



Staff Report

PLANNING DIVISION

DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Liz Hart, Principal Planner
elizabeth.hart@slcgov.com or 801-535-6681
Date: September 14, 2022
Re: PLNPCM2022-00542– Detached Accessory Dwelling Unit

Conditional Use Permit

PROPERTY ADDRESS: 1061 N American Beauty drive

PARCEL ID: 08-26-178-035-0000

MASTER PLAN: Northwest

ZONING DISTRICT: R-1-5,000 Single Family Residential Zone

COUNCIL DISTRICT: District 1, Victoria Petro-Eschler

REQUEST:

Kelly Anderson, representing the property owner, is requesting conditional use approval to establish a 520-square foot accessory dwelling unit (ADU) within a new, detached accessory structure on property located at 1061 N American Beauty. The structure will be approximately 13 feet in height and located to the rear of the property behind the principal structure.

RECOMMENDATION:

Planning Staff finds the project generally meets the applicable standards of approval and no detrimental effects are expected, therefore Staff is not recommending any conditions of approval. Staff recommends the Planning Commission approve the Conditional Use for the ADU as presented.

ATTACHMENTS:

- A. [ATTACHMENT A: Vicinity Map](#)
- B. [ATTACHMENT B: Site Photos](#)
- C. [ATTACHMENT C: Application Materials](#)
- D. [ATTACHMENT D: Zoning Standards for ADUs](#)
- E. [ATTACHMENT E: Conditional Use Standards](#)
- F. [ATTACHMENT F: Department Review Comments](#)
- G. [ATTACHMENT G: Public Process & Comments](#)

PROJECT DESCRIPTION

Kelly Anderson, representing the property owner, is seeking approval of a conditional use permit to establish an accessory dwelling unit (ADU) within a new detached accessory structure. The proposed structure will be about 520 SF in size and about 13 ft. in height.

The new detached structure will be located to the rear of the home, close to the northwest corner of the property, and is about 4 ft. from rear property line and about 4 ft. from the northern side property line. It is also about 33 ft. from the principal dwelling on the property, and over 35 ft. to the nearest neighboring principal structure. There is also an existing detached shed on the property, which is located directly south of the proposed ADU structure.

The proposed structure will be approximately 13 ft. in height with a shallowly pitched roof and is of similar design as the primary dwelling. The primary entrance of the ADU will face south, towards the existing accessory structure. Obscured glazing is required for the windows on the northern façades of

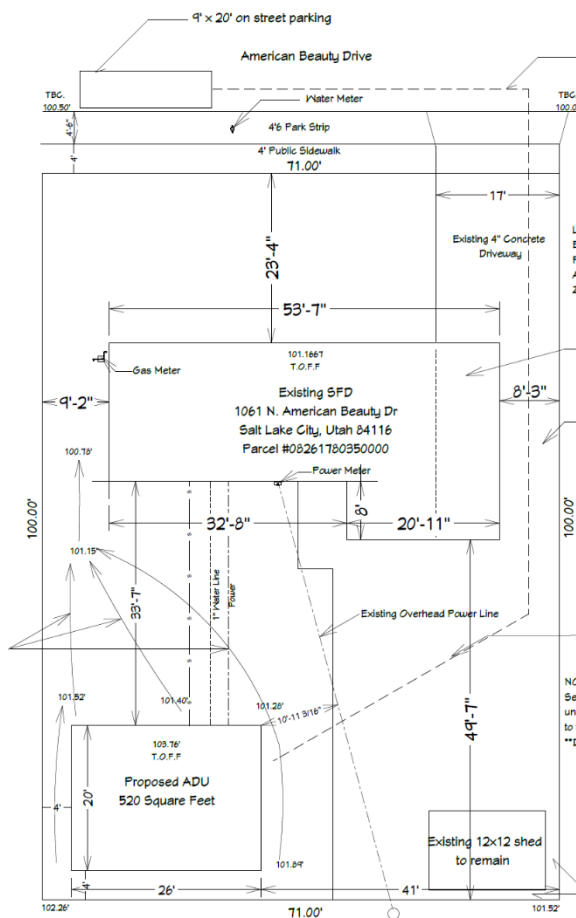


the proposed structure, as the setbacks from the structure to the side property lines is less than 10 ft.

The applicant is not required to provide on-site parking as the parking requirement for the ADU can be met by legal on-street parking in front of the home, along American Beauty Drive. Additionally, there is a UTA bus stop on American Beauty Drive that is within 1/4 mile of the subject property. Properties that are within 1/4 mile of a transit stop are excused from off-street parking requirements. The proposed structure complies with the underlying zoning standards for the R-1-5,000 Single Family Residential Zone and with the adopted requirements for accessory dwelling units.

Size and Lot Coverage

The existing detached garage has a footprint of 520 SF all existing on a single level. The ADU will exist within this structure and have a studio-style floor plan. The subject property is approximately .17 acres, or approximately 7405 SF. The accessory structure will occupy about 7% of the total lot area. All structures on the lot, including the proposed accessory structure, will total about 1819 SF, which totals ~25% lot coverage. The current permitted lot coverage requirement in the R-1-5000 (Single Family Residential District) Zone is 40%. Therefore, the proposed lot coverage complies with the base zone requirements.



Site Plan

Building Entrance and Access

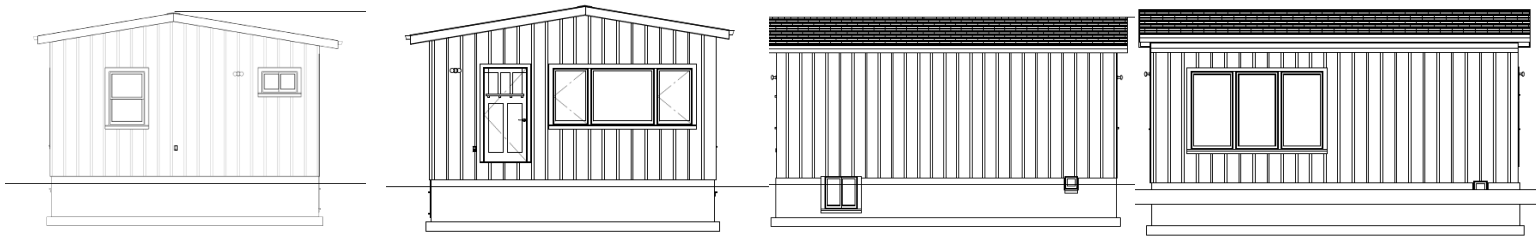
The main entrance of the ADU will face south, towards the existing accessory building. The entrance will not be visible from the street.

Windows

The applicant has provided elevations showing the proposed windows and entrances. There are windows proposed on both the north, south and west facades of the new structure, facing the side respectively. The windows facing the side yard (north) are required to use obscured glass as they are within 10 ft. of the property lines.

Parking

Parking for the proposed ADU will be located on the street in front of the primary dwelling where legal on-street parking is permitted. The required off-street parking for the residents of the primary dwelling will be provided in the driveway space adjacent to the existing home.



Elevations

APPROVAL PROCESS AND COMMISSION AUTHORITY

The property is located in the R-1-5000 (Single Family Residential District) Zone, which is a single-family zoning district. A conditional use review and permit is required for any detached ADU located in a single-family zone. Conditional uses are permitted uses which may have conditions applied to them if there are any anticipated negative impacts and are approved or denied by the Planning Commission. Staff has reviewed this application alongside the detrimental impacts determination section of the ordinance (21A.54.080B, see [Attachment E](#)) and does not anticipate any adverse effects of the establishment of this ADU. The most commonly anticipated negative effects of ADUs are already addressed in the City's ordinances, where standards such as parking accommodation, privacy/window locations, and compatible design, mitigate these concerns. Staff has no recommended conditions of approval for this request. For complete analysis and findings in relation to zoning standards for an ADU and the Conditional Use standards, please refer to [Attachment D](#) and [Attachment E](#).

STAFF RECOMMENDATION

Planning Staff finds the project generally meets the applicable standards of approval and no detrimental effects are expected, therefore Staff is not recommending any conditions of approval. Staff recommends the Planning Commission approve the Conditional Use for the ADU as presented.

NEXT STEPS**Approval of Conditional Use**

If the request is approved, the applicant will need to comply with the conditions of approval, if any, including those required by other City departments and any added by the Planning Commission. The applicant will be able to submit plans for building permit (s), however - a Certificate(s) of Occupancy for the new ADU will only be issued once all conditions of approval, if any are adopted, are met, and the registration process requirements outlined in 21A.40.200.F of the zoning ordinance are complete. All other standards and processes listed by the City's ordinances are still required.

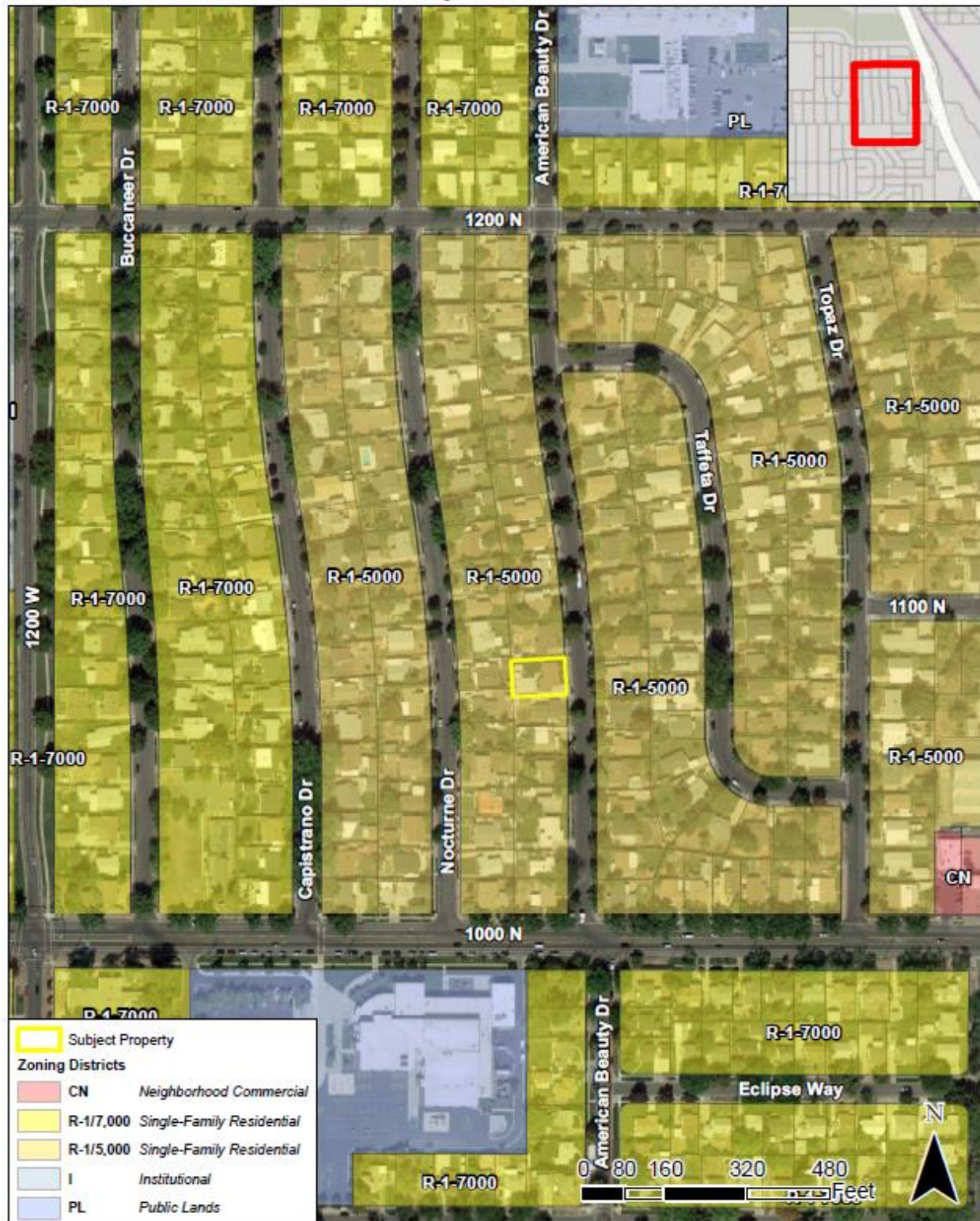
Denial of Conditional Use

State and City code require that a Conditional Use be approved if reasonable conditions can be imposed on the use to mitigate any reasonably anticipated detrimental effects of the use. A conditional use can only be denied if the Planning Commission finds that reasonably anticipated detrimental effects cannot be mitigated with the imposition of reasonable conditions.

If the petition is denied, the applicant would not be able to establish the new ADU on their property. The proposed accessory structure could still potentially be built and used for another permitted use in the R-1-12,000 (Single Family Residential District), however it could not be used as an accessory dwelling.

ATTACHMENT A: Vicinity Map

1061 N American Beauty Dr - ADU



ATTACHMENT B: Site Photos



View of front of existing home



View of rear yard location of proposed ADU



View of existing detached, accessory structure



View from location of the proposed ADU, looking towards the rear of the home



View of side of existing detached, accessory structure from the location of the proposed ADU

ATTACHMENT C: Application Materials

[This page intentionally left blank.]



NOTE:
WINDOW WELLS TO BE A MIN. OF
3" ABOVE FINISHED GRADE
NOTE:
ADD FENCING AND WATER
RETENTION METHODS TO
PREVENT DIRT & DEBRIS FROM
ENTERING STORM DRAINS
DURING CONSTRUCITON
NOTE:

ALL STORM WATER AND DIRT WILL BE KEPT ON SITE DURING
CONSTRUCTION UNTIL FINAL LANDSCAPING IS DONE. GENERAL
CONTRACTOR WILL BE HELD RESPONSIBLE FOR KEEPING DIRT/
MUD ON SITE DURING BAD WEATHER AND FOR CLEANING UP
AFTER SUBCONTRACTORS
THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A
MINIMUM OF 6" WITHIN THE FIRST 10 FEET (5%)
STREET, CURB AND GUTTER WILL BE INSPECTED AND CLEANED
OF ALL MUD AND DIRT AT THE END OF EVERY DAY
GRAVEL BAGS TO BE PLACED AND MAINTAINED AROUND ANY
STORM DRAIN INLET ADJACENT TO OR IMMEDIATELY
DOWNSTREAM FROM SITE DURING CONSTRUCTION
SILT FENCES OR BERMS ARE REQUIRED ALONG PROPERTY LINES
TO PREVENT STORM WATER FLOW ONTO ADJACENT LOTS
ADD EXTERNAL ACCESSIBLE INTERSYSTEM BONDING TERMINAL
FOR THE GROUNDING AND BONDING OF COMMUNICATIONS
SYSTEMS. THIS IS A GROUNDING BUS ON THE OUTSIDE OF THE
ELECTRICAL SERVICE, NOT A UFER
A LINED CONCRETE WASHOUT AREA MUST BE PROVIDED AT THE
SITE FOR ALL CONCRETE WORK. WASHOUT INTO FOUNDATION OR
ON THE GROUND IS PROHIBITED

CONTRACTOR SHALL VERIFY ALL
CONDITIONS AND DIMENSIONS AT THE
JOB SITE AND NOTIFY THE ARCHITECT OF
ANY DIMENSIONAL ERRORS, OMISSIONS
OR DISCREPANCIES BEFORE BEGINNING
OR FABRICATING ANY WORK.

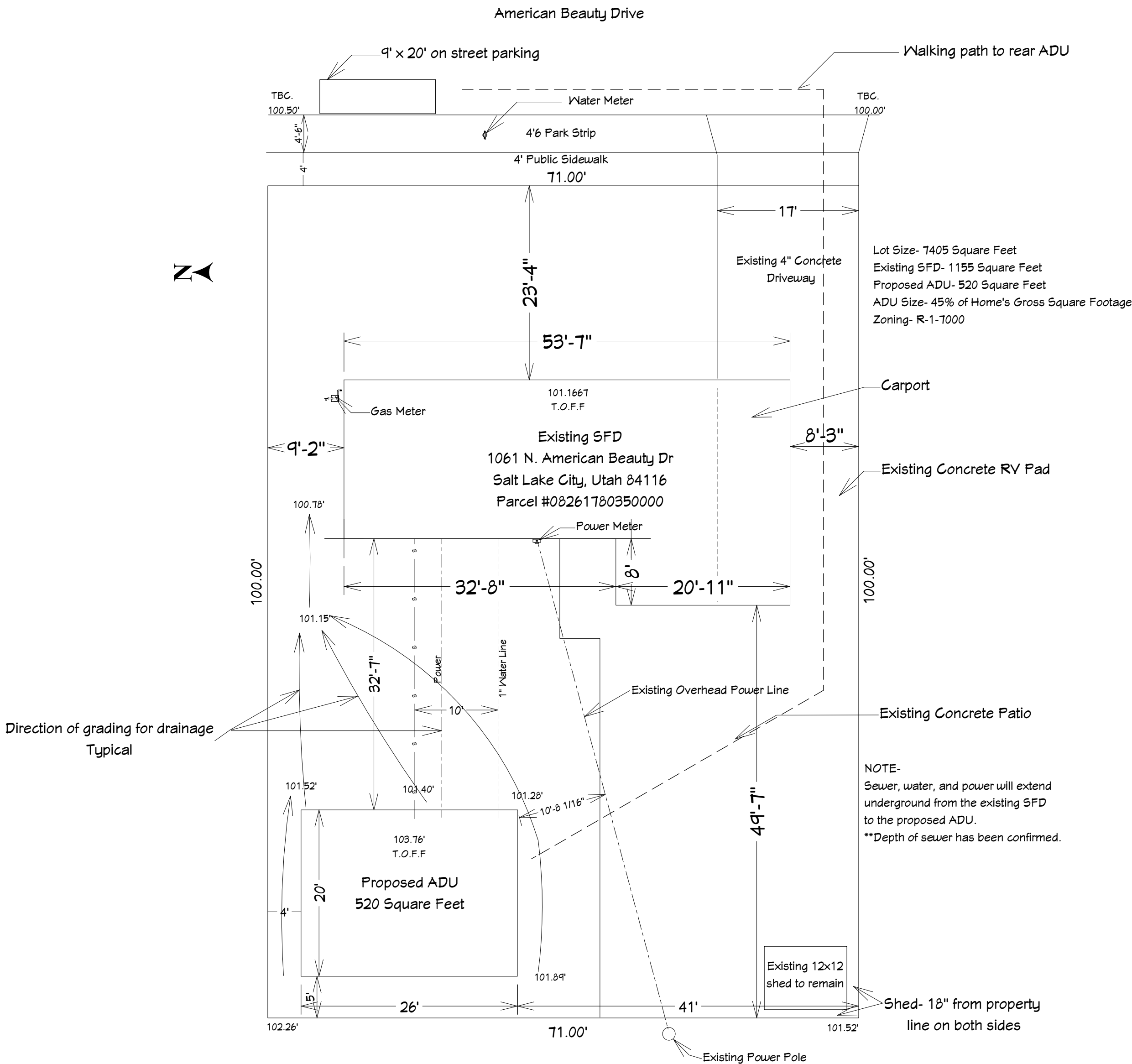
HOMEOWNER WILL TAKE NECESSARY
PRECAUTIONS TO REMOVE OR
RELOCATE ITEMS OF VALUE TO BE
REUSED AND/ OR SAVED, OR IN ANY
DANGER OF BEING DAMAGED DUE TO
CONSTRUCTION PROCESS.

Site Plan

Scale: 1" = 10'

ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF IRONWOOD CUSTOM BUILDERS, INC. DEVELOPED FOR THE EXCLUSIVE USE OF IRONWOOD CUSTOM BUILDERS, INC. REPRODUCTION, RE-USE, OR PUBLICATION BY ANY METHOD IS STRICTLY PROHIBITED. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF IRONWOOD CUSTOM BUILDERS, INC IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM IRONWOOD CUSTOM BUILDERS, INC



Keynotes

PROJECT
Haly Meacham
1061 N. American Beauty Dr
Salt Lake City, Utah



DESIGNER
KELLY
ANDERSON
2825 EAST
COTTONWOOD
PARKWAY
SUITE 500
SALT LAKE CITY
UTAH
84121
801-416-3131

SQUARE
FOOTAGE
MAIN FLOOR:
0
BASEMENT:
0
UPPER FLOOR:
0
BONUS ROOM:
0
PRE CAST:
0
COLD STORAGE:
0
ADDITION:
0

DATE:
00/00/0000

SHEET:
A1

FOUNDATION NOTES:

SLOPE CRAWL SPACE TO DRAIN. MAXIMUM SLOPE IS 2 HORIZ., 1 VERT. BETWEEN FOOTINGS AT DIFFERENT ELEVATIONS.

ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL.
STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH
BELOW FINISH GRADES.

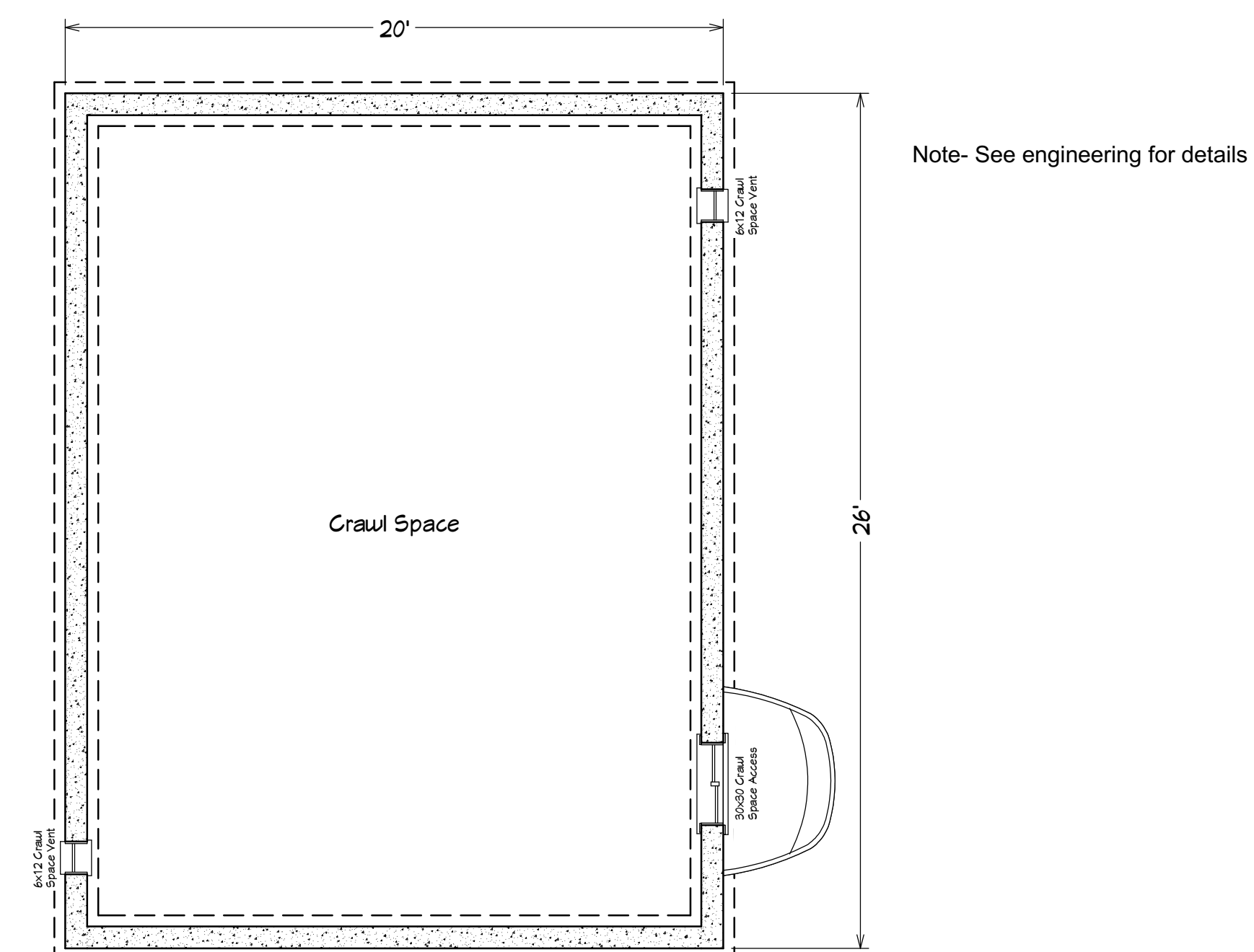
CONCRETE STRENGTH,
3,000 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN
BASED ON 2,500 PSI).
3,000 PSI AT 28 DAYS FOR ALL OTHER CONDITION.
MAXIMUM SLUMP, 4"

USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS
UNLESS NOTED OTHERWISE

CONCRETE EXPANSION ANCHORS SHALL BE 'SIMPSON WEDGE-ALL STUD ANCHORS' OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.

INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- * JOINTS AROUND WINDOW AND DOOR FRAMES
- * JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- * JOINTS BETWEEN WALL AND FOUNDATION
- * JOINTS BETWEEN WALL AND ROOF
- * JOINTS BETWEEN WALL PANELS
- * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS



Foundation Plan & Basement Floor Plan

Scale: 1/4" = 1'

ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF IRONWOOD CUSTOM BUILDERS, INC. DEVELOPED FOR THE EXCLUSIVE USE OF IRONWOOD CUSTOM BUILDERS, INC. REPRODUCTION, RE-USE, OR PUBLICATION BY ANY METHOD IS STRICTLY PROHIBITED. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF IRONWOOD CUSTOM BUILDERS, INC IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM IRONWOOD CUSTOM BUILDERS, INC

Keynotes

PROJECT
Haly Meacham
1061 N. American Beauty Dr
Salt Lake City, Utah



DESIGNER

KELLY
ANDERSON

2825 EAST
OTTONWOOD
PARKWAY
SUITE 500
ALT LAKE CITY
UTAH
84121
001-416-3131

SQUARE
NOTAGE

MAIN FLOOR:	0
BASEMENT:	0
UPPER FLOOR:	0
BONUS ROOM:	0
PRE CAST:	0
WLD STORAGE:	0
ADDITION:	0

DATE:	
0/00/0000	

SHEET:

A2

CARPENTRY:

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS, OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYG.P.S. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R602.3(1).

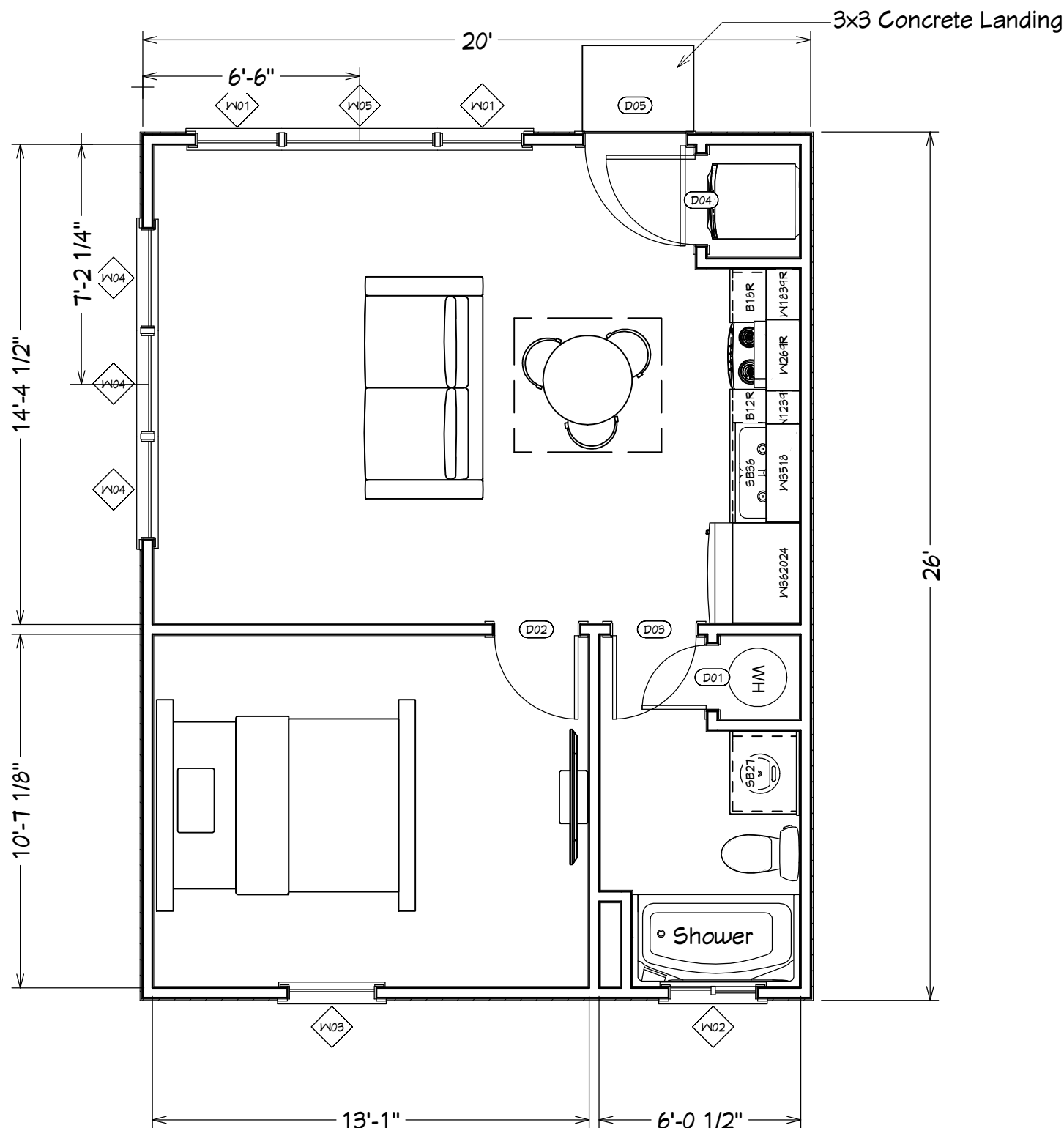
GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AITC 117. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD. GLULAM HANGERS NOT SHOWN SHALL BE SIMPSON EG. BEAMS SHALL BE VISUALLY GRADED WESTERN SPECIES INDUSTRIAL GRADE, AND OF THE STRENGTH INDICATED BELOW:

COMBINATION			
DEPTH	SYMBOL	SPECIES	USE
ALL	24F - V4	DF/DF	(SIMPLE SPAN)
ALL	24F - V8	DF/DF	(CONT. OR CANTILEVER)

PREMANUFACTURED WOOD JOISTS: PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUS JOIST COMPANY, OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE JOIST MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF JOISTS IN WRITING TO THE ARCHITECT/ENGINEER. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ICBO APPROVED.

- LUMBER SPECIES:
- A. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2
- B. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER
- C. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2.
- D. ALL STUDS TO BE DF#2 OR BETTER.
- E. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
ROOF SHEATHING SHALL BE 1/2" CDX INT-APA RATED 32/16.
WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB.
FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.
- F. '1' JOISTS SHALL BE MANUFACTURED BY TRUS JOIST OR ENGINEER APPROVED EQUAL.
- G. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

WINDOW SCHEDULE													
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER	CODE	MANUFACTURER	COMMENTS
W01	2640SC	2	1	2640SC	30 "	48 "	31"x49"		SINGLE CASEMENT-HL	2x6x34" (2)			
W02	2816LS	1	1	2816LS	32 "	18 "	33"x14"		LEFT SLIDING	2x6x36" (2)			Tempered and obscured Obscured
W03	2840SH	1	1	2840SH	32 "	48 "	33"x49"	x	SINGLE HUNG	2x6x36" (2)			
W04	3056FX	3	1	3056FX	36 "	66 "	31"x61"		FIXED GLASS	2x6x40" (2)			
W05	4640FX	1	1	4640FX	54 "	48 "	55"x49"		FIXED GLASS	2x6x58" (2)			
W06	30X30 CRAWL SPACE ACCESS	1	0	2626RS	30 "	30 "	31"x31"		RIGHT SLIDING	2x6x31" (2)			
W07	6X12 CRAWL SPACE VENT	2	0	1010FX	12 "	12 "	13"x13"		FIXED GLASS	2x6x13" (2)			



DOOR SCHEDULE													
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS	CODE	MANUFACTURER	COMMENTS
D01	11168	1	1	11168 L IN	23 "	80 "	25"x82 1/2"	HINGED-DOOR P04	2x6x28" (2)	1 3/8"			
D02	2668	1	1	2668 L IN	30 "	80 "	32"x82 1/2"	HINGED-DOOR P04	2x6x35" (2)	1 3/8"			
D03	2668	1	1	2668 R IN	30 "	80 "	32"x82 1/2"	HINGED-DOOR P04	2x6x35" (2)	1 3/8"			
D04	2868	1	1	2868 R IN	32 "	80 "	34"x82 1/2"	HINGED-DOOR P04	2x6x37" (2)	1 3/8"			
D05	3068	1	1	3068 L EX	36 "	80 "	38"x83"	EXT. HINGED-DOOR E21	2x6x41" (2)	1 3/4"			

Main Floor Plan


Scale: 1/4" = 1'

ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF IRONWOOD CUSTOM BUILDERS, INC. DEVELOPED FOR THE EXCLUSIVE USE OF IRONWOOD CUSTOM BUILDERS, INC. REPRODUCTION, RE-USE, OR PUBLICATION BY ANY METHOD IS STRICTLY PROHIBITED. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF IRONWOOD CUSTOM BUILDERS, INC IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM IRONWOOD CUSTOM BUILDERS, INC

Keynotes

PROJECT
Haly Meacham
1061 N. American Beauty Dr
Salt Lake City, Utah



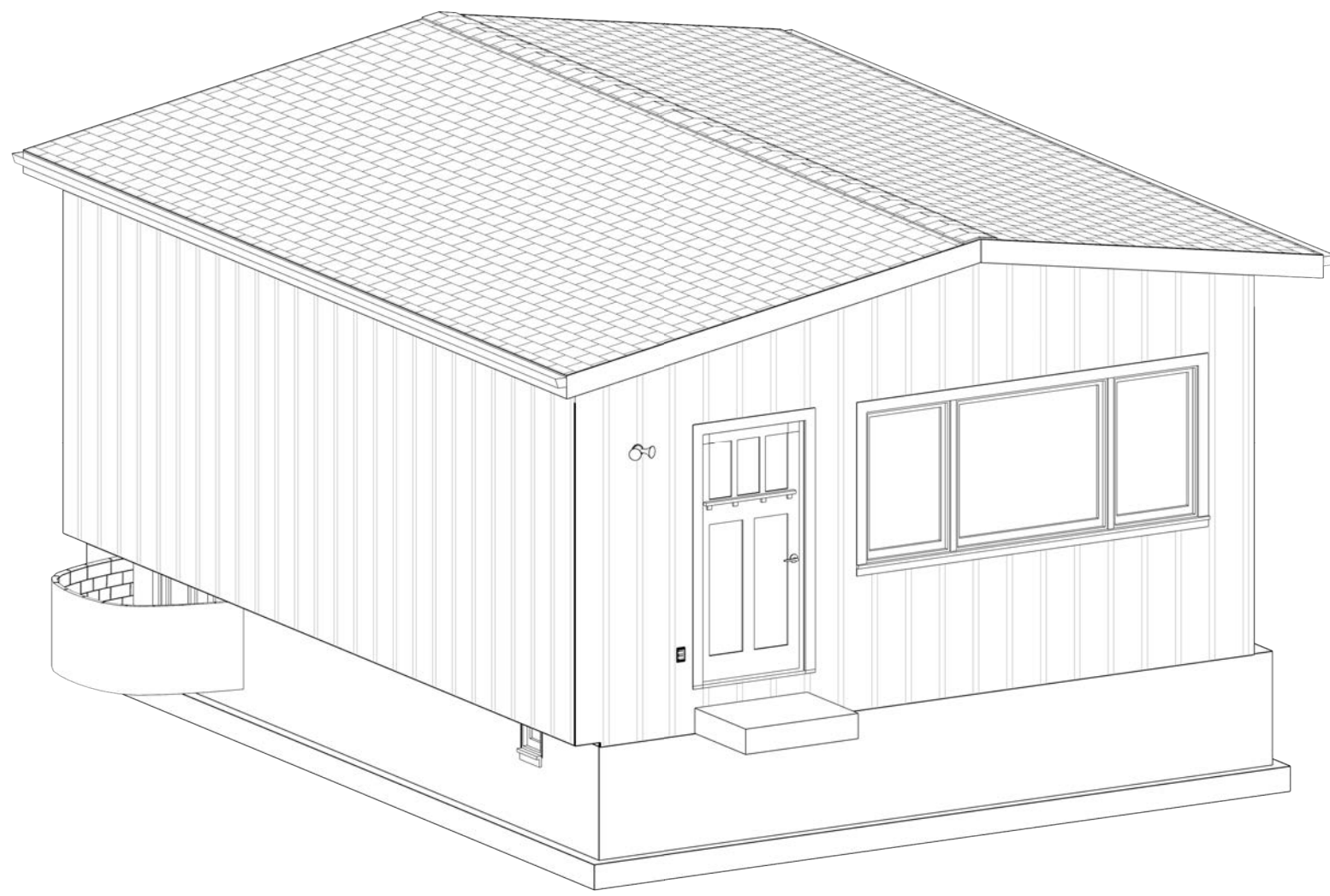
DESIGNER
KELLY
ANDERSON

2825 EAST
COTTONWOOD
PARKWAY
SUITE 500
SALT LAKE CITY
UTAH
84121
801-416-3131

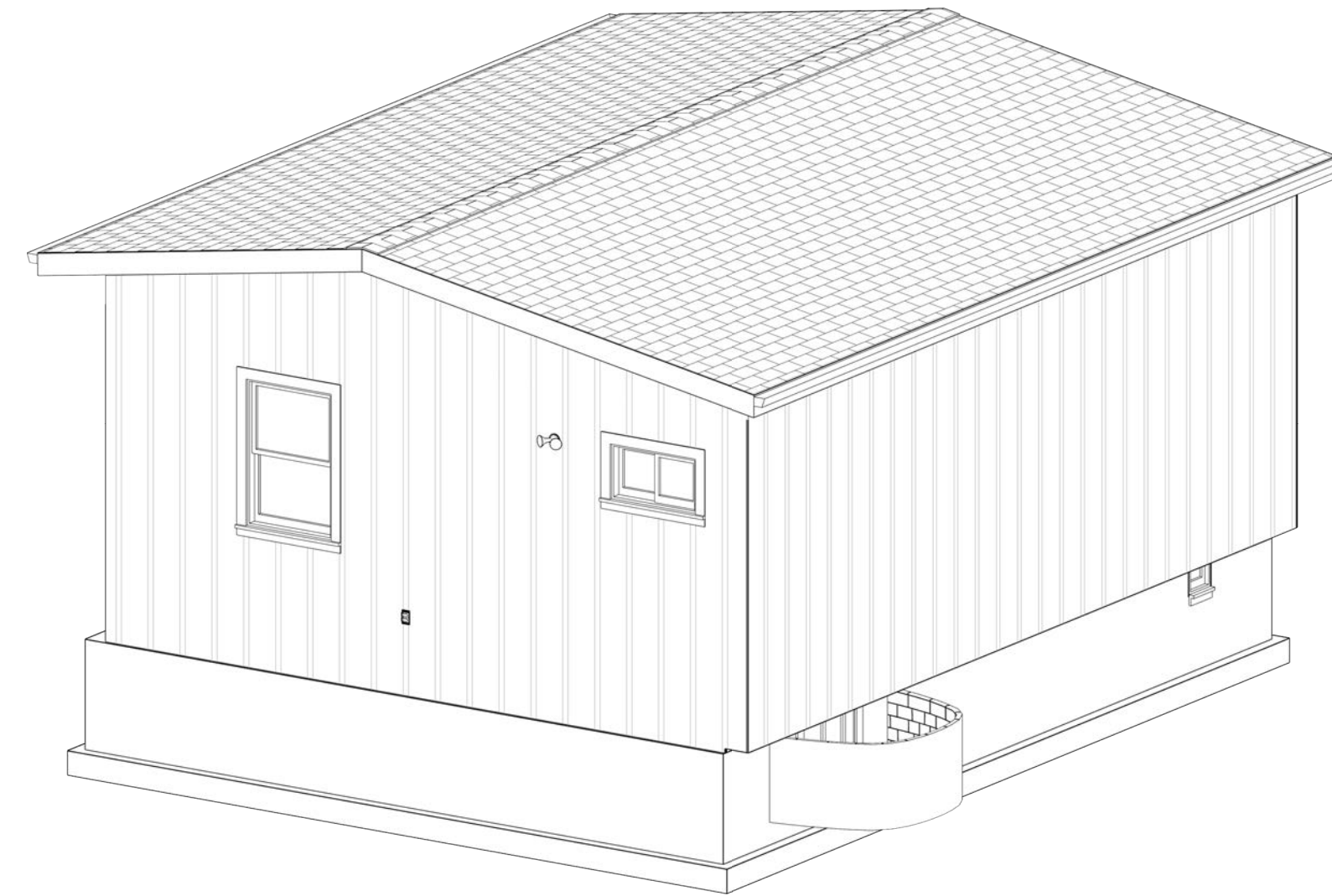
SQUARE
FOOTAGE

MAIN FLOOR:
0
BASEMENT:
0
UPPER FLOOR:
0
BONUS ROOM:
0
PRE CAST:
0
COLD STORAGE:
0
ADDITION:
0

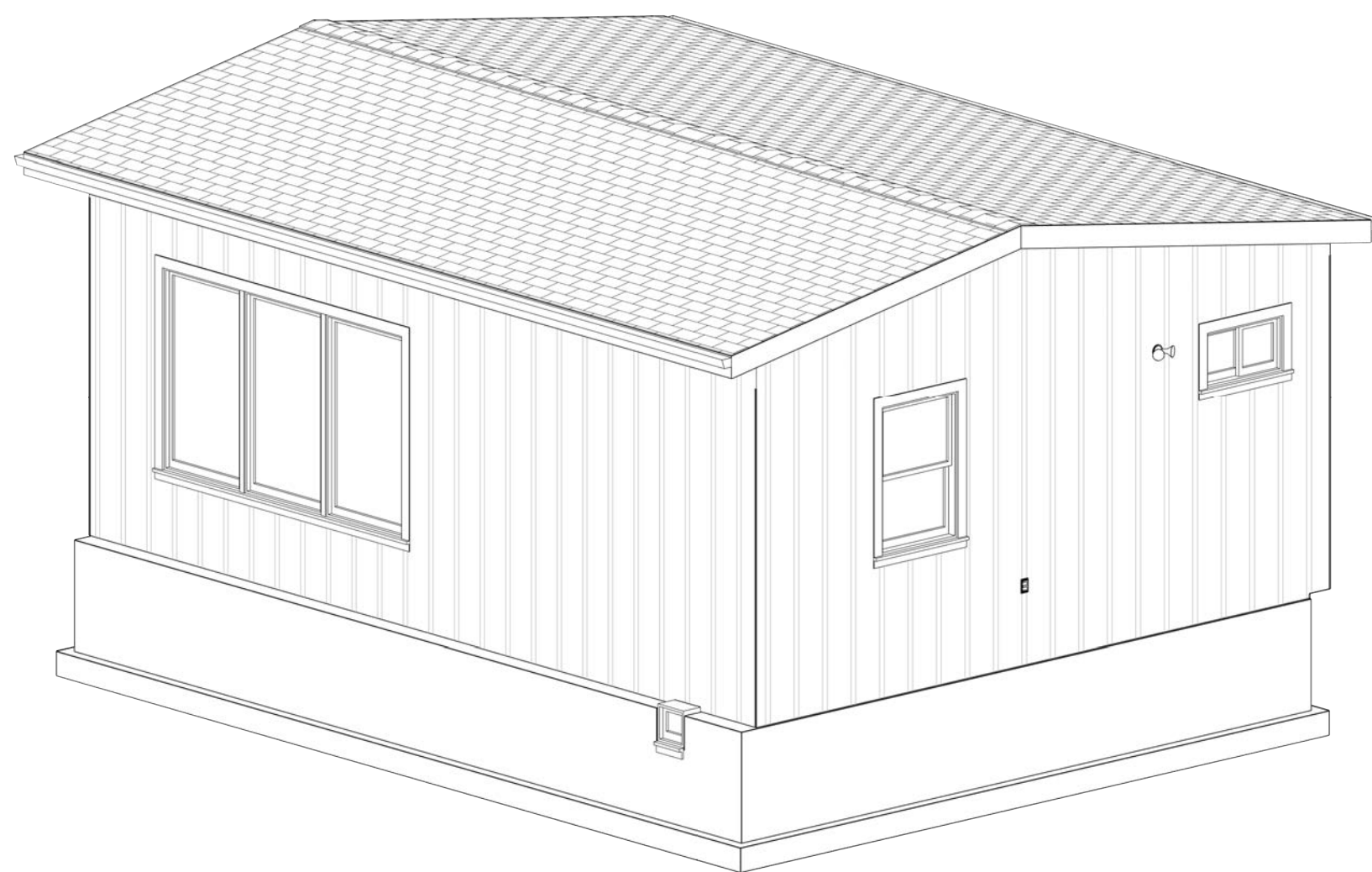
DATE:
00/00/0000
SHEET:
A3



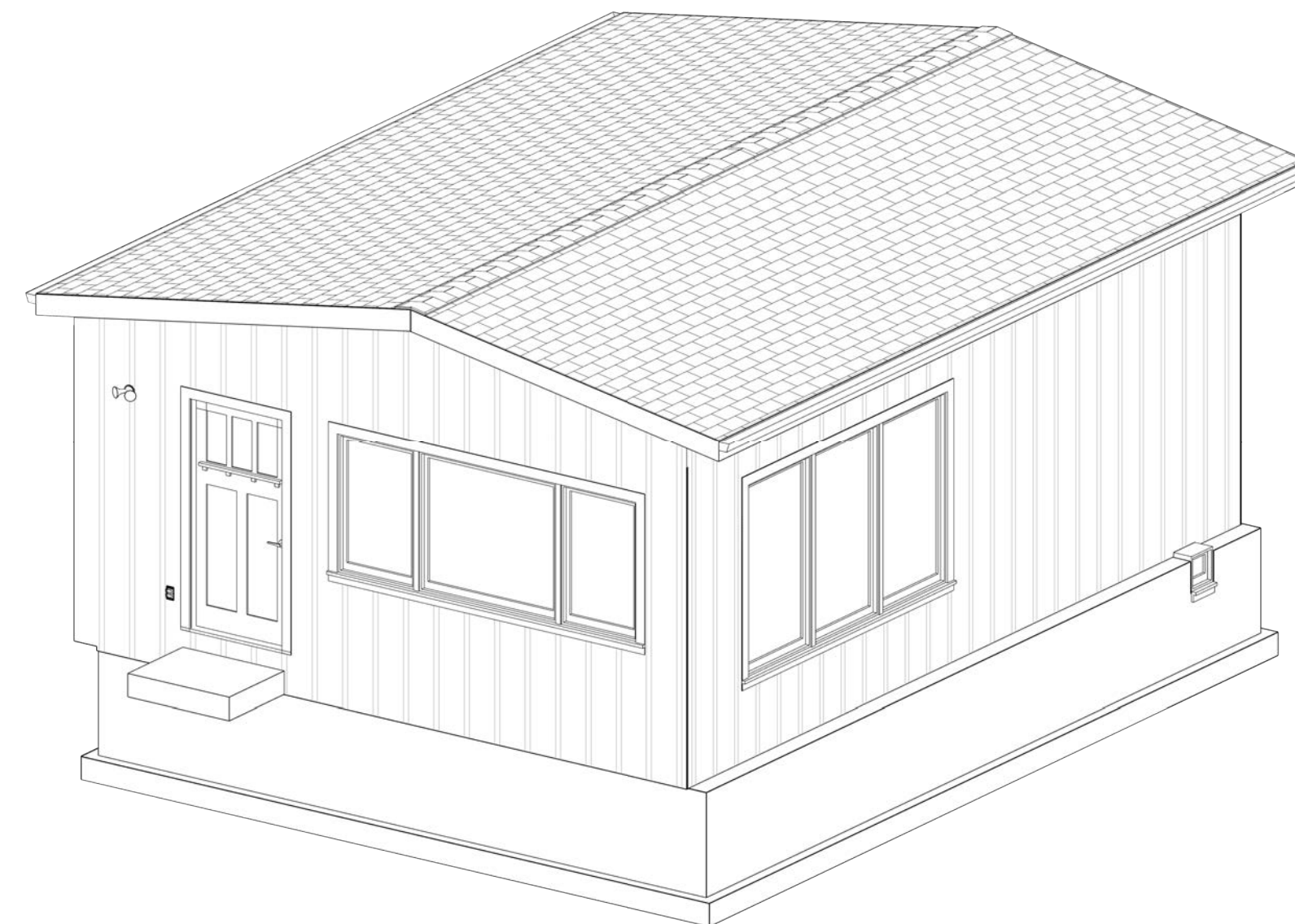
Camera 8



Camera 9



Camera 10



Camera 11

3D Elevations

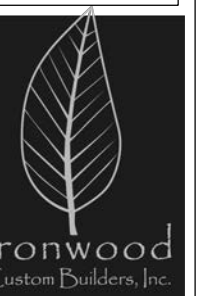
Scale: 1/4" = 1'

ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF IRONWOOD CUSTOM BUILDERS, INC. DEVELOPED FOR THE EXCLUSIVE USE OF IRONWOOD CUSTOM BUILDERS, INC. REPRODUCTION, RE-USE, OR PUBLICATION BY ANY METHOD IS STRICTLY PROHIBITED. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF IRONWOOD CUSTOM BUILDERS, INC IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM IRONWOOD CUSTOM BUILDERS, INC

Keynotes

PROJECT
Haly Meacham
1061 N. American Beauty Dr
Salt Lake City, Utah



DESIGNER

KELLY
ANDERSON

2825 EAST
COTTONWOOD
PARKWAY
SUITE 500
SALT LAKE CITY
UTAH
84121
801-416-3131

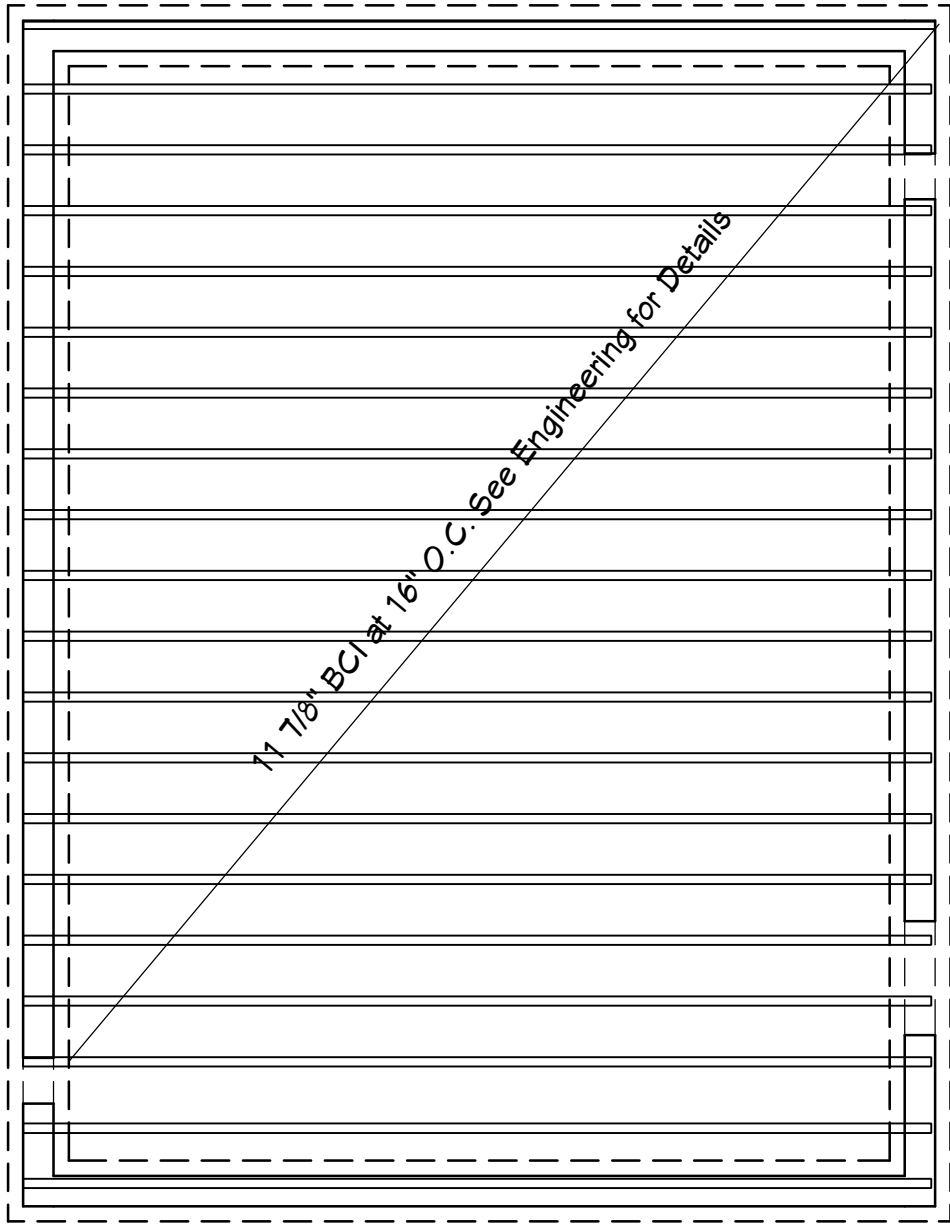
SQUARE FOOTAGE

MAIN FLOOR:
0
BASEMENT:
0
UPPER FLOOR:
0
BONUS ROOM:
0
PRE CAST:
0
COLD STORAGE:
0
ADDITION:
0

DATE:
00/00/0000

SHEET:

A4



Framing, Floor Plan View

Floor Framing

Scale: 1/4" = 1'

ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF IRONWOOD CUSTOM BUILDERS, INC. DEVELOPED FOR THE EXCLUSIVE USE OF IRONWOOD CUSTOM BUILDERS, INC. REPRODUCTION, RE-USE, OR PUBLICATION BY ANY METHOD IS STRICTLY PROHIBITED. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF IRONWOOD CUSTOM BUILDERS, INC IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM IRONWOOD CUSTOM BUILDERS, INC

Keynotes

PROJECT
Haly Meacham
1061 N. American Beauty Dr
Salt Lake City, Utah



DESIGNER
KELLY
ANDERSON
2825 EAST
COTTONWOOD
PARKWAY
SUITE 500
SALT LAKE CITY
UTAH
84121
801-416-3131

SQUARE
FOOTAGE

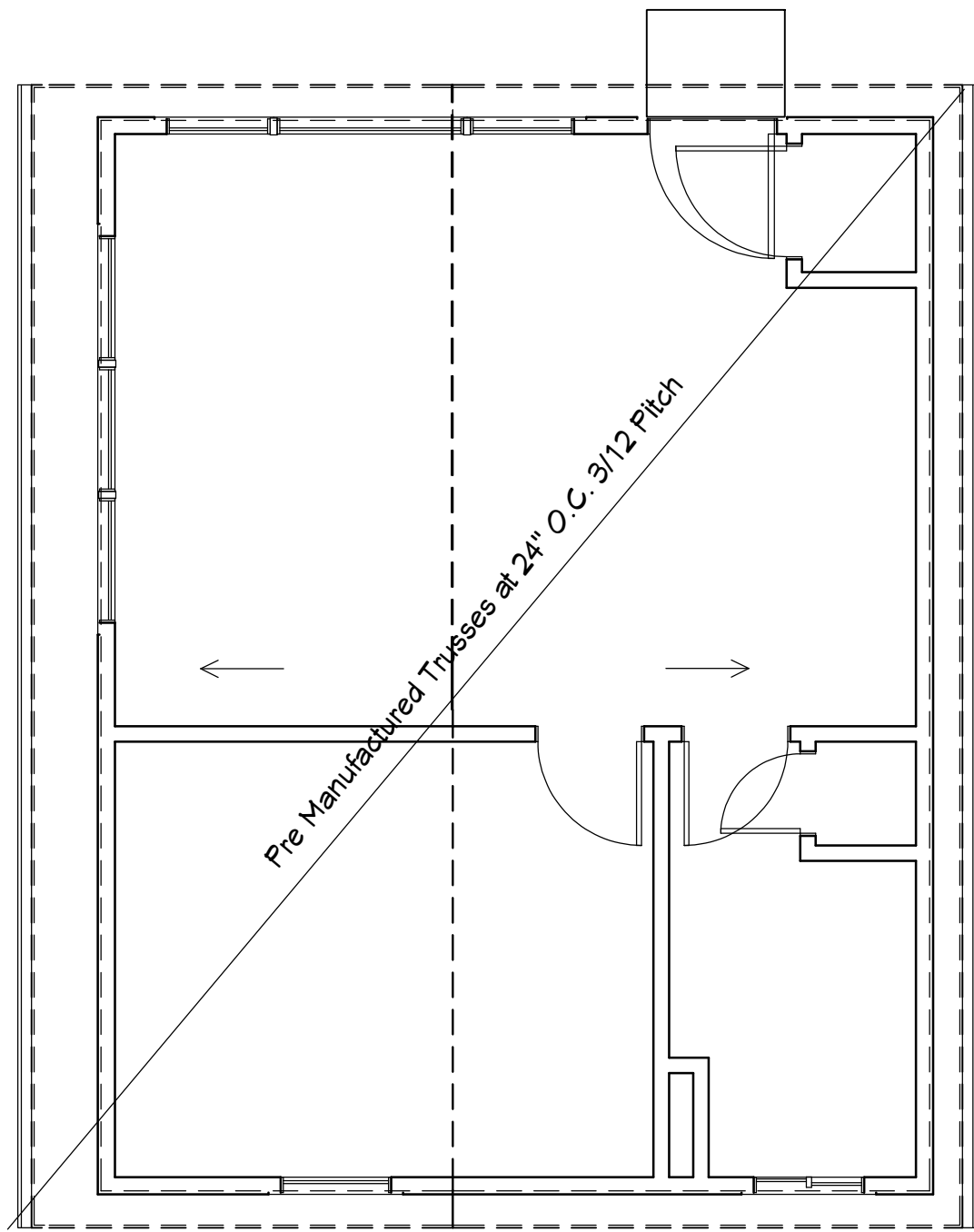
MAIN FLOOR:
0
BASEMENT:
0
UPPER FLOOR:
0
BONUS ROOM:
0
PRE CAST:
0
COLD STORAGE:
0
ADDITION:
0

DATE:
00/00/0000

SHEET:
A5

TRUSS NOTES

- 1. Attic Ventilation= area/300
- 2. All trusses shall carry manufacturer's stamp
- 3. All trusses shall be installed and braced to manufacturer's specifications
- 4. All trusses will not be field altered without prior building department approval of engineering calculations
- 5. All trusses shall have design details and drawings on site for framing inspection
- 6. Non bearing walls should be held down from from truss bottom chord to insure that the bottom chord will not bear on the wall
- 7. All connections of rafters, jack or hip trusses, to main girder to be provided by truss manufacturer
- 8. All roof framing 24" o.c UNO on truss specs



Roof Plan View

Roof Plan & Roof Framing

Scale 1/4" = 1'

ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF IRONWOOD CUSTOM BUILDERS, INC. DEVELOPED FOR THE EXCLUSIVE USE OF IRONWOOD CUSTOM BUILDERS, INC. REPRODUCTION, RE-USE, OR PUBLICATION BY ANY METHOD IS STRICTLY PROHIBITED. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF IRONWOOD CUSTOM BUILDERS, INC IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM IRONWOOD CUSTOM BUILDERS, INC

Keynotes

PROJECT
Haly Meacham
1061 N. American Beauty Dr
Salt Lake City, Utah



DESIGNER
KELLY
ANDERSON
2825 EAST
COTTONWOOD
PARKWAY
SUITE 500
SALT LAKE CITY
UTAH
84121
801-416-3131

SQUARE
FOOTAGE
MAIN FLOOR:
0
BASEMENT:
0
UPPER FLOOR:
0
BONUS ROOM:
0
PRE CAST:
0
COLD STORAGE:
0
ADDITION:
0

DATE:
00/00/0000

SHEET:

A6

1. Required Outlets: (IRC E3801 & NEC 210.52)

- a. **Wall spaces** 2' or more wide so that any point is not more than 6' from a receptacle measured along the floor line.
- b. **Wall counter spaces** 12" or wider shall have outlets spaced so that no point along the wall is more than 24" from an outlet.
- c. **Peninsular and Island counter spaces** with a long dimension of 24" or greater shall have at least one receptacle.
Note - receptacles shall not be installed under countertop which extend more than 6" beyond their base.
- d. **Bathrooms**, at least one receptacle outlet shall be installed within 36" of the outside edge of each
- e. **Outdoor**, at least one receptacle outlet shall be installed in the front and back of a dwelling, not more than 6.5' above grade
- f. **Laundry**, at least one receptacle outlet required
- g. **Hallways**, at least one receptacle outlet required in hallways of 10' or more in length.
- h. **Basements & Garages**, at least one receptacle outlet required

a. Kitchen, dining room, pantry, breakfast room, or similar areas shall be served by at least 2 - 20 amp small appliance branch circuits.

c.Laundry areas

4. GFCI protection: shall be provided for all receptacle outlets on kitchen countertops, in bathrooms, garages, outdoors, within 6' of laundry, utility or wet bar, and in unfinished basements. IRC E3802 NEC 210.8A.

6. Electrical Panels: fuse boxes, switchgear, and similar equipment will be provided with adequate working space. (min. 30" wide, 36" deep, and 78" high) IRC E3305.2 NEC 110.26

8. Carbon Monoxide Detectors/Alarms: required on every habitable level of a residence that contains a fuel burning appliance. SA – R313.2

9. Alterations, repairs, and additions: Interior repairs or alterations requiring a permit occur, the dwelling shall be provided with smoke alarms located as required for new dwellings. In existing construction, battery type alarms may be provided when hard wiring and interconnection is not feasible. SA-R313.5

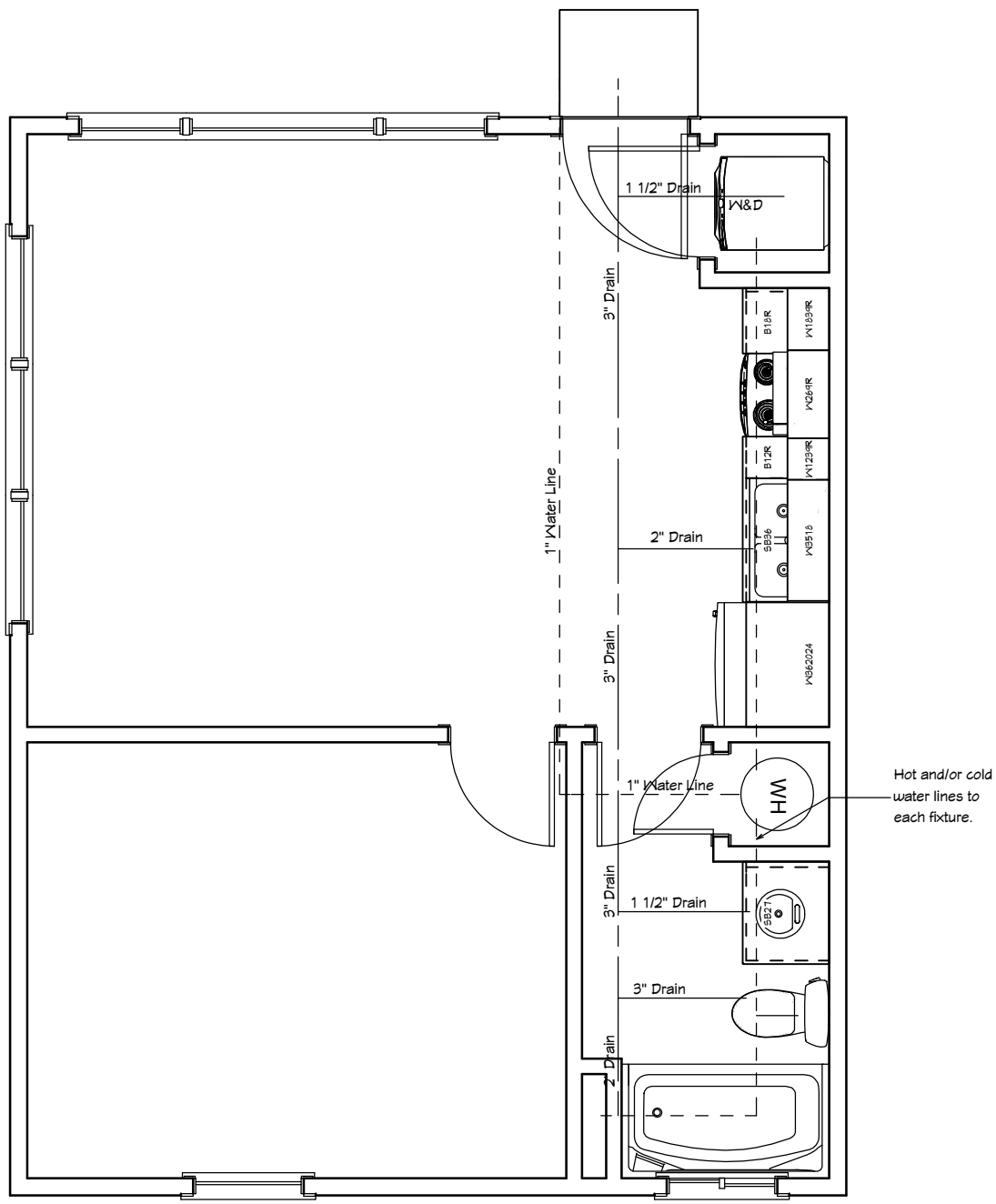
10. **Lights in Closets:** min 12" clearance between incandescent fixture and storage space or 6" clearance between fluorescent fixture and storage space. IRC E3903.11 NEC 410.8

11. Temporary Wiring: shall conform to NEC Article 590

12. Nail Plates: (shield Plates) shall be installed to protect concealed wiring inside of framing members, where the bored hole is closer than 1-1/4" to the nearest edge of the framing member or the framing member is notched, a steel plate not less than 1/16" thick and appropriate length and width shall be installed to cover the area of the wiring. IRC TABLE E3702.1 NEC 300.4 (A)(1) & (2)

13. Smoke and Carbon Alarms: Install smoke and carbon alarms per IRC R314 and R315

ELECTRICAL - DATA - AUDIO LEGEND



Plumbing Layout

Plumbing Plan

Scale:

ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF IRONWOOD CUSTOM BUILDERS, INC. DEVELOPED FOR THE EXCLUSIVE USE OF IRONWOOD CUSTOM BUILDERS, INC. REPRODUCTION, RE-USE, OR PUBLICATION BY ANY METHOD IS STRICTLY PROHIBITED. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF IRONWOOD CUSTOM BUILDERS, INC IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM IRONWOOD CUSTOM BUILDERS, INC

Keynotes

PROJECT
Haly Meacham
1061 N. American Beauty Dr
Salt Lake City, Utah



DESIGNER
KELLY
ANDERSON
2825 EAST
COTTONWOOD
PARKWAY
SUITE 500
SALT LAKE CITY
UTAH
84121
801-416-3131

SQUARE
FOOTAGE

MAIN FLOOR:
0
BASEMENT:
0
UPPER FLOOR:
0
BONUS ROOM:
0
PRE CAST:
0
COLD STORAGE:
0
ADDITION:
0

DATE:
00/00/0000

SHEET:
A8



Elevation

Scale: 1/4" = 1'

ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF IRONWOOD CUSTOM BUILDERS, INC. DEVELOPED FOR THE EXCLUSIVE USE OF IRONWOOD CUSTOM BUILDERS, INC. REPRODUCTION, RE-USE, OR PUBLICATION BY ANY METHOD IS STRICTLY PROHIBITED. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF IRONWOOD CUSTOM BUILDERS, INC IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM IRONWOOD CUSTOM BUILDERS, INC

Keynotes

PROJECT
Haly Meacham
1061 N. American Beauty Dr
Salt Lake City, Utah



DESIGNER
KELLY
ANDERSON
2825 EAST
COTTONWOOD
PARKWAY
SUITE 500
SALT LAKE CITY
UTAH
84121
801-416-3131

SQUARE
FOOTAGE

MAIN FLOOR:
0
BASEMENT:
0
UPPER FLOOR:
0
BONUS ROOM:
0
PRE CAST:
0
COLD STORAGE:
0
ADDITION:
0

DATE:
00/00/0000

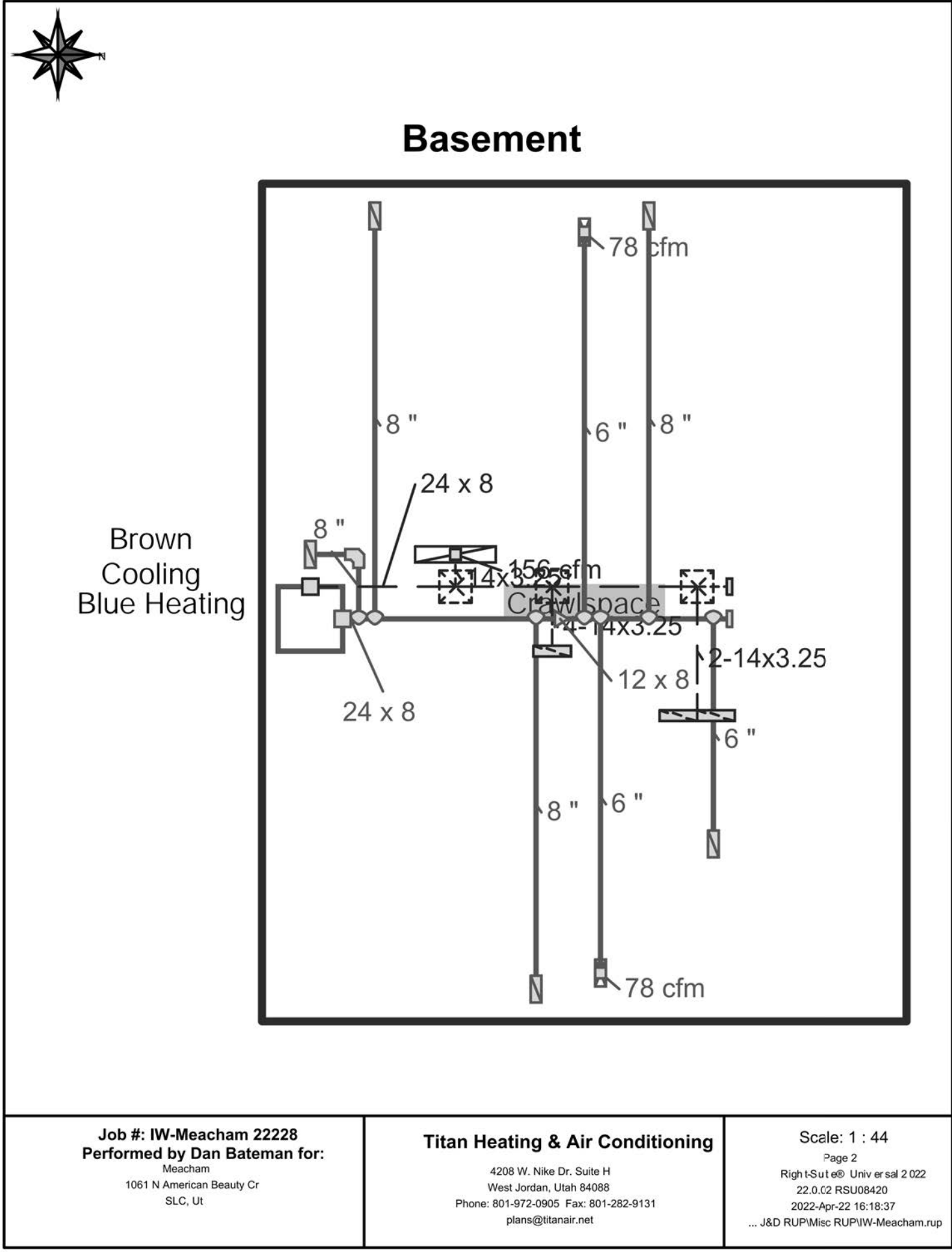
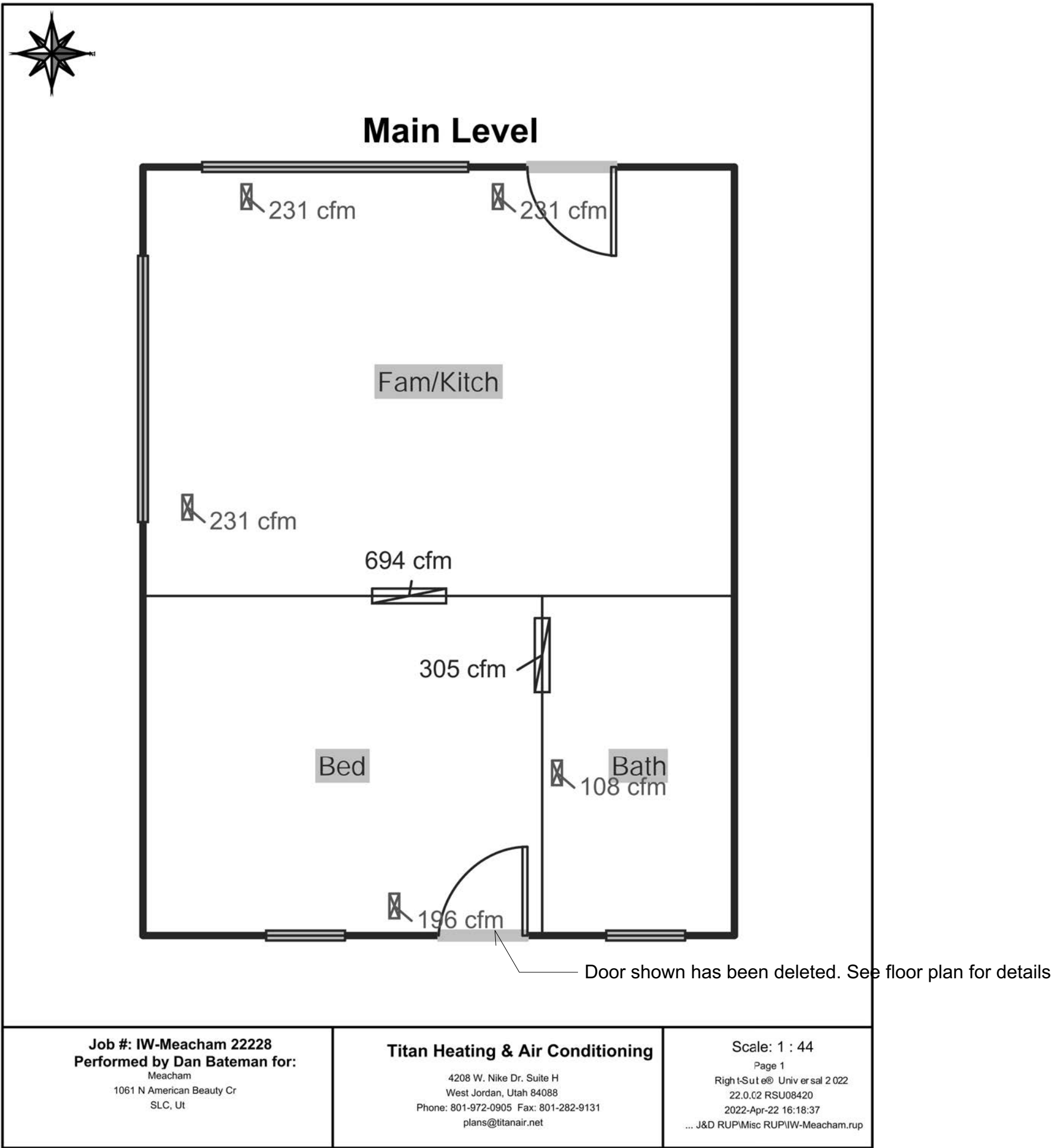
SHEET:
A9

HVAC Plan

Scale:

ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF IRONWOOD CUSTOM BUILDERS, INC. DEVELOPED FOR THE EXCLUSIVE USE OF IRONWOOD CUSTOM BUILDERS, INC. REPRODUCTION, RE-USE, OR PUBLICATION BY ANY METHOD IS STRICTLY PROHIBITED. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF IRONWOOD CUSTOM BUILDERS, INC IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM IRONWOOD CUSTOM BUILDERS, INC



PROJECT
 Haly Meacham
 1061 N. American Beauty Dr
 Salt Lake City, Utah



DESIGNER
 KELLY
 ANDERSON
 2825 EAST
 COTTONWOOD
 PARKWAY
 SUITE 500
 SALT LAKE CITY
 UTAH
 84121
 801-416-3131

SQUARE
 FOOTAGE
 MAIN FLOOR:
 0
 BASEMENT:
 0
 UPPER FLOOR:
 0
 BONUS ROOM:
 0
 PRE CAST:
 0
 COLD STORAGE:
 0
 ADDITION:
 0

DATE:
 00/00/0000
 SHEET:
 A10



REScheck Software Version 4.6.5

Compliance Certificate

Project Meacham ADU

Energy Code:	2015 IECC
Location:	Salt Lake City, Utah
Construction Type:	Single-family
Project Type:	New Construction
Conditioned Floor Area:	520 ft2
Glazing Area	17%
Climate Zone:	5 (5765 HDD)
Permit Date:	
Permit Number:	

Owner/Agent:

Designer/Contractor:
Ironwood Custom Builders, Inc.
2825 East Cottonwood Parkway
Suite 500
Salt Lake City, UT 84121
801-416-3131

Compliance: Passes using UA trade-off

Compliance: **0.9% Better Than Code** Maximum UA: **114** Your UA: **113**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Floor 1: All-Wood Joist/Truss/Over Unconditioned Space	520	38.0	0.0	0.026	14
Wall 1: Wood Frame, 24" o. c.	596	14.0	0.0	0.077	35
Window 1: Vinyl/Fiberglass Frame:Double Pane with Low-E	99			0.340	34
Door 1: Solid	41			0.140	6
Ceiling 1: Flat Ceiling or Scissor Truss	520	55.0	0.0	0.024	12
Crawl 1: Solid Concrete or Masonry	230	0.0	13.0	0.062	12
Wall height: 3.0'					
Depth below grade: 2.5'					
Insulation depth: 2.5'					

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2015 IECC requirements in REScheck Version 4.6.5 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title _____ Signature _____ Date _____

Project Title: Meacham ADU Report date: 05/18/2024
 Data filename: C:\Users\homeb\OneDrive\Documents\REScheck\Meacham Res Check.rck Page 1 of 1



RESIDENTIAL CUSTOMER INFORMATION SHEET

Please complete this form and return to the Estimator assigned to your job

Customer Information

Customer's Name: Haly Meacham Phone No: _____ Request Number: _____
Address: 1061 N. American Beauty Dr E-mail address: _____ Fax No: _____
Total Square Footage: 520 Built Out Square Footage: _____ Unfinished Square Footage: 0
Upstairs Square Footage: 0 Main Floor Square Footage: 520 Basement Square Footage: 0

Service Description

Desired Secondary Voltage: ☒ 1 Phase 120/240 ☐ 3 Phase 120/208V ☐ Other: _____
Note: Not all voltages may be available
 Panel Size (in Amps): /00 _____ Panel Size (in Amps): _____
 Nearest Pole or Equipment number: _____ Nearest Pole or Equipment number: _____
 Electrical Contractor: _____ Phone No: _____

Load List (attach additional sheets if necessary)

Description	Phase (check correct one)	Locked Rotor Amps	Running Load Amps	Load/Size (Tons*, HP, kW)	Unit
Air conditioner #1 (Largest)	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				Tons*
Air conditioner #2	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				Tons*
Air conditioner #3	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				Tons*
Air conditioner #4	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				Tons*
Air conditioner #5	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				Tons*
Exhaust Fans	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				HP
Forced Air Furnace	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø			1.8	kW
Electric Heat	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				kW
Electric Water Heating	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				kW
Electric Water Heating (on demand)	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				kW
Boiler	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				kW
Heat Exchanger	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				kW
Humidifier	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				kW
Kitchen Equipment	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø			3.0	kW
Electric Range	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø			8.445	kW
Dishwasher	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø			1.44	kW
Microwave	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø			1.5	kW
Washer/Dryer	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø			1.5	kW
Hot Tub/Spa	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				kW
Lighting	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø			.75	kW
Outlets	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø			.75	kW
Computers, Magnetic Power Supplies	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				kW
Office Equipment	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				kW
Snow Melting	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				kW
Swimming Pool	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				kW
Elevator	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				kW
Motors (include motor codes)	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				HP
Largest Motor (not included above) & code	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				HP
Miscellaneous	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				kW
Future	<input type="checkbox"/> 1Ø or <input type="checkbox"/> 3Ø				kW
Totals (convert to kW as necessary)			* 12,000 BTUs per ton	19.16	kW

It is important to provide the most accurate information available, as it is used by the Estimator to design PacifiCorp's facilities and determine the customer's costs. Please sign and date this form before giving it to your estimator.

Customer Signature	Date
<ul style="list-style-type: none"> • You may wish to consult a trained professional (electrician, engineer, etc.) prior to providing the information to your estimator. • Install meter outdoors at a location acceptable to the Power Company. Locate the meter within 10 feet of the street side (front side) of the residence, on the side of the residence closest to the Power Company's source. • Motors larger than 30-35hp or 10-15hp will require approval by our engineering department prior to installation in order to determine the acceptable starting current. 	

Revised 04Nov11

RES Check and Electrical Load Sheet

Scale:

ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF IRONWOOD CUSTOM BUILDERS, INC. DEVELOPED FOR THE EXCLUSIVE USE OF IRONWOOD CUSTOM BUILDERS, INC. REPRODUCTION, RE-USE, OR PUBLICATION BY ANY METHOD IS STRICTLY PROHIBITED. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF IRONWOOD CUSTOM BUILDERS, INC IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM IRONWOOD CUSTOM BUILDERS, INC

Keynotes

PROJECT
Haly Meacham
1061 N. American Beauty Dr
Salt Lake City, Utah



DESIGNER

KELLY
ANDERSON

2825 EAST
COTTONWOOD
PARKWAY
SUITE 500
SALT LAKE CITY
UTAH
84121
801-416-3131

SQUARE
FOOTAGE

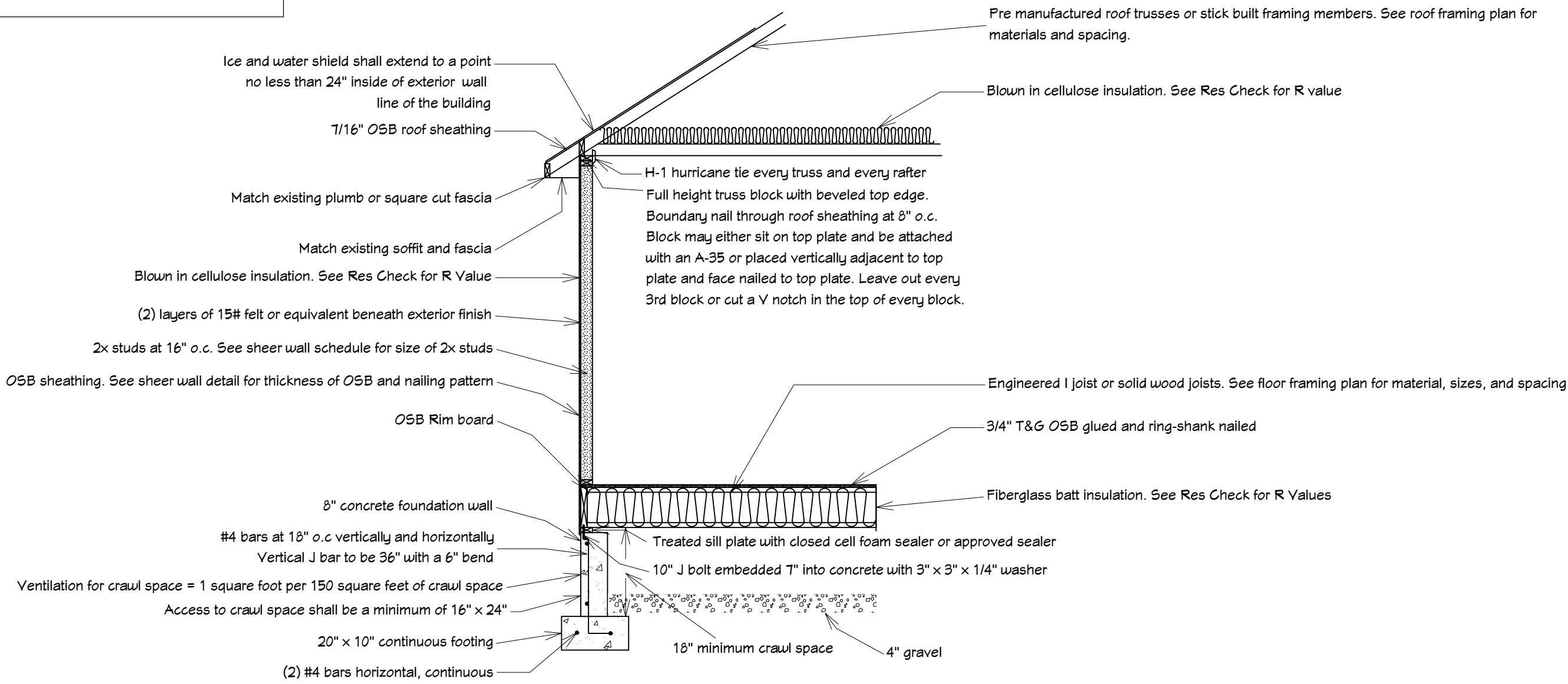
MAIN FLOOR: 0
BASEMENT: 0
UPPER FLOOR: 0
BONUS ROOM: 0
PRE CAST: 0
COLD STORAGE: 0
ADDITION: 0

DATE:
00/00/0000

SHEET:

A11

- NOTES:
1. When a wall is 5' from a property line, a maximum 36" eave overhang is allowed.
 2. When a wall is less than 5' but greater than or equal to 2' from the property line, an eave may only extend to a point that is 2' from the property line.
 3. When a wall is less than 2' but greater than 12" from the property line, a maximum 4" eave overhang is allowed.
 4. One-hour fire-resistant construction is required on the underside of the eave.
 5. 5/8" type 'X' Gypsum Wall Board (GWB); 1-hour rated is required on both sides when a wall is less than 5' from the property line.
 6. An approved connector capable of resisting 175 lbs. or more of uplift is required at the truss to top plate connection.
 7. Attic ventilation is required (1:150 venting ratio) if a ceiling is being installed.
 8. Minimum of 2 trimmers (jack studs) required for openings 5' or wider.
 9. When a wall is nearer to the property line than 5' it shall be constructed in accordance with 2015 IRC Table R302.1



Cross Sections & Details

Scale: 1/4" = 1'

ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF IRONWOOD CUSTOM BUILDERS, INC. DEVELOPED FOR THE EXCLUSIVE USE OF IRONWOOD CUSTOM BUILDERS, INC. REPRODUCTION, RE-USE, OR PUBLICATION BY ANY METHOD IS STRICTLY PROHIBITED. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF IRONWOOD CUSTOM BUILDERS, INC IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM IRONWOOD CUSTOM BUILDERS, INC

Keynotes

PROJECT
Haly Meacham
1061 N. American Beauty Dr
Salt Lake City, Utah



DESIGNER
KELLY
ANDERSON

2825 EAST
COTTONWOOD
PARKWAY
SUITE 500
SALT LAKE CITY
UTAH
84121
801-416-3131

SQUARE
FOOTAGE

MAIN FLOOR:
0
BASEMENT:
0
UPPER FLOOR:
0
BONUS ROOM:
0
PRE CAST:
0
COLD STORAGE:
0
ADDITION:
0

DATE:
00/00/0000

SHEET:

A12

Google Maps

American Beauty Dr

1061 North American Beauty Dr

— Location of Proposed ADU



Nearest Fire Hydrant- 487.2' away

— Fire Hydrant

Fire Hydrant Location

Scale:

ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF IRONWOOD CUSTOM BUILDERS, INC. DEVELOPED FOR THE EXCLUSIVE USE OF IRONWOOD CUSTOM BUILDERS, INC. REPRODUCTION, RE-USE, OR PUBLICATION BY ANY METHOD IS STRICTLY PROHIBITED. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF IRONWOOD CUSTOM BUILDERS, INC IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM IRONWOOD CUSTOM BUILDERS, INC

PROJECT
Haly Meacham
1061 N. American Beauty Dr
Salt Lake City, Utah



DESIGNER
**KELLY
ANDERSON**
2825 EAST
COTTONWOOD
PARKWAY
SUITE 500
SALT LAKE CITY
UTAH
84121
801-416-3131

SQUARE
FOOTAGE

MAIN FLOOR:	0
BASEMENT:	0
UPPER FLOOR:	0
BONUS ROOM:	0
PRE CAST:	0
COLD STORAGE	0
ADDITION:	0

DATE:	00/00/0000
-------	------------

SHEET:

A13

MECHANICAL -

1. **Furnaces:** within compartments or alcoves shall have a min. 3" working space on sides, back, and top. Enclosing space shall be min. 12" wider than the furnace. Outside combustion air required to furnace and water heater. M1305.1.1 M1703 **Garages:** Fuel fired appliances in garages shall have sources of ignition installed at least 18" above the floor. M1307.3 G2408.2
2. **Flues/Exhausts:** shall be vented to the outdoors in accordance with their listing and label and manufacturers installation instructions. M1801.1
3. **Clothes Dryers:** shall be vented to the outdoors. Ducts to be metal with smooth interior surfaces, equipped with back- draft dampers. Sheet metal screws are not to be used. Max. length of duct is 25' less 2.5' for each 45 degree bend. M1502.1-6
4. **Ranges:** min. 30" vertical clearance to combustibles. M1901.1
5. **Exhaust Fans:** capable of exhausting min. 50 cfm of air to the outside required in bathrooms, toilet rooms, and similar compartments without a min. 1.5 sq. ft. operable window. R303.3 Exception

PLUMBING -

1. **Water Heaters:** shall be anchored or strapped in the upper and lower third of the appliance to resist a min. 1/3 of the operating weight of the appliance. T & P valves shall be piped to within 6" of the floor and approved floor drain. Expansion tank required. P2801.7, P2803.6.1, P2903.4
2. **Shower:** min. 900 sq. in. floor area and not less than 30" in minimum dimension. The area must be maintained from the door threshold to a height 70" above the drain. Maximum flow rate of 2.5 gallons/minute heads. Shower doors with a 22" minimum clear width, tempered, and that swing outward will be provided. P2708.1 and Table P2903.2
3. **Water closets:** 15" min, clearance from center line to adjacent wall/partition, 30" min. between similar fixtures, and 21" min. front clearance. Max. flow rate 1.6 gallon low-flush type. R307 T-P2903.2
4. **Plumbing vents:** shall terminate at least 2' above or 10' away from outside air-intake openings. Cannot be flag poled. P3103.4 &P3103.5
5. **Jetted Tubs:** provide access to pump per manufacturers installation instructions. Provide access to electrical without damage to building or finishes. Electrical outlet for tub to be GFCI protected. All metal piping systems, metal parts or electrical equipment, and pump motors associated with the hydromassage tub shall be bonded together using a copper bonding jumper not smaller than No. 8 solid unless it is a an approved listed double insulated system. P2720.1 E4109
6. **Nail Plates:** (shield Plates) shall be installed to protect concealed piping passing through or notched into structural members where there is less than 1-1/2" to the face of the member. A steel plate not less than 1/16" thick with appropriate length and extend a minimum 2" width above bottom plates and 2" below top plate. P2603.2.1

GENERAL -

1. **Footings:** Minimum 12" below undisturbed ground with the bottom of footing to be 30" deep (frost line) R403.1.4
2. **Foundation:** State amendment allows maximum 9' X 8" wall using 3000 psi concrete. Engineered designs are exempt from State amendment. (see State amendment for details TABLE 1805.5(5))
3. **Anchor bolts:** Required on all exterior walls, interior braced and bearing walls. 1/2" anchor bolts embedded a min. 7" into concrete, minimum 2 bolts per section with one bolt located not more than 12 inches or less than seven bolt diameters from each end of the plate section. Plate washers 1/4 inch 3 inches by 3 inches in size shall be provided between the foundation sill plate and the nut. R403.1.6, R403.1.6.1, R602.11.1 and State amendment
4. **Sole plate/sill:** Treated lumber or other approved material. Minimum 6" clearance from earth to untreated wood. R319.1
5. **Grading:** Slope away from SFD 6" (5%) in the first 10', drainage to go to an approved point of collection. R401.3 (cannot drain onto neighboring property)
6. **Solid blocking:** Required at bearing points for roof rafters, trusses, ceiling joists, and at all floor and roof perimeters. R802.8, R502.7, 502.11.2, Table R602.3(1)
7. **Straps and shoes:** Required at weakened or non-continuous top plates, and at all studs notched or bored beyond acceptable code limits. R602.6
8. **Energy Efficiency:** All new construction will require an energy compliance document stating the U- value of exterior glazing and doors, the R-value of all insulation to be installed, and the efficiency rating of the heating system. IRC Chapter 11 Insulation shall have a vapor retarder installed on the warm-in- winter side of the insulation. R318.1
9. **Attic ventilation:** 1/150 sq. ft. net free area of attic floor area (may be reduced to 1/300 sq. ft. provided 50-80 of the required ventilation occurs at least 3' above the cornice or eaves with the balance obtained from eave or cornice vents) R806.2
10. **Attic access:** Minimum 22" X 30" with a minimum of 30" headroom above the access, located in a hallway or other readily accessible location. R807.1
11. **Gypsum board:** ½" standard gypsum board allowed on interior surfaces only, one layer of 1/2" board required on the garage side of house to garage separation wall and on posts and ceilings supporting living areas. One layer of 5/8" type X board required to separate the garage from all habitable rooms above. Water resistant board shall not be used over vapor barriers or on ceilings with framing spaced at more than 16" centers. R702.3, R309.2, R702.3.8.
12. **Safety Glazing:** **A.** Required less than 60" above the drain of a shower or tub. **B.** Within 24" arc of a door when closed. **C.** Within 36" adjacent to stairways and less than 60"above. **D.** Within 60" horizontally of the bottom tread of a stairway and less than 60" above. **E.** When used as rails or guards. **F.** Bottom edge 18" of a floor and top edge over 36" and over 9 sq ft unless protected. R308
13. **Egress/rescue windows:** Required in all bedrooms unless there is an exterior door, at least one in every basement, maximum finished sill height of 44". R310.1
14. **Egress window wells:** Must project a minimum of 36" and provide at least 9 sq. ft. of net clear area. Ladders required if well is over 44" deep. Ladders shall be a min. 12" wide, project a min. of 3" from the wall at an 18" max. rung spacing. Note: egress wells are required for basement egress windows and bedroom or future bedrooms egress windows. (bays, pop-outs, and cantilevers not allowed over egress wells unless 36" above top of well) R310.2 R310.5
15. **Stairways:** Minimum 36" wide, minimum headroom 6'-8", maximum rise 8", minimum run 9", maximum variation in rise, run, or projection in a run of stairs - 3/8". Solid risers (concrete, etc.) Requires a 3/4" - 1-1/4" nosing or a 10" minimum tread depth. R311.5.3
16. **Storage areas:** Enclosed accessible space under stairs requires 1/2" gyp board protection of walls and ceiling. R311.2.2
17. **Handrails:** 1 handrail min. on any stair consisting of 4 or more risers. 34" - 38" in height measured from the nosing of the treads. Continuous the full length of the stairs from a point directly above the top riser to a point directly above the lowest riser of a stairway. Ends must return into a wall or terminate into a newel post or safety terminal. Min. 1-1/2" between wall and handrail. R311.5.6
18. **Landings:** Min. 36"D x 36"Wor width of door at all required exterior egress doors, and Min. 36"D x 36"W or width of stairs at top and bottom of all stairways. (Exception: Top of interior stairs, door does not swing over stairs.) R311.4.3, R311.5.4 (State Amendment)
19. **Guard (rails):** min. 34" high required on open sides of stairs, 36" high landings, and platforms over 30" above grade or floor. Baluster spacing such that a 4" sphere cannot pass through at any point. R312
20. **Doors:** Required exit door shall be side hinged 3 ft wide and 6'8" in height. House to garage - 1-3/8" solid core wood, metal clad, or 20-minute fire rated. Doors may not swing over stairs. R309.1, R311.4, R311.5.4
21. Actual construction will comply with with all applicable local ordinances and building codes.

General

Notes

ACTUAL CONSTRUCTION WILL COMPLY WITH ALL APPLICABLE LOCAL ORDINANCES AND THE 2015 IRC

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF IRONWOOD CUSTOM BUILDERS, INC. DEVELOPED FOR THE EXCLUSIVE USE OF IRONWOOD CUSTOM BUILDERS, INC. REPRODUCTION, RE-USE, OR PUBLICATION BY ANY METHOD IS STRICTLY PROHIBITED. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF IRONWOOD CUSTOM BUILDERS, INC IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM IRONWOOD CUSTOM BUILDERS, INC

Keynotes
PROJECT Haly Meacham 1061 N. American Beauty Dr Salt Lake City, Utah

DESIGNER KELLY ANDERSON 2825 EAST COTTONWOOD PARKWAY SUITE 500 SALT LAKE CITY UTAH 84121 801-416-3131
SQUARE FOOTAGE
MAIN FLOOR: 0 BASEMENT: 0 UPPER FLOOR: 0 BONUS ROOM: 0 PRE CAST: 0 COLD STORAGE: 0 ADDITION: 0
DATE: 00/00/0000
SHEET:
A14

ATTACHMENT D: Zoning Standards for ADUs

21A.24.050 - R-1-5,000 SINGLE-FAMILY RESIDENTIAL DISTRICT:

Purpose Statement: The purpose of the R-1-5,000 Single-Family Residential District is to provide for conventional single-family residential neighborhoods with lots not less than five thousand (5,000) square feet in size. This district is appropriate in areas of the City as identified in the applicable community Master Plan. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

UNDERLYING ZONING STANDARDS	PROPOSED	COMPLIES ?
MINIMUM LOT AREA: 5,000 square feet	The subject lot is 7405 square feet (0.17 acres) in size. No changes are proposed to the existing lot area with the proposed conditional use permit.	Yes
MINIMUM LOT WIDTH: 50 Feet	The subject lot is approximately 69 ft. wide. No changes are proposed to the existing lot area with the proposed conditional use permit.	Yes
MAXIMUM BUILDING HEIGHT: 17 Feet (Buildings with a pitched roof)	The proposed accessory structure is approximately 13 feet in height.	Yes
MINIMUM YARD REQUIREMENTS: <ul style="list-style-type: none"> Side Yard: 4 feet Rear Yard: 4 feet Distance from residences: 10 feet	The proposed detached structure in which the ADU will be established is located approximately 4 ft. from the rear property line and 4 ft. from the southern side property line, and 33 ft. to the primary residence.	Yes
MAXIMUM BUILDING COVERAGE: 40% of total lot size	The total footprint of the existing buildings on site is approximately 1819 SF. This comes to approximately 25% lot coverage, which is less than the maximum allowable lot coverage.	Yes

21A.40.200 – ACCESSORY DWELLING UNITS:

ADU STANDARDS	PROPOSED	COMPLIES ?
SIZE: ADU footprint shall not exceed 650 square feet or 50% of the footprint of the primary dwelling, whichever is less.	The proposed ADU has a footprint of about 520 square feet in size.	Yes
BULK, HEIGHT AND YARD: <ol style="list-style-type: none"> 1) Accessory building shall comply with underlying bulk, height, and yard requirements. 2) Accessory building may not be any larger than 50% of the footprint of the main dwelling. 	<ol style="list-style-type: none"> 1) The proposed accessory structured in which the ADU will be established complies with all zoning requirements 2) The new structure is about 45% of the footprint of the primary dwelling. 	Yes
ENTRANCE LOCATIONS: The entrance to an ADU attached to a primary building or structure shall be located: <ol style="list-style-type: none"> 1) An existing entrance to the single family dwelling; 2) When located on a building facade that faces a corner side yard, the entrance shall be set back a minimum of twenty feet (20') from the front building facade; 3) Exterior stairs leading to an entrance above the first level of the principal structure shall only be located on the rear elevation of the building; 4) Side entrances to an accessory dwelling unit are not considered a principal entry to the building and are exempt from subsection 21A.24.010H, "Side Entry Buildings", of this title; 5) Located on the rear facade of the dwelling; 6) Located in a side yard provided the side yard is at least eight feet (8') in width. Stairs leading to an ADU in the basement are permitted to encroach into the side yard. 	This requirement is not applicable to the proposed structure as it will not be attached to the primary building.	Yes

<p>REQUIREMENTS FOR WINDOWS:</p> <ol style="list-style-type: none"> 1) Windows facing the side or rear property lines within 10' of the property lines must use clerestories, skylights, or obscured glazing. 2) Windows shall be of a similar dimension as those used on the primary dwelling. 3) Windows on the ground floor may be retained if compliant with Building and Fire Codes. Windows on the second floor must be brought into compliance with this section. 	<ol style="list-style-type: none"> 1) The proposed accessory structure includes windows facing the side property line and that are also within 10 ft. of the property lines. Obscured glazing is required for all windows on the facades of the structure facing the rear and side property lines. 2) The proposed windows are similar to those on the existing primary dwelling. 3) This is a new structure, so no windows will be retained from a previously existing structure. The ADU is on a single level, so the window requirements for windows on the second floor do not apply. 	<p>Yes</p>
<p>BALCONIES AND DECKS:</p> <ol style="list-style-type: none"> 1) Shall not exceed 80 square feet in size. 2) Shall not be closer than 10 feet to a side or rear property line, unless adjacent to an alley. 3) No rooftop decks permitted 	<p>No decks or balconies are proposed.</p>	<p>N/A</p>
<p>PARKING: Minimum of one parking space on site.</p> <p>*This requirement may be waived if there is legal on-street parking along the street frontage of the property OR if the property is within 1/4 mile of a transit stop.</p>	<p>Legal on-street parking along American Beauty Drive is existing and there is a UTA bus stop on American Beauty, within 1/4 mile of the subject property, so the off-street parking requirement qualifies for a waiver under the adopted ordinance.</p>	<p>Yes</p>

ATTACHMENT E: Conditional Use Standards

21A.40.200 – ACCESSORY DWELLING UNITS: In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for a conditional use permit.

Conditional Use Standards

An application for a conditional use is required by city code 21A.54 and Utah Code 10-9A-507 to be approved if the proposal complies with the adopted standards of review and if any reasonably anticipated detrimental impact can be mitigated. Under Utah Code 10-9A-507, the standards must be objective, and mitigating any reasonably anticipated detrimental impact is required to be interpreted to mean reducing, not eliminating, the impact.

The Finding for each standard is the recommendation of the Planning Division based on the facts associated with the proposal, the discussion that follows, and the input received during the engagement process. Input received after the staff report is published has not been considered in this report.

21A.54.080.A: Approval Standards
Standard 1: The proposed use will comply with the applicable provisions of the Salt Lake City Zoning Ordinance;
Finding: The proposed use will comply with the applicable provisions of the Salt Lake City Zoning Ordinance.
Discussion: The proposed ADU use is located in the R-1-5000 Single Family Residential Zone which allows for an ADU to be approved through the conditional use process subject to meeting the specific regulations for an ADU in section 21A.40.200 of the zoning ordinance. As analyzed in Attachment D , the ADU complies with the requirements of 21A.40.200.
Standard 2: The use is compatible, or with conditions of approval can be made compatible, with surrounding uses
Finding: The proposed development and use is generally compatible with the surrounding uses.
Discussion: Proposed ADUs are anticipated in the R-1-5000 Single Family Residential Zone and are considered a use that is potentially compatible with adjacent and surrounding residential uses by being listed as a conditional use in the land use table. The property is located in an established single-family neighborhood and the ADU meets all the requirements in terms of setbacks, separation between adjacent houses, and separation from the primary house on the property.

Standard 3: The use is consistent with applicable adopted city planning policies, documents, and master plans;

Finding:

The use is consistent with applicable adopted city planning policies, documents, and master plans.

Discussion:

The purpose of accessory dwelling units is to:

- 1) Create new housing units while respecting the appearance and scale of single-family residential development;
- 2) Provide more housing choices in residential districts;
- 3) Allow more efficient use of existing housing stock, public infrastructure, and the embodied energy contained within existing structures;
- 4) Provide housing options for family caregivers, adult children, aging parents, and families seeking smaller households;
- 5) Offer a means for residents, particularly seniors, single parents, and families with grown children, to remain in their homes and neighborhoods, and obtain extra income, security, companionship, and services;
- 6) Broaden the range of affordable housing throughout the City;
- 7) Support sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption;
- 8) Support transit-oriented development and reduce auto usage by increasing density near transit; and
- 9) Support the economic viability of historic properties and the City's historic preservation goals by allowing accessory dwellings in historic structures.

The proposal is also consistent with the goals and policies outlined in *Growing SLC: A Five Year Housing Plan* which aims to increase housing options, promote diverse housing stock, and allow for additional units while minimizing neighborhood impacts.

Standard 4: The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions.

Discussion:

In analyzing the anticipated detrimental effects of the proposed use, Staff finds that with the conditions identified in the analysis, which are none, the request complies with the criteria listed below. The Planning Commission shall determine compliance with each of the following:

21A.54.080.B: Detrimental Effects Determination

1. This title specifically authorizes the use where it is located;

Finding: No Detrimental Impact

Discussion:

The proposed ADU is an accessory residential use and is allowed as a conditional use within the R-1-5,000 Single Family Residential zoning district. The proposed ADU complies with all specific regulations for an ADU including size, height, setbacks, distance to other houses, etc. as outlined in [Attachment D](#).

2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps;

Finding: No Detrimental Impact

Discussion:

The use is permitted as a conditional use in the underlying zoning district and supports the goal of increasing housing options found in Growing Salt Lake. The ADU is not altering the primary dwelling unit and is a residential use in a residential neighborhood.

3. The use is well suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area;

Finding: No Detrimental Impact

Discussion:

Uses surrounding the property are single-family residential uses. The proposal complies with the size requirements for an ADU which can be up to 50% of the footprint of the primary house up to 650 SF and is compatible with the scale of surrounding accessory buildings and adjacent uses.

4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered;

Finding: No Detrimental Impact

Discussion:

As discussed above, the scale of the proposal is compatible with the main house on the property as well as surrounding structures and meets the footprint and height requirements for an ADU.

5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows;

Finding: No Detrimental Impact

Discussion:

The property has a single-family dwelling with one point of access from American Beauty Drive (one driveway). Parking for the primary dwelling will be provided in the driveway adjacent the front of the home. There will be no changes to existing grade on the lot. The proposed access point for both parking and access to the ADU is from a driveway accessing American Beauty Drive. No impact to traffic flows is anticipated.

6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, nonmotorized, and pedestrian traffic;

Finding: No Detrimental Impact

Discussion:

On-street parking is permitted along American Beauty Drive, to accommodate the residents of the ADU. It's not anticipated that the addition of the accessory unit will create any adverse impacts in terms of motorized, non-motorized and pedestrian traffic.

7. The site is designed to enable access and circulation for pedestrian and bicycles;

Finding: No Detrimental Impact

Discussion:

There is paved access from the front property line towards the proposed ADU which will be readily accessible by cyclists and pedestrians visiting the ADU residence.

8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street;

Finding: No Detrimental Impact

Discussion:

The site has been designed with one access point for the proposed use to minimize any potential areas of conflict with vehicles in the abutting/adjacent street. No impacts to the service level of the adjacent streets are anticipated.

9. The location and design of off-street parking complies with applicable standards of this code;

Finding: No Detrimental Impact

Discussion:

As discussed in other areas of this analysis, on-street parking is permitted along American Beauty Drive to service the residents of the ADU.

10. Utility capacity is sufficient to support the use at normal service levels;

Finding: No Detrimental Impact

Discussion:

The Public Utilities department provided comments on the project. A utility plan will need to be submitted for review and compliance will be ensured during the building permitting process.

11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts;

Finding: No Detrimental Impact

Discussion:

The surrounding properties are all residential uses, and the proposed use is also residential. There are no incompatible uses to screen, buffer, or separate as part of this request.

12. The use meets city sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke;

Finding: No Detrimental Impact

Discussion:

The use does not significantly impact sustainability plans. The project supports sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption. The proposed use is not anticipated to contribute to noise, air, or water pollution beyond what is generally expected of residential uses.

13. The hours of operation and delivery of the use are compatible with surrounding uses;

Finding: No Detrimental Impact

Discussion:

The proposed use is an accessory residential structure and is compatible with the surrounding uses that are also residential.

14. Signs and lighting are compatible with, and do not negatively impact surrounding uses;

Finding: No Detrimental Impact

Discussion:

Signs are not associated with this proposal. No lighting is proposed beyond average residential lighting fixtures.

15. The proposed use does not undermine preservation of historic resources and structures.**Finding: No Detrimental Impact****Discussion:**

The accessory building is not a historic structure and the establishment of an ADU does not affect any surrounding historic structures.

According to Zoning Code Section 21A.54.080.C, the Planning Commission may impose conditions related to the standards and detrimental impacts listed above if a condition is necessary for compliance with the standards of approval or any applicable zoning regulation and to reduce any reasonably anticipated detrimental impact. Conditions may be related to:

1. Conditions on the scope of the use; its character, location, hours and methods of operation, architecture, signage, construction, landscaping, access, loading and parking, sanitation, drainage and utilities, fencing and screening, and setbacks; and
2. Conditions needed to mitigate any natural hazards; assure public safety; address environmental impacts; and mitigate dust, fumes, smoke, odor, noise, vibrations; chemicals, toxins, pathogens, gases, heat, light, and radiation.

After a public hearing is held, planning staff can help the commission identify and determine if information provided warrants further discussion on any potential non-compliance or detrimental impact that may require a condition of approval.

ATTACHMENT F: Department Review Comments

This proposal was reviewed by the following departments. Any requirement identified by a City Department is required to be complied with.

Zoning: (Liz Hart 801-535-6308 or elizabeth.hart@slcgov.com)

1. The proposed ADU appears to meet the applicable standards listed in 21A.40.200. The unit must be registered according to the standards in 21A.40.200.F prior to permit issuance.

Fire: (Doug Bateman 801-535-6619 or douglas.bateman@slcgov.com)

1. *A fire hydrant shall be located within 600-feet of all ground level exterior walls of the ADU. Measurements are following the drive route and in straight lines and right angles.
2. Everything is within the parameters of IFC 503.1.1
3. *Additional comments may be generated with a building permit application and construction documents.

Public Utilities: (Jason Draper at jason.draper@slcgov.com)

1. The biggest concern is that sometimes with 3 structures on the lot, fire protection will require the home and/or the ADU to be fire sprinkled. I don't think the shed will qualify or cause any problems, but they will want to make sure. If they do have to fire sprinkler, then a new hydrant may be required. If a new hydrant is required a new water main will be required. The existing water main is a 6" water main and ordinance and state rule require new hydrants to be on a 8" or larger water main.
2. The only other issue I see is that the water and sewer between the Home and the proposed ADU need to be separated 10 feet.
3. Building permit review will be required.

Transportation: (Kevin Young at kevin.young@slcgov.com)

1. The on street parking satisfies the parking requirement for the ADU

Building Code: (James McCormack at james.mccormack@slc.gov.com)

1. ADU detached from home will need to conform to all design criteria and code adopted at the time of application. Our design criteria can be found at: <https://www.slc.gov/buildingservices/info-brochures/> Also, walls of the building built closer than 5 feet from the lot line will have to be constructed by the 2015 IRC Per Table R302.1.

ATTACHMENT G: Public Process & Comments

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- July 12th, 2022 – Notice of the project was provided to the Rose Park Community Council. The 45-day early engagement period to receive comments from the Community Council expired August 26th, 2022. No comments were received from the Rose Park Community Council.
- July 12th, 2022 – Early notification of the project was provided to property owners and residents within 300 FT of the proposed ADU. As of the publication of the staff report, no comments from property owners or residents within 300 FT of the proposal have been received.

Notice of the public hearing for the proposal included:

- Public hearing notice posted on August 30th, 2022
- Public hearing notice mailed on September 1, 2022
- Public notice posted on City and State websites and Planning Division list serve on September 1, 2022

Public Input:

No other public comment or inquiries have been received in regard to the proposed ADU.

Any public comments received up to the public hearing meeting will be forwarded to the Planning Commission and included in the public record.