



Staff Report

PLANNING DIVISION

DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Eric Daems, Senior Planner, eric.daems@slcgov.com, 801-535-7236
Date: August 24, 2022
Re: PLNPCM2022-00422, 370 S West Temple

Design Review

PROPERTY ADDRESS: 370 South West Temple Street
PARCEL ID: 15-01-428-026-0000
MASTER PLAN: Downtown
ZONING DISTRICT: D-1 Central Business District

REQUEST:

Brian Miller, of Solomon, Cordwell, Buenz, Architects, representing the property owners, is requesting Design Review approval for a hotel at approximately 370 South West Temple Street. The proposal is for a 10-story, 209-room hotel with restaurant and amenity space. The property is in the D-1 (Central Business District) zoning district. The project requires Design Review approval as it is proposed as 129' tall. Mid-block buildings over 100' tall in the D-1 zone, are permitted only with Design Review approval by the Planning Commission.

RECOMMENDATION:

Based on the information and findings listed in the staff report, it is the Planning Staff's opinion that the request generally meets the applicable standards of approval and therefore recommends the Planning Commission approve the request.

ATTACHMENTS:

- A. ATTACHMENT A: Vicinity Map
- B. ATTACHMENT B: Plan Set
- C. ATTACHMENT C: Property and Vicinity Photos
- D. ATTACHMENT D: D-1 Zoning Standards
- E. ATTACHMENT E: Design Review Standards
- F. ATTACHMENT F: Public Process & Comments
- G. ATTACHMENT G: Department Review Comments

PROJECT DESCRIPTION

This proposal is for a 10-story hotel with 209 rooms and a ground-floor restaurant, in the Central Business District. The building is proposed as 129' tall and will include outdoor terraces on a portion of the 2nd floor (facing West Temple) and on the 10th floor.



Rendering from West Temple



Rendering Showing Current and Proposed Adjacent Development

Quick Facts

Height: 129 feet (10 stories)

Number of Hotel Rooms: 209

Building Features: Ground floor restaurant, 2nd and 10th level terraces

Exterior Materials: Glass, brick, architectural metal panels, stucco, plaster

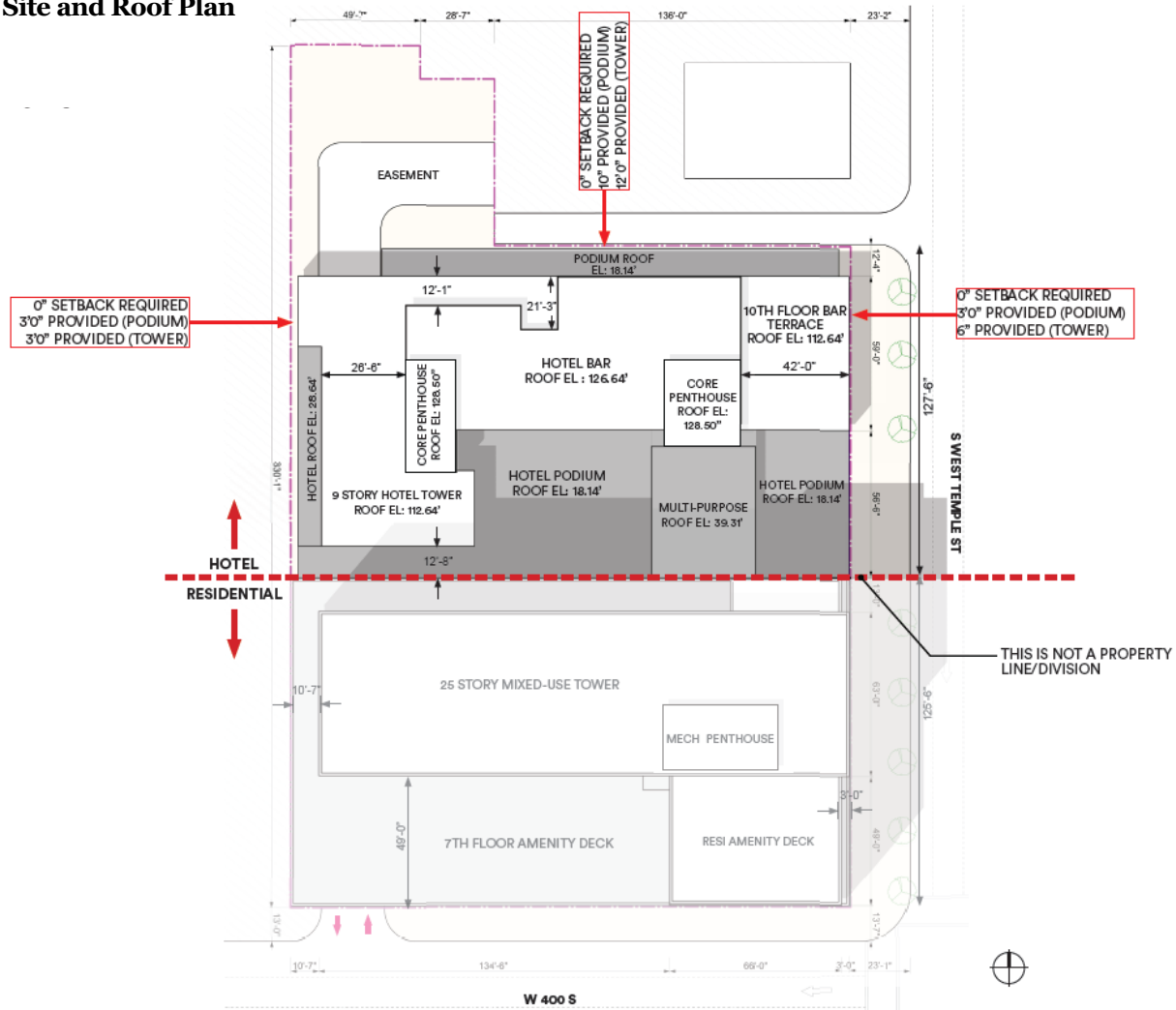
Parking: 123 stalls

Review Process & Standards: Design Review, D-1 zoning standards, and general zoning standards.

The project is in the D-1 zone on a lot that is approximately 1.38 acre lot that is currently vacant. A 28-story multi-family residential building has been proposed on the same property and will be located adjacent to the intersection (to the south). There is a 2-story commercial building adjacent to the north. The federal courthouse is across West Temple to the east. A 3-story hotel is located to the rear of the property (west). The site does not include, and is not adjacent to, any future midblock walkways identified in the Downtown Master Plan.

Parking for the development will be shared with, and located within, the residential building to the south. The parking garage will be accessible from a driveway off 400 South. The driveway will pass through a cantilevered portion of both buildings and will also serve as a service access.

Site and Roof Plan



The building maximizes the site by being built within a foot of the property lines. It features rich materials, including the extensive use of brick, with deeply inset windows that create rhythmic articulation. The building includes varying rooflines to break up the visual height of the building and to create a transition between neighboring developments.

The development is intended to add quality architecture and increase the walkability of downtown by providing an attractive building and by adding eyes on the street. The site is less than two blocks from multiple TRAX stops and is within walking distance to the robust amenities of downtown. As is explained further in Attachment D, the project meets all zoning requirements of the D-1 zone.



Building Materials



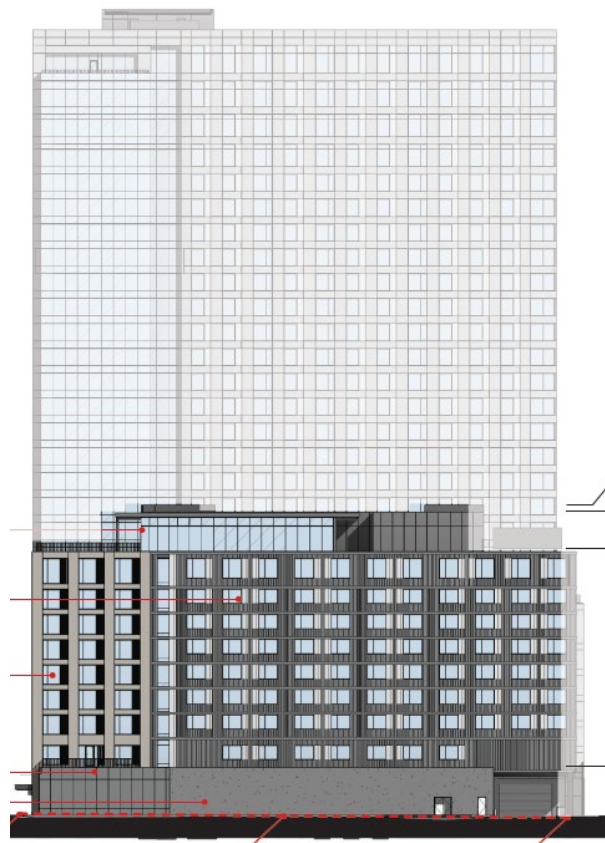
FACE BRICK



**COMPOSITE METAL WALL PANEL,
(SILVER GRAY TONE)**



**METAL WALL PANEL WITH
FORMED PROFILE**



North Elevation

APPROVAL PROCESS AND COMMISSION AUTHORITY

Per section 21A.59.020.B of the Zoning Ordinance, the Planning Commission may approve additional building height as part of a Design Review. The Planning Commission may also approve a project with conditions or modifications necessary or appropriate to comply with the standards for a Design Review.

The Planning Commission may deny an application for Design Review if it finds that the proposal does not meet the intent of the base zoning district (D-1), does not meet the purpose of the applicable design standards or the applicable Design Review objectives.

KEY CONSIDERATIONS

The key considerations listed below were identified through the analysis of the project:

1. How the proposal helps implement city goals and policies identified in adopted plans
2. Mitigation of the additional height due to building design elements

Consideration 1: How the proposal helps implements city goals and policies identified in adopted plans

Plan Salt Lake:

Growth:

- Locate new development in areas with existing infrastructure and amenities, such as transit and transportation corridors
- Promote infill and redevelopment of underutilized land

Commentary: The proposed site is within the heart of the downtown and includes robust infrastructure and amenities. The property is currently vacant. The proposed hotel and restaurant would share the site with a 28-story residential building that will be built to the south.

Transportation and Mobility:

- Reduce automobile dependency and single occupancy vehicle trips
- Encourage transit-oriented development

Commentary: The project is within two blocks to a TRAX station used by the Red, Green, and Blue Line trains. The area is within walking distance to multiple parks, employment opportunities, shopping, recreation, and many other services.

Air Quality:

- Reduce greenhouse gas emissions

Commentary: The site is accessible and convenient by many alternative means of transportation including TRAX, bus, scooter, walking, and ride share.

Beautiful City:

- Reinforce downtown as the visually dominant center of the City through the use of design standards and guidelines
- Support and encourage architecture, development, and infrastructure, that:
 - Is people-focused
 - Responds to its surrounding context and enhances the public realm
 - Reflects our diverse cultural, ethnic, and religious heritage
 - Is sustainable, using high quality materials and building standards

Commentary: Because the property is requesting additional building height, it is subject to the standards of Design Review. Those standards are more robust and help create a higher-quality project that is more pedestrian focused than what would otherwise be allowed by-right in the D-1 zone.

Downtown Master Plan:

Land Use Designation:

Commentary: The Downtown Master Plan identifies this property as being in the “high-rise core” of the downtown. As such, it is appropriate for the property to maximize building height that is compatible with neighboring or potential development.

Create a Downtown that is Vibrant and Active:

Commentary: The proposed hotel would increase the population of downtown. It would contribute to 24/7 activity within the Central Business District. The proposed restaurant and rooftop terraces would also add vibrancy to the downtown.

Create a downtown that is connected:

Commentary: The development will encourage increased ridership of public transportation as it is within 2 blocks of a TRAX station. Visitors would be able to ride TRAX from the airport to the hotel.

Create a Downtown that is Walkable:

Commentary: This project will contribute to the walkability of the downtown by redeveloping a vacant lot with a 10-story hotel and restaurant. The uses will create a destination for visitors and residents alike. The architecture of the building includes elements intended to emphasize the pedestrian.

Create a Downtown that is Welcoming and Safe:

Commentary: The front façade of the building includes large amounts of glass that look into active space. The windows will create visual interest during the day and cast lighting onto the sidewalk at night. The outdoor courtyards will contribute to eyes-on-the-street. The restaurant and hotel will contribute to the desired 24/7 nature of downtown.

Create a Downtown that is Beautiful:

Commentary: The proposed building incorporates architectural elements and uses high-quality building materials such as large amounts of brick and glass. The buildings design relates well to surrounding development. The massing creates an appropriate transition between neighboring buildings.

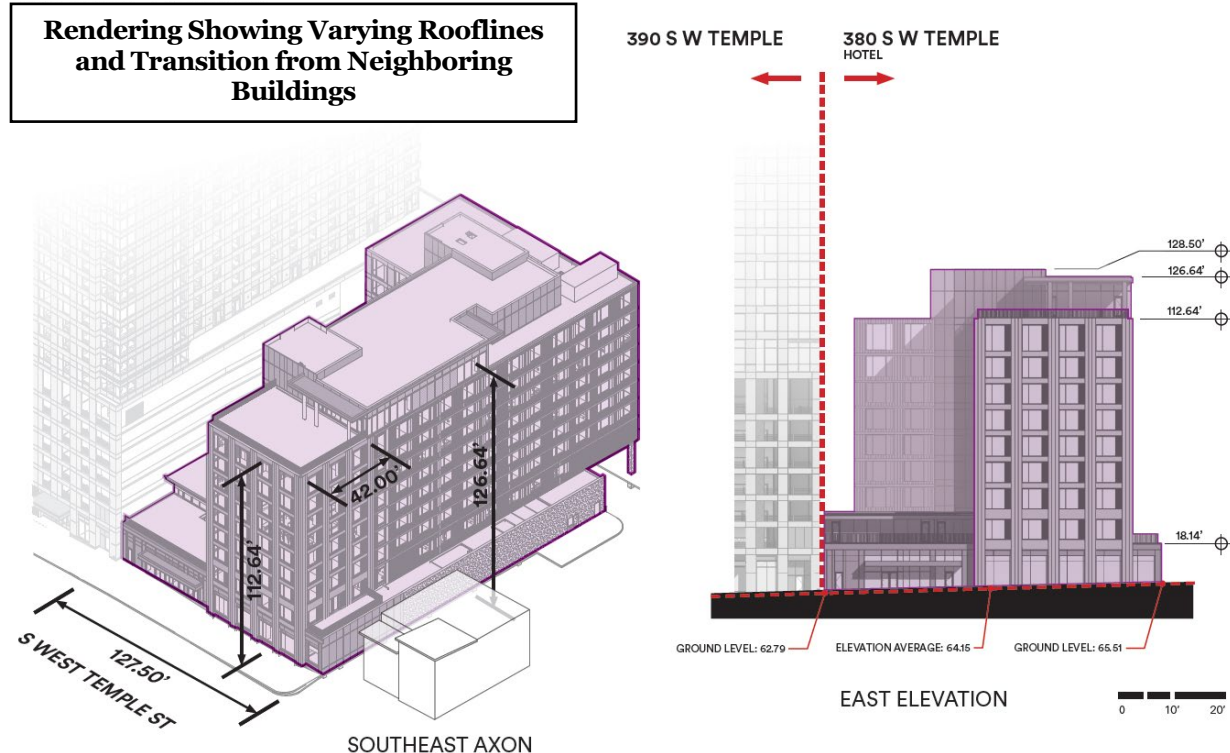
Consideration 2: Mitigation of the additional height due to building design elements

The request for additional height (29') requires compliance with the standards for Design Review. This ensures a better-quality project than could otherwise be permitted. The standards are intended to help the building better relate to surrounding development and to ensure a more pedestrian scale than might be achieved using the base standards alone.

The project seeks to relate to future and existing surrounding development by creating an appropriate transition from the 28-story residential building to the south and the 2-story building to the north. The building features varying rooflines due to the proposed outdoor terraces on a portion of the 2nd and 10th levels. The varying rooflines also reduce the visual height of the building from the street.

The façade is designed to be relatable to the proposed adjacent residential building as they both will feature deeply inset windows, vertical pilasters, and flat rooflines. The window pattern establishes a similar rhythm between the two buildings. A full breakdown of the standards for Design Review has been provided in Attachment E of this report.

Rendering Showing Varying Rooflines and Transition from Neighboring Buildings



STAFF RECOMMENDATION

In general, Staff is of the opinion that the proposal meets the intent of the D-1 zoning district, the objectives and standards of Design Review, and is compatible with the various master plans of the city. The additional height has been appropriately mitigated with the proposed design elements intended to enhance the pedestrian experience. Staff recommends approval of the proposed project.

NEXT STEPS

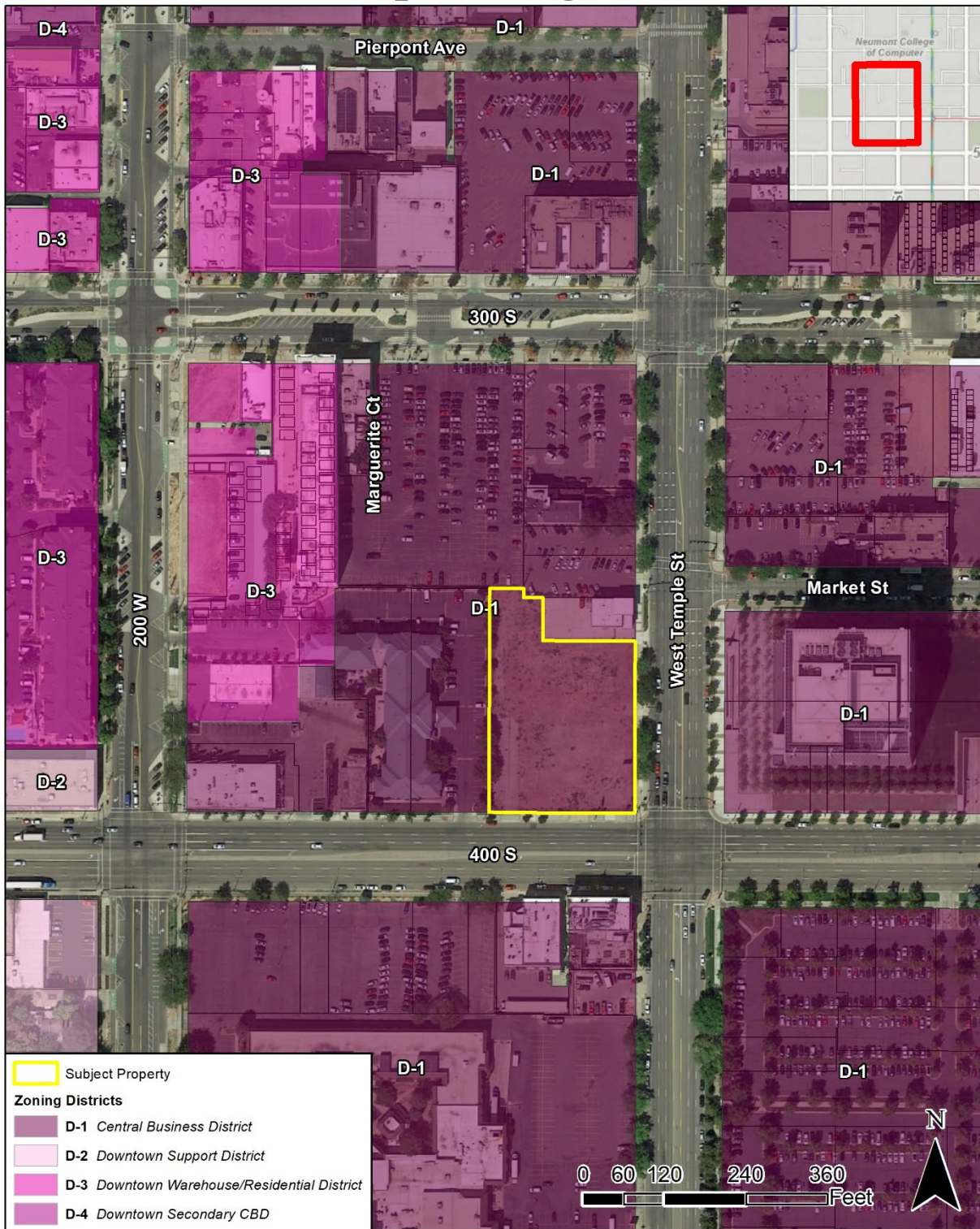
Approval of the Request

If the requests are approved, the applicant will need to comply with the conditions of approval, including any of the conditions required by other City departments and the Planning Commission. The applicant would be able to submit plans for building permits once all conditions of approval are met. Modifications beyond those identified as minor modifications in the ordinance would require additional review and approval from the Planning Commission.

Denial of the Design Review Request

If the Design Review request is denied, the applicant will still be able to develop the property by-right, but at a smaller scale. Specifically, the building would need to be no taller than 100' in height in a midblock area of the D-1 zone. The applicant would be able to submit plans for building permits subject to meeting all applicable zoning requirements and requirements of other divisions.

ATTACHMENT A: Vicinity Map



Salt Lake City Planning Division 5/16/2022

ATTACHMENT B: Plan Set



SOLOMON CORDWELL BUENZ

370 W TEMPLE - HOTEL

DESIGN REVIEW APPLICATION

08 - 04 - 2022

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PROJECT DESCRIPTION

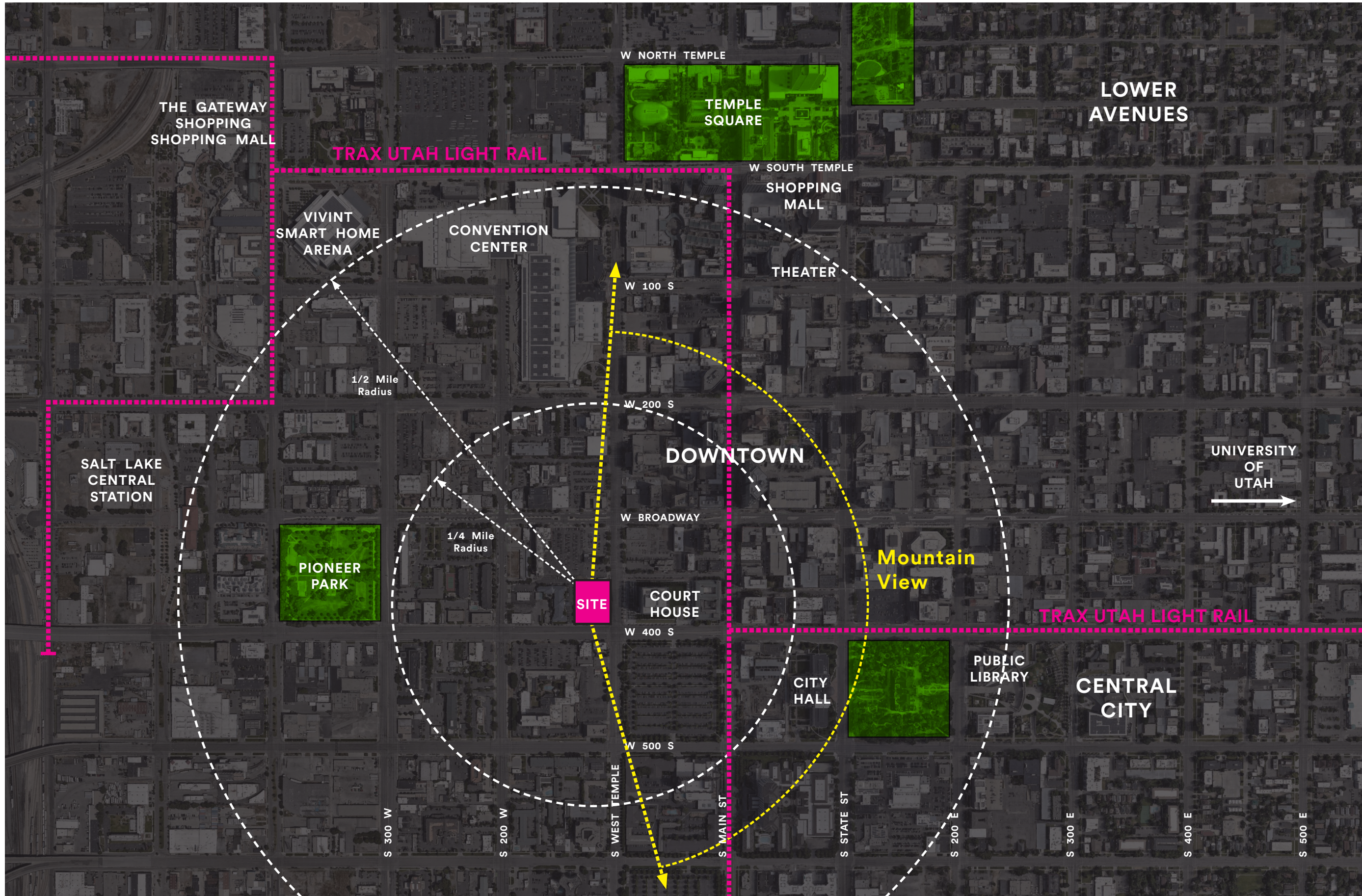


NARRATIVE

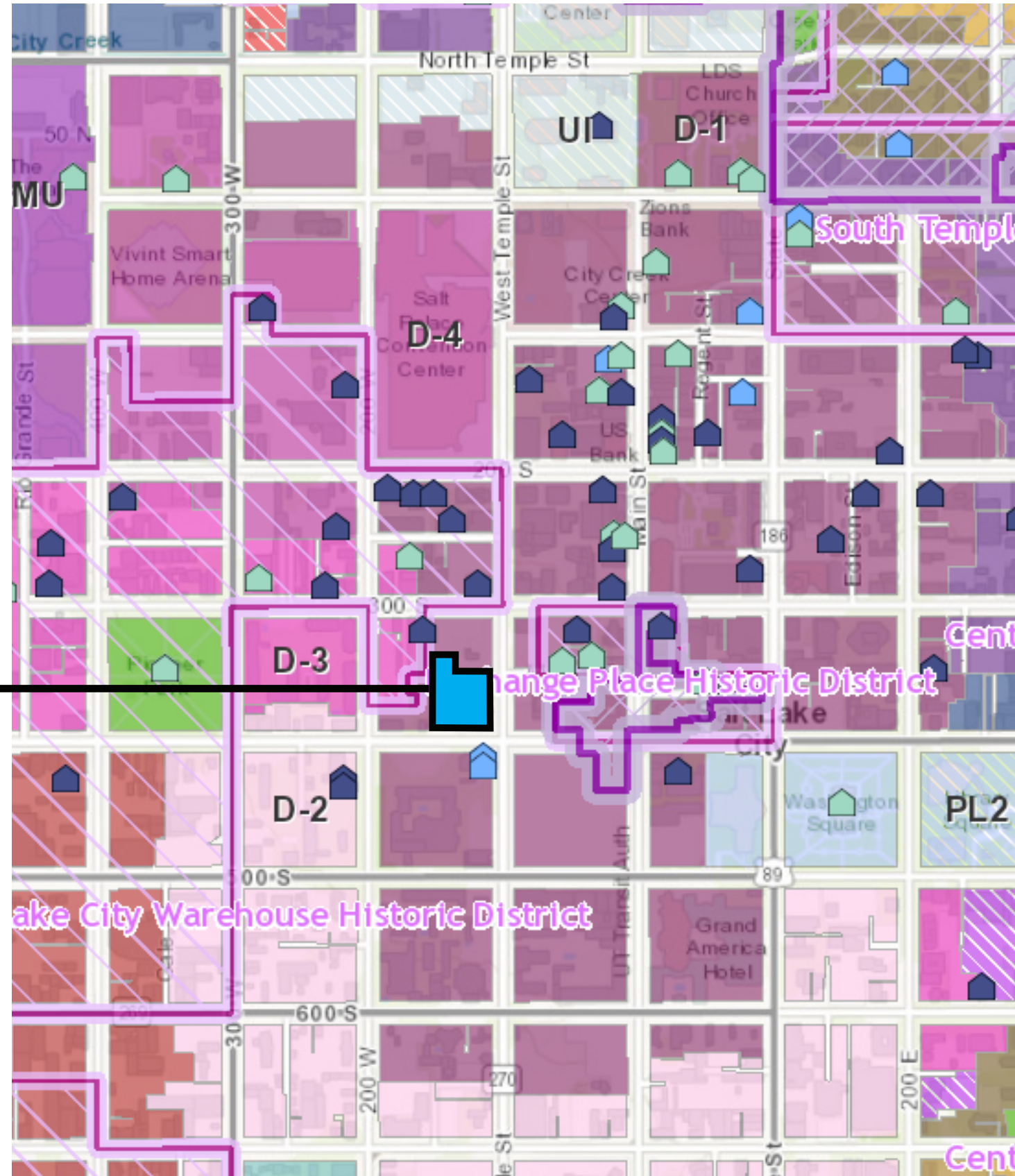
Located in Downtown Salt Lake City, Utah, 370 W Temple is a 148,150 SF 10 story hotel with 209 keys, ground floor restaurant and indoor/outdoor amenity spaces throughout. 370 W Temple draws inspiration from both the surrounding urban context as well as the natural landscape that makes Salt Lake City unique. Its brick layered street front facade is designed to respect the historic street presence through its contextual materiality and rhythmic articulation. Views of the surrounding landscape are maximized with a hotel amenity deck on the 10th floor taking advantage of mountain views to the North and East.

CONTEXT AND CHARACTER

CONTEXT MAP



ZONING ANALYSIS



SUBJECT PROPERTY
D-1

ZONING NARRATIVE:

The following summarizes our understanding of the Zoning Regulations as they apply to the property at 380 S. West Temple in Salt Lake City, Utah.

The site is located Mid Block north of the corner of S. West Temple and W. 400 S in a D-1 Central Business Zoning District. In general, the following outlines the regulations of the D-1 District with the added regulations pertaining to corner lots, such as the Subject Property.

There is no minimum lot size, no minimum yards and no interior or rear yard requirements. No yard shall exceed 5 feet except as authorized by a design review process.

Within block corner areas, parking lots and structures shall be located behind principal buildings. Within mid-block areas, parking lots and structures shall be located behind principal buildings or at least 75 feet from the front or corner lot lines. Parking structures are allowed to be located adjacent to the front or corner lot lines only if they provide adequately sized retail food/service establishments on the Ground Floor adjacent to the public sidewalk. As part of The City's plan for the downtown area, it is intended that Mid-Block Walkways be provided to facilitate pedestrian movement within the area. Additionally, there are special requirements for block corners. Corner lots are to have a minimum Lot Area of 10,000 square feet and have a minimum Lot Width of 100 feet. No corner building shall be less than 100 feet or more than 375 feet in height. The 100 foot high portion of the building is to be located not farther than 5 feet from the lot line along the front and corner lot lines.

There are special controls over Mid Block areas as well. This project falls into the Mid Block zone on West Temple Street. No building shall be more than one hundred feet (100') in height; provided, that taller buildings may be authorized through the design review process, subject to the requirements of chapter 21A.59 of this title.

The Ground Floor building elevation of all new buildings facing the street shall have a minimum amount of glass, or within a specified percentage range, between three feet and eight feet above grade per Section 21A.37.060 and Table 21A.37.060 of the Zoning Regulations. All Ground Floor glass shall allow unhampered and unobstructed visibility into the building for a depth of at least five feet, excluding any glass etching and window signs when installed and permitted per Chapter 21A.46,

Above the First Floor of any multi-story building, the surface area of the façade of each floor facing the street must contain a minimum amount of glass per Section 21A.37.060 and Table 21A.37.060 of the Zoning Regulations.

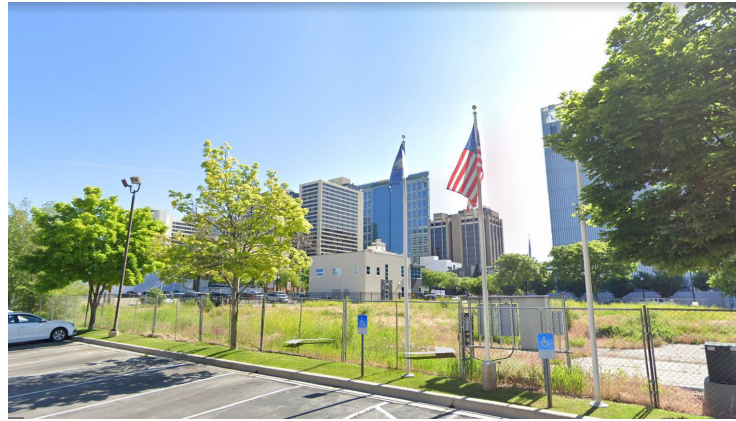
Off Street Parking requirements, Per 21A.44.030.H.2. Parking in excess of the maximum allowed may be granted as a special exception subject to the special exception standards in chapter 21A.52 of this title. SALT LAKE CITY ORDINANCE No. 64 SECTION 38. Amending the text of Salt Lake City Code Subsection 21A.44.030.H.2 (Table of District Specific Maximum Parking Allowance) qualifying provision 2 as follows: 2. The maximum parking requirement does not apply to parking structures or garages that serve multiple lots, parcels, uses, or structures that provide off site parking. Off Street Loading requirements, outlined in Table 21A.44.080, require 1 short berth for 50,000 to 100,000 square feet and 1 additional short berth for each additional 100,000 square feet. Retail/Commercial use requires 1 short berth between 25,000 to 40,000 square feet, 1 long berth between 40,000 to 100,000 square feet and 1 additional long berth of each additional 100,000 square feet. Parking for this project is located in the adjacent building on the same parcel. Loading is located in the west drive way along the western property line.



STREET MAP / VIEWS



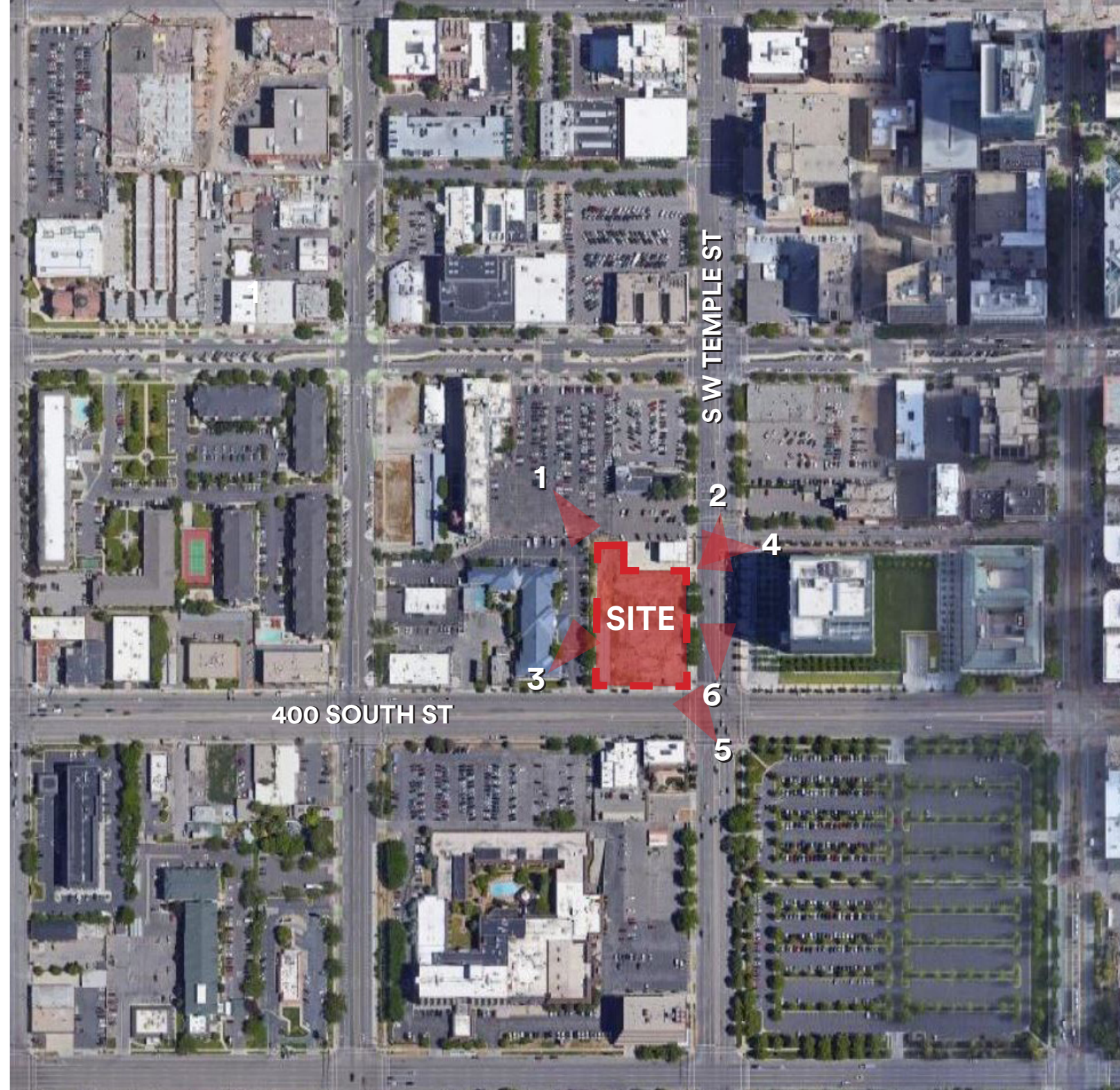
STREET VIEW 1



STREET VIEW 3



STREET VIEW 5



STREET VIEW 2



STREET VIEW 4



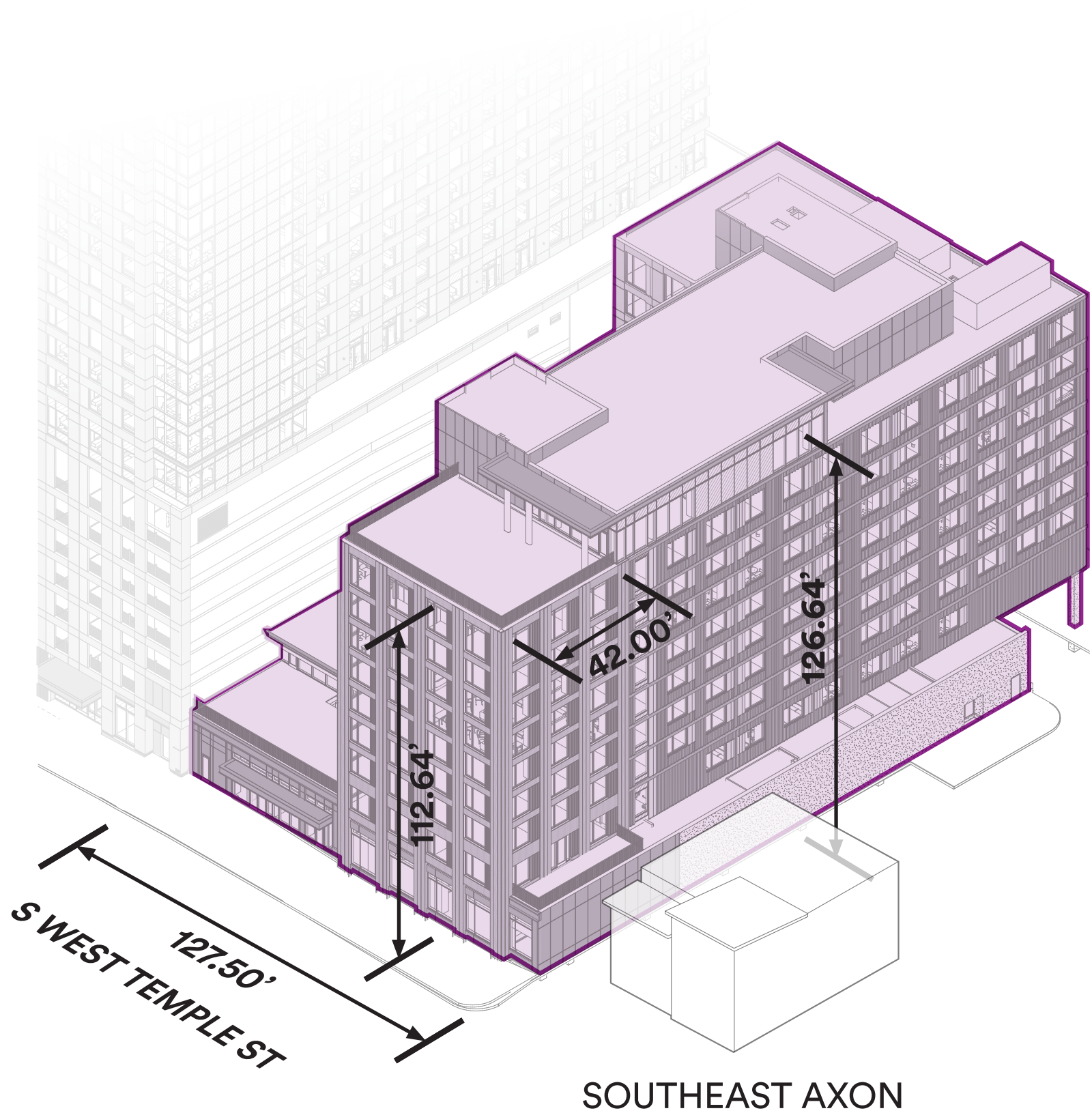
STREET VIEW 6



BUILDING MASSING

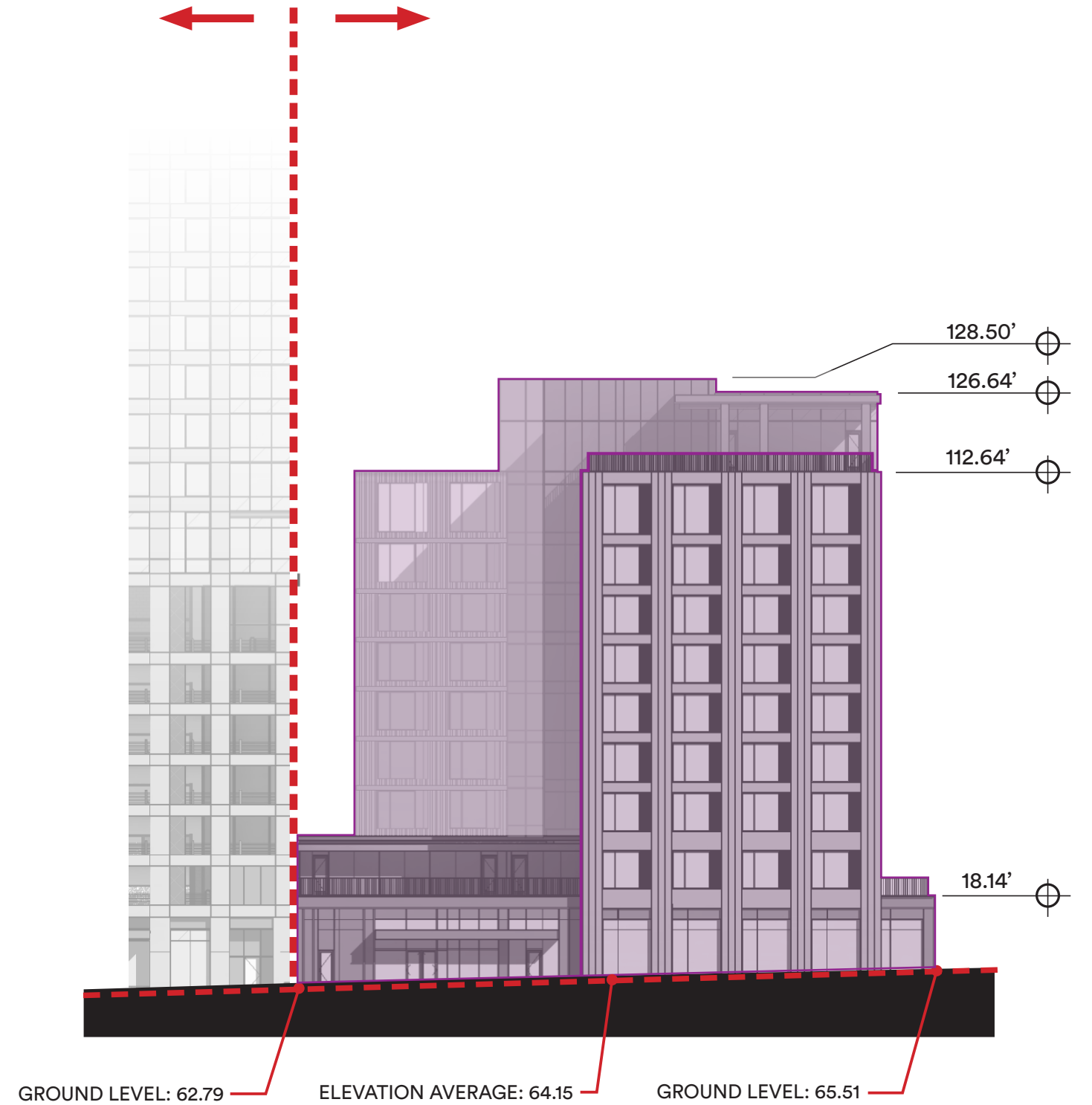
Note Regarding elevation datums:

Per 21A.32.040 Definitions: The vertical distance measured from the average elevation of the finished lot grade at each face of the building, to the highest point of the coping of a flat roof, the deck line of a mansard roof, or the average height of the gable on a pitched, gambrel, hip or shed roof.



390 S W TEMPLE

380 S W TEMPLE HOTEL



EAST ELEVATION

SITE PLAN AND MASSING

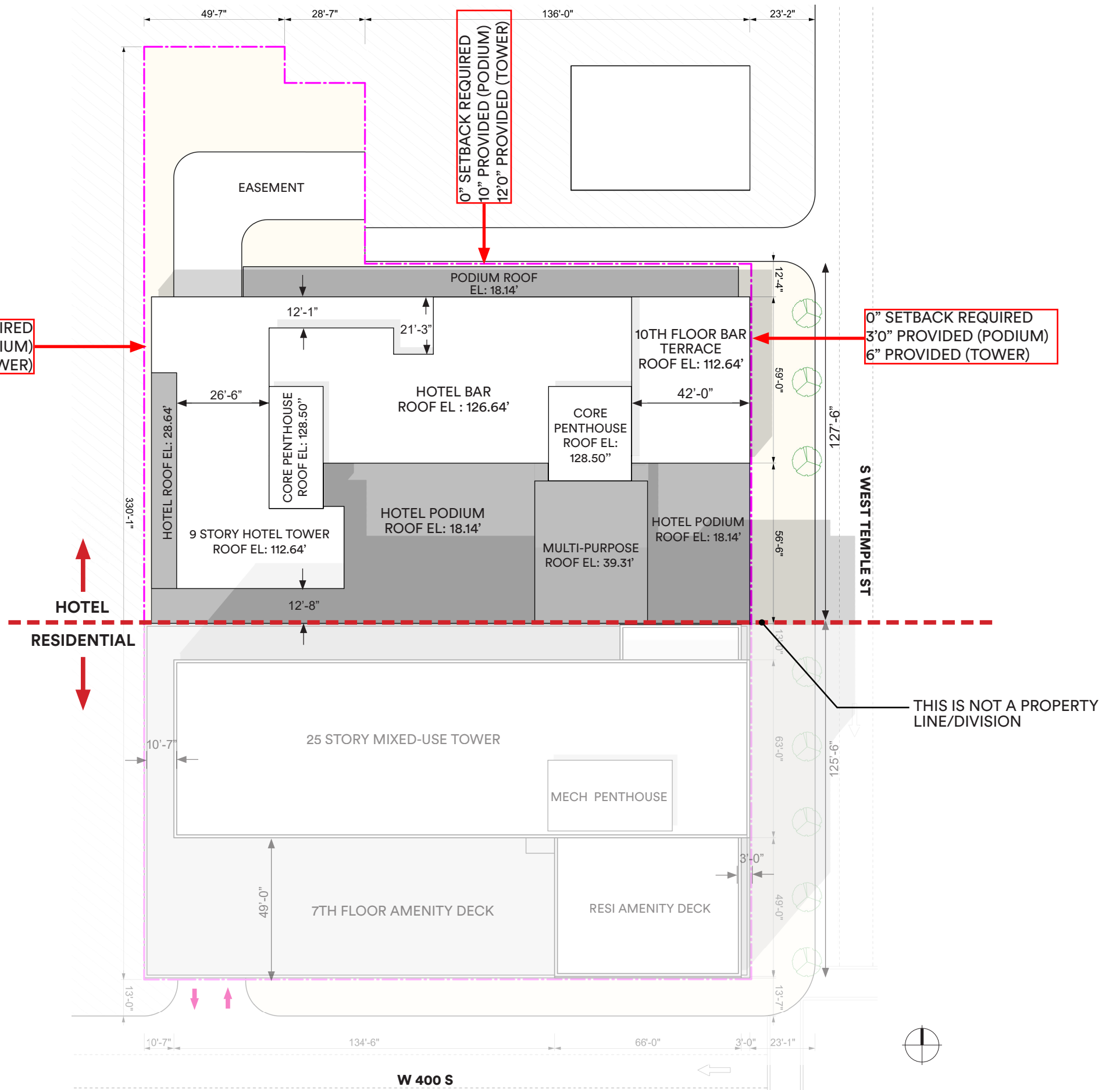
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0" SETBACK REQUIRED
3'0" PROVIDED (PODIUM)
3'0" PROVIDED (TOWER)

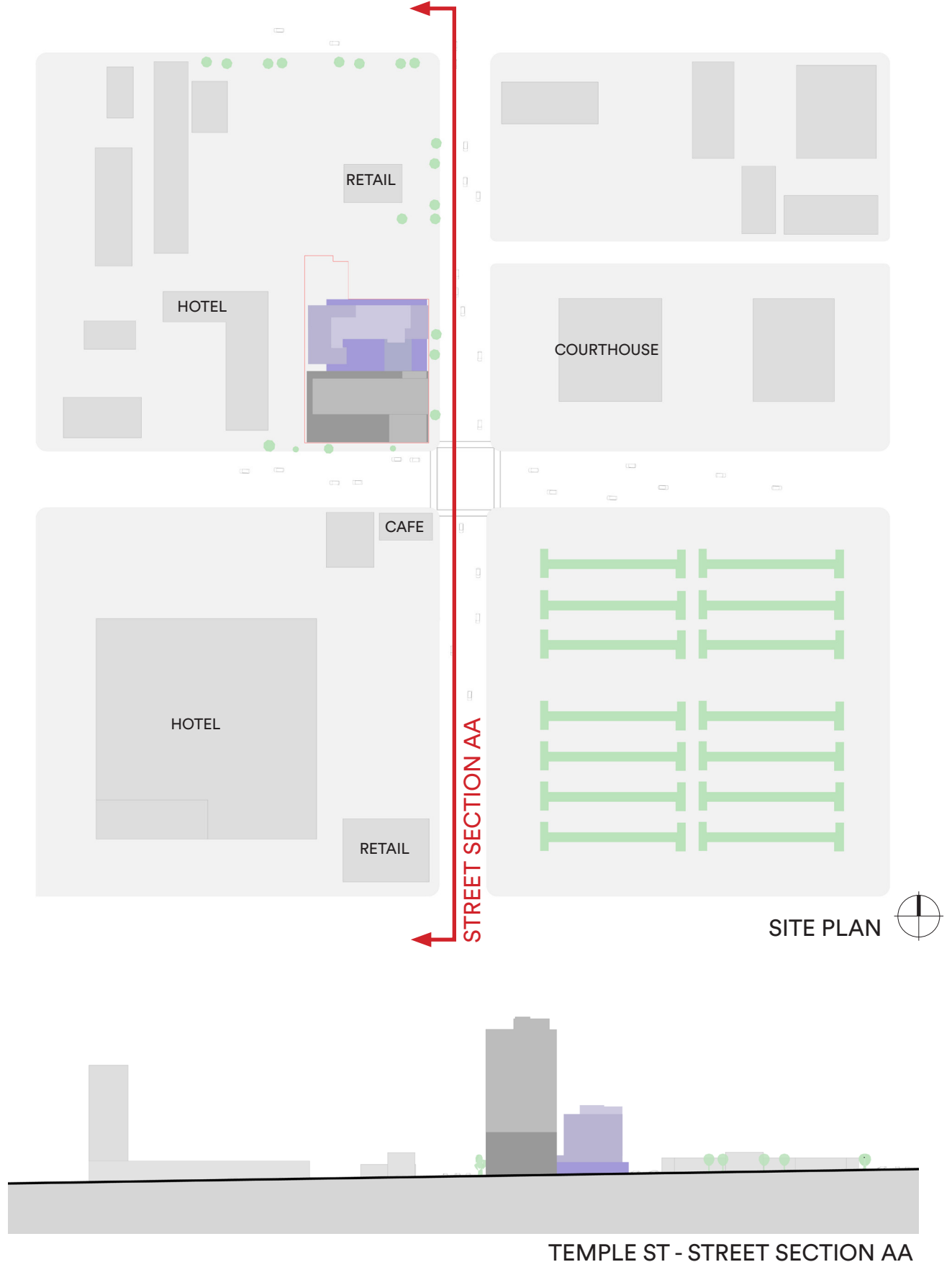
0" SETBACK REQUIRED (PODIUM)
10" PROVIDED (PODIUM)
12'0" PROVIDED (TOWER)

0" SETBACK REQUIRED
3'0" PROVIDED (PODIUM)
6" PROVIDED (TOWER)



PROJECT DESIGN

PROJECT DESIGN CONCEPT



DESIGN CONCEPT STATEMENT:

Located in Downtown Salt Lake City, Utah, 370 W Temple is a 148,150 SF 10 story hotel with 209 keys, ground floor restaurant and indoor/outdoor amenity spaces throughout. 370 W Temple draws inspiration from both the surrounding urban context as well as the natural landscape that makes Salt Lake City unique. Its brick layered street front facade is designed to respect the historic street presence through its contextual materiality and rhythmic articulation. Views of the surrounding landscape are maximized with a hotel amenity deck on the 10th floor taking advantage of mountain views to the North.

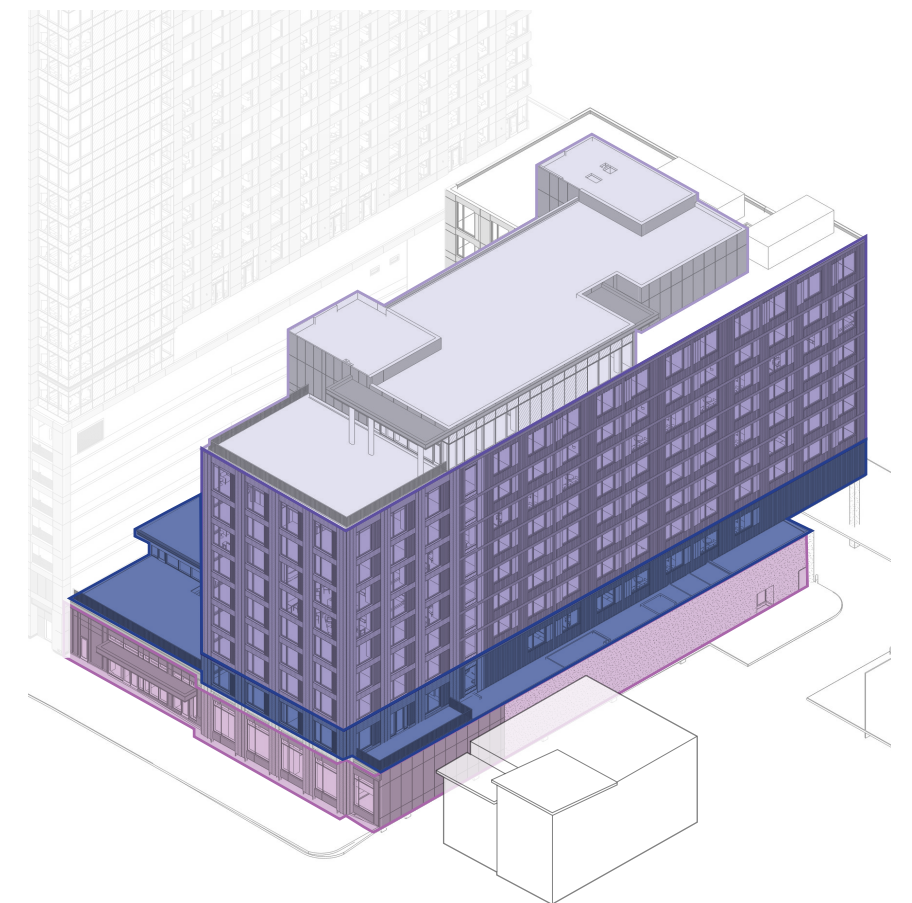


PROJECT DATA



HOTEL

OVERALL GROSS AREA: 148,150 SF
KEY COUNT: 209



ELEVATIONS

Note Regarding elevation datums:

Per 21A.32.040 Definitions: The vertical distance measured from the average elevation of the finished lot grade at each face of the building, to the highest point of the coping of a flat roof, the deck line of a mansard roof, or the average height of the gable on a pitched, gambrel, hip or shed roof.

390 S W TEMPLE

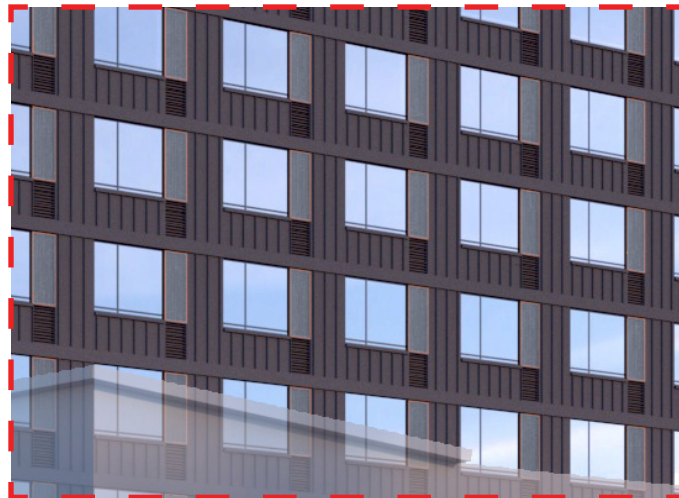
380 S W TEMPLE HOTEL



EXTERIOR WALL A



FACE BRICK



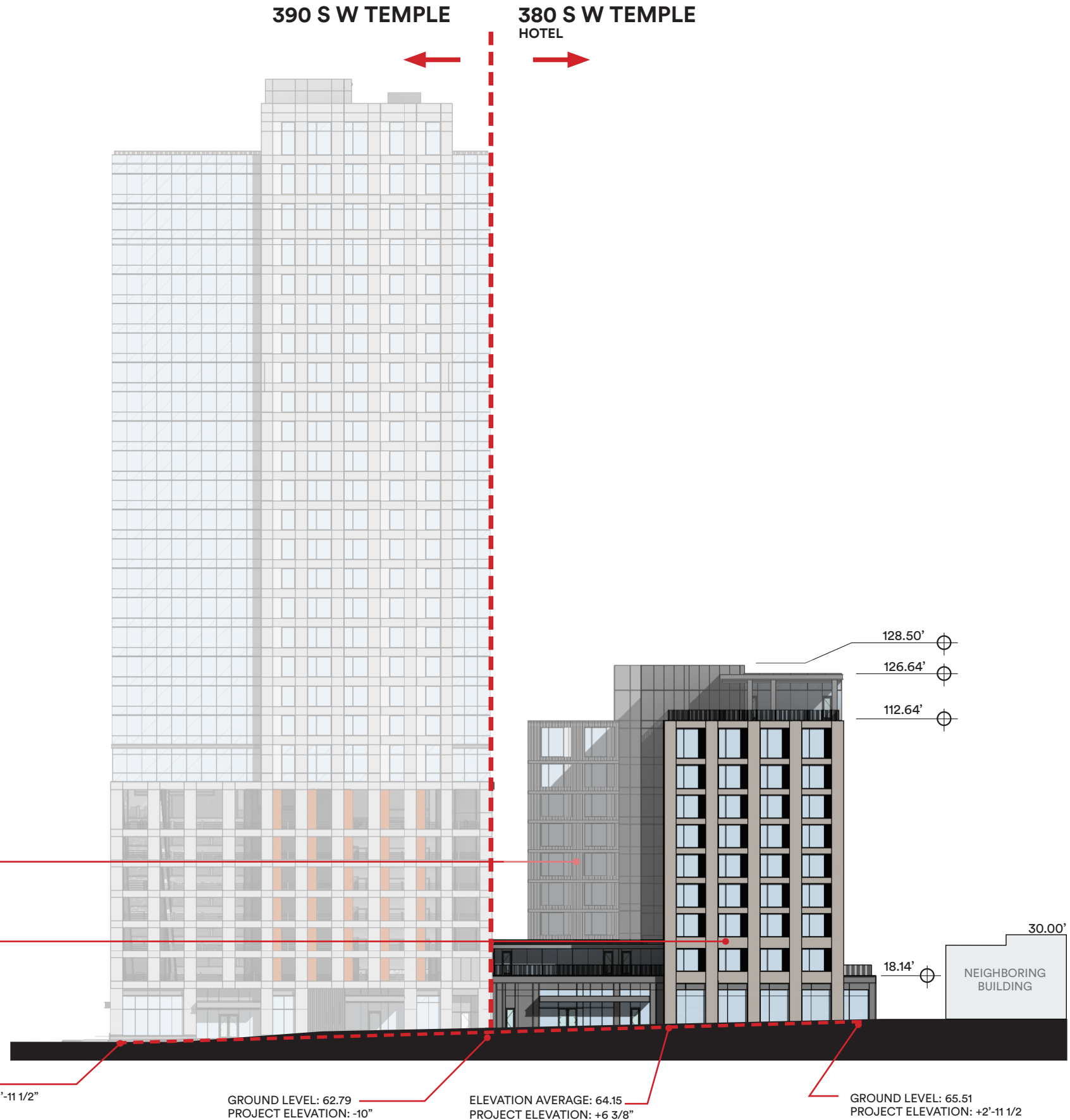
EXTERIOR WALL B



METAL WALL PANEL WITH FORMED PROFILE

EXTERIOR WALL B

EXTERIOR WALL A



TEMPLE ST - STREET SECTION AA

EAST ELEVATION



ELEVATIONS

Note Regarding elevation datums:

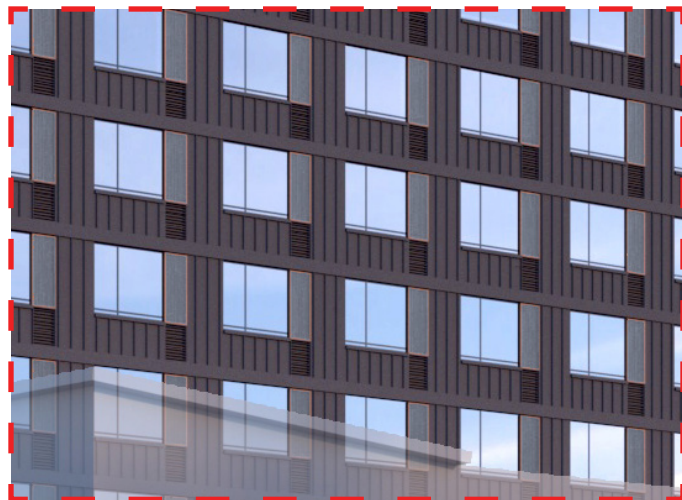
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EXTERIOR WALL A



FACE BRICK



EXTERIOR WALL B



METAL WALL PANEL WITH FORMED PROFILE

ADJACENT RESIDENTIAL BUILDING

EXTERIOR WALL C

EXTERIOR WALL A

EXTERIOR WALL B

EXTERIOR WALL B

GROUND LEVEL: 58.47
PROJECT ELEVATION: -3'-10"

SOUTH ELEVATION AVERAGE:
GROUND LEVEL: 59.99
PROJECT ELEVATION: -2'-10 1/2"

GROUND LEVEL: 65.51
PROJECT ELEVATION: -1'-11 1/2"

132.68'
130.80'
116.80'

22.30'



SOUTH ELEVATION



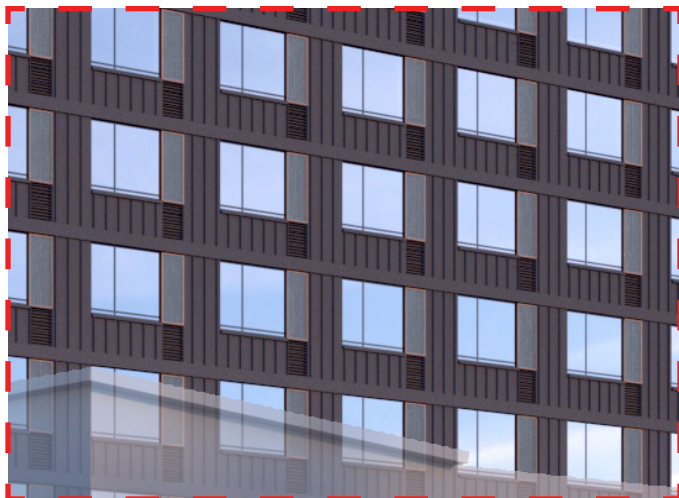
ELEVATIONS



EXTERIOR WALL A



FACE BRICK



EXTERIOR WALL B



METAL WALL PANEL WITH FORMED PROFILE



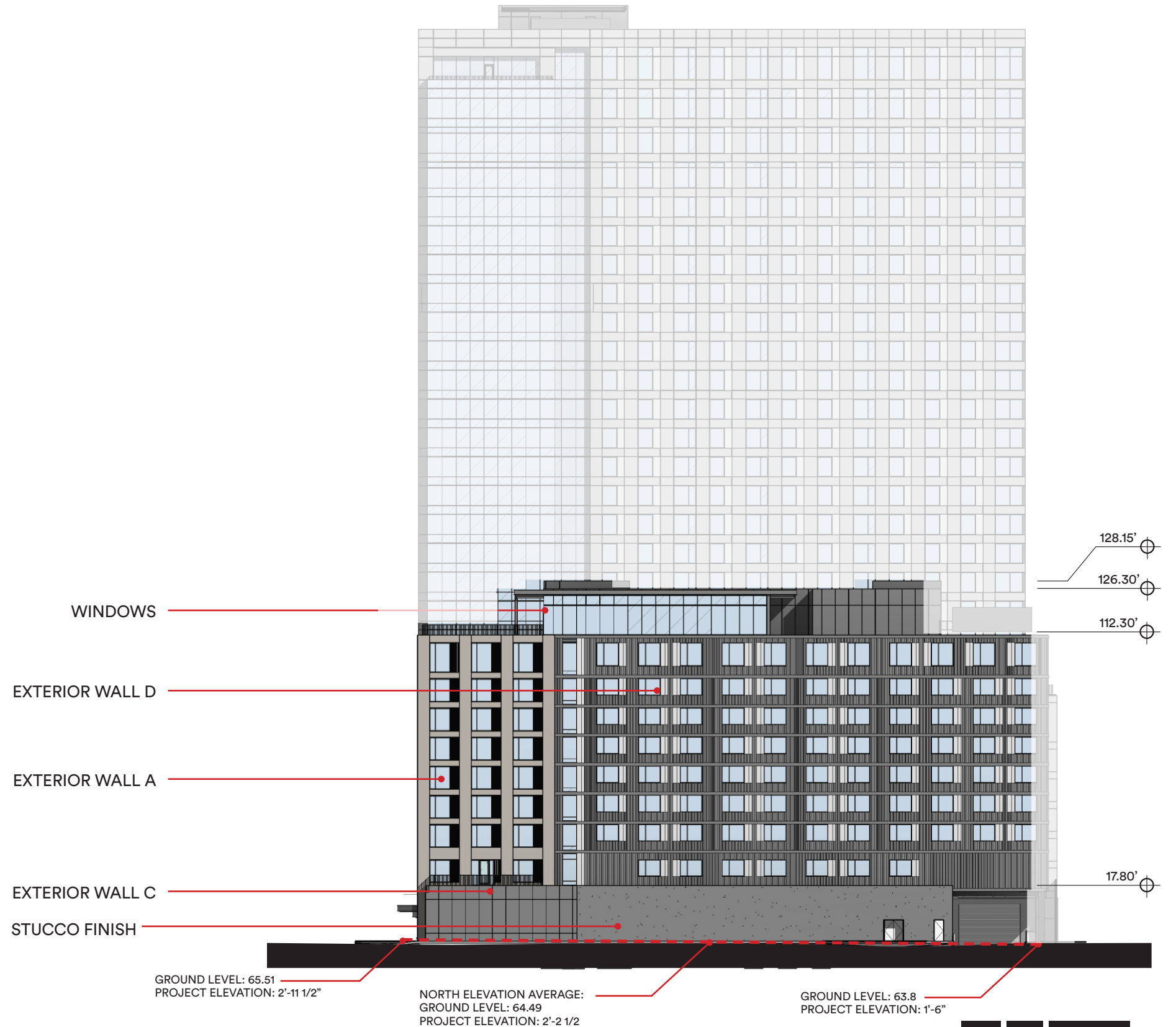
EXTERIOR WALL C



COMPOSITE METAL WALL PANEL, (SILVER GRAY TONE)

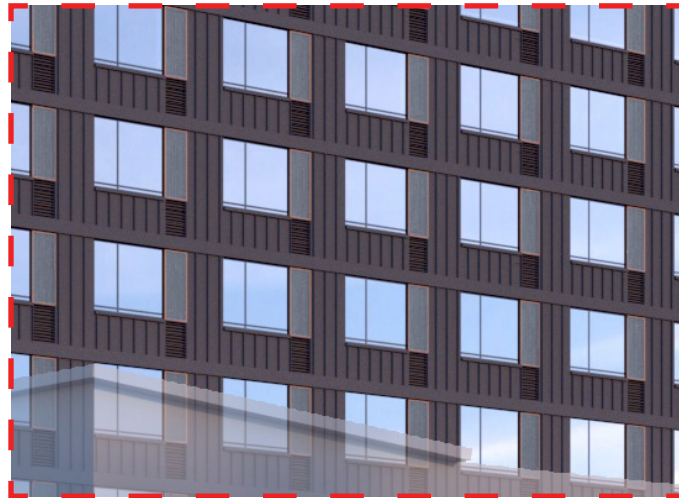
Note Regarding elevation datums:

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NORTH ELEVATION

ELEVATIONS



EXTERIOR WALL B



METAL WALL PANEL WITH FORMED PROFILE



EXTERIOR WALL C



COMPOSITE METAL WALL PANEL, (SILVER GRAY TONE)

380 S W TEMPLE HOTEL

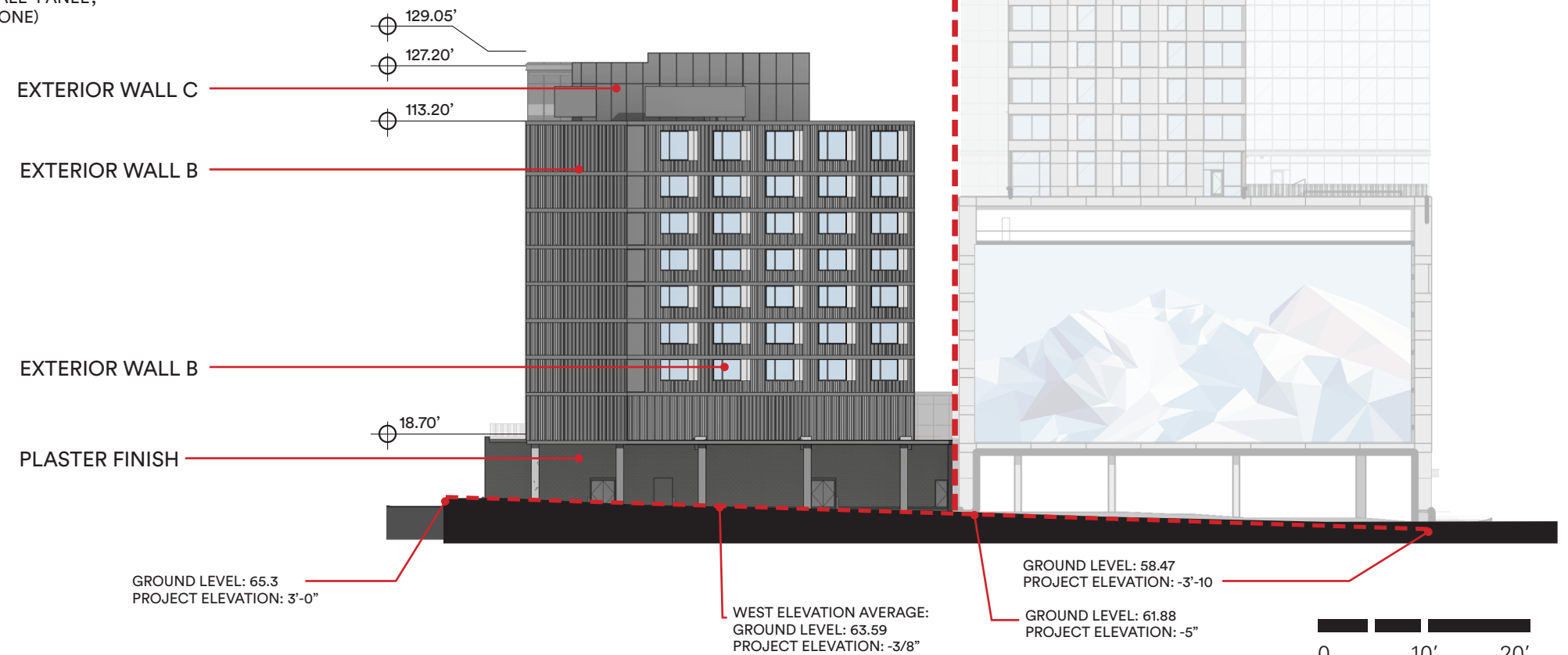


390 S W TEMPLE



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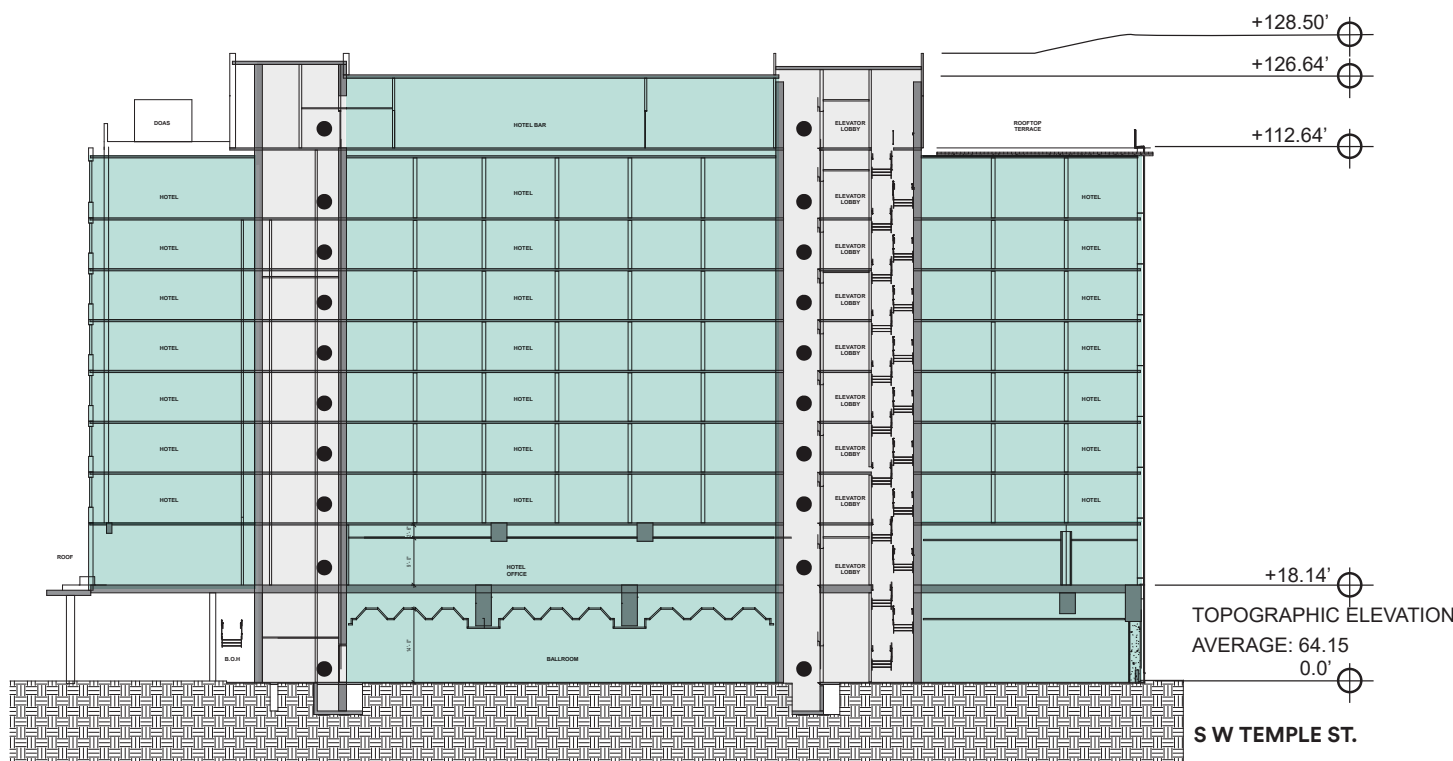
WEST ELEVATION



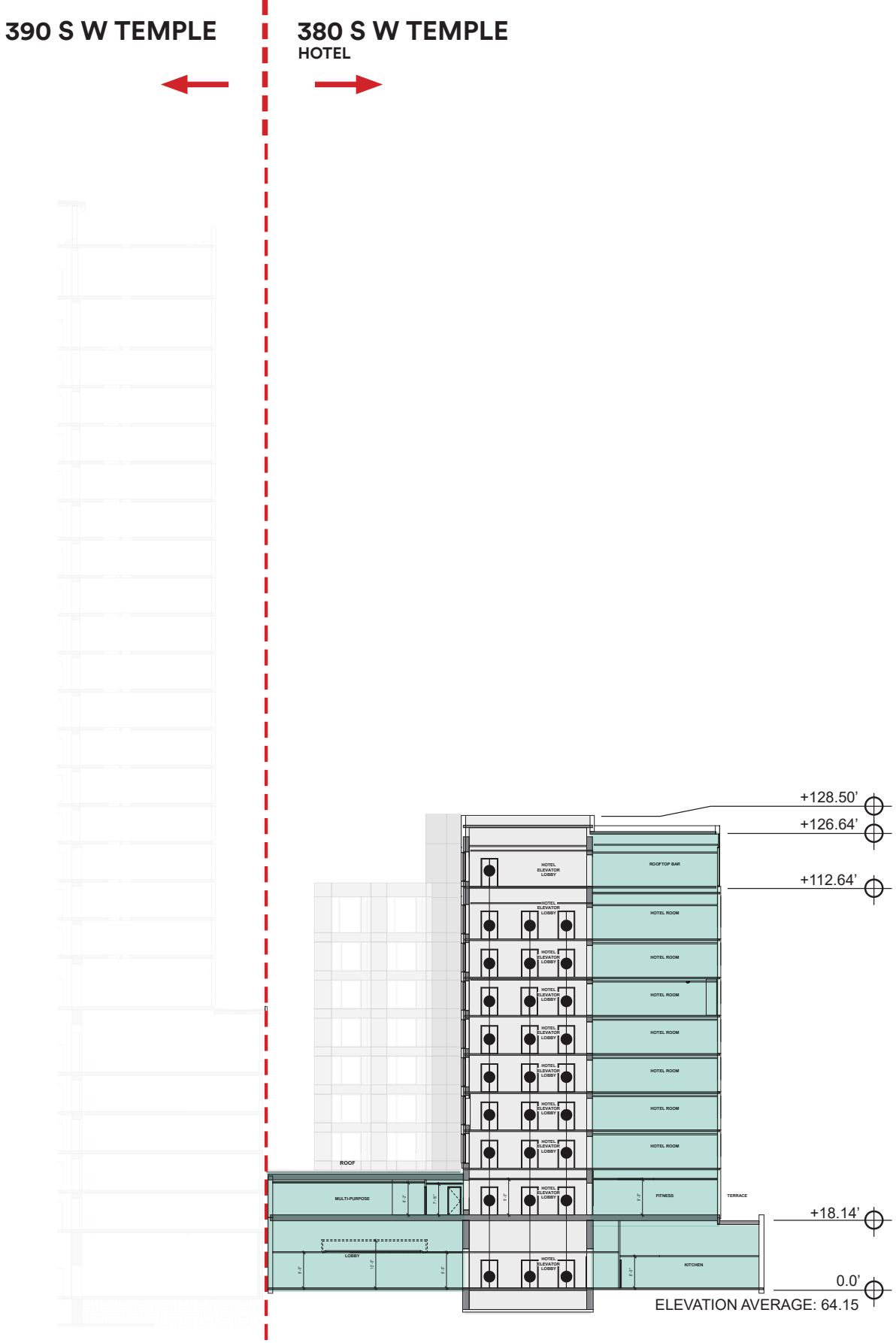
BUILDING SECTIONS

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E-W SECTION



N-S SECTION



STREET FACADE

THE GROUND FLOOR BUILDING ELEVATION OF ALL NEW BUILDINGS FACING THE STREET SHALL HAVE A MINIMUM AMOUNT OF GLASS, OR WITHIN A SPECIFIED PERCENTAGE RANGE, BETWEEN THREE FEET AND EIGHT FEET ABOVE GRADE PER SECTION 21A.37.060 AND TABLE 21A.37.060 OF THE ZONING REGULATIONS. ALL GROUND FLOOR GLASS SHALL ALLOW UNHAMPERED AND UNOBSTRUCTED VISIBILITY INTO THE BUILDING FOR A DEPTH OF A LEAST FIVE FEET, EXCLUDING ANY GLASS ETCHING AND WINDOW SIGNS WHEN INSTALLED AND PERMITTED PER CHAPTER 21A.46, SIGNS.

TEMPLE STREET GLAZING:

THE ZONING TRANSPARENCY CALCULATION REQUIRES A MINIMUM OF 40%. THE GROUND FLOOR GLAZING FACING TEMPLE STREET EQUALS 51%. PER 21A.37.050.

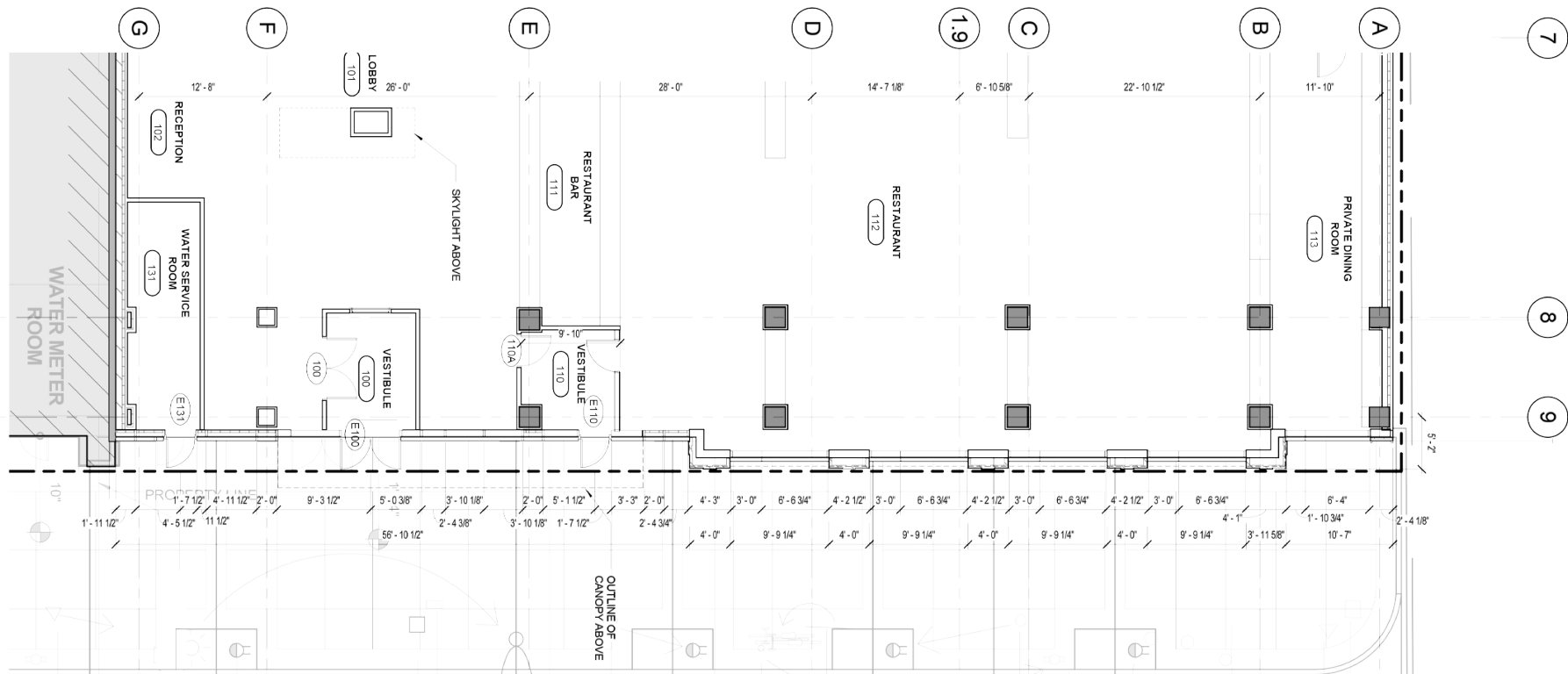
OF THE 2063.8 SF TEMPLE STREET FRONTAGE ALLOWED TO BE USED IN THE TRANSPARENCY CALCULATION, 1062.6 SF IS GLAZING.

REFER TO DIAGRAM TO THE RIGHT. THE HIGHLIGHTED ZONE DENOTES THE TRANSPARENCY AREA USED IN THE CALCULATION, BETWEEN 3 FT AND 8 FT ABOVE GROUND LEVEL.

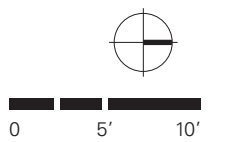
SIGNAGE TO BE PLACED OUTSIDE OF THIS BAND TO MEET TRANSPARENCY REQUIREMENT.



EAST ELEVATION - 380 S W TEMPLE ST.



GROUND FLOOR PLAN



RENDERINGS

NORTHEAST PERSPECTIVE VIEW



EAST ELEVATION VIEW



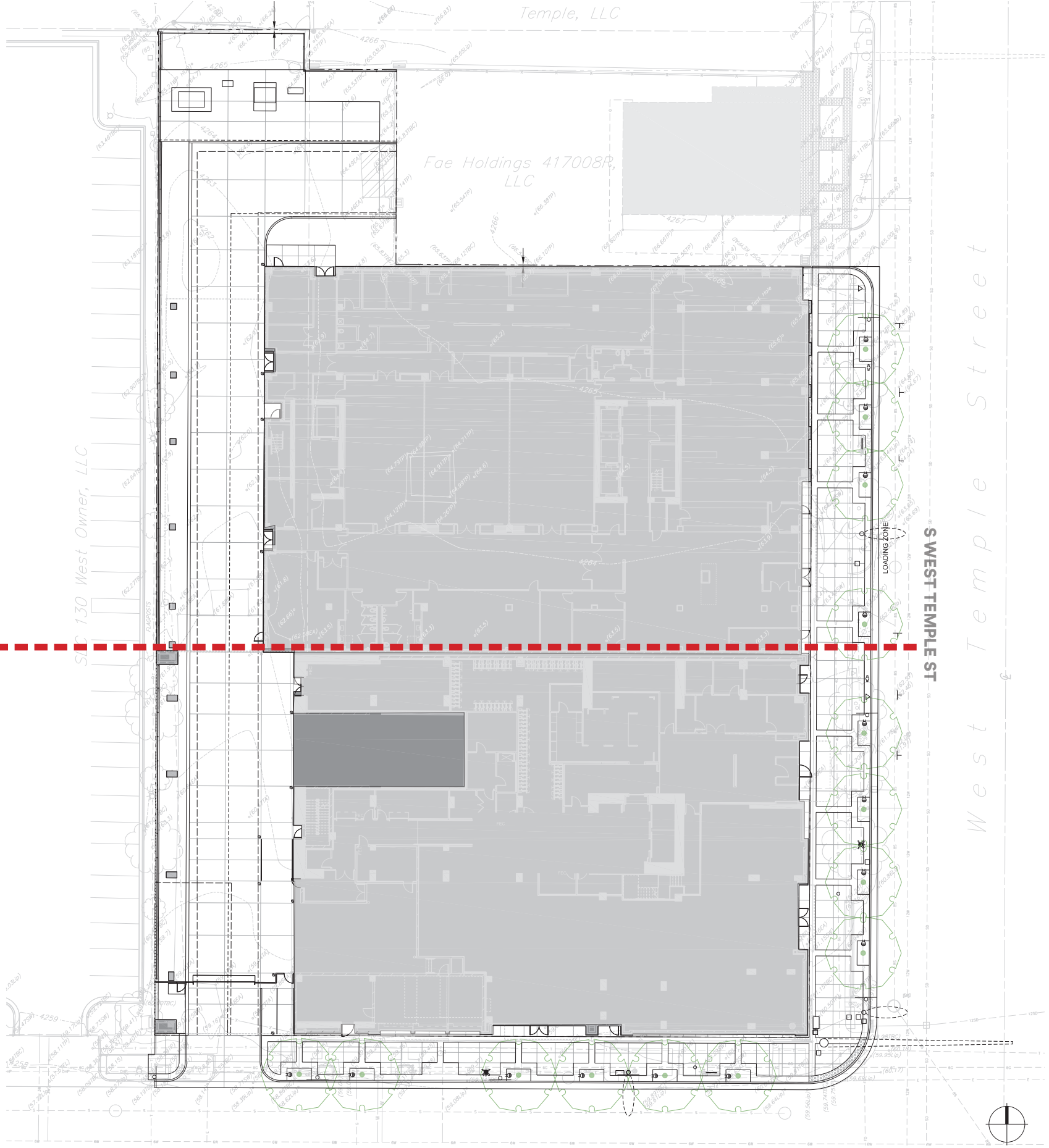
SITE DESIGN

OVERALL LANDSCAPE, LIGHTING AND SIGNAGE DESIGN

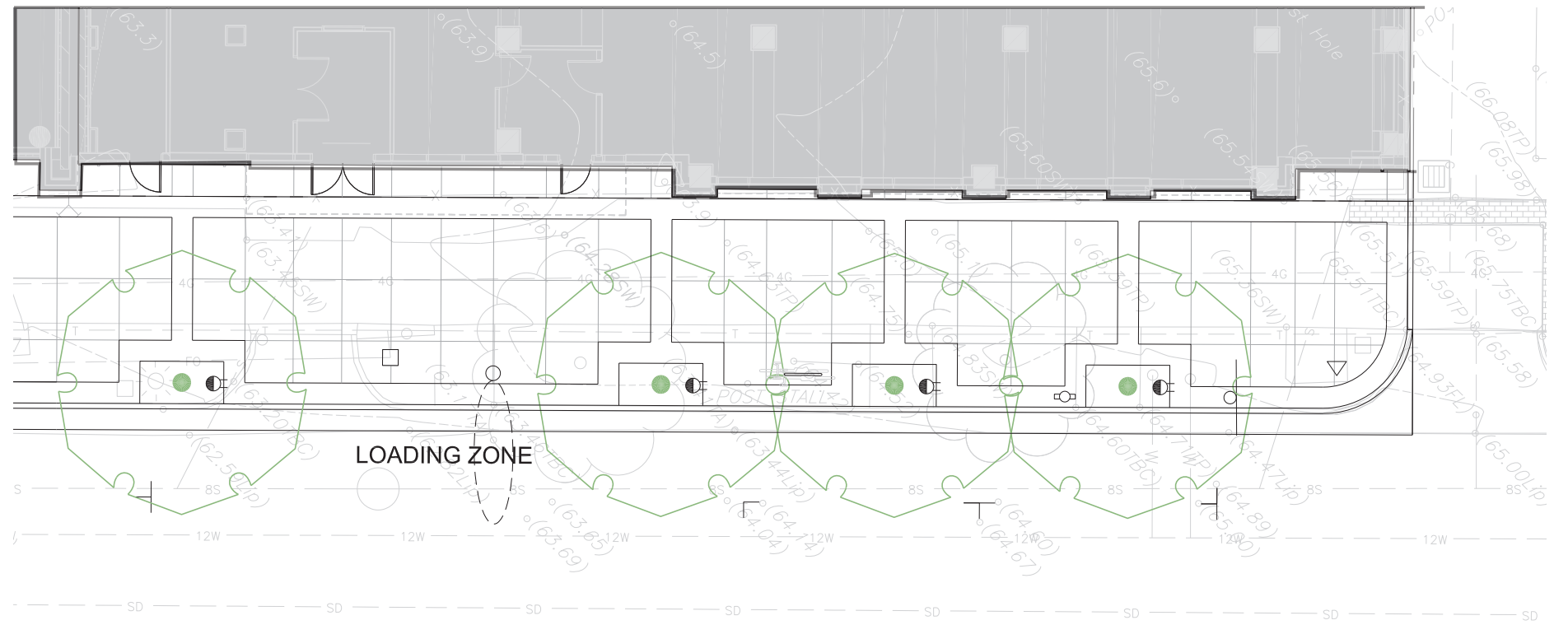
380 S W TEMPLE ST.
HOTEL



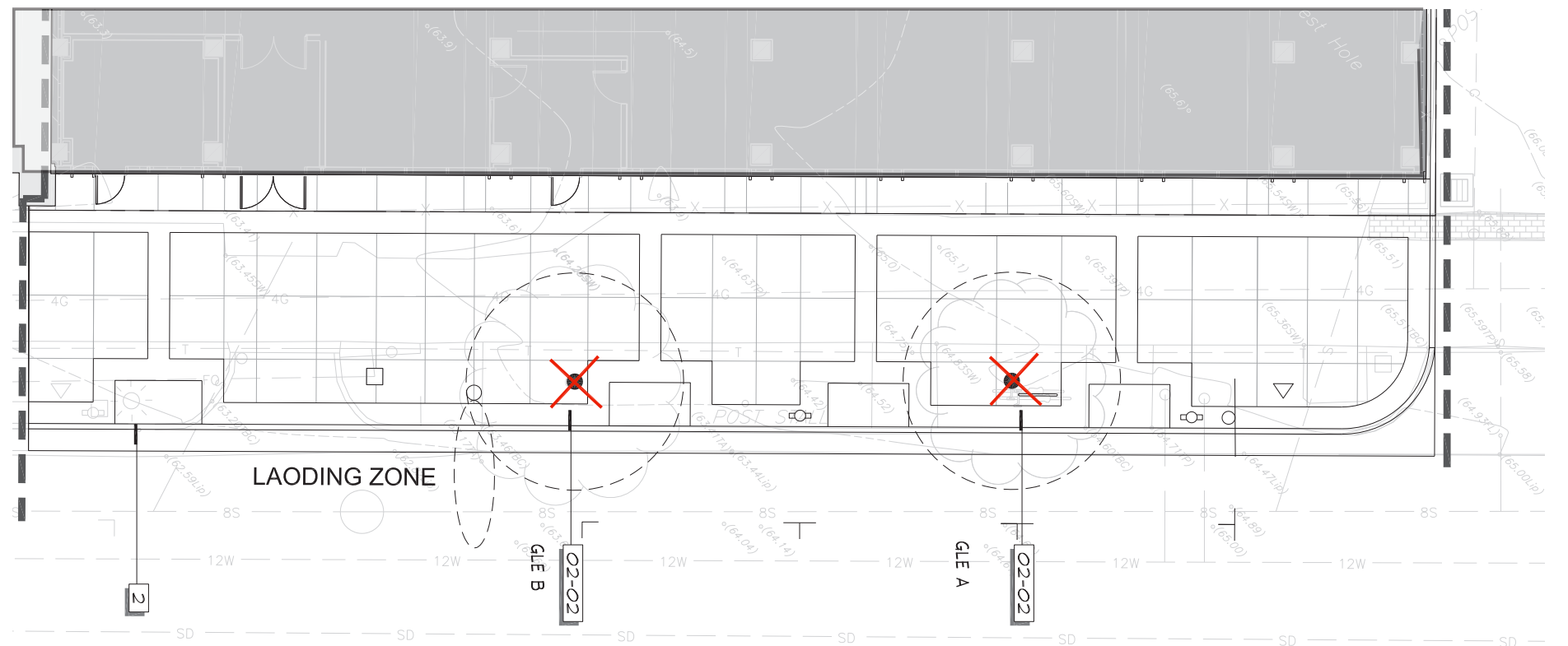
390 S W TEMPLE ST.



R.O.W LANDSCAPE AND SIGNAGE

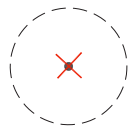


PROPOSED R.O.W. LANDSCAPE



TREE PROTECTION SIGNAGE

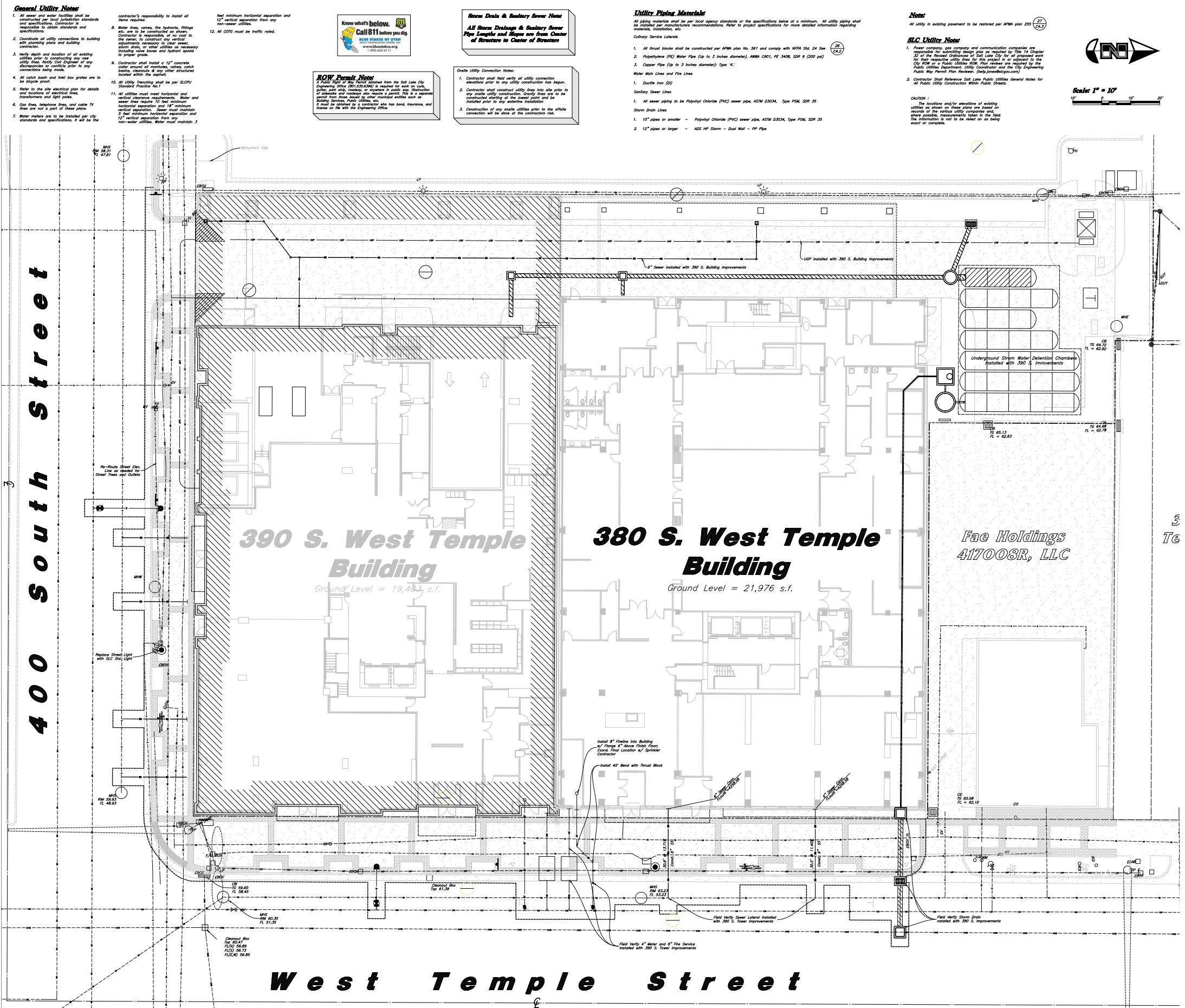
SYMBOL	DESCRIPTION
	SITE LIGHTING - REFER TO ELEC. PLANS
	REMOVE EXISTING TREES, REQ'D. ALL EXISTING TREES ON SITE TO BE REMOVED PER URBAN FORESTER RECOMMENDATION, CORY DAVIS AT 801.972.7839. CONTRACTOR TO ACQUIRE TREE REMOVAL PERMIT FROM URBAN FORESTER PRIOR TO ANY TREE REMOVAL. TO BE REMOVED - REASON FOR REMOVAL: EXCAVATION FOR BUILDING FOOTINGS, NEW UTILITIES, AND RE-GRADING FOR DRAINAGE.



EXISTING R.O.W LANDSCAPE



UTILITIES DESIGN



DESIGN REVIEW STANDARDS

SLC DESIGN REVIEW STANDARD - B:

DEVELOPMENT SHALL BE PRIMARILY ORIENTED TO THE SIDEWALK, NOT AN INTERIOR COURTYARD OR PARKING LOT

1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot).
2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood.
3. Parking shall be located within, behind, or to the side of buildings.

COMPLIANCE OF STANDARD - B:

1-2. The main entry of the proposed hotel is oriented towards S W Temple Street, justified to the property line. The hotel's pedestrian-focused entry facade along S W Temple Street provides two prominent points of access, including entry to the restaurant space fronting S W temple Street and entry to the hotel lobby.

3. Parking is located South of the Hotel in the Residential building directly adjacent to the hotel.

*REFER TO SITE PLAN AND MASSING (PAGE 9)

SLC DESIGN REVIEW STANDARD - C:

BUILDING FACADES SHALL INCLUDE DETAILING AND GLASS IN SUFFICIENT QUANTITIES TO FACILITATE PEDESTRIAN INTEREST AND INTERACTION

1. Locate active ground floor uses at or near the public sidewalk.
2. Maximize transparency of ground floor facades.
3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions.
4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces.

COMPLIANCE OF STANDARD - C:

1. Active ground-floor uses at / near the public sidewalk include restaurant frontage and the main hotel lobby'

2. The aluminum and glass storefront glazing, and brick pilasters at the hotel lobby and restaurant frontage is 10+ feet tall and is 51% of the total S W Temple Street facade.

3. The restaurant facade is delineated with pilasters breaking up the restaurant glazing into typical storefront spacing.

4. The second floor outdoor terrace oriented towards S W Temple Street above the hotel lobby has a direct visual connection to S W Temple Street.

*REFER TO STREET FACADE (PAGE 18)

SLC DESIGN REVIEW STANDARD - D:

LARGE BUILDING MASSES SHALL BE DIVIDED INTO HEIGHTS AND SIZES THAT RELATE TO HUMAN SCALE

1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis.
2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height.
3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals.
4. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.

COMPLIANCE OF STANDARD - D:

1. The facade design recalls historic buildings in the downtown district with the use of brick masonry and deeply inset windows and vertical pilasters emphasizing the vertical design of the building.
2. The east facade of the building is vertically emphasized with a strong horizontal storefront at the street. Second floor and tower massing is slim along the street with the majority of the building oriented along and east/west axis thereby presenting a well proportioned mass to the street and neighborhood.
3. The hotel has a second floor outdoor terrace for banquets or meetings overlooking S West Temple Street. Windows are emphasized with soldier coursing of the bricks to add interest and texture to the facade.
4. The street front is textured with brick pilasters and windows transitioning the tower to the ground, referencing the historic masonry buildings in the downtown district. Hotel entrance and canopy creates further intimacy with the human scale with a single story massing and contrasting texture to the brick portions of the facade

SLC DESIGN REVIEW STANDARD - E:

BUILDING FACADES THAT EXCEED A COMBINED CONTIGUOUS BUILDING LENGTH OF TWO HUNDRED FEET (200') SHALL INCLUDE:

1. Changes in vertical plane (breaks in facade);
2. Material changes; and
3. Massing changes.

COMPLIANCE OF STANDARD - E:

BUILDING DOES NOT EXCEED 200'

*REFER TO BUILDING MASSING (PAGE 8)

SLC DESIGN REVIEW STANDARD - F:

IF PROVIDED, PRIVATELY-OWNED PUBLIC SPACES SHALL INCLUDE AT LEAST THREE (3) OF THE SIX (6) FOLLOWING ELEMENTS

1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");
2. A mixture of areas that provide seasonal shade;
3. Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted;
4. Water features or public art;
5. Outdoor dining areas; and
6. Other amenities not listed above that provide a public benefit.

COMPLIANCE OF STANDARD - F:

NO PRIVATELY OWNED PUBLIC SPACE PROVIDED

SLC DESIGN REVIEW STANDARD - G:

BUILDING HEIGHT SHALL BE MODIFIED TO RELATE TO HUMAN SCALE AND MINIMIZE NEGATIVE IMPACTS. IN DOWNTOWN AND IN THE CSHBD SUGAR HOUSE BUSINESS DISTRICT, BUILDING HEIGHT SHALL CONTRIBUTE TO A DISTINCTIVE CITY SKYLINE.

1. Human scale:

- a. Utilize stepbacks to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans.
- b. For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height.

2. Negative impacts:

- a. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors.
- b. Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height.
- c. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.

3. Cornices and rooflines:

- a. Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition.
- b. Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings.
- c. Green Roof And Roof Deck: Include a green roof and/ or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.

COMPLIANCE OF STANDARD - G:

1. The building's height and mass are broken into three groups: the podium/base level, emphasizing pedestrian activity along S W temple Street; the hotel tower level s, and the top floor restaurant and bar level.
2. The tower's medium height minimizes the tower's shadow impact. The top floor of the building is inset significantly from the main tower facade to reduce perceived total height from the street.
3. The design proposes flat roof as well as an amenity terrace at the penthouse level.

*REFER TO PROJECT DATA (PAGE 12) AND SITE PLAN AND MASSING (PAGE 9)

SLC DESIGN REVIEW STANDARD - H:

PARKING AND ON-SITE CIRCULATION SHALL BE PROVIDED WITH AN EMPHASIS ON MAKING SAFE PEDESTRIAN CONNECTIONS TO THE SIDEWALK, TRANSIT FACILITIES, OR MID-BLOCK WALKWAY.

COMPLIANCE OF STANDARD - H:

Parking is shared with the residential building South of the hotel. Of the 246 available parking stalls, 84 belong to the hotel. The parking structure portion of the Residential building is considered for private use of the Residential building and valet parking for the hotel guests. Pedestrians access the parking structure via the lobby of the Residential building. Vehicle access to the parking facilities is located via a dedicated private driveway accessed from 400 South Street. Pedestrian, vehicular, and mass-transit circulation are well separated and protected with clear sight lines.

SLC DESIGN REVIEW STANDARD - I:

WASTE AND RECYCLING CONTAINERS, MECHANICAL EQUIPMENT, STORAGE AREAS, AND LOADING DOCKS SHALL BE FULLY SCREENED FROM PUBLIC VIEW AND SHALL INCORPORATE BUILDING MATERIALS AND DETAILING COMPATIBLE WITH THE BUILDING BEING SERVED. SERVICE USES SHALL BE SET BACK FROM THE FRONT LINE OF THE BUILDING OR LOCATED WITHIN THE STRUCTURE.

COMPLIANCE OF STANDARD - I:

Service-use areas are not visible to the public and are located at the rear of the building.

SLC DESIGN REVIEW STANDARD - J:

SIGNAGE SHALL EMPHASIZE THE PEDESTRIAN / MASS TRANSIT ORIENTATION.

1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building.
2. Coordinate signage locations with appropriate lighting, awnings, and other projections.
3. Coordinate sign location with landscaping to avoid conflicts.

COMPLIANCE OF STANDARD - J:

Horizontal metal band above the first floor storefront as well as the vertical metal pilasters are designated spaces for signage along the S W Temple Street.

*REFER TO EAST ELEVATION (PAGE 25)

SLC DESIGN REVIEW STANDARD - K:

LIGHTING SHALL SUPPORT PEDESTRIAN COMFORT AND SAFETY, NEIGHBORHOOD IMAGE, AND DARK SKY GOALS.

1. Provide street lights as indicated in the Salt Lake City Lighting Master Plan.
2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky.
3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.

COMPLIANCE OF STANDARD - K:

The hardscape and landscape design of the exterior amenities and circulation to comply with the City's lighting requirements. There will be no uplighting in the design, Architectural lighting will be provided via the canopy to accentuate signage and provide an welcoming feeling for hotel guests.

SLC DESIGN REVIEW STANDARD - L:

STREETSCAPE IMPROVEMENTS SHALL BE PROVIDED AS FOLLOWS:

1. One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the approval of the City's Urban Forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester.
2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards:
 - a. Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur.
 - b. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table.
 - c. Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar- Reflective Index (SRI).
 - d. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City.
 - e. Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities.
 - f. Asphalt shall be limited to vehicle drive aisles. (Ord. 14-19, 2019)

COMPLIANCE OF STANDARD - L:

1. Requirement is noted; project team to replace existing street trees removed during construction.
2. Hardscape along S W Temple Street within the R.O.W. to be preserved and protected during construction. Team anticipates coordination with City engineer(s) if hardscape is removed during construction with reinstallation following construction.

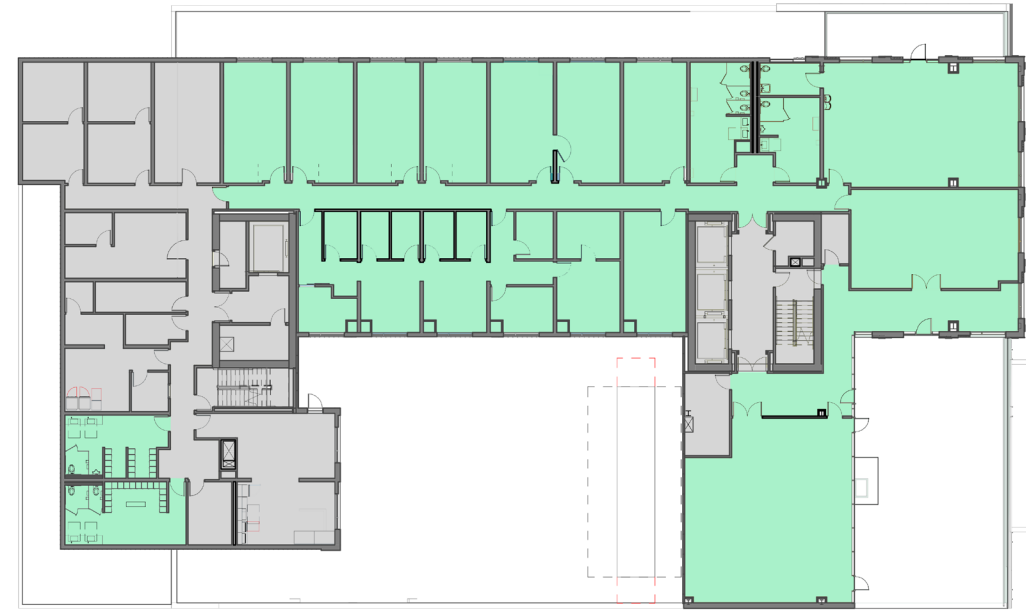
*REFER TO R.O.W LANDSCAPE AND SIGNAGE (PAGE 28)

APPENDIX

FLOOR PLANS



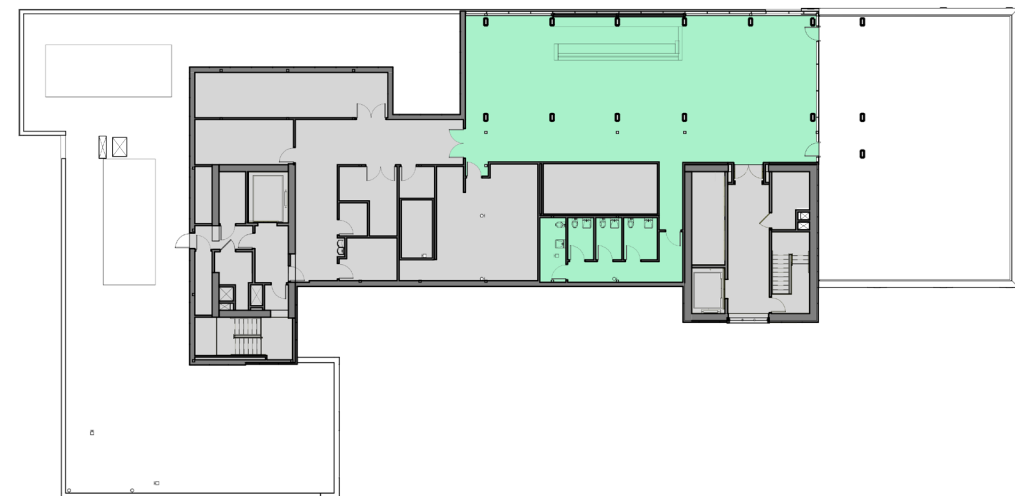
LEVEL 1 | HOTEL PLAN



LEVEL 2 | HOTEL PLAN



LEVEL 3-9 | TYPICAL HOTEL ROOM FLOOR PLAN



LEVEL 10 | RESTAURANT AND BAR PLAN



PARKING AND LOADING INFORMATION

PROPOSED APARTMENTS	350
PROPOSED HOTEL ROOMS	209

PARKING CALCUALTIONS per 21A.44.030 OFF STREET PARKING, MOBILITY AND LOADING FOR DISTRICT D-1

Tenant	Unit	Min. Zoning Code	Max. Zoning Code	Min Zoning Requirement	Max. Zoning Requirement	
Retail/Restaurant (UNDER SEPARATE BUILDING PERMIT)	NSF	6,430	No spaces req. up to 25k NSF; 1 space/1,000 NSF over 25k thereafter	Up to 25 spaces for first 25k NSF; No more than 1 space/ 1,000 NSF thereafter	0	25
Residential(UNDER SEPARATE BUILDING PERMIT)	Units	350	1/2 space per unit	1/2 space per unit	175	175
Sub-total				175	200	

Hotel	NSF	148,152	No spaces req. up to 25k NSF; 1 space/1,000 NSF over 25k thereafter	Up to 25 spaces for first 25k NSF; No more than 1 space/ 1,000 NSF thereafter	123	148
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SCHEDULE OF OFF STREET LOADING REQUIREMENTS per 21A.44.020.D Parking for Persons with Disabilities

Minimum Total in Parking Lot Spaces	Accessible Spaces
201-300	7
301-400	8

(2010 ADA standards for Accessible Design) 208.2.4 For every six or fraction of six parking spaces required by 208.2 to comply with 502, at least one shall be a van parking space complying with 502. Accessible parking stalls at least 1 shall be a van parking stall

Total	298	348
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PROPOSED				
	STANDARD STALLS PER ZONING 21A.44.020	ACCESSIBLE	SUB-STANDARD	TOTAL
LEVEL 2	33	2	9	44
*LEVEL 2 VAN		2		2
LEVEL 3	53	1	9	63
LEVEL 4	53	1	9	63
LEVEL 5	53	1	9	63
LEVEL 6	53	1	9	63
LEVEL 7	39	1	7	47
Sub-Totals	284	9	52	
Zoning Compliant Total				293
Total				345

21A.44.030: NUMBER OF OFF STREET PARKING SPACES REQUIRED:

21A.44.030.H.2. Parking in excess of the maximum allowed may be granted as a special exception subject to the special exception standards in chapter 21A.52 of this title. The maximum parking requirement does not apply to parking structures or garages that serve multiple parcels or uses or structures that provide off site parking.

SALT LAKE CITY ORDINANCE No. 64 SECTION 38. Amending the text of Salt Lake City Code Subsection 21A.44.030.H.2 (Table of District Specific Maximum Parking Allowance) qualifying provision 2 as follows:

2. The maximum parking requirement does not apply to parking structures or garages that serve multiple lots, parcels, uses, or structures that provide off site parking.

SCHEDULE OF OFF STREET LOADING REQUIREMENTS per 21A.44.050.B.2 FOR DISTRICT D-1

Tenant	Min. per Zoning	Total Parking Spaces	Dedicated Electrical Vehicle Spaces Required	Dedicated Electrical Vehicle Spaces Provided
Multi-family	1 per 25	291	12	50
Hotel	N/A	N/A	N/A	

SCHEDULE OF OFF STREET LOADING REQUIREMENTS per 21A.44.050.B.3 FOR DISTRICT D-1

Tenant	Min. per Zoning	Total Parking Spaces	Bicycle Parking Spaces Required	Bicycle Parking Spaces Provided
Multi-family	five percent (5%) of the vehicular parking spaces required	291	15	79
Hotel	five percent (5%) of the vehicular parking spaces required, min 2	123	6	6

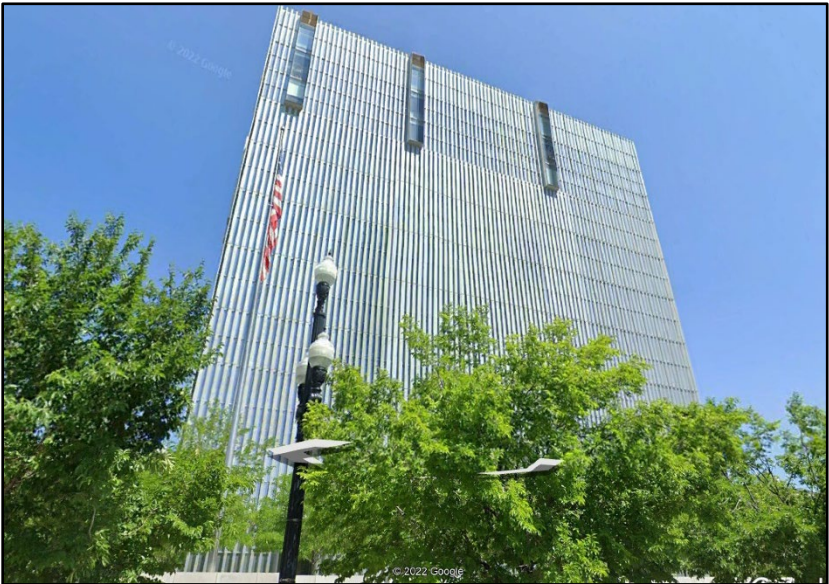
ATTACHMENT C: Property and Vicinity Photos



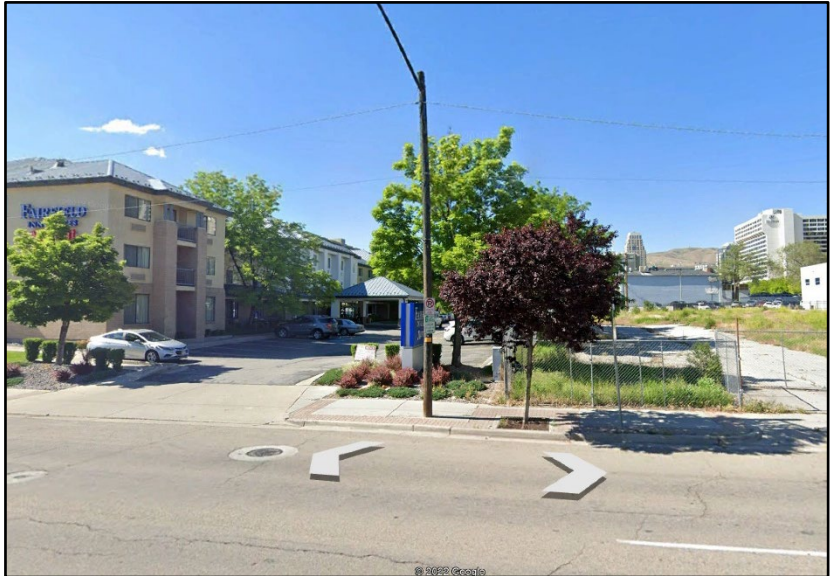
Subject Property



Adjacent Commercial Building to the North



Federal Building to the East



Hotel and Property to the West (Photo from 400 S)



Future 28-Story Multi-family Bldg. to the South (Shared Property)

ATTACHMENT D: D-1 Zoning Standards

D-1 (Central Business District)

Purpose Statement: The purpose of the D-1 central business district is to provide for commercial and economic development within Salt Lake City's most urban and intense areas. A broad range of uses, including very high-density housing, are intended to foster a twenty-four (24) hour activity environment consistent with the area's function as the business, office, retail, entertainment, cultural and tourist center of the region. Development is intended to be very intense with high lot coverage and large buildings that are placed close together while being oriented toward the pedestrian with a strong emphasis on a safe and attractive streetscape and preserving the urban nature of the downtown area. This district is appropriate in areas where supported by applicable master plans. The standards are intended to achieve established objectives for urban design, pedestrian amenities, and land use control.

Standard	Requirement	Proposed	Finding
Land Use (21A.33.030)	Hotel	Hotel	Permitted
Minimum Lot Area	None	1.37 acres	Met
Minimum Lot Width	None	253'	Met
Maximum Building Height	100' for midblock buildings. Additional height allowable through Design Review process.	129'	Requires Design Review approval
Minimum Front/Corner/Side/Rear Yard Setbacks	0' front 0' corner 0' side 0' rear	6" front n/a corner 10" side 3' rear	Met
Maximum Front Yard Setback	5' front	3'	Met
Location of Service Areas	Must be located out of public view	Within the building or rear of the lot	Met
Ground Floor Glass (21A.37.050)	40%	51%	Met
Refuse Control	Refuse containers must be withing enclosed buildings or completely screened	Refuse containers to be screened with masonry walls and located behind the building	Met

Lighting	Directed and designed to contain glare on to neighboring properties	Lighting is architectural only and is directed downward and shielded from neighboring properties	Met
Off Street Parking & Loading (21A.44.030.H)	123 vehicle stalls required 6 bike stalls 12 EV stalls	123 vehicle stalls provided (more available in shared structure) 6 bike stalls provided 50 EV stall provided	Met
Landscaping & Buffering (21A.48)	Required yards landscaped 30' max spacing on street trees	Required yards landscaped 30' spacing on street trees	Met
Signage (21A.46.110)	n/a	n/a	To be submitted with building permit

ATTACHMENT E: Design Review Standards

21A.59.050: Standards for Design Review: In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

The Finding for each standard is the recommendation of the Planning Division based on the facts associated with the proposal, the discussion that follows, and the input received during the engagement process. Input received after the staff report is published has not been considered in this report.

A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.

Finding: Complies

Discussion: The intent of the D-1 zone is to provide for a broad range of uses with a high level of urban design, appropriate for a central business district. The proposed hotel and restaurant are appropriate uses for the downtown and will contribute to its vibrancy by creating a 24-hour destination for tourists and residents alike.

The building includes the extensive use of brick and glass that will contribute to the pedestrian experience. The building maximizes the site with minimal setbacks. The height provides an appropriate transition from the proposed taller corner building to the existing 2-story development to the north.

Condition(s): None

B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.

- 1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot).**
- 2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood.**
- 3. Parking shall be located within, behind, or to the side of buildings.**

Finding: Complies

Discussion:

1. The primary entrance to the building faces West Temple.
2. The building will be within 6" of the front property line where a maximum 5' setback is allowed.
3. Parking for the development will be shared and located in the multi-family building to be constructed immediately to the south.

Condition(s): None

C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.

- 1. Locate active ground floor uses at or near the public sidewalk.**
- 2. Maximize transparency of ground floor facades.**
- 3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions.**
- 4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces.**

Finding: Complies

Discussion:

1. The building includes active uses along its ground floor including the hotel lobby and restaurant space.
2. The design provides 51% ground floor glass where 40% is required. The ground floor windows will be 10' tall to provide visual interest and transparency for the pedestrian.
3. The hotel lobby will be within a 1-story section along the front of the building and is designed as a traditional storefront. The restaurant space will be part of the 10-story portion of the building and will have brick pilasters and large windows to differentiate it from the hotel lobby.
4. The 2nd floor will include an outdoor terrace oriented towards West Temple.

Condition(s): None

D. Large building masses shall be divided into heights and sizes that relate to human scale.

- 1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis.**
- 2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height.**
- 3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals.**
- 4. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.**

Finding: Complies

Discussion:

1. The façade is designed to be complimentary to the proposed adjacent multi-family building. It will feature deeply inset windows, vertical pilasters, and flat rooflines that create an appropriate transition between existing and proposed buildings.

2. The front of the building has a strong horizontal emphasis formed by the second story terrace. The terrace, as well as one found at the penthouse level, create varying rooflines as viewed from the street and reduce the visual height of the building.
3. The building includes a portion with a second story outdoor terrace overlooking West Temple. The feature reduces the visual height of the building by pushing a portion of the building back, away from the street. Solider coursing has also been included to emphasize the windows to give provide visual interest to the façade.
4. The solid-to-void ratio of the future multi-family building to be located adjacent to the south will be repeated with this building. The building will feature a similar window pattern and is appropriate for the downtown.

Condition(s): None

E. Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include:

1. Changes in vertical plane (breaks in facade)
2. Material changes; and
3. Massing changes.

Finding: Not Applicable

Discussion: The proposed building is less than 200' in length.

Condition(s): None

F. If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements:

1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");
2. A mixture of areas that provide seasonal shade;
3. Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted;
4. Water features or public art;
5. Outdoor dining areas; and
6. Other amenities not listed above that provide a public benefit.

Finding: Not Applicable

Discussion: The project does not include privately-owned public spaces.

Condition(s): None

G. Building height shall be modified to relate to human scale and minimize negative impacts. In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive City skyline.

1. Human scale:

- a. Utilize setbacks to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans.
- b. For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height.

2. Negative impacts:

- a. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors.
- b. Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height.
- c. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.

3. Cornices and rooflines:

- a. Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition.
- b. Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings.
- c. Green Roof And Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.

Finding: Complies

Discussion:

1. The building includes various rooflines including a large step-back above the first floor on a portion of the front façade to help create visual interest and to reduce the perceived height of the building from the street. The partial step-back and large storefront windows help create a distinct base to the building. The middle portion has a simple but attractive design, and the top of the building includes a terrace and penthouse that also step back to reduce the visual height of the building.
2. The height of the building creates a significant step down from the proposed building to the south and forms an appropriate transition to the 2-story building to the north.
3. The building proposes a flat roof, which is compatible with the form of surrounding rooflines. The design includes outdoor terraces on both portions of the second and penthouse levels.

Condition(s): None

H. Parking and on-site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway.

Finding: Complies

Discussion: Parking for the building will be shared with the multi-family building to be built on the same property to the south. The parking garage will be internal to the multi-family building and will be accessed from a driveway from 400 South. Pedestrian access to the parking garage will be through the lobby of the multi-family building.

Condition(s): None

I. Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (See subsection 21A.37.050K of this title.)

Finding: Complies

Discussion: The dumpsters will be located to the rear of the building and will not be visible by the public. Any other mechanical or service equipment will be located within the building or behind the parapet wall.

Condition(s): None

J. Signage shall emphasize the pedestrian/mass transit orientation.

- 1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building.**
- 2. Coordinate signage locations with appropriate lighting, awnings, and other projections.**
- 3. Coordinate sign location with landscaping to avoid conflicts.**

Finding: Complies

Discussion:

1. Signage for the building will be located on horizontal metal bands above the first floor.
2. Vertical metal pilasters along the front of the building have also been designated for future signage.
3. Signage locations are integrated into the design of the building and will not conflict with landscaping.

Condition(s): None

K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals.

- 1. Provide street lights as indicated in the Salt Lake City Lighting Master Plan.**
- 2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky.**
- 3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.**

Finding: Complies

Discussion:

1. Street lighting is already provided adjacent to the site.
2. The proposed lighting will support dark sky goals by being downlit.
3. Lighting will be located within the canopy to illuminate the building entry at the pedestrian level. Lighting will also be provided to accentuate any future signs.

Condition(s): None

L. Streetscape improvements shall be provided as follows:

1. **One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the approval of the City's Urban Forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester.**
2. **Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards:**
 - a. **Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur.**
 - b. **Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table.**
 - c. **Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar- Reflective Index (SRI).**
 - d. **Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City.**
 - e. **Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities.**
 - f. **Asphalt shall be limited to vehicle drive aisles.**

Finding: Complies

Discussion:

1. The proposed landscaping includes street trees spaced no more than 30'. The species will be chosen in consultation with the City's Urban Forester.
2. The building is built within 6" of the front property line and 10" of the side and will not include privately-owned public spaces.

Condition(s): None

ATTACHMENT F: Public Process & Comments

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- May 17, 2022 – The Downtown Community Council and other recognized community organizations were sent the 45-day required notice for recognized community organizations. The Community Council did not request for the applicant to attend a Community Council meeting and did not provide feedback on the proposal.
- May 19, 2022 - Property owners and residents within 300 feet of the development were provided early notification of the proposal.

Notice of the public hearing for the proposal included:

- August 12, 2022
 - Public hearing notice mailed
 - Public notice posted on City and State websites and Planning Division list serve
- August 15, 2022
 - Public hearing notice sign posted on the property

Public Input:

At the time of this Staff report, no comments had been received from the public regarding this proposal.

ATTACHMENT G: Department Review Comments

This proposal was reviewed by the following departments. Any requirement identified by a City Department is required to be complied with.

Engineering: No objections

Planning/Zoning: No objections

The following items are to be addressed prior to issuance of building permits:

1. Permits for signage should be sought separately according to 21A.46.
2. Coordinate street tree species with City Urban Forester.

Fire: No objections

We have been working with the applicant on issues or concerns that have been identified and noted issues related to fire apparatus access for the hotel tower per BLD2021-10528 review comment 156, and DRT2020-00314 Fire Review comment.

Building: No objections

Building Code requirements will be addressed as part of the building permit application. The applicant should be aware that there are potential building code issues related to fire separation distances, and that the 2nd exit discharge does not appear to provide a direct, unobstructed, and open egress path to the public way per IBC 1028.3 and 1028.5. Applicant should also be aware of previously-noted issues related to fire apparatus access for the hotel tower per BLD2021-10528 review comment 156, and DRT2020-00314 Fire Review comment.

Urban Forestry: No objections

Street tree species to be coordinated at time of building permits

Public Utilities: No objections

- No utility objection to the proposed height exception.
- However, the applicant should be aware that the increased density and impact to the system will likely require the water mains in 400 South to be upsized as well as potential sewer system upgrades.
- This project will require a complete technical drainage study.
- Stormwater requirements include retention of the 80th percentile storm and Green Infrastructure/LID treatment of stormwater as well as detention of the 100 year storm event.
- Site planning should consider the stormwater requirements.

- Site planning should consider the location of utility vaults and infrastructure including transformers, grease interceptors, meters, etc.

Transportation: No objections

Based on the information provided, Transportation doesn't have any issues with this proposed 10 Story hotel.

Access to the parking is proposed on 400 S, which is under the jurisdiction of UDOT. Any questions or approvals regarding access on 400 S will need to be obtained from UDOT. Access into and out of the parking will be restricted to right in/right out due to the median island on 400 S.