



Staff Report

PLANNING DIVISION

DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Katilynn Harris, principal planner, katilynn.harris@slcgov.com, 801-535-6179
Date: September 28, 2022
Re: PLNPCM2021-01142, Hollywood Ave Accessory Dwelling Unit

Conditional Use

PROPERTY ADDRESS: 1726 E Hollywood Ave
PARCEL ID: 16-16-457-007-0000
MASTER PLAN: Sugar House
ZONING DISTRICT: R-1/7,000 Single-Family Residential

REQUEST:

DeAnna Agbor, the owner of the property located at approximately 1726 E Hollywood Ave, is requesting a Conditional Use to construct an Accessory Dwelling Unit (ADU) at the same address. The ADU is proposed in the existing second floor of a detached accessory building located in the rear yard.

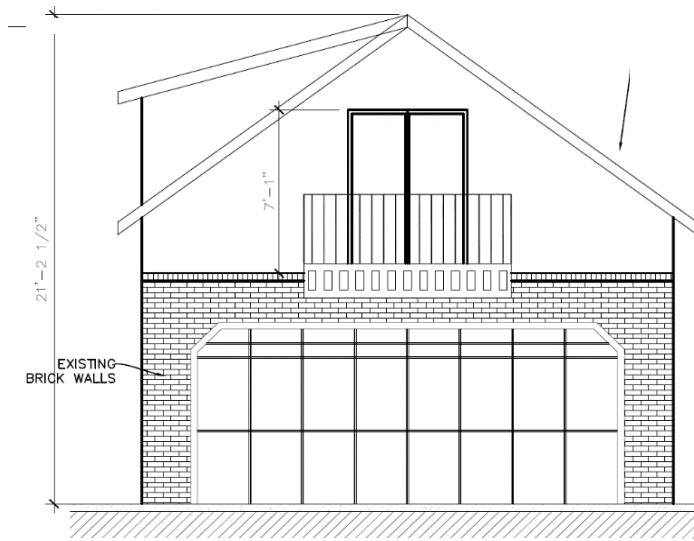
RECOMMENDATION:

Based on the information and findings listed in the staff report, it is the Planning Staff's opinion that the request generally meets the applicable standards of approval and therefore recommends the Planning Commission approve the request.

ATTACHMENTS:

- A. [ATTACHMENT A: Vicinity Map](#)
- B. [ATTACHMENT B: Plan Set](#)
- C. [ATTACHMENT C: Property and Vicinity Photos](#)
- D. [ATTACHMENT D: ADU Zoning Standards](#)
- E. [ATTACHMENT E: Conditional Use Standards](#)
- F. [ATTACHMENT F: Public Process & Comments](#)
- G. [ATTACHMENT G: Department Review Comments](#)

PROJECT DESCRIPTION



Front elevation of the existing accessory building.

Quick Facts

Existing Height: 21'-2.5"

ADU Size: 376-square-feet

Main Floor Use: Garage

Upper Floor Use: Accessory Dwelling Unit

Parking: 3 off-street spaces provided; 2 for Single-Family Dwelling, 1 for ADU

Setbacks: both comply

Side: 1'

Rear: 51'

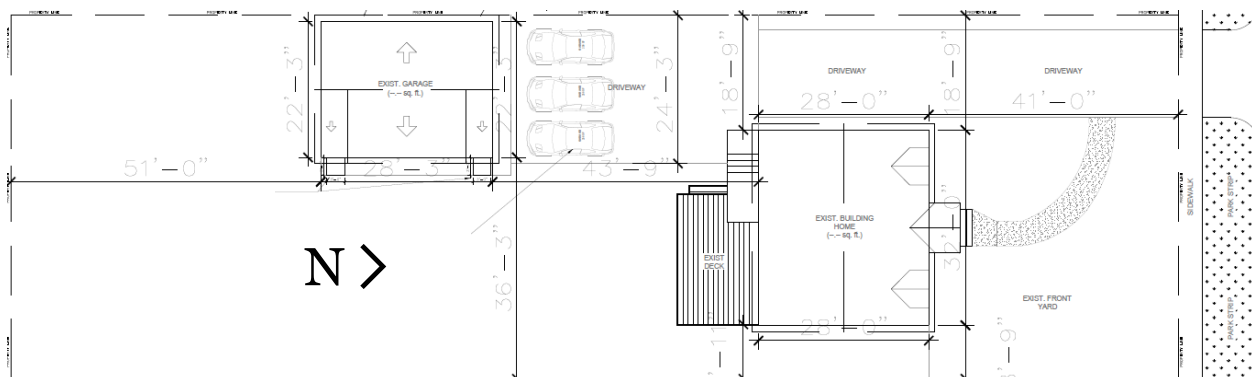
This is a petition for Conditional Use approval for a 629-square-foot second story detached accessory dwelling unit (ADU) behind a single-family dwelling located at 1726 E Hollywood Ave. The subject parcel is in an established single-family neighborhood. The 2-story accessory building was constructed by permit in 2003. The ADU is proposed to be a remodel of the existing second story attic in the accessory building.

Size, Coverage, and Height

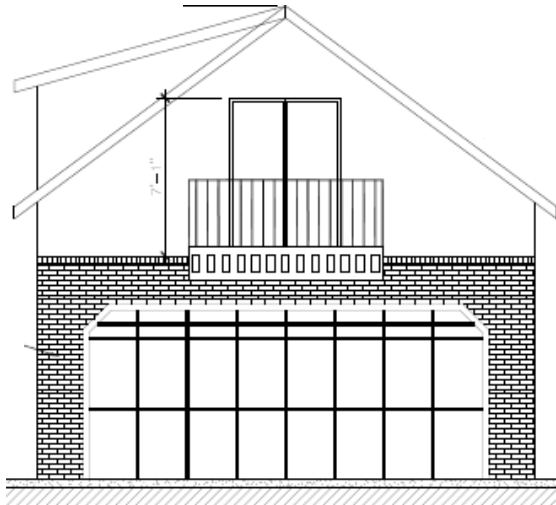
The existing accessory building has a footprint of 629-square-feet with a garage on the main floor. The ADU is in the second story attic with an interior staircase for access. The ADU will have a gross floor area of 376-square-feet—approximately 39% of the principal structure—with a 1-bedroom apartment layout.

Building Entrance and Access

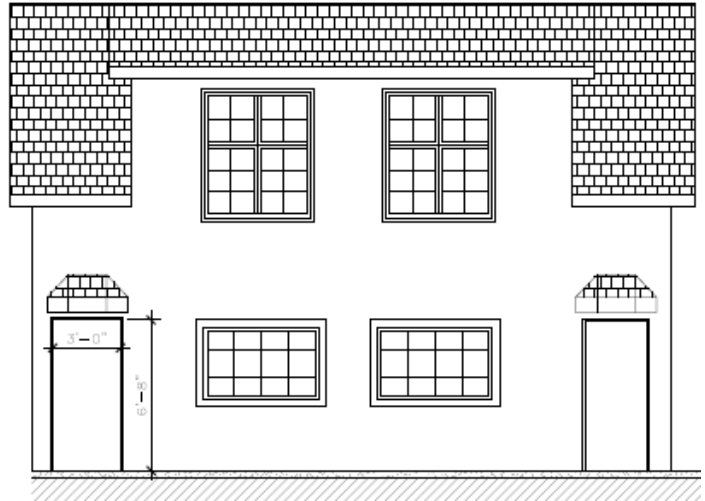
The applicant is proposing to reconfigure the direction of the existing interior staircase to create a separate entrance for the ADU. The ADU entrance will face the interior of the lot toward the east property line. Due to the position of the accessory building behind the house, the entrance will not be



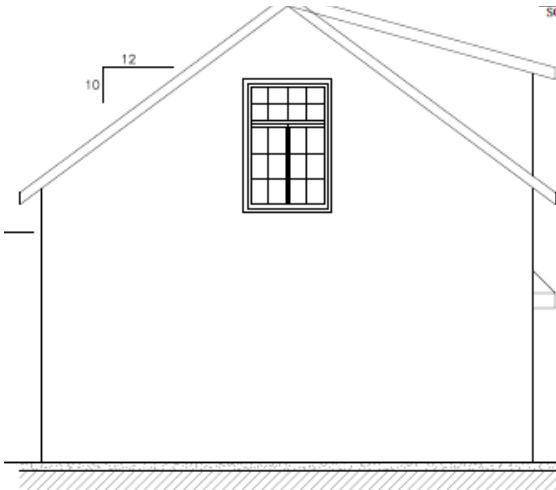
Site plan of 1726 E Hollywood Ave.



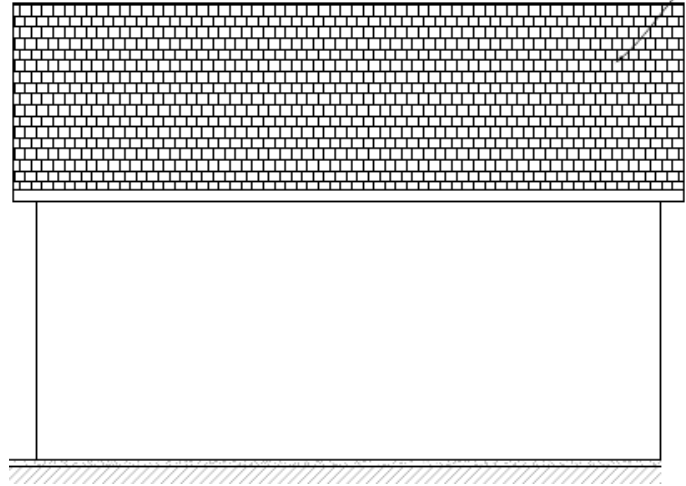
North elevation of existing accessory building



East elevation of existing accessory building.



South elevation of existing accessory building



West elevation of existing accessory building

visible from the street. Parking will be located on the property and future occupants will be able to access the parking stall via the existing walkway connecting the building entrance to the driveway.

Windows

The existing accessory building has windows on the north, west, and south façades. Due to its proximity to the eastern property line, 1' setback, no windows are permitted by building code on that façade. The applicant is not proposing any additional windows than what already exists. Obscured glazing has not been used for the windows that face the rear and western side property lines as the building is setback more than 10' from each property line.

Background

The existing accessory building does not comply with current size or height standards for accessory buildings in residential zones. Current regulations state accessory buildings shall not exceed 50% of the footprint of the principal building; the existing accessory building footprint is 66% of the principal building footprint. Accessory building regulations also state no accessory building with a pitch roof

shall not exceed 17' in height; the existing accessory building measures 22'-2.5" in height. The accessory building in question was constructed by permit in 2003. In the inspection notes for the permit, the inspectors reference a second story.

Given the existence of a building permit that was issued and inspected by the city, with references to a second story, it is staff's findings that the existing building is a legally existing noncomplying structure. In [21A.38.050.A](#) of the Zoning Code, which is the chapter regulating noncomplying structures, an existing noncomplying structure can be altered given the alterations do not increase the degree of noncompliance. As the applicant is not proposing enlarging the footprint or height of the accessory building, they meet this standard and are able to remodel the interior space.

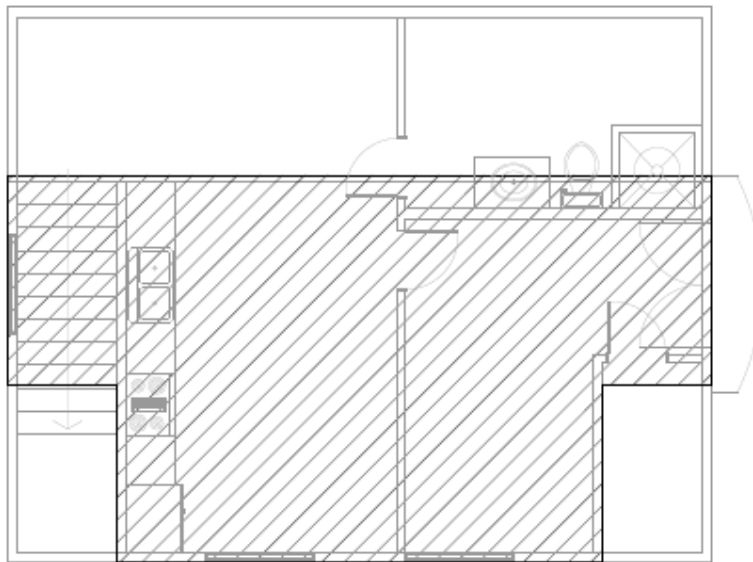
In the standards for Accessory Dwelling Units, one of the permitted methods of creation is "converting an existing accessory building," see [21A.40.200.D2](#). As such, the applicant is permitted to convert their existing accessory building to an ADU, subject to the applicable square-footage standards for detached ADUs.

There are multiple standards regulating the square-footage of an ADU found in [21A.40.200.E3](#). All but one are only applicable to the construction of a new accessory building or an addition to an existing accessory building and therefore do not apply in this instance. The standard that does apply to this project is the one regulating the gross square-footage of the accessory dwelling unit. It states that "in no instance shall any accessory dwelling unit exceed a gross floor area of six hundred fifty (650) square feet," see [21A.40.200.E3e](#).

Gross floor area is defined in the zoning code, in part, as:

"The floor area of a(n)... attic space having headroom of seven feet (7') or more"

Per the calculations provided by the applicant, the gross floor area of the second-floor attic space is 375.88' which complies with the 650-square-foot standard in the code.



AREA CALCULATION

CALCULATIONS OF FLOOR AREA PER R.305.1 E1
-TOTAL FLOOR AREA = 587.17 S.F.
-7'-0" FLOOR AREA = 375.88 S.F.
% OF FLOOR AREA = 60% > 50% MIN OK.

APPROVAL PROCESS AND COMMISSION AUTHORITY

The property is located in the R-1/7,000 zoning district, which is a single-family zoning district. A Conditional Use process is required for any detached ADU located in a single-family zone. Conditional uses are permitted uses which may have conditions applied to them if there are any anticipated negative impacts and are approved or denied by the Planning Commission.

Staff has reviewed this application alongside the Detrimental Effects Determination section of the ordinance (21A.54.080B, see [Attachment E](#)) and does not anticipate any adverse effects of the establishment of this ADU. The most commonly anticipated negative effects of ADUs are already addressed in the City's ordinances, where standards such as parking accommodation, privacy/window locations, and compatible design, mitigate these concerns. For complete analysis and findings in relation to zoning standards for accessory dwelling units and the Conditional Use standards, please refer to [Attachment D](#) and [Attachment E](#).

Per 21A.54.080C, the planning commission may impose on a conditional use any conditions necessary to address the foregoing factors which may include, but are not limited to:

1. Conditions on the scope of the use; its character, location, architecture, construction, landscaping, access, fencing and screening, and setbacks; and
2. Conditions needed to mitigate any natural hazards; assure public safety; address environmental impacts; and mitigate dust, fumes, smoke, odor, noise, vibrations; chemicals, toxins, pathogens, gases, heat, light, and radiation.

STAFF RECOMMENDATION

Planning Staff finds the project generally meets the applicable standards of approval and no detrimental effects are expected, therefore Staff is not recommending any conditions of approval. Staff recommends the Planning Commission approve the Conditional Use for the ADU as presented.

NEXT STEPS

Approval of Conditional Use

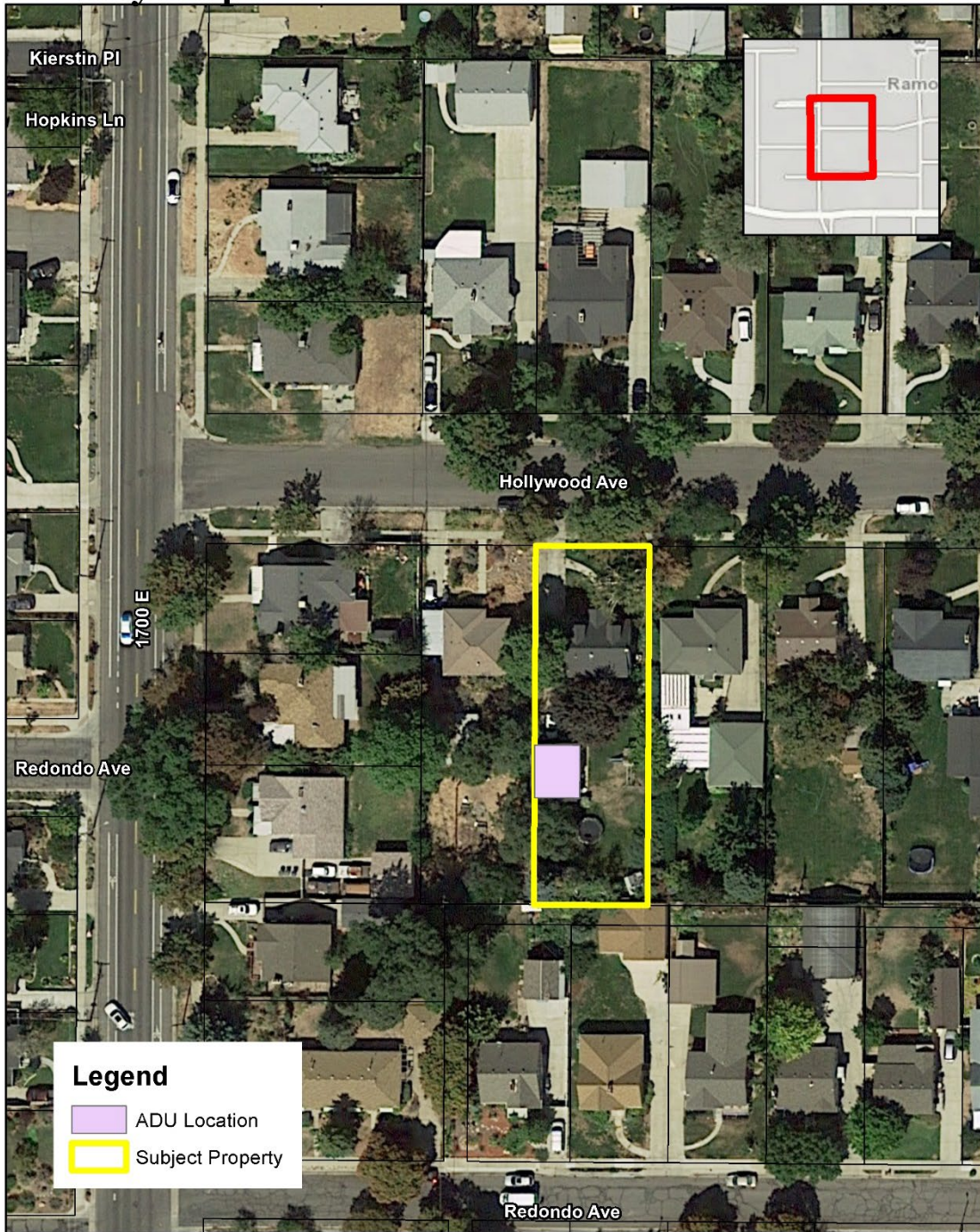
If the request is approved, the applicant will need to comply with the conditions of approval, if any, including those required by other City departments and any added by the Planning Commission. The applicant will be able to submit plans for building permit(s), however - a Certificate of Occupancy for the new ADU will only be issued once all conditions of approval, if any are adopted, are met, and the registration process requirements outlined in 21A.40.200.F of the zoning ordinance are complete. All other standards and processes listed by the City's ordinances are still required.

Denial of Conditional Use

State and City code require that a Conditional Use be approved if reasonable conditions can be imposed on the use to mitigate any reasonably anticipated detrimental effects of the use. A conditional use can only be denied if the Planning Commission finds that reasonably anticipated detrimental effects cannot be mitigated with the imposition of reasonable conditions.

If the petition is denied, the applicant would not be able to establish the new ADU on their property. The existing accessory structure could still potentially be used for another permitted use in the R-1/7,000 (Single Family Residential District), however it could not be used as an accessory dwelling.

ATTACHMENT A: Vicinity Map



Legend

- ADU Location
- Subject Property

Salt Lake City Planning Division 12/2/2021



ATTACHMENT B: Plan Set

HOLLYWOOD REMODEL

CONTRACTOR:

TBD

ADDRESS:

1726 E. HOLLYWOOD AVE
SALT LAKE CITY

DRAWING INDEX

C1.0 COVER SHEET, DRAWING INDEX, GENERAL NOTES

SP1. SITE PLAN

A1. MAIN FLOOR PLAN – UPPER PLAN – ELECTRICAL PLANS

A2. SECTION PLAN – ELEVATIONS

CODES

- INTERNATIONAL RESIDENTIAL CODE (IRC) 2015

SCOPE

THE WORK INCLUDES IMPROVEMENTS TO EXISTING SFD.

- REPLACE BEARING WALLS W/ NEW BEAMS
- NEW KITCHEN, BATHROOM AND BEDROOM
- INTERIOR REMODEL, CARPET, PAINT CABINETS.
- HVAC TO REMAIN UNALTERED.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), LOCAL AMENDMENTS TO THE THIS CODE, AND/OR ANY OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK PERFORMED.
- THE GENERAL CONTRACTOR SHALL HEREAFTER BE REFERRED TO AS "GENERAL CONTRACTOR" OR "GC" OR. THE OWNER MAY HEREAFTER BE REFERRED TO AS "OWNER". THE INTERIOR DESIGNER MAY HEREAFTER BE REFERRED TO AS DESIGNER
- PLEASE NOTE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WORK REGARDLESS OF THE LOCATION OF THE INFORMATION IN THE DOCUMENTS. THE GENERAL CONTRACTOR SHALL UTILIZE THE CONSTRUCTION DRAWINGS AND WRITTEN SPECIFICATIONS FOR ALL REQUIRED INFORMATION TO PROVIDE COMPLETE CONSTRUCTION OF THIS PROJECT. ITEMS USED IN DRAWINGS MAY NOT BE INCLUDED IN SPECIFICATIONS. ITEMS LISTED IN SPECIFICATIONS MAY NOT BE INCLUDED IN DRAWINGS
- UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR EXISTING, ALL ITEMS, MATERIALS AND INSTALLATION OF SAME ARE PART OF THE CONTRACT AS DEFINED BY THE CONSTRUCTION DOCUMENTS. INSTALL ALL ACCESSORIES, COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK DEPICTED OR SPECIFIED. THE GC SHALL PROVIDE AND INSTALL ALL ACCESSORIES, COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK DEPICTED OR SPECIFIED.
- THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS. THE GC SHALL ACCEPT PREMISES AS FOUND. OWNER WILL MAINTAIN THE EXISTING CONDITION OF THE SITE AND EXISTING STRUCTURES AT THE TIME OF BIDDING.
- DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS ARE NOT INTENDED. ARCHITECT ANY SUCH DISCREPANCIES PRIOR TO COMMENCING WORK THE GENERAL CONTRACTOR IS TO CLARIFY WITH THE
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS: DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO CONTINUING WITH WORK.
- ALL PLAN DIMENSIONS ARE FROM GRID LINE OR FACE OF STUD OR FACE OF BLOCK UNLESS OTHERWISE INDICATED. SEE SECTION ON DIMENSIONING" THIS SHEET
- THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ALL CONDITIONS REQUIRING COORDINATION/ CHANGES WITH THE CONTRACT DOCUMENTS. COORDINATION / APPROVAL SHALL TAKE PLACE BEFORE THE WORK BEGINS. ALL CHANGES TO THE CONTRACT COST SHALL BE APPROVED THROUGH A CHANGE ORDER
- DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS
- THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT WILL NOT REVIEW SHOP DRAWINGS UNTIL THE GC HAS REVIEWED AND STAMPED THE SHOP DRAWING/SUBMITTAL THE GC IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS SHOWN SHOP DRAWINGS. THE ARCHITECTS REVIEW OF THE SHOP DRAWINGS SHALL NOT OVERRIDE THE CONDITIONS DESCRIBED IN THE CONTRACT DOCUMENTS UNLESS SPECIFICALLY NOTED OTHERWISE BY THE ARCHITECT
- FOR CONSTRUCTION DETAILS NOT SHOWN USE THE MANUFACTURER'S STANDARD DETAILS OR APPROVED SHOP DRAWINGS / DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- ALL WORK, MATERIALS AND METHODS SHALL BE IN CONFORMANCE WITH THE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION. THE GENERAL CONTRACTOR MUST COMPLY WITH THE CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES
- THE GENERAL CONTRACTOR SHALL NOTIFY ALL APPLICABLE LOCAL GOVERNING AUTHORITIES AND UTILITY COMPANIES PRIOR TO COVERING WORK REQUIRING INSPECTION
- THE GENERAL CONTRACTOR SHALL MAINTAIN ALL REQUIRED EXITS AND FIRE LANES IN WORKING ORDER
- A GENERAL BUILDING PERMIT SHALL BE PAID FOR BY THE GENERAL CONTRACTOR. ALL OTHER PERMITS AND CONNECTION FEES SHALL RE PAID FOR BY THE GENERAL CONTRACTOR
- FIRE EXTINGUISHERS TO BE PROVIDED PER MINIMUM CODE REQUIREMENTS
- MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISH SHALL CONFORM TO THE BUILDING CODE AND LOCAL GOVERNING BUILDING CODES/ORDINANCES
- THE GENERAL CONTRACTOR SHALL PROVIDE AND IS SOLELY RESPONSIBLE AND LIABLE FOR PUBLIC AND EMPLOYEE PR AND AS REQUIRED BY THE CODES, INCLUDING EXTERIOR NECESSARY PEDESTRIAN TRAFFIC BARRIERS ALL WORK SHALL CONFORM TO THE ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT

- THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES FOR DUST AND NOISE CONTROL WHERE WORK JOINS EXISTING CONDITIONS
- ALL DEBRIS SHALL BE REMOVED FROM PREMISES AND ALL AREAS SHALL BE LEFT IN A CLEAN (BROOM) CONDITION AT ALL TIMES
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PROSECUTION OF THE WORK.
- APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE GENERAL CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS ADDENDA AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES THESE ARE TO BE KEPT UNDER THE CARE OF THE JOB SUPERINTENDENT
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR (OR AS OTHERWISE SPECIFIED) FOR A SPECIFIC COMPONENT AFTER THE DATE OF SUBSTANTIAL COMPLETION.
- THE CONTRACTOR IS TO PROVIDE BLOCKING AS REQUIRED FOR MOUNTING OF WALL MOUNTED SHELVES, CABINETS, HC GRAB BARS AND PARTITION BRACES, BLOCKING SHALL BE FIRE TREATED WHERE REQUIRED BY THE BUILDING CODE.
- PROVIDE GALVANIC PROTECTION BETWEEN DISSIMILAR MATERIALS WHERE REQUIRED.
- PROVIDE METAL TRIM OR CASING AT ALL EDGES OF PLASTER AND DRYWALL SURFACES WHERE IT TERMINATES OR MEETS ANOTHER MATERIAL, UNLESS NOTED OTHERWISE PROMIDE METAL CORNER TRIM AT ALL CORNERS (INSIDE AND OUT) OF PLASTER AND DRYWALL SURFACES
- ALL PENETRATIONS THROUGH ANY SURFACE SHALL BE THOROUGHLY SEALED WITH APPROPRIATE SEALANT MATERIAL
- UNLESS OTHERWISE NOTED, ALL EXTERIOR AND INTERIOR METAL, TRIM, TREILLAGE, RAILINGS, MOLDINGS, FRAMES, CASTING ETC, SHALL BE PAINTED
- FOR PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS, PROVIDE APPROVED ASSEMBLIES WITH SELF CLOSING DEVICES FOR ANY PENETRATIONS IN RATED CONSTRUCTION.
- GC TO PROTECT (DURING DEMOLITION & CONSTRUCTION) EXISTING BUILDING TO REMAIN. CONTRACTOR (AT CONTRACTOR'S EXPENSE) WILL BE RESPONSIBLE TO REPAIR/REPLACE EXISTING ELEMENTS TO REMAIN THAT ARE DAMAGED.
- GC SHALL CUT, REMOVE, AND TERMINATE ANY EXISTING ELECTRICAL PHONE, DATA LINES AFFECTED BY DEMOLITION. GC TO COORDINATE W A/E TEAM REGARDING REMOVAL AND CAPPING OF LINES GC SHALL VERIFY THAT NO EXISTING SYSTEMS WILL BE IN CONFLICT WITH EITHER DEMOLITION OR NEW CONSTRUCTION.
- DEMOLITION NOT SPECIFICALLY NOTED BUT REQUIRED TO MEET THE REQUIREMENTS FOR NEW CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE GC. COORDINATE WITH ARCHITECT.
- SALVAGE: WHERE ITEMS ARE CALLED FOR TO BE SALVAGED THE ITEM SHALL BE REMOVED IN SUCH A MANNER THAT IT IS PROTECTED FROM DAMAGE AND IN SUITABLE CONDITION TO BE RE-USED. THE GC SHALL BE RESPONSIBLE TO STORE FOR RE-USE.
- DISPOSE: WHERE ITEMS ARE CALLED TO "DISPOSE" THE ITEMS SHALL BE RECYCLED OR DISPOSED OF PER SPECIFICATIONS.
- REMOVE EXISTING EXPOSED FASTENERS, SCREWS, AND OR BOLTS NOT ATTACHED TO REMAINING BUILDING COMPONENTS&EQUIPMENT. PATCH FILL HOLES AND PAINT OR REFINISH AS REQUIRED.
- ALL PLUMBING FIXTURES, PIPING AND MECHANICAL EQUIPMENT IN OR ATTACHED TO EXISTING WALLS TO BE DEMOLISHED SHALL BE ENTIRELY REMOVED OR CUT & PROPERLY CAPPED.

DEMOLITION & SALVAGE NOTES

- GC TO PROTECT (DURING DEMOLITION & CONSTRUCTION) EXISTING BUILDING TO REMAIN. CONTRACTOR (AT CONTRACTOR'S EXPENSE) WILL BE RESPONSIBLE TO REPAIR/REPLACE EXISTING ELEMENTS TO REMAIN THAT ARE DAMAGED.
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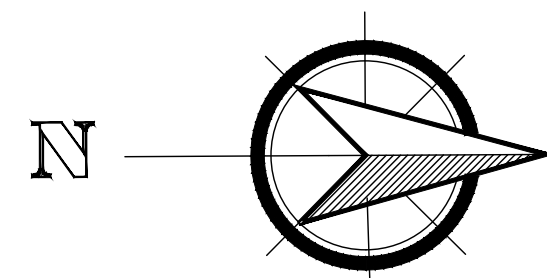
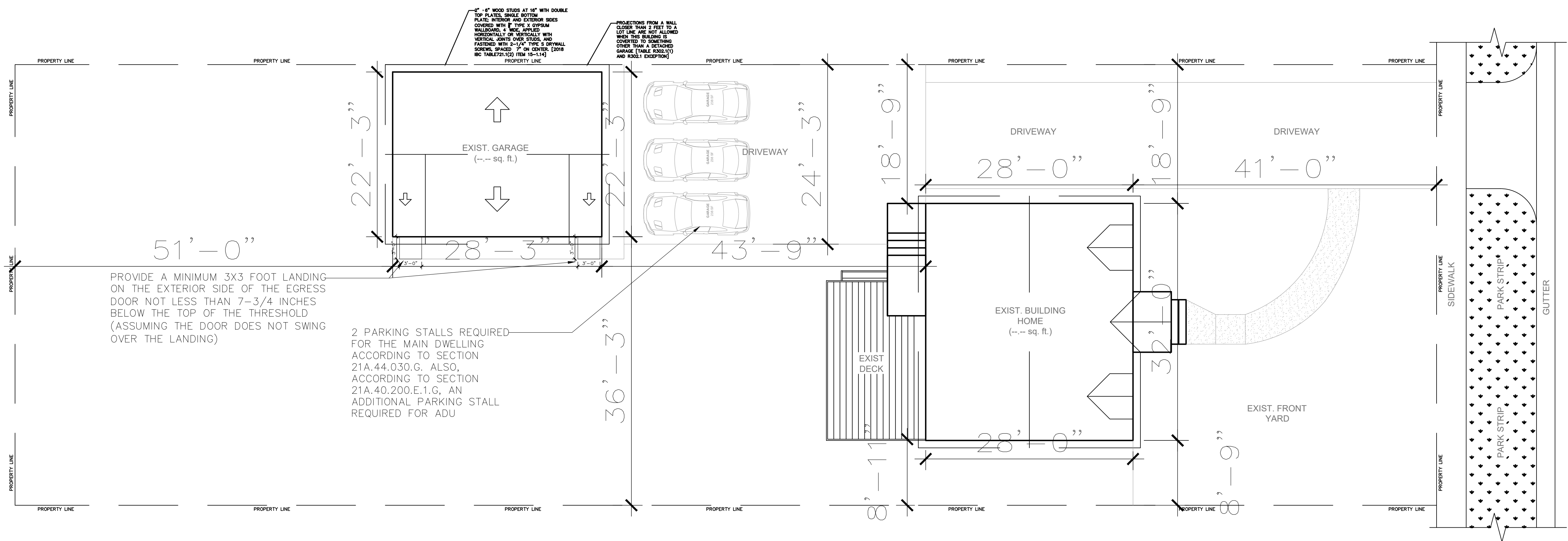
THE DESIGNS SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION & MODELS THEREOF, ARE PROPRIETARY & CAN NOT BE COPIED, DUPLICATED, OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE SOLE AND EXPRESS WRITTEN PERMISSION FROM THE ENGINEER ON RECORD. THESE DRAWINGS ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION BY CLIENTS, CONSULTANTS, CONTRACTORS, GOVERNMENT AGENCIES, VENDORS, AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE.

HOLLYWOOD GARAGE
1726 E. HOLLYWOOD AVE SALT LAKE CITY
COVER SHEET

REVISION BLOCK		DESCRIPTION
#	DATE	
1		
2		
3		
4		
5		
6		

COVER SHEET

Scale: 1/4"=1' Drawn: GD
Date: 09/03/20 Job #: 20-025
Sheet: C1



SITE PLAN
SCALE: 1"=10'

LOT #1
11,424 S.F.

1726 HOLLYWOOD
DRIVE. SALT LAKE CITY,
UTAH

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/BUILDER AND THE SUB CONTRACTORS TO REVIEW THE PLANS THOROUGHLY BEFORE GIVING AND/OR ACCEPTING BIDS. IF ANY ISSUES ARISE DURING REVIEW AND INSPECTION OF THE PLANS AND THEY ARE MADE KNOWN TO THE DESIGNER, WE WILL MAKE THE CHANGES AT NO ADDITIONAL COST. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALING OF DRAWINGS. IF ISSUES ARE FOUND AFTER THE HOUSE IS IN THE CONSTRUCTION PHASE, WHICH WERE NOT BROUGHT TO THE ATTENTION OF THE DESIGNER, WILL NOT BE LIABLE NOR RESPONSIBLE. IT WILL BE FOR THE BUILDER AND SUB CONTRACTOR TO WORK OUT. THESE PLANS ARE DESIGNED TO THE BEST OF OUR KNOWLEDGE OF THE SITUATION AT THE TIME, BUT ALL CONTRACTORS WHO WORK OFF THE PLANS ARE RESPONSIBLE FOR ANYTHING WITHIN THEIR SPHERE OF EXPERTISE. DO NOT SCALE DRAWINGS.

THIS SITE PLAN IS BASED ON INFORMATION PROVIDED TO THE DESIGNER. ALTHOUGH EVERY EFFORT IS MADE TO INSURE ACCURACY, WE ASSUME NO LIABILITY FOR THE PLACEMENT OF THE HOUSE ON THE LOT. IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL ACTUAL SITE CONDITIONS AS WELL AS COMPLIANCE WITH ALL LOCAL ORDINANCES, EASEMENTS, SETBACKS ETC.

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HOLLYWOOD REMODEL

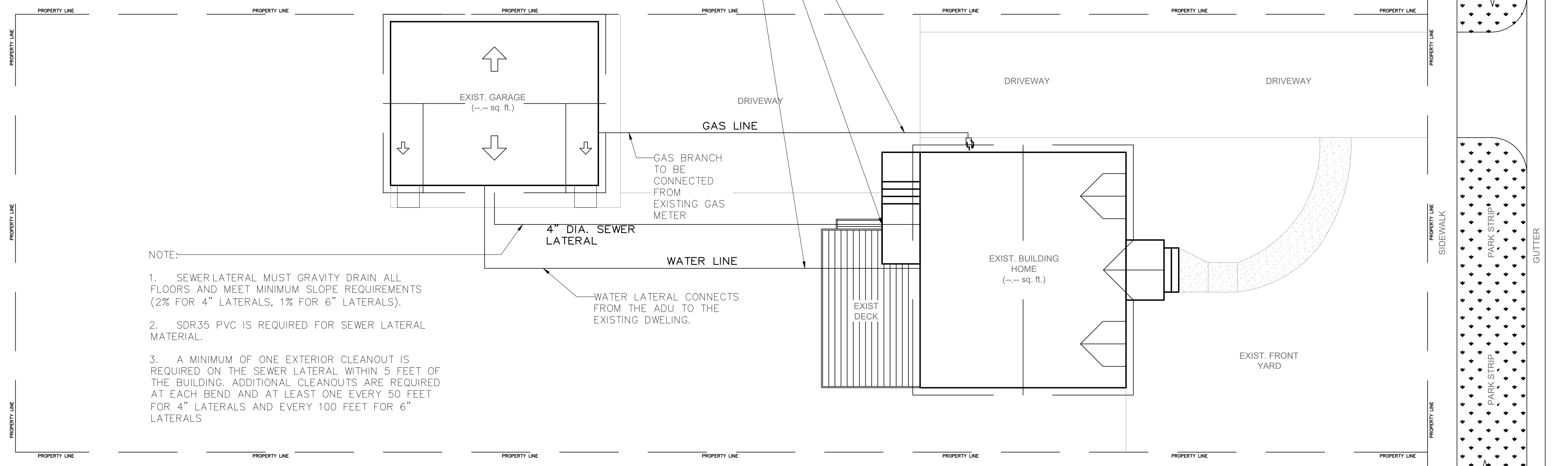
1726 E. HOLLYWOOD AVE SALT LAKE CITY

SITE PLAN

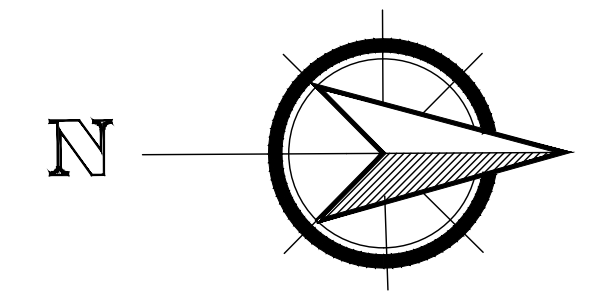
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- ALL UTILITIES MUST MEET HORIZONTAL AND VERTICAL CLEARANCE REQUIREMENTS.
- WATER AND SEWER LINES REQUIRE 10 FEET MINIMUM HORIZONTAL SEPARATION AND 18 MINIMUM VERTICAL SEPARATION.
 - SEWER MUST MAINTAIN 5 FEET MINIMUM HORIZONTAL SEPARATION AND 12 VERTICAL SEPARATION FROM ANY NON-WATER UTILITIES.
 - WATER MUST MAINTAIN 3 FEET MINIMUM HORIZONTAL SEPARATION AND 12 VERTICAL SEPARATION FROM ANY NON-SEWER UTILITIES.



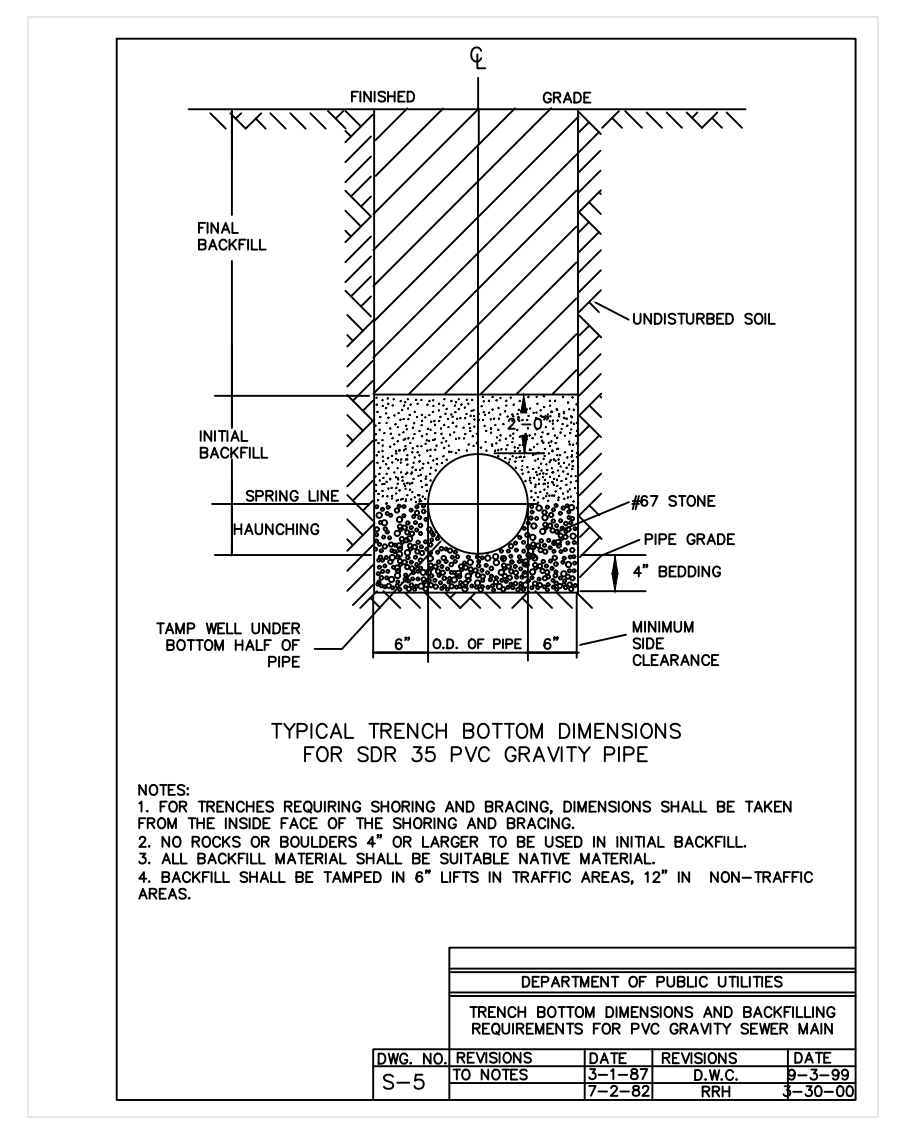
- NOTE:
1. SEWER LATERAL MUST GRAVITY DRAIN ALL FLOORS AND MEET MINIMUM SLOPE REQUIREMENTS (2% FOR 4" LATERALS, 1% FOR 6" LATERALS).
 2. SDR35 PVC IS REQUIRED FOR SEWER LATERAL MATERIAL.
 3. A MINIMUM OF ONE EXTERIOR CLEANOUT IS REQUIRED ON THE SEWER LATERAL WITHIN 5 FEET OF THE BUILDING. ADDITIONAL CLEANOUTS ARE REQUIRED AT EACH BEND AND AT LEAST ONE EVERY 50 FEET FOR 4" LATERALS AND EVERY 100 FEET FOR 6" LATERALS



SITE UTILITY PLAN
SCALE: 1"=10'

LOT #1
11,424 S.F.

1726 HOLLYWOOD DRIVE, SALT LAKE CITY, UTAH



- NOTES:
1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BOULDER'S 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
 3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.

DEPARTMENT OF PUBLIC UTILITIES		
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN		
DATE	REVISIONS	DATE
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		11-2-04

HOLLYWOOD REMODEL

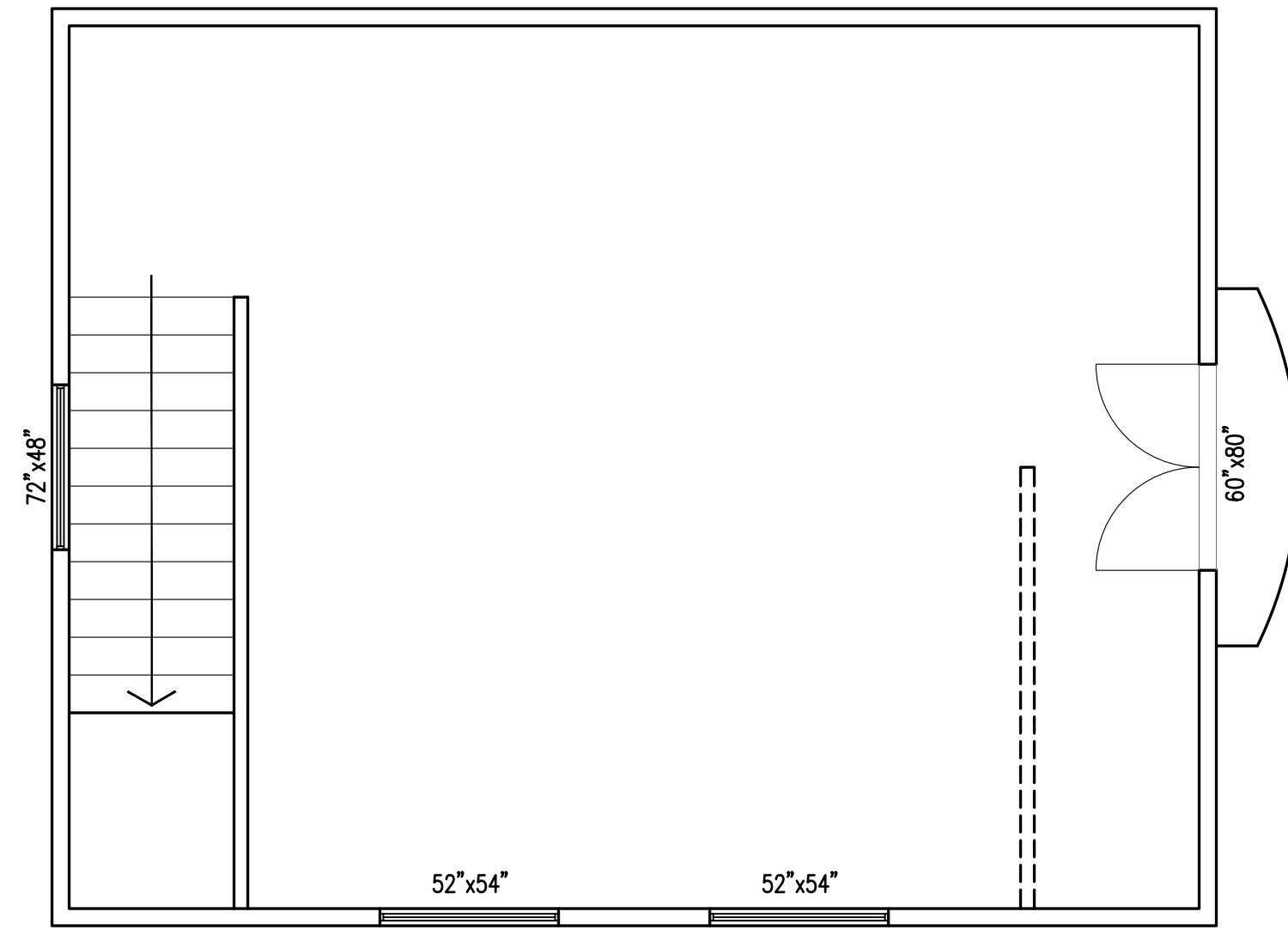
1726 E. HOLLYWOOD AVE SALT LAKE CITY

SITE UTILITY PLAN

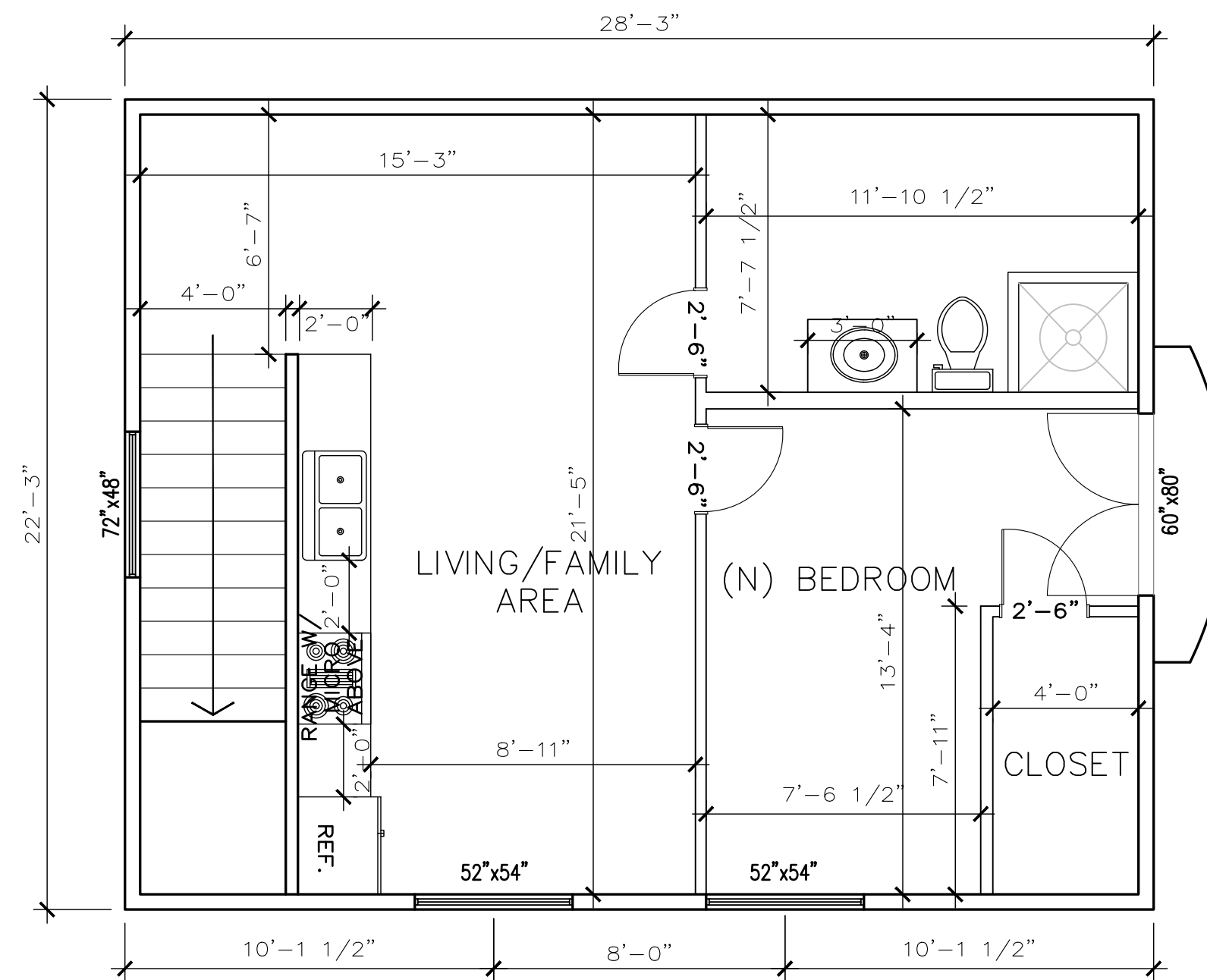
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SITE UTILITY PLAN

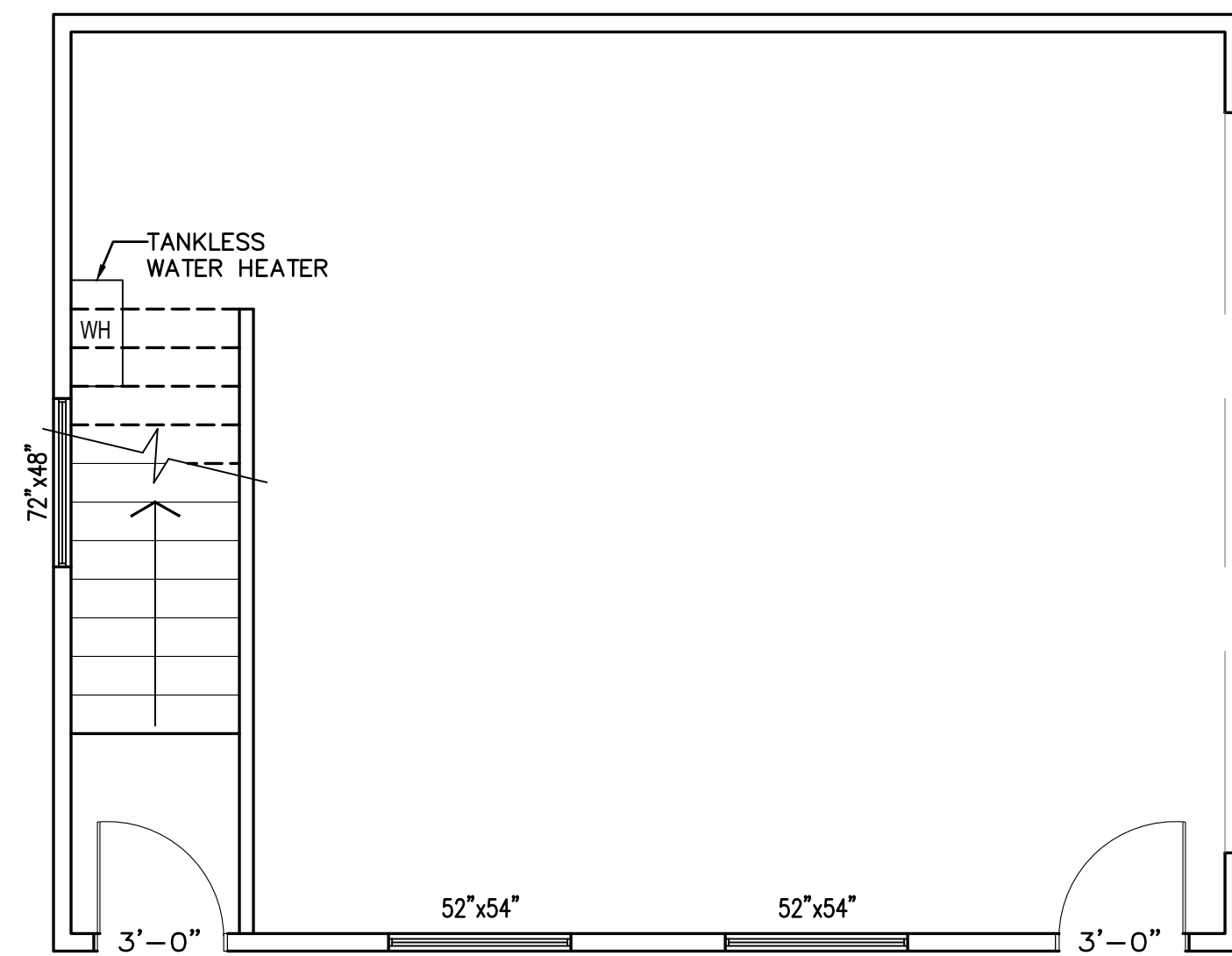
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Date: 11/16/20 Job #: 20-029
Sheet: SP2



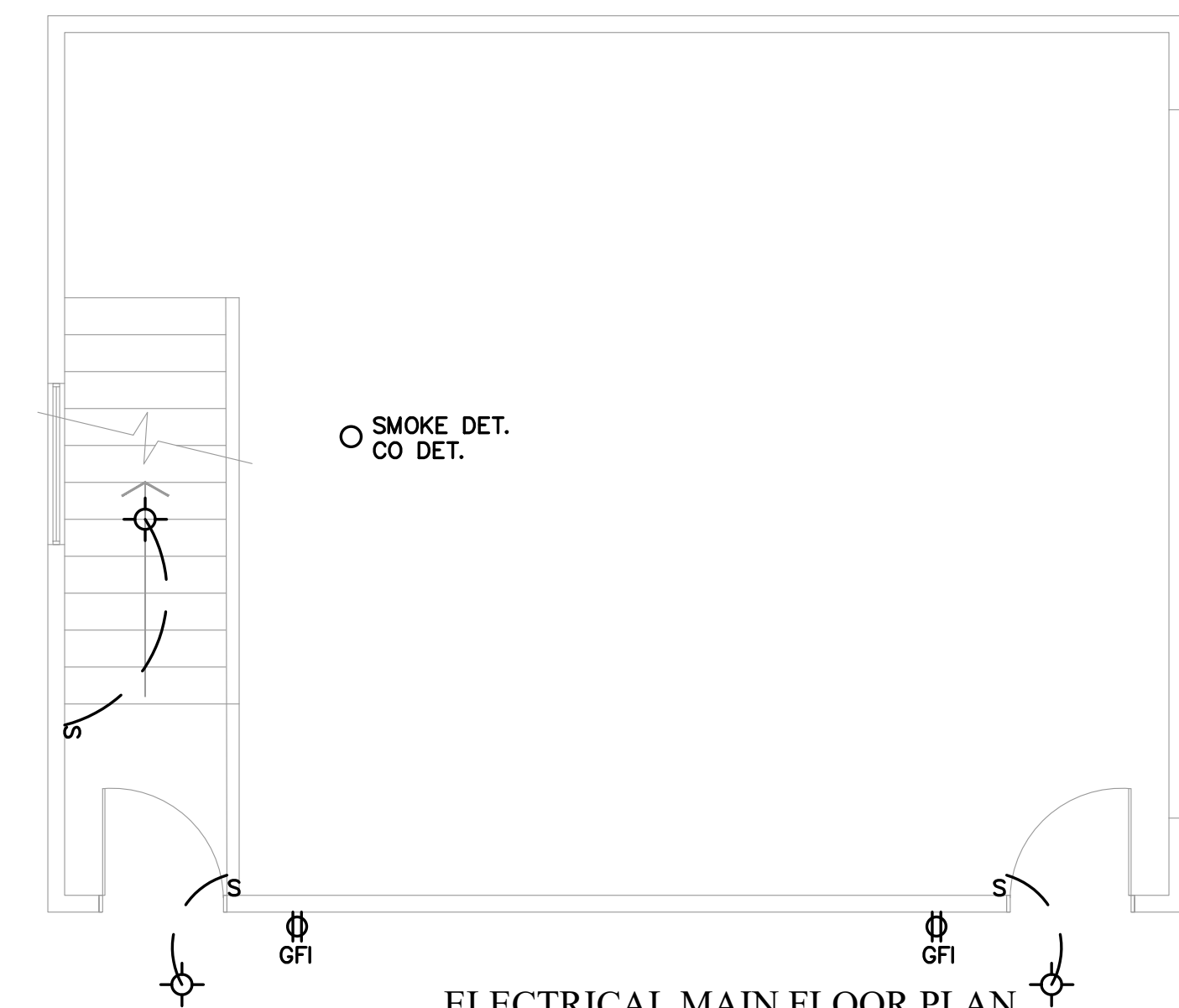
EXISTING UPPER FLOOR PLAN
SCALE: 1/4"=1'-0"



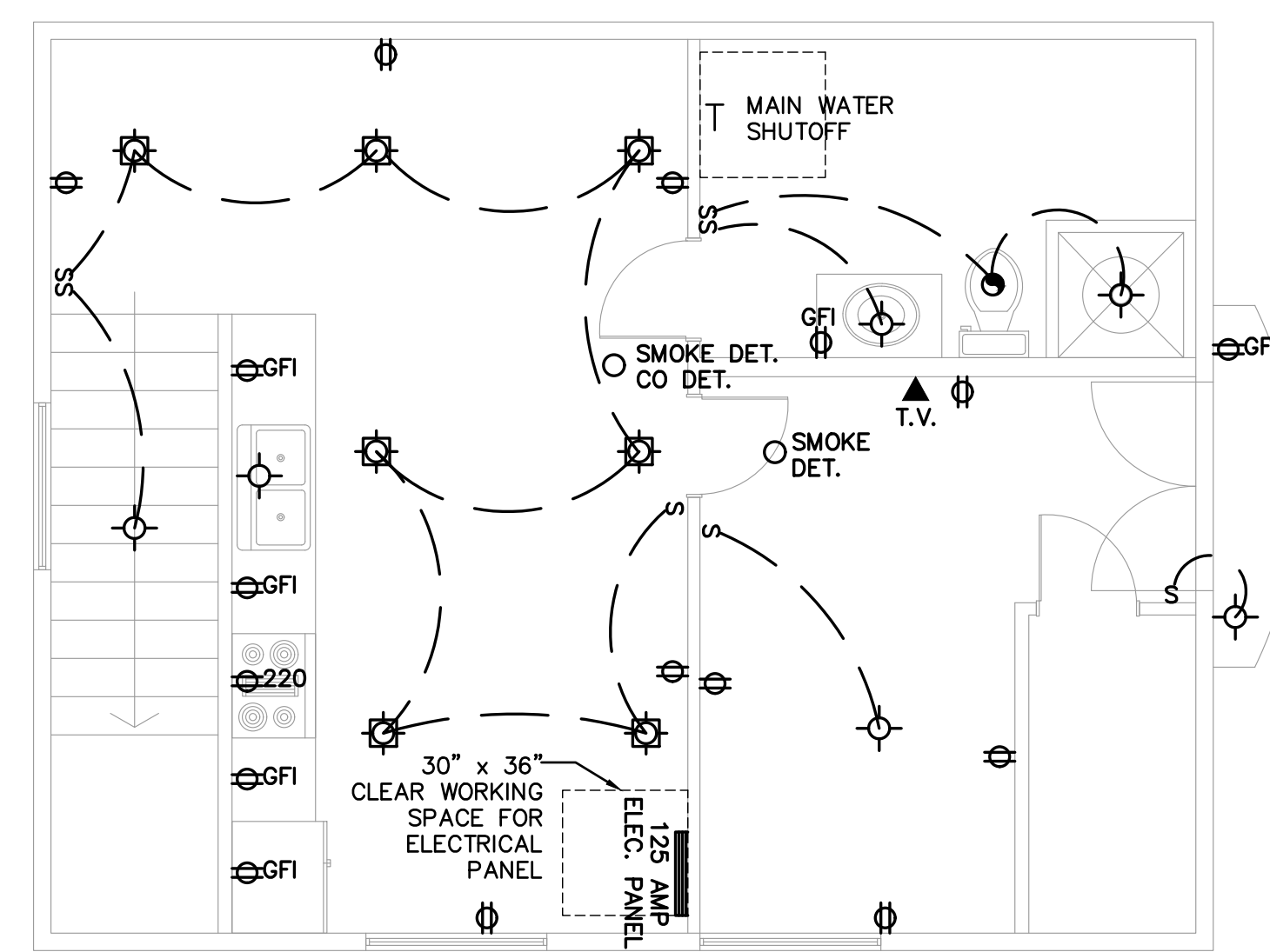
PROPOSED UPPER FLOOR PLAN
SCALE: 1/4"=1'-0"



EXISTING MAIN FLOOR PLAN
SCALE: 1/4"=1'-0"



ELECTRICAL MAIN FLOOR PLAN
SCALE: 1/4"=1'-0"



ELECTRICAL FLOOR PLAN
SCALE: 1/4"=1'-0"

GENERAL NOTES

- ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE IRC AND ALL STATE AND LOCAL CODES.
- CONTRACTOR AND ALL SUBCONTRACTORS TO VERIFY ALL DIMENSIONS AND NOTES ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO ANY CONSTRUCTION.

THERMAL AND MOISTURE PROTECTION NOTES:

- EXISTING INSULATION IN EXISTING STRUCTURE TO REMAIN THE SAME WALLS & CEILING. NEW INSULATION TO BE

R-19 WALLS
R-13 BASEMENT WALLS
R-30 FLOOR
R-49 ROOF CEILING (ATTIC)
R-20 WOOD FRAME WALL
R-19 BASEMENT OR CRAWLSPACE (CAVITY)
R-10 EXTENDING 2 FEET - SLAB ON GRADE FLOOR
U-0.32 OR BETTER WINDOWS AND DOORS

ELECTRICAL NOTES :

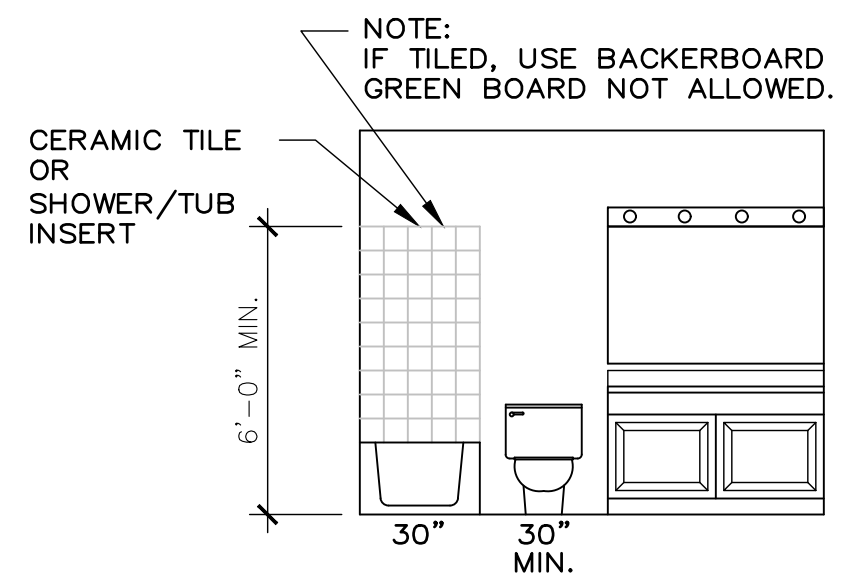
- LIGHTS, SMOKE DETECTORS, AND EXHAUST FANS ARE REQUIRED IN AREAS SHOWN. LOCATIONS SHOWN FOR OUTLETS AND SWITCHES ARE GUIDELINES ONLY. ELECTRICAL CONTRACTOR TO WIRE AND LOCATE THESE ITEMS PER LOCAL CODE.
- SMOKE/CO DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. DETECTORS SHALL BE WIRED IN-SERIES.
- FIXTURES LOCATED IN TUBS, SHOWERS, EXTERIOR PORCHES AND COVERED PATIOS MUST BE RATED FOR WET OR DAMP LOCATIONS TO BE GFCI PROTECTED.
- OUTLETS IN LAUNDRY AREAS AND OUTLETS SUPPLYING DISHWASHERS TO BE GFCI PROTECTED.
- CEILING FANS REQUIRE SPECIAL APPROVED BOXES AND ADDITIONAL SUPPORT.
- ALL CIRCUITS SERVING BEDROOMS, KITCHEN AND LAUNDRY AREAS TO BE ARC-Fault, CIRCUIT INTERRUPTER PROTECTED.
- LIGHTS IN CLOSETS MUST COMPLY WITH CLEARANCE DIMENSIONS OF IRC E4003.12
- CARBON MONOXIDE DETECTORS ARE REQUIRED ON EACH HABITABLE LEVEL. 120V WITH BATTERY BACK-UP.
- PROVIDE BUBBLE COVERS ON ALL EXTERIOR OUTLETS.
- PROVIDE SWITCHED LIGHT AT FURNACE ROOM.
- 125 AMP MINIMUM AT ELECTRICAL PANEL AS REQ'D.
- PLASTIC ELEC. BOXES IN GARAGE FIRE WALLS TO BE A MINIMUM 2 HOUR LISTING.
- PROVIDE 110 GFI OUTLET WITHIN 10 FEET OF A/C UNIT.
- GARAGE, ATTIC AND CRAWLSPACE, UNFINISHED ROOMS, KITCHEN COUNTERTOP, BATHROOM, EXTERIOR OUTLETS AND OUTLETS WITHIN 6' OF A SINK WILL BE GFI.
- ALL NEW (120 VOLT, 15 OR 20 AMP) RECEPTACLES SHALL BE TAMPER RESISTANT (IRC E4002.14)
- FIXTURES LOCATED IN TUBS, SHOWERS, EXTERIOR PORCHES AND COVERED PATIOS MUST BE RATED FOR WET OR DAMP LOCATIONS
- OUTLETS IN LAUNDRY AREAS AND OUTLETS SUPPLYING DISHWASHERS TO BE GFCI PROTECTED.
- OUTLET RECEPTACLES ON WALLS REQUIRED TO BE FIRE-RESISTANCE RATED AND LESS THAN 3 FEET FROM A LOT LINE SHALL BE SURFACE-MOUNTED, IN STEEL ELECTRICAL BOXES NOT EXCEEDING 16 SQUARE INCHES EACH AND 100 SQUARE INCHES IN AGGREGATE AREA, OR OTHERWISE PROVIDE MEMBRANE PENETRATION PROTECTION PER R302.4.2. TABLE R302.1(1) AND R302.4.

MECHANICAL NOTES :

- PROVIDE OUTSIDE COMBUSTION AIR TO FURNACE AND WATER HEATERS. ONE DUCT WITHIN 12" OF THE CEILING & SIZED 1 SQ. IN. PER 3000 TOTAL BTU INPUT OF ALL APPLIANCES.
- DRYER MUST VENT TO OUTSIDE. MIN. 4" DUCT. LENGTH NOT TO EXCEED 25'. REDUCE BY 2 1/2" FOR EACH 45° BEND AND 5" FOR EACH 90° BEND.
- FLUE AND EXHAUST FAN VENTS SHALL BE AT LEAST 3' ABOVE OR 10' AWAY FROM ALL OUTSIDE AIR INTAKE OPENINGS. THEY MUST ALSO BE LOCATED AT LEAST 4' FROM A PROPERTY LINE. EXHAUST AIR SHALL NOT DISCHARGE INTO SOFFIT.
- 2 SEISMIC STRAPS, ONE IN THE UPPER THIRD AND ONE IN THE LOWER THIRD OF THE WATER HEATER, AND EXPANSION TANK ARE REQUIRED ON WATER HEATER.
- VENTS SHALL TERMINATE 4' BELOW OR 4' HORIZONTALLY, AND AT LEAST 1' ABOVE A DOOR, OPENABLE WINDOW OR A GRAVITY AIR INLET.
- ALL BATHROOMS TO HAVE 50 CFM MECHANICAL VENTILATION DUCTED TO THE EXTERIOR. UNLESS 3 SQUARE FEET OF GLAZED OPENING IS PROVIDED.

PLUMBING NOTES :

- COMBUSTION AIR FOR W.H. TO BE SUPPLIED FROM OUTSIDE.
- FREEZELESS, BACKFLOW PREVENTION HOSE BIBBS REQUIRED. PROVIDE ACCESSIBLE SHUT-OFF BALL VALVE.
- LOW-FLUSH TOILETS REQUIRED, MAX. 1.6 GALLONS PER FLUSH.
- MAX. FLOW RATE FOR SHOWER HEADS IS 2.5 GALLONS PER MINUTE.
- PLUMBING VENTS SHALL BE AT LEAST 3' ABOVE OR 10' AWAY FROM ALL OUTSIDE AIR INTAKE OPENINGS. ALL PLUMBING VENTS THROUGH ROOF TO BE A MINIMUM 3" PIPE.



- SHOWER DOORS TO HAVE 22" MIN. CLEAR OPENING
- SHOWER PAN LINERS TO EXTEND 3" ABOVE THE SHOWER DOOR THRESHOLD HEIGHT AND SOLID BLOCKING TO BE PROVIDED BEHIND LINER LOCATIONS. LINERS TO BE INSTALLED ON BUILT UP FLOORS AND MUST BE INSPECTED. SHOWERS AND TUBS WITH TILE OR WALL PANELS MUST HAVE A FIBER CEMENT BACKER BOARD.
- PROVIDE AN ANTI-SCALD VALVE IN ALL LAVATORIES, TUBS, SHOWERS AND SINKS

STANDARD BATH ELEVATION
NO SCALE

LIGHTING SCHEDULE:

	CEILING LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	SWITCH
	SMOKE DETECTOR AND CO DETECTOR
	CEILING MOUNTED FAN w/ OPTIONAL LIGHT KIT TO BE CHOSEN BY OWNER
	OUTLET
	EXHAUST FAN TO OUTSIDE
	TELEPHONE AND T.V. CONNECTOR

THE DESIGN SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION & MODELS THEREOF, ARE PROPRIETARY & CAN NOT BE COPIED, DUPLICATED, OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE SOLE AND EXPRESS WRITTEN PERMISSION FROM THE ENGINEER ON RECORD. THESE DRAWINGS ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION BY CLIENTS, CONSULTANTS, CONTRACTORS, GOVERNMENT AGENCIES, VENDORS, AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE.

HOLLYWOOD REMODEL

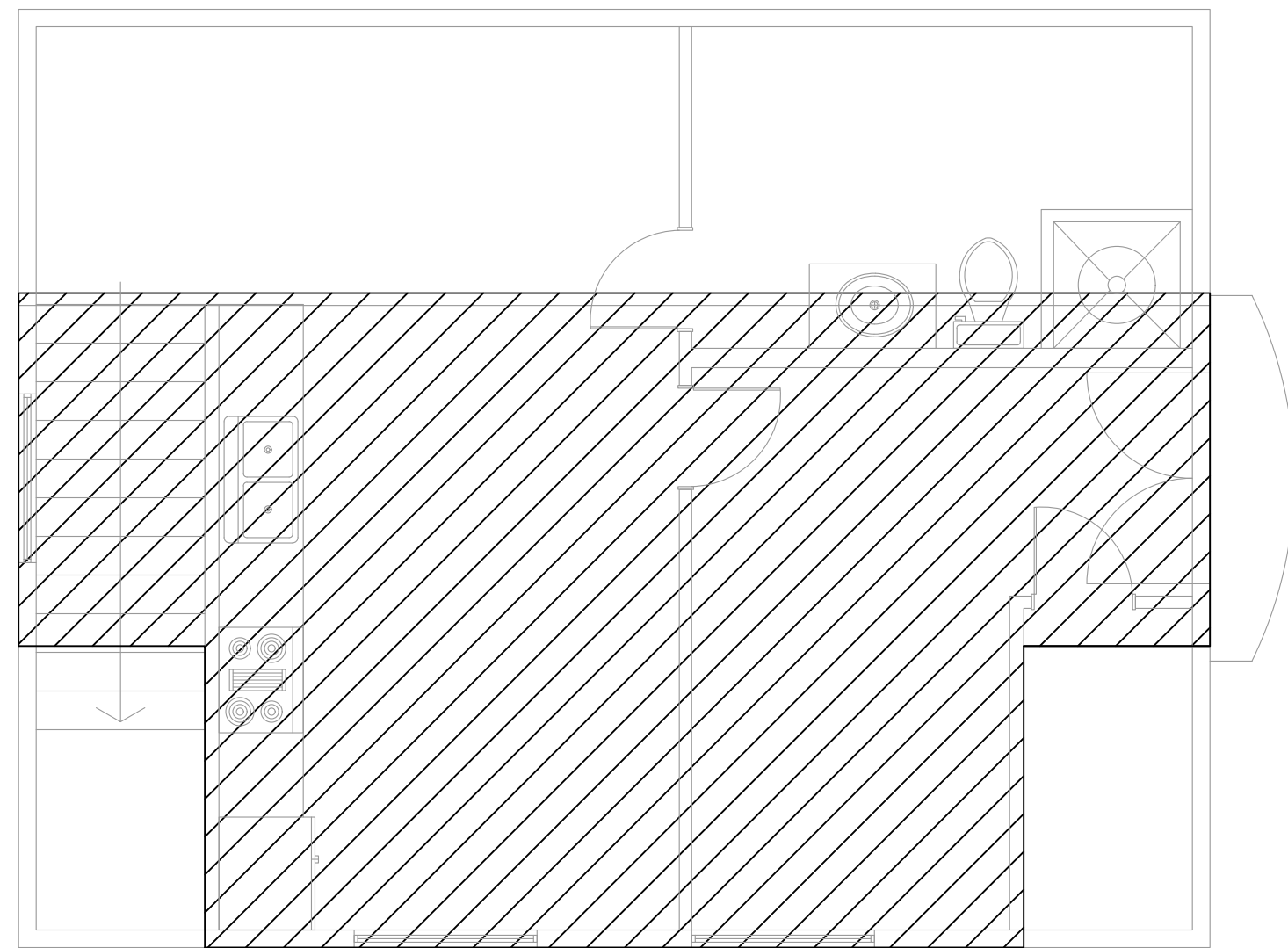
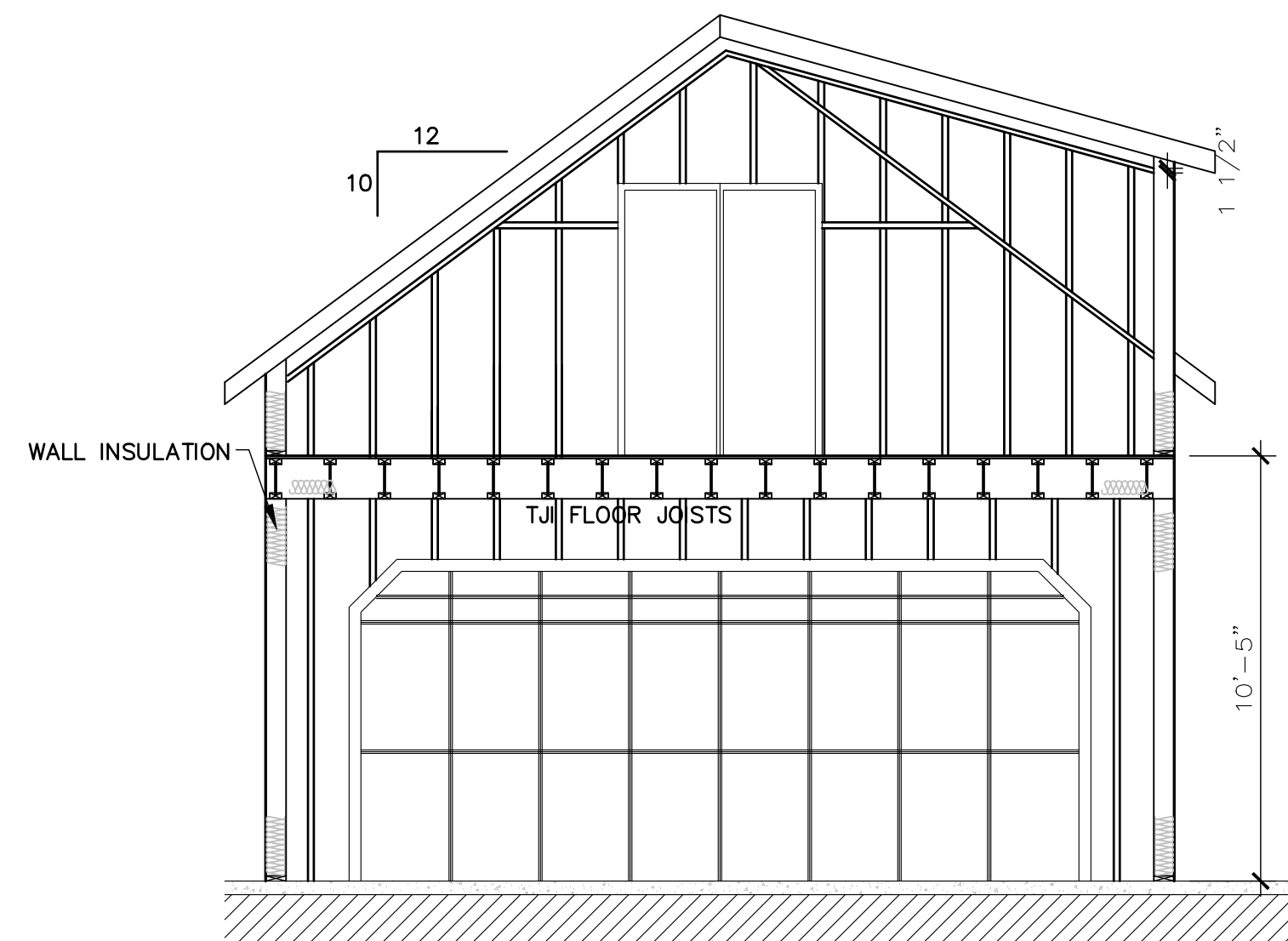
1726 E. HOLLYWOOD AVE SALT LAKE CITY

MAIN FLOOR PLAN

REVISION BLOCK	
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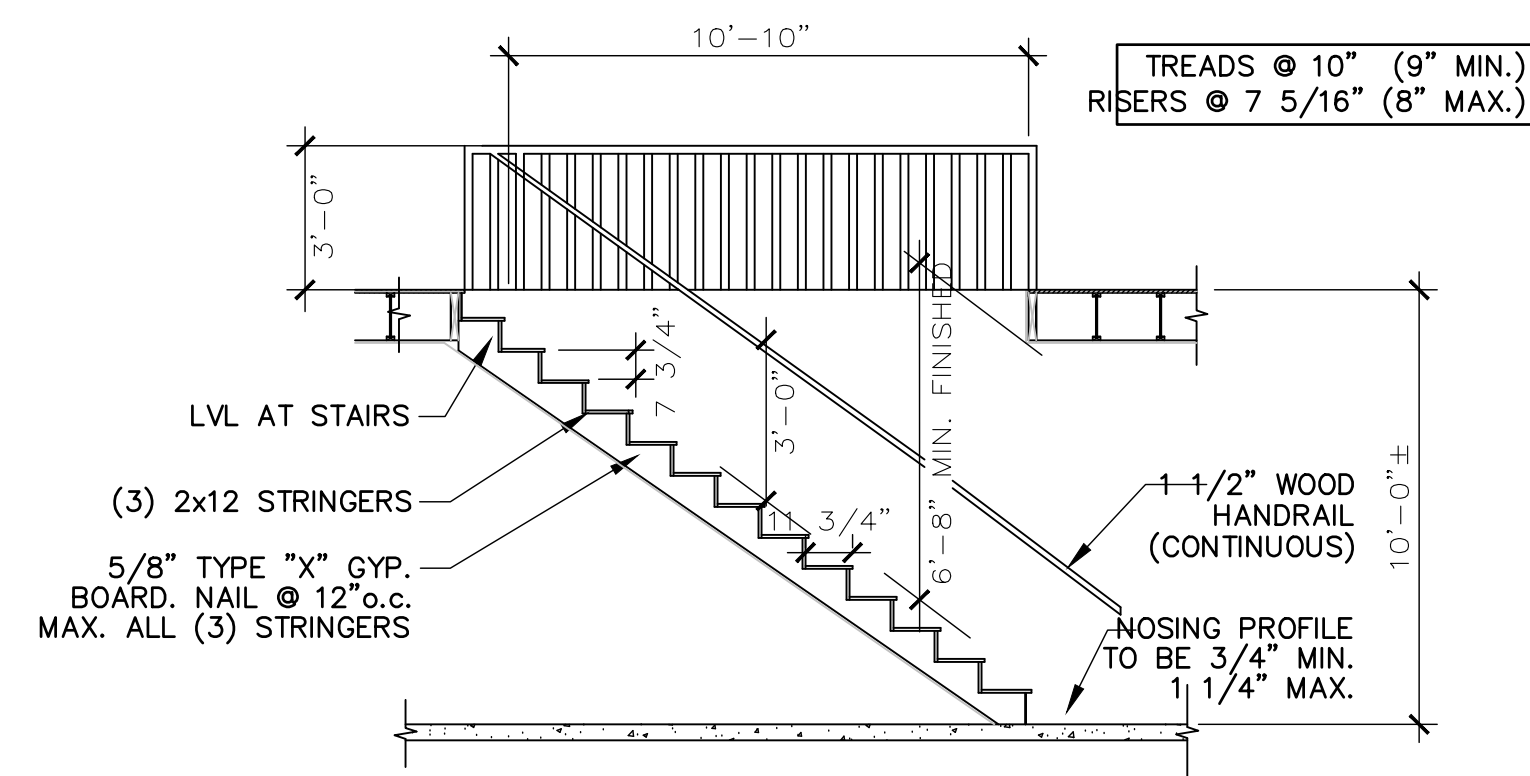
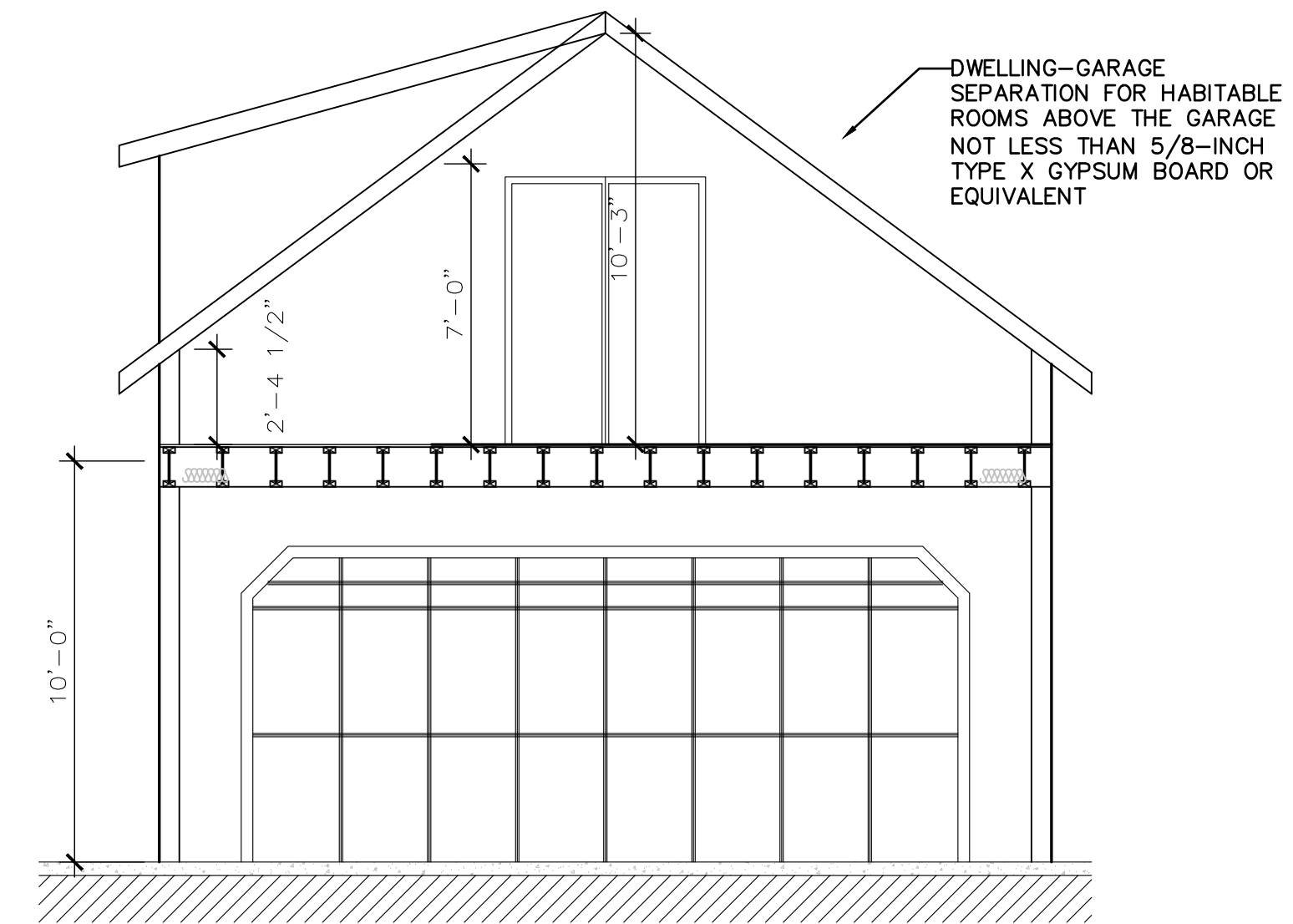
FLOOR PLAN

Scale: 1/4"=1' Drawn: GD
Date: 11/16/20 Job #: 20-029
Sheet:

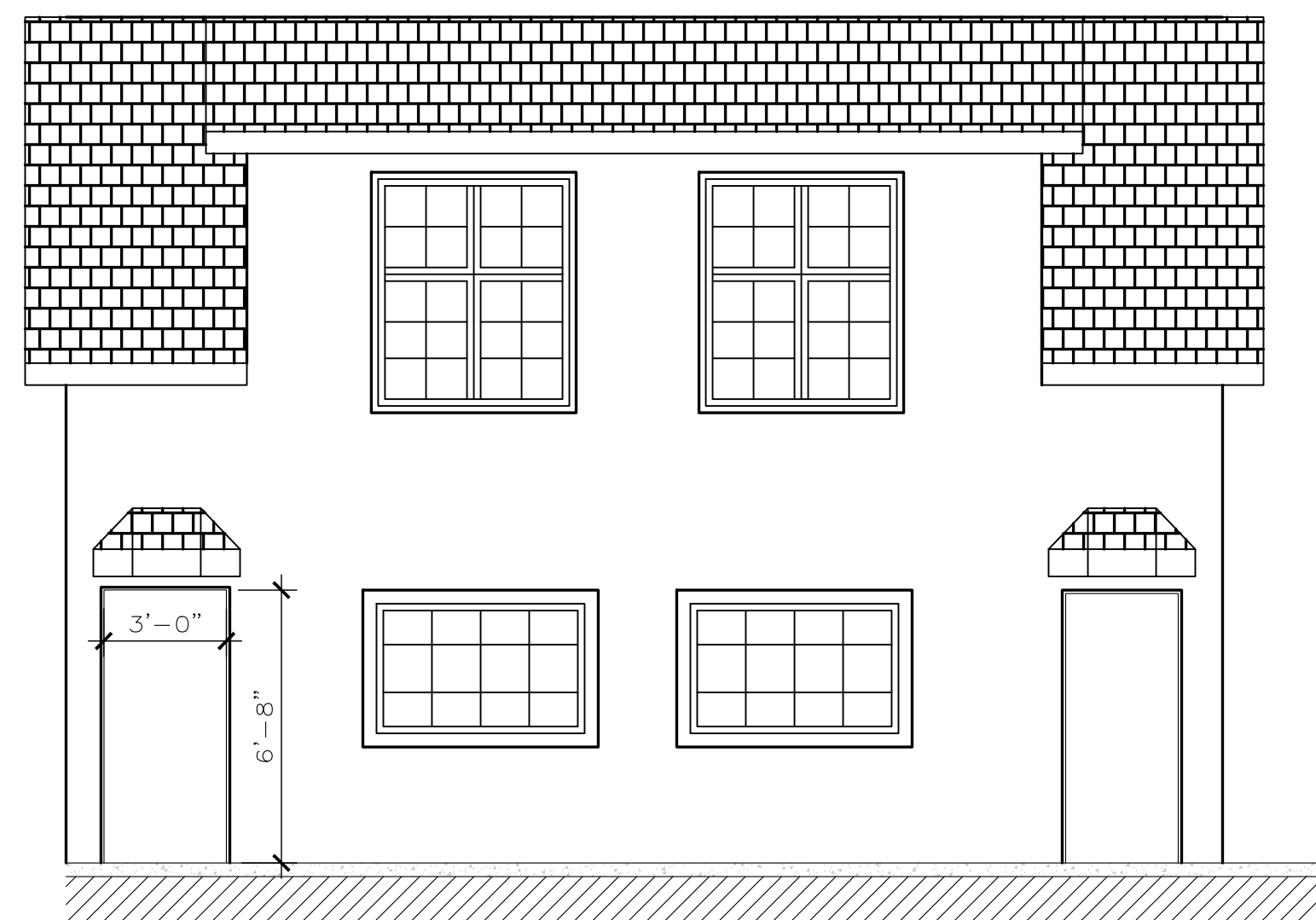


AREA CALCULATION

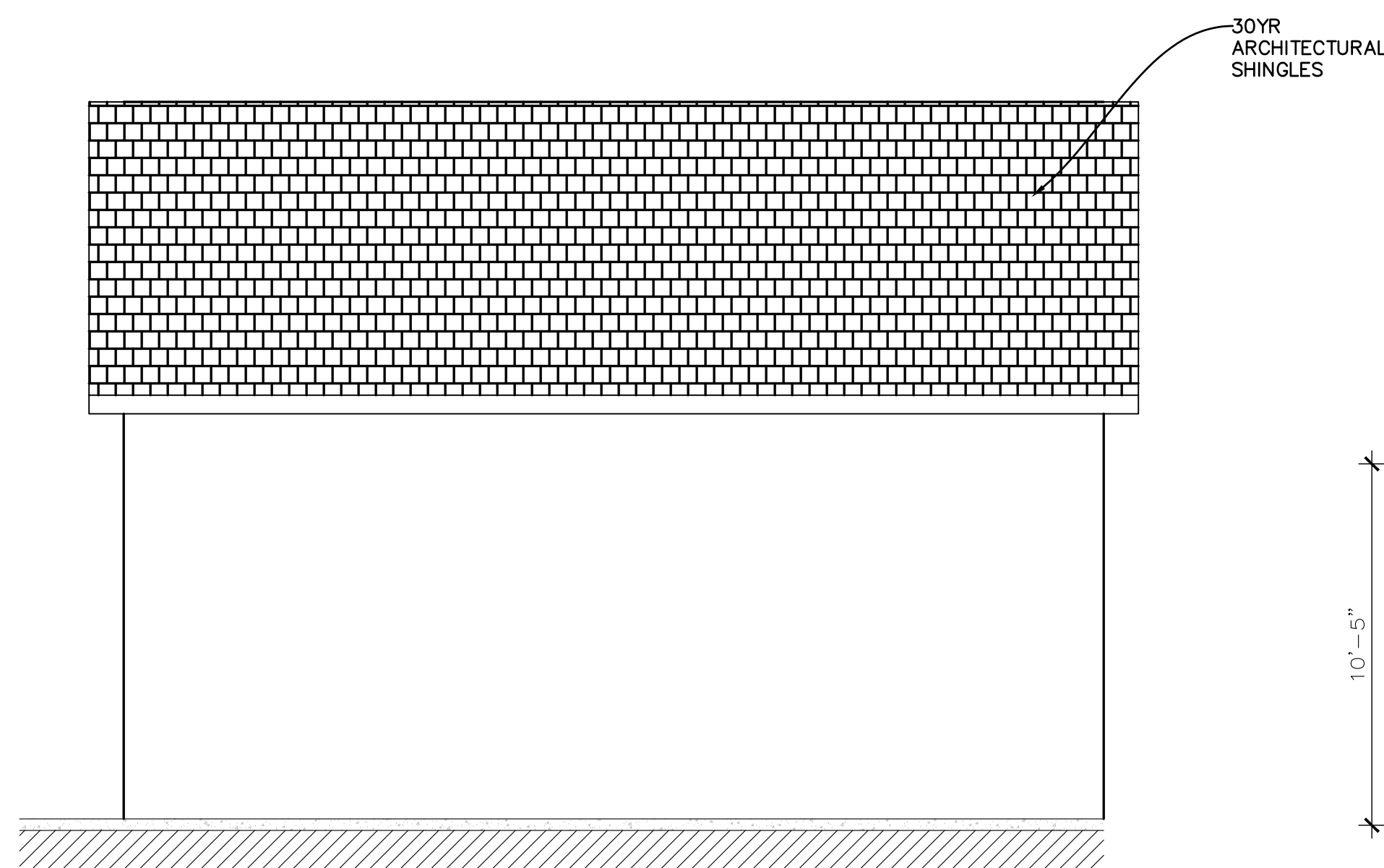
CALCULATIONS OF FLOOR AREA PER R305.1 E1
 -TOTAL FLOOR AREA = 587.17 S.F.
 -7'-0" FLOOR AREA = 375.88 S.F.
 % OF FLOOR AREA = 60% > 50% MIN OK.



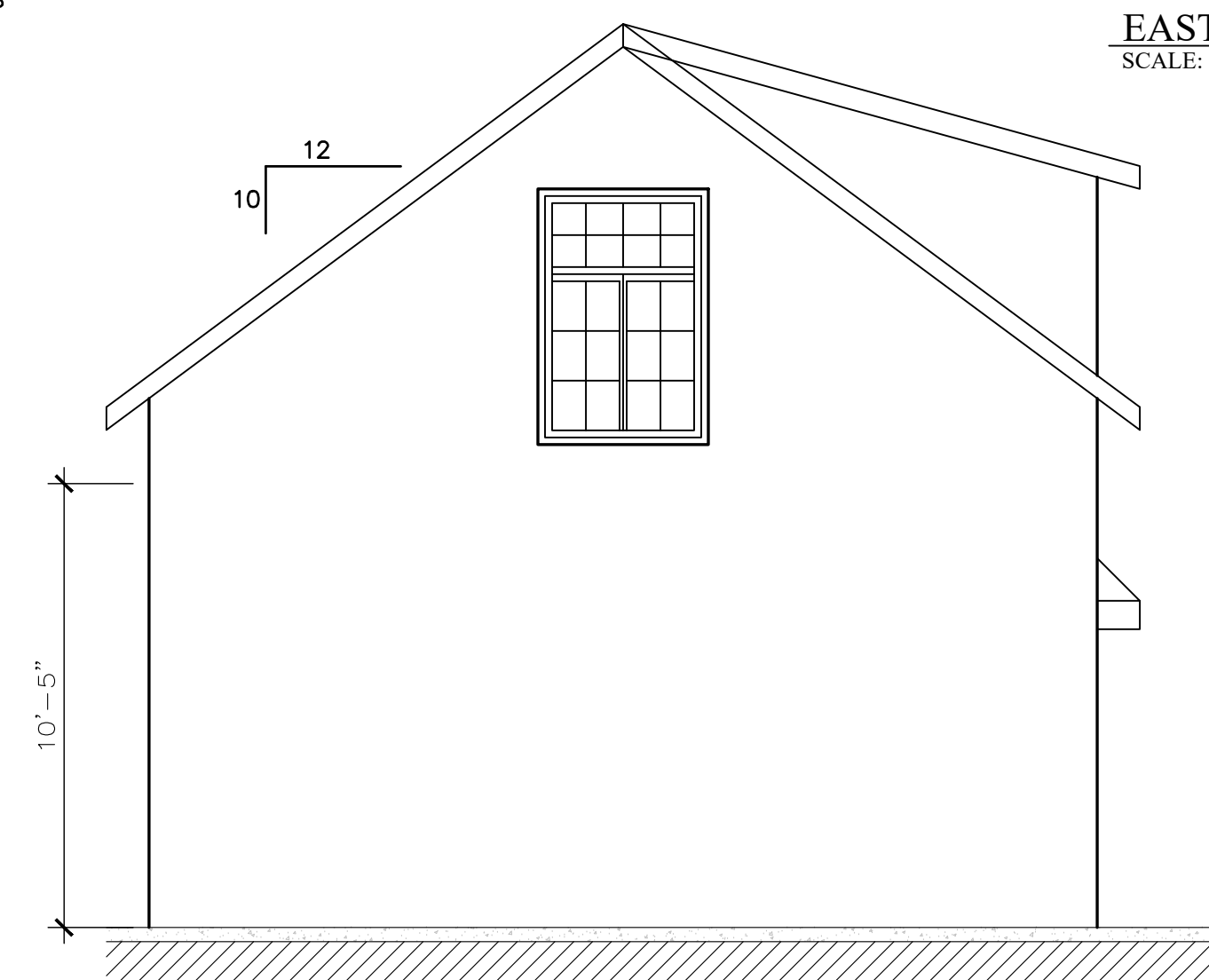
TYP. STAIR SECTION
 SCALE: 1/4"=1'-0"



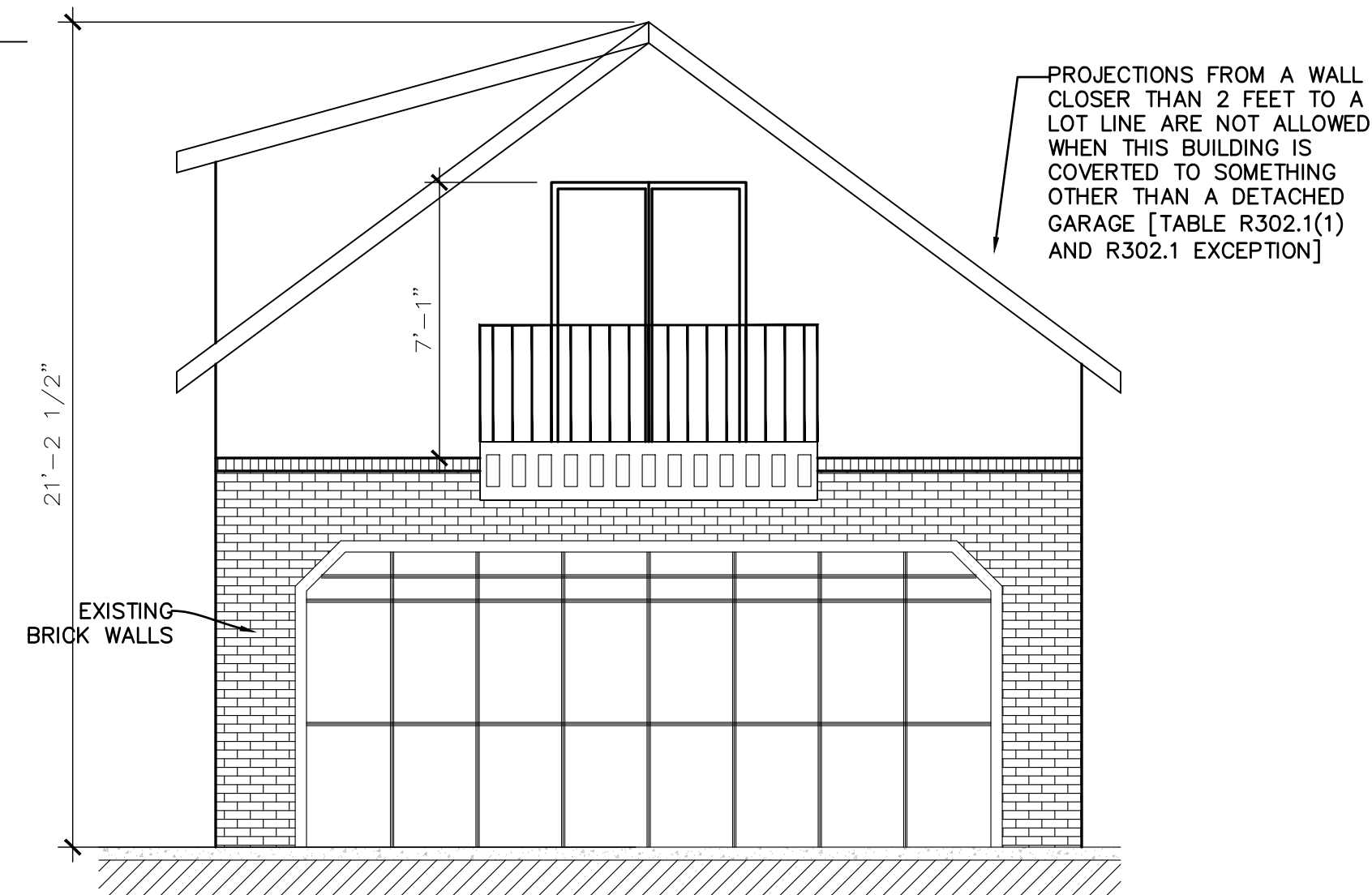
EAST ELEVATION
 SCALE: 1/4"=1'-0"



WEST ELEVATION
 SCALE: 1/4"=1'-0"



SOUTH ELEVATION
 SCALE: 1/4"=1'-0"



NORTH ELEVATION
 SCALE: 1/4"=1'-0"

THE DESIGNS SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION & MODELS, THEREOF, ARE PROPRIETARY & CAN NOT BE COPIED, DUPLICATED, OR COMMERCIAALLY EXPLOITED IN WHOLE OR IN PART WITHOUT THE SOLE AND EXPRESS WRITTEN PERMISSION FROM THE ENGINEER ON RECORD. THESE DRAWINGS ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION BY CLIENTS, CONSULTANTS, CONTRACTORS, GOVERNMENT AGENCIES, VENDORS, AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE.

HOLLYWOOD REMODEL
 1726 E. HOLLYWOOD AVE SALT LAKE CITY
ELEVATIONS

REVISION BLOCK		DESCRIPTION
#	DATE	
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FLOOR PLAN

Scale: 1/4"=1' Drawn: GD
 Date: 11/16/20 Job #: 20-029
 Sheet:

ATTACHMENT C: Property and Vicinity Photos



Subject Property



Existing garage in rear yard



Adjacent neighbor to the west



Adjacent neighbor to the east

ATTACHMENT D: ADU Zoning Standards

21A.24.060 - R-1/7,000 SINGLE-FAMILY RESIDENTIAL DISTRICT:

Purpose Statement: The purpose of the R-1/7,000 Single-Family Residential District is to provide for conventional single-family residential neighborhoods with lots not less than seven thousand (7,000) square feet in size. This district is appropriate in areas of the City as identified in the applicable community Master Plan. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

UNDERLYING ZONING STANDARDS	PROPOSED	COMPLIES?
MINIMUM LOT AREA: 7,000 square feet, not to exceed 10,500 square feet	The subject lot is 10,620 SF (0.24 acres) in size. This lot was legally established, and the existing lot area is considered a legal noncomplying condition. No changes are proposed to the existing lot area with the proposed conditional use permit.	Yes
MINIMUM LOT WIDTH: 50 ft.	The subject lot is approximately 58 ft. wide. No changes are proposed to the existing lot area with the proposed conditional use permit.	Yes
MAXIMUM BUILDING HEIGHT: 17 ft. (buildings with a pitched roof)	The proposed accessory structure is approximately 22'-2.5" in height. As discussed in the Background section, the existing accessory building is a legal noncomplying structure. No changes to the height are proposed.	Yes
MINIMUM YARD REQUIREMENTS: Side Yard: 4 ft. Rear Yard: 10 ft. Distance from residences: 10 feet	The existing accessory structure is setback 1' from the side property line, 51' from the rear property line, and more than 10' from the neighboring house. As discussed previously, this is a legally existing accessory structure and therefore can be converted to an ADU in its existing state.	Yes
MAXIMUM BUILDING COVERAGE: 40% of total lot size	The total footprint of the existing buildings on site is approximately 1,589 SF. This comes to approximately 15% lot coverage, which is less than the maximum allowable lot coverage.	Yes

21A.40.200 – ACCESSORY DWELLING UNITS:

ADU STANDARDS	PROPOSED	COMPLIES?
<p>SIZE: An accessory building that contains an accessory dwelling unit shall be subject to the building coverage requirements for accessory buildings found in section 21A.40.050. In no instance shall any accessory dwelling unit exceed a gross floor area of six hundred fifty (650) square feet.</p>	<p>The accessory building is a legally existing noncomplying structure. The gross floor area of the ADU is 376 SF.</p>	<p>Yes</p>
<p>BULK, HEIGHT, AND YARD:</p> <ol style="list-style-type: none"> 1) Accessory building shall comply with underlying bulk, height, and yard requirements. 2) Accessory building may not be any larger than 50% of the footprint of the main dwelling. 	<ol style="list-style-type: none"> 1) The existing accessory structure in which the ADU will be established is a legal noncomplying structure. 2) The existing accessory building is a legal noncomplying structure. 	<p>Yes</p>
<p>ENTRANCE LOCATIONS: The entrance to an accessory dwelling unit in an accessory building shall be located:</p> <ol style="list-style-type: none"> 1) Facing an alley, public street or facing the rear facade of the single family dwelling on the same property. 2) Facing a side or rear property line provided the entrance is located a minimum of ten feet (10') from the side or rear property line. 3) Exterior stairs leading to an entrance shall be located a minimum of ten feet (10') from a side or rear property line unless the applicable side or rear property line is adjacent to an alley in which case the minimum setback for the accessory building applies to the stairs. Located in a side yard provided the side yard is at least eight feet (8') in width. Stairs leading to an ADU in the basement are 	<p>The proposed entrance to the ADU faces the east side property line. It is setback from that property line 36 ft. This complies with standard 2.</p>	<p>Yes</p>

permitted to encroach into the side yard.		
<p>REQUIREMENTS FOR WINDOWS:</p> <ol style="list-style-type: none"> 1) Windows facing the side or rear property lines within 10' of the property lines must use clerestories, skylights, or obscured glazing. 2) Windows shall be of a similar dimension as those used on the primary dwelling. 3) Windows on the ground floor may be retained if compliant with Building and Fire Codes. Windows on the second floor must be brought into compliance with this section. 	<ol style="list-style-type: none"> 1) The windows facing the rear and side property lines are setback 51' and 36' respectively. 2) All windows are existing. 3) All windows are existing and will be required to comply with Building and Fire Codes. 	Yes
<p>BALCONIES AND DECKS:</p> <ol style="list-style-type: none"> 1) Shall not exceed 80 square feet in size. 2) Shall not be closer than 10 feet to a side or rear property line, unless adjacent to an alley. 3) No rooftop decks permitted 	There is a small existing balcony on the front façade of the existing building. Because it is existing, it is not required to meet the standards for new balconies.	Yes
<p>PARKING: Minimum of one parking space on site.</p> <p>*This requirement may be waived if there is legal on-street parking along the street frontage of the property OR if the property is within ¼ mile of a transit stop.</p>	The applicant is providing one off-street parking space in the driveway.	Yes

ATTACHMENT E: Conditional Use Standards

Conditional Use Standards

An application for a conditional use is required by city code 21A.54 and Utah Code 10-9a-507 to be approved if the proposal complies with the adopted standards of review and if any reasonably anticipated detrimental impact can be mitigated. Under Utah Code 10-9a-507, the standards must be objective and mitigating any reasonably anticipated detrimental impact is required to be interpreted to mean reduce, not eliminate, the impact.

The Finding for each standard is the recommendation of the Planning Division based on the facts associated with the proposal, the discussion that follows, and the input received during the engagement process. Input received after the staff report is published has not been considered in this report.

21A.54.080.A: Approval Standards
Standard 1: The use complies with applicable provisions of this title;
Finding: Complies
Discussion: The proposed ADU use is located in the R-1/7,000 Single Family Residential Zone which allows for an ADU to be approved through the conditional use process subject to meeting the specific regulations for an ADU in section 21A.40.200 of the zoning ordinance. As analyzed in Attachment D , the ADU complies with the requirements of 21A.40.200.
Standard 2: The use is compatible, or with conditions of approval can be made compatible, with surrounding uses
Finding: Complies
Discussion: Proposed ADUs are anticipated in the R-1/7,000 Single Family Residential Zone and are considered a use that is potentially compatible with adjacent and surrounding residential uses by being listed as a conditional use in the land use table. The property is located in an established single-family neighborhood and the ADU meets all the requirements in terms of setbacks, separation between adjacent houses, and separation from the primary house on the property.
Standard 3: The use is consistent with applicable adopted city planning policies, documents, and master plans; and
Finding: Complies

Discussion:

The purpose of accessory dwelling units is to:

1. Create new housing units while respecting the appearance and scale of single-family residential development;
2. Provide more housing choices in residential districts;
3. Allow more efficient use of existing housing stock, public infrastructure, and the embodied energy contained within existing structures;
4. Provide housing options for family caregivers, adult children, aging parents, and families seeking smaller households;
5. Offer a means for residents, particularly seniors, single parents, and families with grown children, to remain in their homes and neighborhoods, and obtain extra income, security, companionship, and services;
6. Broaden the range of affordable housing throughout the City;
7. Support sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption;
8. Support transit-oriented development and reduce auto usage by increasing density near transit; and
9. Support the economic viability of historic properties and the City's historic preservation goals by allowing accessory dwellings in historic structures.

The proposal is also consistent with the goals and policies outlined in *Growing SLC: A Five Year Housing Plan* which aims to increase housing options, promote diverse housing stock, and allow for additional units while minimizing neighborhood impacts.

Standard 4: The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions

Finding: Complies

Discussion:

In analyzing the anticipated detrimental effects of the proposed use, Staff finds that with the conditions identified in the analysis, which are none, the request complies with the criteria listed below. The Planning Commission shall determine compliance with each of the following:

21A.54.080.B: Detrimental Effects Determination

1. This title specifically authorizes the use where it is located;

Finding: No Detrimental Impact

Discussion:

The proposed ADU is an accessory residential use and is allowed as a conditional use within the R-1/7,000 Single Family Residential zoning district. The proposed ADU complies with all specific regulations for an ADU including size, height, setbacks, distance to other houses, etc. as outlined in [Attachment D](#).

2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps;

Finding: No Detrimental Impact

Discussion:

The use is permitted as a conditional use in the underlying zoning district and supports the goal of increasing housing options found in *Growing Salt Lake*. The ADU is not altering the primary dwelling unit and is a residential use in a residential neighborhood.

3. The use is well suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area;

Finding: No Detrimental Impact

Discussion:

Uses surrounding the property are single-family residential uses. The proposal complies with the size requirements for an ADU which can be up to 650 gross square feet and is compatible with the scale of surrounding accessory buildings and adjacent uses.

4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered;

Finding: No Detrimental Impact

Discussion:

As discussed above, the scale of the proposal is compatible with the main house on the property as well as surrounding structures and meets the footprint and height requirements for an ADU.

5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows;

Finding: No Detrimental Impact

Discussion:

The property has a single-family dwelling with one driveway from Hollywood Ave. There is no alley access to the rear and the site has already been established. Parking for the primary dwelling will be provided in an existing, attached garage or in the driveway adjacent and to the rear of the home. There will be no changes to existing grade on the lot. The proposed access point for both parking and pedestrian access to the ADU is a driveway accessing Hollywood Ave. No impact to traffic flows is anticipated.

6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, nonmotorized, and pedestrian traffic;

Finding: No Detrimental Impact

Discussion:

Off-street parking is being provided to accommodate the residents of the ADU. it's not anticipated that the addition of the accessory unit will create any adverse impacts in terms of motorized, non-motorized and pedestrian traffic.

7. The site is designed to enable access and circulation for pedestrian and bicycles;

Finding: No Detrimental Impact

Discussion:

There is paved access from the front property line towards the proposed ADU which will be readily accessible by cyclists and pedestrians visiting the ADU residence.

8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street;

Finding: No Detrimental Impact

Discussion:

The site has been designed with one access point for the proposed use to minimize any potential areas of conflict with vehicles in the abutting/adjacent street. No impacts to the service level of the adjacent streets are anticipated.

9. The location and design of off street parking complies with applicable standards of this code;

Finding: No Detrimental Impact

Discussion:

As discussed in other areas of this analysis, off-street parking is provided to service the residents of the ADU.

10. Utility capacity is sufficient to support the use at normal service levels;

Finding: No Detrimental Impact

Discussion:

The Public Utilities department provided comments on the project. A utility plan will need to be submitted for review and compliance will be ensured during the building permitting process.

11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts;

Finding: No Detrimental Impact

Discussion:

The surrounding properties are all residential uses, and the proposed use is also residential. There are no incompatible uses to screen, buffer, or separate as part of this request.

12. The use meets city sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke;

Finding: No Detrimental Impact

Discussion:

The use does not significantly impact sustainability plans. The project supports sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption. The proposed use is not anticipated to contribute to noise, air, or water pollution beyond what is generally expected of residential uses

13. The hours of operation and delivery of the use are compatible with surrounding uses;

Finding: No Detrimental Impact

Discussion:

The proposed use is an accessory residential structure and is compatible with the surrounding uses that are also residential.

14. Signs and lighting are compatible with, and do not negatively impact surrounding uses;

Finding: No Detrimental Impact

Discussion:

Signs are not associated with this proposal. No lighting is proposed beyond average residential lighting fixtures.

15. The proposed use does not undermine preservation of historic resources and structures.

Finding: No Detrimental Impact

Discussion:

The accessory building is not a historic structure and the establishment of an ADU does not affect any surrounding historic structures.

According to Zoning Code Section 21A.54.080.C, the Planning Commission may impose conditions related to the standards and detrimental impacts listed above if a condition is necessary for compliance with the standards of approval or any applicable zoning regulation and to reduce any reasonably anticipated detrimental impact. Conditions may be related to:

1. Conditions on the scope of the use; its character, location, hours and methods of operation, architecture, signage, construction, landscaping, access, loading and parking, sanitation, drainage and utilities, fencing and screening, and setbacks; and
2. Conditions needed to mitigate any natural hazards; assure public safety; address environmental impacts; and mitigate dust, fumes, smoke, odor, noise, vibrations; chemicals, toxins, pathogens, gases, heat, light, and radiation.

After a public hearing is held, planning staff can help the commission identify and determine if information provided warrants further discussion on any potential non-compliance or detrimental impact that may require a condition of approval.

ATTACHMENT F: Public Process & Comments

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- December 2, 2021 – The Sugar House Community Council was sent the 45 day required notice for recognized community organizations. The council did not provide comments.
- December 2, 2021 - Property owners and residents within 300 feet of the development were provided early notification of the proposal. No comments have been received at the time of publishing. Any comments received after publication of the staff report will be forwarded to the Planning Commission.

Notice of the public hearing for the proposal included:

- September 16, 2022
 - Public hearing notice sign posted on the property
- September 16, 2022
 - Public hearing notice mailed
 - Public notice posted on City and State websites and Planning Division list serve

ATTACHMENT G: Department Review Comments

This proposal was reviewed by the following departments. Any requirement identified by a City Department is required to be complied with.

Public Utility: Jason Draper (jason.draper@slcgov.com)

Comments from Public Utilities had not been received at time of publishing.

Planning Staff Note: Final approval from Public Utilities will be required at the building permit stage.

Zoning: Katilynn Harris (katilynn.harris@slcgov.com or 801-535-6179)

The proposed ADU appears to meet the applicable standards listed in 21A.40.200. The unit must be registered according to the standards in 21A.40.200.F prior to permit issuance.

Building Code: Will Warlick (william.warlick@slcgov.com or 801-535-7292)

Note that the eave overhang on the west side is not allowed per IRC Table R302.1(1). See BLD2020-11528.

Planning Staff Note: Final approval from Building Code will be required at the building permit stage.

Engineering: Scott Weiler (scott.weiler@slcgov.com or 801-535-6159)

The plans show the proposed ADU connecting to the existing house for water, sewer and gas. If this changes and it becomes necessary to excavate in the public way, please contact Scott Weiler at SLC Engineering 801-381-4654.

Transportation: Michael Barry (michael.barry@slcgov.com or 801-535-7147))

Two off street parking spaces are required for the single-family residence and one additional parking space is required for the ADU. The requirement for the additional parking space may be waived if there is legal on street parking along the frontage of the property OR if the property is located within one quarter mile of a transit station (21A.40.200.E.1.g). This property satisfies both requirements for waiving the parking requirement.

There are new parking areas shown on the plans. A new driveway approach is required for the new driveway on the north side of the residence. With the exception of legal shared driveways, driveways shall be at least six feet (6') from abutting property lines, twenty feet (20') from street corner property lines and five feet (5') from any public utility infrastructure such as power poles, fire hydrants and water meters. The plans should show the existing public infrastructure (water meter, power poles, trees, etc.) in proximity to the driveway on the plans. All parking and vehicle maneuvering areas must be hard surfaced (concrete or asphalt) and should be indicated on the plans.

Planning Staff Note: The applicant will use the existing driveway approach and therefore does not need to comply with the standards for new drive approaches.

Fire: Doug Bateman (douglas.bateman@slcgov.com or 801-535-6619)

*Fire hydrant shall be located within 600-feet of all ground level exterior walls. Measurement are following drive route and in straight lines and right angles.

*Fire resistance ratings for the walls along the property line shall be met

Planning Staff Note: Final approval from Fire will be required at the building permit stage.