



Staff Report

PLANNING DIVISION

DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Liz Hart, Principal Planner
elizabeth.hart@slcgov.com email or 801-535-6681
Date: August 24, 2022
Re: PLNPCM2022-00366,

Planned Development

PROPERTY ADDRESS: 1146 S Redwood Road
PARCEL ID: 15-10-327-002-000
MASTER PLAN: West Salt Lake Master Plan
ZONING DISTRICT: Corridor Commercial (CC) District

REQUEST:

Tyler McArthur with Manifest Development, the property owner, is requesting Planned Development approval for Dawson Place, a multi-family townhome style development, located at 1146 S Redwood Road. The proposed design consists of a total of 10 buildings with 58 new townhome units. The subject property is approximately 1.85 acres in size and is located in the CC zoning district. Planned Development approval is required for the following reasons:

- Principal buildings without street frontage. Section 21A.36.010B1 of the Zoning Ordinance allows multiple principal buildings on a property if all the buildings have frontage on a public street.
- Additional building height. The CC district allows a maximum height of 30 feet. The applicant is proposing approximately 1 foot of extra height. Section 21A.55.020.C. allows the Planning Commission to approve up to 5 feet of additional building height through the Planned Development process.
- Obstructions in Yards. Section 21A.36.020B identifies allowed obstructions within required yards. The applicant is requesting that second story balconies be allowed to encroach the front yard by ~5 feet.

RECOMMENDATION:

Based on the information and findings listed in the staff report, it is the Planning Staff's opinion that the request generally meets the applicable standards of approval and therefore recommends the Planning Commission approve the request.

ATTACHMENTS:

- A. Zoning and Vicinity Map

- B. Site Photos and Existing Conditions
- C. Applicant's Narrative, Plans & Renderings
- D. Planned Development Standards and Analysis
- E. CC Zoning District, Design and Other Applicable Standards
- F. Public Process & Comments
- G. Department Review Comments

PROJECT DESCRIPTION

The subject property is a 1.85 acre (~80,5460 square feet) vacant lot located on the west side of Redwood Road within the CC zoning district. The proposed project is a multifamily townhome development. The development that consists of 10 individual buildings with a total of 58 units, a density equal to approximately 31 units per acre. Each building has 5 - 6 units, and each unit will have 2 bedrooms and a 2-car tandem garage.

Quick Facts

Height: ~31 feet (3 stories)

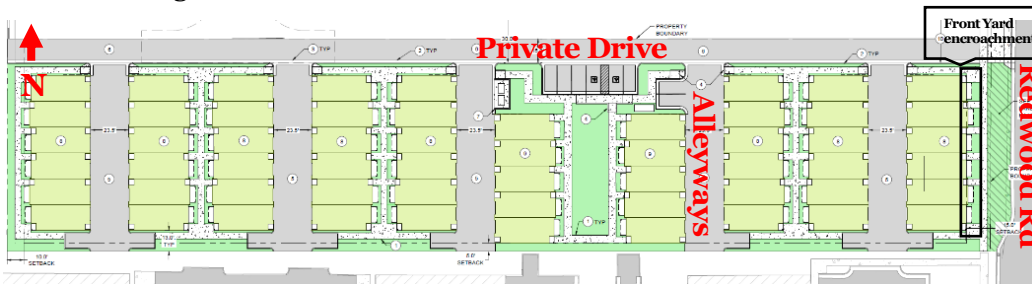
Number of Residential Units: 58 units

Exterior Materials: Fiber cement boarding, Stucco, glass.

Parking: 2 stalls per units.

Review Process & Standards: Planned Development, CC zoning and general zoning standards.

Site Design and Access



The project provides a central green space area for the tenants and pedestrian access to the units as well as Redwood Road, via interior sidewalks. Vehicular access to the site comes from a private drive that connects to Redwood Road. The private drive also provides access to the townhome development that is proposed to the north. Units are accessed by vehicles via alleyways that stem from the private drive.

Building Design

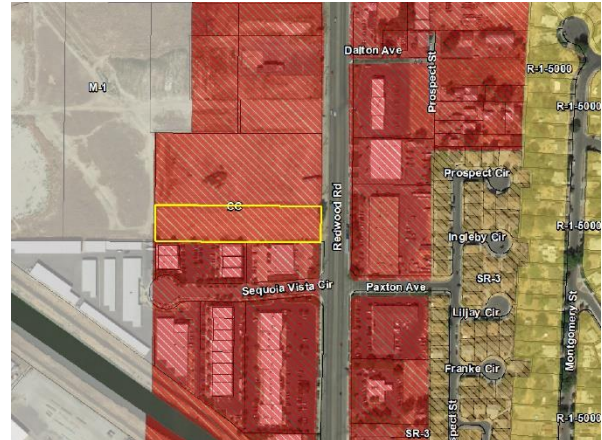


The building design is of a modern style with brick and metal accents, pitched roofs, and smooth stucco finishes. The 6-plex building facing Redwood Road will have its units face the road. The ground floor units will have doors that enter immediately onto the street for pedestrian interest, as well as one window. Balconies on the second level will help keep “eyes on the street”. The pitched roof increases the height to be 1 foot over the maximum allowed height of 30 feet in the

CC zone, the style of roof is different from the design of the surrounding buildings roofs which are flat.

Location and Surrounding Zoning

The surrounding properties to the North, South and East are within the CC zoning district, and properties to the West are within the M-1 zoning district. The surrounding vicinity consist of existing commercial and manufacturing uses, and to the East behind existing commercial uses are single family neighborhoods.



Planned Development Request

The applicant is requesting Planned Development approval for the following items:

- 1) Multiple buildings on site not having public street frontage
- 2) Additional building height of approximately 1 foot.
- 3) Second story balconies encroaching the required front yard.

The Planned Development process includes standards related to whether any modifications will result in a better final product, whether the proposal aligns with City policies and goals, and whether the development is compatible with the area or the City’s master plan development goals for the area. The full list of standards is in Attachment D.

APPROVAL PROCESS AND COMMISSION AUTHORITY

This project is subject to Planned Development approval per Salt Lake City Code Chapter 21A. 55. The Planning Commission has the authority to approve, approve with conditions or deny the request. If the Commission decides to approve the request against staff’s recommendation, the commission must respond to each standard staff has determined the application does not comply with and provide an explanation of how the project is complying with those standards.

KEY CONSIDERATIONS

The key considerations listed below were identified through the analysis of the project:

1. How the proposal helps implement city goals and policies identified in adopted plans.
2. Compliance with Zoning Requirements
3. Neighborhood Compatibility
4. Development Potential without Planned Development Approval

Consideration 1: How the proposal helps implements city goals and policies identified in adopted plans.

The proposed project is consistent with the Plan Salt Lake Master Plan, the West Salt Lake Master Plan, and the 9-Line Master Plan.

PLAN SALT LAKE

The project is consistent with Guiding Principle #3 in Plan Salt Lake, “Access to a wide variety of housing types for all income levels throughout the city, providing the basic human need for safety and responding to changing demographics.” The proposed residential units provide additional housing units in the neighborhood to accommodate more residents.

The proposed project is also consistent with initiatives in the Housing chapter:

- Increase the number of medium density housing types and options. The proposed development provides medium density housing that is unique to this area.
- Direct new growth toward areas with existing infrastructure and services that have the potential to be people oriented.

The proposed development provides medium density housing that is unique to this area. The new residents would also help to support existing businesses.

Initiatives from the Growth chapter are also applicable. The following Growth initiatives apply:

- Encourage a mix of land uses.
- Promote infill and redevelopment of underutilized land.
- Accommodate and promote an increase in the City’s population.
- Provide access to opportunities for a health lifestyle (including parks, trails, recreation, and healthy food).

The proposed development would promote infill development on underutilized (vacant) land and provide more housing into the area that is dominated by commercial development. The multi-family proposal adds an alternative type of housing which is not seen in this area and can help accommodate the City’s population on the west side. It also is within proximity to the 9line trail which provides access to parks and trails within the area.

WESTSIDE MASTER PLAN

The subject area falls within an area discussed in the Westside Master Plan (WSMP or Plan). The WSMP recognizes a need to encourage growth, redevelopment, and reinvestment in the Westside, in order to support the vision of the Westside Community as a “beautiful, safe, sustainable place for people to live, work, and have fun.”

While the Plan (pg. 55) states that the “west side of Redwood Road is not suitable for residential development” it also recognizes that through the development of the Plan there were viewpoints and opinions as to how the west side of Redwood Road should be used in the future. Many people favored the long-term replacement of industrial uses with more commercial uses. *“There was little to no discussion about residential development west of Redwood Road, as most people acknowledged that it was nearly impossible to do so with the area’s land use history.”* (pg. 27).

The lack of discussion about having residential development west of Redwood should not be interpreted as a prohibition of that change being considered or taking place. The Plan was developed in 2014 and represents a “snapshot in time” of the community and the participants, as well as the community engagement that took place. The conditions of the time were not such that the idea of developing residential uses in the area was considered as a necessary option so it was not discussed.

The Plan also makes multiple statements that the proposed development is the kind of development the Westside needs. For example, the Plan states (pg. 11) that there is a lack of multifamily housing options on the Westside and the options available are not well integrated into the rest of the community. The plan also states that Redwood Road (pg. 28) was identified as an opportunity because it is the one place in the Westside that can accommodate a considerable amount of residential density and new commercial development without impacting the existing neighborhoods.

It is Staff's position that the proposed development is not in conflict with the WSMP. Statements in the Plan indicate that it was anticipated that change would take place in this area, even if there was no agreement or direction in terms of the form that these changes should follow, and that this area is suitable for the proposed type of development.

9-LINE MASTER PLAN

The proposed development is 1/3 mile from the 9-Line and Redwood Road intersection. The proposed project will help the vision of the 9-Line Master Plan by activating the Redwood Node of the 9-Line Master Plan.

Consideration 2: Compliance with Zoning Requirements

The applicant is proposing to build dwelling units in a configuration that meets the zoning definitions for a multi-family development. These units will be accommodated in 10 individual buildings on the site with each building containing 5 - 6 units.

The CC zoning district allows multi-family uses but does not allow attached and detached single family dwellings or two-family dwellings. The proposed development is being processed as a multi-family development because the individual units are not located on their own lots. All the buildings and all the dwelling units are located on the same parcel. The ordinance definition follows:

DWELLING, MULTI-FAMILY: A building containing three (3) or more dwellings on a single lot. For purposes of determining whether a lot is in multiple-family dwelling use, the following considerations shall apply:

A. Multiple-family dwelling uses may involve dwelling units intended to be rented and maintained under central ownership or management, or cooperative apartments, condominiums and the like.

The applicant states in the narrative that the property will be platted as condominiums and sold to owner occupants. As long as the applicant is not creating individual parcels or lots, the proposal meets the definition of multi-family and would be allowed in the CC zoning district.

Consideration 3: Neighborhood Compatibility

While the proposed project has buildings that are three stories and moderately taller than other structures in the neighborhood, it is still compatible with the neighborhood mix. Redwood Road is mostly developed with commercial uses; the proposed development will add residential to the corridor that will create a neighborhood feel. With the buildings pushed up against Redwood Road and the installment of the second level balconies, the design activates the frontage and creates a residential presence which will help activate this area with eyes on the street and pedestrians for the nearby commercial uses.

Consideration 4: Development Potential without Planned Development Approval

The applicant has requested modifications to the building orientation requirements in section [21A.36.010.B.1](#) to allow greater flexibility in the layout of the proposed development. This standard requires all buildings on a lot within the CC district to face the street. A strict application of the standard would require the design to possibly be one large building facing the street, that could negatively impact the goals for Redwood Road to have a better design and experience.

If this request is denied, the proposed density of the multifamily use would still be permitted, and the applicant could modify the proposal to meet the building orientation standard. Additionally, the CC zoning district does not have many design standards. The applicant could, in theory, propose a project that would not have to meet the higher standard required for Planned Development approval. A project that strictly adhered to the zoning requirements would likely be inferior to this proposal.

STAFF RECOMMENDATION

Based on the information and findings listed in the staff report, it is the Planning Staff's opinion that the request generally meets the applicable standards of approval and therefore recommends the Planning Commission approve the request.

NEXT STEPS

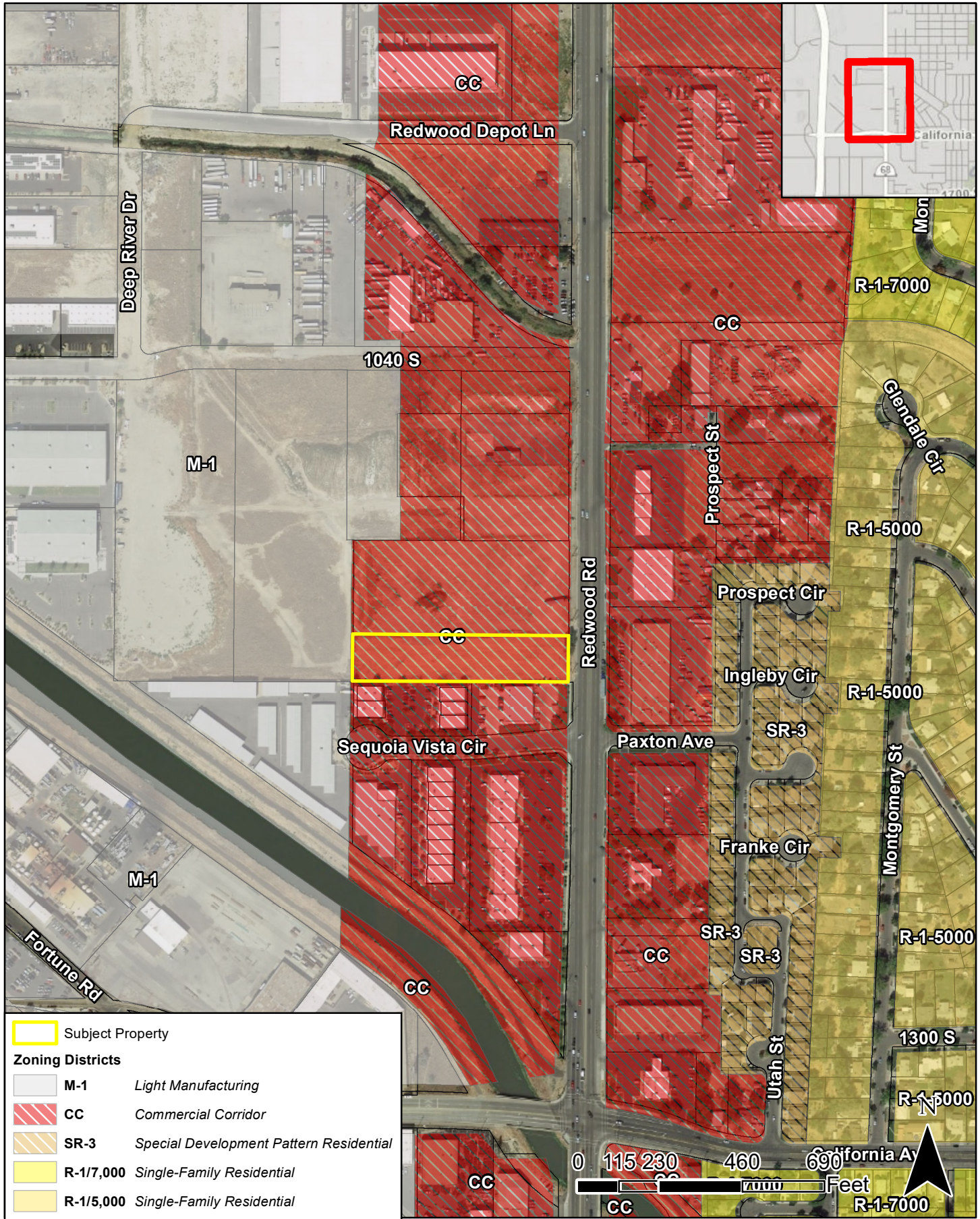
Approval of the Request

If the Planned Development is approved, the applicant will need to comply with the conditions of approval, including any of the conditions required by City departments and the Planning Commission.

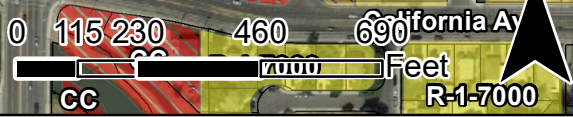
Denial of the Request

If the Planned Development is denied, the applicant can submit a building permit application that complies with the requirements of the CC zoning district and proceed with the permitted development.

1146 S Redwood Rd - Dawson Place Planned Dev.



	Subject Property
Zoning Districts	
	M-1 Light Manufacturing
	CC Commercial Corridor
	SR-3 Special Development Pattern Residential
	R-1/7,000 Single-Family Residential
	R-1/5,000 Single-Family Residential



SOUTH





SOUTHWEST



Dawson Place

Planned Development Narrative

1146 S Redwood Rd, Salt Lake City, UT

June 3, 2022

Updated: August 18, 2022



manifest
DEVELOPMENT

Planned Developments

Chapter 21A.55

Project Description

The proposed development is called Dawson Place and will be a 58-unit townhome-style condominium community on 1.85 acres. While the units will look like and be built as traditional townhome units, they will be platted as condominiums in order to conform with existing zoning requirement that permit multi-family residential, but not single-family attached. It is anticipated that Dawson Place will be sold to owner-occupants. The units are planned to be built according to two similar floorplans, one slightly larger than the other. All units will be three stories tall, slab-on-grade, and approximately 1,300 square feet. All will have two-car tandem garages and two bedrooms.

The community will feature 16 surface parking stalls (including 2 ADA stalls) for residents and guest parking, a bank of mailboxes, and one dumpster enclosure serviced by a private waste removal company. A wide grassy central area will provide a green space for residents to gather. Some amenities for pets are anticipated in other landscaped areas.

The current zoning is Commercial Corridor (CC). A Planned Development is required on this parcel because not every building fronts onto a public street. Two other variances are needed. 1) Due to the sloped roofs, a variance for the building height maximum is needed. And 2) The decks on Building 101 encroach a maximum of 4'6" into the front setback.

The existing use of the parcel is vacant land. Historically, the land was agricultural with one single family home.



Per UDOT's request, Dawson Place will share a drive entrance onto Redwood Road with CW Urban's The Quinci development immediately to the north. It is anticipated that Dawson Place and The Quinci will agree to a two-way easement so that residents of each community may use both sides of the shared private drive. Other utilities, such as sewer, may be shared between the two communities, and discussions between both sides and project engineers are ongoing.

Zoning Request

Manifest Development is requesting relief from the City's zoning ordinance through the Planned Development process for 21A.36.010: USE OF LAND AND BUILDINGS.

B. One Principal Building Per Lot: Not more than one principal building shall be located on any lot except that:

1. With the exception of buildings located in the FR, R-1, SR, and R-2 Districts, more than one principal building may be located on a lot subject to all principal buildings having frontage along a public street.

We request relief from the requirement that every building have frontage along a public street.

We also request relief from the 30' height maximum in the CC Zone in order to accommodate pitched roofs. The height of the building from the top of foundation to the mid-point of the roof is 30' 11 5/8".

We also request relief from the 15' front setback for the purpose of our decks on Building 101, up to a maximum of 4'6". The decks are 3'6" deep, and two of our units encroach 1' into the front setback because of façade articulation. As a result, four of the units encroach 3'6" just on the decks, while two of the units encroach 1' in addition to 3'6" for a total of 4'6".

21A.55.010

Demonstrate how your project meets the purpose and objectives of a planned development:

Housing

While not planned as an Affordable Housing project utilizing state tax credits or other incentives, the guiding thesis of Dawson Place is to provide the most inexpensive market rate For-Sale residential units in Salt Lake City. At Manifest Development, we strongly believe in housing affordability, and we are projecting to sell these units in the low to mid \$300s, well below the current median home price in Salt Lake County of over \$500,000.

At this range, the mortgage payments for many of the buyers of Dawson Place will likely be lower than rent at the apartments along the North Temple corridor. We're seeing that many of the new apartment buildings have 2 bedroom units that are renting for over \$2,000/month. A \$320,000 mortgage at 5.1%, the current 30 year average rate, gives a monthly payment of \$1,737. For many currently in Salt Lake's rental market, **buying a home at Dawson Place will cost less than renting.**

These homes will also be less expensive than many of the single family homes in the Glendale/Rose Park neighborhood, which are now selling in the \$400,000 - \$500,000 range.

Medium-density townhome development is a perfect fit for the Westside neighborhood where single family homes dominate because the step-up in density bring new residents that will help support local businesses, provides critical housing for workers close to places of employment, and allows local first-time homebuyers to invest in the communities they were raised in. An attached housing product allows us to sell homes at significantly lower price points to help Salt Lake City families achieve the goal of home ownership.

Sustainability

Dawson Place will incorporate several sustainable features:

- We plan to use 95% high-efficiency gas furnaces for heating.
 - *Product Type: Carrier Comfort 95 Ultra-Low NOx Gas Furnace*
- The project will utilize all-electric water heaters in all the units. Most residential water heaters use natural gas, releasing NOx that contributes to our valley's winter inversions and air pollution.
 - *Product Type: AO Smith 40-Gallon 4500 Watt Electric Water Heater*
- We are planning for every electrical panel to be sized for loads large enough to accommodate a future EV charger for each unit (pending approval from Rocky Mountain Power). EV chargers will be offered as optional upgrades to the buyers.
- Revolutionary new sprayed air-sealing technology will be used to ensure that ACH is below 5.0, whereas typical existing homes in Salt Lake City have air leakage of 9.0 or worse as measured by a blower door test, leading to huge cost savings for our residents on their utility bills.
 - *Product Type: Aerobarrier Connect by AeroSeal*
- Xeriscape-elements will be utilized in the landscaping design to help conserve water and minimize bills for our residents.
 - *Decorative rock is used in place of lawn in many areas. Drought resistant species such as Imperial Honeylocust, Blue Arrow Juniper, Tina Sargent Crabapple, and Globe Wintergem Boxwood.*
- We plan for our new construction townhomes to typically have a HERS (Home Energy Rating System) score of 60, which is 40% more efficient than a typical home built in 2006, and 72% more energy efficient than homes built in the 1970s.

Master Plan Implementation

Dawson Place falls under both the Westside and 9-Line Master Plans.

The Westside Master Plan, adopted in 2014, bounds the areas between I-15 to the east and I-215 to the west. Dawson Place is located on the western side of Redwood Road, in an area that transitions between the residential neighborhoods of Glendale and Poplar Grove, and the commercial/industrial areas to the west.

One of the primary goals of the Westside Master Plan is to promote reinvestment and redevelopment in the area. Dawson Place adds a unique and much needed housing product that allows for residents of the area to purchase their own brand-new homes at prices that will typically be less than the existing single-family homes in the area. Because these homes are For-Sale, owners will put down roots and invest in the Westside community. They will be incentivized to maintain property values to protect their investment. By including CCRs and a professional HOA

Management Company, we can ensure that owner-occupants enjoy a high quality of living at Dawson Place for years to come.

The 58-unit community is located immediately next to a bus stop along the Redwood Road corridor, which the Master Plan envisions as an attractive, multi-modal street where people can live, work, and play. The medium-density, townhome condominium units are more appropriate here than in a stabilized, low-density single family home neighborhood. No disruptions to existing neighbors, whether through height or parking or similar issues should occur. It is a unique opportunity to add many housing units close to the urban core without drastically changing any existing neighborhoods.

Adding these homes will bring dozens of new residents to an area that has been seeing an increase in new businesses, shops, and restaurants over the last few years, which should hopefully continue to spur on this virtuous cycle of reinvestment. Dawson Place will support the neighborhood node located at Redwood Road and 9-Line Trail, as well as the node located at Redwood Road and California Avenue.

The 9-Line Master Plan is a fantastic vision to help foster non-motorized transportation east and west across Salt Lake City. Dawson Place will help by anchoring the west terminus of the 9-Line Trail with a dense core of residents who will certainly utilize the existing infrastructure, and hopefully help justify further expansion to the west in the future.

21A.55.050

Demonstrate how your project meets the Standards for Planned Developments.

A. Planned Development Objectives

The proposed project is located within the Community Corridor zone, which permits multifamily residential use. We are requesting relief from the requirement that every primary building have frontage along a public street. By allowing Dawson Place to be constructed of several buildings that contain 5 or 6 units each, Salt Lake City will approve a project that is more enhanced than would be achievable through a strict application of the land use regulations. Our site plan which contemplates attached townhome-style condominiums rather than one monolithic apartment building allows for more open space, better circulation, more natural light, larger living units, and a housing product that incentivizes homeownership and community stability.

As discussed in more detail in the previous section:

1. Housing: The units at Dawson Place will be sold to owner-occupants at a very affordable price relative to other homes on the market, both new and existing. Residents will contribute and participate in the community in which they've

invested. The median house price in Salt Lake City is over \$500,000. The units at Dawson Place will begin to be sold in the \$300,000 range.

At this range, the mortgage payments for many of the buyers of Dawson Place will likely be lower than rent at the apartments along the North Temple corridor. We're seeing that many of the new apartment buildings have 2 bedroom units that are renting for over \$2,000/month. A \$320,000 mortgage at 5.1%, the current 30 year average rate, gives a monthly payment of \$1,737. For many currently in Salt Lake's rental market, **buying a home at Dawson Place will cost less than renting.**

These homes will also be less expensive than many of the single family homes in the Glendale/Rose Park neighborhood, which are now selling in the \$400,000 - \$500,000 range.

2. Sustainability: New construction is almost always more sustainable than existing housing options because we use better building technologies. Several green and sustainable features are contemplated for Dawson Place.
 - a. 95% high efficiency gas furnaces
 - b. Electric Water Heaters
 - c. High-tech Aerobarrier Air Sealing will dramatically reduce air leakage, leading to lower energy bills for residents.
 - d. Xeriscaping landscape features will require less water than lawn.
 - e. All electric power panels will be upsized for future EV charging needs, and EV charging outlets will be available to the buyers for purchase.
3. Master Plan Implementation: Bringing a core group of committed residents to the Westside will increase demand for local businesses in the area. The Redwood Road corridor will continue to boom, and Dawson Place is well-positioned to support the identified neighborhood nodes in the Westside Master Plan. We will also be installing sidewalk infrastructure along Redwood Road, which does not currently exist, leading to many pedestrians walking in the street, which is unsafe. Parkstrip landscaping will be installed. The building with six units that fronts to the road will have an attractive exterior with brick accents, and front doors that front to Redwood Road, leading to a pleasant streetscape. Dawson Place will make Redwood Road a more attractive place to live, work, and play.

B. Master Plan Compatibility

The Westside Master Plan discusses the reinvestment and redevelopment of neighborhoods west of I-15 and east of I-215. Dawson Place will convert a vacant agricultural parcel along Redwood Road to a higher and better use by providing

housing for families in the area. The housing type, townhome-style condos, is a missing-middle type that is currently not found in the area, filling in a critical space between single family homes and apartment style living. Townhomes help residents obtain housing at a price point typically less than single family homes, allowing them to improve their personal financial situations and spend money elsewhere.

Two neighborhood nodes exist in the Master Plan near the location of Dawson Place – Redwood and California Ave and Redwood and the 9-Line Trail intersection. 58 families at Dawson Place will certainly help increase demand for local businesses at these locations.

The 9-Line Master Plan discusses a desire to increase the variety of housing types around the trail. Residents of Dawson Place will continue to utilize the infrastructure that the city has installed and help drive demand for further expansion and upgrades.

C. Design and Compatibility

Dawson Place is compatible with the surrounding neighborhoods. C.W. Urban's The Quinci project is of a similar size and scale next door on the parcel to the north. Both communities create an urban neighborhood feel with open space and amenities that will complement the growing Redwood Road corridor. Adjacent to commercial uses, but not far from the residential neighborhoods on the east side of Redwood Road, Dawson Place contributes nicely to the commercial aspects of Redwood Road without detracting from the established single-family neighborhoods.

The design is of a modern style with that boasts brick and metal accents, pitched roofs, and desirable smooth stucco finishes. The layout of the buildings will maximize frontage along Redwood Road, creating pedestrian interest and improving this stretch of Redwood Road which currently has no sidewalk. The 6-plex facing Redwood Road will have its units face the road, creating a nice pedestrian atmosphere along the road. The building materials are very similar to what CW Urban will be using at The Quinci.

Building setbacks align with CC Zoning standards. The front set back of 15' doesn't take into account the large size of the parkstrip, which be another 15'. The unit doors will be about 30' from Redwood Road, creating a lot of green space and landscaping which will present well on the front façade. The deep setback on the front also eliminates any issues that drivers may have with sight lines as they enter and exit Redwood Road, a very busy street. Side setbacks have been increased from 5' to 13' on eight of the ten buildings to give more space for landscaping and to facilitate fire access. This will also help with privacy and reducing noise for neighbors. The back set back of 10' similarly gives extra room for a small retention wall and landscaping. The dumpster location is screened.

The 13', 15' and 10' setbacks allow for room for maintenance of any communication or utility lines. The transformer on the north side of the development will meet Rocky Mountain Power's necessary work station area requirements.

The ground floor of the units facing Redwood Road will have doors that enter immediately onto the street for pedestrian interest, as well as one window. The stoops will give a feeling of arrival. Landscaping flanking the walkways will make the area pleasant to walk on. Balconies on the second level will help keep "eyes on the street" which will help reduce crime or vandalism in the area. The brick around the main floor provides a timeless sense of permanence and weight to the building which will hold up well for decades.

Lighting on the units will be limited to wall-mounted sconce lighting. There will be no street lighting on poles. Lighting in the alleys will be on a photocell, which helps with safety and crime issues. This strikes the right balance between keeping the common areas lit up for residents, while minimizing the impact on surrounding neighbors.

Dumpsters will be screened in a CMU wall with a metal rolling gate.

Most of the guest parking in Dawson Place will be along northside of the lawn in the center of the community. This creates a sense of separation between guest parking and the living units. There will be some individual parking stalls along the south property line. All units will have two parking stalls in their own private garages, screening most cars.

D. Landscaping

There are currently no mature trees that are planned to be incorporated into the final community. Two scrubby, small trees are currently in line with the path of the sidewalk and will need to be removed. No landscaping is currently installed. Future landscaping will include drought-resistant plant species, water-reducing elements, and one large lawn in the center for gathering. The landscaping will be of a modern and attractive style with lots of shrubs, drought-resistant trees, flowering bushes, and decorative grasses that will enhance the commercial corridor of Redwood Road, which currently has very little landscaping. Existing landscaping along Redwood Road tends to be only lawn, which creates a bland monoculture. Landscaping on the south side of Dawson Place will include dog stations for encouraging responsible pet waste management.

Some of the species chosen for the project include Honeylocust, Juniper, Crab Apple, and Boxwood.

The landscaping will be at scale appropriate for the development. Grasses and shrubs will be 2 to 3' high. Trees will likely be no taller than 30' at full maturity, reducing maintenance or safety concerns.

E. Mobility

Every unit comes with a two car, tandem garage. 16 guest stalls are also included in various locations throughout the project. Two of these guest stalls are ADA accessible. The total number of parking stalls on site is 132.

In addition to providing enough car parking, as mentioned above, Dawson Place is immediately in front of UTA Bus Route 217, and 1/3 mile from the 9-Line Trail. Salt Lake City has made it known that expansion to a Bus Rapid Transit (BRT) system along Redwood Road is a priority.

The frontage along Redwood Road is currently unimproved, creating a dangerous situation for those who walk along it. Dawson Place will install new sidewalks and landscaping in park strips that make this portion of Redwood Road a safer and more attractive place for pedestrians. Jaywalking is common along this stretch of Redwood Road, so perhaps these pedestrian improvements will help reduce that by encouraging people to walk on the sidewalks and not on the shoulders of the road.

Drive access onto Redwood Road will be shared with CW Urban's The Quinci to the north. This was done at the specific request of UDOT. Having one entrance reduces the probability of collision as cars enter and exit from two separate but proximately close drive aisles.

Site concrete within the development creates a walking path all along the north and south sides to keep people from either walking in the road or through the landscaping. Accessible ramps are installed at breaks. Dumpsters, mailboxes, and guest parking are all connected to the site walkways.

The shared drive aisle is 30' wide curb to curb, providing more than enough width for emergency access vehicles. A large hammerhead turnaround is provided at the rear of the project. The alleys between the buildings at Dawson Place are wide enough to provide unobstructed approved fire access apparatus routes, as has been discussed already with SLFD.

All loading access and service areas are located off of Redwood Road and will not block this important corridor.

F. Existing Site Features

The existing site is vacant and was formerly used for agricultural purposes. No existing site features exist to be preserved.

G. Utilities

Will-serve letters for the development have been requested from utility providers and meetings to discuss installation have already been taking place. All necessary infrastructure will be installed in order to service the proposed units without negatively affecting the surrounding area. Power and communication will-serve letters have been received. SLPUD will provide their will-serve letter once the PUD is approved.

21A.55.110

Describe the plan for long-term maintenance of all private infrastructure.

Maintenance Estimates

The maintenance of Dawson Place will be managed and contracted out by an experienced HOA Management Company. It is anticipated at this time that that company will be Community Solutions and Sales (CSS) of Draper, Utah. CSS will hire landscape maintenance, snow removal, road repairs, and other necessary maintenance activities under the direction of an HOA Board. Initially, the HOA Board will consist of Manifest Development as the developer. When most or all the units have been completed and sold to residents, a Turnover Meeting will occur to transfer Board responsibilities to elected representatives of the community. A Reserve Study will likely be undertaken by the HOA Board after turnover to account for maintenance needs for a period of up to 60 years into the future.

Residents will pay a yet to be determined HOA fee monthly to the HOA entity, which funds are the responsibility of the HOA Board and managed by the HOA Management Company.

All rules and procedures will be codified and recorded at the county in a Codes, Covenants, and Restrictions document (CCRs).

Initial Estimate Disclosure

Given the preliminary status of the application, no initial estimates have been undertaken so far. Upon the recording of the condominium plat, the HOA Management Company will create an initial estimate which Manifest Development will share with Salt Lake City staff and future residents.

Yearly Maintenance Statements

Yearly Maintenance will be coordinated between the HOA Board and the HOA Management Company. Budgets are typically prepared by the HOA Management Company and approved by the Board.

Maintenance Responsibilities

All maintenance responsibilities will be given to the HOA Management Company, including, but not limited to, landscape maintenance, snow removal, sprinkler maintenance, road repair, exterior repairs and maintenance of the structures themselves, as well as improvement and maintenance of the amenities, such as pet and dumpster facilities. The residents will be responsible for maintenance of any items that are on the interior of their units.

Zoning Review

We are not requesting any adjustment to zoning standards aside from the building frontage requirement and a small height variance to accommodate the pitched roofs, as well as a small encroachment for the purposes of our front decks on Building 101.

Purpose Statement: The proposed project meets this standard as it provides appropriately scaled, low-cost residential housing in a manner that would be enhanced if no adjustment to zoning standards was made. Dawson Place is in alignment with the Westside Master Plan.

Uses: Multifamily residential is permitted in the CC Zone. With a condominium plat, Dawson Place conforms to this standard.

Minimum Lot Size: The parcel meets the minimum lot size requirements.

Minimum Yard Requirements: The development complies with all minimum yard requirements.

Landscape Yard Requirements: The development meets all landscape yard requirements and will be maintained per the CCRs.

Maximum Building Height: Due to the pitched roofs, the proposed development has a proposed building height that is higher than the 30' allowed in the CC Zone. No

ceiling plate will be higher than the 30' maximum. Manifest Development will submit a separate Design Review Application to address this height issue.



1 SITE SHEET KEY NOTES:

PROVIDE, INSTALL, AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. CONCRETE SIDEWALK
2. CLOSED FACE CURB & GUTTER
3. CONCRETE WATERWAY
4. ADA RAMP
5. STANDARD DUTY ASPHALT PAVEMENT
6. HEAVY DUTY ASPHALT PAVEMENT
7. DUMPSTER ENCLOSURE
8. 6-PLEX TOWNHOUSE BUILDING, 8 EACH. SEE DENSITY TABLE.
9. 5-PLEX TOWNHOUSE BUILDING, 2 EACH. SEE DENSITY TABLE.
10. SHARED PRIVATE DRIVE (SEE GENERAL NOTE 1)

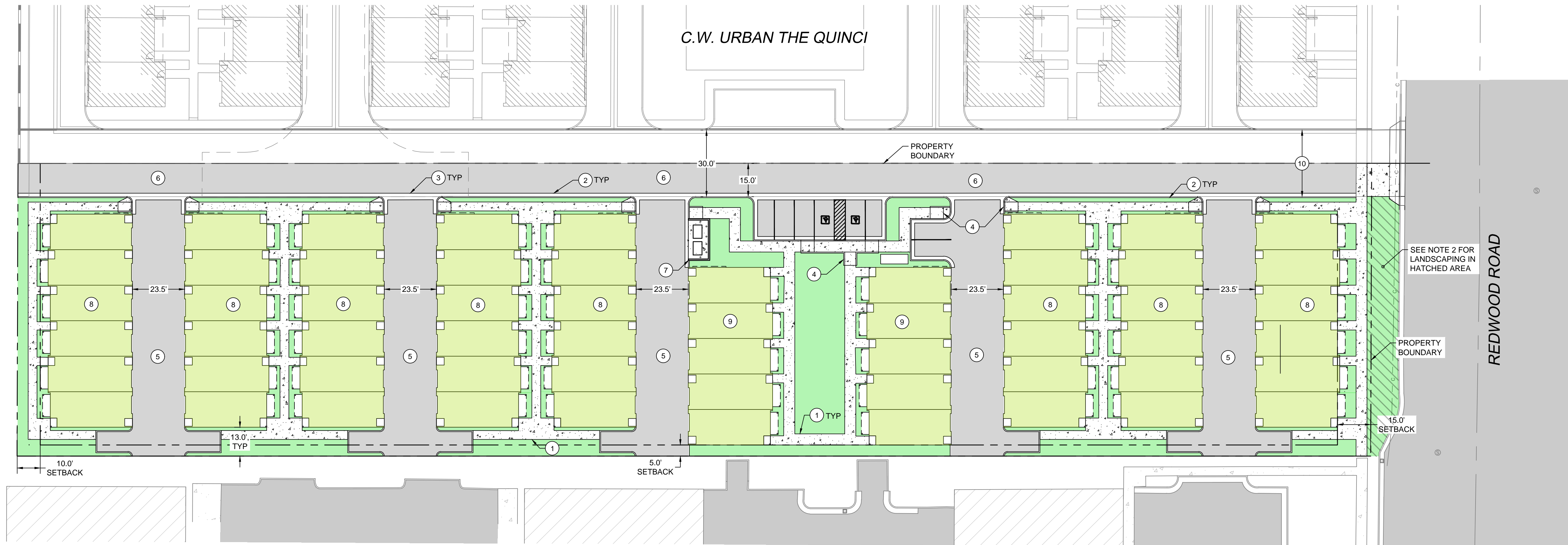
GENERAL NOTES:

1. RESPONSIBILITY FOR DESIGN AND CONSTRUCTION OF THE PRIVATE ACCESS ROAD TO BE SHARED EQUALLY BY DAWSON PLACE TOWNHOMES AND NEIGHBORING C.W. QUINCY TOWNHOMES PROJECTS. ALTHOUGH ONLY THE HALF-WIDTH OF THE LANE IS SHOWN IN THIS SITE PLAN, IT IS THE INTENT OF THE DEVELOPERS TO CONSTRUCT THE ENTIRE ROAD AS A SINGLE ELEMENT PENDING APPROVAL OF BOTH SITE PLANS AND SUBSEQUENT CONSTRUCTION DRAWINGS.
2. PARK STRIP SHALL CONTAIN 1 TREE PER 30 FEET OF STREET FRONTAGE AND 33% LIVE PLANT MATERIAL PER SLC STANDARDS.

DENSITY:

DESCRIPTION	#BLDGS	#UNITS
5-PLEX	2	10
6-PLEX	8	48
TOTAL	10	58

58 UNITS / 1.85 ACRES = 31.4 UNITS / ACRE

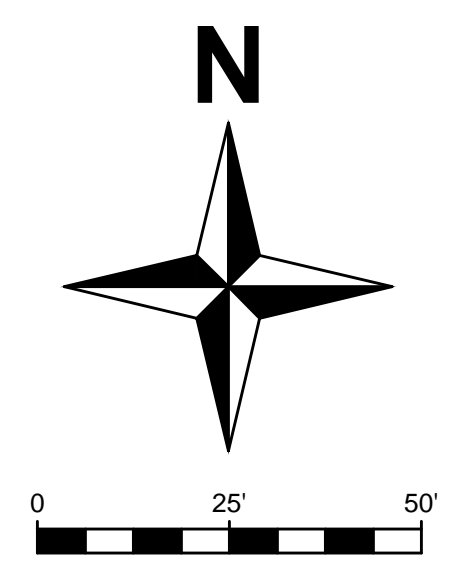


DAWSON PLACE TOWNHOMES

1146 S SALT LAKE CITY, UT 84104
MANIFEST DEVELOPMENT

MARK	DATE	DESCRIPTION

PROJECT #: 21-403
 DRAWN BY: JSB
 PROJECT MANAGER: JSB
 ISSUED: 4/11/2022



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BLUE STAKES OF UTAH
 UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
 1-800-662-4111

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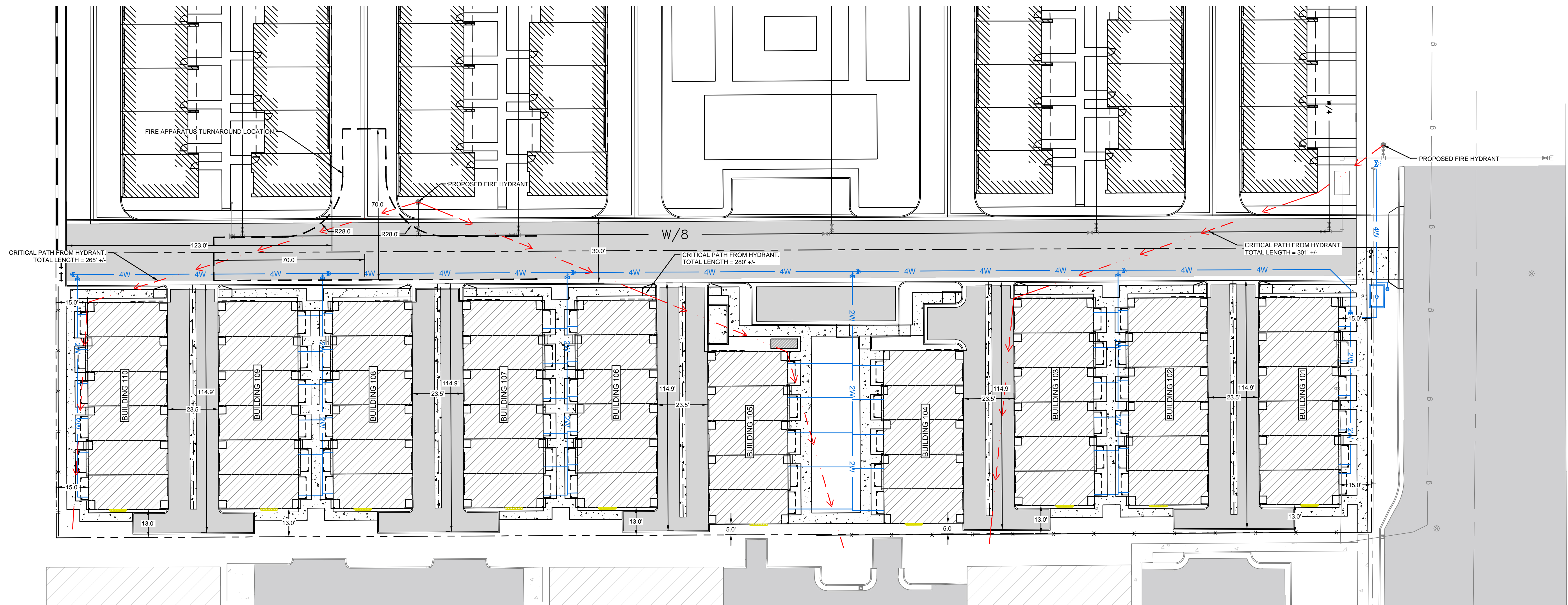
SITE PLAN

C102

P:\2021\21-403 Dawson Place\AutoCAD\Civil\Sheet_Sett\21-403 SITE PLAN

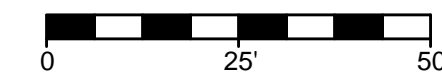


**DAWSON'S PLACE
 CONDOMINIUMS**
 CONSTRUCTION DOCUMENTS
 1146 S REDWOOD RD.
 SAT LAKE CITY, UT, 84104



GENERAL NOTES:

1. ALL PROPOSED UTILITY INFRASTRUCTURE (TO INCLUDE POWER) WILL BE LOCATED UNDERGROUND, AND WILL THEREFORE POSE NO RESTRICTIONS TO FIRE ACCESS.
2. ALL PAVEMENT SECTIONS WERE DESIGNED FOR A 18-K EQUIVALENT SINGLE-AXLE LOAD.



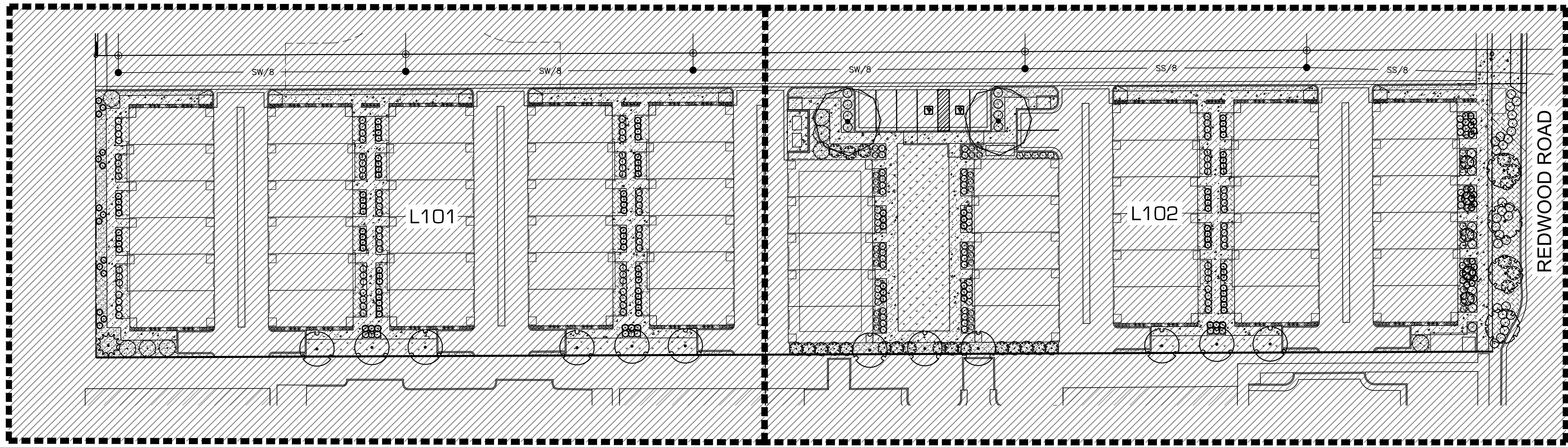
MARK	DATE	DESCRIPTION

PROJECT #: 21-403
 DRAWN BY: C. SCHAFFNER
 PROJECT MANAGER: J. BLACK
 ISSUED: 8/16/2022

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**FIRE ACCESS
 EXHIBIT**



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CAL
	AC2	12	ACER PLATANOIDES 'CRIMSON SENTRY' / CRIMSON SENTRY MAPLE	B&B	2"
	GI	2	GLEDITSIA TRIACANTHOS INERMIS 'IMPCOLE' TM / IMPERIAL HONEYLOCUST	B&B	2"
	JB	15	JUNIPERUS SCOPULORUM 'BLUE ARROW' / BLUE ARROW JUNIPER	5'-6'	
	MT	5	MALUS SARGENTII 'TINA' / TINA SARGENT CRABAPPLE	B&B	1.5'
	PC	1	PICEA ABIES 'CUPRESSINA' / NORWAY SPRUCE	7' HT	
	SI	4	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	B&B	2"
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT
	BG	142	BUXUS MICROPHYLLA 'WINTER GEM' / GLOBE WINTER GEM BOXWOOD	5 GAL.	
	CC	33	CORNUS SANGUINEA 'ARCTIC FIRE' TM / ARCTIC FIRE DOGWOOD	5 GAL.	
	JF	8	JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER	5 GAL.	
	JA	46	JUNIPERUS COMMUNIS 'ALPINE CARPET' / JUNIPER	5 GAL.	
	RG	25	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL.	
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT
	HO	114	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL.	
	MM	24	MISCANTHUS SINENSIS 'MORNING LIGHT' / EULALIA GRASS	1 GAL.	
	PM	116	PENNISETUM ALOPECUROIDES 'MOUDRY' / ORIENTAL FOUNTAIN GRASS	1 GAL.	
	VL	176	VERONICA LIWANENSIS / TURKISH VERONICA	1 GAL.	

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
①	30' X 30' SIGHT TRIANGLE (STREET/DRIVE INTERSECTION)		
②	CONCRETE MOWSTRIP: 6" WIDE		2/L302
③	DOG WASTE STATION FROM DOG WASTE DEPOT (ROLL BAG SYSTEM, ROUND CAN, MATTE BLACK.)		
④	REFER TO CIVIL PLANS FOR FENCE LOCATION AND DETAILS		
SYMBOL	DESCRIPTION	QTY	DETAIL
	TURF GRASS: SOD (IMPERIAL BLUE FROM CHANSHARE SOD OR APPROVED EQUAL) INSTALLED OVER 5" TOPSOIL LAYER.	3,113 SF	2/L302
	ROCK MULCH, 1" (COPPER CANYON CRUSHED ROCK FROM STAKER PARSON OR APPROVED EQUAL) INSTALLED AT DEPTH OF 3" INSTALLED OVER DEWITT PRO 5 BARRIER FABRIC.	4,275 SF	2/L302
	BARK MULCH (SMALL BARK MULCH FROM MILLER COMPANIES LC OR APPROVED EQUAL) INSTALLED AT DEPTH OF 3" WITHOUT WEED BARRIER FABRIC. PLANTINGS WITHIN THIS AREA WILL INCLUDE TREES, SHRUBS, GRASSES AND PERENNIALS.	5,533 SF	2/L302

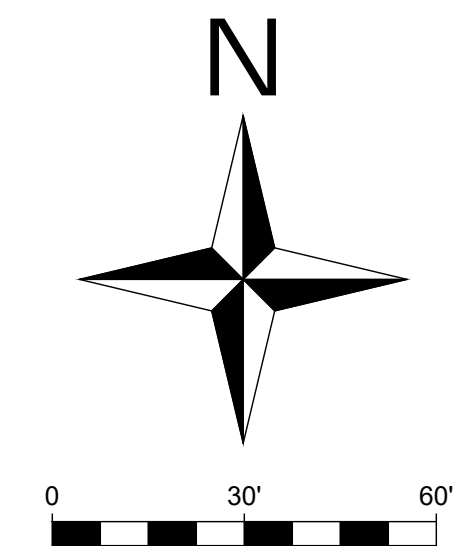
GENERAL NOTES:

- TWO STREET TREES IN PUBLIC RIGHT OF WAY UNDER EXISTING POWER LINES ARE TO BE REMOVED. APPROVAL OF ZONING ADMINISTRATOR REQUIRED. SEE DEMO PLAN FOR APPROXIMATE LOCATIONS AND ADDITIONAL DETAILS.

PLANTING NOTES:

- CONTRACTOR TO VERIFY ALL QUANTITIES.
- ALL PLANTS TO BE ORDERED BY THEIR BOTANICAL NAMES.
- SEE L301 AND L302 FOR DETAILS.

SALT LAKE CITY - CORRIDOR COMMERCIAL ZONE			
LANDSCAPE REQUIREMENTS			
PLANT TYPE	REQUIREMENT	NUMBER REQUIRED	NUMBER PLANNED
STREET TREES - REDWOOD ROAD	1 tree/30 feet	4	4
FRONT YARD TREES	1 tree/25' of frontage	5	5
FRONT YARD SHRUBS	1 shrub/2' of frontage	58	58
OPEN SPACE CALCULATIONS			
	SQUARE FEET		
TOTAL PROPERTY	80,403		
*TOTAL LANDSCAPE	11,602	14.4%	OF TOTAL PROPERTY
*TOTAL TURF AREA	3,113	26.8%	OF TOTAL LANDSCAPE
*TOTAL AREA WATERWISE PLANTS	4,445	38.3%	OF TOTAL LANDSCAPE
*NOT INCLUDING CITY RIGHT OF WAY			



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MARK	DATE	DESCRIPTION

PROJECT #: 21-403
 DRAWN BY: KJ
 REVIEWED BY: JH
 ISSUED: 05.26.2022



DAWSON PLACE



6-PLEX

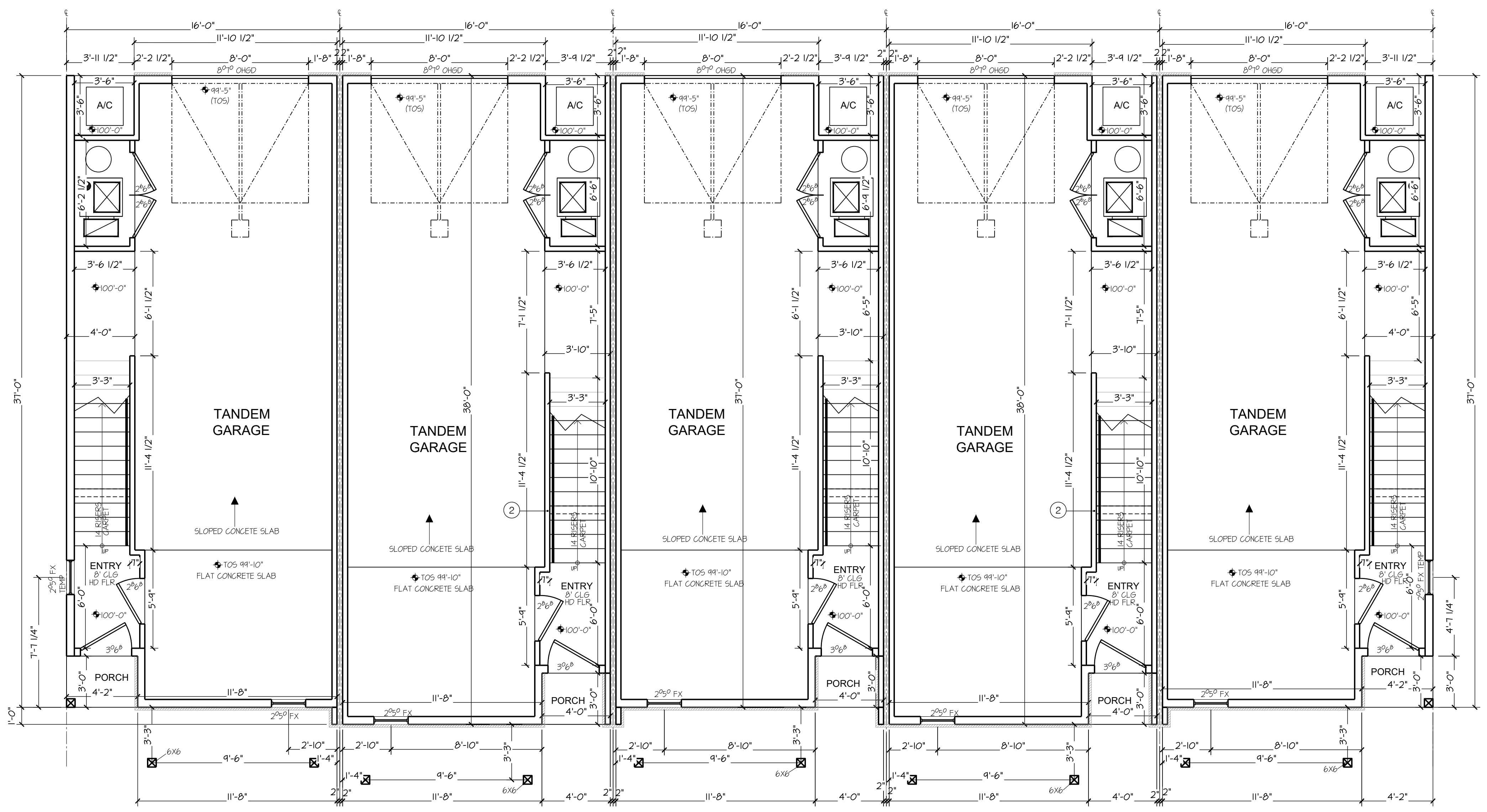
PLAN NOTES

- 4" CONCRETE SLAB SLOPE = 1/4" PER FOOT MIN. TOWARDS OVERHEAD DOOR. ALL BACKFILLED AREAS ARE TO BE MECHANICALLY COMPACTED OR SETTLED SOAKED.
- GARAGE FIRE SEPARATION WALL PER CODE- ALL SURFACES ADJOINING HABITABLE SPACE. FIREWALL SEPARATION TO BE 5/8" TYPE "X" SHEETROCK MINIMUM.
- NOT USED.
- 3" WIDE FIBERGLASS ENTRY DOOR. INSTALL DOOR THRESHOLD AND WEATHER STRIPPING PER CODE. CONCRETE PORCH AND STEPS. SLOPE FOR POSITIVE DRAINAGE.
- COLUMN. SEE STRUCTURAL FOR SIZING.
- WOOD STAIRS PER CODE.
- HANDRAIL WITH GRASPABLE SURFACE TO BE BETWEEN 1-1/4" & 2-5/8". LINE OF WALL ABOVE LINE OF WALL ABOVE.
- LINE OF ROOF ABOVE.
- THE HEIGHT MEASURED TO THE TOP OF THRESHOLD TO LANDING SHOULD NOT EXCEED 7-1/2".
- LAVATORY IN VANITY BASE CABINET WITH COUNTERTOP @ 32" AFF. BACKSPLASH WITH FULL WIDTH MIRROR ABOVE.
- ATTIC ACCESS (22"X30")
- LINE OF CEILING CHANGE.
- OPTIONAL FREEZE PROOF HOSE BIB.
- PEDestal SINK.
- RADON RISER.
- ROD & SHELF.
- DOUBLE ROD AND SHELF.
- (5) SHELVES. (1) 12"D @TOP, (4) 16"D BELOW.
- TEMPERED GLASS SHOWER SURROUND & DOOR.
- 36" H COUNTERTOP WITH BASE CABINET BELOW.
- 12"D UPPER WALL CABINETS, KITCHEN UPPERS: 34" H.
- DOUBLE FRAMING @ WALL FOR GAS LINE.
- CULTURED MARBLE OR TILED TUB/SHOWER SURROUND OVER BACKING PER BUILDER.
- NOT USED.
- GRAY WATER BOX FOR WASHER HOOKUP.
- VENT DRYER DIRECTLY TO EXTERIOR & INSTALL WEATHERHOOD.
- KITCHEN ISLAND @ 36" AFF W/ 12" COUNTERTOP OVERHANG.
- RANGE/OVEN UNIT.
- REFRIGERATOR WITH WATERLINE.
- OPTIONAL GAS LINE FOR BBQ.
- NOT USED.
- NOT USED.
- ONE PIECE SHOWER/TUB PER BUILDER.
- A/C UNIT WITH CONCRETE PAD.
- HALF WALL.
- BALCONY/DECK.
- SEPARATION WALL. REFER TO DETAILS.
- 2x6 INTERIOR WALL.
- NOT USED.
- NOT USED.
- NOT USED.
- HVAC FLUE.
- 2X FLAT FRAMED FURRING. INSULATE PER CODE.
- DIRECT VENT FURNACE. HVAC MAIN TRUNK SIZE PER MANUAL D.
- DIRECT VENT WATER HEATER. INSTALL EXPANSION TANK & SEISMIC TIES WITH HEAT CHECK VALVES REQUIRED AT INLET AND OUTLET.
- FLOOR DRAIN. ALL FLOOR DRAINS SHALL HAVE TAOP PRIMERS OR DEEP SEAL DESIGN.
- HVAC DUCT DROP.
- PROVIDE A SEWER STUB SLEEVE AT EACH UNIT. LOCATION PER PLAN.
- NOT USED.
- 44" MAX. WINDOW SILL HEIGHTS FOR ALL REQUIRED EGRESS WINDOWS PER 2015 IRC.
- DISHWASHER.
- BUILT-IN MICROWAVE.
- WALL MOUNTED 36" H MIN. GUARD RAIL. MAX 4" NET OPENINGS.
- OPT. 2ND VANITY SINK. INCLUDES 2ND VANITY FIXTURE & OUTLET.
- OPT. DROP ZONE, 36" H BASE CABINET, 12"D UPPERS.
- 36" X60" TUB W/ SKIRT.
- FREESTANDING TUB.
- DECK MOUNT FAUCET AT GARDEN TUB.
- NOT USED.
- BENCH W/ CUBBIES AND COAT RACK. SEE DETAIL.
- FIRE RATED DOOR. INSTALL DOOR THRESHOLD AND WEATHER STRIPPING PER CODE.
- 36" SHOWER INSERT.
- FRAME OPENING FOR MEDICINE CABINET. 6" FROM CORNER, 48" FROM FLOOR TO BOTTOM OF OPENING. (R.O. 14"X24")

Design Development Set For Approval

DocuSigned by:
Alicc Myers
1483534028942.
4/4/2022

DocuSigned by:
Tyler McArthur
F87D2E19D8848D.
4/4/2022



1XX-A PLAN 1274 1XX-B PLAN 1290 1XX-C PLAN 1258 1XX-D PLAN 1290 1XX-E PLAN 1274

FIRST FLOOR ASSEMBLY PLAN

McArthur HOMES
 9962 South Redwood Road
 South Jordan, UT 84095
 Phone: (801) 253-9910
 Fax: (801) 253-1095

SCALE: 1/4" = 1'-0" (24X36)
 SCALE: 1/8" = 1'-0" (11X17)

DAWSON PLACE 5-PLEX

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ISSUE	DATE

DRAWN BY	CHECKED

FIRST FLOOR PLAN

Job No.

A101

PLAN NOTES

1. 4" CONCRETE SLAB SLOPE = 1/4" PER FOOT MIN. TOWARDS OVERHEAD DOOR. ALL BACKFILLED AREAS ARE TO BE MECHANICALLY COMPACTED OR SETTLED SOAKED.
2. GARAGE FIRE SEPARATION WALL PER CODE- ALL SURFACES ADJOINING HABITABLE SPACE. FIREWALL SEPARATION TO BE 5/8" TYPE "X" SHEETROCK MINIMUM.
3. NOT USED.
4. 3" WIDE FIBERGLASS ENTRY DOOR. INSTALL DOOR THRESHOLD AND WEATHER STRIPPING PER CODE. CONCRETE PORCH AND STEPS. SLOPE FOR POSITIVE DRAINAGE.
6. COLUMN. SEE STRUCTURAL FOR SIZING.
7. WOOD STAIRS PER CODE.
8. HANDRAIL WITH GRASPABLE SURFACE TO BE BETWEEN 1-1/4" & 2-5/8". LINE OF WALL ABOVE LINE OF WALL ABOVE.
10. LINE OF ROOF ABOVE.
11. THE HEIGHT MEASURED TO THE TOP OF THRESHOLD TO LANDING SHOULD NOT EXCEED 7-1/2".
12. LAVATORY IN VANITY BASE CABINET WITH COUNTERTOP @ 32" AFF. BACKSPLASH WITH FULL WIDTH MIRROR ABOVE.
13. ATTIC ACCESS (22"x30").
14. LINE OF CEILING CHANGE.
15. OPTIONAL FREEZE PROOF HOSE BIB.
16. PEDestal SINK.
17. RADON RISER.
18. ROD & SHELF.
19. DOUBLE ROD AND SHELF.
20. (5) SHELVES. (1) 12"D @TOP, (4) 16"D BELOW.
21. TEMPERED GLASS SHOWER SURROUND & DOOR.
22. 36"H COUNTERTOP WITH BASE CABINET BELOW.
23. 12"D UPPER WALL CABINETS, KITCHEN UPPERS: 34"H.
24. DOUBLE FRAMING @ WALL FOR GAS LINE. CULTURED MARBLE OR TILED TUB/SHOWER SURROUND OVER BACKING PER BUILDER.
26. NOT USED.
27. GRAY WATER BOX FOR WASHER HOOKUP.
28. VENT DRYER DIRECTLY TO EXTERIOR & INSTALL WEATHERHOOD.
29. KITCHEN ISLAND @ 36" AFF W/ 12" COUNTERTOP OVERHANG.
30. RANGE/OVEN UNIT.
31. REFRIGERATOR WITH WATERLINE.
32. OPTIONAL GAS LINE FOR BBQ.
33. NOT USED.
34. NOT USED.
35. ONE PIECE SHOWER/TUB PER BUILDER.
36. A/C UNIT WITH CONCRETE PAD.
37. HALF WALL.
38. BALCONY/DECK.
39. SEPARATION WALL. REFER TO DETAILS.
40. 2x6 INTERIOR WALL.
41. NOT USED.
42. NOT USED.
43. NOT USED.
44. HVAC FLUE.
45. 2X FLAT FRAMED FURRING. INSULATE PER CODE.
46. DIRECT VENT FURNACE. HVAC MAIN TRUNK SIZE PER MANUAL D.
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52. 44" MAX. WINDOW SILL HEIGHTS FOR ALL REQUIRED EGRESS WINDOWS PER 2015 IRC.
53. DISHWASHER.
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59. FREESTANDING TUB.
60. DECK MOUNT FAUCET AT GARDEN TUB.
61. NOT USED.
62. BENCH W/ CUBBIES AND COAT RACK. SEE DETAIL.
63. FIRE RATED DOOR. INSTALL DOOR THRESHOLD AND WEATHER STRIPPING PER CODE.
64. 36" SHOWER INSERT.
65. FRAME OPENING FOR MEDICINE CABINET. 6" FROM CORNER, 48" FROM FLOOR TO BOTTOM OF OPENING. (R.O. 14"x24")

Design Development Set For Approval

DocuSigned by:
Alec Myers
1408EAC08904C2

DocuSigned by:
Tyler McArthur
1F8D2E196D8848D



**1XX-A
PLAN 1274**

**1XX-B
PLAN 1290**

**1XX-C
PLAN 1258**

**1XX-D
PLAN 1290
W/ OPT. POWDER**

**1XX-E
PLAN 1274**

SECOND FLOOR ASSEMBLY PLAN

**McArthur
HOMES**

9962 South Redwood Road
South Jordan, UT 84095
Phone: (801) 253-9910
Fax: (801) 253-1095

SCALE: 1/4" = 1'-0" (24X36)
SCALE: 1/8" = 1'-0" (11X17)

**DAWSON PLACE
5-PLEX**

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ISSUE	DATE

DRAWN BY	CHECKED
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SECOND FLOOR
PLAN

Job No.

A102

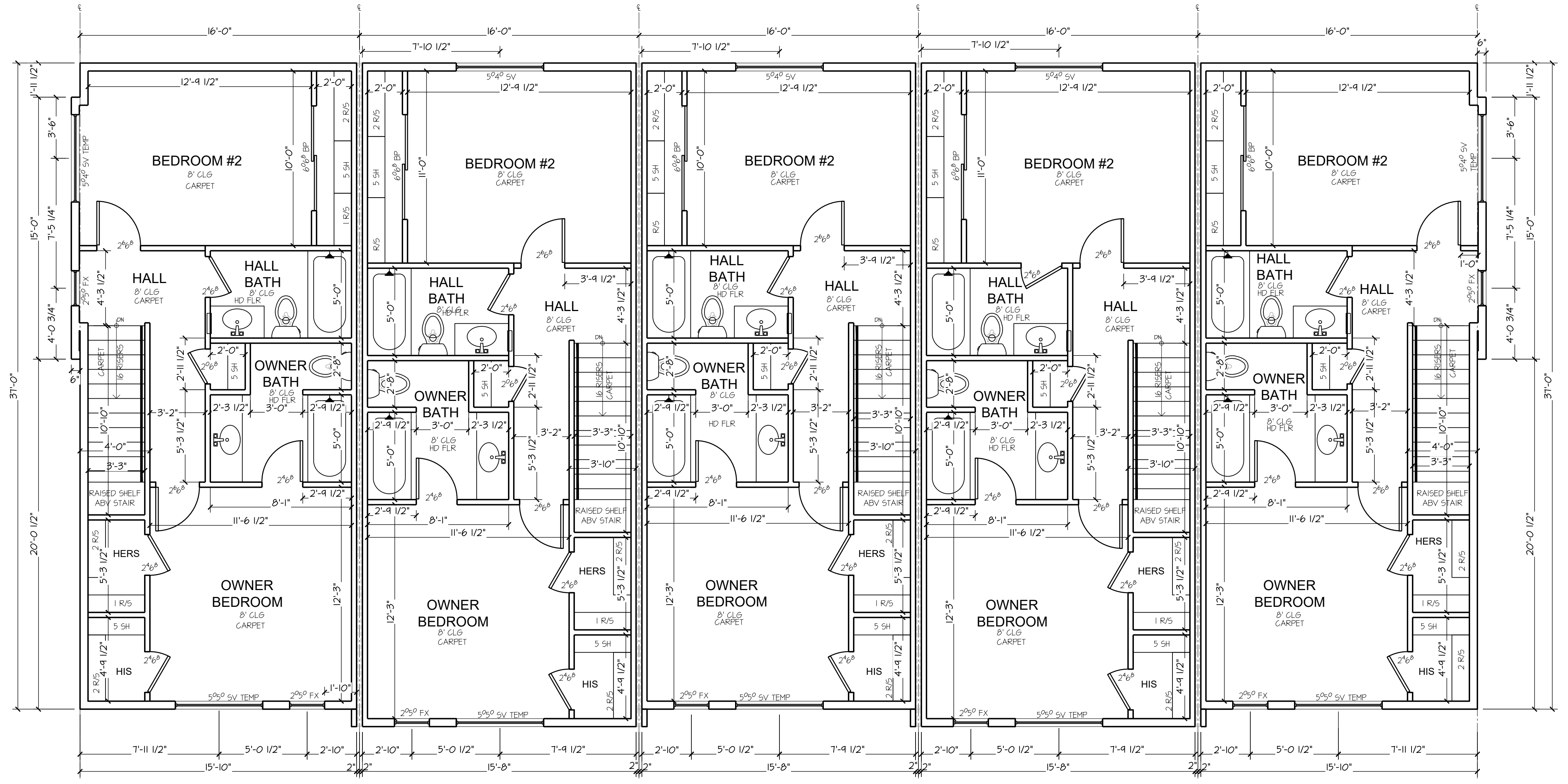
PLAN NOTES

- 4" CONCRETE SLAB SLOPE = 1/4" PER FOOT MIN. TOWARDS OVERHEAD DOOR. ALL BACKFILLED AREAS ARE TO BE MECHANICALLY COMPACTED OR SETTLED SOAKED.
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- NOT USED.
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- COLUMN. SEE STRUCTURAL FOR SIZING.
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- LINE OF CEILING CHANGE.
- OPTIONAL FREEZE PROOF HOSE BIB.
- PEDestal SINK.
- RADON RISER.
- ROD & SHELF.
- DOUBLE ROD AND SHELF.
- (5) SHELVES. (1) 12" @TOP, (4) 16" BELOW.
- TEMPERED GLASS SHOWER SURROUND & DOOR.
- 36" H COUNTERTOP WITH BASE CABINET BELOW.
- 12" D UPPER WALL CABINETS, KITCHEN UPPERS: 34" H.
- DOUBLE FRAMING @ WALL FOR GAS LINE.
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- RANGE/OVEN UNIT.
- REFRIGERATOR WITH WATERLINE.
- OPTIONAL GAS LINE FOR BBQ.
- NOT USED.
- NOT USED.
- ONE PIECE SHOWER/TUB PER BUILDER.
- AVC UNIT WITH CONCRETE PAD.
- HALF WALL.
- BALCONY/DECK.
- SEPARATION WALL. REFER TO DETAILS.
- 2x6 INTERIOR WALL.
- NOT USED.
- NOT USED.
- NOT USED.
- HVAC FLUE.
- 2X FLAT FRAMED FURRING. INSULATE PER CODE.
- DIRECT VENT FURNACE. HVAC MAIN TRUNK SIZE PER MANUAL D.
- DIRECT VENT WATER HEATER. INSTALL EXPANSION TANK & SEISMIC TIES WITH HEAT CHECK VALVES REQUIRED AT INLET AND OUTLET.
- FLOOR DRAIN. ALL FLOOR DRAINS SHALL HAVE TAOP PRIMERS OR DEEP SEAL DESIGN.
- HVAC DUCT DROP.
- PROVIDE A SEWER STUB SLEEVE AT EACH UNIT. LOCATION PER PLAN.
- NOT USED.
- 44" MAX. WINDOW SILL HEIGHTS FOR ALL REQUIRED EGRESS WINDOWS PER 2015 IRC.
- DISHWASHER.
- BUILT-IN MICROWAVE.
- WALL MOUNTED 36" H MIN. GUARD RAIL. MAX 4" NET OPENINGS.
- OPT. 2ND VANITY SINK. INCLUDES 2ND VANITY FIXTURE & OUTLET.
- OPT. DROP ZONE, 36" H BASE CABINET, 12" D UPPERS.
- 36"x60" TUB W/ SKIRT.
- FREESTANDING TUB.
- DECK MOUNT FAUCET AT GARDEN TUB.
- NOT USED.
- BENCH W/ CUBBIES AND COAT RACK. SEE DETAIL.
- FIRE RATED DOOR. INSTALL DOOR THRESHOLD AND WEATHER STRIPPING PER CODE.
- 36" SHOWER INSERT.
- FRAME OPENING FOR MEDICINE CABINET. 6" FROM CORNER, 48" FROM FLOOR TO BOTTOM OF OPENING. (R.O. 14"x24")

Design Development Set For Approval

DocuSigned by:
Alic Myers
1468EAC089C4C2

DocuSigned by:
Tyler McArthur
F97D2E19D8848D



1XX-A
PLAN 1274

1XX-B
PLAN 1290

1XX-C
PLAN 1258

1XX-D
PLAN 1290
W/ OPT. POWDER

1XX-E
PLAN 1274

THIRD FLOOR ASSEMBLY PLAN

McArthur HOMES

9962 South Redwood Road
South Jordan, UT 84095
Phone: (801) 253-9910
Fax: (801) 253-1095

SCALE: 1/4" = 1'-0" (24X36)
SCALE: 1/8" = 1'-0" (11X17)

DAWSON PLACE 5-PLEX

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THIRD FLOOR PLAN

Job No.

A103

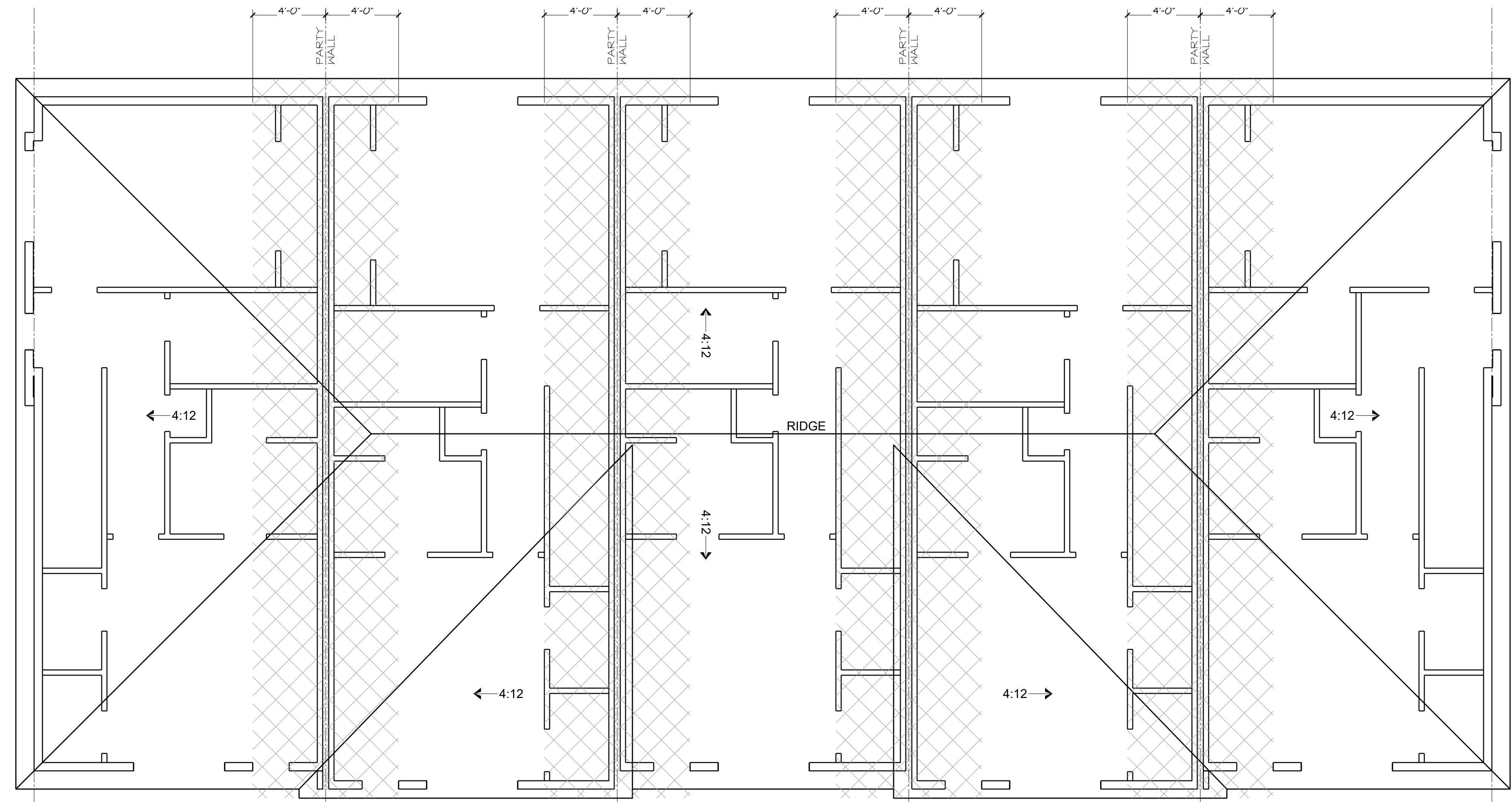
PLAN NOTES

- 1. 4" CONCRETE SLAB SLOPE = 1/4" PER FOOT MIN. TOWARDS OVERHEAD DOOR. ALL BACKFILLED AREAS ARE TO BE MECHANICALLY COMPACTED OR SETTLED SOAKED.
- 2. GARAGE FIRE SEPARATION WALL PER CODE- ALL SURFACES ADJOINING HABITABLE SPACE. FIREWALL SEPARATION TO BE 5/8" TYPE "X" SHEETROCK MINIMUM.
- 3. NOT USED.
- 4. 3" WIDE FIBERGLASS ENTRY DOOR. INSTALL DOOR THRESHOLD AND WEATHER STRIPPING PER CODE.
- 5. CONCRETE PORCH AND STEPS. SLOPE FOR POSITIVE DRAINAGE.
- 6. COLUMN. SEE STRUCTURAL FOR SIZING.
- 7. WOOD STAIRS PER CODE.
- 8. HANDRAIL WITH GRASPABLE SURFACE TO BE BETWEEN 1-1/4" & 2-5/8". LINE OF WALL ABOVE.
- 9. LINE OF WALL ABOVE.
- 10. LINE OF ROOF ABOVE.
- 11. THE HEIGHT MEASURED TO THE TOP OF THRESHOLD TO LANDING SHOULD NOT EXCEED 7-1/2".
- 12. LAVATORY IN VANITY BASE CABINET WITH COUNTERTOP @ 32" AFF. BACKSPLASH WITH FULL WIDTH MIRROR ABOVE.
- 13. ATTIC ACCESS (22'X30')
- 14. LINE OF CEILING CHANGE.
- 15. OPTIONAL FREEZE PROOF HOSE BIB.
- 16. PEDESTAL SINK.
- 17. RADON RISER.
- 18. ROD & SHELF.
- 19. DOUBLE ROD AND SHELF.
- 20. (5) SHELVES. (1) 12"D @TOP, (4) 16"D BELOW.
- 21. TEMPERED GLASS SHOWER SURROUND & DOOR.
- 22. 36"H COUNTERTOP WITH BASE CABINET BELOW.
- 23. 12"D UPPER WALL CABINETS, KITCHEN UPpers: 34"H.
- 24. DOUBLE FRAMING @ WALL FOR GAS LINE.
- 25. CULTURED MARBLE OR TILED TUB/SHOWER SURROUND OVER BACKING PER BUILDER.
- 26. NOT USED.
- 27. GRAY WATER BOX FOR WASHER HOOKUP.
- 28. VENT DRYER DIRECTLY TO EXTERIOR & INSTALL WEATHERHOOD.
- 29. KITCHEN ISLAND @ 36" AFF W/ 12" COUNTERTOP OVERHANG.
- 30. RANGE/OVEN UNIT.
- 31. REFRIGERATOR WITH WATERLINE.
- 32. OPTIONAL GAS LINE FOR BBQ.
- 33. NOT USED.
- 34. NOT USED.
- 35. ONE PIECE SHOWER/TUB PER BUILDER.
- 36. AVG UNIT WITH CONCRETE PAD.
- 37. HALF WALL.
- 38. BALCONY/DECK.
- 39. SEPARATION WALL. REFER TO DETAILS.
- 40. 2x6 INTERIOR WALL.
- 41. NOT USED.
- 42. NOT USED.
- 43. NOT USED.
- 44. HVAC FLUE.
- 45. 2X FLAT FRAMED FURRING. INSULATE PER CODE.
- 46. DIRECT VENT FURNACE. HVAC MAIN TRUNK SIZE PER MANUAL D.
- 47. DIRECT VENT WATER HEATER. INSTALL EXPANSION TANK & SEISMIC TIES WITH HEAT CHECK VALVES REQUIRED AT INLET AND OUTLET.
- 48. FLOOR DRAIN. ALL FLOOR DRAINS SHALL HAVE TAOP PRIMERS OR DEEP SEAL DESIGN.
- 49. HVAC DUCT DROP.
- 50. PROVIDE A SEWER STUB SLEEVE AT EACH UNIT. LOCATION PER PLAN.
- 51. NOT USED.
- 52. 44" MAX. WINDOW SILL HEIGHTS FOR ALL REQUIRED EGRESS WINDOWS PER 2015 IRC.
- 53. DISHWASHER.
- 54. BUILT-IN MICROWAVE.
- 55. WALL MOUNTED 36"H MIN. GUARD RAIL. MAX 4" NET OPENINGS.
- 56. OPT. 2ND VANITY SINK. INCLUDES 2nd VANITY FIXTURE & OUTLET.
- 57. OPT. DROP ZONE. 36"H BASE CABINET, 12"D UPPER.
- 58. 36"X60" TUB W/ SKIRT.
- 59. FREESTANDING TUB.
- 60. DECK MOUNT FAUCET AT GARDEN TUB.
- 61. NOT USED.
- 62. BENCH W/ CUBBIES AND COAT RACK. SEE DETAIL.
- 63. FIRE RATED DOOR. INSTALL DOOR THRESHOLD AND WEATHER STRIPPING PER CODE.
- 64. 36" SHOWER INSERT.
- 65. FRAME OPENING FOR MEDICINE CABINET. 6" FROM CORNER, 48" FROM FLOOR TO BOTTOM OF OPENING. (R.O. 14"X24")

Design Development Set For Approval

DocuSigned by:
Alic Myers
1408EAC089C4C2

DocuSigned by:
Tyler McArthur
F4F22E19E0B04ED



SCALE: 1/4" = 1'-0" (24X36)
SCALE: 1/8" = 1'-0" (11X11)

DAWSON PLACE 5-PLEX

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ROOF PLAN

Job No.

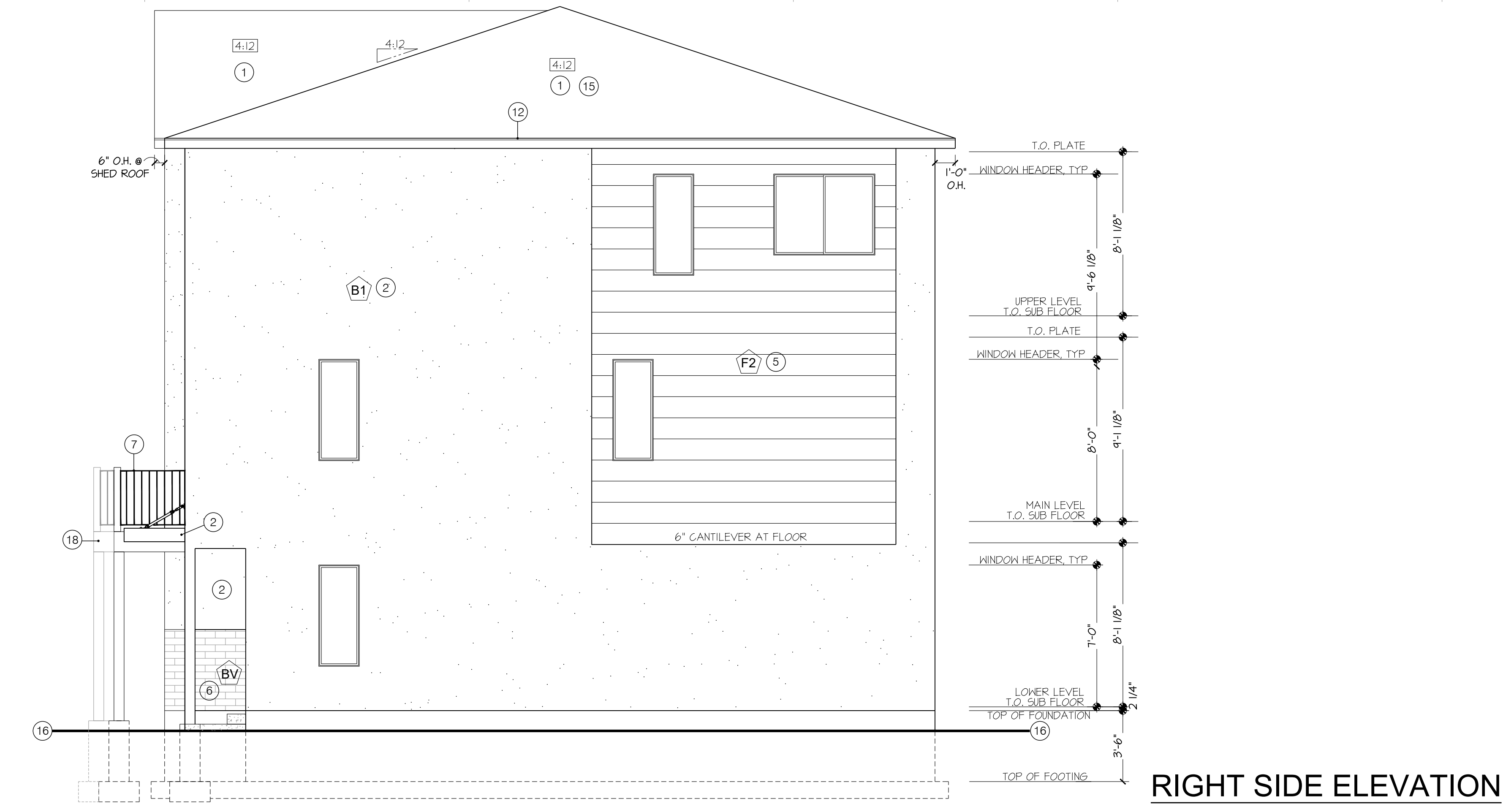
A104

ROOF PLAN

Design Development Set For Approval



FRONT ELEVATION



RIGHT SIDE ELEVATION

- ELEVATION NOTES KEY**
1. ASPHALT ROOF SHINGLES
 2. STUCCO, SAND FINISH
 3. VERTICAL METAL PBV 1BQ 7.2
 4. PREFAB METAL AWNING
 5. 12" SMOOTH SIDING W SIMPLICITY CORNERS
 6. BRICK VENEER
 7. RAILING: CHOICE OF TAN/GRAY VINYL OR BLACK METAL OR COMPOSITE MATERIALS.
 8. GARAGE DOOR (8'X7')
 9. THICK JOINT DETAIL @STUCCO
 10. DRIP EDGE FLASHING
 11. LINE OF CEILING BEYOND
 12. 6" FASCIA
 13. CONCRETE PORCH SLAB WITH STEPS TO GRADE
 14. STUCCO GARAGE WRAP
 15. ROOF VENTS AS REQUIRED
 16. FINISHED GRADE
 17. DOWNSPOUT
 18. COMPOSITE DECK OVER DIMENSIONAL FRAMING

- M** METAL ACCENT: CORRUGATED STEEL
- B1** STUCCO BODY COLOR 1
- B2** STUCCO BODY COLOR 2
- BV** BRICK VENEER
- F2** FIBER CEMENT SIDING ACCENT BODY COLOR 2

McArthur HOMES

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Phone: (801) 253-9910
Fax: (801) 253-1095

SCALE: 1/4" = 1'-0" (24X36)
SCALE: 1/8" = 1'-0" (11X17)

DAWSON PLACE 5-PLEX

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ISSUE	DATE

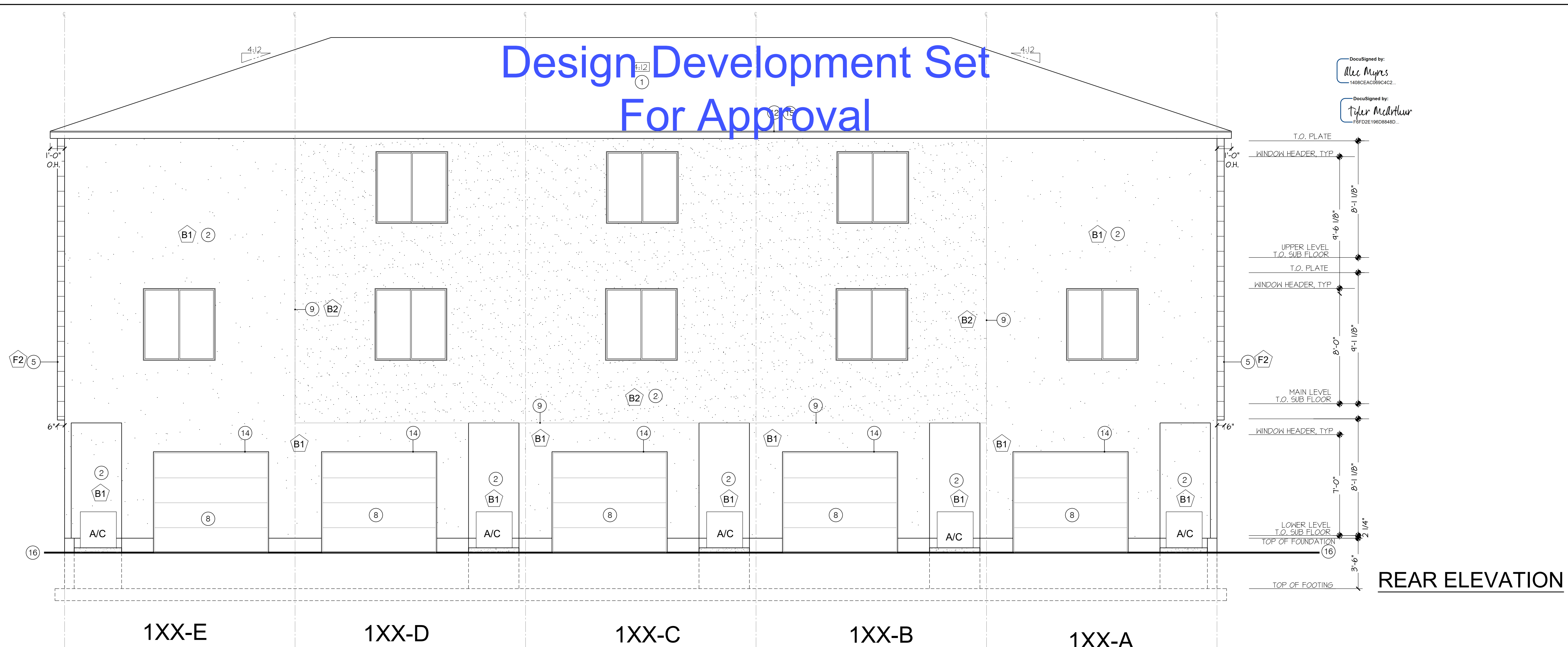
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Elevations

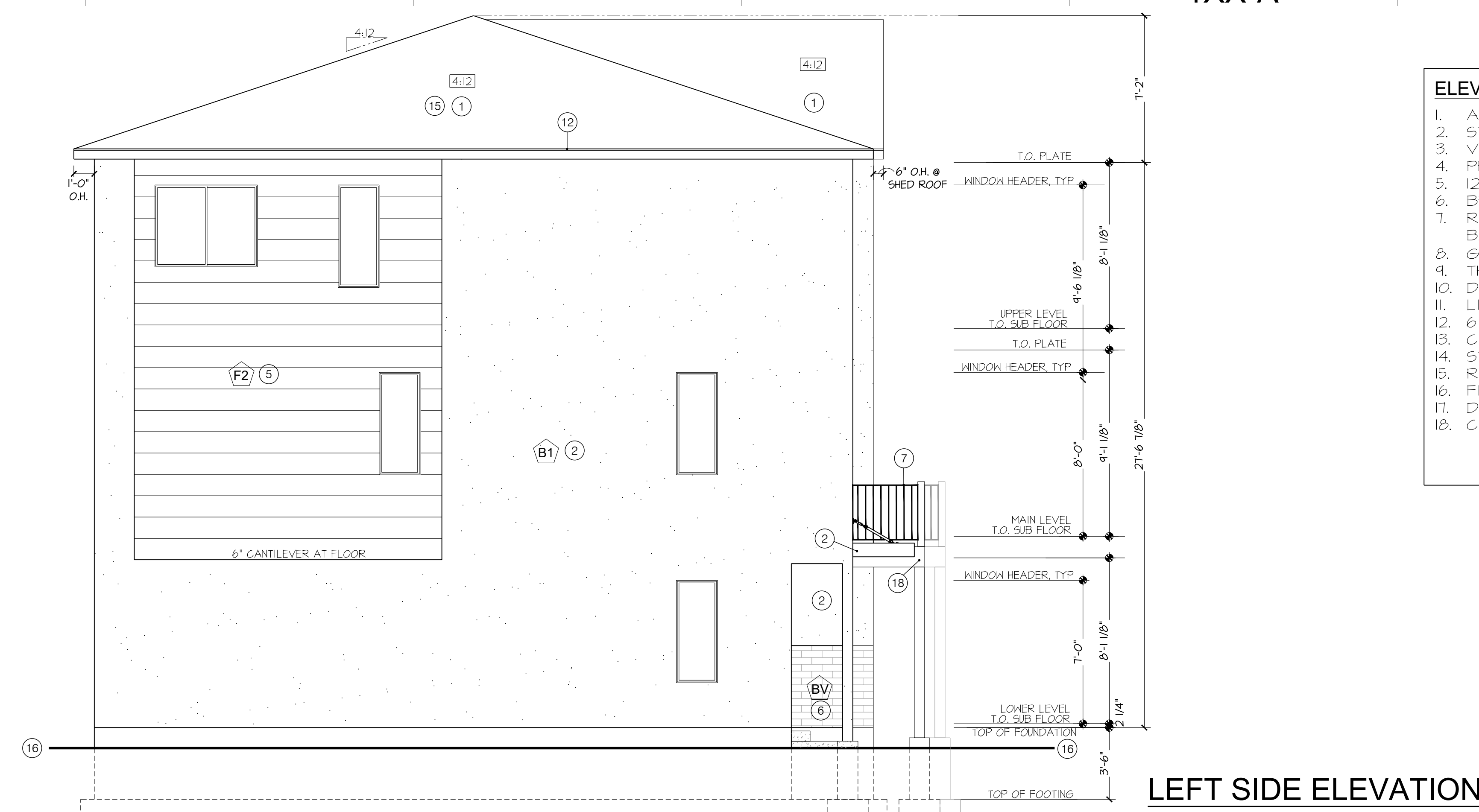
Job No.

A201

Design Development Set For Approval



REAR ELEVATION



LEFT SIDE ELEVATION

- ELEVATION NOTES KEY**
1. ASPHALT ROOF SHINGLES
 2. STUCCO, SAND FINISH
 3. VERTICAL METAL PBV IBQ 7.2
 4. PREFAB METAL AWNING
 5. 12" SMOOTH SIDING W/ SIMPLICITY CORNERS
 6. BRICK VENEER
 7. RAILING: CHOICE OF TAN/GRAY VINYL OR BLACK METAL OR COMPOSITE MATERIALS.
 8. GARAGE DOOR (8'X7')
 9. THICK JOINT DETAIL @STUCCO
 10. DRIP EDGE FLASHING
 11. LINE OF CEILING BEYOND
 12. 6" FASCIA
 13. CONCRETE PORCH SLAB WITH STEPS TO GRADE
 14. STUCCO GARAGE WRAP
 15. ROOF VENTS AS REQUIRED
 16. FINISHED GRADE
 17. DOWNSPOUT
 18. COMPOSITE DECK OVER DIMENSIONAL FRAMING

- M** METAL ACCENT: CORRUGATED STEEL
- B1** STUCCO BODY COLOR 1
- B2** STUCCO BODY COLOR 2
- BV** BRICK VENEER
- F2** FIBER CEMENT SIDING ACCENT BODY COLOR 2

DocuSigned by:
Alec Myers
1408CEAC089C4C2

DocuSigned by:
Toler McArthur
F8FD2E196C884ED

McArthur HOMES

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South Jordan, UT 84095
Phone: (801) 253-9910
Fax: (801) 253-1095

SCALE: 1/4" = 1'-0" (24X36)
SCALE: 1/8" = 1'-0" (11X17)

DAWSON PLACE 5-PLEX

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ISSUE	DATE

Job No.
A202

PLAN NOTES

1. 4" CONCRETE SLAB SLOPE = 1/4" PER FOOT MIN. TOWARDS OVERHEAD DOOR. ALL BACKFILLED AREAS ARE TO BE MECHANICALLY COMPACTED OR SETTLED SOAKED.
2. GARAGE FIRE SEPARATION WALL PER CODE- ALL SURFACES ADJOINING HABITABLE SPACE. FIREWALL SEPARATION TO BE 5/8" TYPE "X" SHEETROCK MINIMUM.
3. NOT USED.
4. 3" WIDE FIBERGLASS ENTRY DOOR. INSTALL DOOR THRESHOLD AND WEATHER STRIPPING PER CODE. CONCRETE PORCH AND STEPS. SLOPE FOR POSITIVE DRAINAGE.
6. COLUMN. SEE STRUCTURAL FOR SIZING.
7. WOOD STAIRS PER CODE.
8. HANDRAIL WITH GRASPABLE SURFACE TO BE BETWEEN 1-1/4" & 2-5/8". LINE OF WALL ABOVE LINE OF WALL ABOVE.
10. LINE OF ROOF ABOVE.
11. THE HEIGHT MEASURED TO THE TOP OF THRESHOLD TO LANDING SHOULD NOT EXCEED 7-1/2".
12. LAVATORY IN VANITY BASE CABINET WITH COUNTERTOP @ 32" AFF. BACKSPLASH WITH FULL WIDTH MIRROR ABOVE.
13. ATTIC ACCESS (22'X30')
14. LINE OF CEILING CHANGE.
15. OPTIONAL FREEZE PROOF HOSE BIB.
16. PEDestal SINK.
17. RADON RISER.
18. ROD & SHELF.
19. DOUBLE ROD AND SHELF.
20. (5) SHELVES. (1) 12"D @TOP, (4) 16"D BELOW.
21. TEMPERED GLASS SHOWER SURROUND & DOOR.
22. 36"H COUNTERTOP WITH BASE CABINET BELOW.
23. 12"D UPPER WALL CABINETS, KITCHEN UPPERS; 34"H.
24. DOUBLE FRAMING @ WALL FOR GAS LINE.
25. CULTURED MARBLE OR TILED TUB/SHOWER SURROUND OVER BACKING PER BUILDER.
26. NOT USED.
27. GRAY WATER BOX FOR WASHER HOOKUP.
28. VENT DRYER DIRECTLY TO EXTERIOR & INSTALL WEATHERHOOD.
29. KITCHEN ISLAND @ 36" AFF W/ 12" COUNTERTOP OVERHANG.
30. RANGE/OVEN UNIT.
31. REFRIGERATOR WITH WATERLINE.
32. OPTIONAL GAS LINE FOR BBQ.
33. NOT USED.
34. NOT USED.
35. ONE PIECE SHOWER/TUB PER BUILDER.
36. A/C UNIT WITH CONCRETE PAD.
37. HALF WALL.
38. BALCONY/DECK.
39. SEPARATION WALL. REFER TO DETAILS.
40. 2x6 INTERIOR WALL.
41. NOT USED.
42. NOT USED.
43. NOT USED.
44. HVAC FLUE.
45. 2X FLAT FRAMED FURRING. INSULATE PER CODE.
46. DIRECT VENT FURNACE. HVAC MAIN TRUNK SIZE PER MANUAL D.
47. DIRECT VENT WATER HEATER. INSTALL EXPANSION TANK & SEISMIC TIES WITH HEAT CHECK VALVES REQUIRED AT INLET AND OUTLET.
48. FLOOR DRAIN. ALL FLOOR DRAINS SHALL HAVE TAOP PRIMERS OR DEEP SEAL DESIGN.
49. HVAC DUCT DROP.
50. PROVIDE A SEWER STUB SLEEVE AT EACH UNIT. LOCATION PER PLAN.
51. NOT USED.
52. 44" MAX. WINDOW SILL HEIGHTS FOR ALL REQUIRED EGRESS WINDOWS PER 2015 IRC.
53. DISHWASHER.
54. BUILT-IN MICROWAVE.
55. WALL MOUNTED 36"H MIN. GUARD RAIL. MAX 4" NET OPENINGS.
56. OPT. 2ND VANITY SINK. INCLUDES 2ND VANITY FIXTURE & OUTLET.
57. OPT. DROP ZONE, 36"H BASE CABINET, 12"D UPPERS.
58. 36"X60" TUB W/ SKIRT.
59. FREESTANDING TUB.
60. DECK MOUNT FAUCET AT GARDEN TUB.
61. NOT USED.
62. BENCH W/ CUBBIES AND COAT RACK. SEE DETAIL.
63. FIRE RATED DOOR. INSTALL DOOR THRESHOLD AND WEATHER STRIPPING PER CODE.
64. 36" SHOWER INSERT.
65. FRAME OPENING FOR MEDICINE CABINET. 6" FROM CORNER, 48" FROM FLOOR TO BOTTOM OF OPENING. (R.O. 14"X24")

Design Development Set For Approval

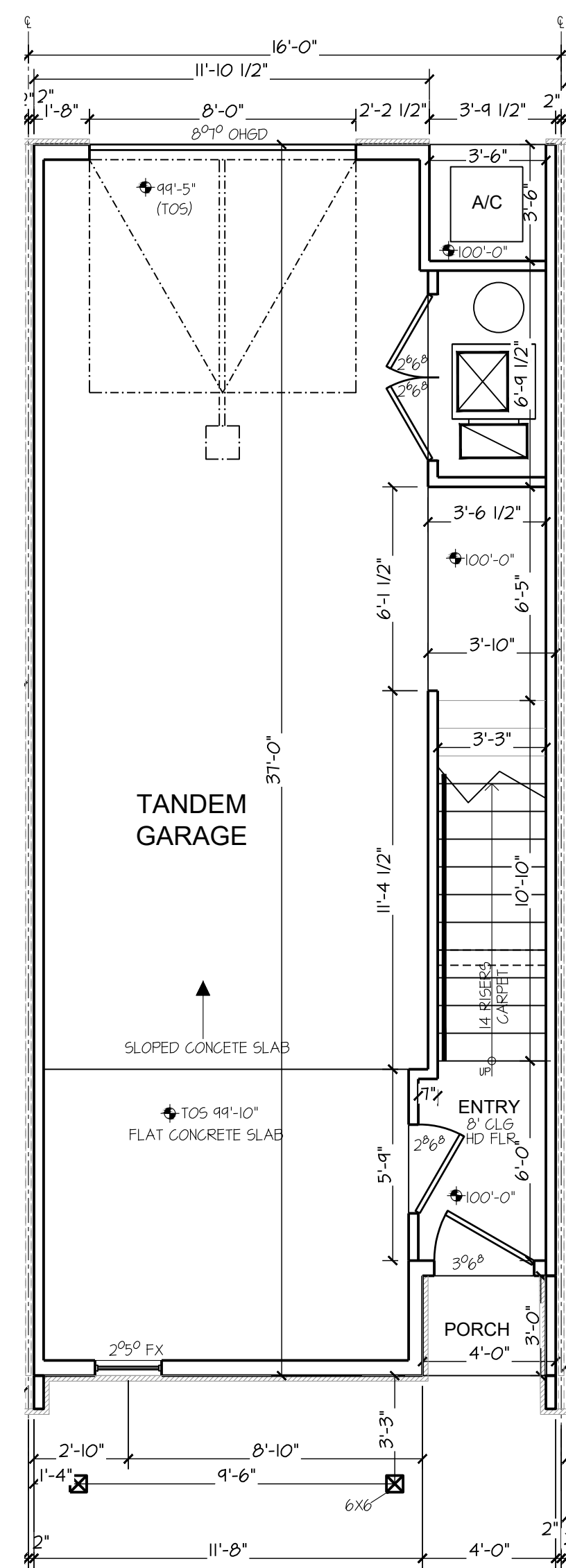
DocuSigned by:
Alex Myers
14302CAC089C42

DocuSigned by:
Tyler McArthur
F8FD2E196D8848D

McArthur
HOMES

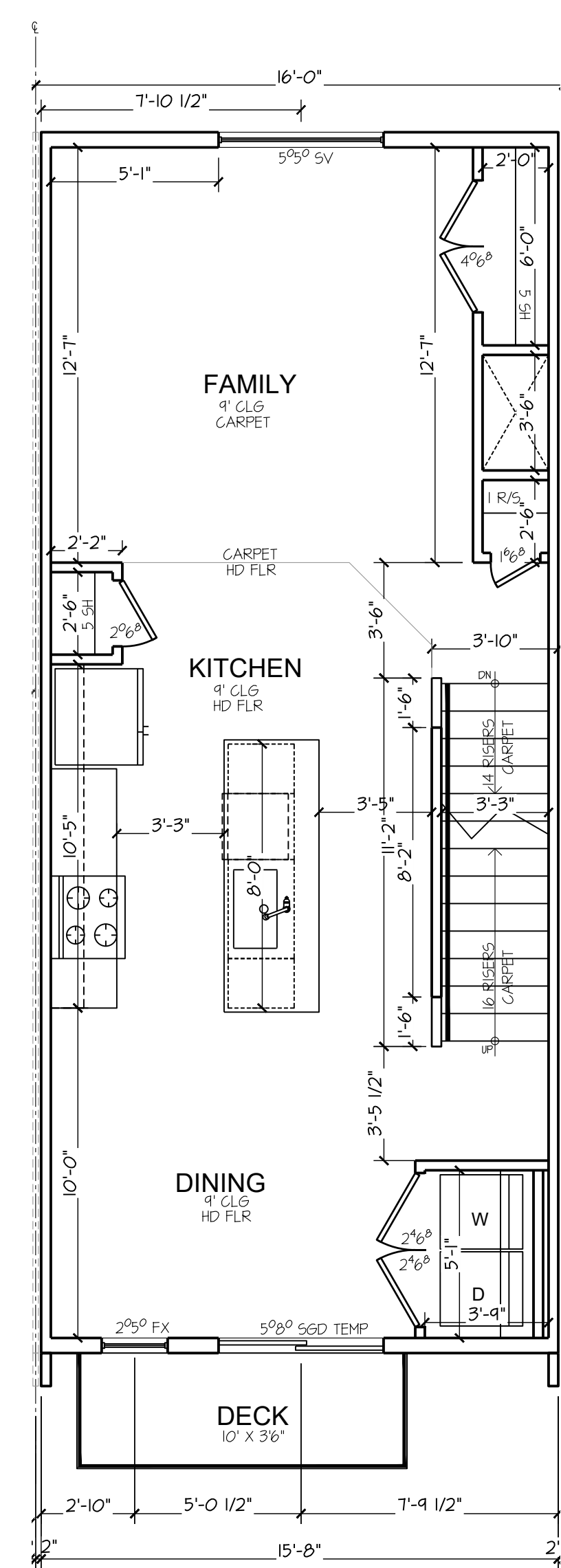
M

9962 South Redwood Road
South Jordan, UT 84095
Phone: (801) 253-9910
Fax: (801) 253-1095



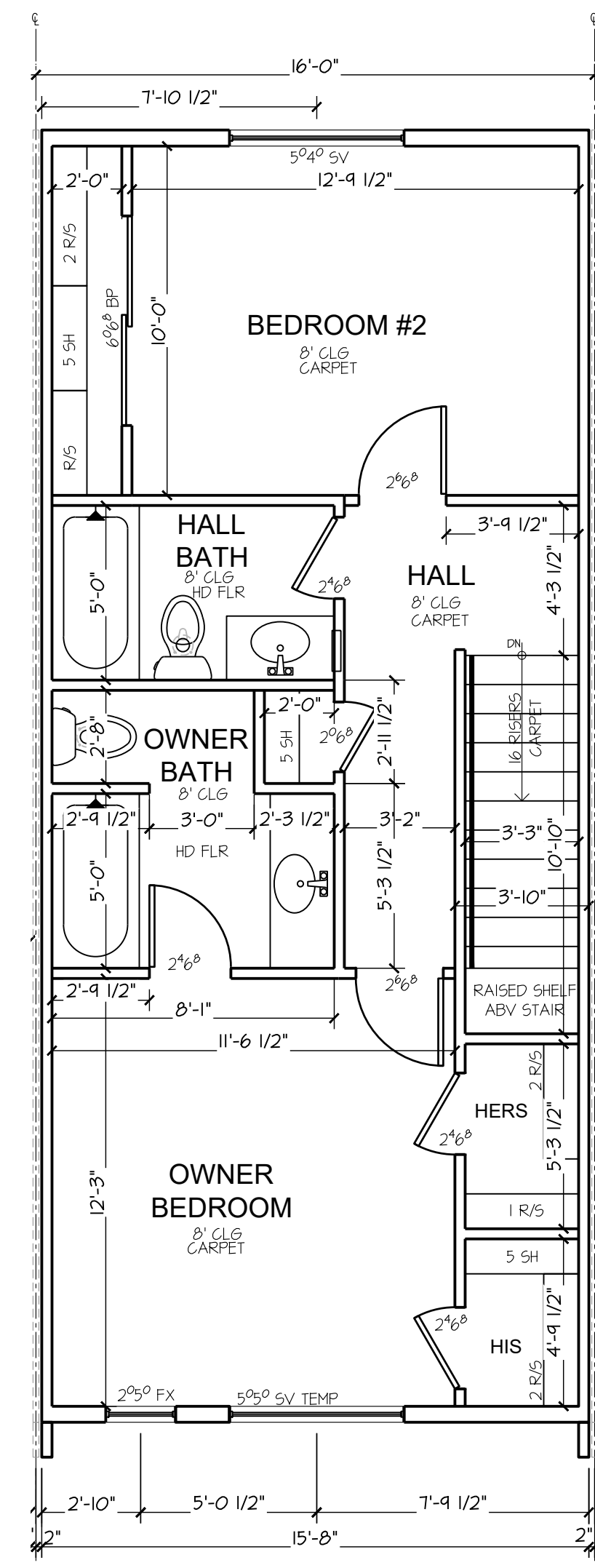
**1XX-C
PLAN 1258**

FIRST FLOOR
SCALE: 1/4" = 1'-0" (24X36)
SCALE: 1/8" = 1'-0" (11X17)



**1XX-C
PLAN 1258**

SECOND FLOOR
SCALE: 1/4" = 1'-0" (24X36)
SCALE: 1/8" = 1'-0" (11X17)



**1XX-C
PLAN 1258**

THIRD FLOOR
SCALE: 1/4" = 1'-0" (24X36)
SCALE: 1/8" = 1'-0" (11X17)

DAWSON
PLAN 1258

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ISSUE	DATE

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1258 PLANS

Job No.

A131

PLAN NOTES


1. 4" CONCRETE SLAB SLOPE = 1/4" PER FOOT MIN. TOWARDS OVERHEAD DOOR. ALL BACKFILLED AREAS ARE TO BE MECHANICALLY COMPACTED OR SETTLED SOAKED.
2. GARAGE FIRE SEPARATION WALL PER CODE- ALL SURFACES ADJOINING HABITABLE SPACE, FIREWALL SEPARATION TO BE 5/8" TYPE "X" SHEETROCK MINIMUM.
3. NOT USED.
4. 3" WIDE FIBERGLASS ENTRY DOOR. INSTALL DOOR THRESHOLD AND WEATHER STRIPPING PER CODE. CONCRETE PORCH AND STEPS. SLOPE FOR POSITIVE DRAINAGE.
6. COLUMN. SEE STRUCTURAL FOR SIZING.
7. WOOD STAIRS PER CODE.
8. HANDRAIL WITH GRASPABLE SURFACE TO BE BETWEEN 1-1/4" & 2-5/8". LINE OF WALL ABOVE LINE OF WALL ABOVE.
10. LINE OF ROOF ABOVE.
11. THE HEIGHT MEASURED TO THE TOP OF THRESHOLD TO LANDING SHOULD NOT EXCEED 7-1/2".
12. LAVATORY IN VANITY BASE CABINET WITH COUNTERTOP @ 32" AFF. BACKSPLASH WITH FULL WIDTH MIRROR ABOVE.
13. ATTIC ACCESS (22'X30')
14. LINE OF CEILING CHANGE.
15. OPTIONAL FREEZE PROOF HOSE BIB.
16. PEDestal SINK.
17. RADON RISER.
18. ROD & SHELF.
19. DOUBLE ROD AND SHELF.
20. (5) SHELVES. (1) 12"D @TOP, (4) 16"D BELOW.
21. TEMPERED GLASS SHOWER SURROUND & DOOR.
22. 36"H COUNTERTOP WITH BASE CABINET BELOW.
23. 12"D UPPER WALL CABINETS, KITCHEN UPpers: 34"H.
24. DOUBLE FRAMING @ WALL FOR GAS LINE CULTURED MARBLE OR TILED TUB/SHOWER SURROUND OVER BACKING PER BUILDER.
26. NOT USED.
27. GRAY WATER BOX FOR WASHER HOOKUP.
28. VENT DRYER DIRECTLY TO EXTERIOR & INSTALL WEATHERHOOD.
29. KITCHEN ISLAND @ 36" AFF W/ 12" COUNTERTOP OVERHANG.
30. RANGE/OVEN UNIT.
31. REFRIGERATOR WITH WATERLINE.
32. OPTIONAL GAS LINE FOR BBQ.
33. NOT USED.
34. NOT USED.
35. ONE PIECE SHOWER/TUB PER BUILDER.
36. A/C UNIT WITH CONCRETE PAD.
37. HALF WALL.
38. BALCONY/DECK.
39. SEPARATION WALL. REFER TO DETAILS.
40. 2x6 INTERIOR WALL.
41. NOT USED.
42. NOT USED.
43. NOT USED.
44. HVAC FLUE.
45. 2X FLAT FRAMED FURRING, INSULATE PER CODE.
46. DIRECT VENT FURNACE. HVAC MAIN TRUNK SIZE PER MANUAL D.
47. DIRECT VENT WATER HEATER. INSTALL EXPANSION TANK & SEISMIC TIES WITH HEAT CHECK VALVES REQUIRED AT INLET AND OUTLET.
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49. HVAC DUCT DROP.
50. PROVIDE A SEWER STUB SLEEVE AT EACH UNIT. LOCATION PER PLAN.
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52. 44" MAX. WINDOW SILL HEIGHTS FOR ALL REQUIRED EGRESS WINDOWS PER 2015 IRC.
53. DISHWASHER.
54. BUILT-IN MICROWAVE.
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56. OPT. 2ND VANITY SINK. INCLUDES 2ND VANITY FIXTURE & OUTLET.
57. OPT. DROP ZONE, 36"H BASE CABINET, 12"D UPpers.
58. 36"X60" TUB W/ SKIRT.
59. FREESTANDING TUB.
60. DECK MOUNT FAUCET AT GARDEN TUB.
61. NOT USED.
62. BENCH W/ CUBBIES AND COAT RACK. SEE DETAIL.
63. FIRE RATED DOOR. INSTALL DOOR THRESHOLD AND WEATHER STRIPPING PER CODE.
64. 36" SHOWER INSERT.
65. FRAME OPENING FOR MEDICINE CABINET. 6" FROM CORNER, 48" FROM FLOOR TO BOTTOM OF OPENING. (R.O. 14"X24")

Design Development Set For Approval

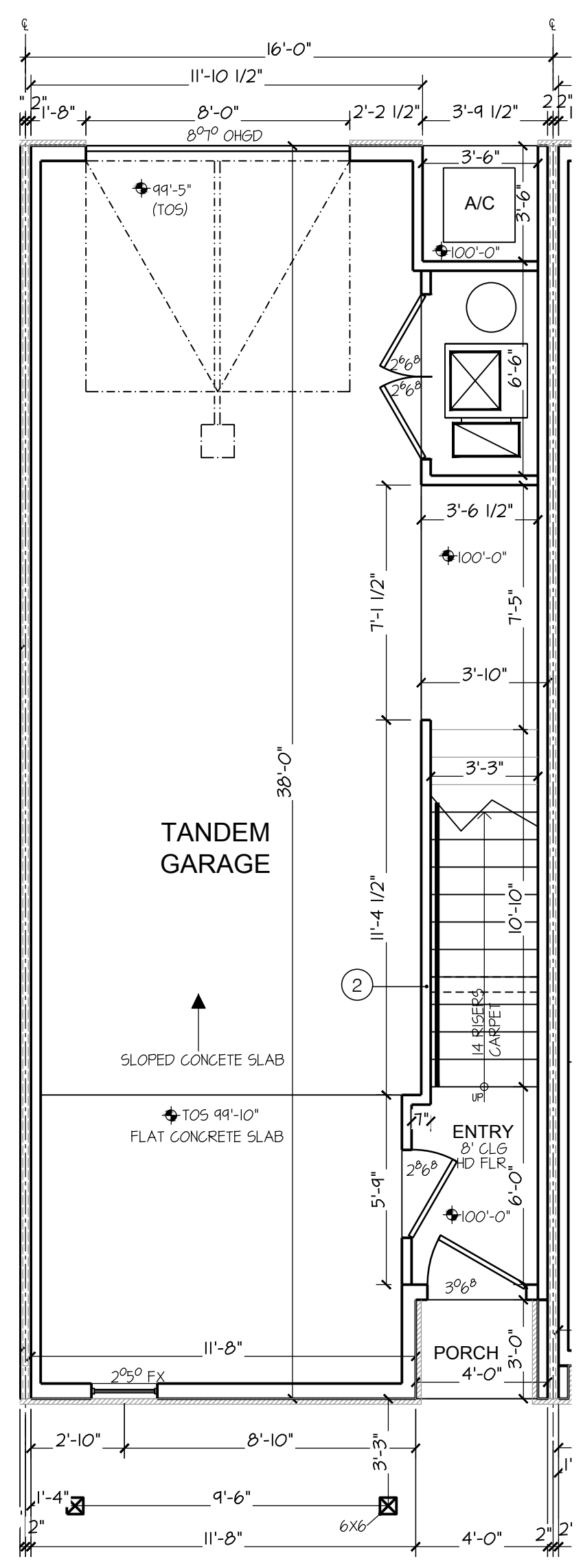
DocuSigned by:
Alie Myers
1408CEAC089C4C2

DocuSigned by:
Tyler McArthur
F8FD2E190D8848D...

McArthur
HOMES

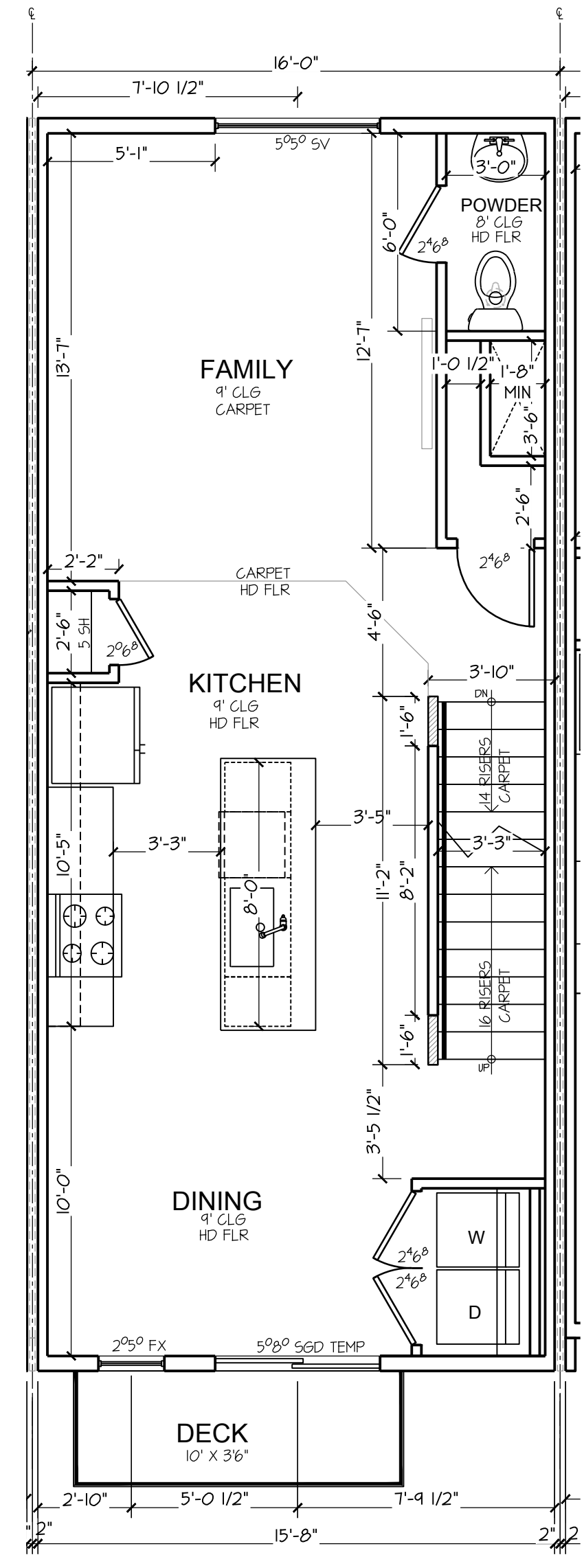


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Phone: (801) 253-9910
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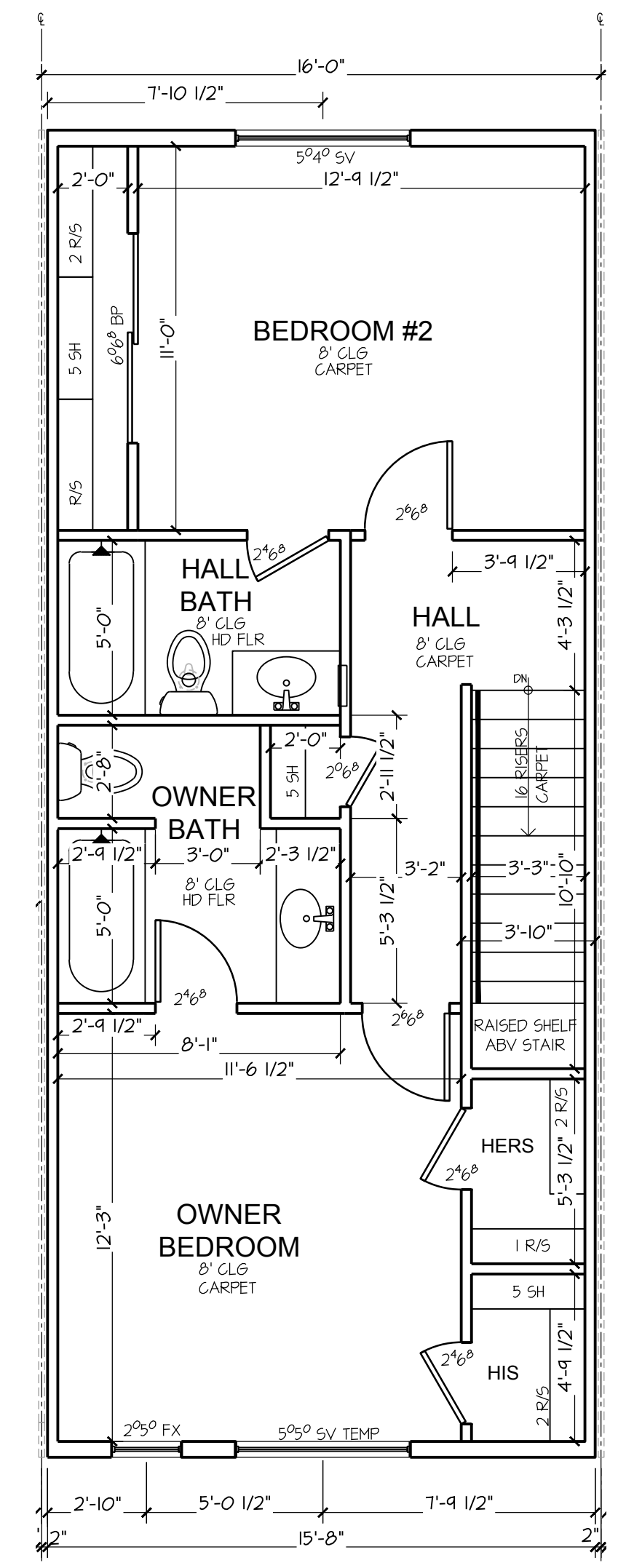
**1XX-D
PLAN 1290**

FIRST FLOOR
SCALE: 1/4" = 1'-0" (24X36)
SCALE: 1/8" = 1'-0" (11X17)



**1XX-D
PLAN 1290
W/ OPT. POWDER**

SECOND FLOOR
SCALE: 1/4" = 1'-0" (24X36)
SCALE: 1/8" = 1'-0" (11X17)



**1XX-D
PLAN 1290
W/ OPT. POWDER**

THIRD FLOOR
SCALE: 1/4" = 1'-0" (24X36)
SCALE: 1/8" = 1'-0" (11X17)

DAWSON
PLAN 1290

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ISSUE	DATE

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1290 PLANS

Job No.

A141

PLAN NOTES

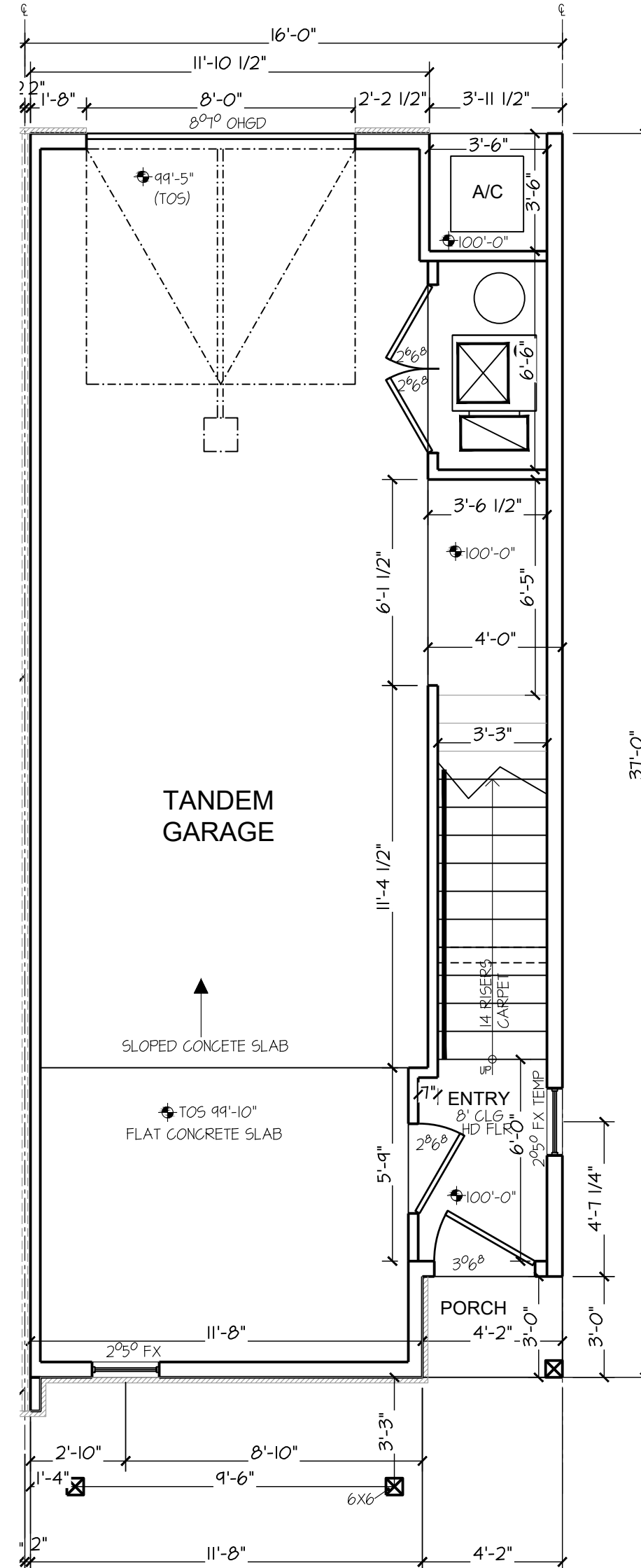
- 1. 4" CONCRETE SLAB SLOPE = 1/4" PER FOOT MIN. TOWARDS OVERHEAD DOOR. ALL BACKFILLED AREAS ARE TO BE MECHANICALLY COMPACTED OR SETTLED SOAKED.
2. GARAGE FIRE SEPARATION WALL PER CODE- ALL SURFACES ADJOINING HABITABLE SPACE, FIREWALL SEPARATION TO BE 5/8" TYPE 'X' SHEETROCK MINIMUM.
3. NOT USED.
4. 3" WIDE FIBERGLASS ENTRY DOOR. INSTALL DOOR THRESHOLD AND WEATHER STRIPPING PER CODE. CONCRETE PORCH AND STEPS. SLOPE FOR POSITIVE DRAINAGE.
5. COLUMN. SEE STRUCTURAL FOR SIZING.
6. WOOD STAIRS PER CODE.
7. HANDRAIL WITH GRASPABLE SURFACE TO BE BETWEEN 1-1/4" & 2-5/8". LINE OF WALL ABOVE LINE OF WALL ABOVE.
8. LINE OF ROOF ABOVE.
9. THE HEIGHT MEASURED TO THE TOP OF THRESHOLD TO LANDING SHOULD NOT EXCEED 7-1/2".
10. LAVATORY IN VANITY BASE CABINET WITH COUNTERTOP @ 32" AFF. BACKSPLASH WITH FULL WIDTH MIRROR ABOVE.
11. ATTIC ACCESS (22'X30')
12. LINE OF CEILING CHANGE
13. OPTIONAL FREEZE PROOF HOSE BIB
14. PEDISTAL SINK
15. RADON RISER
16. ROD & SHELF
17. DOUBLE ROD AND SHELF
18. (5) SHELVES. (1) 12"D @TOP, (4) 16"D BELOW
19. TEMPERED GLASS SHOWER SURROUND & DOOR.
20. 36"H COUNTERTOP WITH BASE CABINET BELOW.
21. 12"D UPPER WALL CABINETS, KITCHEN UPPERS: 34"H
22. DOUBLE FRAMING @ WALL FOR GAS LINE
23. CULTURED MARBLE OR TILED TUB/SHOWER SURROUND OVER BACKING PER BUILDER.
24. NOT USED
25. GRAY WATER BOX FOR WASHER HOOKUP.
26. VENT DRYER DIRECTLY TO EXTERIOR & INSTALL WEATHERHOOD.
27. KITCHEN ISLAND @ 36" AFF W/ 12" COUNTERTOP OVERHANGS
28. RANGE/OVEN UNIT
29. REFRIGERATOR WITH WATERLINE.
30. OPTIONAL GAS LINE FOR BBQ.
31. NOT USED
32. NOT USED
33. ONE PIECE SHOWER/TUB PER BUILDER.
34. A/C UNIT WITH CONCRETE PAD.
35. HALF WALL
36. BALCONY/DECK
37. SEPARATION WALL. REFER TO DETAILS.
38. 2x6 INTERIOR WALL
39. NOT USED
40. NOT USED
41. NOT USED
42. NOT USED
43. NOT USED
44. HVAC FLUE
45. 2X FLAT FRAMED FURRING, INSULATE PER CODE.
46. DIRECT VENT FURNACE. HVAC MAIN TRUNK SIZE PER MANUAL D.
47. DIRECT VENT WATER HEATER. INSTALL EXPANSION TANK & SEISMIC TIES WITH HEAT CHECK VALVES REQUIRED AT INLET AND OUTLET.
48. FLOOR DRAIN. ALL FLOOR DRAINS SHALL HAVE TAOP PRIMERS OR DEEP SEAL DESIGN.
49. HVAC DUCT DROP.
50. PROVIDE A SEWER STUB SLEEVE AT EACH UNIT. LOCATION PER PLAN.
51. NOT USED
52. 44" MAX. WINDOW SILL HEIGHTS FOR ALL REQUIRED EGRESS WINDOWS PER 2015 IRC.
53. DISHWASHER
54. BUILT-IN MICROWAVE
55. WALL MOUNTED 36"H MIN. GUARD RAIL. MAX 4" NET OPENINGS.
56. OPT. 2ND VANITY SINK. INCLUDES 2ND VANITY FIXTURE & OUTLET
57. OPT. DROP ZONE, 36"H BASE CABINET, 12"D UPPERS
58. 36"X60" TUB W/ SKIRT
59. FREESTANDING TUB
60. DECK MOUNT FAUCET AT GARDEN TUB
61. NOT USED
62. BENCH W/ CUBBIES AND COAT RACK. SEE DETAIL.
63. FIRE RATED DOOR. INSTALL DOOR THRESHOLD AND WEATHER STRIPPING PER CODE.
64. 36" SHOWER INSERT
65. FRAME OPENING FOR MEDICINE CABINET. 6" FROM CORNER, 48" FROM FLOOR TO BOTTOM OF OPENING. (R.O. 14"X24")

Design Development Set For Approval

DocuSigned by: Alex Myers 1408EAC089C4C2

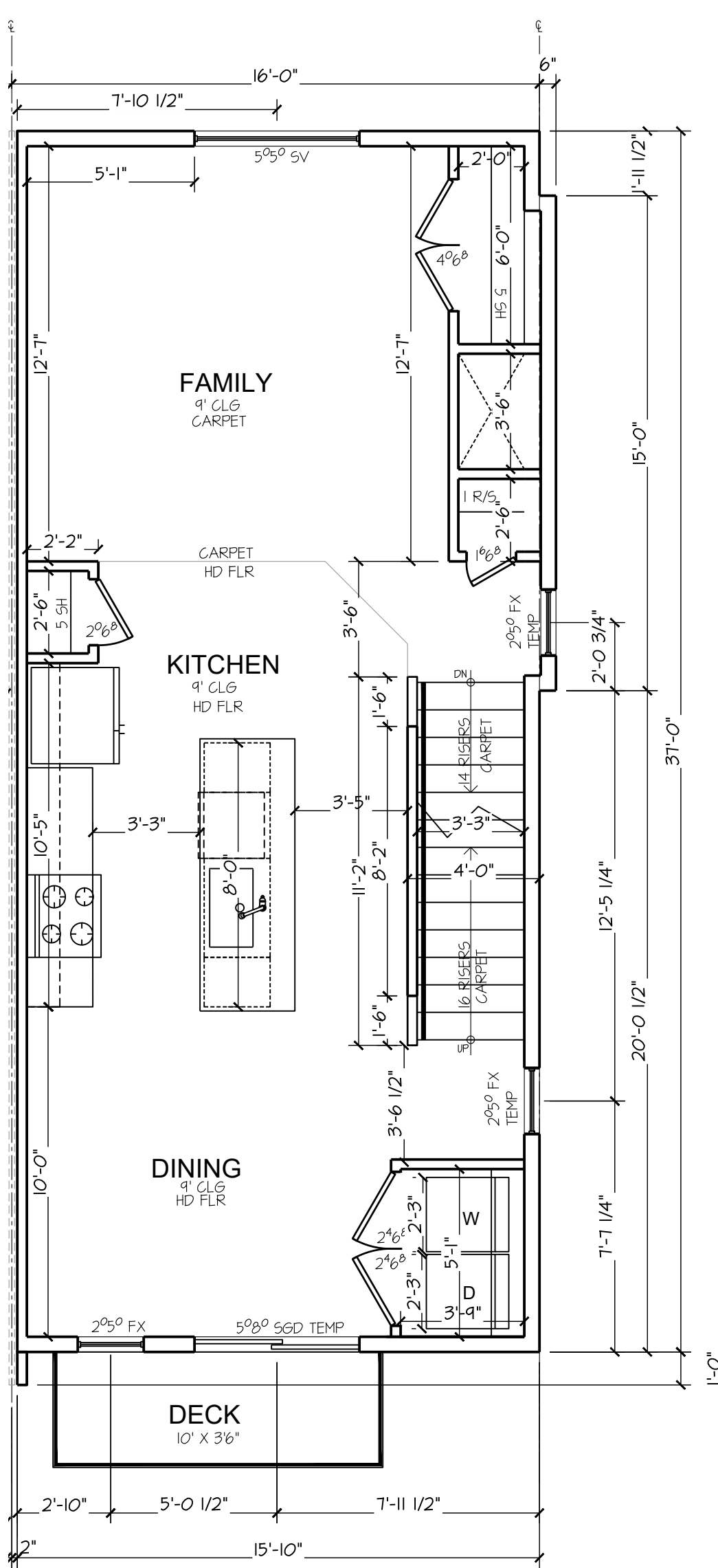
DocuSigned by: Tyler McArthur PERDZ196D8848D

McArthur HOMES logo and contact information: 9962 South Redwood Road, South Jordan, UT 84095, Phone: (801) 253-9910, Fax: (801) 253-1095



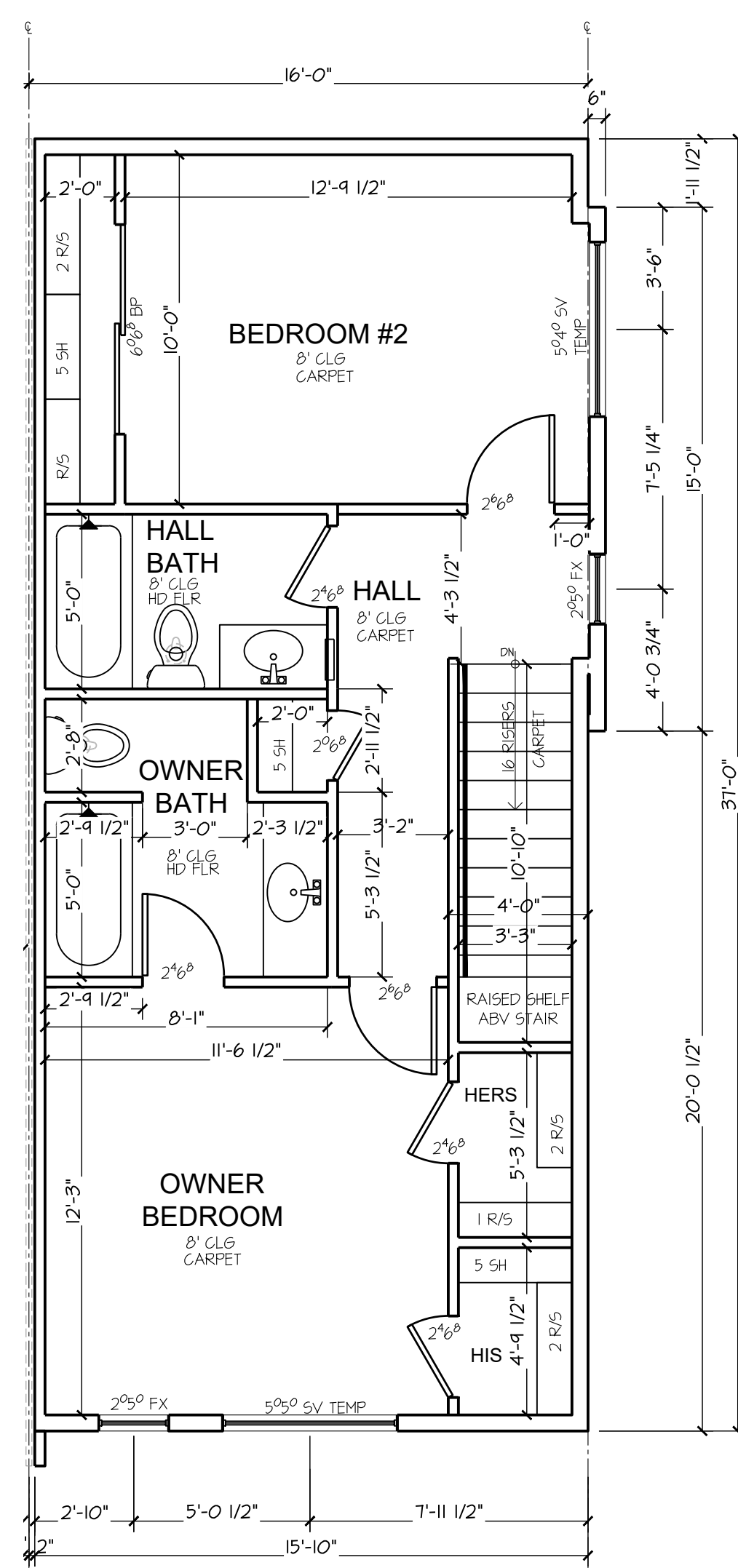
1XX-E PLAN 1274

FIRST FLOOR SCALE: 1/4" = 1'-0" (24X36) SCALE: 1/8" = 1'-0" (11X17)



1XX-E PLAN 1274

SECOND FLOOR SCALE: 1/4" = 1'-0" (24X36) SCALE: 1/8" = 1'-0" (11X17)



1XX-E PLAN 1274

THIRD FLOOR SCALE: 1/4" = 1'-0" (24X36) SCALE: 1/8" = 1'-0" (11X17)

DAWSON PLAN 1274

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Table with columns: ISSUE, DATE, DRAWN BY, CHECKED. The table is currently empty.

Job No. A151

GENERAL PROJECT NOTES

- ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES. SECURE ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ALL CODE REFERENCES HEREIN REFER TO THE 2015 INTERNATIONAL RESIDENTIAL CODE (I.R.C.) AS AMENDED AND ADOPTED BY THE STATE OF UTAH.
- THE PROJECT MANAGER, SUPERINTENDENT, AND ALL SUBCONTRACTORS ARE TO EXAMINE AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BOTH ON THE PLANS AND IN THE FIELD. NOTIFY THE ARCHITECT (WITH THE KNOWLEDGE AND APPROVAL OF THE DEVELOPER/BUILDER) OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- DEVELOPER/BUILDER TO CONSULT COMPLETE SUBDIVISION PLANS FOR SPECIFIC UTILITY EASEMENTS AND OTHER PERTINENT INFORMATION.
- DEVELOPER/BUILDER TO FIELD VERIFY AND COORDINATE UTILITY CONNECTIONS, THEIR ROUTING, METER LOCATIONS, HOSE BIBS, AND OTHER ASSOCIATED ITEMS. CONTRACTOR IS TO HAVE ALL EXISTING UTILITY LOCATIONS LOCATED BY ITS RESPECTIVE AUTHORITY, AND CONNECTIONS TO THOSE UTILITIES SHOULD TAKE THE MOST DIRECT ROUTE TO THE BUILDING.
- A GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THE OWNER BY THEIR CONSULTANT. THE REPORT IS AVAILABLE FOR REVIEW AS AN AID IN PLANNING AND EXECUTING ALL APPLICABLE AREAS OF WORK FOR THE PROJECT. THE REPORT DATA IS PROVIDED FOR REFERENCE ONLY, AND IS NOT TO BE CONSIDERED A PART OF THE CONTRACT DOCUMENTS. WHILE IT IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND/OR COMPLETENESS IS NOT GUARANTEED BY THE ARCHITECT.
- DEVELOPER/BUILDER TO COORDINATE TOP OF FOUNDATION WALL ELEVATIONS WITH INFORMATION INDICATED IN THESE PLANS AND WITH FINAL GRADING.
- UNLESS OTHERWISE NOTED ON THE SITE/GRADING PLAN, PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION. ALL SITE GRADING SHOULD BLEND NATURALLY WITH EXISTING GRADES USING MAXIMUM SLOPE OF 2:1.
- COORDINATE LANDSCAPE IRRIGATION SUPPLY AND REQUIRED SLEEVE LOCATIONS WITH THE DEVELOPER/BUILDER.
- EXTERIOR WALLS TO BE 2X6 STUDS @ 16"OC. UNLESS OTHERWISE NOTED, INTERIOR WALLS & PARTY WALLS TO BE 2X4 STUDS @ 24" OC UNLESS OTHERWISE NOTED.
- WINDOWS INDICATED ARE "NOMINAL SIZES". ALL WINDOWS ARE TO BE DOUBLE PANED AND TO HAVE "LOW E" TECHNOLOGY. REFER TO PLANS FOR WINDOW OPERATION. BASEMENTS AND SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW FOR EMERGENCY ESCAPE. TEMPERED GLASS IS TO BE PROVIDED PER CODE.
- TRUSS MANUFACTURER IS TO PROVIDE TRUSS LAYOUT PROFILES TO THE STRUCTURAL ENGINEER AND ARCHITECT FOR REVIEW AND COORDINATION. SUCH WORK WILL BE BASED BOTH ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. DIMENSIONS SHOWN FOR TRUSSES ARE TO BE USED AS GENERAL GUIDELINES AND SHALL BE VERIFIED BY THE TRUSS MANUFACTURER.
- CABINET DESIGN AND RELATED DRAWINGS ARE TO BE PROVIDED BY OTHERS. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE IN ALL CASES.
- FIRESTOP ALL FLUES AND WALLS PER CURRENT LOCAL CODE.
- ALL DOORS BETWEEN DWELLING AND GARAGE AREAS MUST BE FIRE RATED PER CURRENT LOCAL CODE.
- STAIR ASSEMBLIES OVER 3'-0" WIDE SHALL HAVE A MINIMUM OF (3) STRINGERS. PROVIDE GUTTERS AND DOWNSPOUTS. A 5'-0" MIN. EXTENSION IS TO BE PROVIDED. OR OTHER APPROVED METHOD OF DISCHARGING DOWNSPOUT WATER AWAY FROM FOUNDATION IS TO BE EMPLOYED.

SHEET INDEX

A100	COVER SHEET	E131	ELECTRICAL PLAN, TYP. - 1258
A101	FIRST FLOOR PLAN, BUILDING ASSEMBLY	E141	ELECTRICAL PLAN, TYP. - 1290
A102	SECOND FLOOR PLAN, BUILDING ASSEMBLY	E151	ELECTRICAL PLAN, TYP. - 1274
A103	THIRD FLOOR PLAN, BUILDING ASSEMBLY		
A104	ROOF PLAN	S100	STRUCTURAL SPECS & NOTES
A131	PLAN 1258	S101	FOOTING & FOUNDATION PLAN
A141	PLAN 1290	S102	SECOND FLOOR FLOOR FRAMING PLAN
A151	PLAN 1274	S103	THIRD FLOOR FRAMING PLAN
A201	FRONT & SIDE ELEVATION	S104	ROOF FRAMING PLAN
A202	REAR & SIDE ELEVATION	S501	STRUCTURAL DETAILS
A301	BUILDING SECTIONS		
A401	INTERIOR DETAILS & PLAN OPTIONS	U101	UTILITY PLAN
A501	CONSTRUCTION DETAILS		
A502	CONSTRUCTION DETAILS		
A503	CONSTRUCTION DETAILS		
A504	CONSTRUCTION DETAILS		

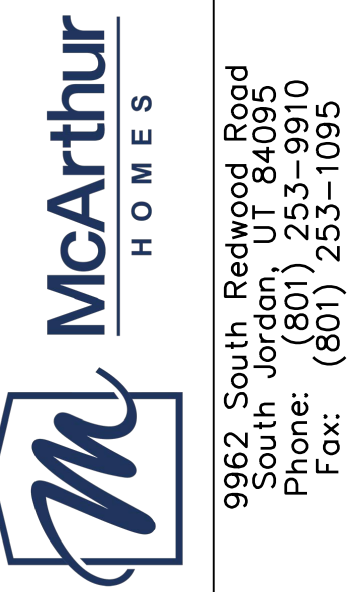
PROJECT DIRECTORY

Builder/ Developer:	Architect:	Structural:
McArthur Homes 9962 South Redwood Rd South Jordan, UT 84095 Contact: Ron McArthur (801) 253-9910 OFFICE (801) 253-1095 Fax	McArthur Homes 9962 South Redwood Rd South Jordan, UT 84095 Contact: Ron McArthur (801) 253-9910 OFFICE (801) 253-1095 Fax	Gilson Engineering 12401 S. 450 E. Draper, UT 84020 Contact: Brad Gilson (801) 571-9414

Square Footage Calculations			
Finished square footage calculations for this house were made based on plan dimensions only, per ANSI Z765-2003, and may vary from the actual square footage of the house as built.			
Dawson Place Townhome 1258	Above Grade		Total
Standard Design			
Finished Areas			
3rd Floor Finished (including stairs to 2nd Floor)	593		
2nd Floor Finished (including stairs to 1st Floor)	593		
1st Floor	43		
Total Finished Living Space	1229		1229
Unfinished Areas			
1st Floor Mechanical	27		
Total Unfinished Living Space	27		27
Total Living Space			
3rd Floor	593		
2nd Floor	593		
1st Floor	43		
Total Living Space	1229		1229
Misc			
Standard Garage (includes under stair storage)	496		496
Porch	12.5		12.5
Deck	35		35

Square Footage Calculations			
Finished square footage calculations for this house were made based on plan dimensions only, per ANSI Z765-2003, and may vary from the actual square footage of the house as built.			
Dawson Place Townhome 1274	Above Grade		Total
Standard Design			
Finished Areas			
3rd Floor Finished (including stairs to 2nd Floor)	600		
2nd Floor Finished (including stairs to 1st Floor)	600		
1st Floor	43		
Total Finished Living Space	1243		1243
Unfinished Areas			
1st Floor Mechanical	27		
Total Unfinished Living Space	27		27
Total Living Space			
3rd Floor	600		
2nd Floor	600		
1st Floor	43		
Total Living Space	1243		1243
Misc			
Standard Garage (includes under stair storage)	496		496
Porch	12.5		12.5
Deck	35		35

Square Footage Calculations			
Finished square footage calculations for this house were made based on plan dimensions only, per ANSI Z765-2003, and may vary from the actual square footage of the house as built.			
Dawson Place Townhome 1290	Above Grade		Total
Standard Design			
Finished Areas			
3rd Floor Finished (including stairs to 2nd Floor)	608		
2nd Floor Finished (including stairs to 1st Floor)	608		
1st Floor	43		
Total Finished Living Space	1259		1259
Unfinished Areas			
1st Floor Mechanical	27		
Total Unfinished Living Space	27		27
Total Living Space			
3rd Floor	608		
2nd Floor	608		
1st Floor	43		
Total Living Space	1259		1259
Misc			
Standard Garage (includes under stair storage)	512		512
Porch	12.5		12.5
Deck	35		35



**DAWSON PLACE
6-PLEX**

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ISSUE **DATE**

DRAWN BY **CHECKED**

COVER

Job No.

A100

PLAN NOTES

1. 4" CONCRETE SLAB SLOPE = 1/4" PER FOOT MIN. TOWARDS OVERHEAD DOOR. ALL BACKFILLED AREAS ARE TO BE MECHANICALLY COMPACTED OR SETTLED SOAKED.
2. GARAGE FIRE SEPARATION WALL PER CODE- ALL SURFACES ADJOINING HABITABLE SPACE. FIREWALL SEPARATION TO BE 5/8" TYPE "X" SHEETROCK MINIMUM.
3. GARAGE DOOR OPENER W/ GFCI OUTLET
4. 3" WIDE FIBERGLASS ENTRY DOOR. INSTALL DOOR THRESHOLD AND WEATHER STRIPPING PER CODE.
5. CONCRETE PORCH AND STEPS. SLOPE FOR POSITIVE DRAINAGE.
6. COLUMN. SEE STRUCTURAL FOR SIZING
7. WOOD STAIRS PER CODE
8. HANDRAIL WITH GRASPABLE SURFACE TO BE BETWEEN 1-1/4" & 2-5/8". LINE OF WALL ABOVE LINE OF WALL ABOVE
9. LINE OF ROOF ABOVE
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11. LAVATORY IN VANITY BASE CABINET WITH COUNTERTOP @ 32" AFF. BACKSPLASH WITH FULL WIDTH MIRROR ABOVE.
12. ATTIC ACCESS (22'X30')
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- 15.
16. PEDESTAL SINK
17. RADON RISER
18. ROD & SHELF
19. DOUBLE ROD AND SHELF
20. (5) SHELVES. (1) 12"D @TOP, (4) 16"D BELOW
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22. 36" COUNTERTOP WITH BASE CABINET BELOW
23. 12"D UPPER WALL CABINETS, KITCHEN UPpers: 34" H
24. DOUBLE FRAMING @ WALL FOR GAS LINE
- 25.
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27. GRAY WATER BOX FOR WASHER HOOKUP.
28. VENT DRYER DIRECTLY TO EXTERIOR & INSTALL WEATHERHOOD.
29. KITCHEN ISLAND @ 36" AFF W/ 12" COUNTERTOP OVERHANG
30. RANGE/OVEN UNIT
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32. OPTIONAL GAS LINE FOR BBQ.
- 33.
- 34.
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36. AVG UNIT WITH CONCRETE PAD.
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44. HVAC FLUE
45. 2X FLAT FRAMED FURRING. INSULATE PER CODE.
46. DIRECT VENT FURNACE. HVAC MAIN TRUNK SIZE PER MANUAL D.
47. ELECTRIC WATER HEATER. INSTALL EXPANSION TANK & SEISMIC TIES (ASO4/3) WITH HEAT CHECK VALVES.
48. FLOOR DRAIN. ALL FLOOR DRAINS SHALL HAVE TAOIP FRIMERS OR DEEP SEAL DESIGN.
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FIRST FLOOR ASSEMBLY PLAN

McArthur HOMES

9962 South Redwood Road
 South Jordan, UT 84095
 Phone: (801) 253-9910
 Fax: (801) 253-1095

SCALE: 1/4" = 1'-0" (24X36)
 SCALE: 1/8" = 1'-0" (11X17)

DAWSON PLACE
 6-PLEX

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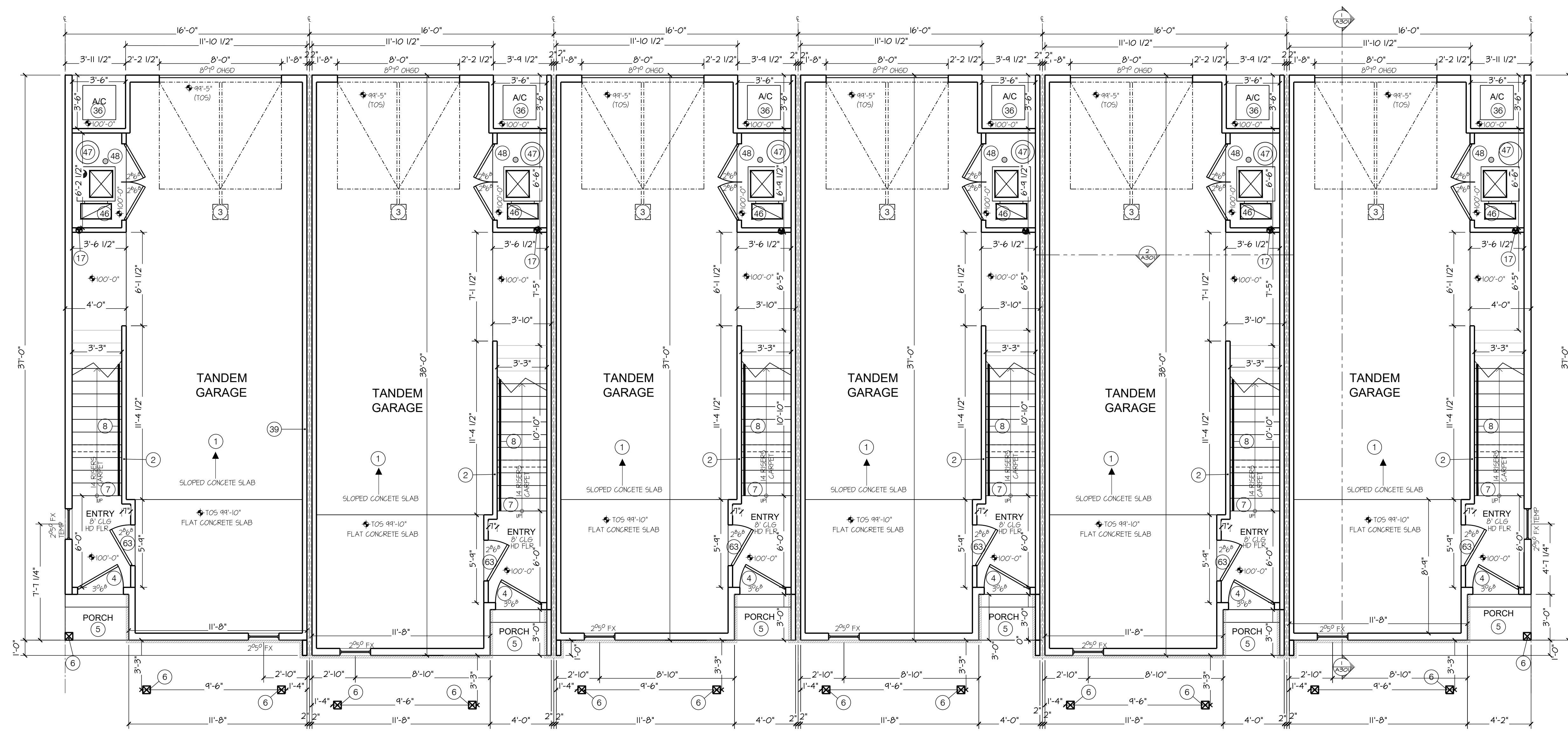
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FIRST FLOOR PLAN

Job No.

A101



1XX-A
 PLAN 1274

1XX-B
 PLAN 1290

1XX-C
 PLAN 1258

1XX-D
 PLAN 1258

1XX-E
 PLAN 1290

1XX-F
 PLAN 1274

PLAN NOTES

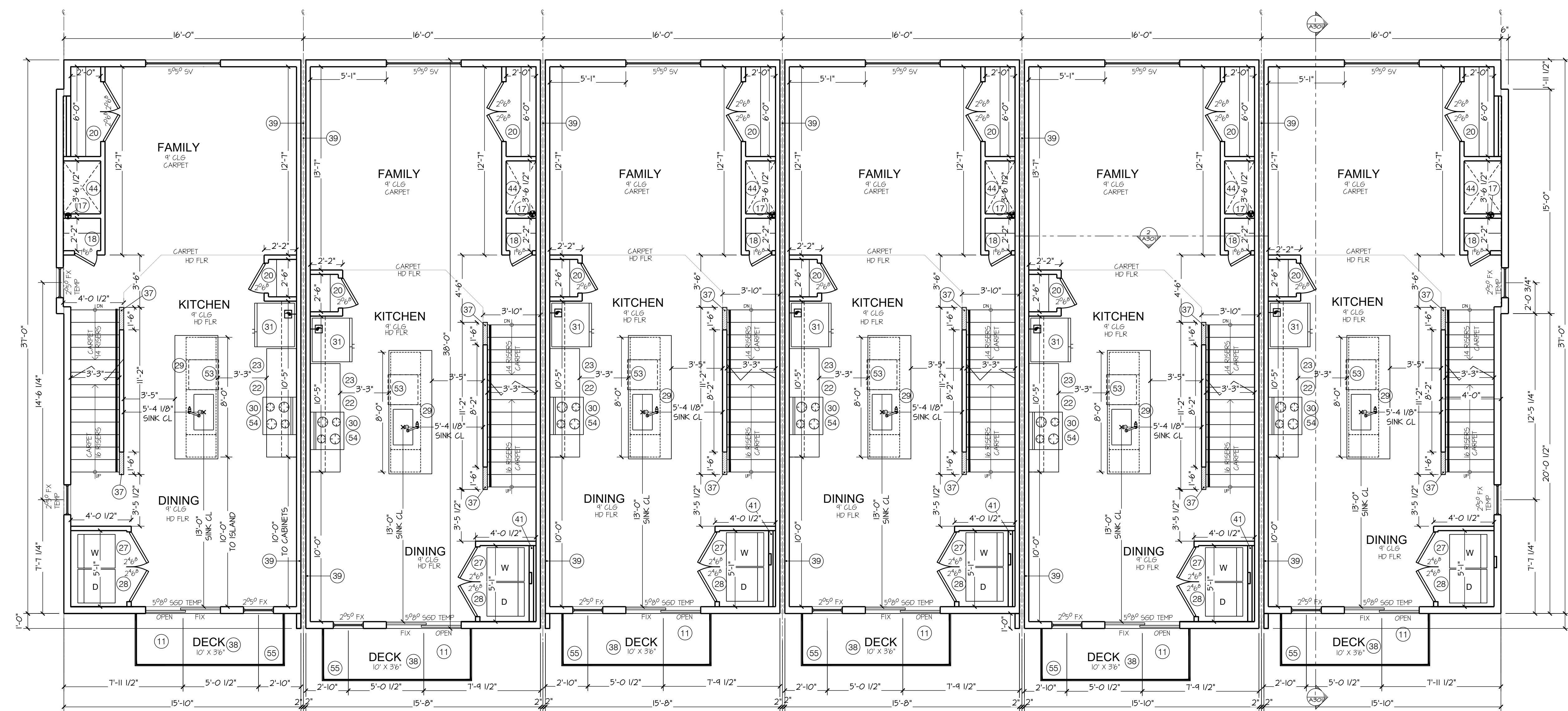
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**1XX-A
PLAN 1274**

**1XX-B
PLAN 1290**

**1XX-C
PLAN 1258**

**1XX-D
PLAN 1258**

**1XX-E
PLAN 1290**

**1XX-F
PLAN 1274**

**DAWSON PLACE
6-PLEX**

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ISSUE	DATE

DRAWN BY: CHECKED:

SECOND FLOOR PLAN

Job No.

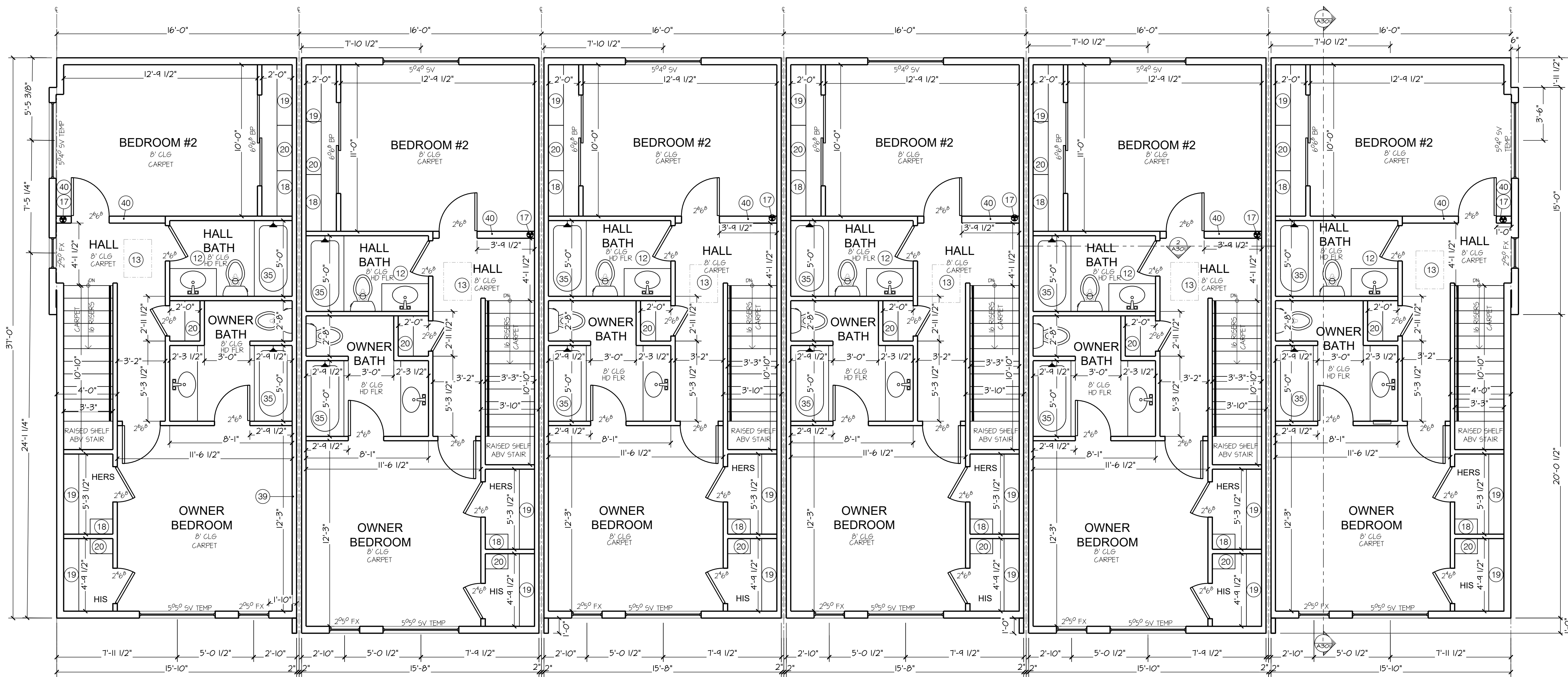
A102

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12. LAVATORY IN VANITY BASE CABINET WITH COUNTERTOP @ 32" AFF. BACKSPLASH WITH FULL WIDTH MIRROR ABOVE.
13. ATTIC ACCESS (22"X30")
14. LINE OF CEILING CHANGE
- 15.
16. PEDESTAL SINK
17. RADON RISER
18. ROD & SHELF
19. DOUBLE ROD AND SHELF
20. (5) SHELVES. (1) 12"D @TOP, (4) 16"D BELOW
- 21.
22. 36" H COUNTERTOP WITH BASE CABINET BELOW
23. 12"D UPPER WALL CABINETS, KITCHEN UPpers: 34" H
24. DOUBLE FRAMING @ WALL FOR GAS LINE
- 25.
- 26.
27. GRAY WATER BOX FOR WASHER HOOKUP.
28. VENT DRYER DIRECTLY TO EXTERIOR & INSTALL WEATHERHOOD.
29. KITCHEN ISLAND @ 36" AFF W/ 12" COUNTERTOP OVERHANG
30. RANGE/OVEN UNIT
31. REFRIGERATOR WITH WATERLINE.
32. OPTIONAL GAS LINE FOR BBQ.
- 33.
- 34.
35. ONE PIECE SHOWER/TUB PER BUILDER.
36. AVG UNIT WITH CONCRETE PAD.
37. HALF WALL. SEE A401/2
38. BALCONY/DECK
39. SEPARATION WALL. REFER TO DETAILS.
40. 2x6 INTERIOR WALL
41. DOUBLE 2X4 WALL WITH 2" SPACE BETWEEN.
- 42.
- 43.

44. HVAC FLUE
45. 2X FLAT FRAMED FURRING. INSULATE PER CODE.
46. DIRECT VENT FURNACE. HVAC MAIN TRUNK SIZE PER MANUAL D.
47. ELECTRIC WATER HEATER. INSTALL EXPANSION TANK & SEISMIC TIES (ASO4/3) WITH HEAT CHECK VALVES.
48. FLOOR DRAIN. ALL FLOOR DRAINS SHALL HAVE TAOP FRIMERS OR DEEP SEAL DESIGN.
49. HVAC DUCT DROP.
50. PROVIDE A SEWER STUB SLEEVE AT EACH UNIT. LOCATION PER PLAN.
- 51.
52. 44" MAX. WINDOW SILL HEIGHTS FOR ALL REQUIRED EGRESS WINDOWS PER 2015 IRC.
53. DISHWASHER
54. BUILT-IN MICROWAVE
55. 36" H MIN. GUARD RAIL. MAX 4" NET OPENINGS.
56. OPT. 2ND VANITY SINK, INCLUDES 2ND VANITY FIXTURE & OUTLET
- 57.
- 58.
59. FREESTANDING TUB
- 60.
- 61.
- 62.
63. FIRE RATED DOOR. INSTALL DOOR THRESHOLD AND WEATHER STRIPPING PER CODE.
- 64.
65. FRAME OPENING FOR MEDICINE CABINET. 6" FROM CORNER, 48" FROM FLOOR TO BOTTOM OF OPENING. (R.O. 14"X24")

THIRD FLOOR ASSEMBLY PLAN



1XX-A
PLAN 1274

1XX-B
PLAN 1290

1XX-C
PLAN 1258

1XX-D
PLAN 1258

1XX-E
PLAN 1290

1XX-F
PLAN 1274

McArthur HOMES

9962 South Redwood Road
South Jordan, UT 84095
Phone: (801) 253-9910
Fax: (801) 253-1095

SCALE: 1/4" = 1'-0" (24X36)
SCALE: 1/8" = 1'-0" (11X11)

DAWSON PLACE
6-PLEX

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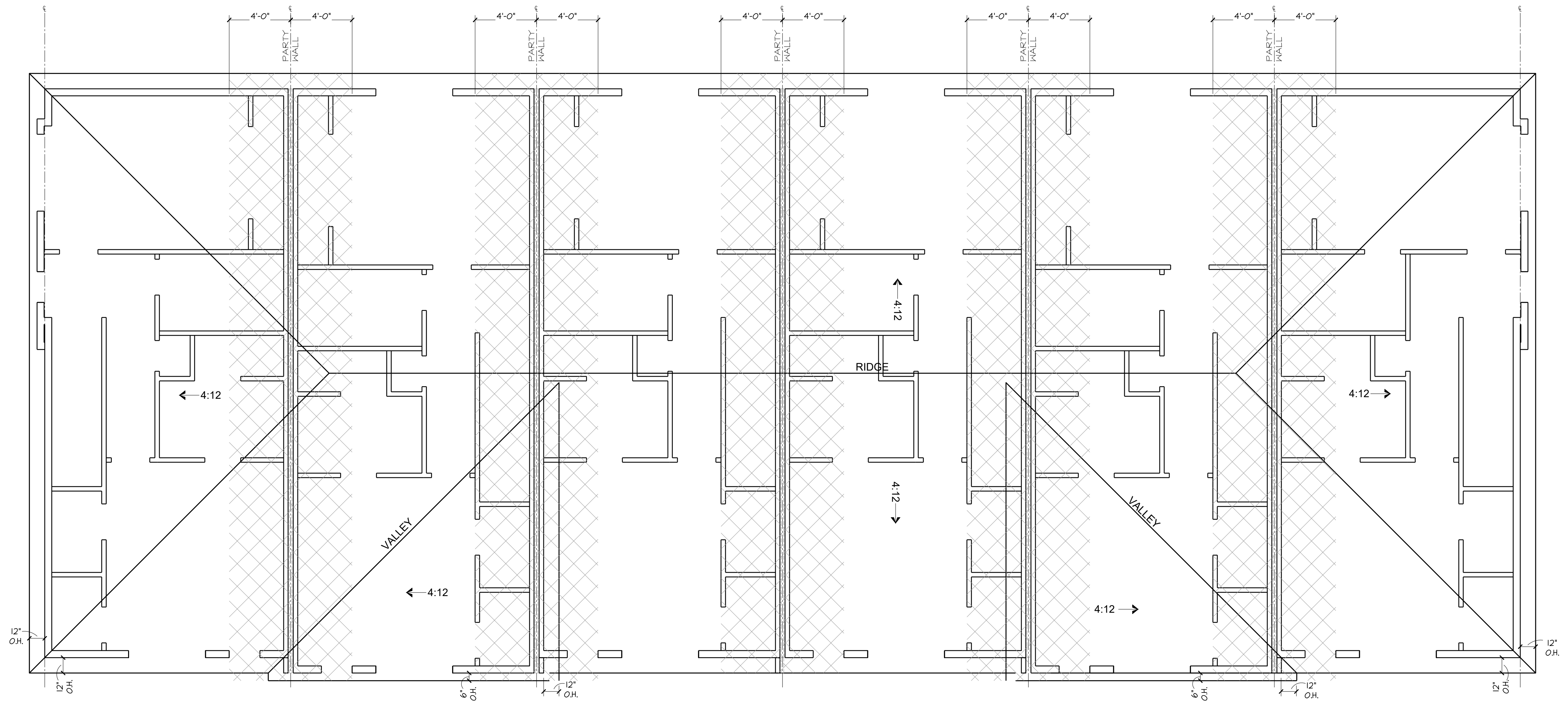
THIRD FLOOR PLAN

Job No.

A103

PLAN NOTES

1. 4" CONCRETE SLAB SLOPE = 1/4" PER FOOT MIN. TOWARDS OVERHEAD DOOR. ALL BACKFILLED AREAS ARE TO BE MECHANICALLY COMPACTED OR SETTLED SOAKED.
2. GARAGE FIRE SEPARATION WALL PER CODE- ALL SURFACES ADJOINING HABITABLE SPACE. FIREWALL SEPARATION TO BE 5/8" TYPE "X" SHEETROCK MINIMUM.
3. GARAGE DOOR OPENER W/ GFCI OUTLET
4. 3' WIDE FIBERGLASS ENTRY DOOR. INSTALL DOOR THRESHOLD AND WEATHER STRIPPING PER CODE.
5. CONCRETE PORCH AND STEPS. SLOPE FOR POSITIVE DRAINAGE.
6. COLUMN. SEE STRUCTURAL FOR SIZING
7. WOOD STAIRS PER CODE
8. HANDRAIL WITH GRASPABLE SURFACE TO BE BETWEEN 1-1/4" & 2-5/8". LINE OF WALL ABOVE
9. LINE OF WALL ABOVE
10. LINE OF ROOF ABOVE
11. THE HEIGHT MEASURED TO THE TOP OF THRESHOLD TO LANDING SHOULD NOT EXCEED 7-1/2".
12. LAVATORY IN VANITY BASE CABINET WITH COUNTERTOP @ 32" AFF. BACKSPLASH WITH FULL WIDTH MIRROR ABOVE.
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ROOF PLAN

McArthur HOMES
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 South Jordan, UT 84095
 Phone: (801) 253-9910
 Fax: (801) 253-1095

SCALE: 1/4" = 1'-0" (24X36)
 SCALE: 1/8" = 1'-0" (11X17)

DAWSON PLACE
 6-PLEX

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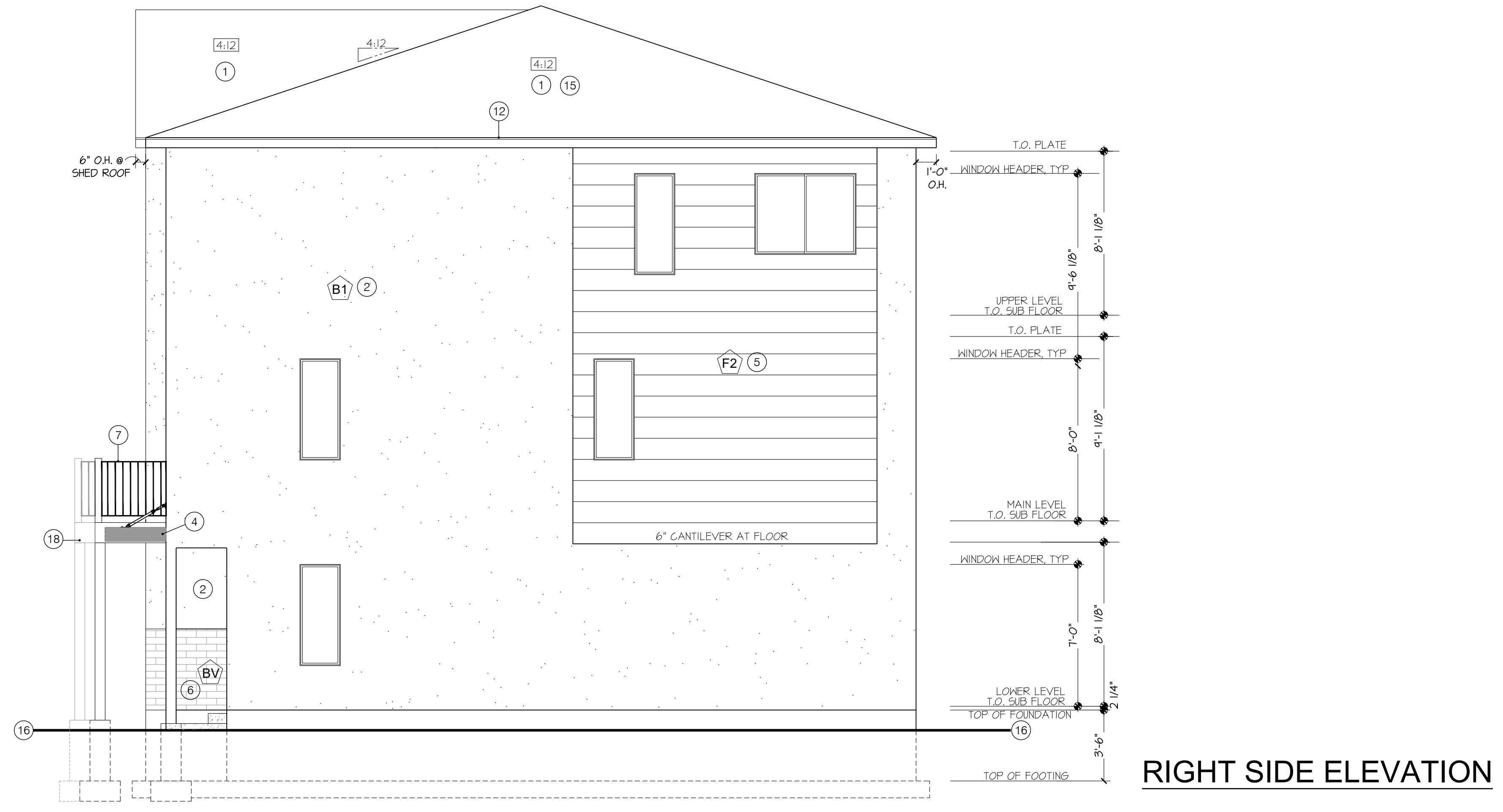
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ROOF PLAN

Job No.

A104

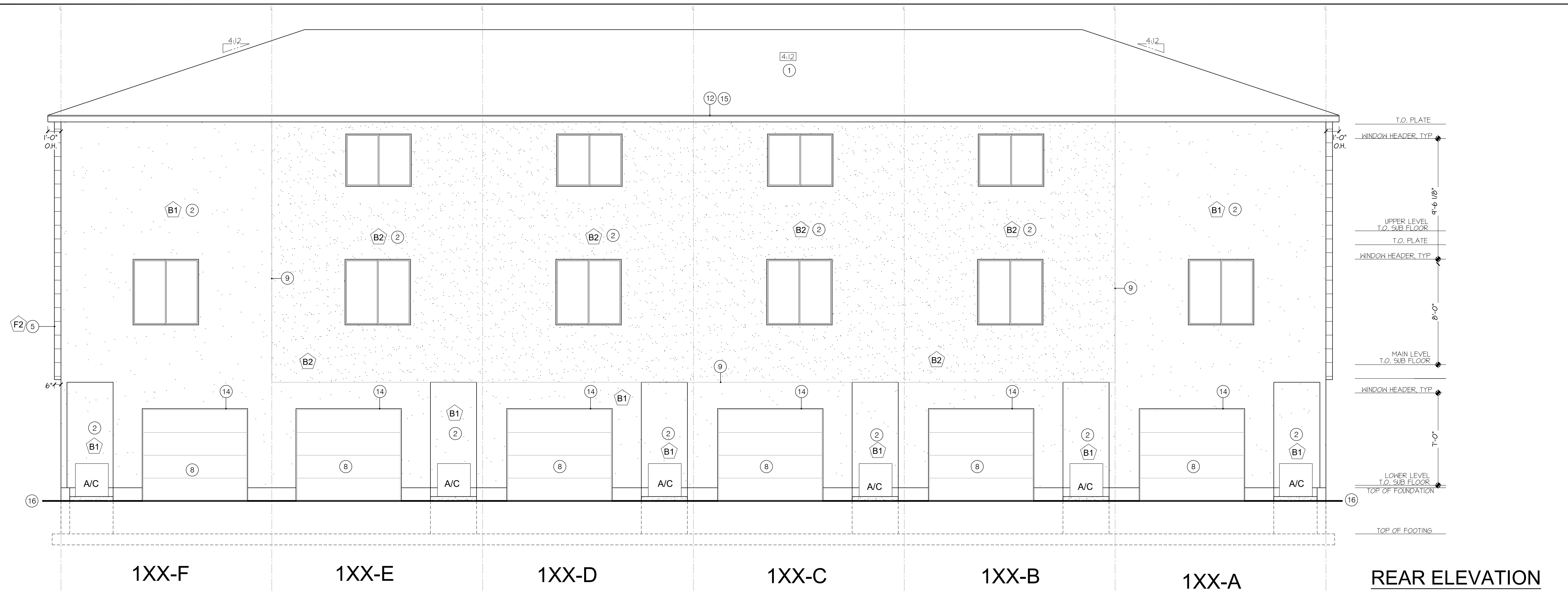
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Elevations	
Job No.	
A201	



- ELEVATION NOTES KEY**
- ASPHALT ROOF SHINGLES
 - STUCCO, SAND FINISH
 - VERTICAL METAL PBV 1BQ T.2
 - PREFAB METAL AWNING
 - 12" SMOOTH SIDING W/ SIMPLICITY CORNERS
 - BRICK VENEER
 - RAILING: CHOICE OF TAN/GRAY VINYL OR BLACK METAL OR COMPOSITE MATERIALS.
 - GARAGE DOOR (8'X7')
 - THICK JOINT DETAIL @STUCCO
 - DRIP EDGE FLASHING
 - LINE OF CEILING BEYOND
 - 6" FASCIA
 - CONCRETE PORCH SLAB WITH STEPS TO GRADE
 - STUCCO GARAGE WRAP
 - ROOF VENTS AS REQUIRED
 - FINISHED GRADE
 - DOWNSPOUT
 - COMPOSITE DECK OVER DIMENSIONAL FRAMING

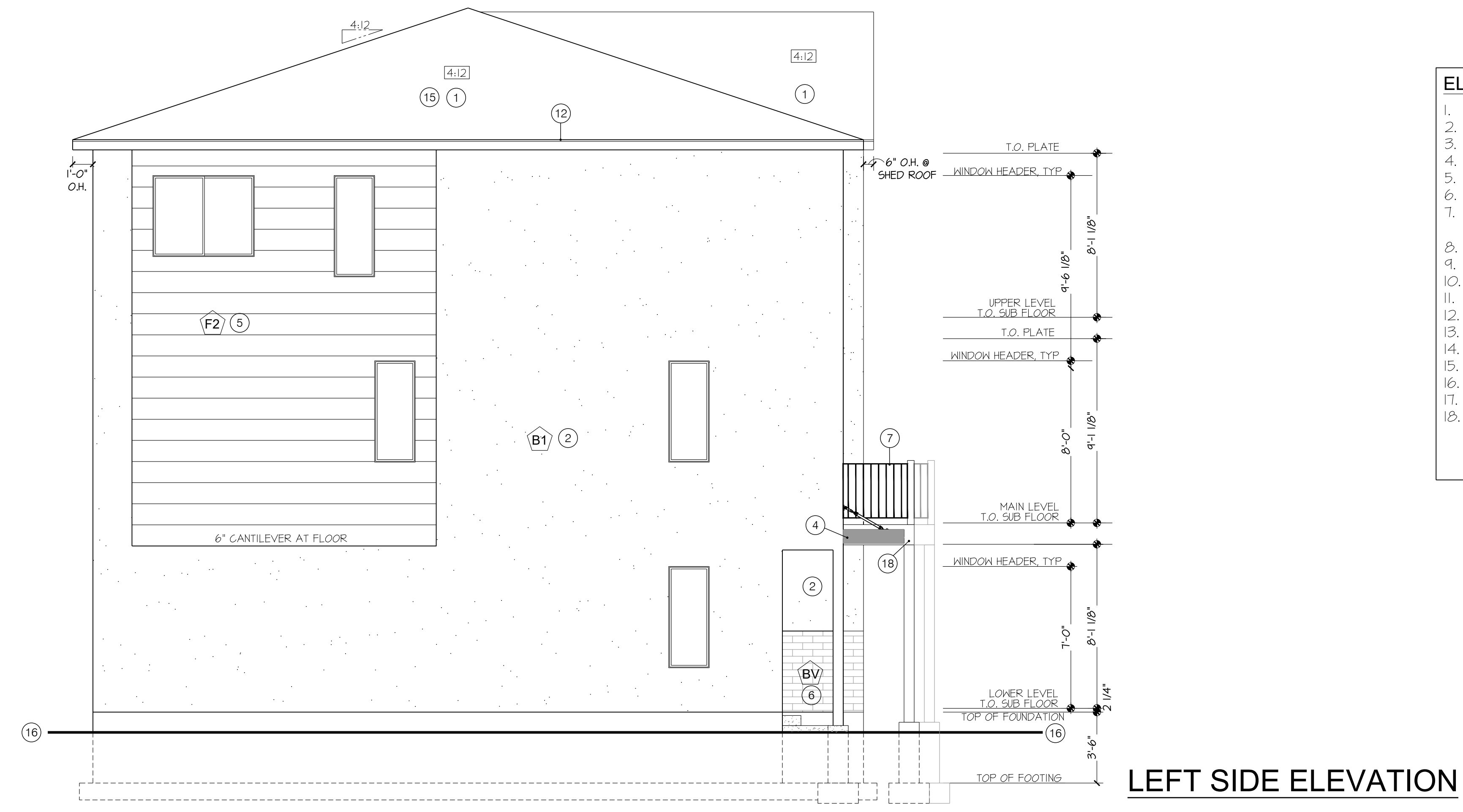
- M** METAL ACCENT: CORRUGATED STEEL
- S1** STUCCO BODY COLOR 1
- S2** STUCCO BODY COLOR 2
- BV** BRICK VENEER
- F2** FIBER CEMENT SIDING ACCENT BODY COLOR 2

ISSUE	DATE
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Elevations	
Job No.	



- ELEVATION NOTES KEY**
1. ASPHALT ROOF SHINGLES
 2. STUCCO, SAND FINISH
 3. VERTICAL METAL PBV IBQ 7.2
 4. PREFAB METAL AWNING
 5. 12" SMOOTH SIDING W/ SIMPLICITY CORNERS
 6. BRICK VENEER
 7. RAILING: CHOICE OF TAN/GRAY VINYL OR BLACK METAL OR COMPOSITE MATERIALS.
 8. GARAGE DOOR (8'X7')
 9. THICK JOINT DETAIL @STUCCO
 10. DRIP EDGE FLASHING
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 16. FINISHED GRADE
 17. DOWNSPOUT
 18. COMPOSITE DECK OVER DIMENSIONAL FRAMING

- M** METAL ACCENT: CORRUGATED STEEL
- S1** STUCCO BODY COLOR 1
- S2** STUCCO BODY COLOR 2
- BV** BRICK VENEER
- F2** FIBER CEMENT SIDING ACCENT BODY COLOR 2



LEFT SIDE ELEVATION

ATTACHMENT D: PLANNED DEVELOPMENT STANDARDS AND ANALYSIS

21A.55.050: Standards for Planned Developments: The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards.

The Finding for each standard is the recommendation of the Planning Division based on the facts associated with the proposal, the discussion that follows, and the input received during the engagement process. Input received after the staff report is published has not been considered in this report.

<p>A. Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development. The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development. The Planning Commission should consider the relationship between the proposed modifications to the zoning regulations and the purpose of a planned development, and determine if the project will result in a more enhanced product than would be achievable through strict application of the land use regulations.</p>
<p>Planned Development Purpose Statement: A planned development is intended to encourage the efficient use of land and resources, promoting greater efficiency in public and utility services and encouraging innovation in the planning and building of all types of development. Further, a planned development implements the purpose statement of the zoning district in which the project is located, utilizing an alternative approach to the design of the property and related physical facilities. A planned development incorporates special development characteristics that help to achieve City goals identified in adopted Master Plans and that provide an overall benefit to the community as determined by the planned development objectives. A planned development will result in a more enhanced product than would be achievable through strict application of land use regulations, while enabling the development to be compatible with adjacent and nearby land developments.</p>
<p>Discussion: Staff finds that the project meets three (3) of the Planned Development objectives: Housing, Sustainability and Master Plan Implementation.</p>
<p>Finding: <input checked="" type="checkbox"/> Meets Purpose Statement <input type="checkbox"/> Does Not Meet Purpose Statement</p>
<p>A. Open Space And Natural Lands: Preserving, protecting or creating open space and natural lands:</p> <ol style="list-style-type: none"> 1. Inclusion of community gathering places or public recreational opportunities, such as new trails or trails that connect to existing or planned trail systems, playgrounds or other similar types of facilities. 2. Preservation of critical lands, watershed areas, riparian corridors and/or the urban forest. 3. Development of connected greenways and/or wildlife corridors. 4. Daylighting of creeks/water bodies. 5. Inclusion of local food production areas, such as community gardens. 6. Clustering of development to preserve open spaces.

Discussion:

The project is not proposing open space that meets this objective

Finding: Objective Satisfied Objective Not Satisfied

B. Historic Preservation:

- 1. Preservation, restoration, or adaptive reuse of buildings or structures that contribute to the character of the City either architecturally and/or historically, and that contribute to the general welfare of the residents of the City.
- 2. Preservation of, or enhancement to, historically significant landscapes that contribute to the character of the City and contribute to the general welfare of the City's residents.

Discussion: Project is not located in a historic district or listed as a landmark site and it does not involve a historic structure.

Finding: Objective Satisfied Objective Not Satisfied

C. Housing: Providing affordable housing or types of housing that helps achieve the City's housing goals and policies:

- 1. At least twenty percent (20%) of the housing must be for those with incomes that are at or below eighty percent (80%) of the area median income.
- 2. The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood.

Discussion: The subject property and its general area is located has not seen recent multi-family development. Within the immediate vicinity the area consists of commercial uses or vacant land. The existing residential is to the east behind the commercial development, much of it is older and a different form and type than the proposal. The proposal is unique to the immediate area.

While the proposed project has buildings that are three stories and moderately taller than other structures in the neighborhood, it is still compatible with the neighborhood mix. Redwood Road is mostly developed with commercial uses; the proposed development will add residential to the corridor that will create a neighborhood feel. With the buildings pushed up against Redwood Road the design activates the frontage and creates a residential presence to help activate this area with pedestrians for the nearby commercial uses.

Finding: Objective Satisfied Objective Not Satisfied

D. Mobility: Enhances accessibility and mobility:

- 1. Creating new interior block walkway connections that connect through a block or improve connectivity to transit or the bicycle network.
- 2. Improvements that encourage transportation options other than just the automobile.

Discussion: Project is not proposing a design that meets these objectives.

Finding: Objective Satisfied Objective Not Satisfied

E. Sustainability: Creation of a project that achieves exceptional performance with regards to resource consumption and impact on natural systems:

1. **Energy Use And Generation:** Design of the building, its systems, and/or site that allow for a significant reduction in energy usage as compared with other buildings of similar type and/or the generation of energy from an on-site renewable resource.
2. **Reuse Of Priority Site:** Locate on a brownfield where soil or groundwater contamination has been identified, and where the local, State, or national authority (whichever has jurisdiction) requires its remediation. Perform remediation to the satisfaction of that authority.

Discussion: The design of the building and its systems have been specifically identified as allowing for a significant reduction in energy usage as compared with other buildings of a similar type.

Finding: Objective Satisfied Objective Not Satisfied

F. Master Plan Implementation: A project that helps implement portions of an adopted Master Plan in instances where the Master Plan provides specific guidance on the character of the immediate vicinity of the proposal:

1. A project that is consistent with the guidance of the Master Plan related to building scale, building orientation, site layout, or other similar character defining features.

Discussion: The proposed project would create a new multi-family residential development close to an identified Community Node in the Westside Master Plan, which is a land use type that is identified as ideal for that type of node. The intensity of development is comparable to what the Plan calls for in terms of multi-family development surrounding a Community Node. The Plan states that density should be between 20-30 units per acre. This project is providing a density of approximately 31 units per acre. The project would also redevelop property adjacent to, but not within, the area of the neighborhood that is zoned for single-family residential. The Westside Master Plan states that most redevelopment should happen in this pattern.

Finding: Objective Satisfied Objective Not Satisfied

B. Master Plan Compatibility: The proposed planned development is generally consistent with adopted policies set forth in the Citywide, community, and/or small area Master Plan that is applicable to the site where the planned development will be located.

Finding: Complies

Discussion: PLAN SALT LAKE

In Plan Salt Lake, the proposed project is consistent with an initiative in the Housing chapter, “Increase the number of medium density housing types and options.” The proposed development provides medium density housing that is unique to this area.

The project is also consistent with Guiding Principle #3 in Plan Salt Lake, “Access to a wide variety of housing types for all income levels throughout the City, providing the basic human need for safety and

responding to changing demographics.” The proposed residential units provide additional housing units in the neighborhood to accommodate more residents.

Initiatives from the Growth chapter are also applicable. The following Growth initiatives apply:

- Encourage a mix of land uses.
- Promote infill and redevelopment of underutilized land.
- Accommodate and promote an increase in the City’s population.
- Provide access to opportunities for a health lifestyle (including parks, trails, recreation, and healthy food).

The proposed development would promote infill development on underutilized (vacant) land and provide more housing into the area that is dominated by commercial development. The multi-family proposal adds an alternative type of housing which is not seen in this area and can help accommodate the City’s population on the west side. It also is within proximity to the 9line trail which provides access to parks and trails within the area.

WESTSIDE MASTER PLAN

The subject area falls within area discussed in the Westside Master Plan (WSMP or Plan). The WSMP recognizes a need to encourage growth, redevelopment, and reinvestment in the Westside, in order to support the vision of the Westside Community as a “beautiful, safe, sustainable place for people to live, work, and have fun.”

While the Plan (pg. 55) states that the “west side of Redwood Road is not suitable for residential development” it also recognizes that through the development of the Plan there were viewpoints and opinions as to how the west side of Redwood Road should be used in the future. Many people favored the long-term replacement of industrial uses with more commercial uses. *“There was little to no discussion about residential development west of Redwood Road, as most people acknowledged that it was nearly impossible to do so with the area’s land use history.”* (pg. 27).

The lack of discussion about having residential development west of Redwood should not be interpreted as a prohibition of that change being considered or taking place. The Plan was developed in 2014 and represents a “snapshot in time” of the community and the participants and community engagement that took place. The development pressures and persistent issues of homelessness today are undoubtedly different than they were when the Plan was adopted. In other words, the conditions of the time were not such that the idea of developing residential uses in the area was considered as a necessary option at the time and so it was not discussed.

It is Staff’s position that the proposed development is not in conflict with the WSMP. Statements in the Plan indicate that it was anticipated that change would take place in this area, even if there was no agreement or direction in terms of the form that these changes should follow.

9-LINE MASTER PLAN

The proposed project will help the vision of the 9-Line Master Plan by activating the Redwood Node of the 9-Line Master Plan. The proposed development is 1/3 mile from the 9-Line and Redwood Road intersection.

Condition(s): None

C. Design And Compatibility: The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the Planning Commission should consider:

1. Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;

Finding: Complies

Discussion:

The proposed development will create an urban neighborhood feel that provides housing options that compliments the surrounding commercial uses. While the proposal is three stories and moderately taller than other structures in the neighborhood, it is still compatible with the neighborhood mix. The development is between two identified community nodes which incorporate larger commercial developments but should also incorporate residential uses. The location of the proposed development provides the needed residential presence to help activate this area with pedestrians for the nearby commercial uses.

Condition(s): None

2. Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;

Finding: Complies

Discussion:

The street facing facades of the buildings are oriented to the public street and there is a vehicular drive and pedestrian pathways that lead to the interior of the proposed development. Building materials are of stucco finish and brick, are generally compatible with the surrounding neighborhood.

Condition(s): None

3. Whether building setbacks along the perimeter of the development:

- a. Maintain the visual character of the neighborhood or the character described in the applicable Master Plan.
- b. Provide sufficient space for private amenities.
- c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise.
- d. Provide adequate sight lines to streets, driveways and sidewalks.

e. Provide sufficient space for maintenance.

Finding: Complies

Discussion:

- a. The proposed building setbacks are compatible with the character of the neighborhood. The application is seeking a 5' encroachment for the second story balconies. Staff supports this request as the balconies create an activate frontage with the presence of residents.
- b. Adequate space is maintained for private amenities.
- c. Underlying zoning does not require an open space buffer because this property is not adjacent to a lot in a residential district.
- d. Sight lines to streets, driveways, and sidewalks must be maintained per applicable City code requirements. Applicant is not requesting a modification to setback standards.
- e. Project must meet all requirements related to access for maintenance. Applicant is not requesting a modification to setback standards.

Condition(s): None

4. Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;

Finding: Complies

Discussion:

Street facing units have recessed entries and canopies that add visual interest. Entrances to each unit are located on the front façade with sidewalks providing direct pedestrian access to Redwood Road and are proposed to include large sections of glass. Units also have a variety of materials and modulations that create additional visual interest.

Condition(s): None

5. Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;

Finding: Complies

Discussion:

Project is small scale in nature. Lighting will likely not impact surrounding property. The full lighting proposal will be fully evaluated at permits.

Condition(s): None

6. Whether dumpsters, loading docks and/or service areas are appropriately screened;

Finding: Complies

Discussion:

One main dumpster is proposed centrally within the site and will be screened in a CMU wall.
Condition(s): None
7. Whether parking areas are appropriately buffered from adjacent uses.
Finding: Complies
Discussion: Parking areas will be contained in garages and visitor parking is located centrally within the site with some parking located at the end of the private drives.
Condition(s): None

D. Landscaping: The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the Planning Commission should consider:
1. Whether mature native trees located along the periphery of the property and along the street are preserved and maintained;
Finding: Not Applicable
Discussion: The subject property does not have any existing mature or native trees on site.
Condition(s): None
2. Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved;
Finding: Not Applicable
Discussion: There is not existing landscaping that provides buffering to the abutting properties. Additionally, this is an urban context between properties in the same zoning, with the same development expectations, where landscape buffering is generally not anticipated or required.
Condition(s): None

3. Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development;

Finding: Complies

Discussion:

Front yard landscaping provides a buffer between the development and sidewalk.

Condition(s): None

4. Whether proposed landscaping is appropriate for the scale of the development.

Finding: Complies

Discussion:

Applicant is proposing trees, shrubs, and foliage that are appropriate for the scale of the development.

Condition(s): None

E. Mobility: The proposed planned development supports Citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the Planning Commission should consider:

1. Whether drive access to local streets will negatively impact the safety, purpose and character of the street;

Finding: Complies

Discussion:

The proposed development would provide one access drive from Redwood Road into the development. This access drive will also accommodate the future residential development to the property to the north.

Condition(s):

2. Whether the site design considers safe circulation for a range of transportation options including:

- a. Safe and accommodating pedestrian environment and pedestrian oriented design;
- b. Bicycle facilities and connections where appropriate, and orientation to transit where available; and
- c. Minimizing conflicts between different transportation modes;

Finding: Complies

Discussion:

a. The proposed site design is pedestrian oriented, with direct pathway access to sidewalks from each unit and onto Redwood Road where immediate access to public transit and bicycle facilities exist.

b. The proposed site design provides direct pathway access to Redwood Road where bicycle facilities exist.

c. The proposed development compliments existing and future transportation modes.

Condition(s): None

3. Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities;

Finding: Complies

As noted above, each unit has direct ground level pathway access to the sidewalk. The layout of the development includes direct access to the public sidewalk to access nearby adjacent uses and amenities.

Condition(s): None

4. Whether the proposed design provides adequate emergency vehicle access;

Finding: Complies

Discussion:

Emergency vehicles will use the private drive from Redwood Road and the internal drive access provides direct access to all units.

Condition(s): None

5. Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.

Finding: Complies

Discussion:

As this is a residential development there are no loading or major service areas.

Condition(s): None

F. Existing Site Features: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.

Finding: Not Applicable

Discussion:

There are no natural or built features on the site, such as historically significant buildings, that significantly contribute to the character of the neighborhood or environment.

Condition(s): None

G. Utilities: Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area.

Finding: Complies

Discussion:

Public utility connections will be fully evaluated during the building permits review phase of the development, and upgrades may be required by that department to serve the property.

Condition(s): None

ATTACHMENT E: CC ZONE AND DESIGN STANDARDS ANALYSIS

21A.26.050: CC CORRIDOR COMMERCIAL DISTRICT:

A. Purpose Statement: The purpose of the CC Corridor Commercial District is to provide an environment for efficient and attractive commercial development with a local and regional market area along arterial and major collector streets while promoting compatibility with adjacent neighborhoods through design standards. This district provides economic development opportunities through a mix of land uses, including retail sales and services, entertainment, office and residential. Safe, convenient and inviting connections that provide access to businesses from public sidewalks, bike paths and streets are necessary. Access should follow a hierarchy that places the pedestrian first, bicycle second and automobile third. This district is appropriate in areas where supported by applicable master plans. The standards are intended to promote a safe and aesthetically pleasing environment to all users.

B. Uses: Uses in the CC Corridor Commercial District as specified in section 21A.33.030, "Table Of Permitted And Conditional Uses For Commercial Districts", of this title, are permitted subject to the general provisions set forth in section 21A.26.010 of this chapter and this section.

Standard	Proposed	Finding
Minimum lot area: Ten thousand (10,000) square feet.	Lot area is ~80586 square feet or 1.85 acres	Complies
Minimum lot width: Seventy-five feet (75').	Existing lot is ~130 feet.	Complies
Front And Corner Side Yards: Fifteen feet (15').	15 feet with a 5 foot encroachment.	The applicant is requesting through the Planned Development to encroach the front yard by 5 feet with second story balconies.
Interior Side Yards: None required.	Proposing 5 feet – 13 feet	Complies
Rear Yard: Ten feet (10').	10 feet	Complies
Buffer Yards: All lots abutting property in a Residential District shall conform to the buffer yard requirement of chapter 21A.48 of this title.	Lot does not abut property in a Residential District.	Complies
Accessory Buildings And Structures In Yards: Accessory buildings and structures may be located in a required yard subject to section 21A.36.020, table 21A.36.020B of this title.	No accessory structures are proposed.	Complies

<p>Landscape Yard Requirements: A landscape yard of fifteen feet (15') shall be required on all front and corner side yards, conforming to the requirements of section 21A.48.090 and subsection 21A.48.100C of this title.</p>	<p>15' landscape yard proposed in front yard along Redwood Road.</p>	<p>Complies</p>
<p>Maximum Height: No building shall exceed thirty feet (30'). Buildings higher than thirty feet (30') may be allowed in accordance with the provisions of subsections F1 and F3 of this section.</p>	<p>Applicant is proposing 30 feet 11 3/8 inches,</p>	<p>Requesting additional height through the Planned Development process.</p>

DESIGN STANDARDS AND OTHER APPLICABLE STANDARDS ANALYSIS

Standard	Proposed	Finding
<p>21A.37.050. D. Building Entrances</p>	<p>At least one operable building entrance on the ground floor is required for every street facing façade</p> <p>Additional operable buildings entrances shall be required, at a minimum, at each specified length of street facing building façade according to section 21A.37.060, table 21A.37.060 of this chapter. The center of each additional entrance shall be located within 6 feet either direction of the specified location.</p> <p>Each ground floor nonresidential leasable space facing that street and a walkway to the nearest sidewalk.</p> <p>Corner entrances when facing a street and located at approximately 45 degree angle to two adjacent building</p>	<p>Complies</p> <p>Each street facing unit has an entrance on Redwood Road. Table 21A.37.060 does not state a specified length between building entrances, therefore no additional building entrances are required. The entire site is proposed to be residential. The property is not considered to be on a corner.</p>

	facades, may count as an	
21A. 37.050.I. Parking Lot Lighting	Parking Lot Lighting: If a parking lot/structure is adjacent to a residential zoning district or land use, any poles for the parking lot/structure security lighting are limited to sixteen feet (16') in height and the globe must be shielded and the lighting directed down to minimize light encroachment onto adjacent residential properties or into upper level residential units in multi-story buildings. Lightproof fencing is required adjacent to residential properties.	Not applicable because it is not adjacent to a residential zoning district or land use.
21A. 36.010.B: One Principal Building Per Lot	Not more than one principal build shall be located on any lot except that: <ol style="list-style-type: none"> 1. With the exception of buildings located in the FR, R-1, SR and R-2 Districts, More than one principal building may be located on a lot subject to all principal buildings having frontage along a public street.	Does not comply, Planned Development requested.
Table 21A.36.020B Obstructions in Required Yards	Decks more than 2 feet in height that encroach the front yard are not allowed	Does not comply. The building fronting onto Redwood Rd includes 2 nd story decks that encroach 5 feet into the front yard. This is part of the Planned Development request.
Table 21A.44.030 Schedule of Minimum Off Street Parking Requirements	Multiple-family dwellings: 2 parking spaces for each dwelling unit containing 2 or more bedrooms.	Complies, proposing tandem parking with garages for each unit, accommodates 2 parking spaces for each unit

<p>21A.44.030.H.1: Maximum Off Street Parking Allowance</p>	<p>For zones not listed in the “Table of District Specific Maximum Parking Allowance”, of this section the number of parking spaces allowed shall be 25% greater than the minimum found in table 21A.44.030 of this section.</p> <p>Formula: $.25 \times \text{Minimum} + \text{minimum} = \text{Maximum}$</p>	<p>Minimum required parking = 116 stalls</p> <p>Maximum = $(.25 \times 116) + 116 = 145$</p> <p>Total parking stalls proposed = 132</p>
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ATTACHMENT F: PUBLIC PROCESS & COMMENTS

Public Notice, Meetings, Comments

Notice of the public hearing for the proposal included

- Public hearing notice mailed on August 12, 2022
- Public notice posted on Site and State Websites and Planning Division list serve on August 12, 2022
- Public hearing notice sign posted on August 10, 2022

Public Input:

One public comment was received via email. The email is attached to this document.

From: [Megan Welch](#)
To: [Hart, Elizabeth](#)
Subject: (EXTERNAL) O'Reilly 4776 - Salt Lake City, UT - Development approvals
Date: Wednesday, July 20, 2022 12:16:01 PM
Attachments: [Letter of Concern.pdf](#)

Good afternoon,

After review of the proposed plan for the development of the townhomes next to our O'Reilly store off of Redwood Rd in Salt Lake City, we have some concerns regarding the zoning ordinances that would be allowed to be relieved in this situation.

Attached is a letter detailing our concerns.

Please let me know the compromises that can be made to allow our business the needed visibility.

Thank you for your help!

Megan Welch

Lease Administration Supervisor

O'Reilly Auto Parts
Real Estate Department
233 South Patterson Avenue
Springfield, MO 65802
(417) 520-4556

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July 18, 2022

Via Email: chair@glendaleutah.org; council@glendaleutah.org

Glendale Neighborhood Council
Salt Lake City, UT

RE: O'Reilly Auto Parts #4776: 1730 W. Sequoia Vista Circle, Salt Lake City, UT
Planned Development in Petition # PLNPCM2022-00366

To whom it may concern,

We have reviewed the development project per petition # PLNPCM2002-00366 as it pertains to the O'Reilly Auto Parts located at 1730 W Sequoia Vista Circle in Salt Lake City, UT. After reviewing the plan, we have certain concerns about the effects of constructing townhomes next door to our store.

The visibility from Redwood Rd. will be severely diminished if the zoning ordinances are relieved for this project allowing the development to build closer to the road and higher than normally allowed. O'Reilly believes this to be a detriment to our business at this location due to the diminished visibility as customers will not be able to see our store until they are already upon it and potentially already passed Sequoia Vista Circle in order to turn into our entrance.

Accordingly, we would ask that you take these concerns into consideration as this project moves forward. If the first row of townhomes closest to the street were eliminated, this would greatly improve the visibility to Redwood Rd. and continue the continuity of the frontage of the business along the road.

I would also ask that I be notified of any upcoming meeting dates and/or updates to the project in the future. Thank you for considering.

Sincerely,

A handwritten signature in blue ink, appearing to read "Nathan Todd", is written over a light blue horizontal line.

Nathan Todd
O'Reilly Auto Enterprises, LLC
Property Manager

From: [Turner Bitton](#)
To: [Hart, Elizabeth](#)
Subject: (EXTERNAL) PLNPCM2022-00366
Date: Tuesday, August 2, 2022 1:43:43 PM

Hi Liz,

It is my pleasure to submit this letter on behalf of the Glendale Neighborhood Council. After consulting with the applicant, Glendale Neighborhood Council board members, and members of the community, I would like to express support for the proposed Dawson Place located at 1146 S Redwood Road.

We appreciate the inclusion of owner occupied properties designed to be more affordable. We also appreciate the shared access that Manifest has created with the adjacent the CHARLI development. as This project will create a more desirable experience for the entire Redwood Road corridor by filling unappealing and dilapidated properties along Redwood Road with additional housing in the neighborhood.

Thank you for the opportunity to weigh in on the development. We greatly appreciate the opportunity.

Thanks,
Turner C. Bitton (he/him)
Chair, Glendale Neighborhood Council
(801) 564-3860
www.glendaleslc.org

ATTACHMENT G: DEPARTMENT REVIEW COMMENTS

Transportation Review: (Kevin Young, kevin.young@slcgov.com)

The townhomes which are condos (single family attached dwellings?) will provide tandem parking for two (2) cars in the garages which is acceptable as long as they meet the dimensional requirements for parking. See the attached email from Joel Paterson, Zoning Administrator, regarding tandem parking applicability. The drive aisles between the units shown as twenty three and a half feet (23.5') are sufficient for a parking space with a width of nine feet (9'); if the parking spaces in the garages are narrower than nine feet (9'), then the drive aisles will need to be wider. The new access onto Redwood Road will need to be approved by UDOT because it is a State Road (S.R. 68); thirty feet (30') is sufficient width for two way traffic. There is a public sidewalk shown proposed along Redwood Road with sidewalks interior to the development connecting to the public sidewalk, which is sufficient.

Engineering Review: (Scott Weiler, scott.weiler@slcgov.com)

No comment

Public Utilities Review: (Jason Draper, jason.draper@slcgov.com)

The following comments do not provide official project review or approval. Planned Development approval does not provide building or utility permit approval. Comments are provided to assist in design and development by providing guidance for project requirements.

- Public Utility permit, connection, survey, and inspection fees will apply.
- Site stormwater must be collected on site and routed to the public storm drain system. Stormwater cannot discharge across property lines or public sidewalks.
- Water, Sewer, Street Light and Storm Drain infrastructure will be required for this proposed development. All improvements will be the responsibility of the developers.
- All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.
- All utilities must meet horizontal and vertical clearance requirements. Water and sewer lines require 10 ft minimum horizontal separation and 18" minimum vertical separation. Sewer must maintain 5 ft minimum horizontal separation and 12" vertical separation from any non-water utilities. Water must maintain 3 ft minimum horizontal separation and 12" vertical separation from any non-sewer utilities.
- Contact SLCPU Street Light Program Manager, Dave Pearson (801-483-6738), for information regarding street lights.
- Utilities cannot cross property lines without appropriate easements and agreements between property owners.
- Site utility and grading plans will be required for building permit review. Other plans such as erosion control plans and plumbing plans may also be required, depending on the scope of work. Submit supporting documents and calculations along with the plans.
- One culinary water meter is permitted per parcel. If the parcel is larger than 0.5 acres, a separate irrigation meter is also permitted. Fire lines will be permitted, as necessary. Each service must have a separate tap to the main.
- This property does not currently have water or sewer service.
- New connections will be required.
- The sewer main will need to be extended along the property frontage in Redwood Road.
- Additional requirements will be provided in building permit review if the conditional use is accepted

Building Review: (James McCormack, james.mccormack@slcgov.com)

Project must comply to all adopted building codes and provide a site specific geotechnical report. Subject to approval through the permit process.

Fire Review: (Douglas Bateman, douglas.bateman@slcgov.com)

The applicant is working with the Fire Department on alternate option regarding fire sprinklers being put in the buildings. The alternate option being proposed is to have the access road connect into the property to the west and install a fire access gate between the two properties. For the Fire Department to approve an alternate option the applicant will need to submit an Alternate Means and Methods Application. Staff does not anticipate that if the alternate option is approved that it would impact the proposed site design, as shown in this staff report, the proposed design will continue to meet the Planned Development standard of providing adequate emergency vehicle access.

*With only one fire access road and more than 30 units fire sprinklers will need to be provided for each unit.

*Fire apparatus access roads shall have an unobstructed width of not less than 20 feet for buildings 30-feet or less, exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches. Buildings greater than 30 feet shall have a road width of not less than 26 feet. Fire apparatus access roads with fire hydrants on them shall be 26-feet in width; at a minimum of 20-feet to each side of the hydrant in the direction of road travel.

*Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus (80,000 pounds) and shall be surfaced to provide all-weather driving capabilities.

*The required turning radius of a fire apparatus access road shall be the following: Inside radius is 20 feet, outside is 45-feet

*Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus. Turn areas for hammerhead are increased to 80-feet (160-feet total) to accommodate SLC Fire Department apparatus. See appendix D for approved turnarounds

*Buildings or portions of buildings constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.

*Fire department connections shall be located on the street address side of buildings, fully visible and recognizable from the street, and have a fire hydrant within 100-feet on the same side of the street - if applicable to type of fire sprinkler system installed

*Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.

*Aerial fire apparatus access roads shall be provided where the highest roof surface exceeds 30 feet measured from grade plane. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater. Some exceptions have been added by SLC; those can be obtained from this office.

*Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Aerial access routes shall be located not less than 15 feet and not greater than 30 feet from the building and shall be positioned parallel to one entire side of the building.

*Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building

Urban Forestry: (Rick Nelson, rick.nelson@slcgov.com)

These preliminary designs show four Ivory Silk Tree Lilac in the parkstrip along Redwood Rd. which is an acceptable species to be grown under the overhead powerlines. Urban Forestry is okay with this design. Be aware that a tree planting permit will be required by Urban Forestry prior to our approval of a building permit.