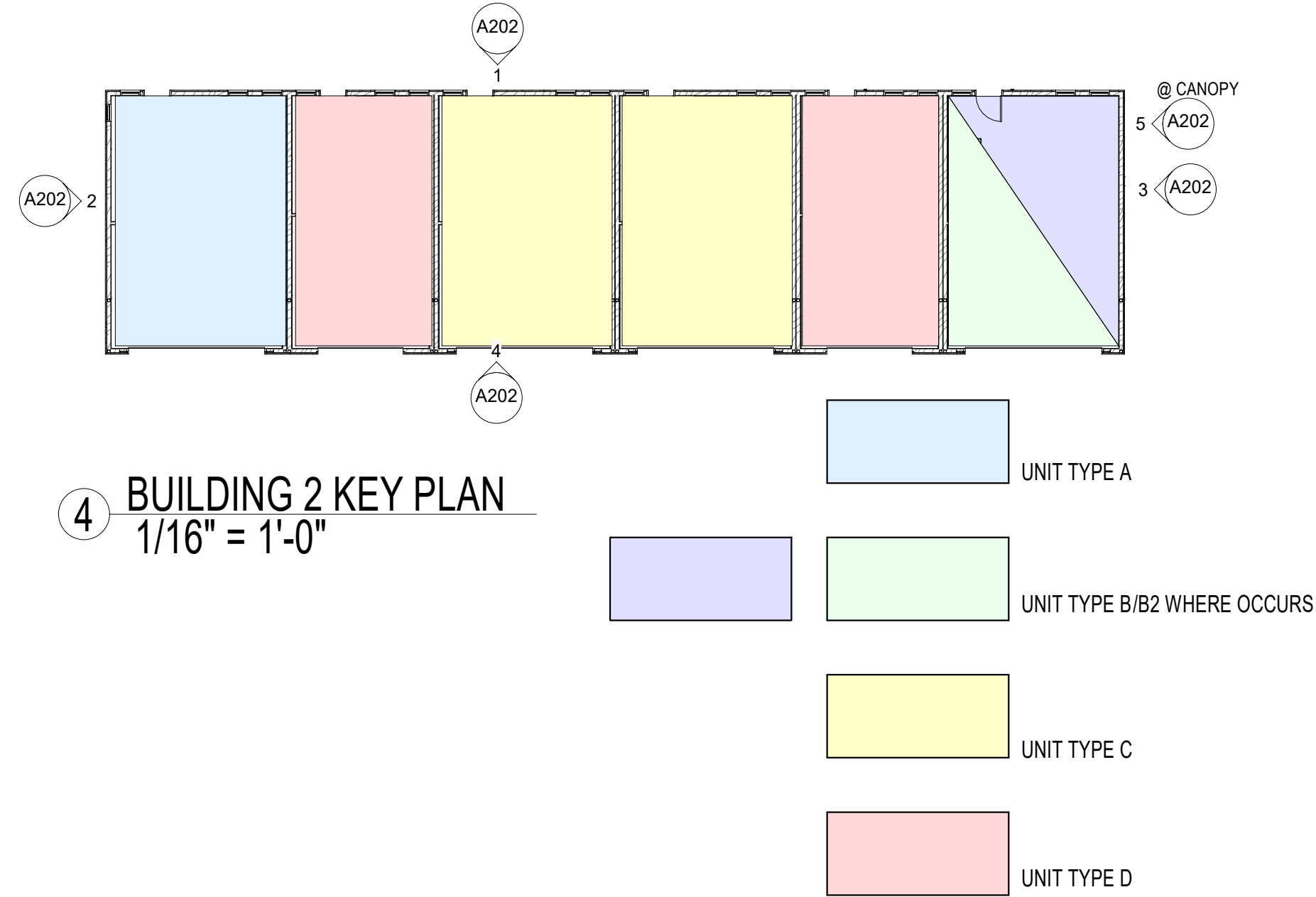
3 BUILDING 2 LEVEL 3
1/8" = 1'-0"



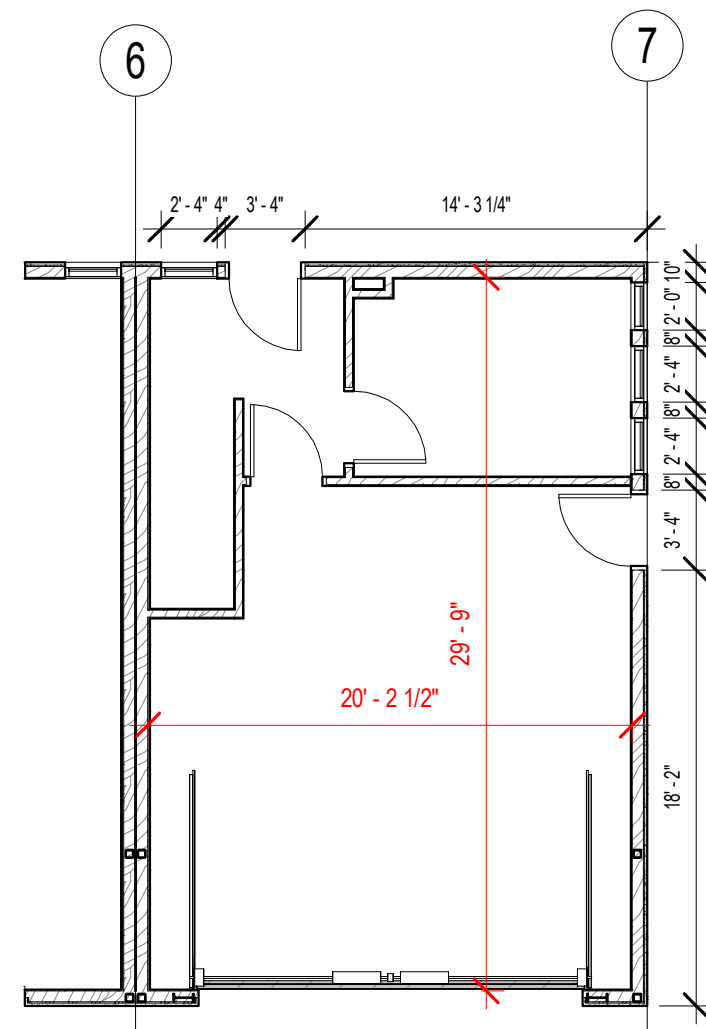
2 BUILDING 2 LEVEL 2
1/8" = 1'-0"



1 BUILDING 2 LEVEL 1
1/8" = 1'-0"



4 BUILDING 2 KEY PLAN
1/16" = 1'-0"



5 LEVEL 1 UNIT B2
1/8" = 1'-0"

WALL

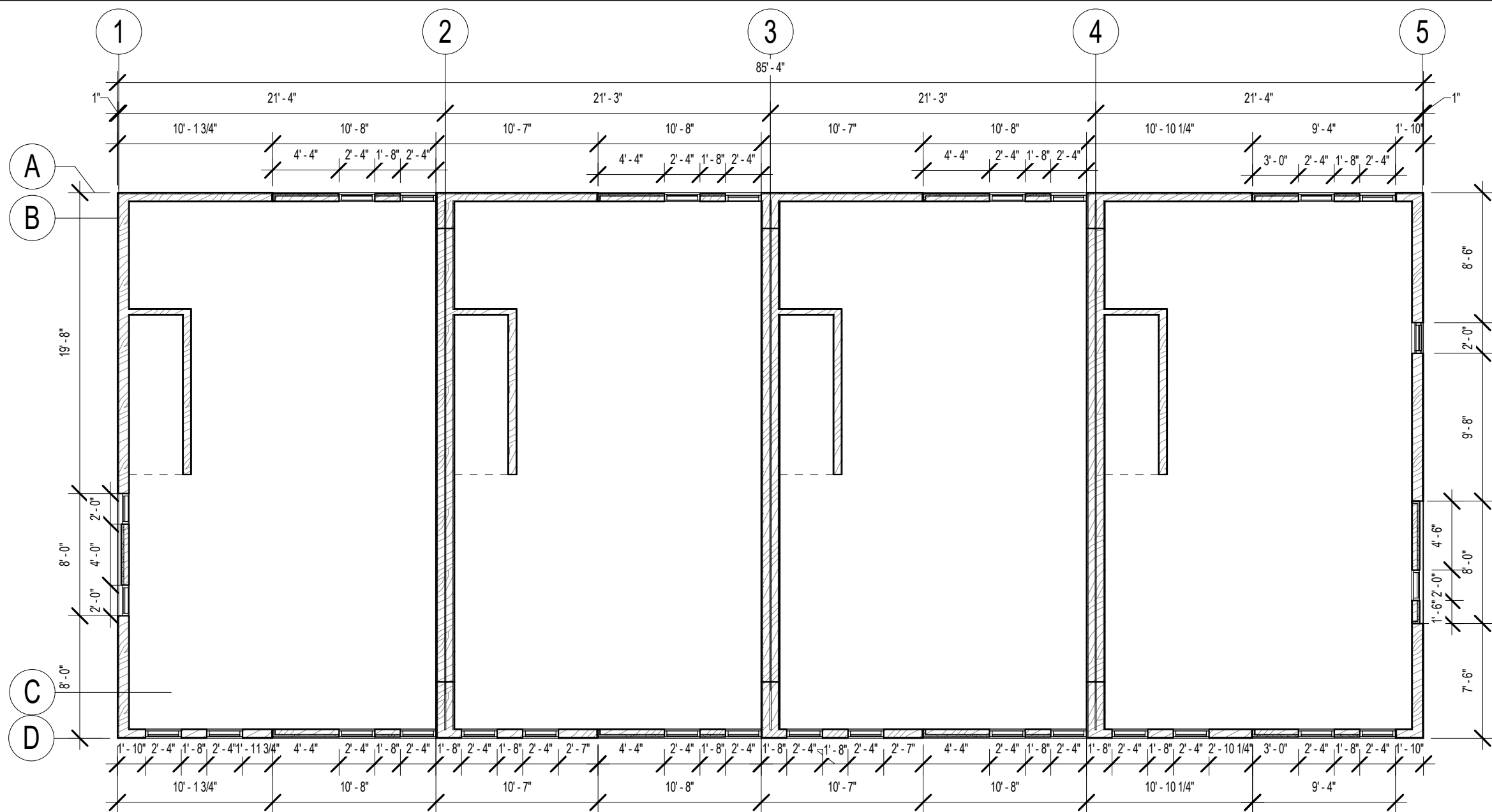
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- 5 2X6 WOOD STUD FRAMING WITH PAINTED GYPSUM BOARD ON BOTH SIDES.
- 6 (2) 2X6 WOOD STUD FRAMING WITH 1" AIR GAP BETWEEN STUDS AND (2) LAYERS PAINTED GYPSUM BOARD ON EXTERIOR SIDES, FIRE RATED WALL, RE: WALL SECTIONS AND DETAILS

GENERAL

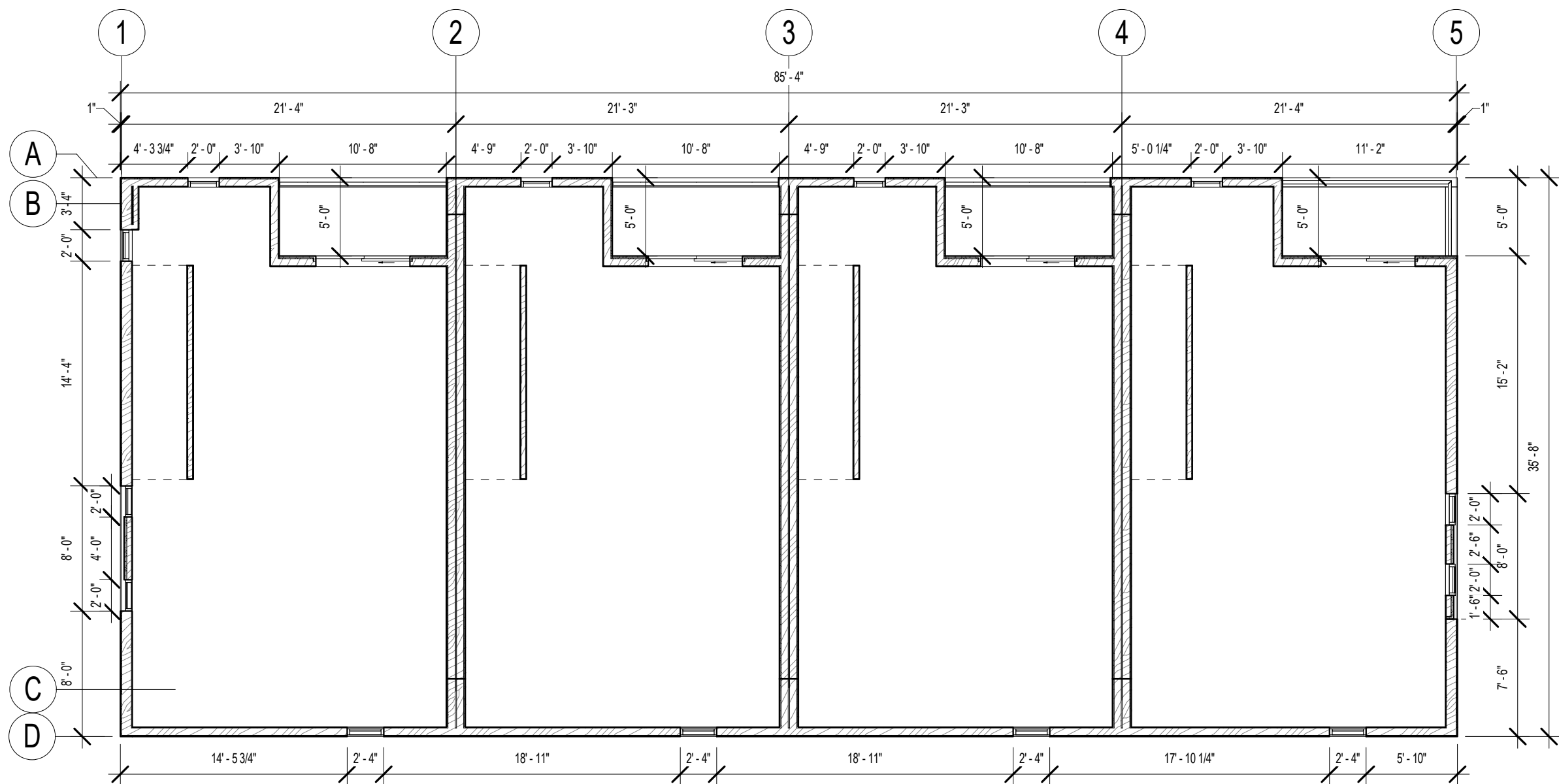
BUILDING TYPE 2	
12,229 GROSS SF	
6 TOWNHOUSE UNITS	
CONDITIONED SPACE:	8,506 SF
HOSE BIB:	12 EXTERIOR
TOILETS:	18
SHOWER:	4
TUB:	8
SINKS:	24
DISHWASHER:	6
WASHER:	6
WATER HEATER:	6
HVAC SYSTEM:	6

PLUMBING

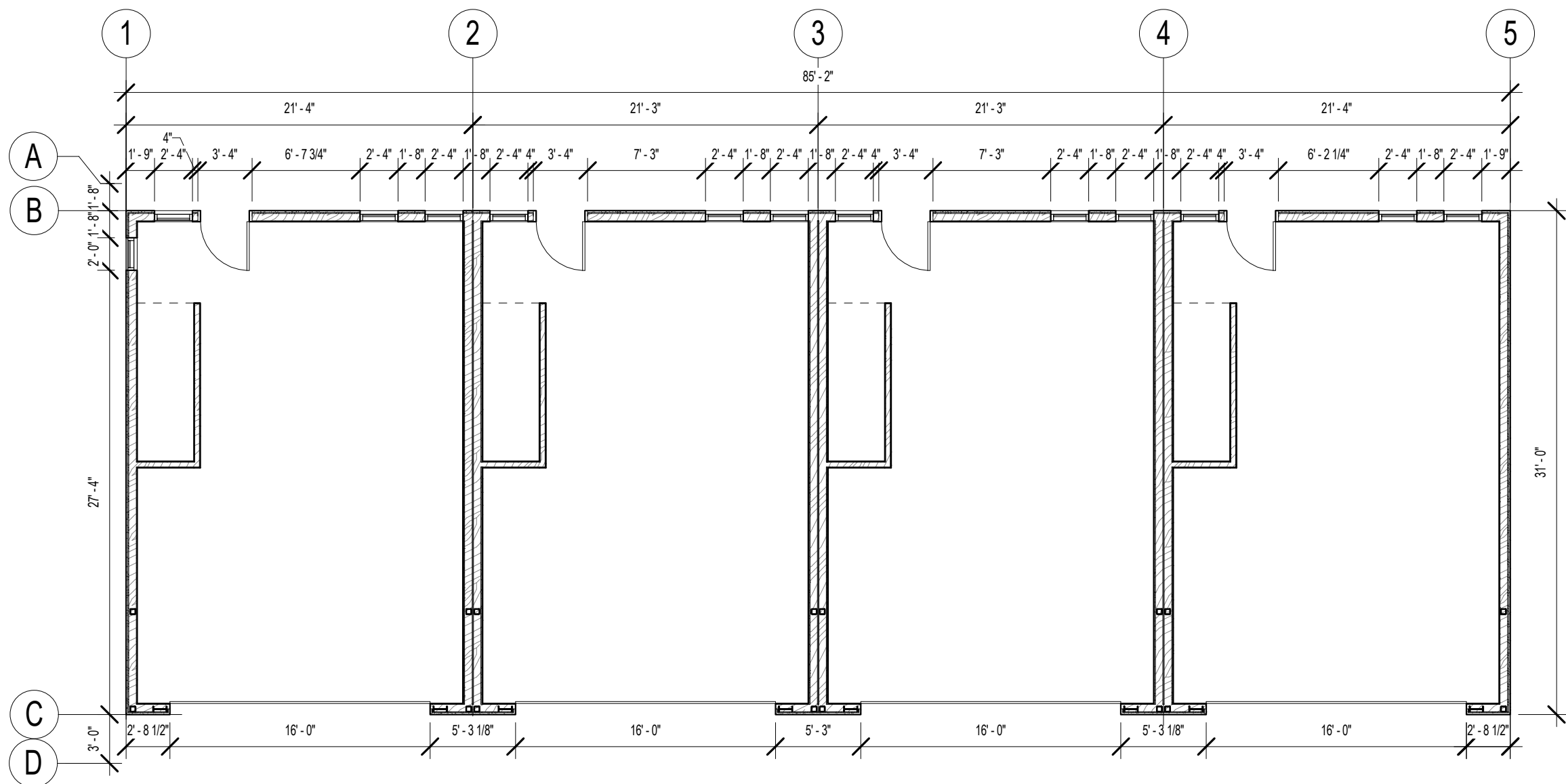
1. WATER HEATER TO BE SEISMICALLY BRACED PER IRC P2801.8
 2. PROVIDE EXPANSION TANK PER IRC P2903.4
 3. FLOOR DRAIN TO HAVE A MINIMUM THICKNESS 24 GAGE PER IRC P2801.6
 4. WATER HEATER SOURCE OF IGNITION MUST BE AT A MINIMUM 18" ABOVE THE FLOOR PER IRC M1307.3 & PROTECTED FROM IMPACT PER IRC M1307.3.1
 5. BACKWATER VALVES SHALL BE INSTALLED SO THAT THE WORKING PARTS ARE ACCESSIBLE FOR SERVICE AND REPAIR PER IRC P3008.5
 6. FROSTPROOF HOSE BIB TO COMPLY PER IRC P2903.10
 7. PLUMBING FIXTURES & CLEARANCES TO COMPLY PER IRC R307 & P2705.1
 8. ALL TUBS & SHOWERS ARE REQUIRED TO BE EQUIPPED WITH WATER TEMPERATURE LIMITING DEVICE THAT IS SET TO 120° F MAXIMUM PER IRC P2708.4 & P2713.3
 9. SHOWER PAN IS TO BE PROVIDED PER IRC P2709
 10. WATER HAMMER ARRESTORS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS PER IRC P2903.5
 11. SHOWER ACCESS OPENINGS SHALL HAVE A CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF NOT LESS THAN 22 INCHES PER IRC P2708.1.1
 12. WATER HEATER IN EACH UNIT WILL BE ELEVATED PER IRC M1307.3
 13. MAXIMUM FLOW RATES AND CONSUMPTION OF FIXTURES PER IRC TABLE P2903.2
- PSI
- | |
|------------------------------------|
| A. LAVATORY FAUCET - 2.2 GPM AT 60 |
| B. SHOWER HEAD - 2.5 GPM AT 80 PSI |
| C. SINK - 2.2 GPM AT 60 PSI |
| D. TOILET - 1.6 GALLONS PER FLUSH |



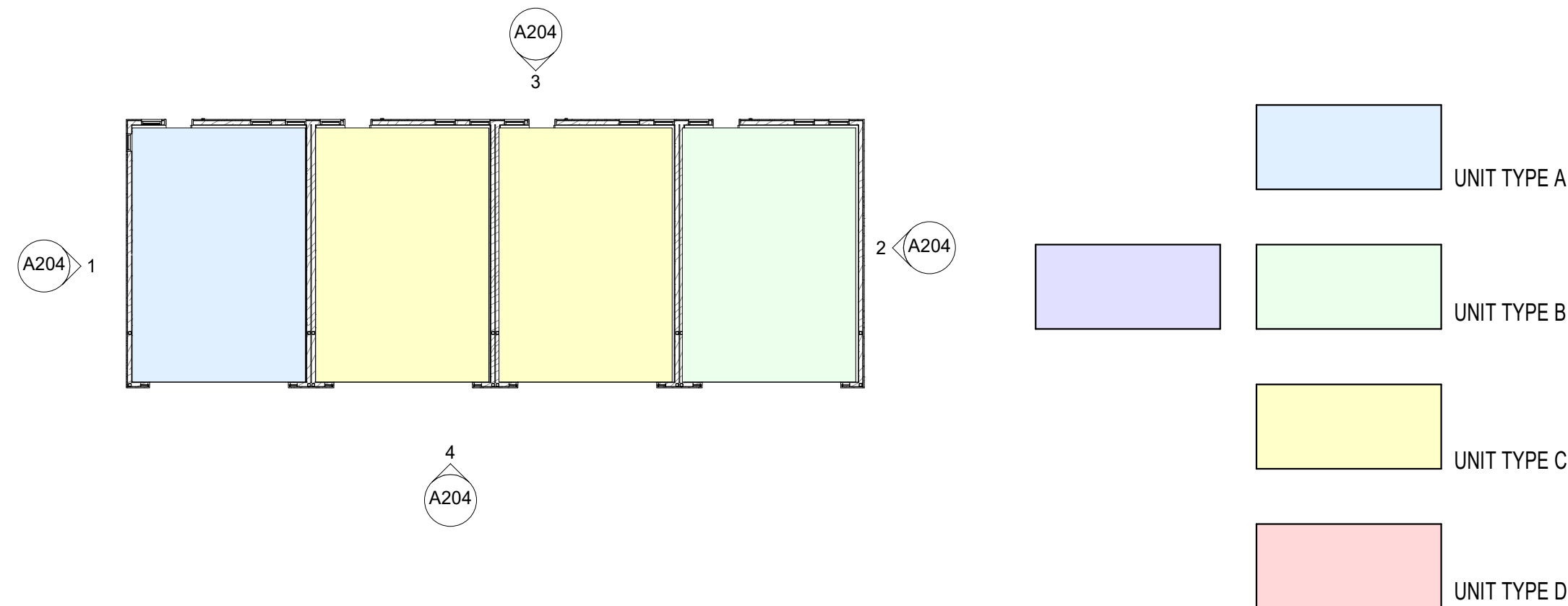
3 BUILDING 4 LEVEL 3
1/8" = 1'-0"



2 BUILDING 4 LEVEL 2
1/8" = 1'-0"



1 BUILDING 4 LEVEL 1
1/8" = 1'-0"



4 BUILDING 4 KEY PLAN
1/16" = 1'-0"

WALL

- 1 BOARD AND BATTEN HARDIE BOARD OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- 2 BOARD AND BATTEN HARDIE BOARD OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X4 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- 3 STUCCO OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
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- 5 2X6 WOOD STUD FRAMING WITH PAINTED GYPSUM BOARD ON BOTH SIDES.
- 6 (2) 2X6 WOOD STUD FRAMING WITH 1" AIR GAP BETWEEN STUDS AND (2) LAYERS PAINTED GYPSUM BOARD ON EXTERIOR SIDES, FIRE RATED WALL, RE: WALL SECTIONS AND DETAILS

BUILDING TYPE 4

8,697 GROSS SF

4 TOWNHOUSE UNITS

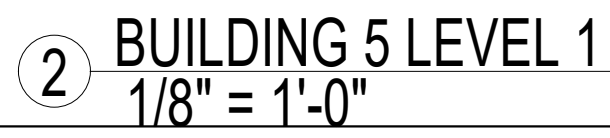
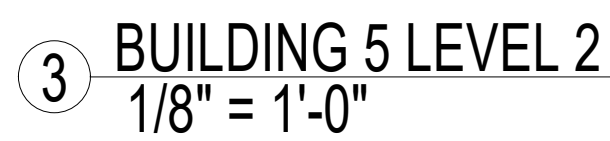
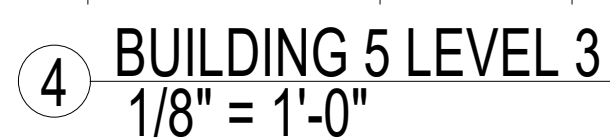
CONDITIONED SPACE:	5,476 SF
HOSE BIB:	8 EXTERIOR
TOILETS:	12
SHOWERS:	4
TUB:	4
SINKS:	16
DISHWASHER:	4
WASHER:	4
WATER HEATER:	4
HVAC SYSTEM:	4

GENERAL

1. REFER TO ENLARGED PLANS AND EXTERIOR ELEVATIONS FOR UNIT LAYOUTS, DOOR AND WINDOW TAGS, WALL TYPES AND OTHER ADDITIONAL INFORMATION AND INTERIOR DIMENSIONS.
2. REFER TO FOUNDATION PLAN AND ENLARGED PLANS FOR COLUMN LOCATIONS.
3. CONTRACTOR TO VERIFY WITH ARCHITECT ANY DISCREPANCIES PRIOR TO BID.
4. SUBSTRATE FOR TILED WET AREAS SHALL CONFORM TO IRC R702.4.2
5. NONABSORBENT SURFACE SHALL EXTEND TO A MINIMUM 6" ABOVE THE FLOOR AT SHOWER LOCATIONS PER IRC R307.2
6. THE COMMON WALL SHARED BY TWO TOWNHOUSES SHALL BE CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS, OR VENTS IN THE CAVITY OF THE COMMON WALL PER R302.2
7. IF APPLICABLE PROVIDE MAKE-UP AIR FOR RANGE HOODS EXHAUSTING IN EXCESS OF 400CFM PER IRC M1503.4
8. FIRE RISER LOCATION MUST MAINTAIN A TEMPERATURE OF 40 DEGREES AND 12" FROM EXTERIOR FOUNDATIONS WALLS

PLUMBING

1. WATER HEATER TO BE SEISMICALLY BRACED PER IRC P2801.8
 2. PROVIDE EXPANSION TANK PER IRC P2903.4
 3. FLOOR DRAIN TO HAVE A MINIMUM THICKNESS 24 GAGE PER IRC P2801.6
 4. WATER HEATER SOURCE OF IGNITION MUST BE AT A MINIMUM 18" ABOVE THE FLOOR PER IRC M1307.3 & PROTECTED FROM IMPACT PER IRC M1307.3.1
 5. BACKWATER VALVES SHALL BE INSTALLED SO THAT THE WORKING PARTS ARE ACCESSIBLE FOR SERVICE AND REPAIR PER IRC P3008.5
 6. FROSTPROOF HOSE BIB TO COMPLY PER IRC P2903.10
 7. PLUMBING FIXTURES & CLEARANCES TO COMPLY PER IRC R307 & P2705.1
 8. ALL TUBS & SHOWERS ARE REQUIRED TO BE EQUIPPED WITH WATER TEMPERATURE LIMITING DEVICE THAT IS SET TO 120° F MAXIMUM PER IRC P2708.4 & P2713.3
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 12. WATER HEATER IN EACH UNIT WILL BE ELEVATED PER IRC M1307.3
 13. MAXIMUM FLOW RATES AND CONSUMPTION OF FIXTURES PER IRC TABLE P2903.2
- PSI
- A. LAVATORY FAUCET - 2.2 GPM AT 60
- B. SHOWER HEAD - 2.5 GPM AT 80 PSI
- C. SINK - 2.2 GPM AT 60 PSI
- D. TOILET - 1.6 GALLONS PER FLUSH



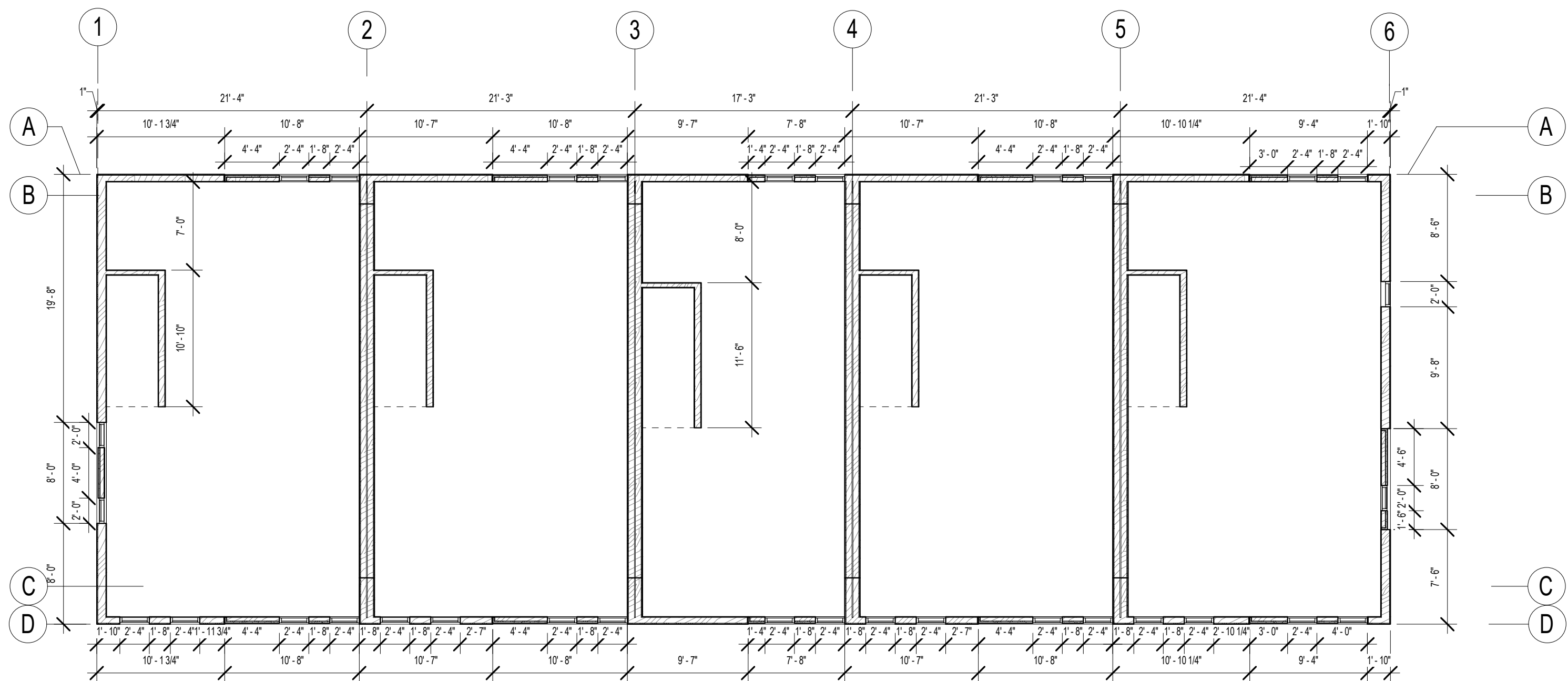
The diagram shows a three-unit townhouse with the following unit types and callouts:

- UNIT TYPE A**: Light blue unit on the left.
- UNIT TYPE B**: Light purple unit in the middle.
- UNIT TYPE C**: Light green unit on the right.
- UNIT TYPE D**: Light red unit on the far right.

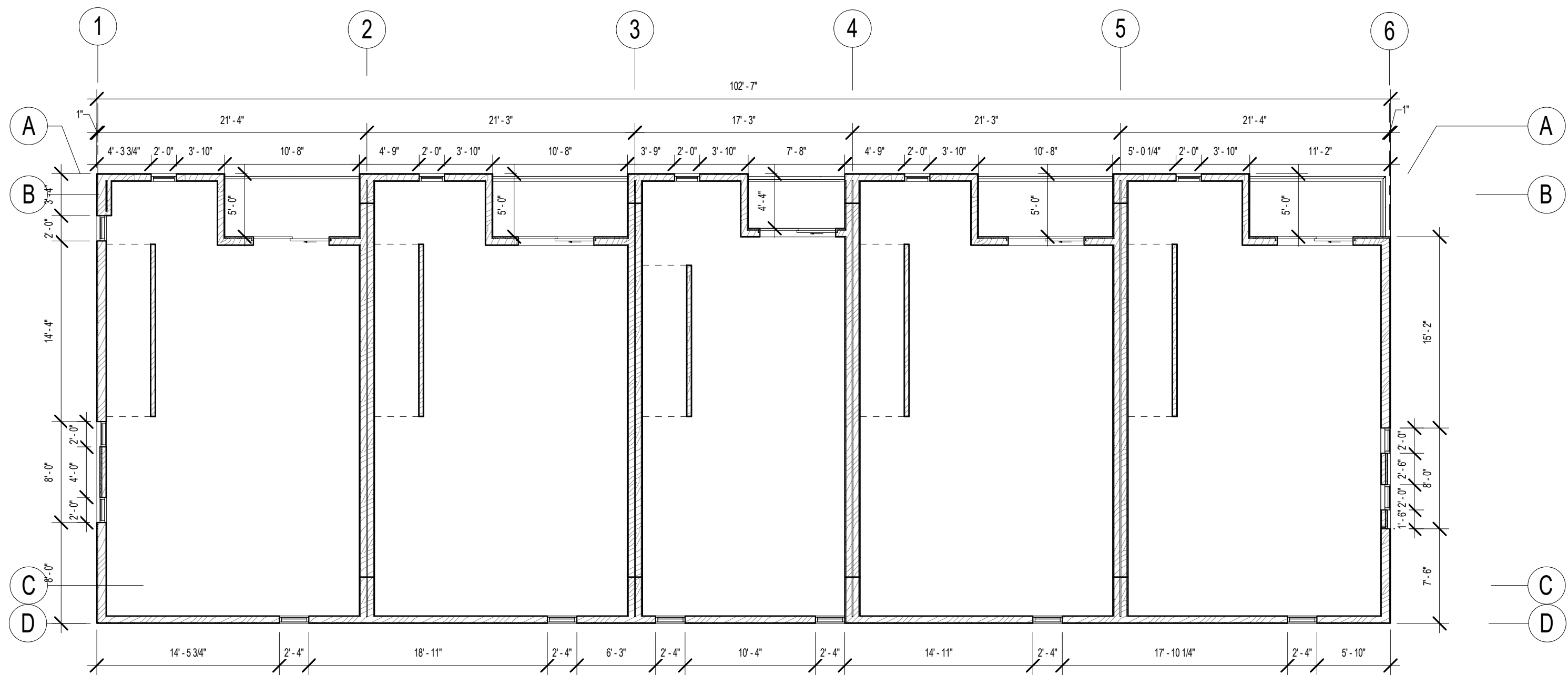
Callouts include:

- A205**: Callout 1 points to the top of the middle unit (Unit Type B).
- A205**: Callout 2 points to the bottom of the middle unit (Unit Type B).
- A205**: Callout 3 points to the left side of the middle unit (Unit Type B).
- A205**: Callout 4 points to the right side of the middle unit (Unit Type B).

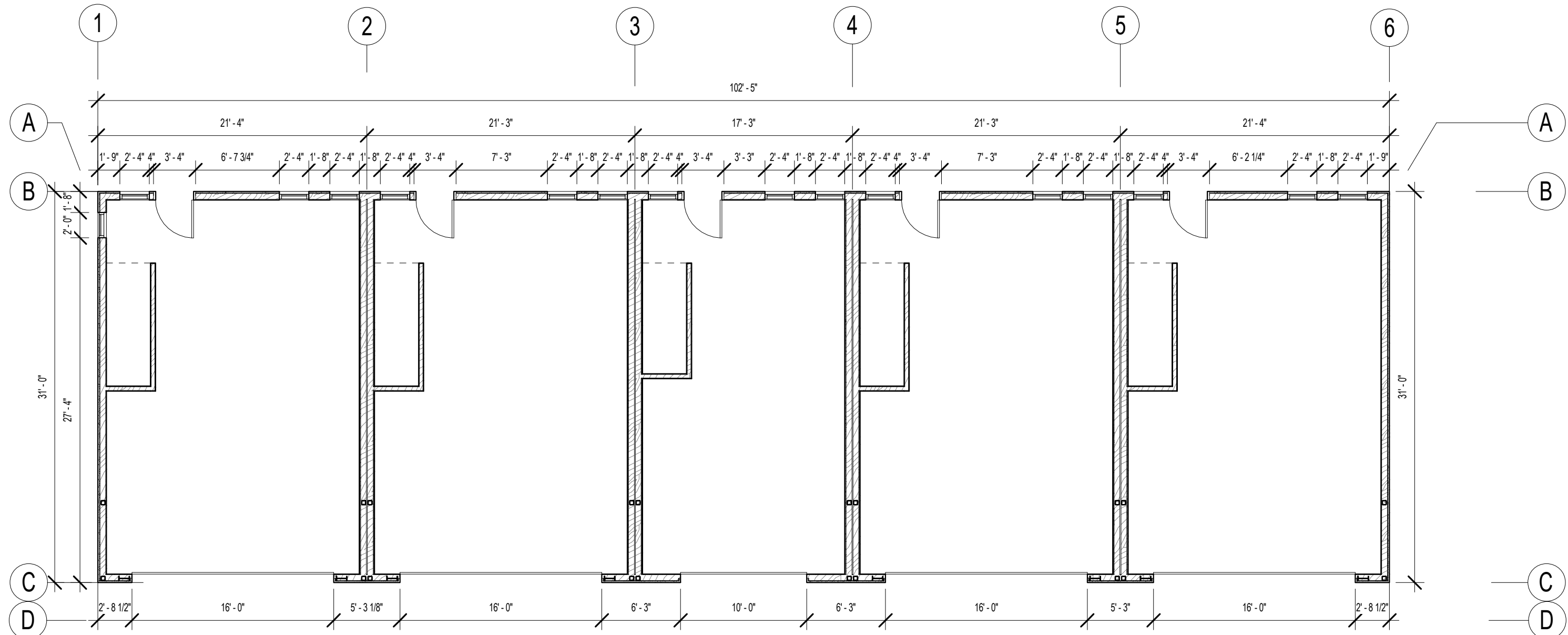
1 BUILDING 5 KEY PLAN
1/16" = 1'-0"



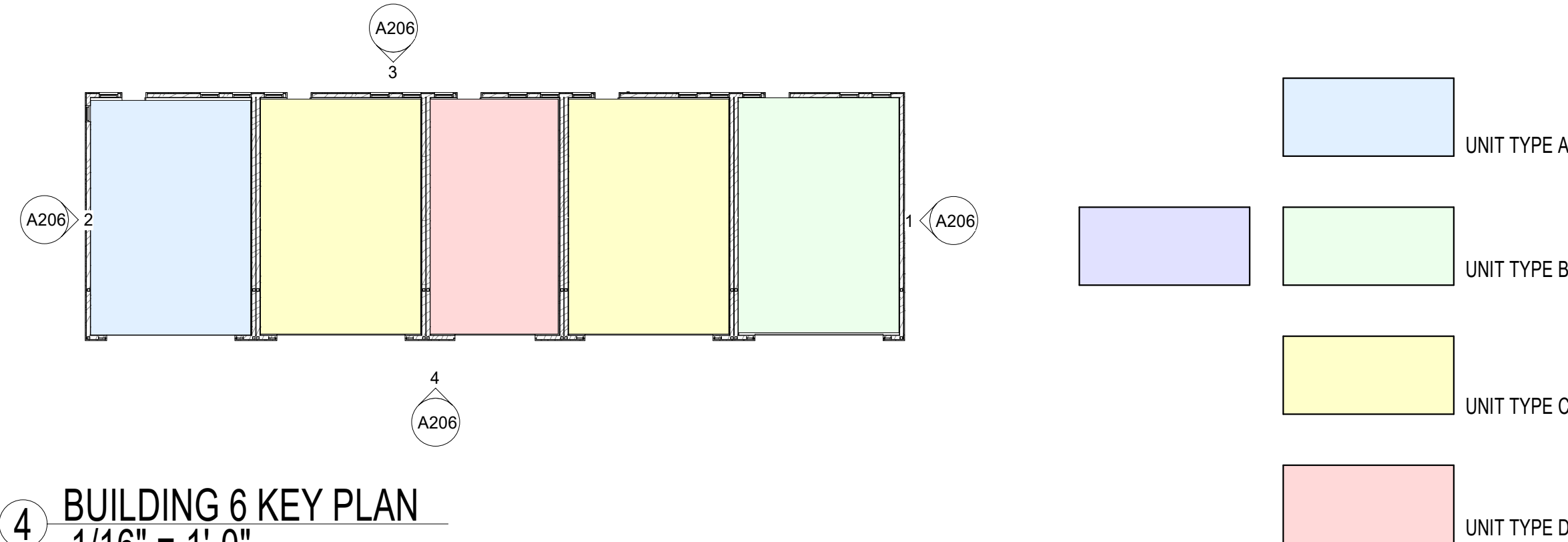
3 LEVEL 3 OVERALL PLAN
1/8" = 1'-0"



2 LEVEL 2 OVERALL PLAN
1/8" = 1'-0"



1 BUILDING 6 LEVEL 1
1/8" = 1'-0"



4 BUILDING 6 KEY PLAN
1/16" = 1'-0"

WALL

- 1 BOARD AND BATTEN HARDIE BOARD OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- 2 BOARD AND BATTEN HARDIE BOARD OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X4 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
- 3 STUCCO OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
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- 5 2X6 WOOD STUD FRAMING WITH PAINTED GYPSUM BOARD ON BOTH SIDES.
- 6 (2) 2X6 WOOD STUD FRAMING WITH 1" AIR GAP BETWEEN STUDS AND (2) LAYERS PAINTED GYPSUM BOARD ON EXTERIOR SIDES, FIRE RATED WALL, RE: WALL SECTIONS AND DETAILS

BUILDING TYPE 6

10,487 GROSS SF

5 TOWNHOUSE UNITS

CONDITIONED SPACE:	7,283 SF
HOSE BIB:	10 EXTERIOR
TOILETS:	15
SHOWER:	4
TUB:	6
SINKS:	20
DISHWASHER:	5
WASHER:	5
WATER HEATER:	5
HVAC SYSTEM:	5

GENERAL

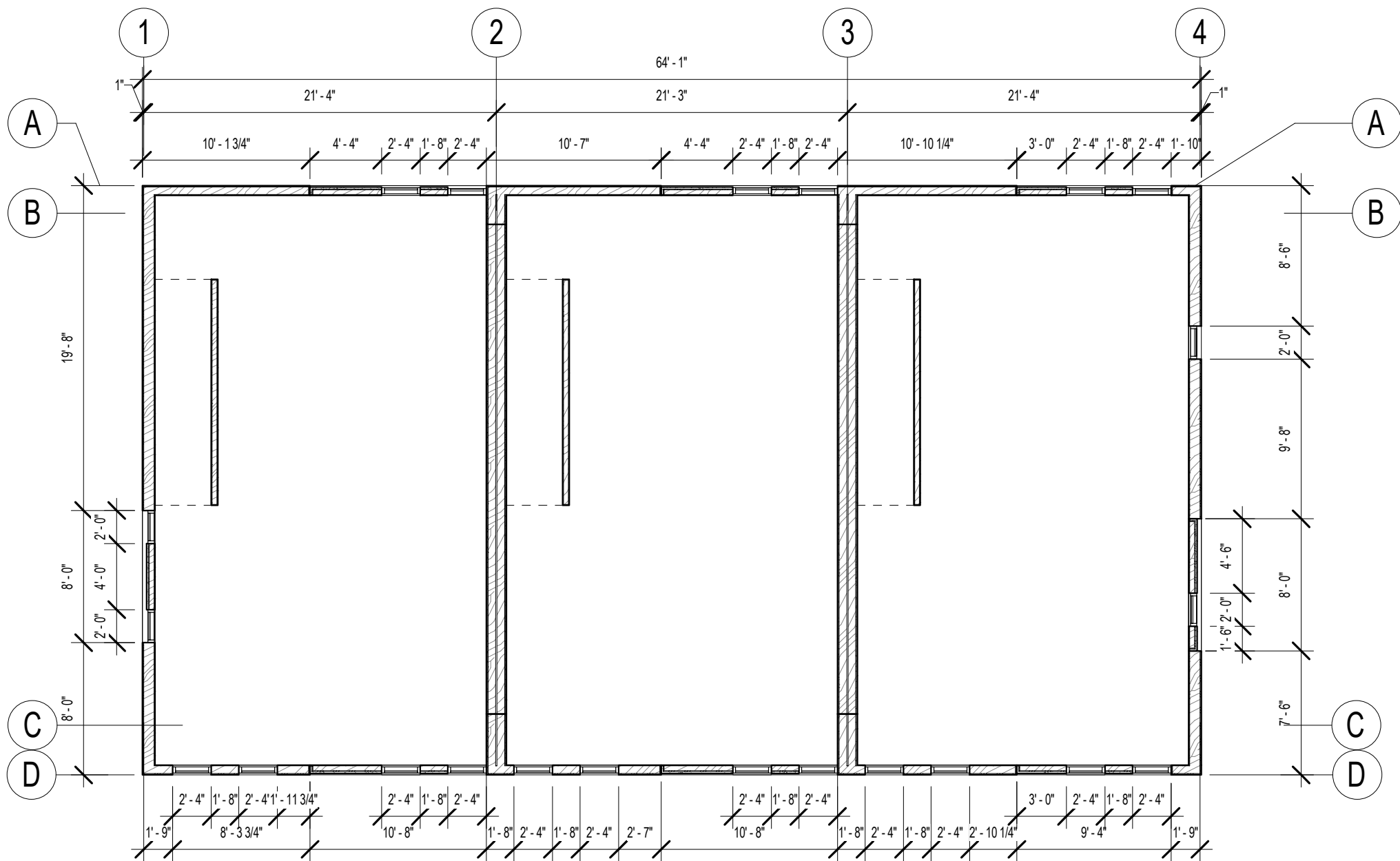
1. REFER TO ENLARGED PLANS AND EXTERIOR ELEVATIONS FOR UNIT LAYOUTS, DOOR AND WINDOW TAGS, WALL TYPES AND OTHER ADDITIONAL INFORMATION AND INTERIOR DIMENSIONS.
2. REFER TO FOUNDATION PLAN AND ENLARGED PLANS FOR COLUMN LOCATIONS.
3. CONTRACTOR TO VERIFY WITH ARCHITECT ANY DISCREPANCIES PRIOR TO BID.
4. SUBSTRATE FOR TILED WET AREAS SHALL CONFORM TO IRC R702.4.2
5. NONABSORBENT SURFACE SHALL EXTEND TO A MINIMUM 6" ABOVE THE FLOOR AT SHOWER LOCATIONS PER IRC R307.2
6. THE COMMON WALL SHARED BY TWO TOWNHOUSES SHALL BE CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS, OR VENTS IN THE CAVITY OF THE COMMON WALL PER R302.2
7. IF APPLICABLE PROVIDE MAKE-UP AIR FOR RANGE HOODS EXHAUSTING IN EXCESS OF 400CFM PER IRC M1503.4
8. FIRE RISER LOCATION MUST MAINTAIN A TEMPERATURE OF 40 DEGREES AND 12" FROM EXTERIOR FOUNDATIONS WALLS

PLUMBING

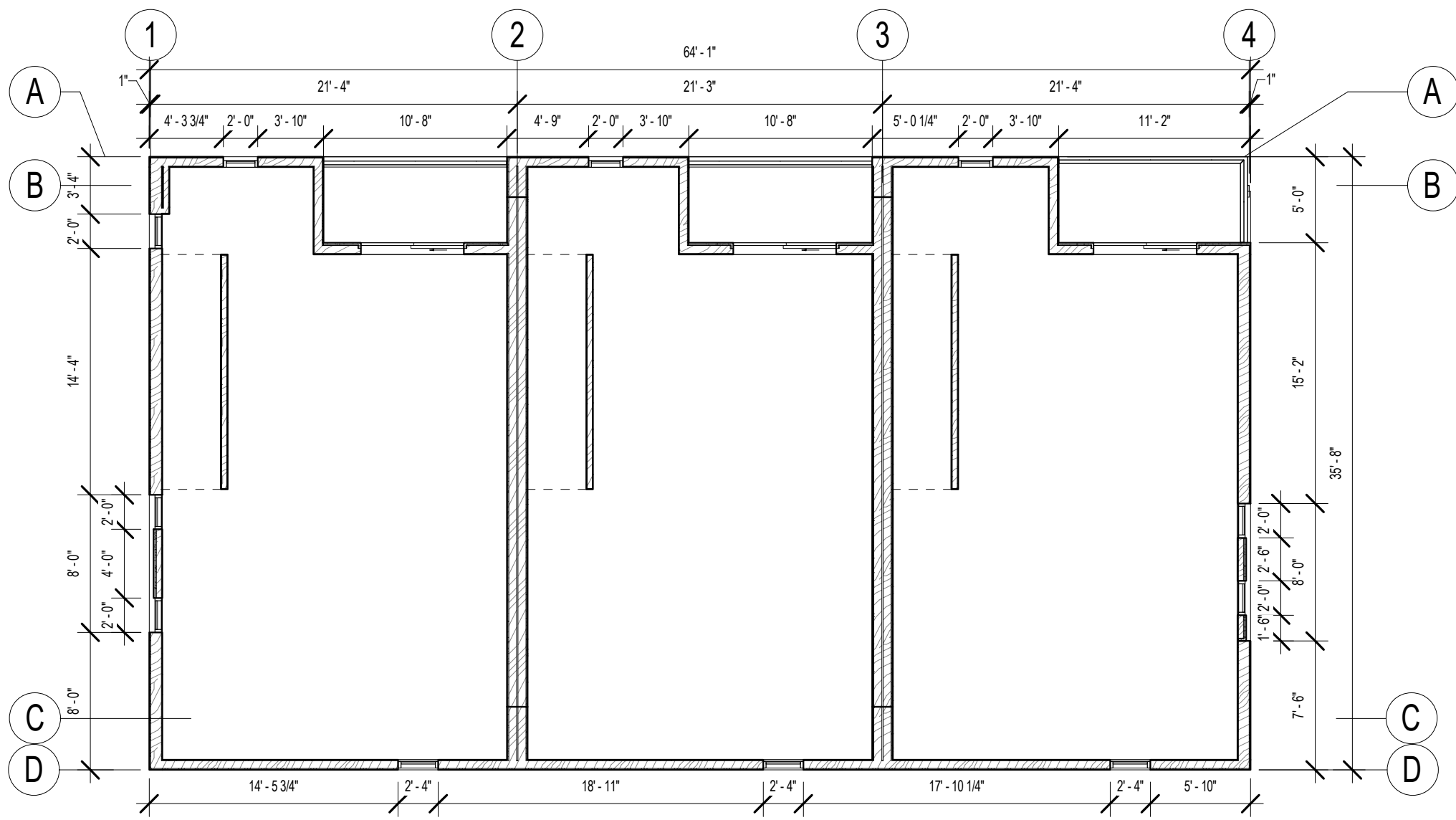
1. WATER HEATER TO BE SEISMICALLY BRACED PER IRC P2801.8
2. PROVIDE EXPANSION TANK PER IRC P2903.4
3. FLOOR DRAIN TO HAVE A MINIMUM THICKNESS 24 GAGE PER IRC P2801.6
4. WATER HEATER SOURCE OF IGNITION MUST BE AT A MINIMUM 18" ABOVE THE FLOOR PER IRC M1307.3 & PROTECTED FROM IMPACT PER IRC M1307.3.1
5. BACKWATER VALVES SHALL BE INSTALLED SO THAT THE WORKING PARTS ARE ACCESSIBLE FOR SERVICE AND REPAIR PER IRC P3008.5
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11. SHOWER ACCESS OPENINGS SHALL HAVE A CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF NOT LESS THAN 22 INCHES PER IRC P2708.1.1
12. WATER HEATER IN EACH UNIT WILL BE ELEVATED PER IRC M1307.3
13. MAXIMUM FLOW RATES AND CONSUMPTION OF FIXTURES PER IRC TABLE P2903.2

PSI

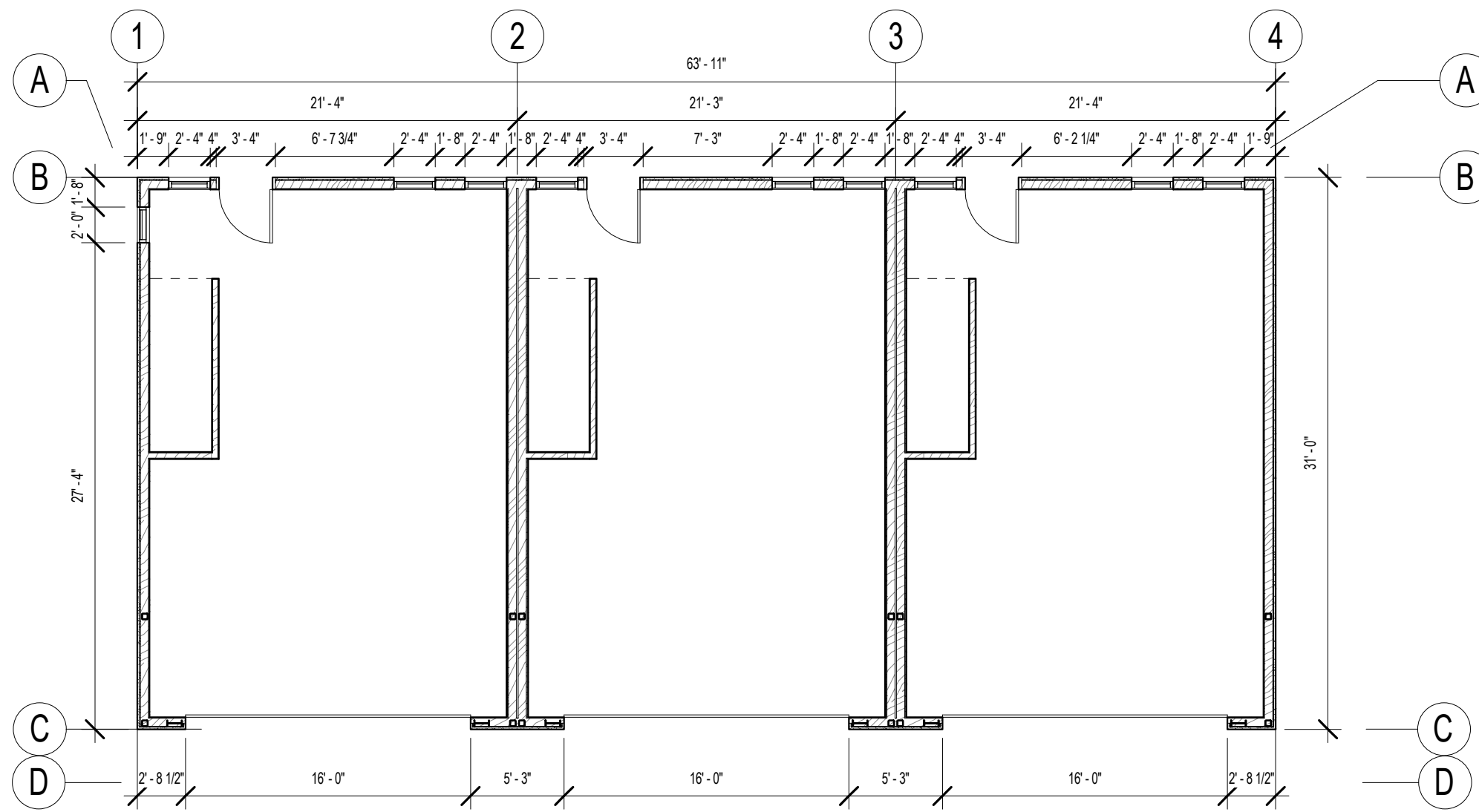
- A. LAVATORY FAUCET - 2.2 GPM AT 60
B. SHOWER HEAD - 2.5 GPM AT 80 PSI
C. SINK - 2.2 GPM AT 60 PSI
D. TOILET - 1.6 GALLONS PER FLUSH



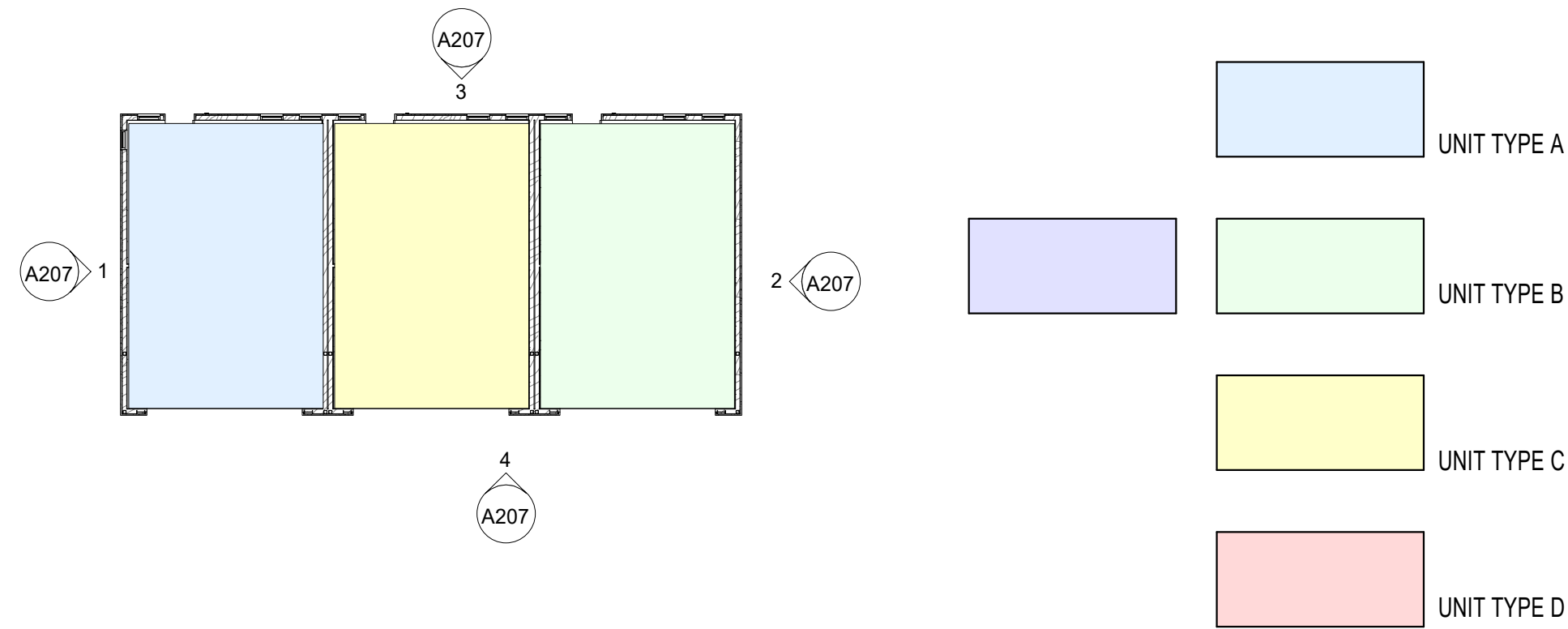
3 BUILDING 7 LEVEL 3
1/8" = 1'-0"



2 BUILDING 7 LEVEL 2
1/8" = 1'-0"



1 BUILDING 7 LEVEL 1
1/8" = 1'-0"



4 BUILDING 7 KEY PLAN
1/16" = 1'-0"

WALL

- 1 BOARD AND BATTEN HARDIE BOARD OVER 1/2" EXTERIOR GRADE PLYWOOD WITH AIR AND MOISTURE BARRIER OVER 2X6 WOOD STUD FRAMING, R-23 BIBS INSULATION, AND (1) LAYERS OF PAINTED 5/8" GYP. BD. ON THE INTERIOR, RE: EXTERIOR ELEVATIONS
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BUILDING TYPE 7

6,472 GROSS SF

3 TOWNHOUSE UNITS

CONDITIONED SPACE:	4,253 SF
HOSE BIB:	6 EXTERIOR
TOILETS:	9
SHOWER:	3
TUB:	3
SINKS:	12
DISHWASHER:	3
WASHER:	3
WATER HEATER:	3
HVAC SYSTEM:	3

GENERAL

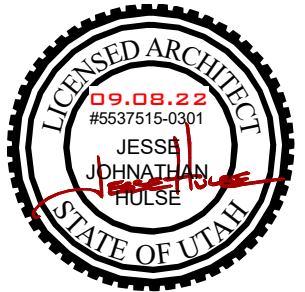
1. REFER TO ENLARGED PLANS AND EXTERIOR ELEVATIONS FOR UNIT LAYOUTS, DOOR AND WINDOW TAGS, WALL TYPES AND OTHER ADDITIONAL INFORMATION AND INTERIOR DIMENSIONS.
2. REFER TO FOUNDATION PLAN AND ENLARGED PLANS FOR COLUMN LOCATIONS.
3. CONTRACTOR TO VERIFY WITH ARCHITECT ANY DISCREPANCIES PRIOR TO BID.
4. SUBSTRATE FOR TILED WET AREAS SHALL CONFORM TO IRC R702.4.2
5. NONABSORBENT SURFACE SHALL EXTEND TO A MINIMUM 6" ABOVE THE FLOOR AT SHOWER LOCATIONS PER IRC R307.2
6. THE COMMON WALL SHARED BY TWO TOWNHOUSES SHALL BE CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS, OR VENTS IN THE CAVITY OF THE COMMON WALL PER R302.2
7. IF APPLICABLE PROVIDE MAKE-UP AIR FOR RANGE HOODS EXHAUSTING IN EXCESS OF 400CFM PER IRC M1503.4
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PLUMBING

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 2. PROVIDE EXPANSION TANK PER IRC P2903.4
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B. SHOWER HEAD - 2.5 GPM AT 80 PSI
C. SINK - 2.2 GPM AT 60 PSI
D. TOILET - 1.6 GALLONS PER FLUSH

ATLAS
ARCHITECTS, INC.

175 WEST 900 SOUTH
SLC, UT 84101
801.322.2724
WWW.ATLASARCHITECTS.COM



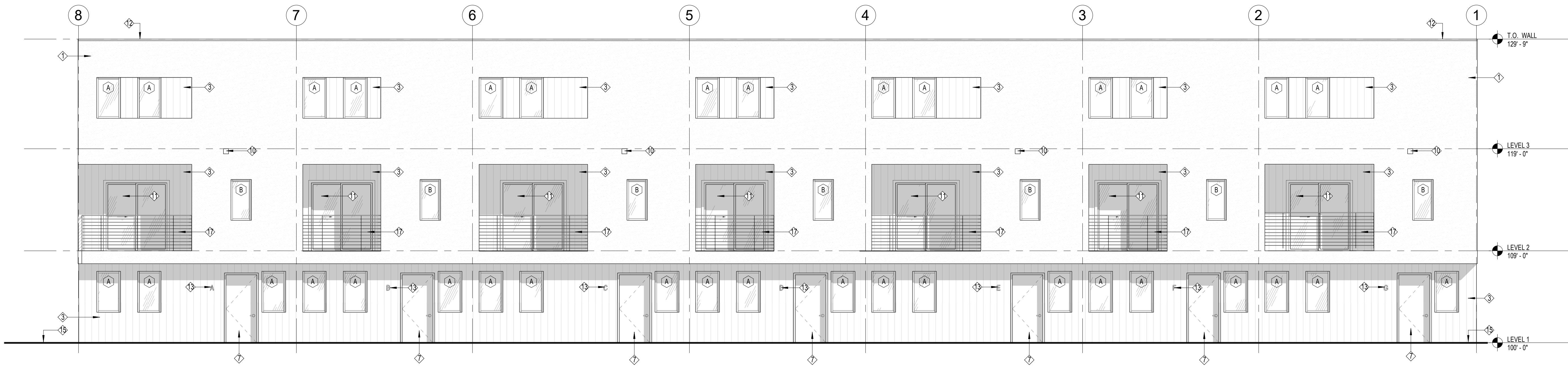
GLENDALE TOWNHOMES
1590 SOUTH 900 WEST
SALT LAKE CITY UTAH 84101

09.08.22

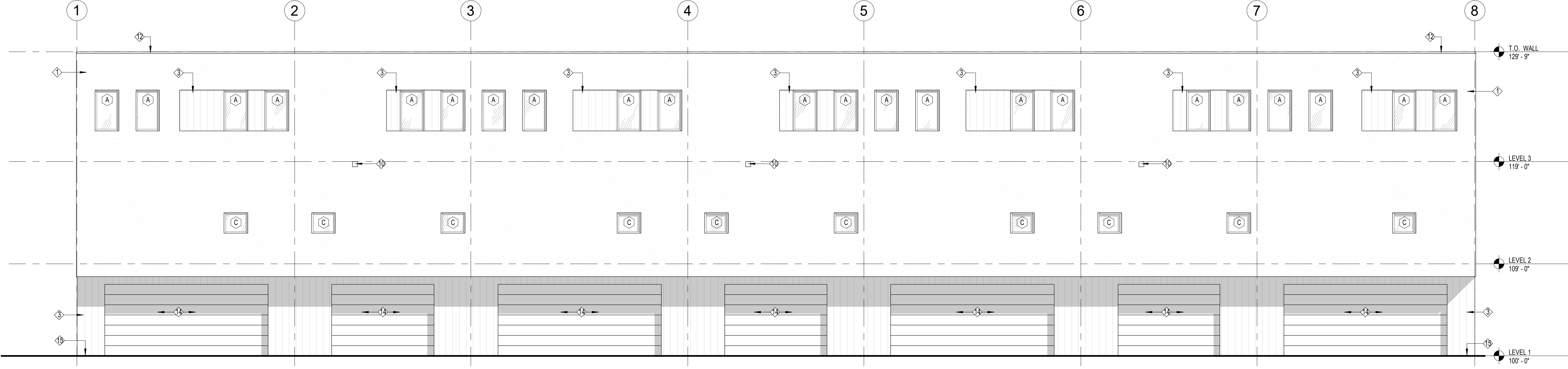
PD

BUILDING 7
DIMENSION
PLAN

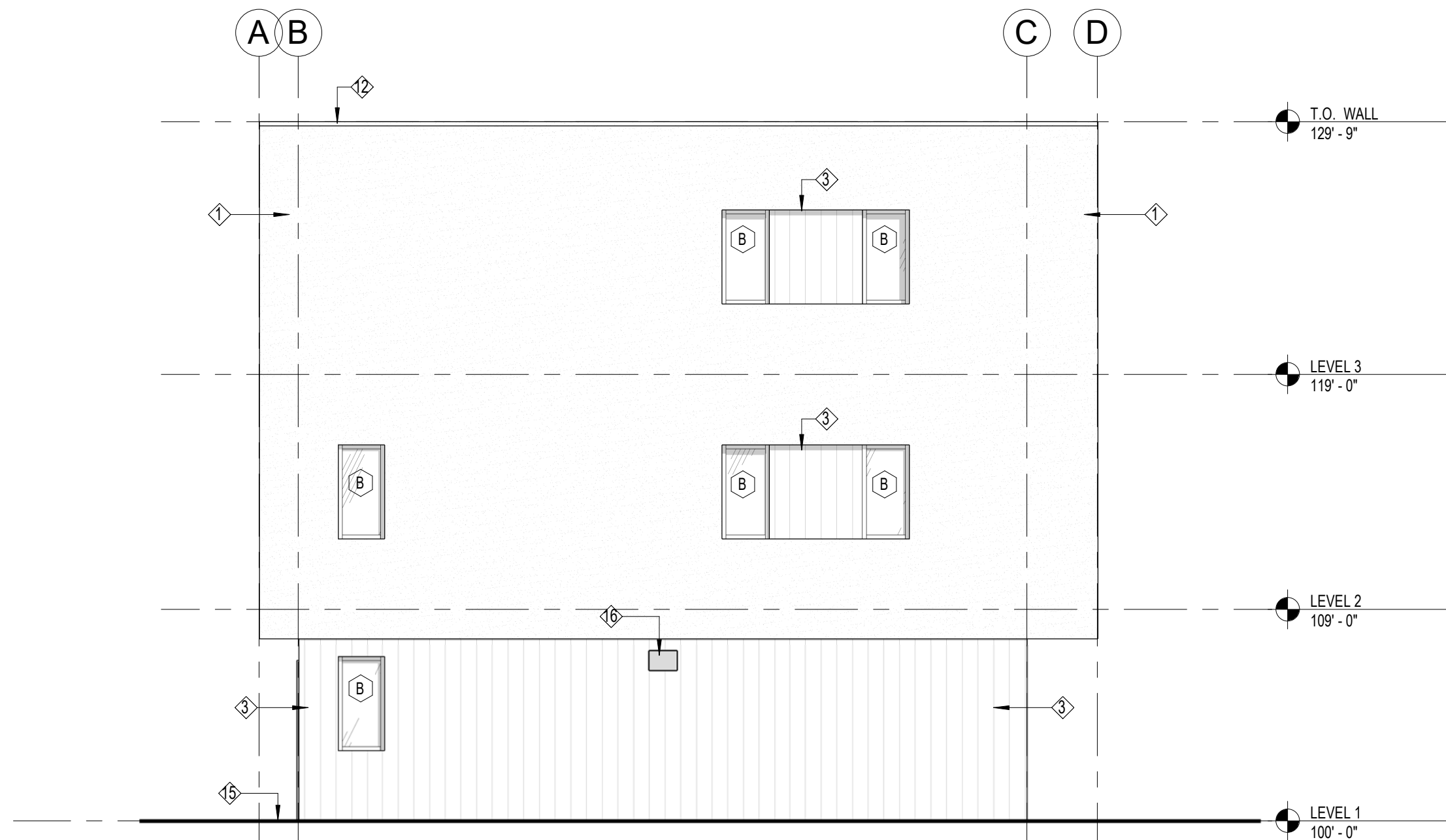
A109



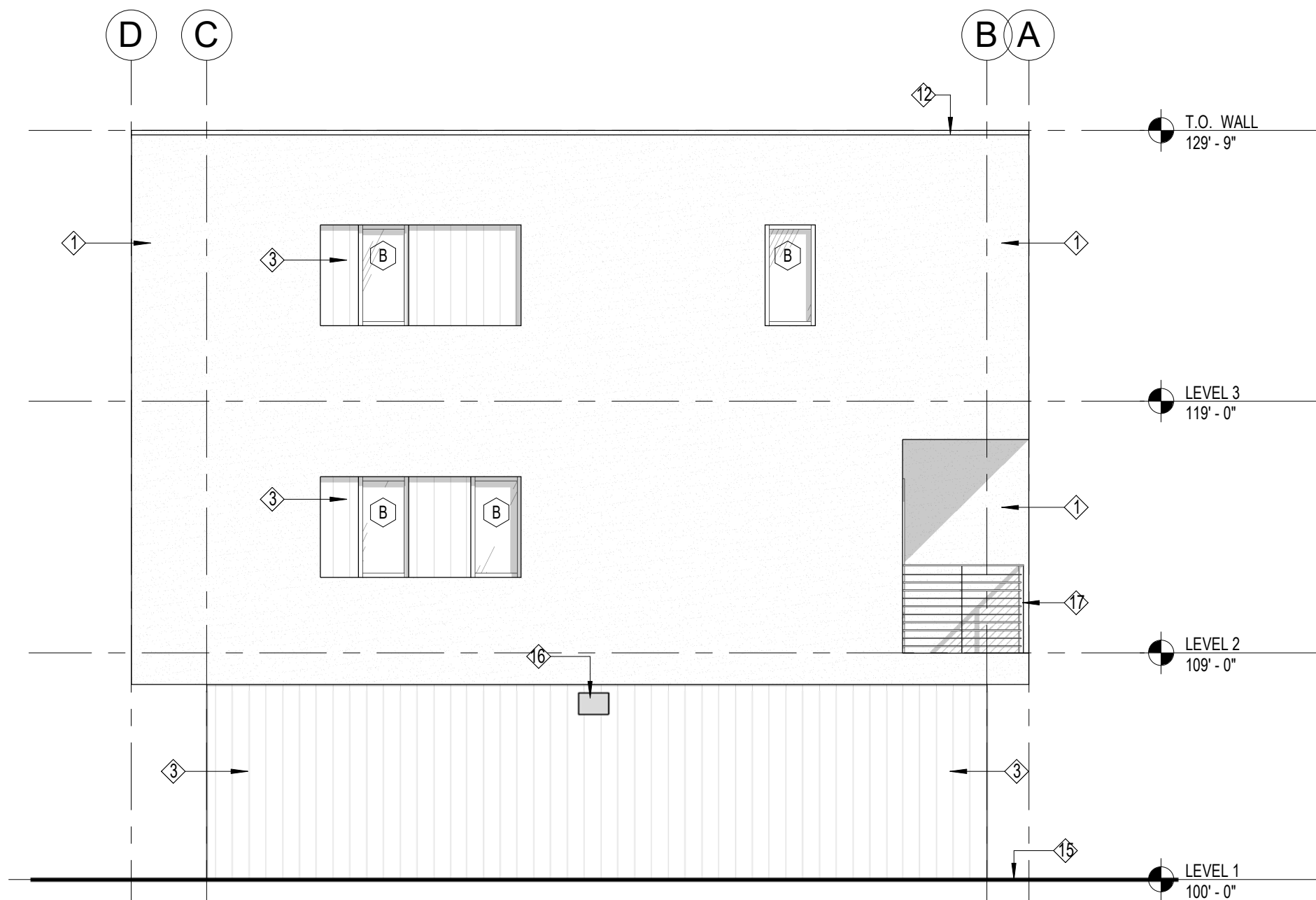
1 BUILDING 1 ENTRY ELEVATION
3/16" = 1'-0"



2 BUILDING 1 GARAGE ELEVATION
3/16" = 1'-0"



4 BUILDING 1 END ELEVATION A
3/16" = 1'-0"



3 BUILDING 1 END ELEVATION B
3/16" = 1'-0"

EXTERIOR ELEVATION KEYED NOTES

- 1 HARD COAT STUCCO FINISH, SMOOTH, COLOR: TOQUE WHITE SW7003
- 2 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: BATHE BLUE SW6771
- 3 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: LACEWING SW6729
- 4 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: ROSEBUD SW6288
- 5 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: OLEANDER SW6603
- 6 SOLID WOOD DOOR, COLOR: FRESHWATER SW6774
- 7 SOLID WOOD DOOR, COLOR: PICNIC SW6731
- 8 SOLID WOOD DOOR, COLOR: ROSE SW6290
- 9 SOLID WOOD DOOR, COLOR: CHARISMA SW6605
- 10 WHITE EXHAUST, TYP. ROUTE THROUGH FLOOR JOISTS
- 11 GLASS SLIDING DOOR, RE: DOOR SCHEDULE
- 12 PREFINISHED SHEET METAL COPING, COLOR: TOQUE WHITE SW7003
- 13 BLACK 6" HIGH BY 1" DEEP ADDRESS LETTERING
- 14 GARAGE DOOR, RE: DOOR SCHEDULE
- 15 FINISH GRADE, RE: CIVIL
- 16 EXTERIOR LIGHT
- 17 PAINTED GALVANIZED STEEL RAILING
- 18 METAL CLAD CANOPY
- 19 PLANTER BOX, WHERE OCCURS, ONLY AT BUILDINGS FACING 900 WEST, RE: SITE PLAN AND LANDSCAPING

EXTERIOR ELEVATION GENERAL NOTES

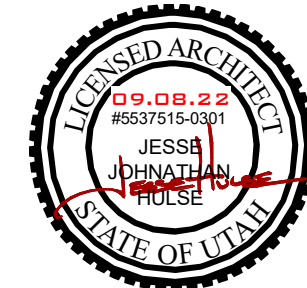
1. ALL EXPOSED MASONRY AND CONCRETE TO BE SEALED WITH GRAFFITI-REPELLENT - REF: SPEC SECTION CONTRACTOR TO COORDINATE LOCATION(S) OF KNOX BOX WITH FIRE MARSHALL.
2. COORDINATE HORIZONTAL METAL PANEL JOINT LOCATIONS WITH ARCHITECT
3. ALL UTILITY METERS OR EQUIPMENT ON EXT. SHALL BE PAINTED TO MATCH COLOR AS SELECTED BY ARCHITECT
4. CONTRACTOR SHALL PROVIDE MOCK UP OF BLOCK VENEER AND ALL ACM ASSEMBLIES
5. PROVIDE AN ADDRESS ON THE BUILDING WHICH IS ASSIGNED BY THE CITY ENGINEERING DEPT. THESE NUMBERS AND LETTERS SHALL BE VISIBLE FROM THE STREET. A MINIMUM OF 12" HIGH, AND A STROKE OF 1". ADDRESS SHALL BE IN CONTRASTING COLOR OF THE BACKGROUND.
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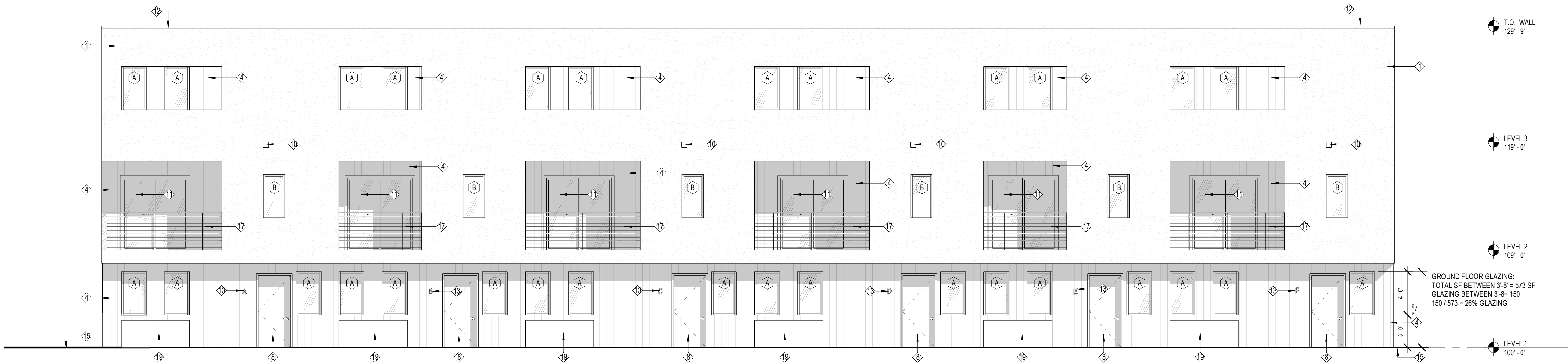
GLENDALE TOWNHOMES
1590 SOUTH 900 WEST
SALT LAKE CITY UTAH 84101

09.08.22

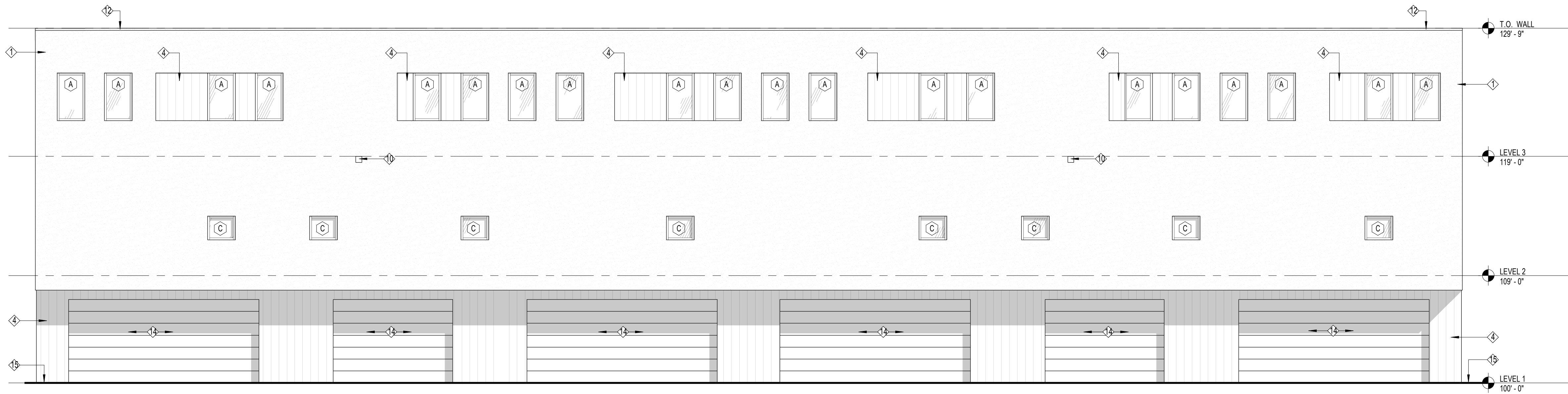
PD

BUILDING 1
ELEVATIONS

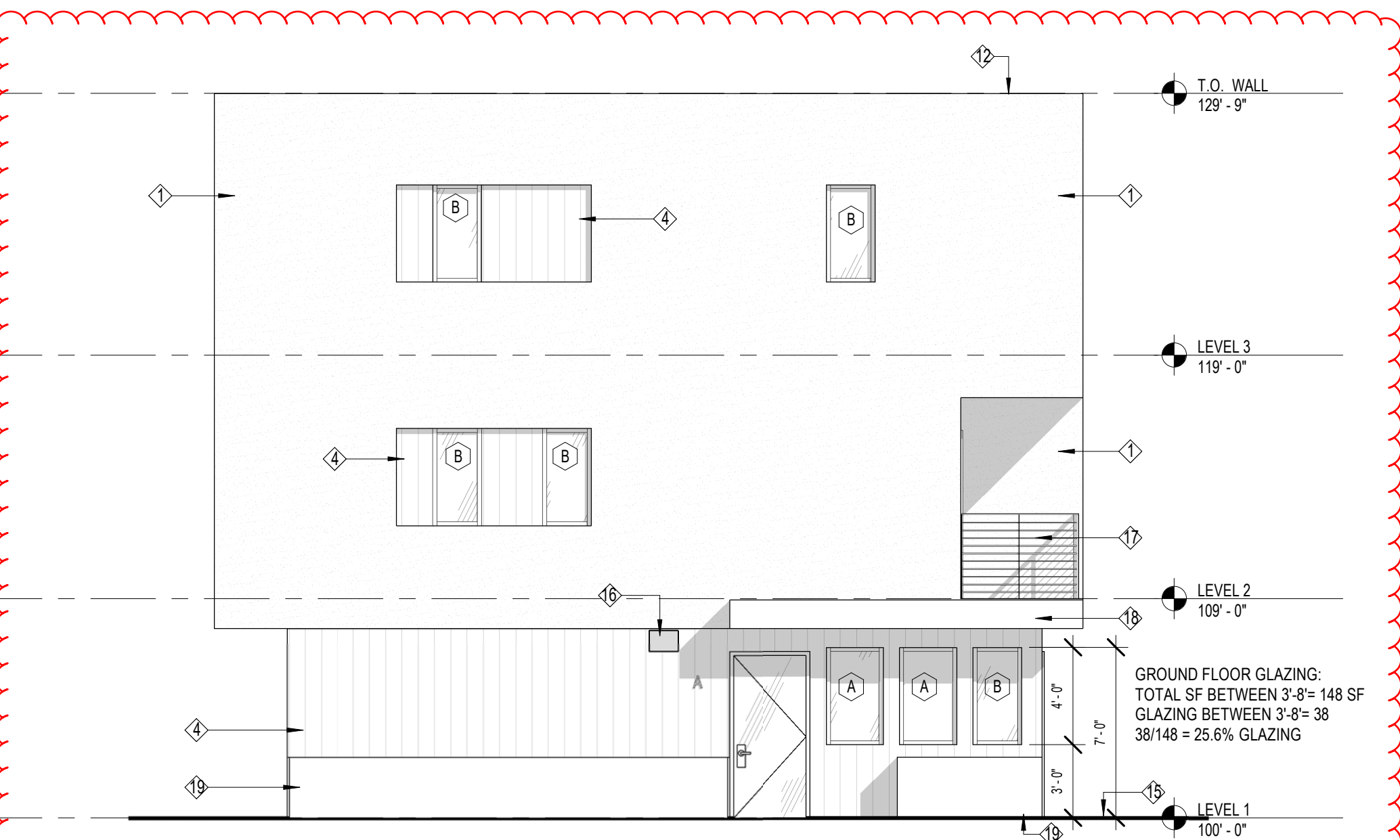
A201



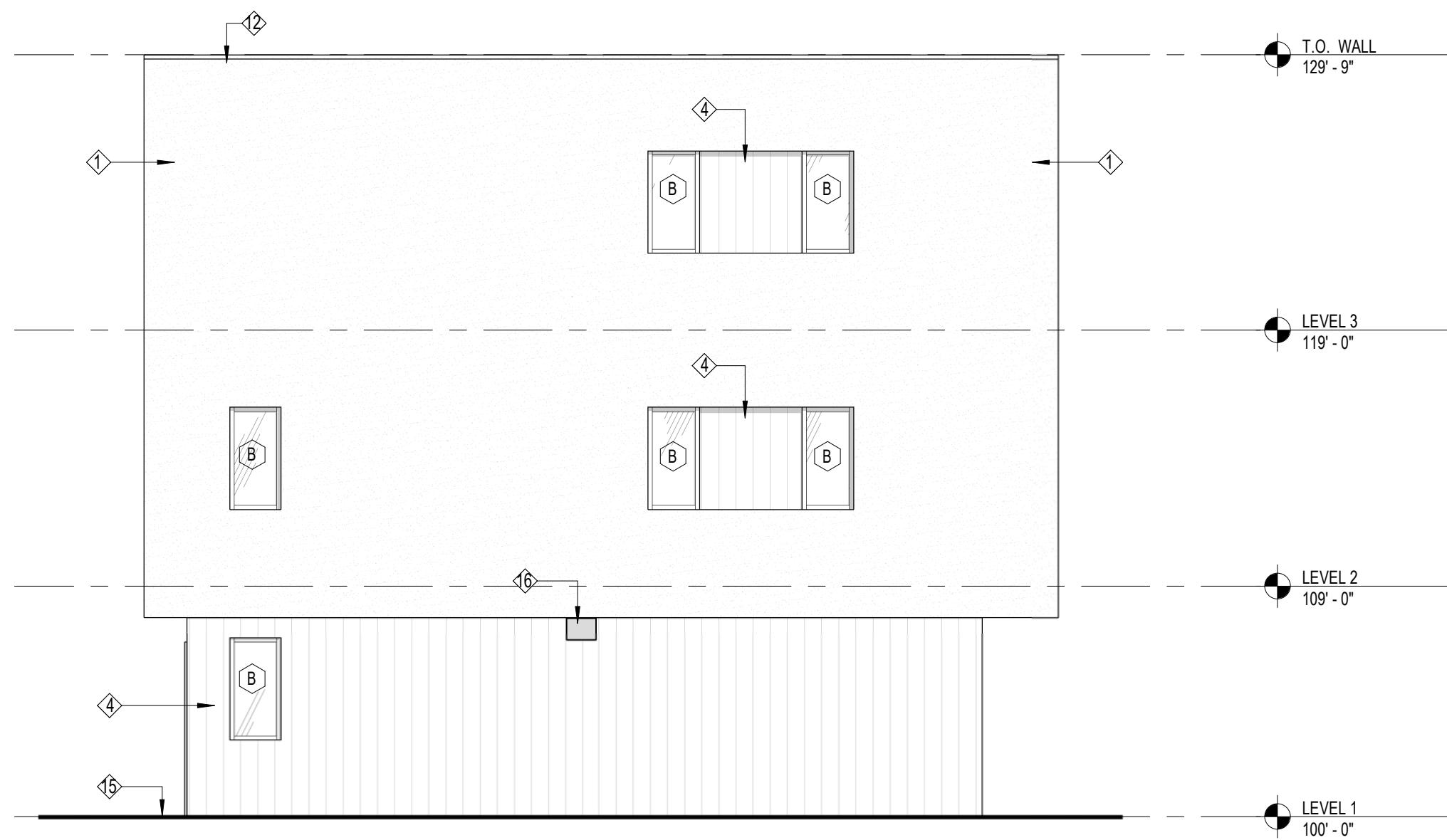
1 BUILDING 2 ENTRY ELEVATION
3/16" = 1'-0"



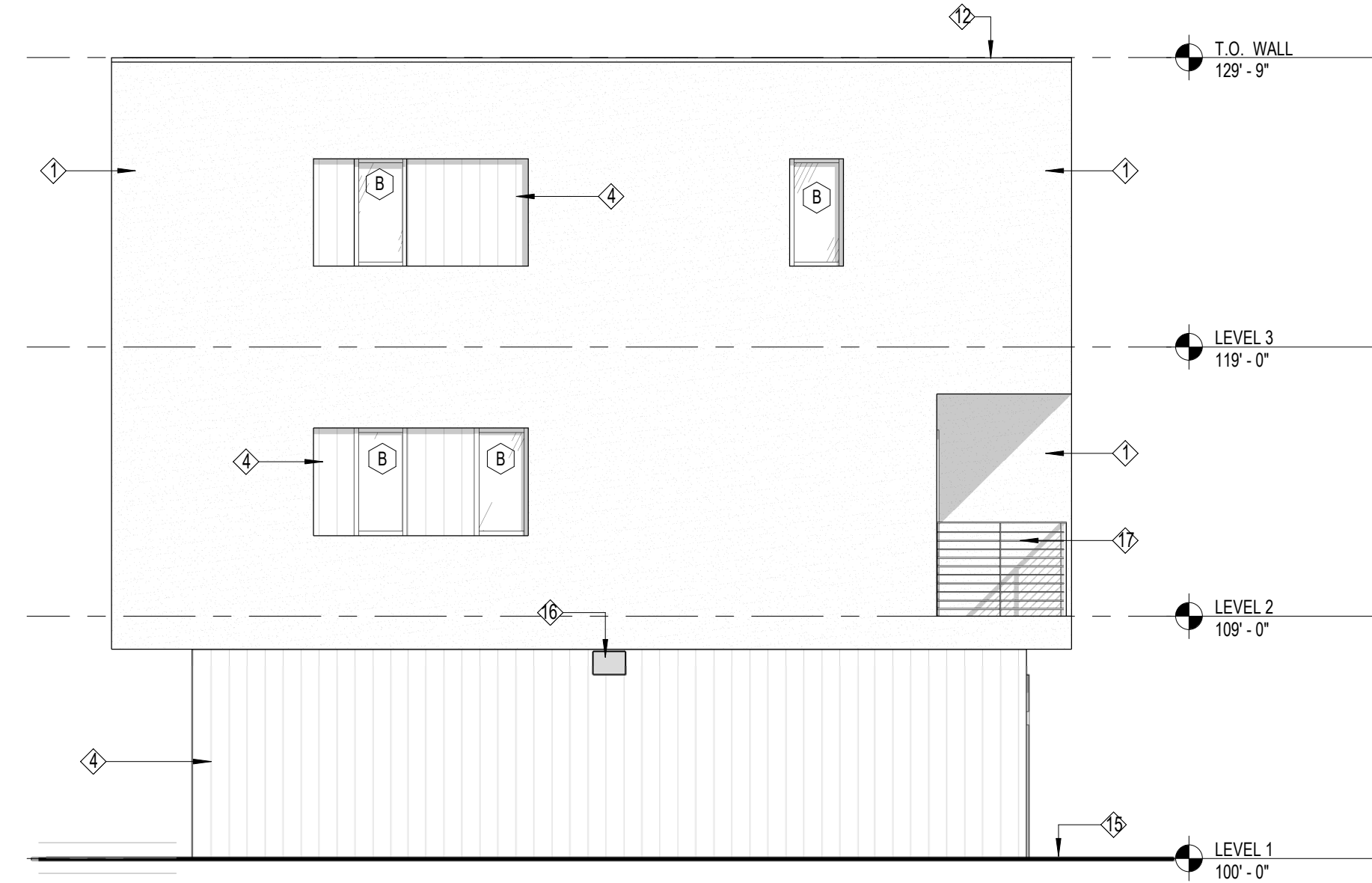
4 BUILDING 2 GARAGE ELEVATION
3/16" = 1'-0"



5 BUILDING 2 STREET FACING ELEVATION
3/16" = 1'-0"



2 BUILDING 2 END ELEVATION A
3/16" = 1'-0"



3 BUILDING 2 END ELEVATION B
3/16" = 1'-0"

EXTERIOR ELEVATION KEYED NOTES

- 1 HARD COAT STUCCO FINISH, SMOOTH, COLOR: TOQUE WHITE SW7003
- 2 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: BATHE BLUE SW6771
- 3 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: LACEWING SW6729
- 4 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: ROSEBUD SW6288
- 5 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: OLEANDER SW6603
- 6 SOLID WOOD DOOR, COLOR: FRESHWATER SW6774
- 7 SOLID WOOD DOOR, COLOR: PICNIC SW6731
- 8 SOLID WOOD DOOR, COLOR: ROSE SW6290
- 9 SOLID WOOD DOOR, COLOR: CHARISMA SW6605
- 10 WHITE EXHAUST, TYP. ROUTE THROUGH FLOOR JOISTS
- 11 GLASS SLIDING DOOR, RE: DOOR SCHEDULE
- 12 PREFINISHED SHEET METAL COPING, COLOR: TOQUE WHITE SW7003
- 13 BLACK 6" HIGH BY 1" DEEP ADDRESS LETTERING
- 14 GARAGE DOOR, RE: DOOR SCHEDULE
- 15 FINISH GRADE, RE: CIVIL
- 16 EXTERIOR LIGHT
- 17 PAINTED GALVANIZED STEEL RAILING
- 18 METAL CLAD CANOPY
- 19 PLANTER BOX, WHERE OCCURS, ONLY AT BUILDINGS FACING 900 WEST, RE: SITE PLAN AND LANDSCAPING

EXTERIOR ELEVATION GENERAL NOTES

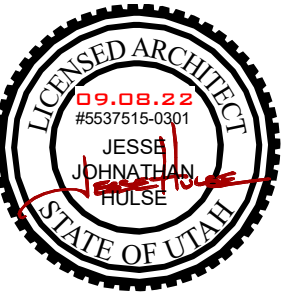
1. ALL EXPOSED MASONRY AND CONCRETE TO BE SEALED WITH GRAFFITI-REPELLENT - REF: SPEC SECTION
2. CONTRACTOR TO COORDINATE LOCATION(S) OF KNOX BOX WITH FIRE MARSHALL
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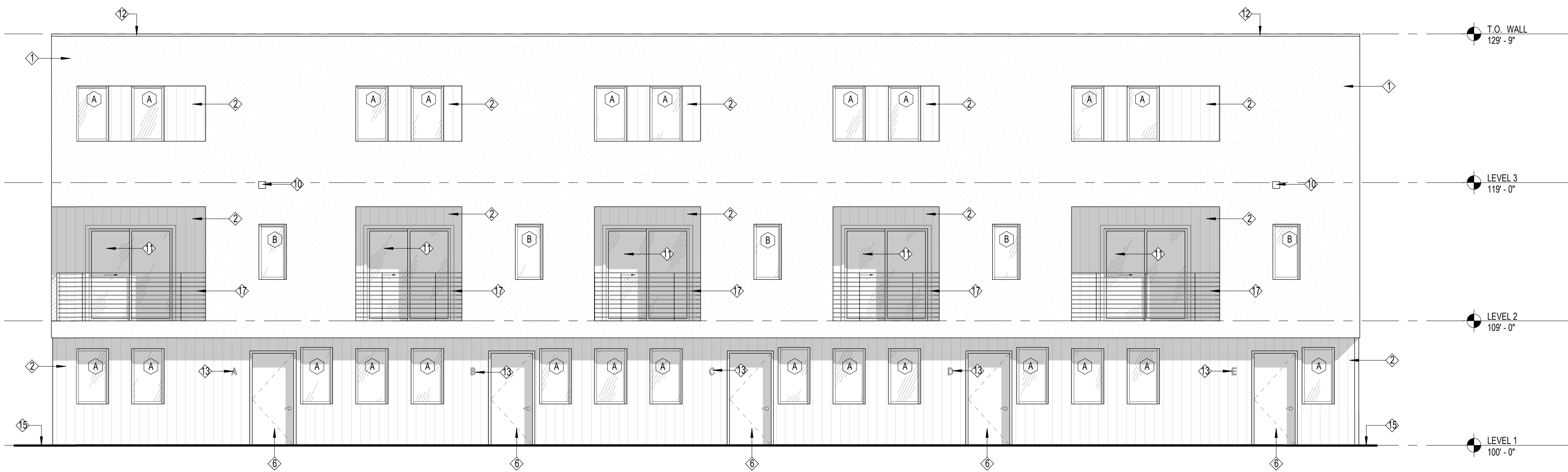
GLENDALE TOWNHOMES
1590 SOUTH 900 WEST
SALT LAKE CITY UTAH 84101

09.08.22

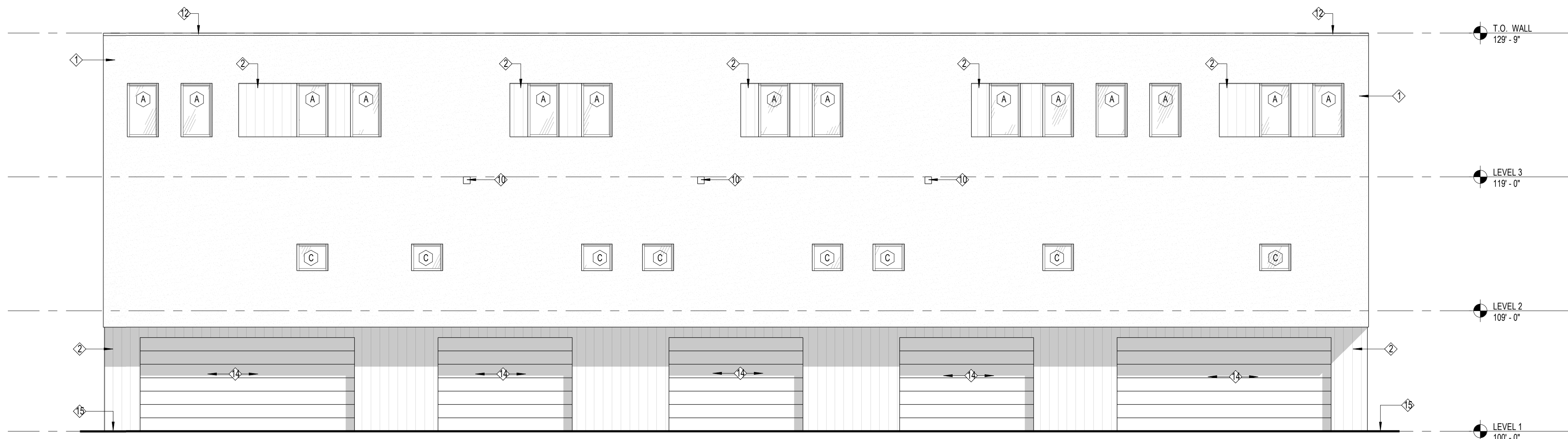
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BUILDING 2
ELEVATIONS

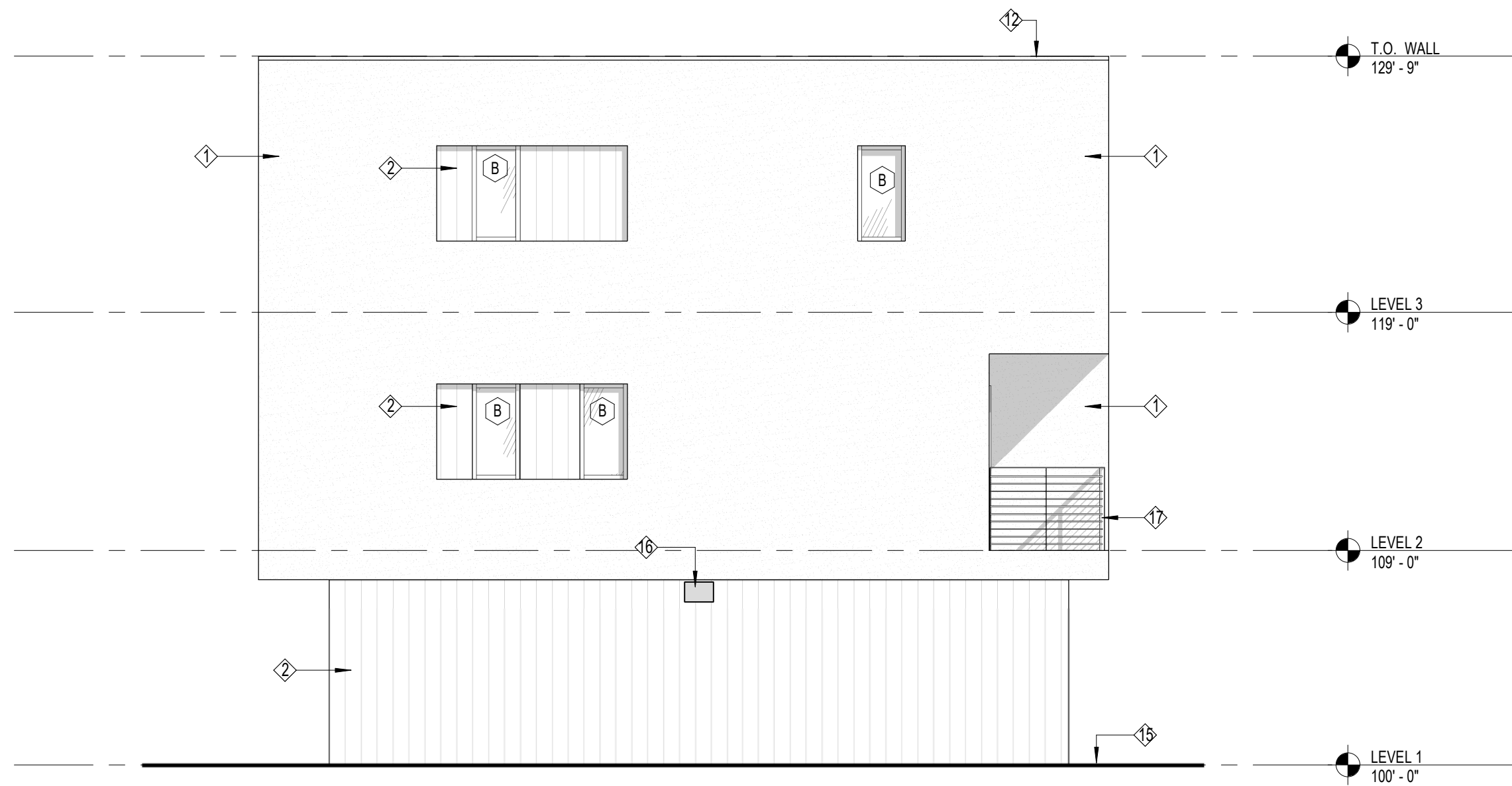
A202



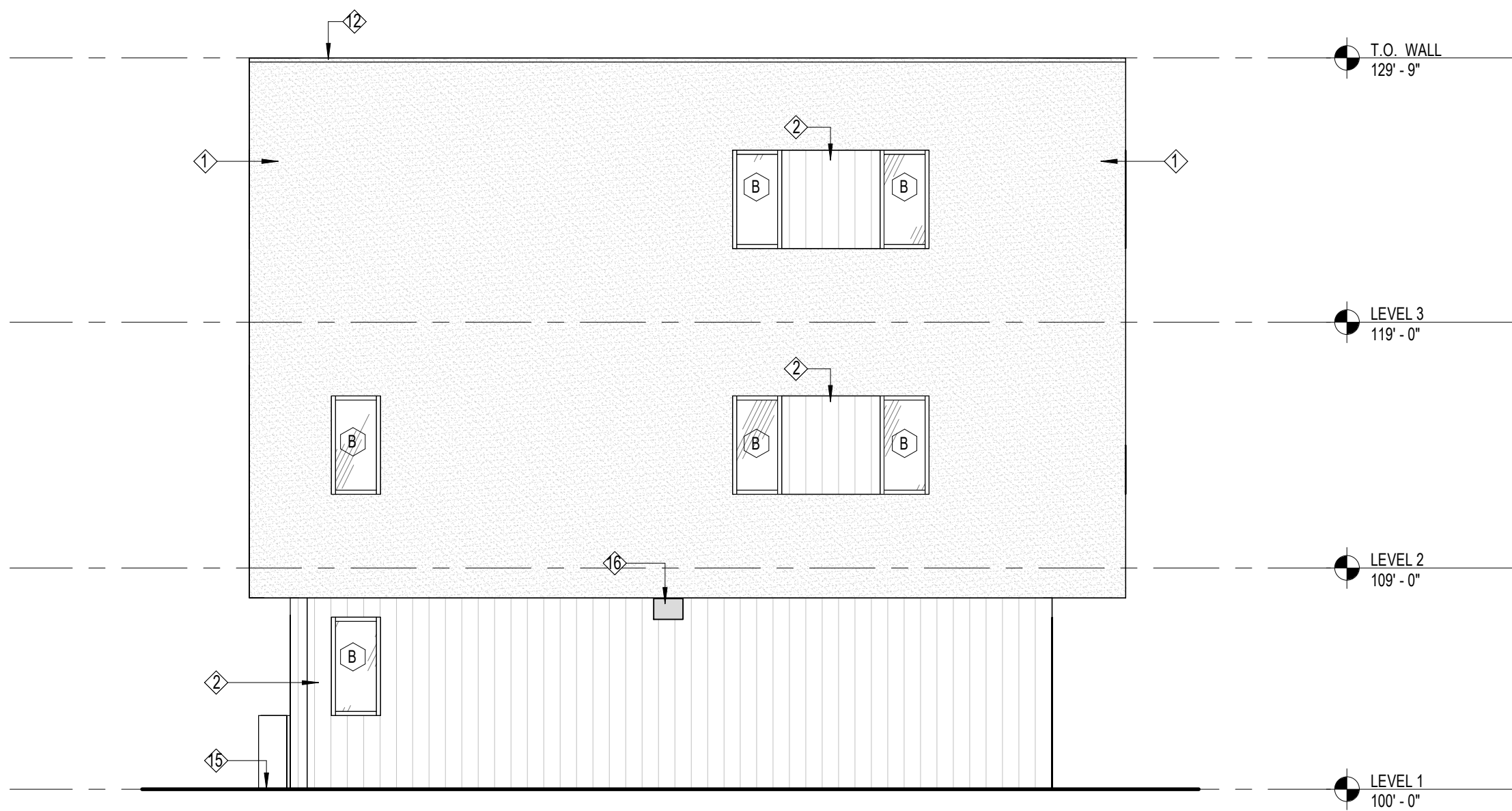
3 BUILDING 3 ENTRY ELEVATION
3/16" = 1'-0"



4 BUILDING 3 GARAGE ELEVATION
3/16" = 1'-0"



2 BUILDING 3 END ELEVATION B
3/16" = 1'-0"



1 BUILDING 3 END ELEVATION A
3/16" = 1'-0"

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- 2 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: BATHE BLUE SW6771
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- 11 GLASS SLIDING DOOR, RE: DOOR SCHEDULE
- 12 PREFINISHED SHEET METAL COPING, COLOR: TOQUE WHITE SW7003
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- 14 GARAGE DOOR, RE: DOOR SCHEDULE
- 15 FINISH GRADE, RE: CIVIL
- 16 EXTERIOR LIGHT
- 17 PAINTED GALVANIZED STEEL RAILING
- 18 METAL CLAD CANOPY
- 19 PLANTER BOX, WHERE OCCURS, ONLY AT BUILDINGS FACING 900 WEST, RE: SITE PLAN AND LANDSCAPING

EXTERIOR ELEVATION GENERAL NOTES

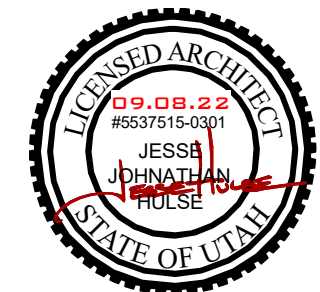
1. ALL EXPOSED MASONRY AND CONCRETE TO BE SEALED WITH GRAFFITI-REPELLENT - REF: SPEC SECTION CONTRACTOR TO COORDINATE LOCATION(S) OF KNOX BOX WITH FIRE MARSHALL.
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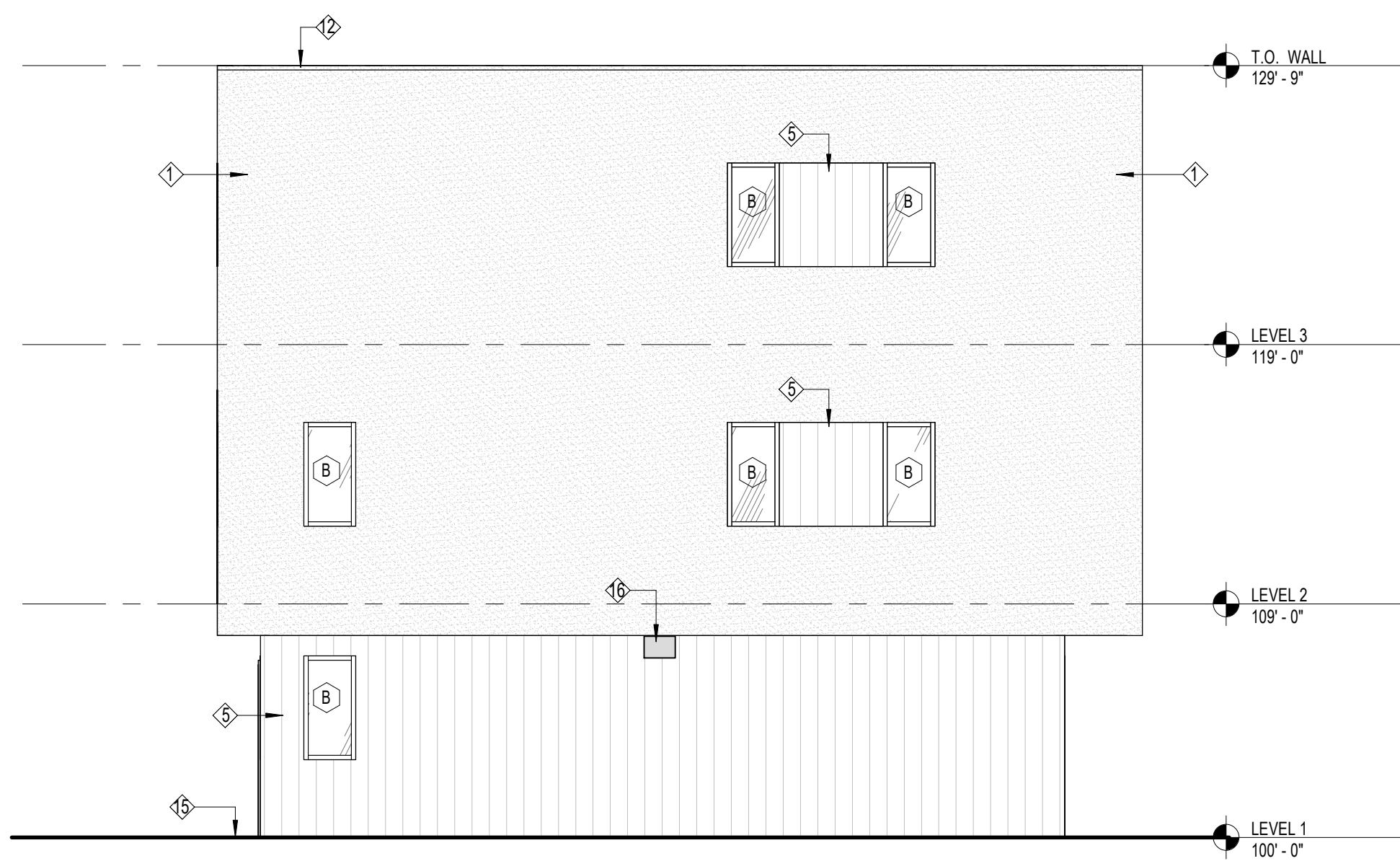
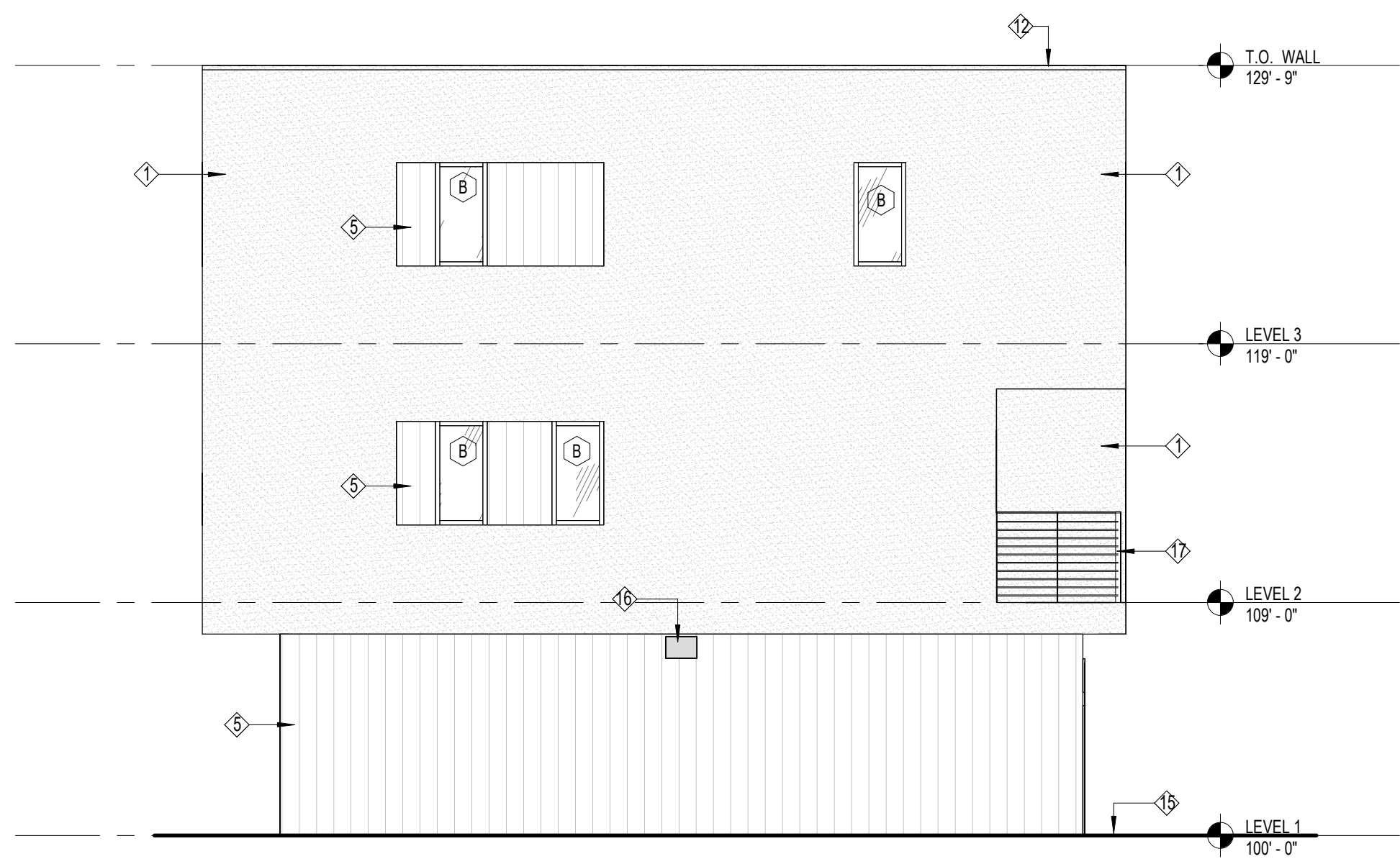
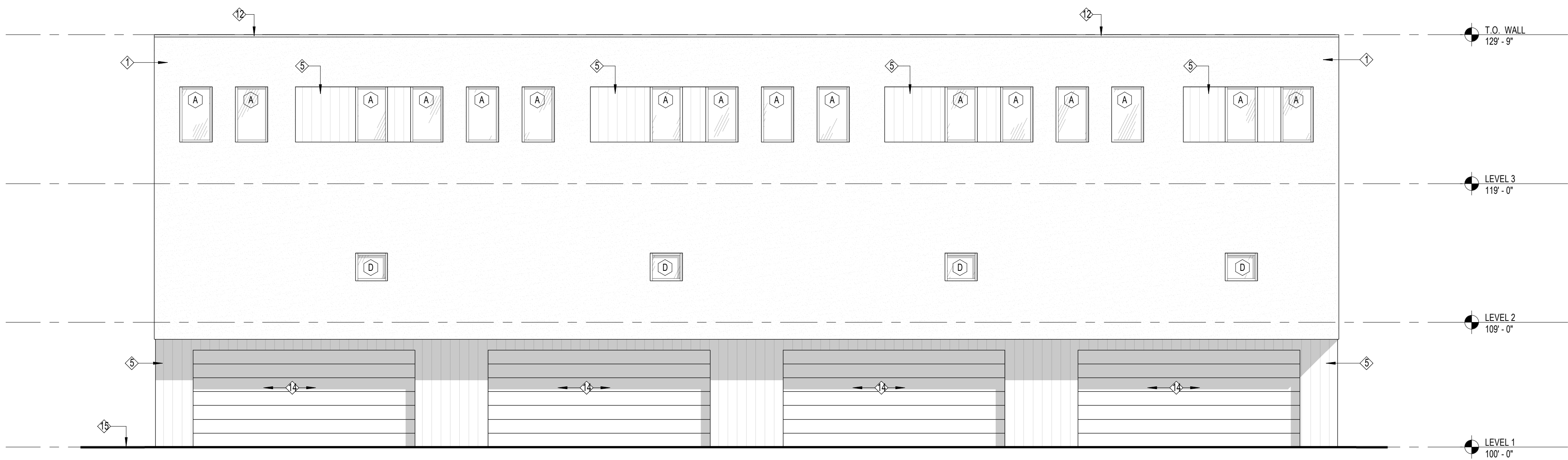
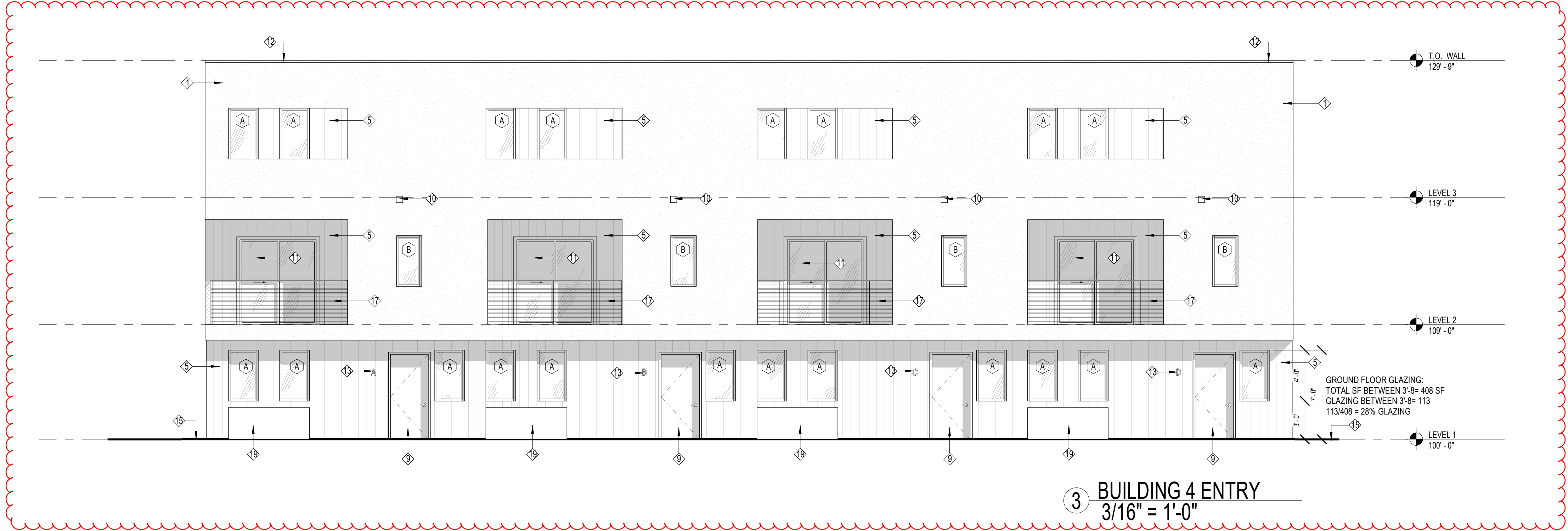
GLENDALE TOWNHOMES
1590 SOUTH 900 WEST
SALT LAKE CITY UTAH 84101

09.08.22

PD

BUILDING 3
ELEVATIONS

A203



EXTERIOR ELEVATION KEYED NOTES	
1	HARD COAT STUCCO FINISH, SMOOTH, COLOR: TOQUE WHITE SW7003
2	HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: BATHE BLUE SW6771
3	HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: LACEWING SW6729
4	HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: ROSEBUD SW6288
5	HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: OLEANDER SW6603
6	SOLID WOOD DOOR, COLOR: FRESHWATER SW6774
7	SOLID WOOD DOOR, COLOR: PICNIC SW6731
8	SOLID WOOD DOOR, COLOR: ROSE SW6290
9	SOLID WOOD DOOR, COLOR: CHARISMA SW6605
10	WHITE EXHAUST, TYP. ROUTE THROUGH FLOOR JOISTS
11	GLASS SLIDING DOOR, RE: DOOR SCHEDULE
12	PREFINISHED SHEET METAL COPING, COLOR: TOQUE WHITE SW7003
13	BLACK 6" HIGH BY 1" DEEP ADDRESS LETTERING
14	GARAGE DOOR, RE: DOOR SCHEDULE
15	FINISH GRADE, RE: CIVIL
16	EXTERIOR LIGHT
17	PAINTED GALVANIZED STEEL RAILING
18	METAL CLAD CANOPY
19	PLANTER BOX, WHERE OCCURS, ONLY AT BUILDINGS FACING 900 WEST, RE: SITE PLAN AND LANDSCAPING
EXTERIOR ELEVATION GENERAL NOTES	
1.	ALL EXPOSED MASONRY AND CONCRETE TO BE SEALED WITH GRAFFITI-REPELLENT - REF: SPEC SECTION CONTRACTOR TO COORDINATE LOCATION(S) OF KNOX BOX WITH FIRE MARSHALL.
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4.	CONTRACTOR SHALL PROVIDE MOCK UP OF BLOCK VENEER AND ALL ACM ASSEMBLIES
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LICENSED ARCHITECT
JESSA J. HANATHAN
#6537515-0301
JANUARY 14, 2018
STATE OF UTAH

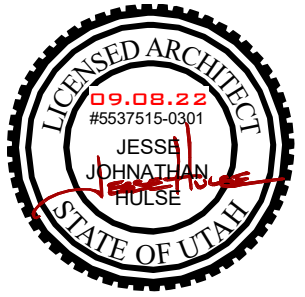
GLENDALE TOWNHOMES
1590 SOUTH 900 WEST
SALT LAKE CITY UTAH 84101

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BUILDING 4
ELEVATIONS

A204



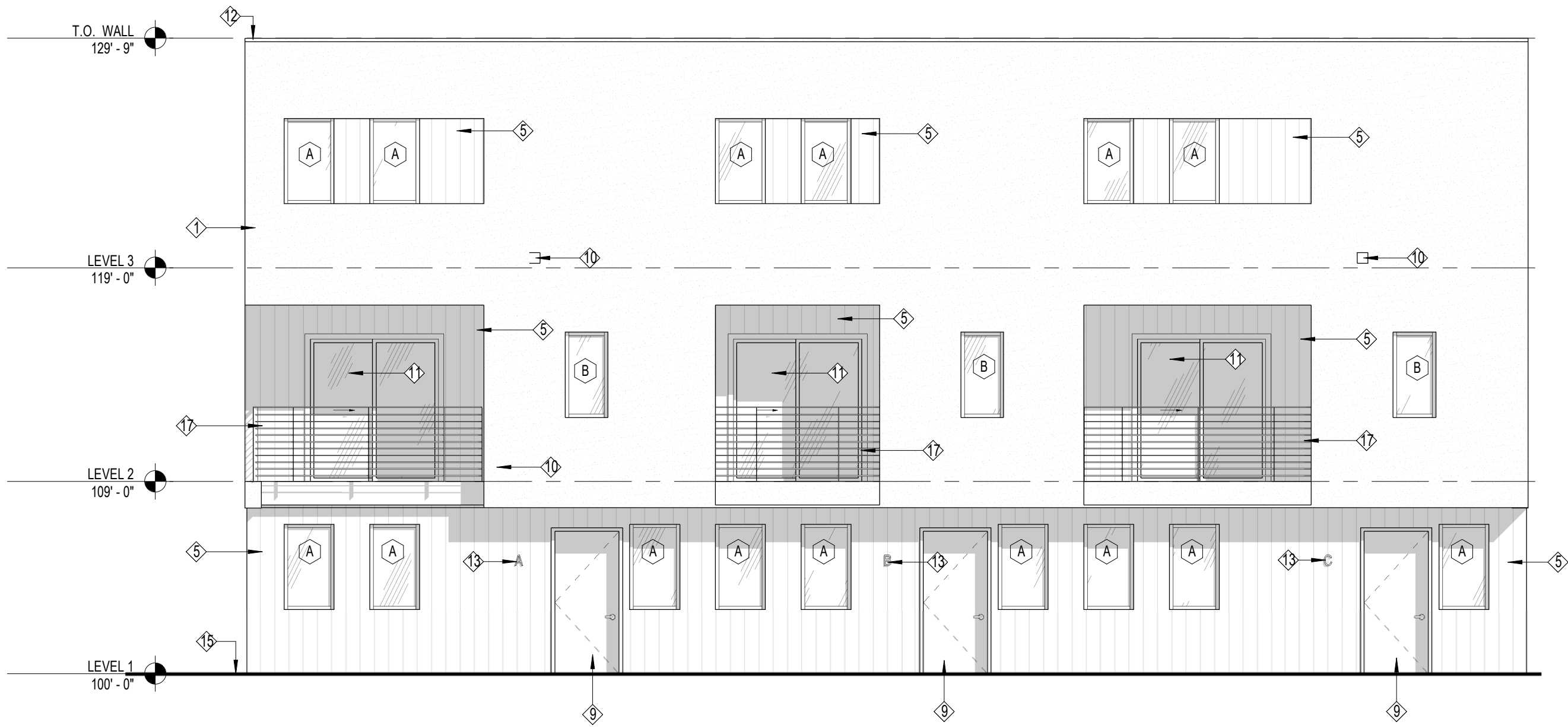
GLENDALE TOWNHOMES
1590 SOUTH 900 WEST
SALT LAKE CITY UTAH 84101

09.08.22

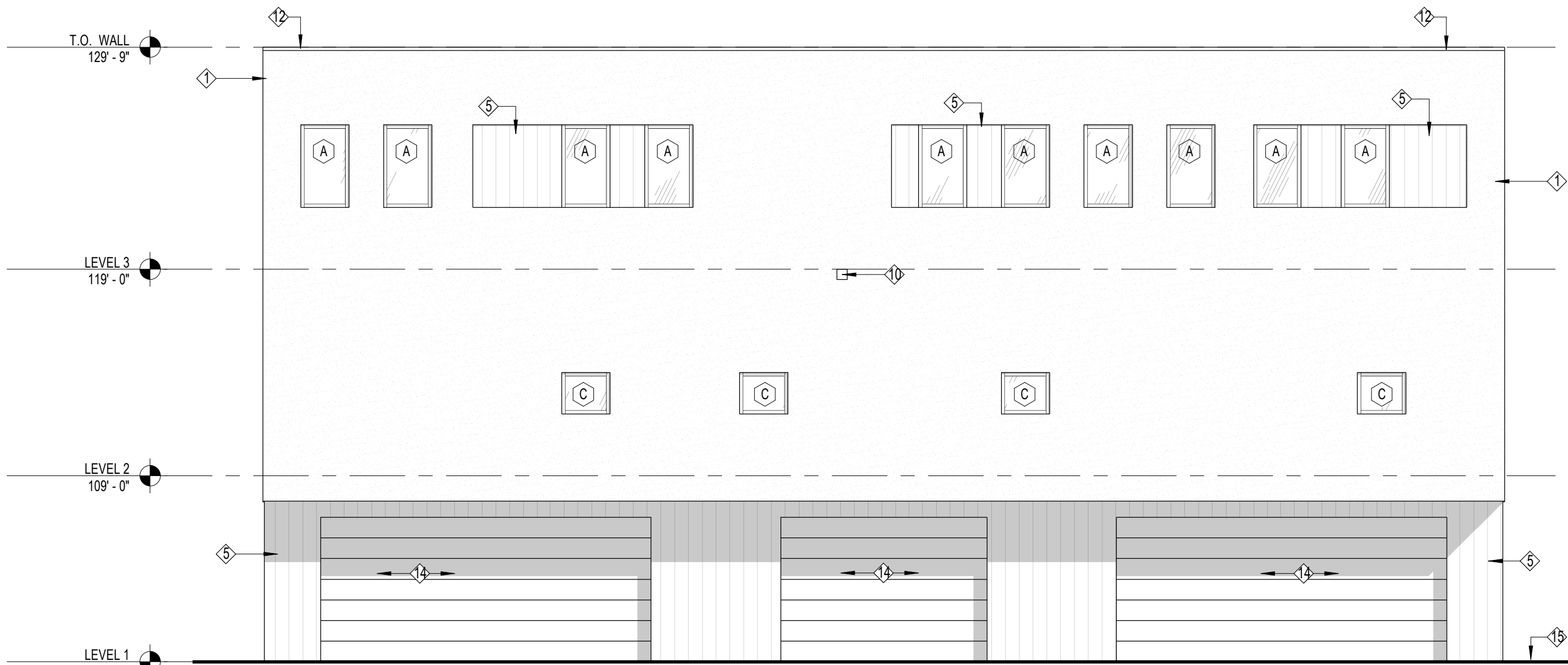
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BUILDING 5
ELEVATIONS

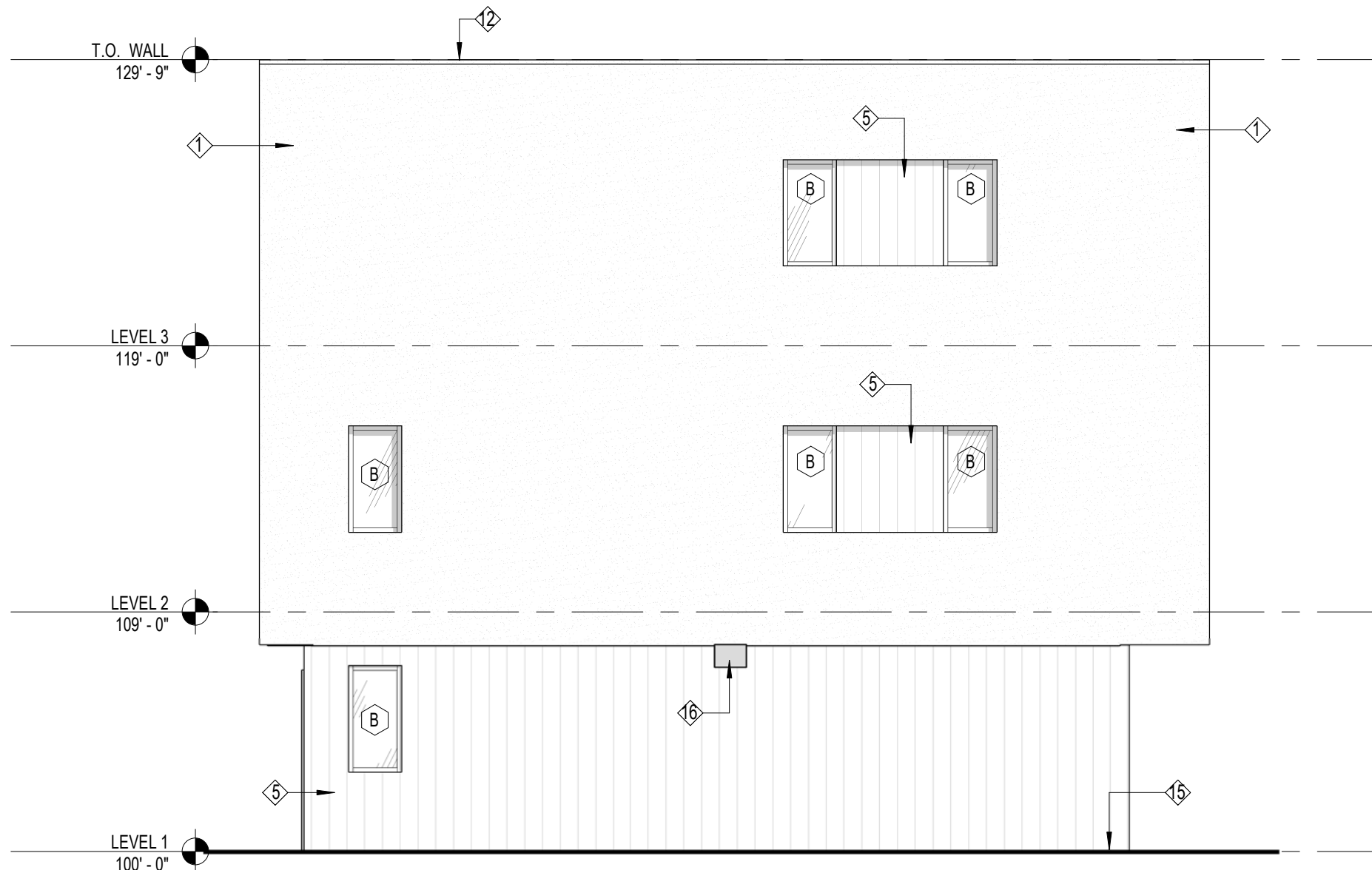
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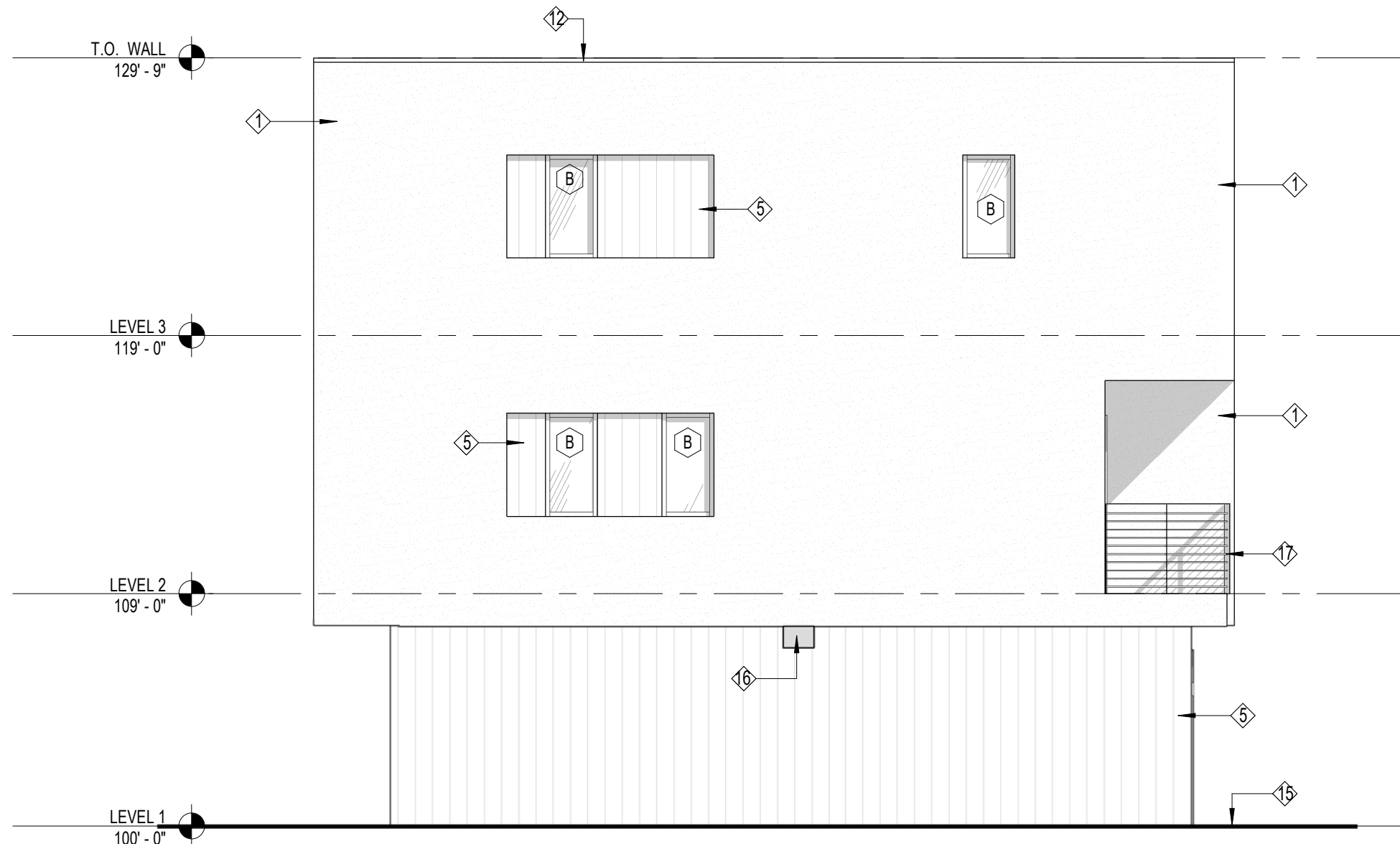
1 BUILDING 5 ENTRY
3/16" = 1'-0"



2 BUILDING 5 GARAGE
3/16" = 1'-0"



3 BUILDING 5 END A
3/16" = 1'-0"



4 BUILDING 5 END B
3/16" = 1'-0"

EXTERIOR ELEVATION KEYED NOTES

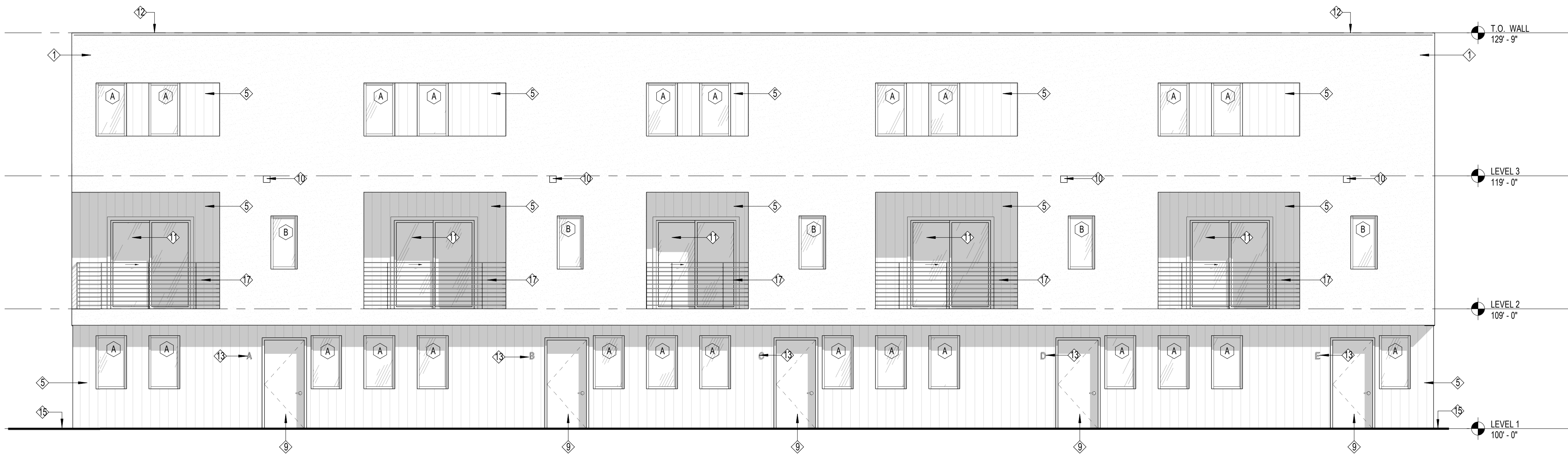
- 1 HARD COAT STUCCO FINISH, SMOOTH, COLOR: TOQUE WHITE SW7003
- 2 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: BATHE BLUE SW6771
- 3 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: LACEWING SW6729
- 4 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: ROSEBUD SW6286
- 5 HARDI BOARD OVER SCHEDULED WALL ASSEMBLY, COLOR: OLEANDER SW6603
- 6 SOLID WOOD DOOR, COLOR: FRESHWATER SW6774
- 7 SOLID WOOD DOOR, COLOR: PICNIC SW6731
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- 10 WHITE EXHAUST, TYP. ROUTE THROUGH FLOOR JOISTS
- 11 GLASS SLIDING DOOR, RE: DOOR SCHEDULE
- 12 PREFINISHED SHEET METAL COPING, COLOR: TOQUE WHITE SW7003
- 13 BLACK 6" HIGH BY 1" DEEP ADDRESS LETTERING
- 14 GARAGE DOOR, RE: DOOR SCHEDULE
- 15 FINISH GRADE, RE: CIVIL
- 16 EXTERIOR LIGHT
- 17 PAINTED GALVANIZED STEEL RAILING
- 18 METAL CLAD CANOPY
- 19 PLANTER BOX, WHERE OCCURS, ONLY AT BUILDINGS FACING 900 WEST, RE: SITE PLAN AND LANDSCAPING

EXTERIOR ELEVATION GENERAL NOTES

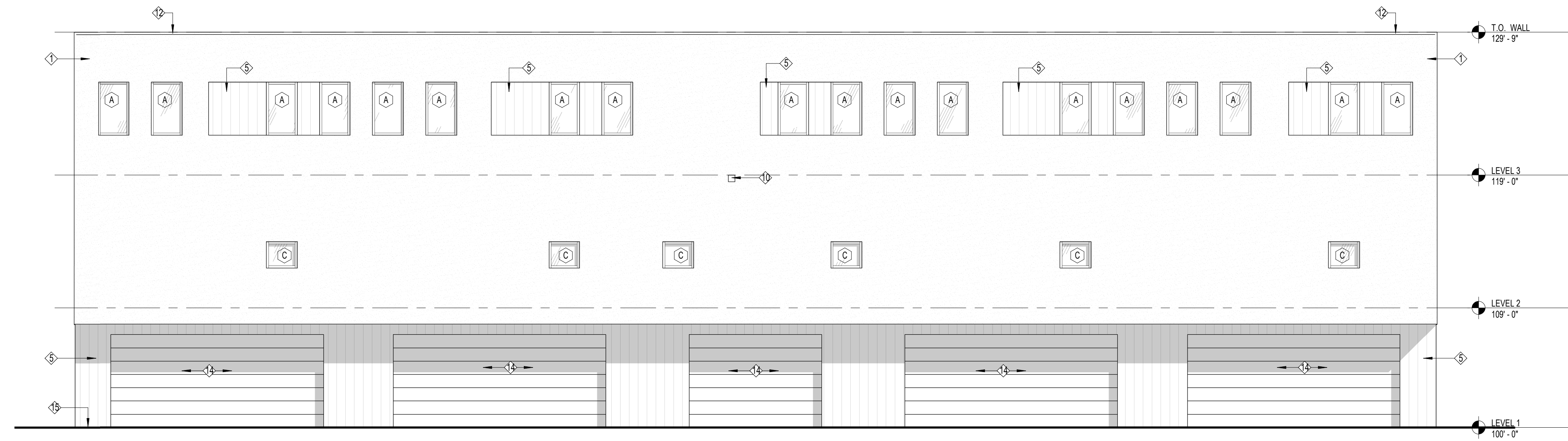
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5. RE: CIVIL AND STRUCTURAL CONCRETE PLAN FOR GRADING AND STEPPED FOUNDATION

ADDRESS NOTE

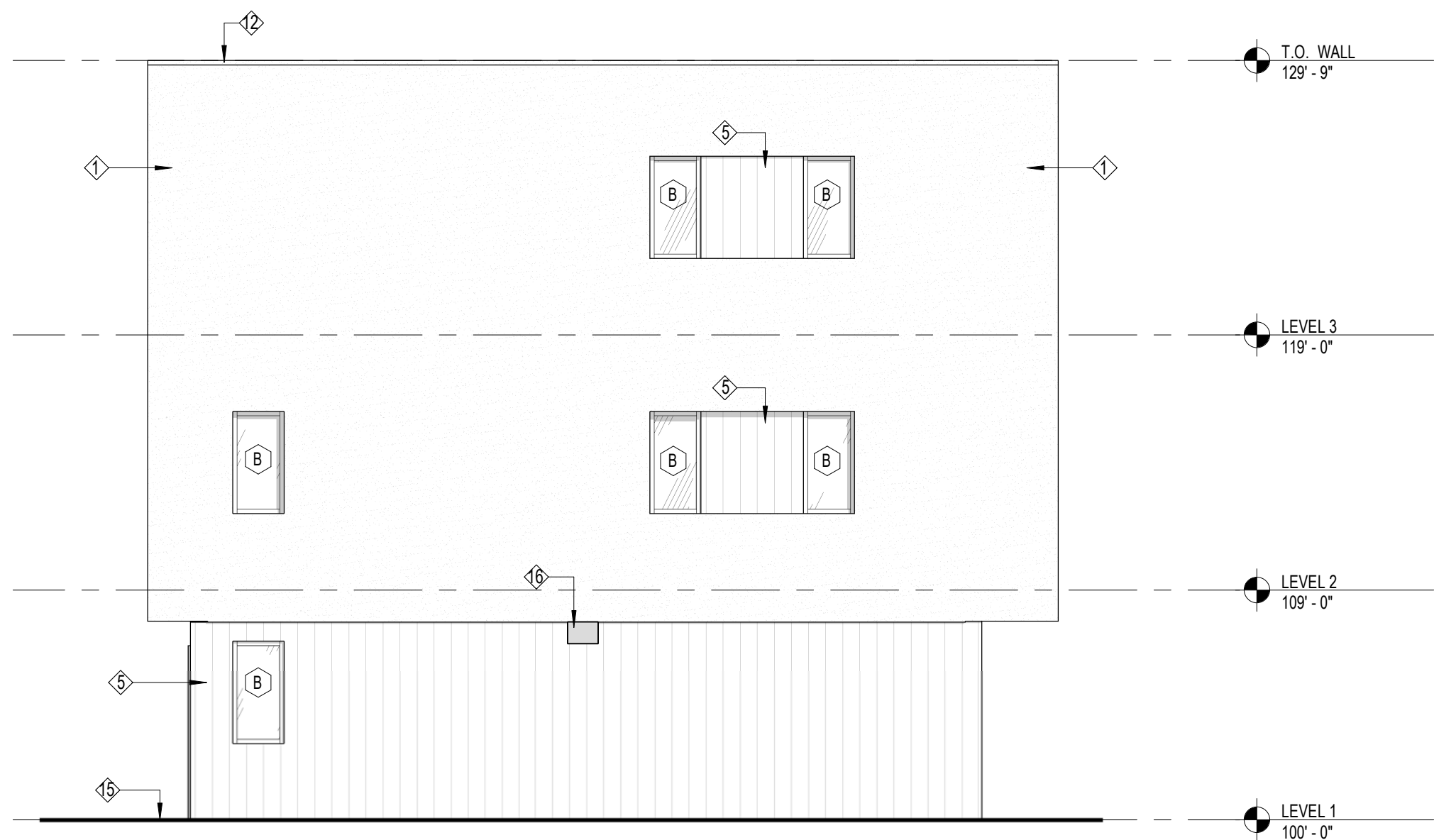
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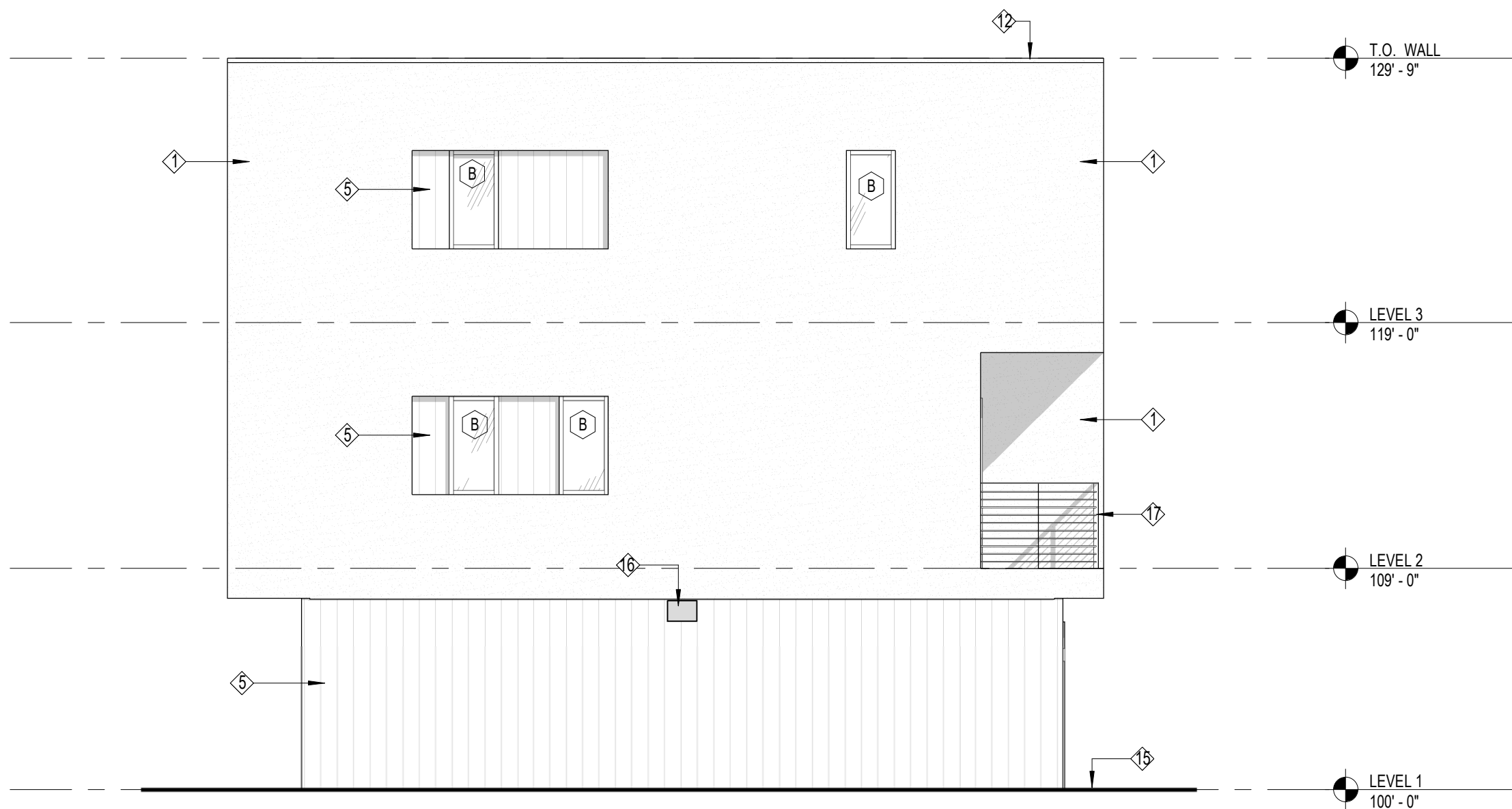
3 BUILDING 6 ENTRY
3/16" = 1'-0"



4 BUILDING 6 GARAGE
3/16" = 1'-0"



2 BUILDING 6 END B
3/16" = 1'-0"



1 BUILDING 6 END A
3/16" = 1'-0"

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- 19 PLANTER BOX, WHERE OCCURS, ONLY AT BUILDINGS FACING 900 WEST, RE: SITE PLAN AND LANDSCAPING

EXTERIOR ELEVATION GENERAL NOTES

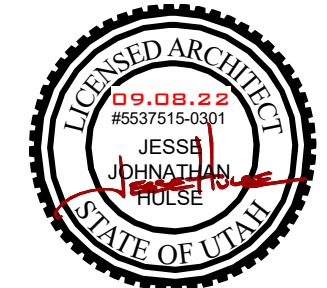
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SALT LAKE CITY UTAH 84101

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BUILDING 6
ELEVATIONS

A206

EXTERIOR ELEVATION KEYED NOTES

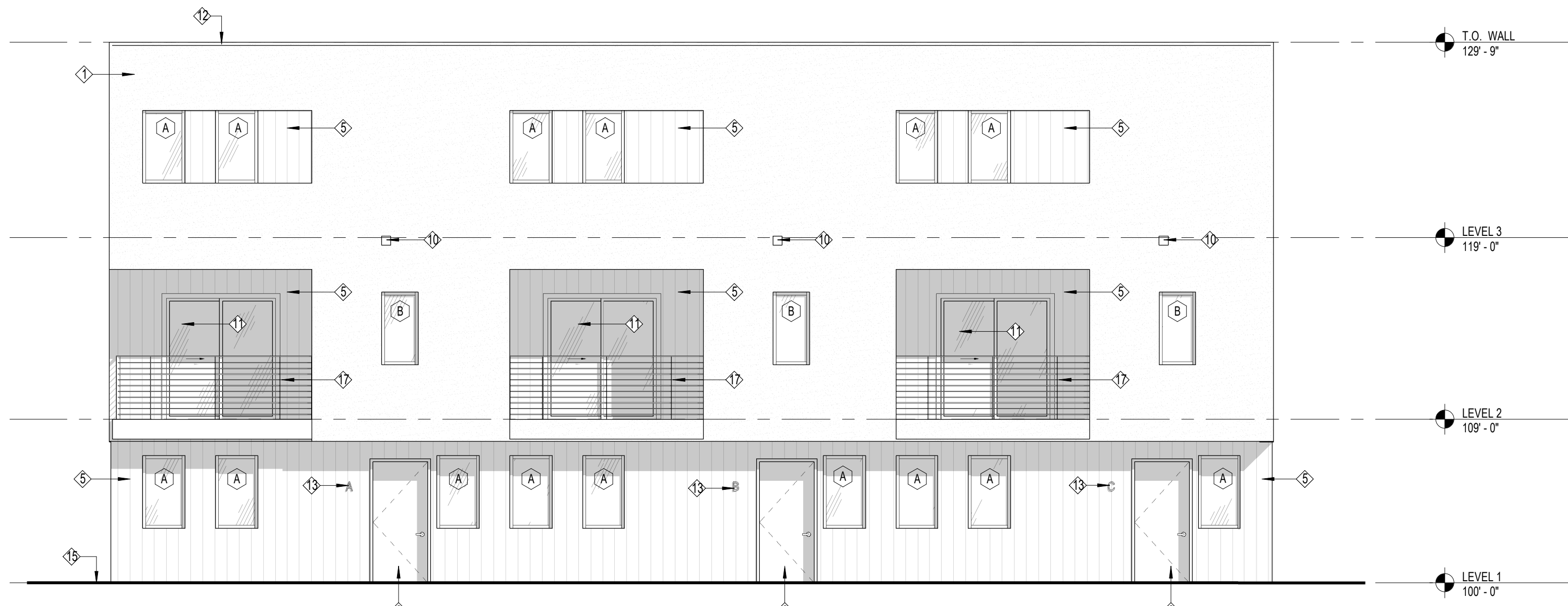
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- 7 SOLID WOOD DOOR, COLOR: PICNIC SW6731
- 8 SOLID WOOD DOOR, COLOR: ROSE SW6290
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- 11 GLASS SLIDING DOOR, RE: DOOR SCHEDULE
- 12 PREFINISHED SHEET METAL COPING, COLOR: TOQUE WHITE SW7003
- 13 BLACK 6" HIGH BY 1" DEEP ADDRESS LETTERING
- 14 GARAGE DOOR, RE: DOOR SCHEDULE
- 15 FINISH GRADE, RE: CIVIL
- 16 EXTERIOR LIGHT
- 17 PAINTED GALVANIZED STEEL RAILING
- 18 METAL CLAD CANOPY
- 19 PLANTER BOX, WHERE OCCURS, ONLY AT BUILDINGS FACING 900 WEST, RE: SITE PLAN AND LANDSCAPING

EXTERIOR ELEVATION GENERAL NOTES

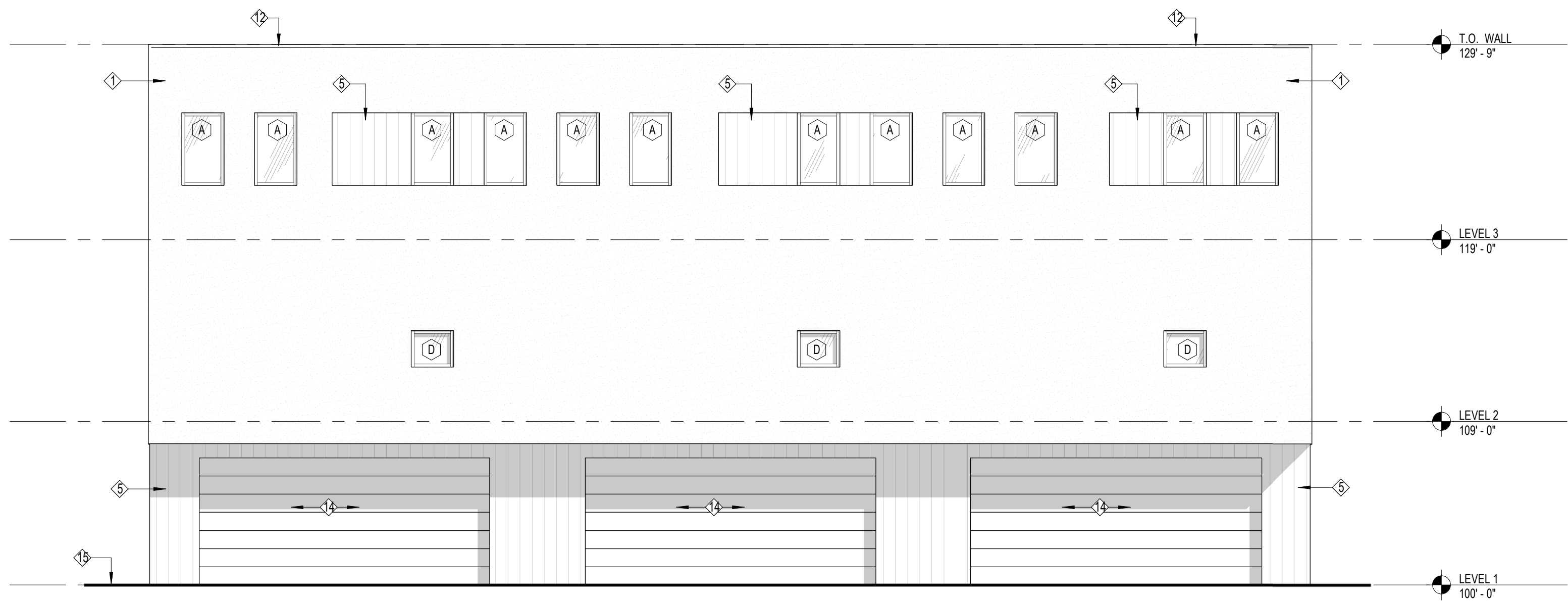
1. ALL EXPOSED MASONRY AND CONCRETE TO BE SEALED WITH GRAFFITI-REPELLENT - REF: SPEC SECTION
2. CONTRACTOR TO COORDINATE LOCATION(S) OF KNOX BOX WITH FIRE MARSHALL
3. COORDINATE HORIZONTAL METAL PANEL JOINT LOCATIONS WITH ARCHITECT
4. ALL UTILITY METERS OR EQUIPMENT ON EXT. SHALL BE PAINTED TO MATCH COLOR AS SELECTED BY ARCHITECT
5. CONTRACTOR SHALL PROVIDE MOCK UP OF BLOCK VENEER AND ALL ACM ASSEMBLIES
6. PROVIDE AN ADDRESS ON THE BUILDING WHICH IS ASSIGNED BY THE CITY ENGINEERING DEPT. THESE NUMBERS AND LETTERS SHALL BE VISIBLE FROM THE STREET, A MINIMUM OF 12" HIGH, AND A STROKE OF 1". ADDRESS SHALL BE IN CONTRASTING COLOR OF THE BACKGROUND.
7. RE: CIVIL AND STRUCTURAL CONCRETE PLAN FOR GRADING AND STEPPED FOUNDATION

ADDRESS NOTE

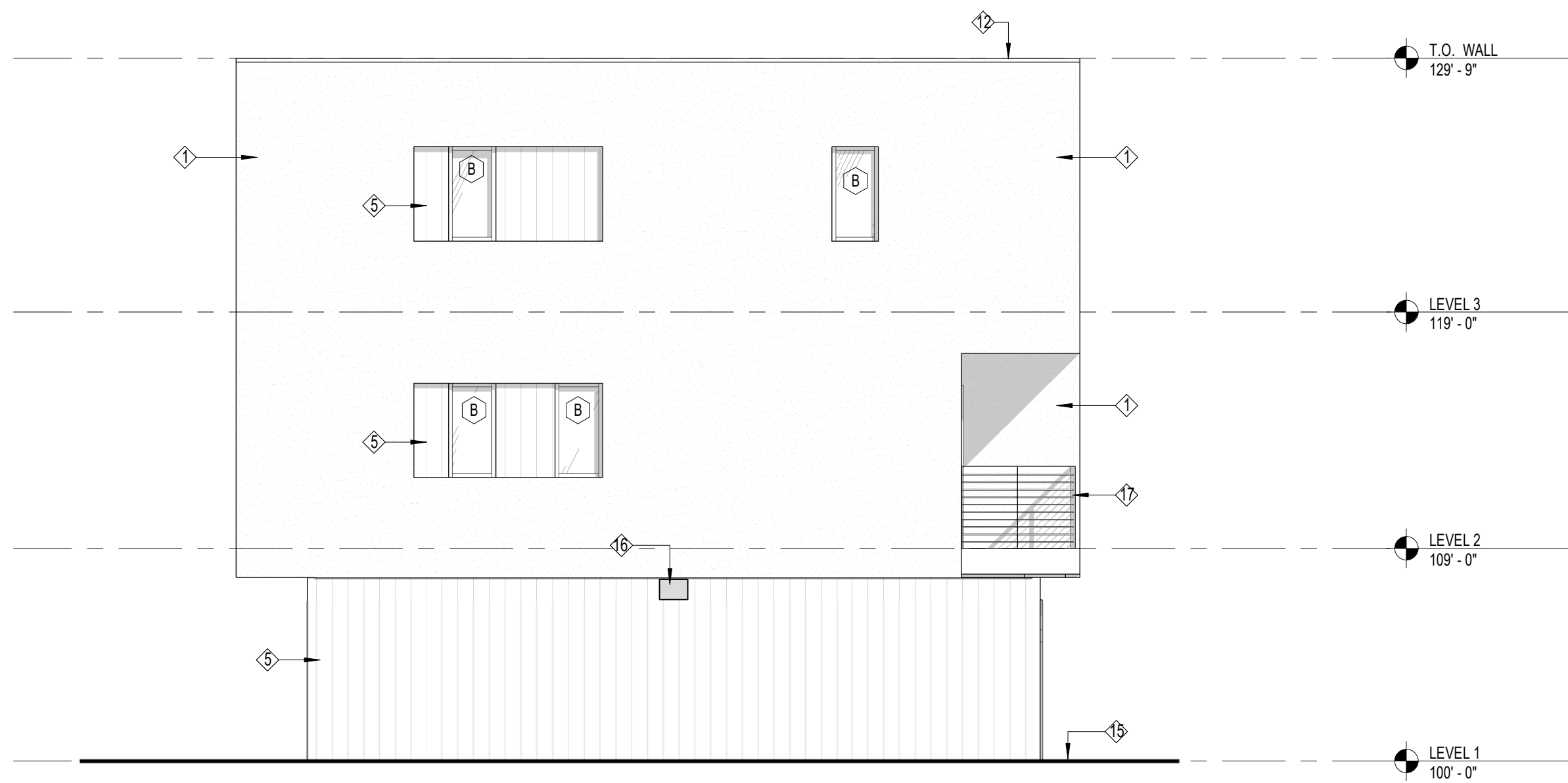
*Buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 4 inches (102 mm) in height with a stroke width of not less than 0.5 inch (12.7 mm). Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building address cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained



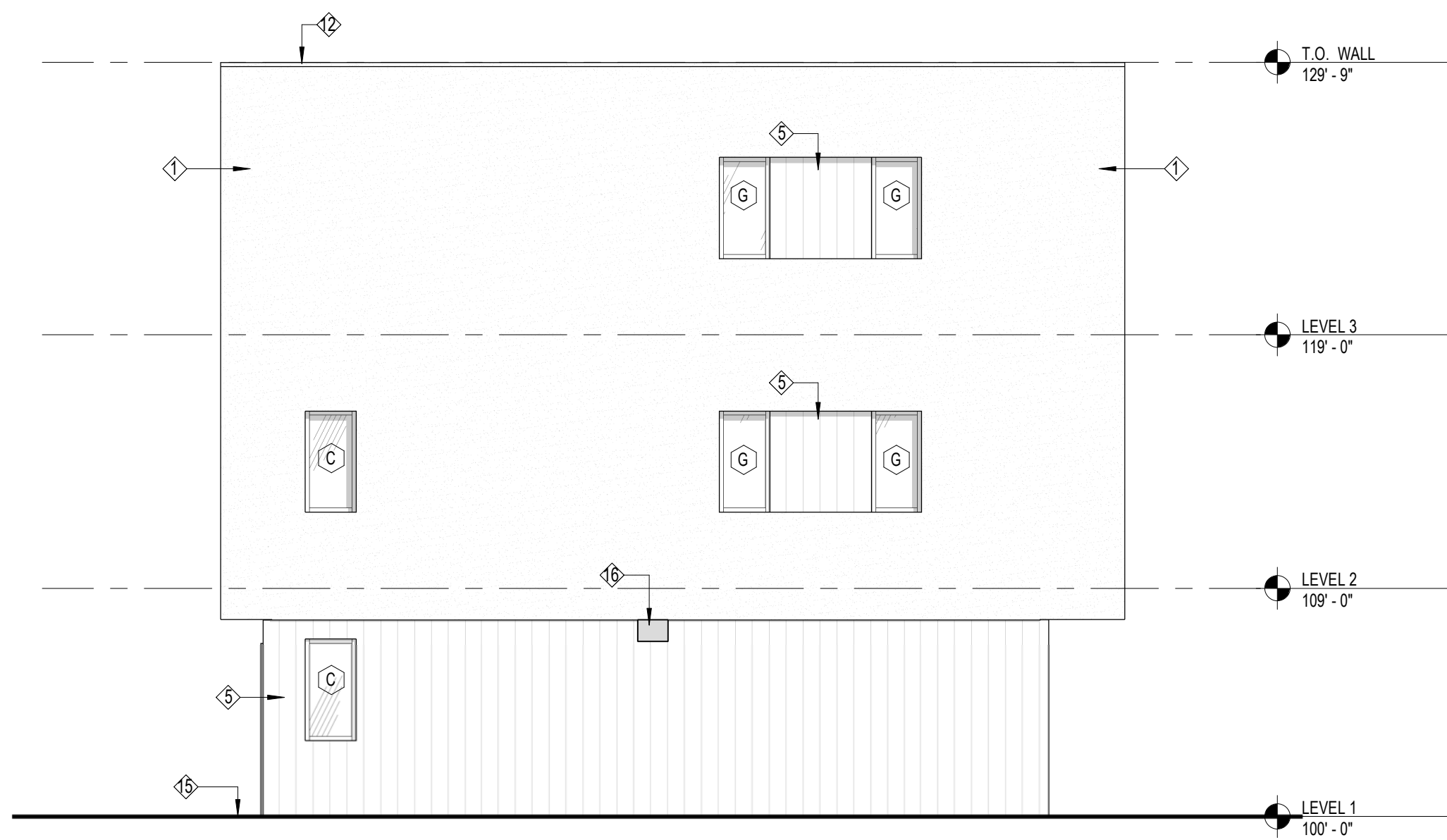
3 BUILDING 7 ENTRY
3/16" = 1'-0"



4 BUILDING 7 GARAGE
3/16" = 1'-0"



2 BUILDING 7 END B
3/16" = 1'-0"



1 BUILDING 7 END A
3/16" = 1'-0"

DRAWING LIST

L001	COVER PAGE
L101	PLANTING PLAN AND DETAILS
L201	IRRIGATION PLAN
L202	IRRIGATION DETAILS

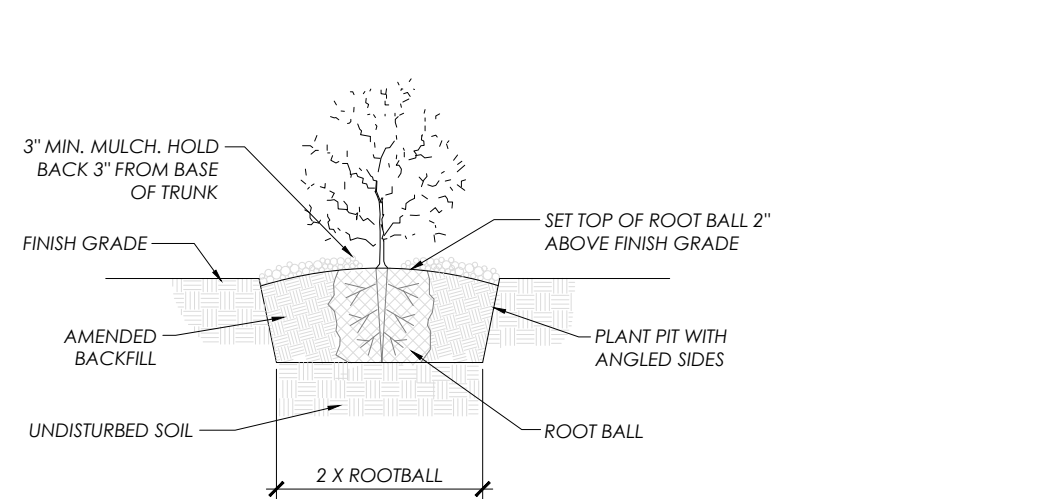
GENERAL NOTES

- LANDSCAPE CONTRACTOR TO EXAMINE SITE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. IF CONDITIONS ARE UNSATISFACTORY CONTRACTOR TO CONTACT OWNER'S REPRESENTATIVE IN WRITING. DO NOT PROCEED UNTIL CONDITIONS ARE SATISFACTORY.
- BEFORE EXCAVATING, DIGGING, OR DISTURBING SITE FOR ANY REASON, LANDSCAPE CONTRACTOR TO HAVE AREA "BLUE STAKED" IN ORDER TO LOCATE UNDERGROUND UTILITIES. LANDSCAPE CONTRACTOR TO ALSO NOTE LOCATION OF NEW AND PROPOSED UTILITIES AND WORK IN SUCH A MANNER TO PROTECT EXISTING AND PROPOSED UTILITIES FROM DAMAGE.
- THE LANDSCAPE CONTRACTOR TO COORDINATE THE WORK WITH OTHER CONTRACTORS. LANDSCAPE CONTRACTOR TO BE FAMILIAR WITH ALL ASPECTS OF THE SITE AND WORK IN SUCH A MANNER AS TO AVOID DAMAGING ANY PORTION OF THE SITE OR STRUCTURE. LANDSCAPE CONTRACTOR TO REPAIR ANY DAMAGE, AT NO EXPENSE TO THE OWNER, THAT IS INCURRED BY THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISH GRADE ELEVATIONS IN ALL LANDSCAPED AREAS. ALLOW FOR 3" OF ROCK MULCH IN ALL PLANTING BEDS.
- LANDSCAPE CONTRACTOR TO LAYOUT PLANTS PRIOR TO PLANTING. ADJUSTMENT MAY BE REQUIRED. NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE TO RECEIVE APPROVAL OF PLANT LAYOUT BEFORE PROCEEDING WITH PLANTING.
- ALL PLANT MATERIALS MUST MEET SIZES INDICATED IN SCHEDULES. SHALL MEET ANSI STANDARDS, AND SHALL MEET MINIMUM REQUIREMENTS OF LOCAL CODES. THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET SPECIFICATIONS OR DO NOT MEET THE QUALITY STANDARDS OF THE OWNER. ALL PLANT MATERIAL SHALL HAVE WELL DEVELOPED FIBROUS ROOT SYSTEM THAT ARE FREE OF PHYSICAL DAMAGE, DISEASE, AND INSECT INFESTATION.
- CONTRACTOR TO PROVIDE 3" OF WASATCH GREY CHAT ROCK MULCH IN ALL PLANTER AREAS.
- ANY PLANT DAMAGED DURING ANY STAGE OF THE INSTALLATION PROCESS SHALL BE REPLACED AT NO EXPENSE TO THE OWNER.
- ANY PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL VERIFY ALL QUANTITIES REQUIRED AND PROVIDE THE PLANTS NECESSARY TO COMPLETE THE PLANTINGS. PLANT MATERIAL QUANTITIES INDICATED FOR BEDS/PLANTERS ARE ESTIMATES. VERIFY QUANTITY TO MATCH DETAILED DESIGN INTENT. PLANT QUANTITIES ARE FOR INDIVIDUAL PLANTS ONLY.
- LANDSCAPE CONTRACTOR TO PROVIDE A ONE YEAR WARRANTY (MINIMUM) ON ALL PLANTING INSTALLATION. CONTRACTOR SHALL REPLACE, AT NO EXPENSE TO OWNER, ANY PLANT MATERIAL THAT DOES NOT SURVIVE.
- SEE SPECIFICATIONS FOR PLANTING PROCEDURES, SOIL COMPOSITION, AND INFORMATION PERTINENT TO LANDSCAPE INSTALLATION.

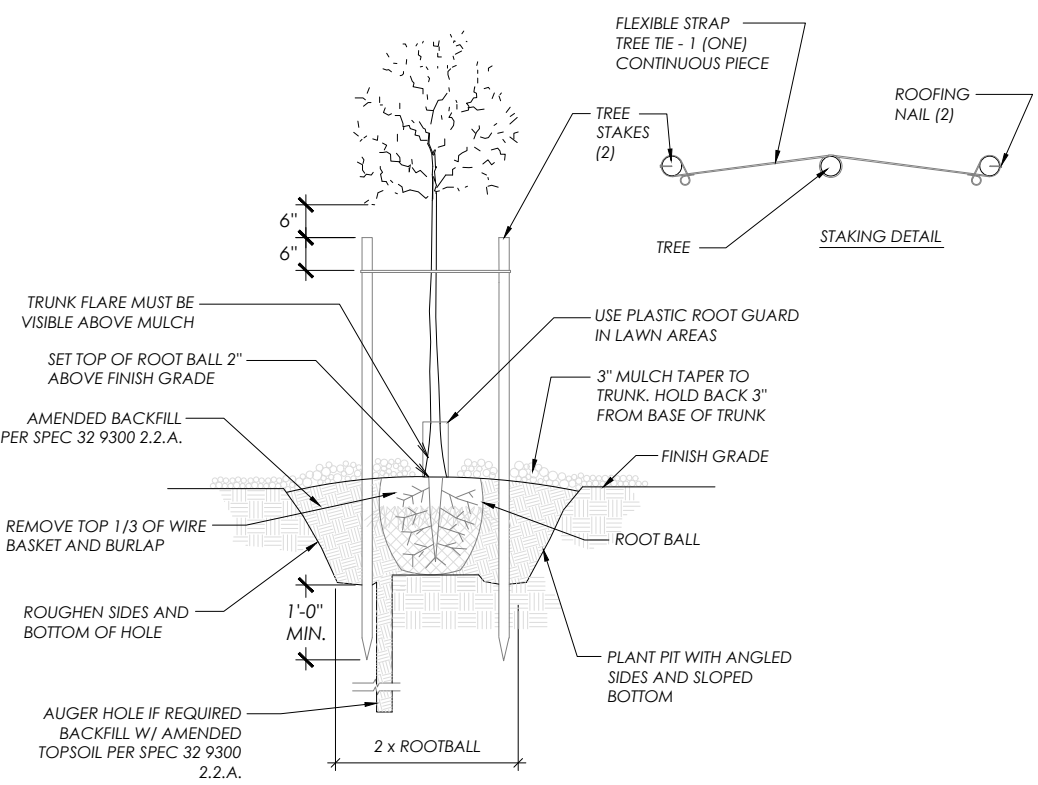
PLANTING NOTES

- THE INTENTION OF THE OWNER AND DESIGNER IS TO HAVE CONSTRUCTED UNDER THE CONSTRUCTION CONTRACT, A COMPLETE PROJECT READY FOR USE. THE GENERAL LANDSCAPE CONTRACTOR AND HIS SUB-CONTRACTORS SHOULD VIEW THESE DOCUMENTS ACCORDINGLY. ANY APPARENT QUESTION, INCOMPLETE AREA, AREAS OF DISCREPANCY OR CONTRADICTION IN THESE DOCUMENT IS TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO BIDDING. BY SUBMITTING A BID ON THIS PROJECT THE BIDDER CERTIFIES THAT HE HAS FULLY INFORMED HIMSELF OF THE REQUIREMENTS OF THE CONSTRUCTION DRAWINGS AS THEY RELATE TO HIS WORK AND HAS READ AND UNDERSTANDS THE NOTES AND SPECIFICATIONS. ALSO, THAT ANY QUESTIONS, INCOMPLETE AREAS, DISCREPANCIES OR CONTRADICTIONS HAVE BEEN BROUGHT TO THE ATTENTION OF THE LANDSCAPE DESIGNER AND THE OWNER AND THAT THEY ARE ALL RESOLVED.
- WILLFUL INSTALLATION OF THIS WORK WHEN IT IS OBVIOUS THERE EXISTS JOB/SITE CONDITIONS OR DISCREPANCIES ON PLANS THAT ARE DETRIMENTAL TO THE PROJECT AND THAT SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER OR THE LANDSCAPE DESIGNER WILL BE BACK CHARGED TO THE INSTALLER. THE INSTALLER ASSUMES FULL RESPONSIBILITY TO CORRECT THE WORK AT HIS OWN EXPENSE IF HE FAILS TO GIVE THE REQUIRED NOTIFICATION FOR RESOLUTION.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO COMPLETE ROUGH GRADING, FINE GRADING AND PLACING AND GRADING OF TOPSOIL.
- SEE PLANS, DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- EXISTING LANDSCAPE TO REMAIN SHALL BE PROTECTED AND MAINTAINED BY CONTRACTOR.
- COMPACTED LANDSCAPE AREAS SHALL BE REPAIRED BEFORE PLANTING OCCURS.
- PRE-EMERGENT HERBICIDE APPLICATIONS ARE REQUIRED DURING LANDSCAPE INSTALLATION. THE APPLICATION IS TO OCCUR AFTER THE LANDSCAPE AREA IS WEED FREE AND BEFORE THE WEED BARRIER OR WOOD MULCH IS INSTALLED.
- QUANTITIES ARE TO BE VERIFIED BY THE CONTRACTOR. IF DISCREPANCIES EXIST THE PLAN QUANTITIES SHALL DICTATE.
- DECORATIVE ROCK PLACED AROUND PAVERS AND IN GRAVEL AREAS IS TO BE PLACED AT 3" DEPTH OVER DEWITT PRO 5 WEED BARRIER OR APPROVED EQUAL. SPRAY PRE-EMERGENT HERBICIDE PRIOR TO PLACEMENT OF WEED BARRIER AND AFTER PLACEMENT OF ROCK.
- BETWEEN ALL PLANTING, LAWN, AND GRAVEL AREAS, INSTALL METAL EDGING. USE COL-MET 1/8" X 5" BLACK EDGING OR APPROVED EQUAL.
- WASATCH GREY CHAT MULCH SHALL BE PLACED AT 3" DEPTH ON SOIL IN MULCHED AREAS. SPRAY PRE-EMERGENT HERBICIDE PRIOR TO AND AFTER PLACEMENT.
- SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY OWNER.

PLANTING DETAILS



A SHRUB PLANTING DETAIL
 NOT TO SCALE



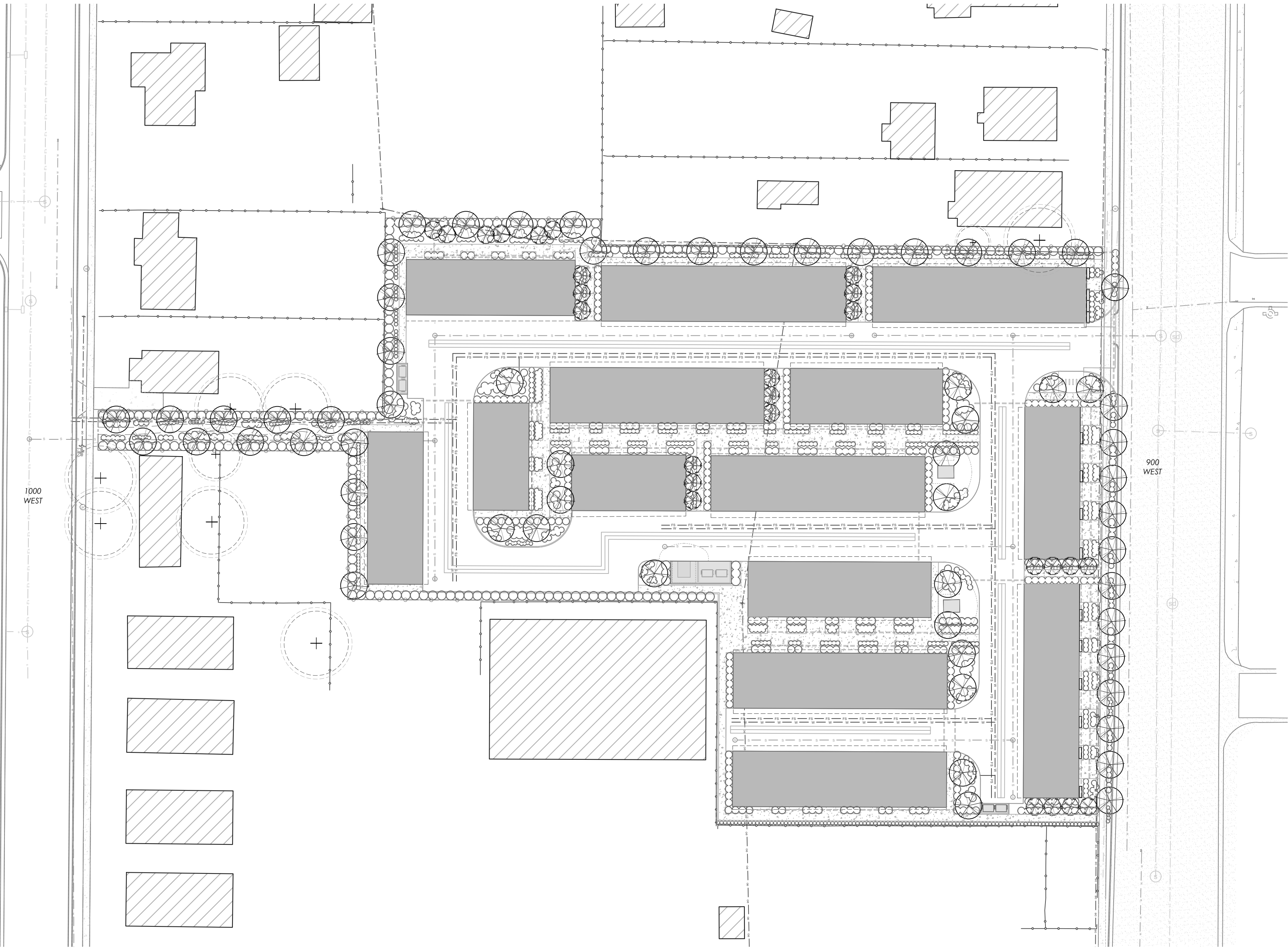
B TREE PLANTING AND STAKING
 NOT TO SCALE

SALT LAKE BUILDING CODE NOTES

- Urban Forestry calculations:
 - Salt Lake City Urban Forestry Program requires one tree for every 30 feet of street front. The Lot has 323.64' of frontage along 900 West, and 22' of frontage alone 1000 West, for a total of 345.64' of street frontage. 345.64'/30' = 11.52 trees, which rounds up to 12 trees. There is 13 trees shown, thereby exceeding the requirement.
 - The park strip tree has the following city requirements:
 - 900 West: 3-5 ft park strip - small tree at maturity (less than 30 ft tall), Zelkova serrata 'Wireless' is selected, with a mature height of 24 ft.
 - Zelkova serrata is listed in the "SLC Plant List and Hydrozone Schedule 2013" as Td4.
- Drought tolerant species calculations:
 - There are 686 shrubs indicated on the plan (AMAL, COAC, MACO, PMMP, PLOL, RAGL, ROWO). All shrubs as water conserving, and 94% of these are on the SLC water conserving plant list, which exceeds the 80% requirement. 41% of these shrubs are evergreen.
 - There are 64 trees indicated on the plan (CEOC, CROK, FRVE, MASS, ZSWI). All trees are water conserving, and 90% of these are on the SLC water conserving plant list, which exceeds the 80% requirement.
- Park strip ground surface treatment - plant coverage calculations:
 - The plantings within the park strip are prostrate shrubs or low growing perennials, so will not exceed 22" height. Coverage within 3 years should be 48%, which exceeds the 33% minimum. All plants in the park strip are water wise plants found in the SLC plant list.
- Area Calculations:

• Lot area:	113316 s.f.
• Roadways and curbs:	34366 s.f.
• Buildings:	43377 s.f.
• Mechanical / garbage:	758 s.f.
• Sidewalk:	12190 s.f.
• Drought tolerant landscape:	22625 s.f. (=20% of lot area)
• Park strip:	920 s.f.
Planted area:	440 s.f. (48 %)
- Landscape Buffers:
 - Lot is in CB district and requires 7' buffers when abutting residential districts
 - Shade trees (FRVE) are planted every 30 linear feet of landscape buffer
 - The shrub COAC is planted along the entire length of the buffer, and grows greater than 4'
 - Additional drought tolerant shrubs and perennials are planted within the buffer
 - A solid 6 foot fence is shown to be erected along the property line abutting residential districts

OVERALL SITE PLAN



Glendale Townhomes
 1500 South 900 West
 Salt Lake City, UT

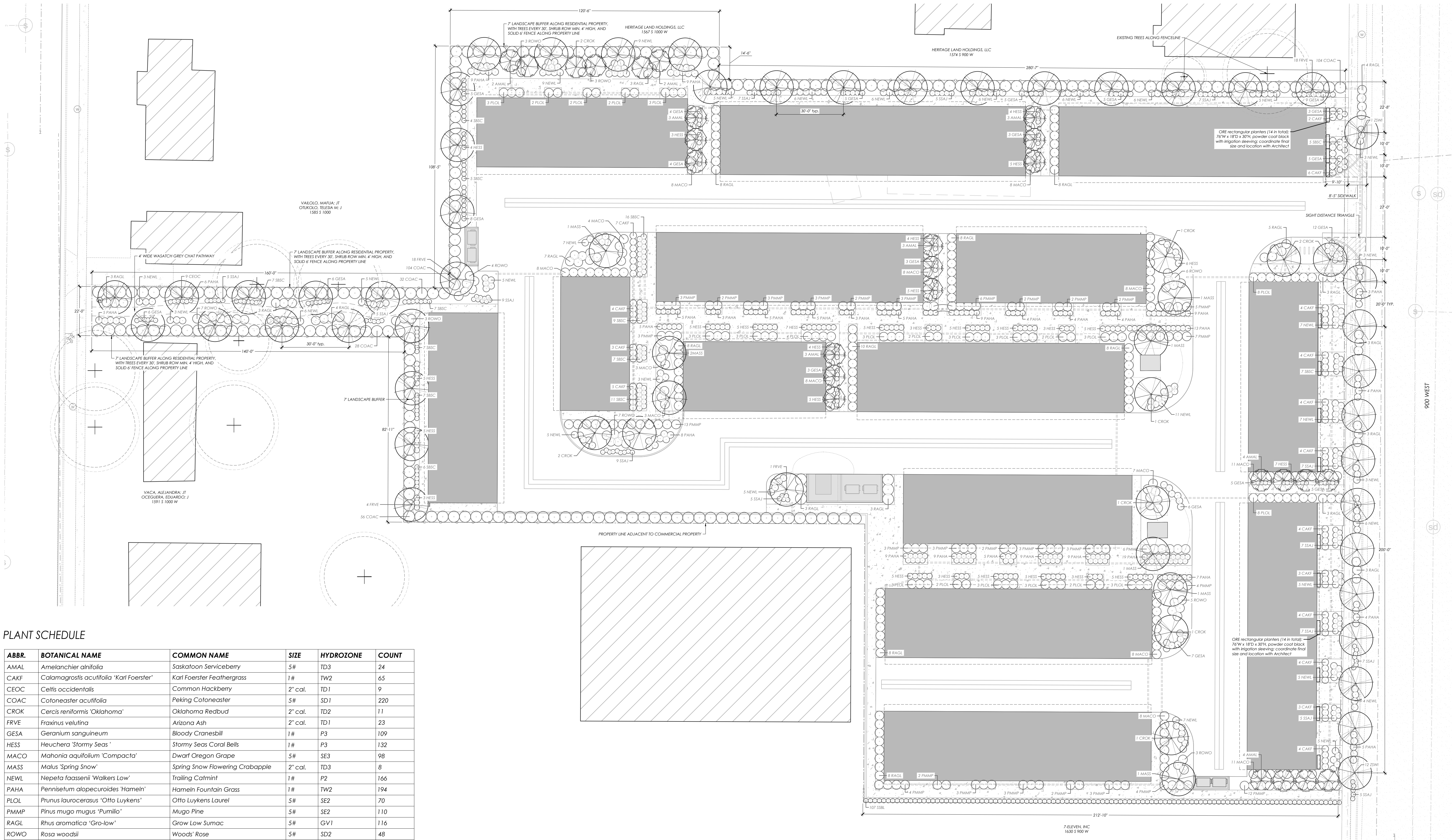
1	Permit Set	9/23/22
No.	Revision/Issue	Date



VODA Landscape + Planning
 100 West Broadway #200
 Salt Lake City, Utah 84101
 801-520-0382 www.vodaplanning.com

Sheet No.	Cover
Sheet	L001

Project	P222-49	North
Date	2022-08-01	↑
Scale	1" = 40'	



PLANT SCHEDULE

ABBR.	BOTANICAL NAME	COMMON NAME	SIZE	HYDROZONE	COUNT
AMAL	Amelanchier alnifolia	Saskatoon Serviceberry	5#	TD3	24
CAKF	Calamagrostis acutifolia 'Karl Foerster'	Karl Foerster Feathergrass	1#	TW2	65
CEOC	Celtis occidentalis	Common Hackberry	2" cal.	TD1	9
COAC	Cotoneaster acutifolia	Peking Cotoneaster	5#	SD1	220
CROK	Cercis reniformis 'Oklahoma'	Oklahoma Redbud	2" cal.	TD2	11
FRVE	Fraxinus velutina	Arizona Ash	2" cal.	TD1	23
GESA	Geranium sanguineum	Bloody Cranesbill	1#	P3	109
HESS	Heuchera 'Stormy Seas '	Stormy Seas Coral Bells	1#	P3	132
MACO	Mahonia aquifolium 'Compacta'	Dwarf Oregon Grape	5#	SE3	98
MASS	Malus 'Spring Snow'	Spring Snow Flowering Crabapple	2" cal.	TD3	8
NEWL	Nepeta faassenii 'Walkers Low'	Trailing Catmint	1#	P2	166
PAHA	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	1#	TW2	194
PLLO	Prunus laurocerasus 'Otto Luykens'	Otto Luykens Laurel	5#	SE2	70
PMMP	Pinus mugo mugo 'Pumilio'	Mugo Pine	5#	SE2	110
RAGL	Rhus aromatica 'Gro-low'	Grow Low Sumac	5#	GV1	116
ROWO	Rosa woodsii	Woods' Rose	5#	SD2	48
SBSC	Stachys byzantina 'Silver Carpet'	Silver Carpet Lambs Ear	1#	GV1	91
SSAJ	Sedum spectabile 'Autumn Joy'	Autumn Joy Stonecrop	1#	P1	90
SSBL	Schizachyrium scoparium 'Blaze'	Little Bluestem	1#	TW1	107
ZSWI	Zelkova serrata 'Wireless'	Wireless Zelkova	2" cal.	TD4	13



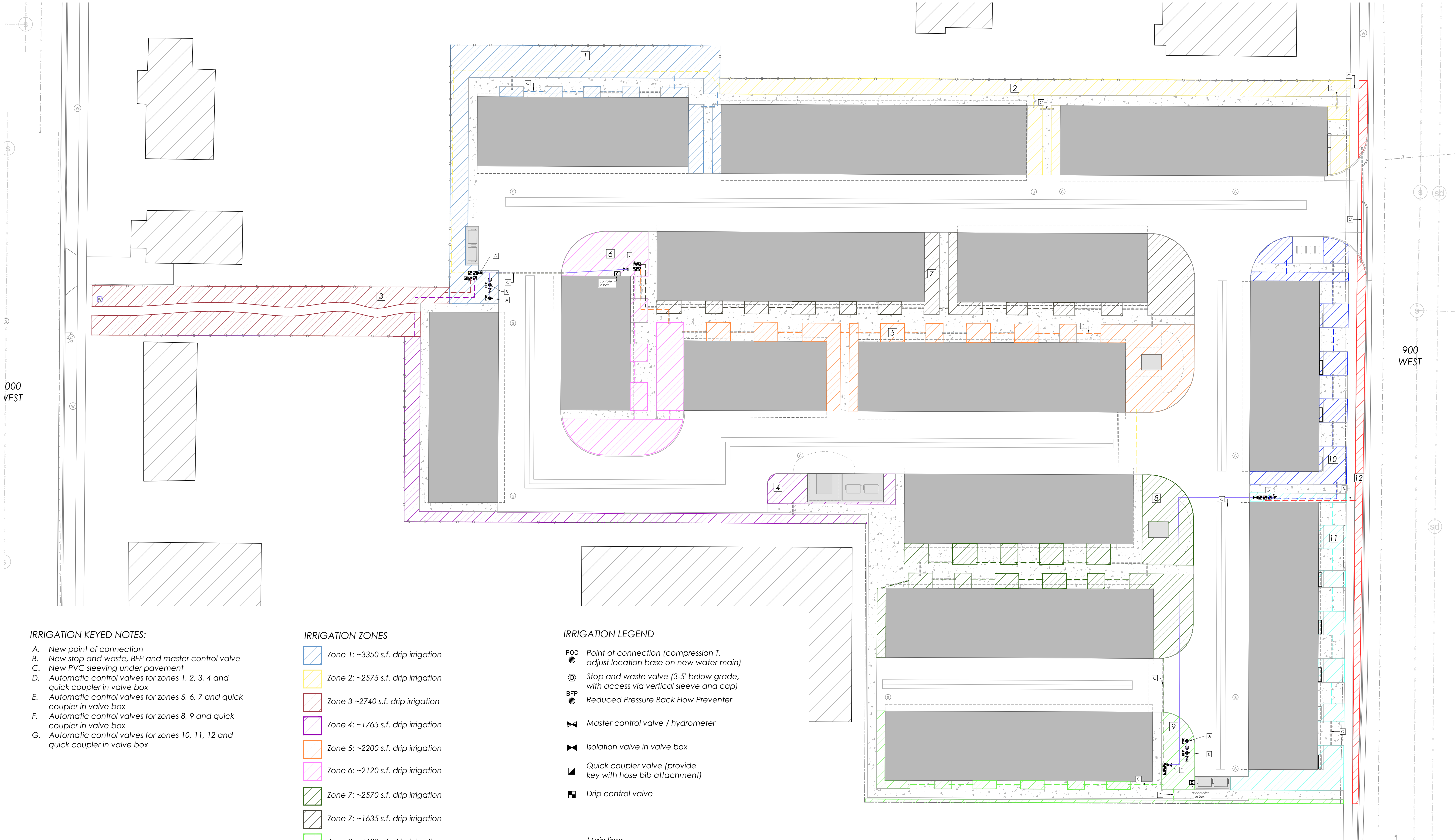
Glendale Townhomes
1500 South 900 West
Salt Lake City, UT

1	Permit Set	9/23/22
No.	Revision/Issue	Date



Draw Title
Landscape Plan
Draw
L101

Project P222-49	North ↑
Date 2022-09-01	Scale 1" = 20'



IRRIGATION KEYED NOTES:

- A. New point of connection
- B. New stop and waste, BFP and master control valve
- C. New PVC sleeving under pavement
- D. Automatic control valves for zones 1, 2, 3, 4 and quick coupler in valve box
- E. Automatic control valves for zones 5, 6, 7 and quick coupler in valve box
- F. Automatic control valves for zones 8, 9 and quick coupler in valve box
- G. Automatic control valves for zones 10, 11, 12 and quick coupler in valve box

IRRIGATION ZONES

- Zone 1: ~3350 s.f. drip irrigation
- Zone 2: ~2575 s.f. drip irrigation
- Zone 3: ~2740 s.f. drip irrigation
- Zone 4: ~1765 s.f. drip irrigation
- Zone 5: ~2200 s.f. drip irrigation
- Zone 6: ~2120 s.f. drip irrigation
- Zone 7: ~2570 s.f. drip irrigation
- Zone 7: ~1635 s.f. drip irrigation
- Zone 9: ~1130 s.f. drip irrigation
- Zone 10: ~1225 s.f. rotor irrigation
- Zone 11: ~1315 s.f. drip irrigation
- Zone 12: ~920 s.f. drip irrigation

IRRIGATION LEGEND

- POC Point of connection (compression T, adjust location base on new water main)
- Stop and waste valve (3-5' below grade, with access via vertical sleeve and cap)
- BFP Reduced Pressure Back Flow Preventer
- Master control valve / hydrometer
- Isolation valve in valve box
- Quick coupler valve (provide key with hose bib attachment)
- Drip control valve
- Main lines
- Lateral lines
- PCV sleeving under paving

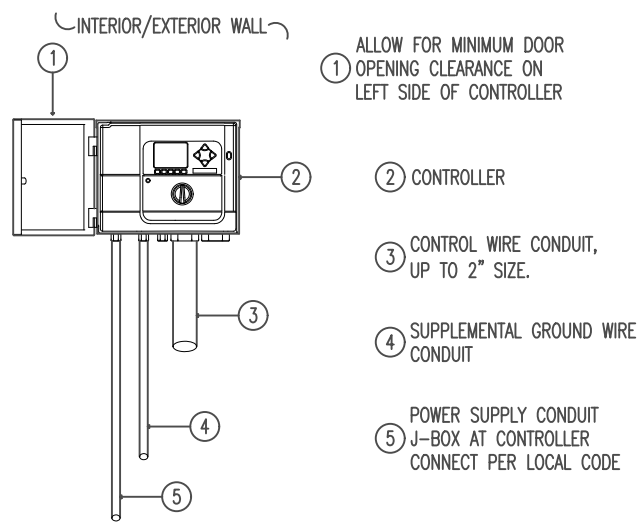
Glendale Townhomes
1500 South 900 West
Salt Lake City, UT

1	Permit Set	9/23/22
No.	Revision/Issue	Date



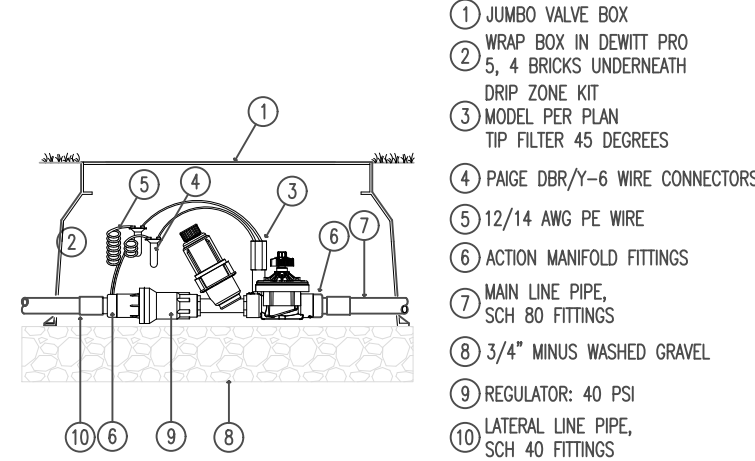
Sheet Title
Irrigation Plan
Sheet
L201

Project P22-49	North ↑
Date 2022-09-01	Scale 1" = 20'



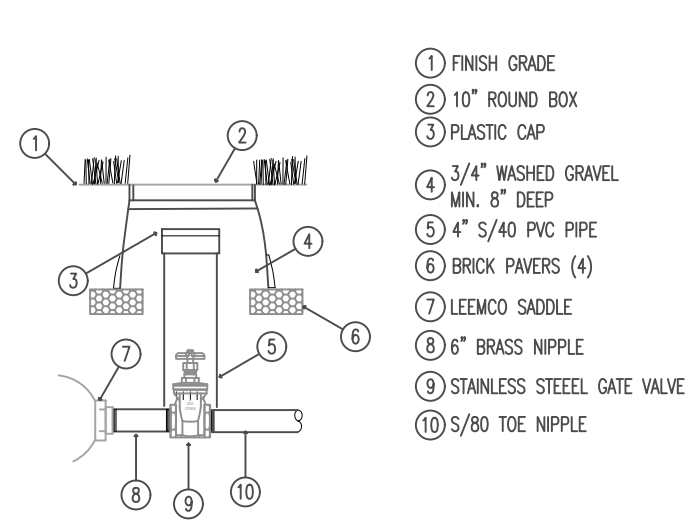
A WALL MOUNT CONTROLLER

SCALE: NTS SECTION DETAIL



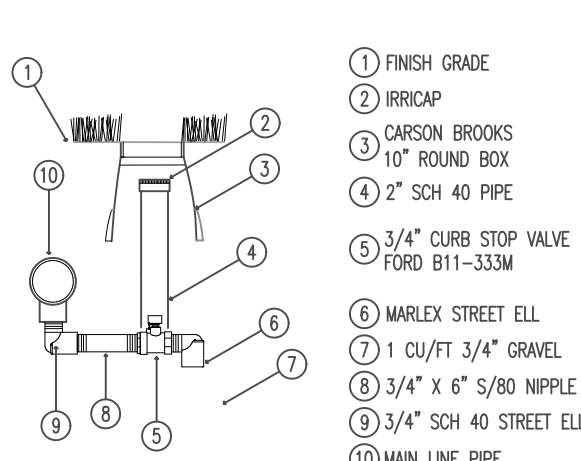
B DRIP CONTROL ZONE

SCALE: NTS SECTION DETAIL



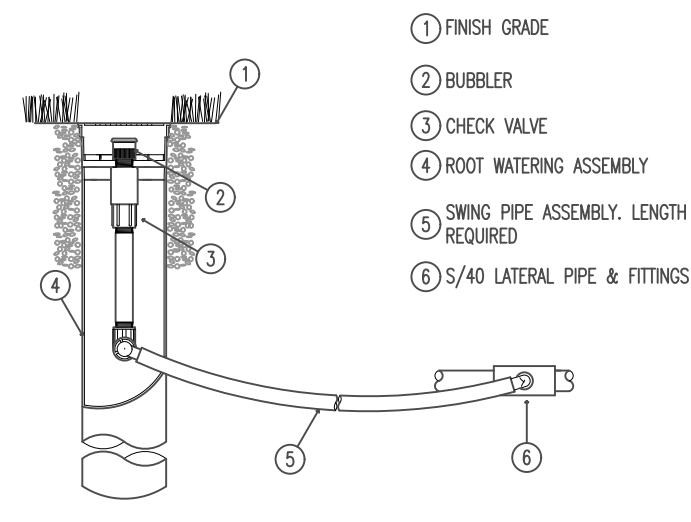
C GATE VALVE

SCALE: NTS SECTION DETAIL



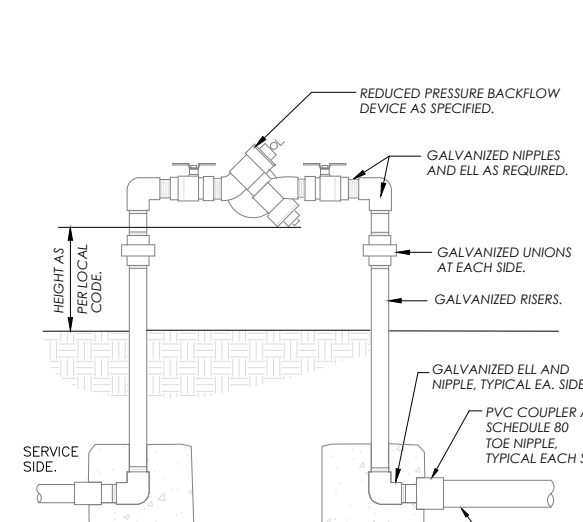
D MANUAL DRAIN VALVE-SMALL

SCALE: NTS SECTION DETAIL



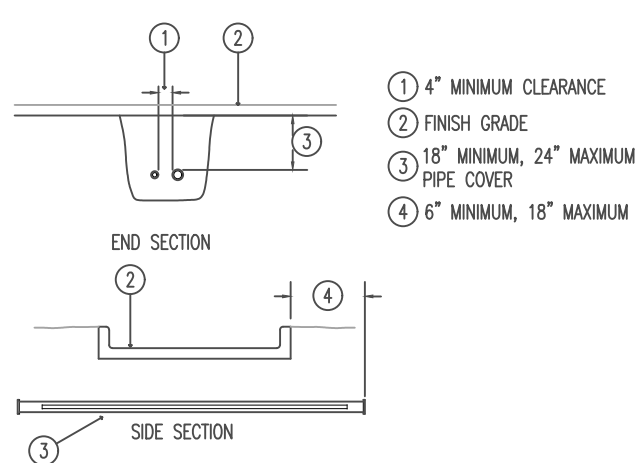
E ROOT WATERING ASSEMBLY

SCALE: NTS PLAN VIEW DETAIL



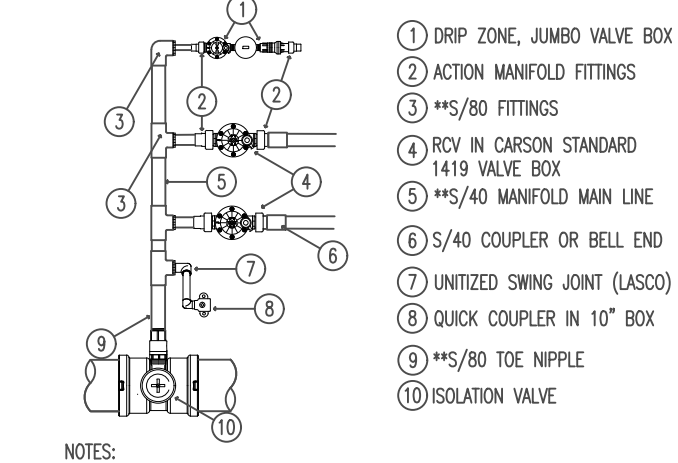
F BACKFLOW DEVICE

SCALE: NTS PLAN VIEW DETAIL



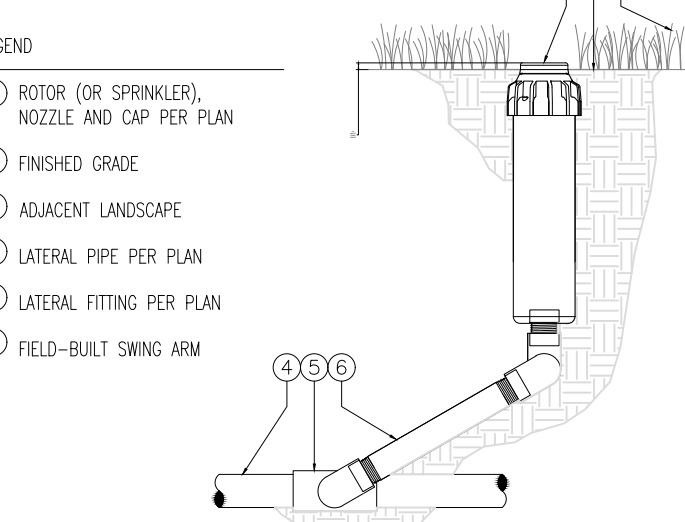
G SLEEVING

SCALE: NTS LANDSCAPE & IRRIGATION DETAIL



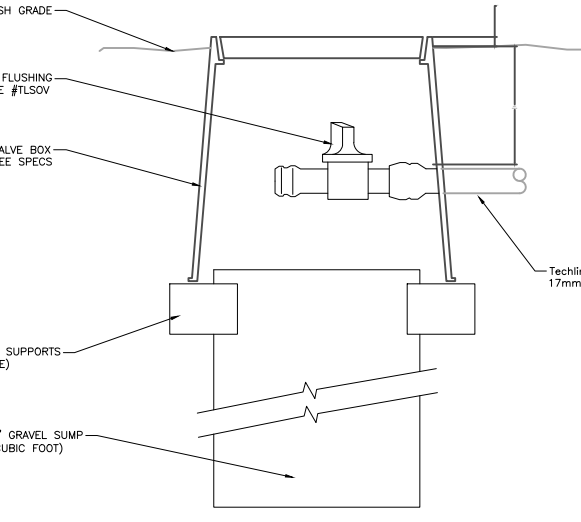
H VALVE MANIFOLD

SCALE: NTS PLAN VIEW DETAIL



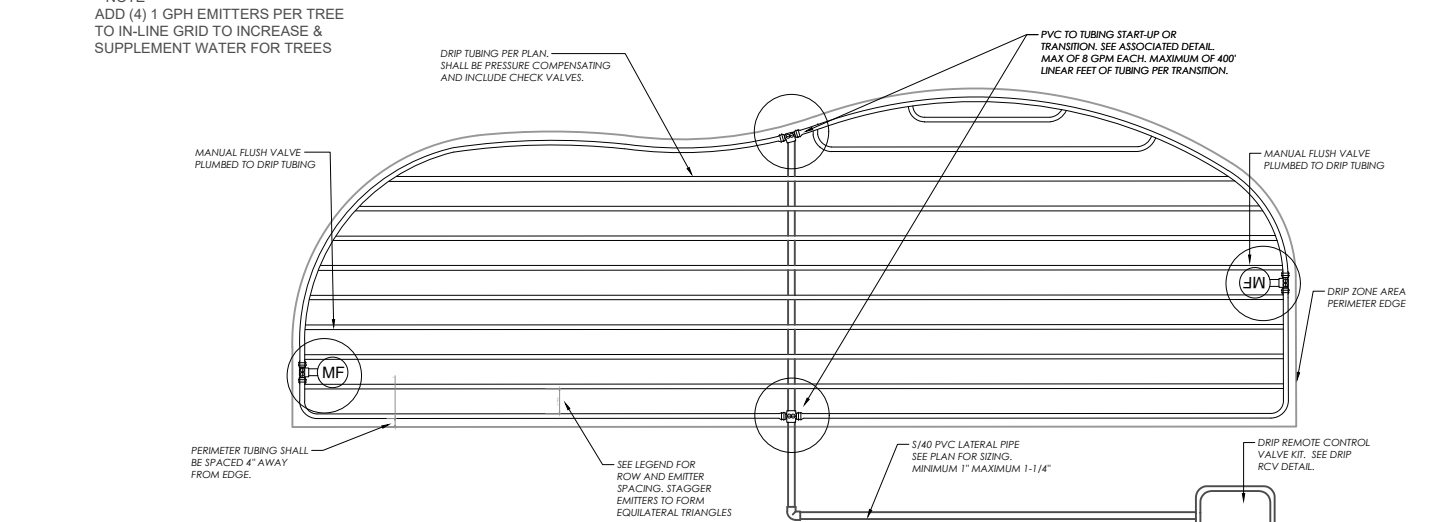
I POP-UP ROTOR (OR SPRINKLER) WITH FIELD BUILT SWING ARM

SCALE: NTS SECTION DETAIL



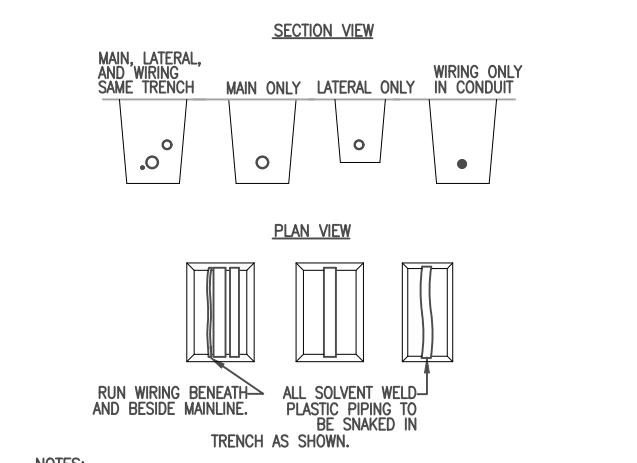
J MANUAL FLUSH/DRAIN VALVE

SCALE: NTS SECTION DETAIL



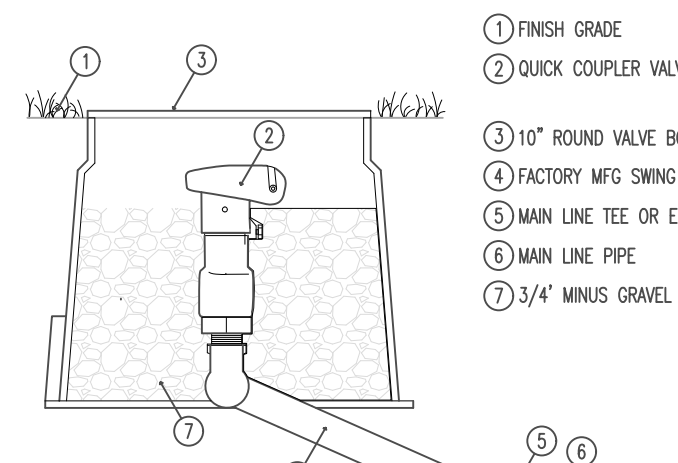
K IN-LINE TUBING LAYOUT

SCALE: NTS SECTION DETAIL



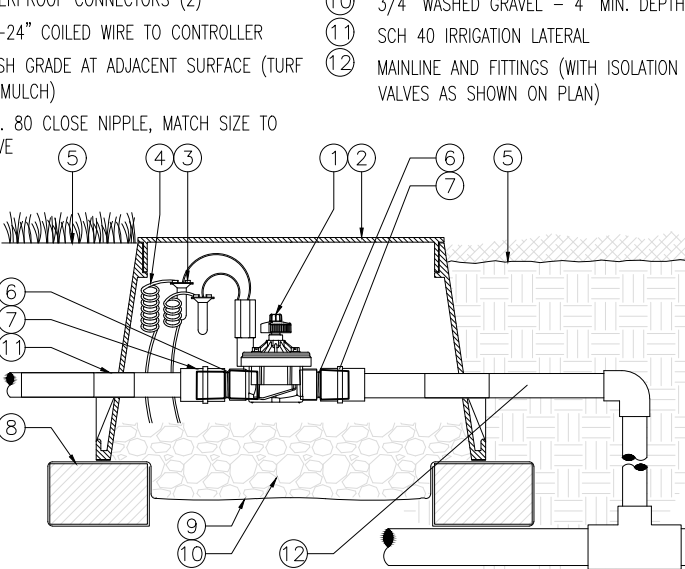
L PIPE/WIRE IN TRENCH

SCALE: NTS LANDSCAPE & IRRIGATION DETAIL



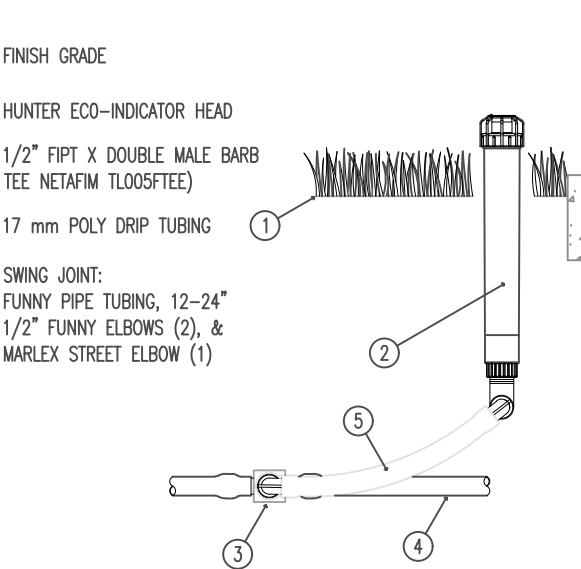
M QUICK COUPLER VALVE

SCALE: NTS SECTION DETAIL



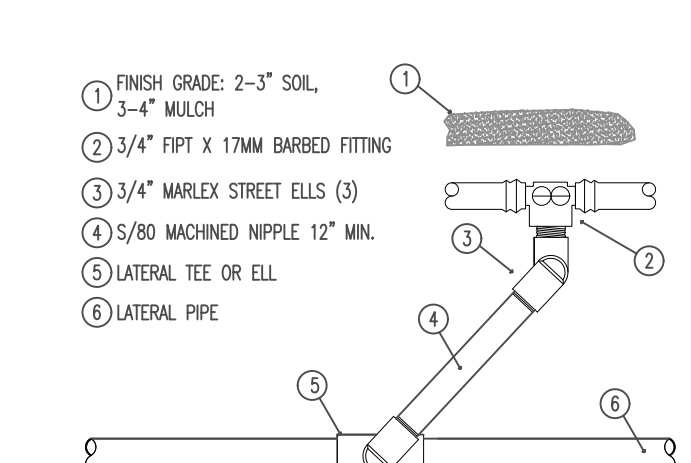
N IN-LINE VALVE (as specified)

SCALE: NTS SECTION DETAIL



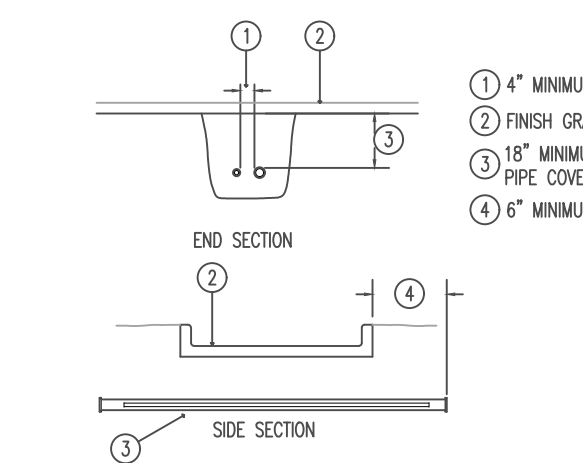
O DRIP OPERATING INDICATOR

SCALE: NTS SECTION DETAIL



P PVC / DRIP TRANSITION POINT

SCALE: NTS SECTION DETAIL



Q SLEEVING

SCALE: NTS LANDSCAPE & IRRIGATION DETAIL



Glendale Townhomes
1500 South 900 West
Salt Lake City, UT

1	Permit Set	9/23/22
No.	Revision/Issue	Date



VODA Landscape + Planning
100 West Broadway, #300
Salt Lake City, Utah 84101
801.520.0362 www.vodaplanning.com

Sheet Title
Irrigation Details
Sheet
L202

Project P22-49	North ↑
Date 2022-06-01	Scale not to scale