



MEMORANDUM

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Amy Thompson, Planning Manager, (801)-535-7281,
amy.thompson@slcgov.com

Date: June 8, 2022

Re: Modifications to Design Review approval at approximately 175 North 600 West:
Kozo House Design Review - PLNPCM2020-00258

PROPERTY ADDRESSES: Approximately 633 W 200 N, 625 W 200 N, 621 W 200 N, 613 W 200 N, 175 N 600 W, 157 N 600 W

PARCEL IDS: 08-36-351-028, 08-36-351-029, 08-36-351-031, 08-36-351-011, 08-36-351-012, 08-36-351-013, 08-36-351-025

MASTER PLAN: Capitol Hill Master Plan

ZONING DISTRICT: TSA-UC-T Transit Station Area Urban Core Transition

REQUEST: Bryce Baker, the property owner representative, is requesting modifications to the Kozo House Design Review approval. The project received Design Review approval from the Planning Commission on December 2, 2020 and their approval was extended for one year on November 10, 2021.

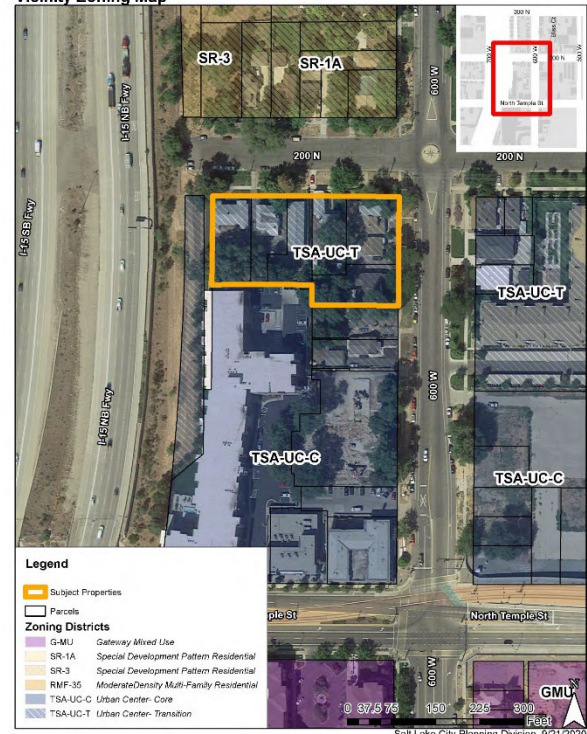
ACTION REQUIRED: Review the proposed changes to the design of the project. If the Planning Commission denies the changes, the project will be required to comply with the original approval.

RECOMMENDATION: Planning Staff recommends that the Planning Commission approve the modifications to PLNPCM2020-00258 Design Review at the above-listed addresses.

ATTACHMENTS:

- [Applicant Submittal Information and Updated Plans](#)
- [Original Planning Commission Staff Report, December 2, 2020](#)
- [Minutes from December 2, 2020](#)

Vicinity Zoning Map



BACKGROUND: This project received Design Review approval for a façade in excess of 200 feet in length, to modify the spacing of building entrances and to exceed the maximum length of a blank wall in the TSA-UC-T Zoning District. The mixed-use project includes several parcels in the vicinity of the southwest corner of the intersection of 200 North and 600 West in the Capitol Hill Master Plan Area.

The proposed building would take up the entirety of the southern block face along 200 North between 600 West and the I-15 corridor. The approved building was 67' 1 – 1/8" in height and included 319 micro units and a parking garage with 141 stalls. The approved parking garage had two access points: one approximately mid-building along 200 North and the other at the southern end of the building along 600 West.



Figure 1: Rendering of Kozo House, looking southwest

The project was reviewed at the December 2, 2020 Planning Commission meeting and the approval was granted a one year extension on November 10, 2021. The original Planning Commission approval granted the request with the following conditions:

1. All other applicable zoning standards not modified by the design review approval shall apply to the proposed development.
2. Final approval authority for the development shall be delegated to Planning staff based on the Applicant's compliance with the standards and conditions as noted within the staff report.
3. The Applicant shall obtain the required demolition permits for the existing buildings. Prior to issuance of any permit to demolish the existing buildings or begin construction of the building, the Applicant shall schedule a DRT meeting with Development staff.
4. The Applicant must consolidate the individual subject parcels prior to the issuance of a building permit.
5. The Applicant must receive approval from the Urban Forester for the chosen species and planting arrangement of street trees along the subject properties' frontage along 200 North and 600 West.
6. The Applicant must submit a set of signage plans as part of their building permit or prior to the installation of said signs. All signs must comply with adopted standards and ordinances.
7. That final approval of signage and lighting for the project be delegated to staff.
8. The Applicant shall comply with all other Department/Division conditions.
9. That a traffic study be conducted with Transportation; specifically looking at circulation of the increased traffic load and the pedestrian safety regarding the intersection on 200 North and 600 West.

Bryce Baker, on behalf of the property owner, is requesting some modifications to the design of the Kozo House project. The new plans show modifications to the structure that deviate from what was previously approved by the Commission.

APPLICANT'S REQUESTED MODIFICATIONS:

The proposed modifications to the approved design are found in the drawings located in Attachment A. Specifically, the following design changes have been proposed by the applicant:

Unit Reduction and Retail Space Reduction

Approved by the Planning Commission: The commission approved 319 micro (studio) units as part of the original design with approximately 7,248 square feet of commercial space. A portion of this space was to be utilized as a leasing office, but multiple retail end users were also expected. Following community feedback, the Applicant also included a sunk-in “living room” area at the corner of the building where 600 West and 200 North intersect which would have access to the retail users on site.

Revised Proposal: The revised building design includes a variety of floor plans ranging in size from studio units to 2-bedroom units. This has reduced the overall unit count to 242. The Applicant has maintained approximately 2,730 square feet of retail as part of this development along the eastern and northern facades of the building. Additionally, 2,100 square feet of office and leasing area has been included. The sunk-in “living room” area is still included on 600 W and 200 N.

Parking Increase

Approved by the Planning Commission: The commission approved 141 parking stalls as part of the original design. The original design provided approximately 0.44 stalls per living unit.

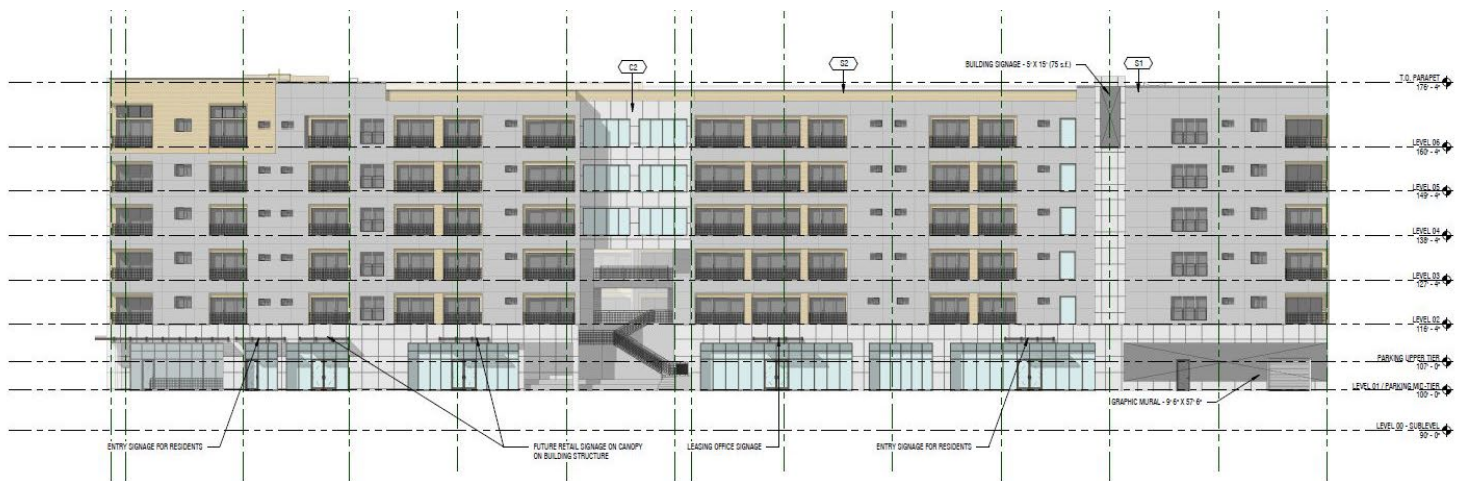
Revised Proposal: The revised amount of provided parking is 190 stalls. Table 21A.44.030 lists the minimum amount of parking required. Generally, multifamily developments are required to provide 2 parking stalls for each residential unit with 2 or more bedrooms, 1 parking stall for each unit with 1 bedroom and 0.5 parking stalls for each studio unit (up to 600 square feet in size). The unit mix in this project would require 214 stalls for the project per these guidelines. Additionally, the project is providing 2,100 square feet of leasing area and 2,730 square feet of retail space. These additional spaces would require 5 parking stalls for the retail area and 6 parking stalls for the office leasing area. In total, the minimum off-street parking requirements would come to 225 stalls. However, because this project is within a TSA zone it is eligible for a reduction of the minimum parking counts by up to 50% which brings the minimum number of stalls down to 113. The proposed number of parking stalls comply with this minimum and does not exceed the maximum of 378 parking stalls as set out in section 21A.44.030 of the city’s adopted ordinances.

Design of Elevations

Approved by the Planning Commission:



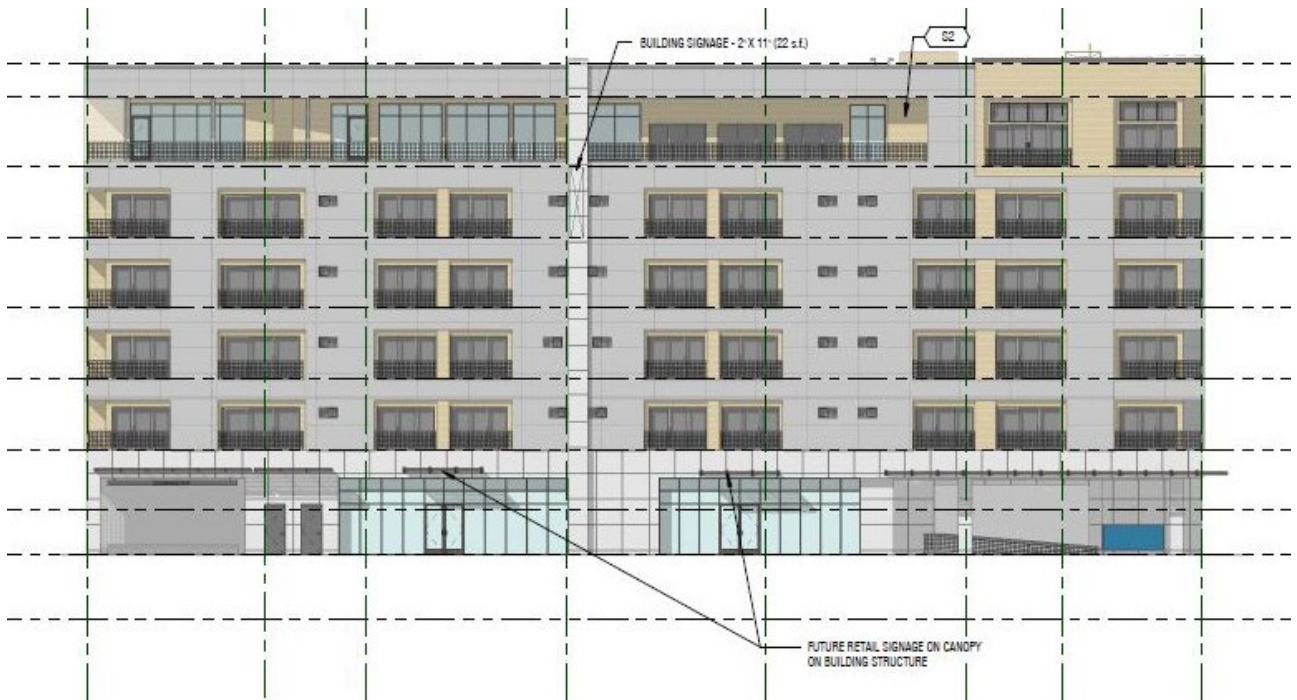
Approved Northern Façade



Updated Northern Façade



Approved Eastern Facade



Updated Eastern Facade



Approved Southern Façade



Updated Southern Façade



Approved Western Façade



Updated Western Façade

Revised Proposal: The design of the facades has changed slightly to accommodate the changes in vehicular access and storefront space. The Applicant has provided calculations showing the ground floor glass in the project has been reduced from 90.5% to 66% on the eastern façade and from 76.4% to 71% on the northern façade. The project is required to provide a minimum of 60% ground floor glass and the revised proposal continues to meet this

requirement. Additionally, screened openings have been added on the ground floor parking garage walls to allow for ventilation. The revised façade designs incorporate the same materials approved in December 2020 but the overall arrangement of the facades has been altered with the revised floorplans.

Vehicular Access

Approved by the Planning Commission: The approved design included two points of vehicular access into the structured parking at this development; one was located on 200 North and the other on 600 West. During the public input process concerns regarding the additional traffic on 200 North (a residential street) were raised.

Revised Proposal: The revised design has removed the vehicular access along 200 North and left the driveway along 600 West as the only garage access for the development. This drive access is located on the southern end of the building to maximize the distance from the intersection of 600 West and 200 North and minimize areas of potential conflict with cyclists and pedestrians. A condition of approval was added to the original approval for the applicant to obtain a traffic study specifically looking at circulation of the increased traffic load and the pedestrian safety regarding the intersection on 200 North and 600 West. The applicant is currently working with a consultant who will conduct the traffic study to comply with this condition.

STAFF ANALYSIS & DISCUSSION:

The revised design incorporates community feedback concerning the drive access which was previously approved along 200 North, a dead-end residential street. The vehicular access to this site has been reduced down to one entrance along 600 West, a local collector, as was suggested during the original public input process. Additionally, the revised design still includes an activated corner at the intersection of 200 North and 600 West with a “sunken living room” feature and access to the businesses for members of the public and residents alike.

The proposed modifications to the Design Review application must be in substantial conformity to the original request or should be reviewed as a separate application. In this case, staff asserts that the revised overall design is in substantial conformity with the original approval.

NEXT STEPS:

Modification of a Design Review - *Approval*

If the modification is approved, the applicant may proceed with the project after meeting all standards and conditions required by all City Departments and the Planning Commission to obtain all necessary building permits.

Modification of a Design Review - *Denial*

If the modification is denied, the applicant will be required to develop the property as was originally approved by the Planning Commission.

Attachment A: Applicant Submittal Information and Updated Plans

KOZO HOUSE



THE IMAGES SHOWN PROVIDE CONTEXT FOR THE ASSUMED DESIGN PROPOSED BY THE ORIGINAL DESIGN TEAM JUXTAPOSED AGAINST THE REVISED DESIGN OF THE CURRENT DESIGN TEAM IN SUBSEQUENT PAGES. IT IS ASSUMED THAT THE ORIGINAL PROPOSED BUILDING WAS CONCEPTUAL AT THE TIME OF SUBMITTAL AND SINCE THEN THE NEW DESIGN TEAM HAS HAD TO MAKE A NUMBER CHANGES FOR CONSTRUCTABILITY, STRUCTURAL EFFICIENCY, AND CODE COMPLIANCE WHICH HAVE CAUSED ALTERATIONS TO THE EXTERIOR APPEARANCE. HERE IS A LIST OF KNOWN DEVIATIONS FROM THE ORIGINAL DESIGN:

- METHOD OF CONSTRUCTION
 - THE ORIGINAL BUILDING WAS DESIGNED AS MODULAR CONSTRUCTION ON THE RESIDENTIAL LEVELS. THE REDESIGN USES TRADITIONAL WOOD FRAMING METHODS. NORMALLY, THIS WOULD NORMALLY BE UNSEEN, BUT THE CHANGES IN CONSTRUCTION METHODOLOGY AFFECTED HOW RESIDENTIAL UNITS WERE DESIGNED AND LAID OUT THROUGHOUT THE BUILDING LEVELS.
 - A FEW WALKOUT BALCONIES HAVE BEEN DELETED BUT ADDED ELSEWHERE
 - LOCATIONS OF WINDOWS AND PATIO DOORS HAVE EXPERIENCED SHIFTS, ADDITIONS, OR DELETIONS. ORIGINAL DESIGN WAS ADHERED TO WHERE REASONABLE
 - CHAMFERED FACES AROUND PATIOS HAVE BEEN REMOVED DUE TO CONSTRUCTABILITY INEFFICIENCIES
- BUILDING FOOTPRINT
- FOOTPRINT OF THE PROJECT REMAINS UNCHANGED
 - TO MEET CODE COMPLIANCE, THE SOUTHWEST PORTION OF RESIDENTIAL UNITS (BETWEEN GRIDS 1 & 7), WERE HELD BACK FROM THE FOOTPRINT LOCATION TO MEET THE REQUIRED 10 FOOT SETBACK TO/FROM THE RESIDENTIAL UNITS AND THE SOUTH PROPERTY LINE. THE PARKING GARAGE WAS NOT REQUIRED TO MEET THE SAME SETBACK.
 - ADDITIONAL WALKOUT PATIOS WERE GAINED AT LEVEL 02 BETWEEN GRIDS 1 & 7 DUE TO UNIT SETBACKS
 - SOUTHWEST STAIR TOWER WAS PREVIOUSLY CONSUMED BY THE BUILDING DESIGN AND WHOLELY RESIDED IN THE INTERIOR. CODE COMPLIANCE AND DESIGN EFFICIENCY CONSIDERATIONS FOR THE PROJECT REQUIRED IT MOVE FURTHER SOUTH. IT IS NOW VISABLE AS PART OF THE BUILDING MASS (SEE GRID 3 @SOUTH ELEVATION).
- EXTERIOR STAIRS AND TERRACED SEATING –
- THIS AREA HAS UNDERGONE MINOR ALTERATIONS FOR CODE COMPLIANCE AND UTILITY
 - SEATING TERRACE HAS BEEN EXTENDED TOWARDS THE EAST WHERE GLAZING ORIGINAL OCCURRED.
 - PLANTERS ALONG LOWER STAIR RUNS WILL BRING A SOFTER, ORGANIC FEELING AGAINST THE MONOLITHIC STAIR STRUCTURE
 - FRAMED UTILITY SHAFTS WERE REQUIRED FOR MECHANICAL AND PLUMBING SERVICES AND NOW EXIST FLANKING BOTH SIDES OF THE OPENING INTO THE INNER COURTYARD. THESE SHAFTS WILL BE CLAD IN THE DARK “METAL PANEL” SYSTEM ALLOWING THEM TO BLEND INTO THE BUILDING.
- EXTERIOR MATERIALS
- IT IS UNCLEAR FROM AVAILABLE DOCUMENTS WHETHER THESE MATERIALS ARE A TRUE DEVIATION FROM THE ORIGINAL PROPOSED AND APPROVED MATERIALS. THE APPEARANCE HAS BEEN MATCHED; HOWEVER, THE MANNER OF PRODUCTS PHYSICAL CHARACTERISTICS MIGHT VARY FROM THE ORIGINAL PROPOSED PRODUCTS. HERE ARE THE CURRENT PROPOSED MATERIALS
 - FAUX CONCRETE PANELS
 - DUE TO EFFICIENCY CHANGES TO THE STRUCTURAL DESIGN, A REDUCTION IN CAST CONCRETE WALLS OCCURRED, BEING REPLACED BY METAL STUD FRAMING. TO MAINTAIN THE ORIGINAL DESIGN INTENT A FAUX CONCRETE PANEL HAS BEEN SELECTED THAT CLOSELY RECREATES THE ARCHITECTURAL CONCRETE APPEARANCE.
 - THIS MATERIAL OCCURS ON THE VERTICAL PIER ELEMENTS ON THE NORTH AND EAST ELEVATIONS AS WELL AS THE WALLS BELOW LEVEL 02. THIS MATERIAL HAS BEEN ADDED THE BRIDGING ELEMENT ON THE NORTH ELEVATIONS BETWEEN GRIDS 7 & 9.
 - METAL PANEL
 - THE “METAL PANEL” CALLED OUT IS A CEMENTIOUS PANEL GIVING THE APPEARANCE OF THE METAL PANELS. THIS HAS BEEN CHANGED SINCE RESUBMITTAL FOR CONSTRUCTIBILITY AND VALUE BASED PURPOSES. DESIGN INTENT AND APPEARANCE WILL REMAIN DESPITE SYSTEM USED.
 - WOOD LAP SIDING
 - A PREFINISHED WOOD-LOOK CEMENTIOUS PLANK SYSTEM IS SPECIFIED. UNCLEAR IF ORIGINAL DESIGN INTENDED REAL WOOD. THE DESIGN TEAM DOES NOT RECOMMEND REAL WOOD FOR THIS APPLICATION.
 - THE NORTHEAST CORNER AT LEVEL 06 RECEIVED ADDITIONAL LAP SIDING NOT ORIGINALLY SEEN IN THE PROJECT FOR THE PURPOSE OF BALANCING THE RATIO OF WOOD SIDING TO “METAL PANEL” ON THE EXTERIOR ELEVATIONS. IT ALSO AIDED IN BRING FOCUS TO A PREMIUM UNIT
 - WOOD SOFFITS
 - UNCHANGED FROM THE ORIGINAL DESIGN
 - GLAZING SYSTEMS
 - TO ACCOMMODATE CODE COMPLIANCE AND SPACE USAGE FOR INTERIOR SPACES, A FEW STOREFRONT GLAZING SYSTEMS HAVE BEEN ADDED/DELETED. THE RATIO OF GLAZING IS SIMILAR AND MEETS RATIO REQUIREMENTS.
 - THE NORTHEAST RETAIL SPACE HAS BEEN ALTERED IN USAGE TO CREATE A COMMUNITY ROOM AVAILABLE FOR RESERVATION FOR NEIGHBORHOOD EVENTS. SOME GLAZING WAS REMOVED BUT REPLACED FURTHER TO THE WEST.
- SIGNAGE/ARTWORK/GRAPHICS
 - SPACES PREVIOUSLY RESERVED FOR COMMISSIONED PROPERTY SIGNAGE/ARTWORK/GRAPHICS REMAIN UNCHANGED. FINAL DESIGN OF AFOREMENTIONED IS YET UNDETERMINED



MARK	DATE	DESCRIPTION

PROJECT #: 521125
DRAWN BY: KL
CHECKED BY: KC
ISSUED: 24.05.2022

SUB-LEVEL 00 /
PARKING LOWER
TIER - OVERALL
A-100.1

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GENERAL NOTES

- KEYNOTES:** THE FIRST TWO NUMBERS REPRESENT THE RELATED CSI MASTER FORMAT DIVISION. THE SECOND SET OF NUMBERS REPRESENTS AN IDENTIFYING MARK VALUE. NOT ALL VALUES MAY BE USED OR OCCUR IN THE DOCUMENT SET.

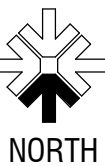
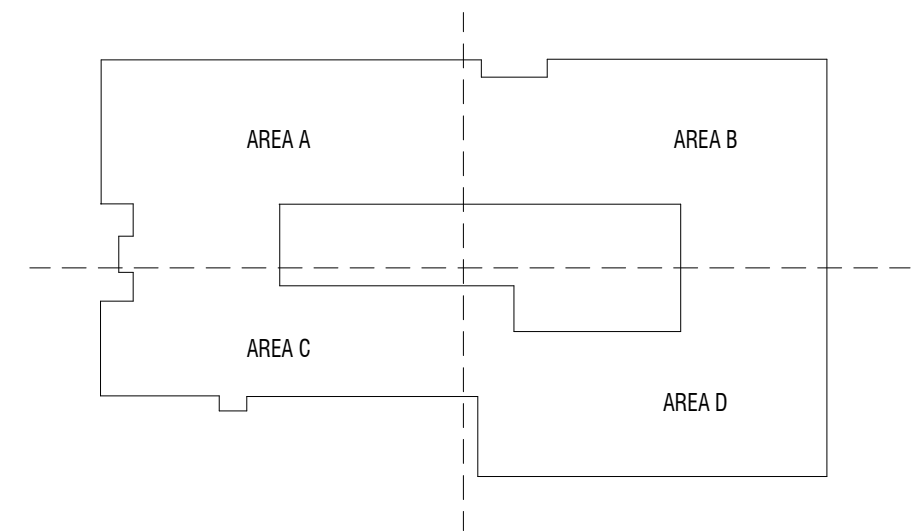
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- ALL INTERIOR DIMENSIONS ARE TO/FROM FACE OF STUD / MASONRY. ALL EXTERIOR DIMENSIONS ARE TO/FROM FACE OF GRID FOUNDATION OR FACE OF STUD. DIMENSIONS MARKED 'CLEAR' OR 'CLR' ARE FROM FACE OF FINISH TO FACE OF FINISH AND SHALL BE MAINTAINED AND CANNOT BE FIELD ADJUSTED WITHOUT PRIOR APPROVAL OF THE ARCHITECT.
- MIN CLEARANCE REQUIRED ON LATCH SIDE OF DOORS SHALL CONFORM TO ADA REQUIREMENTS
- HINGE SIDE OF DOORS AT PERPENDICULAR WALLS TO HAVE 3\" STUD SECTION U.N.O.
- BLOCKING TO BE PROVIDED AT SHELVING, CASEWORK, RAILINGS, LIGHT FIXTURE, COUNTERTOP, ACCESSORIES AND MORE [WWW]A-511, TYP
- PROVIDE 5/8\" PLYWOOD BACKING PANELS AT ELECTRICAL ROOMS AND LOCATIONS FOR EQUIPMENT MOUNTING. PAINT TO MATCH WALLS
- PROVIDE CONTINUOUS WOOD BLOCKING OR METAL STRAPPING FOR ANY WALL MOUNTED OR SUPPORTED ITEMS. PROVIDE FIRE RATED BLOCKING FOR ANY FIRE RATED PARTITIONS
- WALL TYPES SHOWN AS ARE SHOWN ON SHEET A-511. FOR OTHER WALLS SEE BUILDING AND WALL SECTIONS. FOR STANDARD STEEL STUD DETAILS SEE A-512
- AT RECESSED CABINETS (IE: ELECTRICAL PANELS, FEC AND ETC) IN FIRE RATED WALLS PROVIDE 5\" SIDE COVERAGE OF GYP BD IN STUD WALLS TO MAINTAIN INTEGRITY OF FIRE WALL RATING PER A-512
- ALIGN FURRED WALLS AND STUD WALL FINISH FACE TYPICAL. U.N.O.
- ADA RESTROOMS MUST COMPLY WITH ADA CODE REQUIREMENTS
- SEE CODE PLAN FOR LOCATION OF SMOKE AND FIRE RATED PARTITIONS, AND SOUND WALL LOCATIONS
- SLOPE ALL SETTING BEDS TO FLOOR DRAINS U.N.O.
- EXTEND ALL WALLS SURROUNDING AN OPEN CEILING AREA TO DECK U.N.O.
- INDICATES ADDITIONAL INFORMATION ON ENLARGED UNIT TYPE PLANS:
-UNIT NUMBER: UNIQUE # FOR EACH UNIT
-UNIT TYPE: TYPICAL FLOOR PLAN TYPE
-LOCATION OF ENLARGED PLAN FOR UNIT TYPE

UNIT:1A
TYPE:A
SEE A1/A-400
- PROVIDE CONTROL JOINTS AT 30'-0\" O.C. IN CORRIDOR WALLS AND LARGE SPACES. PROVIDE CONTROL JOINTS @ 30'-0\" O.C. IN GYPSUM BOARD CEILINGS THAT EXCEED 30'-0\"
- ALL SIDE WALL PENETRATIONS AND VENTING FOR LAUNDRY, BATH, OR KITCHEN EXHAUST SHALL BE INSULATED TO PREVENT CONDENSATION. ALIGN ALL VENTS/HOODS VERTICALLY AND HORIZONTALLY. FLASH PENETRATIONS TO AVOID WATER INFILTRATION.

KEYNOTES

#	DESCRIPTION
03.01	EMBEDDED BOLLARD - SEE DETAIL ON A-504
03.02	REMOVABLE BOLLARD - SEE DETAIL ON A-504
21.01	SEMI-RECESSED FIRE EXTINGUISHER CABINET
22.09	FLOOR DRAIN, SEE PLUMBING
26.32	GENERATOR - REFER TO ELECTRIC FOR SPECIFICS

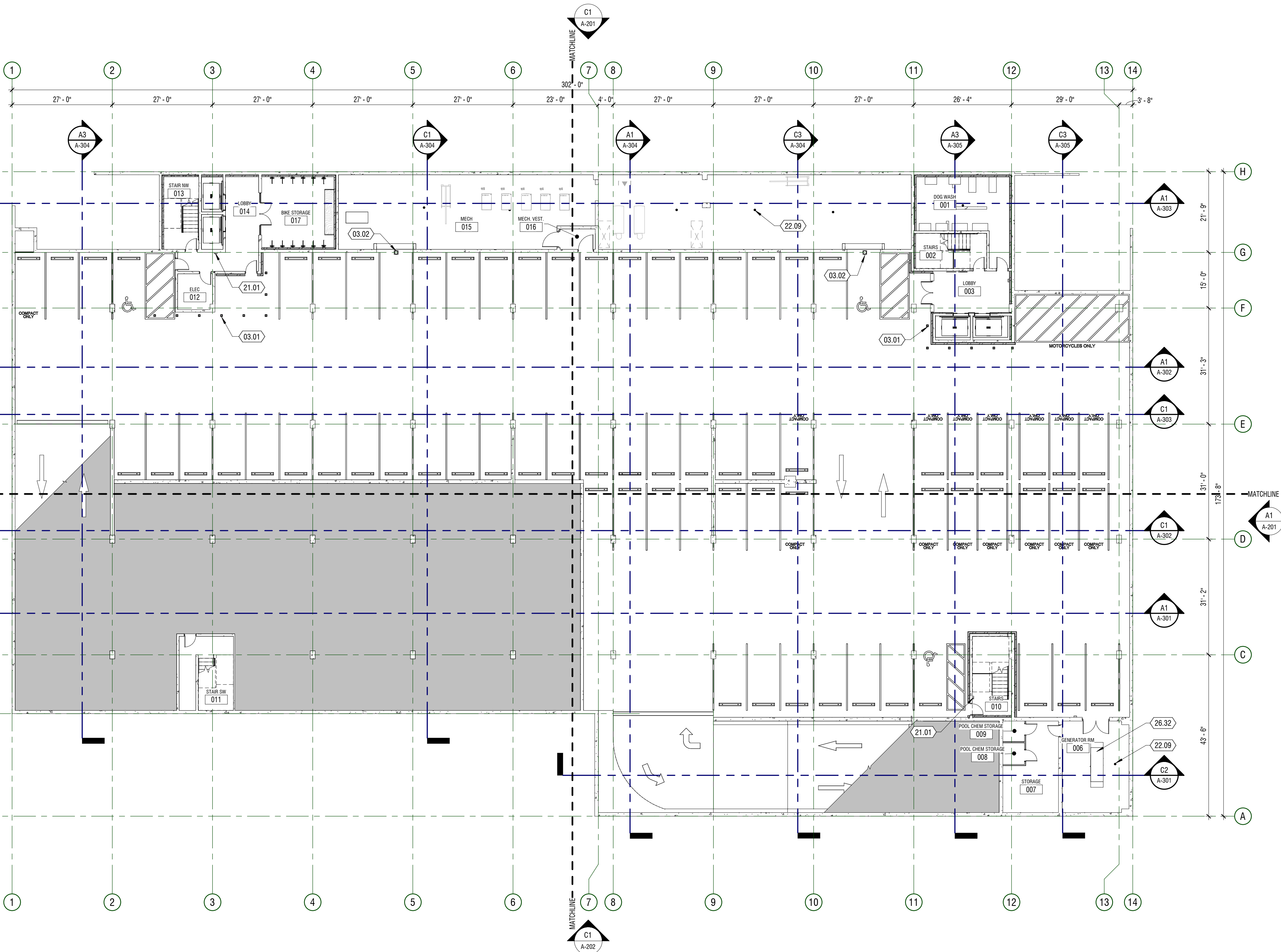
KEYPLAN



PERMIT SET

A1 PLAN - OVERALL

1/16" = 1'-0" SUB-LEVEL 00 / PARKING LOWER TIER



MARK	DESCRIPTION
03.01	EMBEDDED BOLLARD - SEE DETAIL ON A-504
03.12	PRECAST WHEEL STOP ANCHORED TO SLAB
05.34	WIRE MESH SECURITY GRILL
10.06	TRASH CHUTE - SEE SPEC
11.08	EXTERIOR CORNER FIREPLACE - INSTALL PER MANUFACTURERS INSTRUCTIONS
21.01	SEMI-RECESSED FIRE EXTINGUISHER CABINET
22.09	FLOOR DRAIN, SEE PLUMBING
28.01	ACCESS CONTROL VIDEO CONSOLE

PROJECT #: 521125
DRAWN BY: KL
CHECKED BY: KC
ISSUED: 24.05.2022

PERMIT SET

LEVEL 01 / PARKING
MID-TIER - OVERALL

A-100.2

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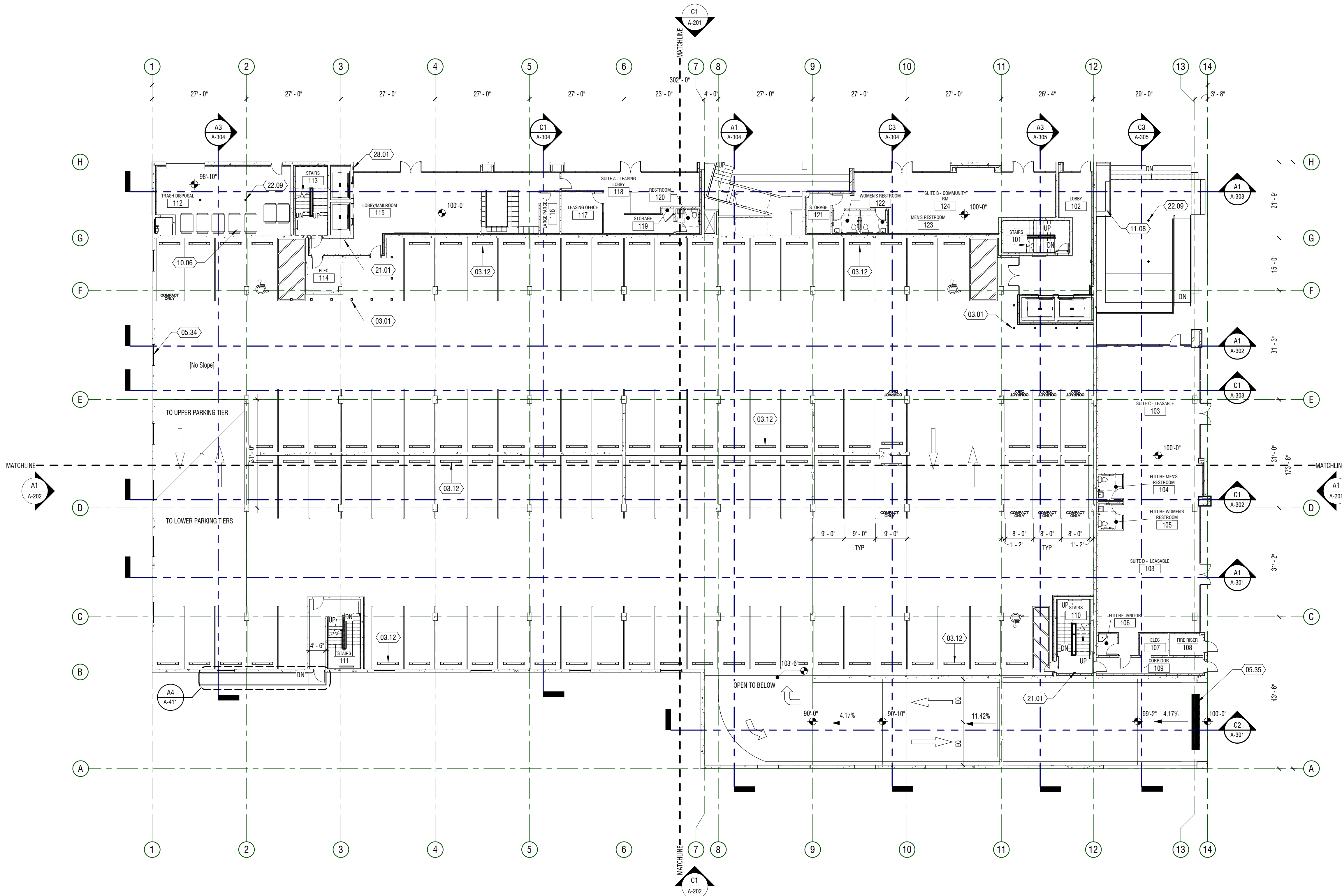
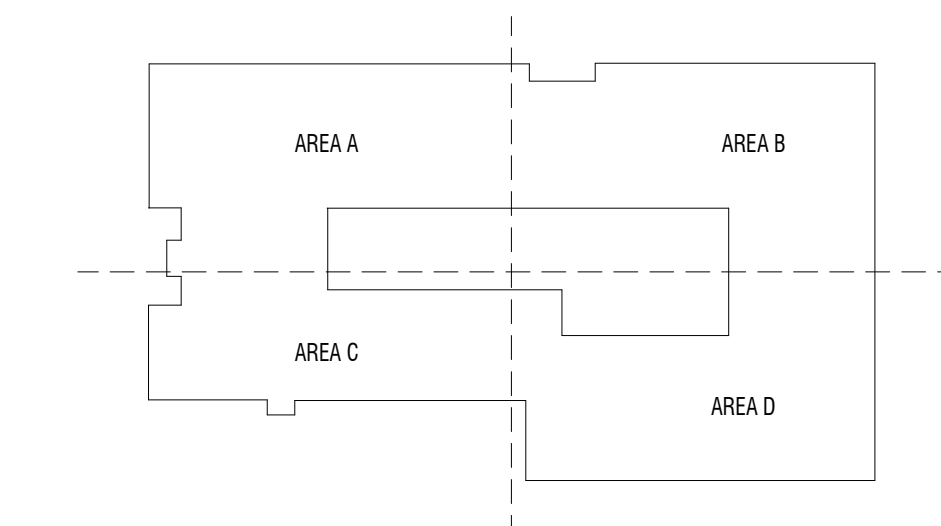
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 - MIN CLEARANCE REQUIRED ON LATCH SIDE OF DOORS SHALL CONFORM TO ADA REQUIREMENTS
- 12" MIN PUSH SIDE
18" MIN PULL SIDE
1/4" - 3" STUD SECTION
- HINGE SIDE OF DOORS AT PERPENDICULAR WALLS TO HAVE 3" STUD SECTION U.N.O.
 - BLOCKING TO BE PROVIDED AT SHELVING, CASEWORK, RAILINGS, LIGHT FIXTURE, COUNTERTOP, ACCESSORIES AND MORE [WWW]A-511, TYP
 - PROVIDE 5/8" PLYWOOD BACKING PANELS AT ELECTRICAL ROOMS AND LOCATIONS FOR EQUIPMENT MOUNTING. PAINT TO MATCH WALLS
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28.01	ACCESS CONTROL VIDEO CONSOLE

KEYPLAN



A1 PLAN - OVERALL

1/16" = 1'-0" LEVEL 01 / PARKING MID-TIER

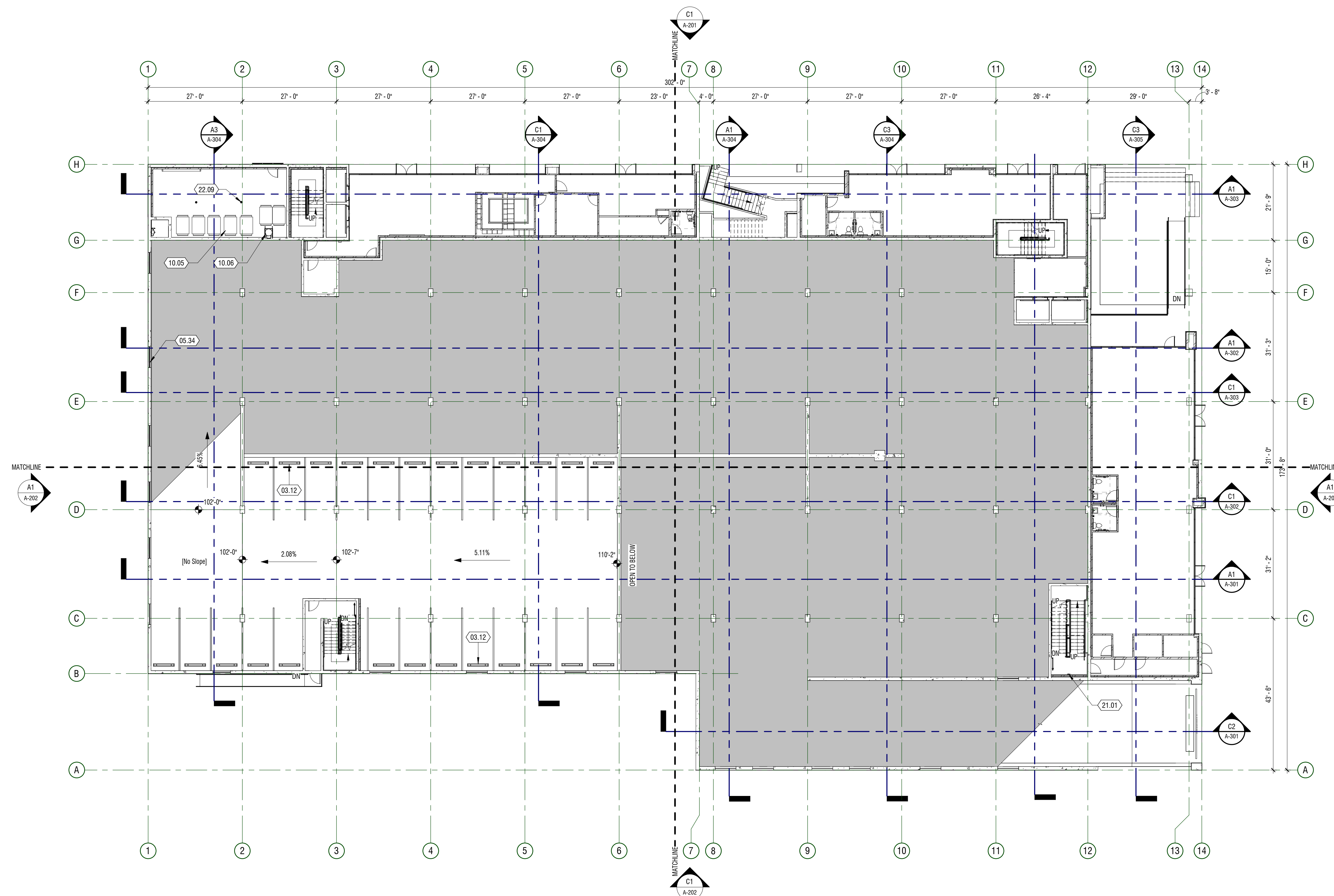
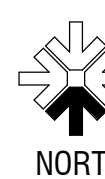
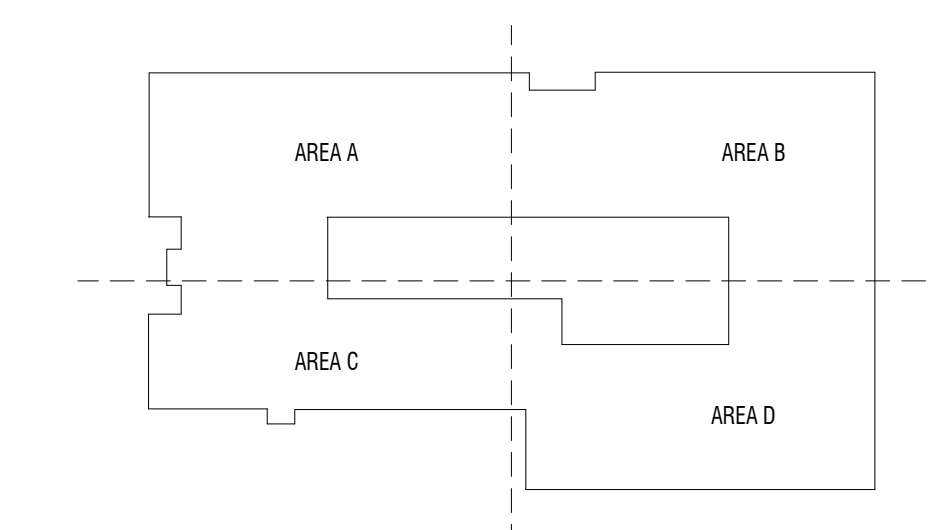
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 - PROVIDE CONTINUOUS WOOD BLOCKING OR METAL STRAPPING FOR ANY WALL MOUNTED OR SUPPORTED ITEMS. PROVIDE FIRE RATED BLOCKING ON ANY FIRE RATED PARTITIONS
 - WALL TYPES SHOWN AS ARE SHOWN ON SHEET A-511. FOR OTHER WALLS SEE BUILDING AND WALL SECTIONS. FOR STANDARD STEEL STUD DETAILS SEE A-512
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 - SLOPE ALL SETTING BEDS TO FLOOR DRAINS U.N.Q.
 - EXTEND ALL WALLS SURROUNDING AN OPEN CEILING AREA TO DECK U.N.Q.
 - INDICATES ADDITIONAL INFORMATION ON ENLARGED UNIT TYPE PLANS:
-UNIT NUMBER, UNIQUE # FOR EACH UNIT
-UNIT TYPE: TYPICAL FLOOR PLAN TYPE
-LOCATION OF ENLARGED PLAN FOR UNIT TYPE
- UNIT-1A
TYPE-A
SEE A1A-400
- ALL JOINT AND WALL PENETRATIONS AND VENTING FOR LAUNDRY, BATH, OR KITCHEN EXHAUST SHALL BE INSULATED TO PREVENT CONDENSATION. ALIGN ALL VENTS/HOODS VERTICALLY AND HORIZONTALLY, FLASH PENETRATIONS TO AVOID WATER INFILTRATION.

KEYNOTES

#	DESCRIPTION
03.12	PRECAST WHEEL STOP ANCHORED TO SLAB
05.34	WIRE MESH SECURITY GRILL
10.05	MOVEABLE TRASH ENCLOSURE - SEE SPEC
10.06	TRASH CHUTE - SEE SPEC
21.01	SEMI-RECESSED FIRE EXTINGUISHER CABINET
22.09	FLOOR DRAIN, SEE PLUMBING

KEYPLAN



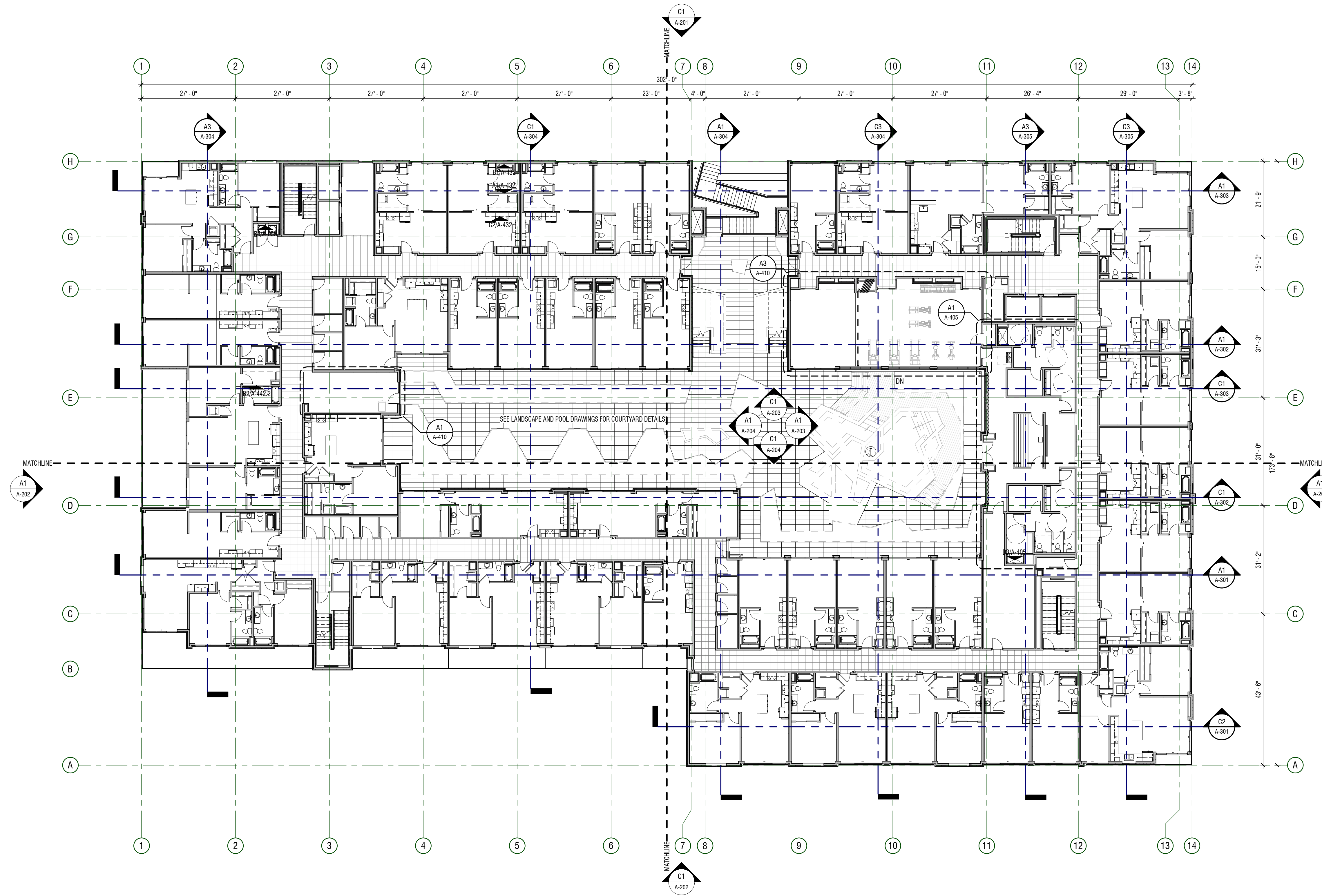
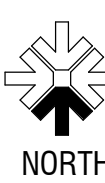
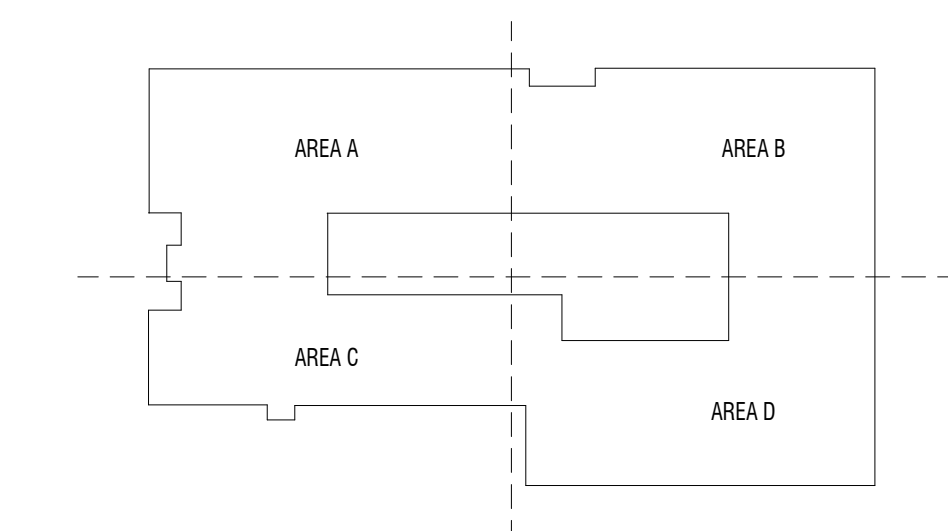
A1 PLAN - OVERALL

1/16" = 1'-0" PARKING UPPER TIER

GENERAL NOTES

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 - MIN CLEARANCE REQUIRED ON LATCH SIDE OF DOORS SHALL CONFORM TO ADA REQUIREMENTS
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 - BLOCKING TO BE PROVIDED AT SHELVING, CASEWORK, RAILINGS, LIGHT FIXTURE, COUNTERTOP, ACCESSORIES AND MORE (WWW/JA-511, TYP
 - PROVIDE 5/8" PLYWOOD BACKING PANELS AT ELECTRICAL ROOMS AND LOCATIONS FOR EQUIPMENT MOUNTING. PART TO MATCH WALLS
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-UNIT TYPE, TYPICAL FLOOR PLAN UNIT
-LOCATION OF ENLARGED PLAN FOR UNIT TYPE
- UNIT: 1A
TYPE: A
SEE A14-400
-
- 12" MIN PUSH SIDE
15" MIN PULL SIDE
3" - 3" STUD SECTION

KEYPLAN



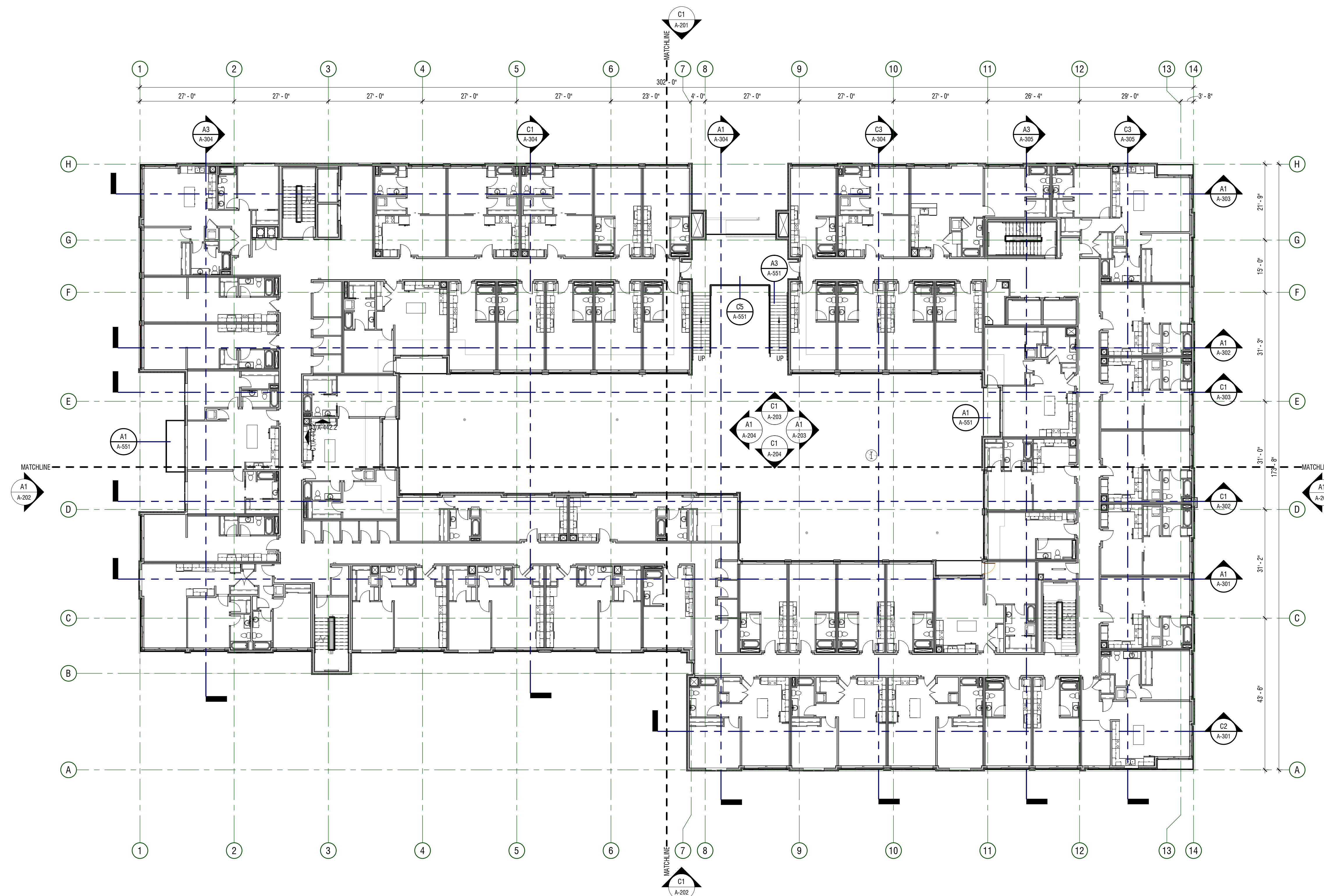
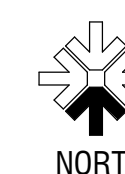
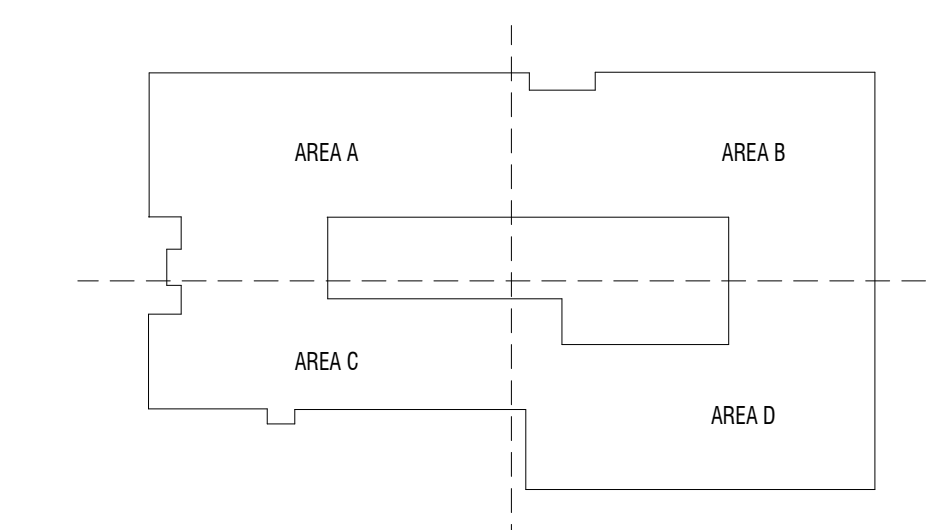
A1 PLAN - OVERALL

1/16" = 1'-0" LEVEL 02

GENERAL NOTES

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18\" MIN PUSH SIDE
3\" STUD SECTION
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TYPE-A
SEE A1A-400
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KEYPLAN



A1 PLAN - OVERALL

1/16" = 1'-0" LEVEL 06

MARK	DATE	DESCRIPTION

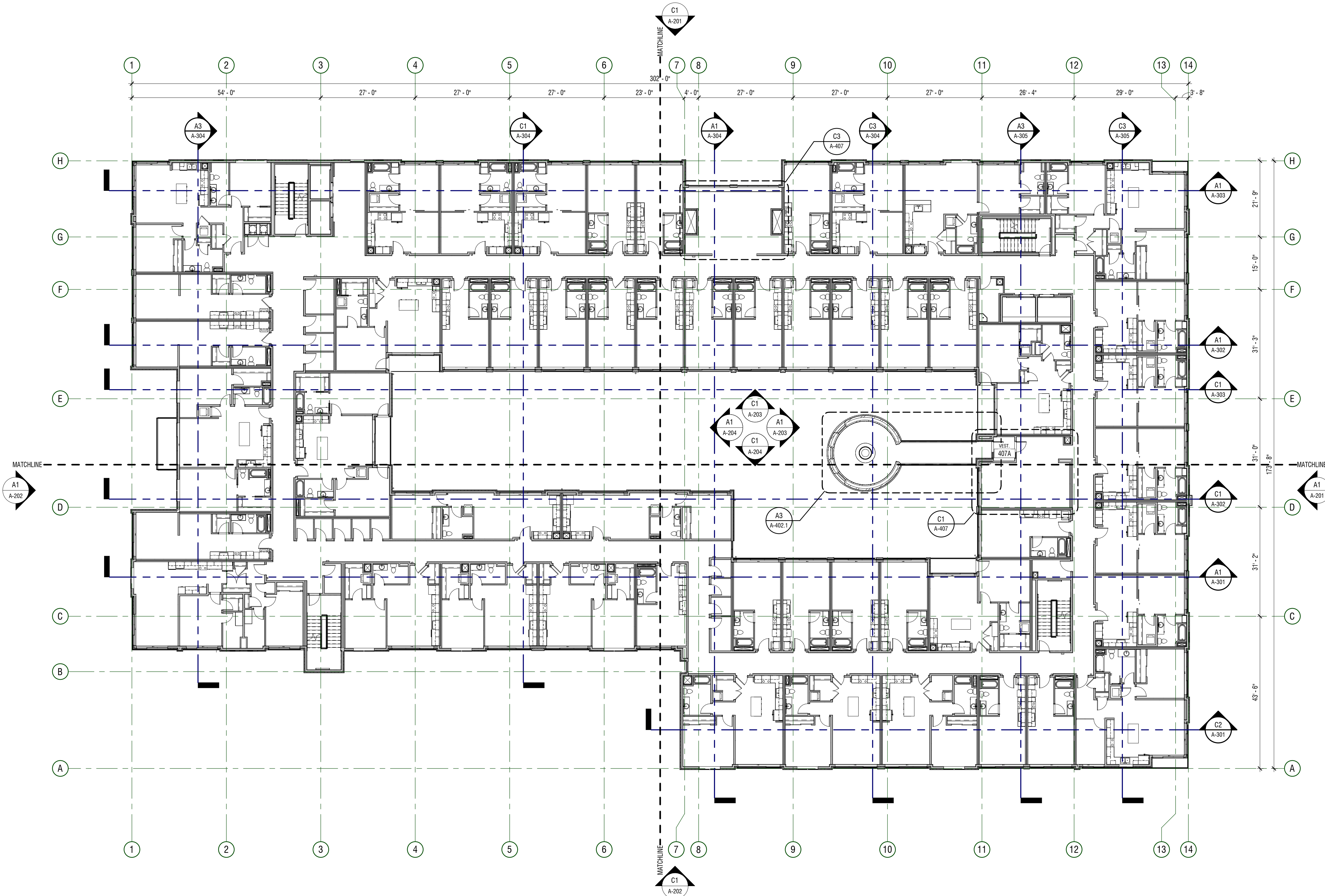
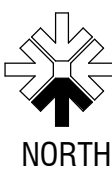
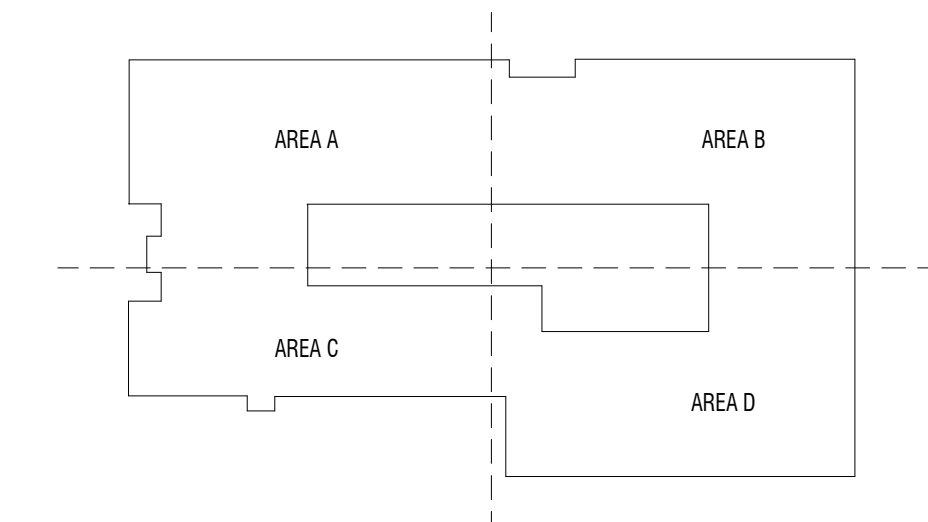
PROJECT #: 521125
DRAWN BY: KL
CHECKED BY: KC
ISSUED: 24.05.2022

PERMIT SET

GENERAL NOTES

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 - PROVIDE CONTROL JOINTS AT 30'-0" O.C. IN CORRIDOR WALLS AND LARGE SPACES. PROVIDE CONTROL JOINTS @ 30'-0" O.C. IN GYPSUM BOARD CEILINGS THAT EXCEED 30'-0"
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KEYPLAN




A1 PLAN - OVERALL

1/16" = 1'-0" LEVEL 06

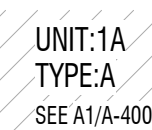
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The diagram shows a building layout divided into four areas (A, B, C, D) by a vertical dashed line and a horizontal dashed line. Area A is the top-left quadrant, Area B is the top-right quadrant, Area C is the bottom-left quadrant, and Area D is the bottom-right quadrant. A central rectangular area is also shown, overlapping the four quadrants.



NORTH CAROLINA STATE UNIVERSITY

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1/16" = 1'-0" LEVEL 06

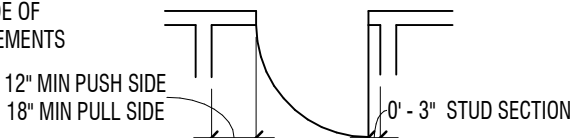
MARK	DATE	DESCRIPTION

PROJECT #: 521125
DRAWN BY: KL
CHECKED BY: KC
ISSUED: 24.05.2022

LEVEL 06 - OVERALL
A-100.8

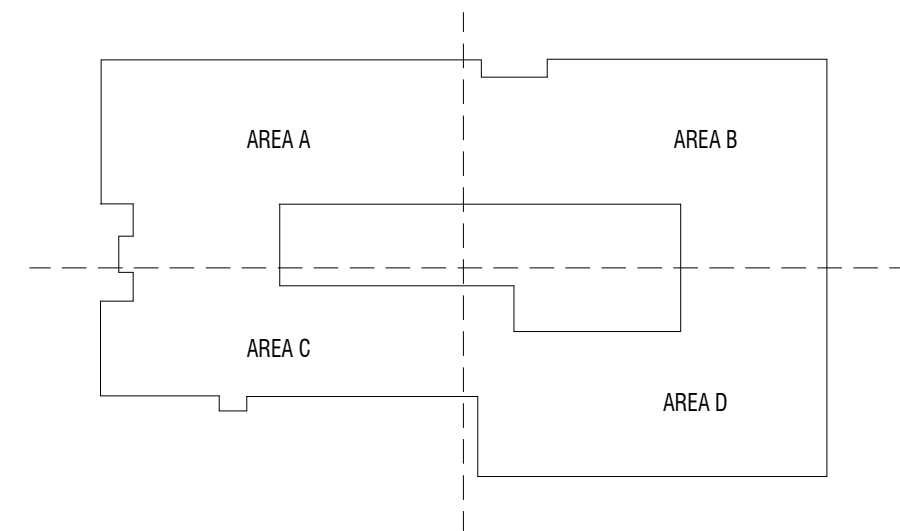
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UNIT:1A
TYPE:A
SEE A1/A-400

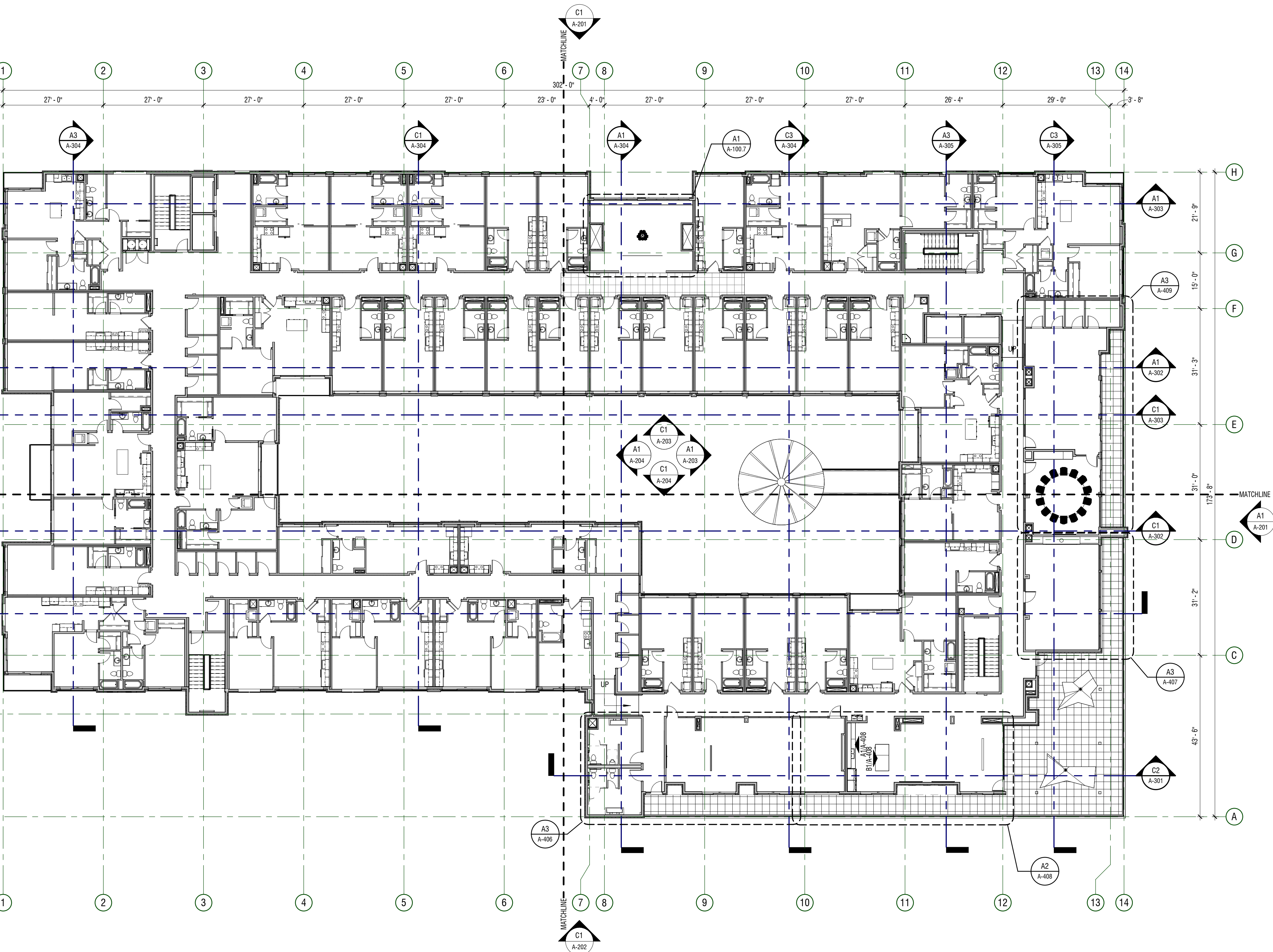
KEYPLAN



PERMIT SET

A1 PLAN - OVERALL

1/16" = 1'-0" LEVEL 06



TYPICAL UNITS: COUNTS & AREA

UNIT TYPE A		UNIT TYPE B		UNIT TYPE D		UNIT TYPE H		UNIT TYPE P	
UNIT 208	352 sq	UNIT 225	531 sq	UNIT 220	674 sq	UNIT 244	832 sq	UNIT 224	1089 sq
UNIT 209	353 sq	UNIT 228	518 sq	UNIT 222	674 sq	1		1	
UNIT 210	356 sq	UNIT 229	520 sq	UNIT 223	672 sq	GRAND TOTAL: 44			
UNIT 212	356 sq	3		3		UNIT TYPE J			
UNIT 213	356 sq					UNIT 207		973 sq	
UNIT 215	356 sq	UNIT TYPE C		UNIT TYPE E		1			
UNIT 216	359 sq		542 sq	UNIT 211	720 sq	UNIT TYPE L			
UNIT 218	352 sq	UNIT 203	542 sq	UNIT 214	723 sq	UNIT 201		1133 sq	
UNIT 233	354 sq	UNIT 204	542 sq	UNIT 217	761 sq	1			
UNIT 235	354 sq	UNIT 205	543 sq	3		UNIT TYPE M			
UNIT 237	354 sq	UNIT 206	542 sq	UNIT TYPE F		UNIT 230		1029 sq	
UNIT 238	354 sq	UNIT 232	542 sq	UNIT 219	650 sq	1			
UNIT 239	355 sq	UNIT 234	542 sq	UNIT 221	640 sq	UNIT TYPE N			
UNIT 240	340 sq	UNIT 236	548 sq	2		UNIT 227		1099 sq	
UNIT 241	338 sq	UNIT 243	543 sq	UNIT TYPE G		1			
UNIT 242	333 sq	9		UNIT 226	722 sq	UNIT 231		725 sq	
16				2		2			

LEGEND

COMMONS	UNIT TYPE F
AMENITIES	UNIT TYPE G
STORAGE	UNIT TYPE H
UTILITY	UNIT TYPE J
UNIT TYPE A	UNIT TYPE L
UNIT TYPE B	UNIT TYPE M
UNIT TYPE C	UNIT TYPE N
UNIT TYPE D	UNIT TYPE P
UNIT TYPE E	



A1

PLAN - UNIT TYPES

1/16" = 1'-0"

LEVEL 02



PERMIT SET

TYPICAL UNITS: COUNTS & AREA

UNIT TYPE A		UNIT TYPE B		UNIT TYPE E		UNIT TYPE K	
UNIT 307	359 R ²	UNIT 328	540 R ²	UNIT 314	735 R ²	UNIT 303	771 R ²
UNIT 311	367 R ²	UNIT 331	534 R ²	UNIT 317	732 R ²	1	
UNIT 312	366 R ²	UNIT 332	536 R ²	UNIT 320	761 R ²	UNIT TYPE L	
UNIT 315	356 R ²	3		3		UNIT 301	1195 R ²
UNIT 316	357 R ²	UNIT TYPE C		UNIT TYPE F		1	
UNIT 318	353 R ²	UNIT 302	561 R ²	UNIT 322	656 R ²	UNIT TYPE M	
UNIT 319	353 R ²	UNIT 304	561 R ²	UNIT 324	644 R ²	UNIT 333	1131 R ²
UNIT 321	348 R ²	UNIT 305	561 R ²	2		1	
UNIT 336	354 R ²	UNIT 306	535 R ²	UNIT TYPE G		UNIT TYPE N	
UNIT 338	354 R ²	UNIT 308	561 R ²	UNIT 313	711 R ²	UNIT 329	1137 R ²
UNIT 340	354 R ²	UNIT 309	561 R ²	UNIT 334	726 R ²	UNIT 330	1095 R ²
UNIT 341	354 R ²	UNIT 335	556 R ²	2		2	
UNIT 342	370 R ²	UNIT 337	564 R ²	UNIT TYPE H		UNIT TYPE P	
UNIT 343	370 R ²	UNIT 339	568 R ²	UNIT 350	866 R ²	UNIT 327	1150 R ²
UNIT 344	353 R ²	UNIT 348	561 R ²	1		1	
UNIT 345	363 R ²	UNIT TYPE D		UNIT TYPE J		GRAND TOTAL: 51	
UNIT 346	354 R ²	UNIT 323	671 R ²	UNIT 310	994 R ²		
UNIT 347	354 R ²	UNIT 325	672 R ²	1			
UNIT 349	354 R ²	UNIT 326	669 R ²	3			
UNIT 351	352 R ²						
20							

LEGEND

COMMONS	UNIT TYPE G
STORAGE	UNIT TYPE H
UTILITY	UNIT TYPE J
UNIT TYPE A	UNIT TYPE K
UNIT TYPE B	UNIT TYPE L
UNIT TYPE C	UNIT TYPE M
UNIT TYPE D	UNIT TYPE N
UNIT TYPE E	UNIT TYPE P
UNIT TYPE F	



A1

PLAN - UNIT TYPES

1/16" = 1'-0"

LEVEL 03



PERMIT SET

KOZO HOUSE

DESCRIPTION:

DATE:

MARK:

PROJECT #: 521125
DRAWN BY: KL
CHECKED BY: KC
ISSUED: 24.05.2022

LEVEL 03 - UNIT TYPES

A-101.3

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design west | architects
LOGAN UT 84321
255 SOUTH 300 WEST
SALT LAKE CITY UT 84103

TYPICAL UNITS: COUNTS & AREA

UNIT TYPE A		UNIT TYPE B		UNIT TYPE E		UNIT TYPE K	
UNIT 406	374 R ²	UNIT 427	535 R ²	UNIT 413	728 R ²	UNIT 403	779 R ²
UNIT 410	360 R ²	UNIT 430	486 R ²	UNIT 416	724 R ²	1	
UNIT 411	351 R ²	UNIT 431	537 R ²	UNIT 419	761 R ²		
UNIT 414	361 R ²	3		3		UNIT TYPE L	
UNIT 415	361 R ²					UNIT 401	1136 R ²
UNIT 417	358 R ²	UNIT TYPE C		UNIT TYPE F		1	
UNIT 418	358 R ²	UNIT 402	546 R ²	UNIT 421	664 R ²		
UNIT 420	355 R ²	UNIT 404	547 R ²	UNIT 423	653 R ²	UNIT TYPE M	
UNIT 435	368 R ²	UNIT 405	548 R ²	2		UNIT 432	1082 R ²
UNIT 437	357 R ²	UNIT 407	549 R ²			1	
UNIT 439	357 R ²	UNIT 408	548 R ²	UNIT TYPE G			
UNIT 440	357 R ²	UNIT 434	542 R ²	UNIT 412	714 R ²	UNIT TYPE N	
UNIT 441	353 R ²	UNIT 436	549 R ²	UNIT 433	735 R ²	UNIT 428	1044 R ²
UNIT 442	341 R ²	UNIT 438	548 R ²	2		UNIT 429	1099 R ²
UNIT 443	357 R ²	UNIT 449	547 R ²	UNIT TYPE H		2	
UNIT 444	363 R ²	9		UNIT 451	843 R ²	UNIT TYPE P	
UNIT 445	362 R ²			1		UNIT 426	1153 R ²
UNIT 446	341 R ²	UNIT TYPE D					
UNIT 447	365 R ²	UNIT 422	674 R ²	UNIT TYPE J			
UNIT 448	356 R ²	UNIT 424	677 R ²	UNIT 409	981 R ²	GRAND TOTAL: 52	
UNIT 450	355 R ²	UNIT 425	672 R ²				
UNIT 452	355 R ²	3		1			
22							

LEGEND

COMMONS	UNIT TYPE F
AMENITIES	UNIT TYPE G
STORAGE	UNIT TYPE H
UTILITY	UNIT TYPE J
UNIT TYPE A	UNIT TYPE K
UNIT TYPE B	UNIT TYPE L
UNIT TYPE C	UNIT TYPE M
UNIT TYPE D	UNIT TYPE N
UNIT TYPE E	UNIT TYPE P



A1 PLAN - UNIT TYPES

1/16" = 1'-0" LEVEL 04



PERMIT SET

KOZO HOUSE

DESCRIPTION:

DATE:

MARK:

PROJECT #: 521125
DRAWN BY: KL
CHECKED BY: KC
ISSUED: 24.05.2022

LEVEL 04 - UNIT TYPES

A-101.4

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design west | architects
LOGAN UT 84321
255 SOUTH 300 WEST
SALT LAKE CITY UT 84103

#	#
MARK	DESCRIPTION
DIVISION 03: CONCRETE	
C1	CONCRETE - ARCHITECTURAL FINISH
C2	FAUX ARCHITECTURAL CONCRETE PANEL
DIVISION 05: METAL	
M1	METAL PANEL
M2	PREFINISHED METAL PARAPET CAP. COLOR: DARK GREY
M3	PAINT STEEL COLUMN. COLOR: DARK GREY
M4	PAINTED BRAKE METAL, COLOR: DARK GREY
R1	STANDING SEAM METAL ROOF
DIVISION 06: WOOD AND COMPOSITE	
S1	FIBER CEMENT LAP SIDING
S2	FIBER CEMENT LAP SIDING - COLOR #1
S3	FIBER CEMENT LAP SIDING - COLOR #1
DIVISION 09: FINISHES	
T1	MOSAIC TILE - BY ARCHITECT



1/16" = 1'-0" NORTH



1/16" = 1'-0" EAST

PERMIT SET

**Attachment B: Original Planning Commission Staff Report,
December 2, 2020**

http://www.slcdocs.com/Planning/Planning%20Commission/2020/00258_Staff%20Report.pdf

Attachment C: Minutes from December 2, 2020

SALT LAKE CITY PLANNING COMMISSION MEETING
This meeting was held electronically pursuant to the
Salt Lake City Emergency Proclamation
Wednesday, December 2, 2020

A roll is being kept of all who attended the Planning Commission Meeting. The meeting was called to order at [5:30:15 PM](#). Audio recordings of the Planning Commission meetings are retained for a period of time.

Present for the Planning Commission meeting were: Chairperson, Brenda Scheer; Vice-Chairperson, Amy Barry; Commissioners Andres Paredes,Carolynn Hoskins, Maurine Bachman, Matt Lyon, Adrienne Bell, Jon Lee, and Sara Urquhart.

Planning Staff members present at the meeting were: Nick Norris, Planning Director; Wayne Mills, Planning Manager; Paul Nielson, Attorney; Caitlyn Miller, Principal Planner; Aaron Barlow, Principal Planner; David Gellner, Principal Planner; Mayara Lima, Principal Planner; and Marlene Rankins, Administrative Secretary.

Chairperson Brenda Scheer read the Salt Lake City Emergency declaration.

REPORT OF THE CHAIR AND VICE CHAIR [5:31:53 PM](#)

Chairperson Scheer stated she had nothing to report.

Vice Chairperson Barry stated she had nothing to report.

REPORT OF THE DIRECTOR [5:32:04 PM](#)

Nick Norris, Planning Director, stated he had nothing to report.

[5:32:30 PM](#)

Izzy South Design Review/Special Exception at approximately 534 East 2100 South - A request by Ryan McMullen for Design Review and Special Exception approval to develop a 71-unit mixed use building located at approximately 534 East 2100 South in the Community Business CB zoning district. The applicant is requesting Design Review approval because the project is over 15,000 square feet in size and Special Exception approval to allow 3' of additional building height. The project is located within Council District 7, represented by Amy Fowler (Staff contact: Caitlyn Miller at (385) 315- 8115 or caitlyn.miller@slcgov.com) **Case numbers PLNPCM2020-00222 & PLNPCM2020-00655** (Tabled from 9/23 Planning Commission meeting)

Caitlyn Miller, Principal Planner, reviewed the petition as outlined in the Staff Report (located in the case file). She stated Staff recommended that the Planning Commission approve the request.

Justin Heppler, applicant, provided a presentation with further details.

PUBLIC HEARING [5:47:29 PM](#)

Chairperson Scheer opened the Public Hearing;

Caitlin Lutsch, Liberty Wells Community Council – Stated her support of the request and that the community was mostly supportive of the project except for the few concerns previously mentioned at the September 23, 2020 Planning Commission Meeting.

Joe Mason – Stated his support of the request. He also raised concern with the compatibility of the neighborhood.

Scott Doutre – Stated his concerns with the compatibility of the neighborhood.

Shane Stroud – Raised concerns with parking and stated his opposition of the request.

Liz Schwab – Raised concerns with parking.

Bob Farrell – Raised concerns with parking issues.

Soren Simonsen – Stated his support of the request.

Wanda Brown – Raised concerns parking, noise and light pollution.

Aikona Leafaitulagi – Stated her opposition of the request.

Judi Short, Sugar House Community Council - Provided an email comment raising concerns with parking and opposition of the request.

Seeing no one else wished to speak; Chairperson Scheer closed the Public Hearing.

The applicant addressed the public comments and concerns.

The Commission made the following comments:

- I'm generally supportive at this point in time based on the standards before us
- I believe the applicant addressed the concerns that were set forth

MOTION [6:18:30 PM](#)

Commissioner Bell stated, based on the information in the staff report, the information presented, and the input received during the public hearing, I move that the Planning Commission approve petition numbers PLNPCM2020-00222 and PLNPCM2020-00655, a Design Review and Special Exception request, respectively, for Izzy South located at approximately 534 East 2100 South.

Commissioner Lee seconded the motion. Commissioners Bachman, Barry, Bell, Hoskins, Lee, Lyon, and Urquhart voted “Aye”. Commissioner Paredes voted “Nay”. The motion passed 7-1.

[6:21:24 PM](#)

Kozo House Design Review at approximately 157, 175 North 600 West, and 613, 621, 625, 633 West 200 North - A request by David Clayton for Design Review approval to develop a 319-unit mixed use building on six parcels located at 157 North 600 West, 175 North 600 West, 613 West 200 North, 621 West 200 North, 625 West 200 North, and 633 West 200 North. These properties are located in the TSAUC-T Zoning District. The applicant is requesting Design Review approval to allow the proposed building to exceed the maximum street facing façade length and to modify the spacing of building entrances. The project is located within Council District 3, represented by Chris Wharton (Staff contact: Caitlyn Miller at (385) 315- 8115 or caitlyn.miller@slcgov.com) **Case number PLNPCM2020-00258** (Tabled from 10/14 Planning Commission meeting)

Commissioner Bell recused herself due to possible conflict of interest.

Caitlyn Miller, Principal Planner, reviewed the petition as outlined in the Staff Report (located in the case file).

Dallin Jolley and David Clayton, applicants, provided a presentation with further design details.

The Commission, Staff and Applicant discussed the following:

- Clarification on whether there was a change in number of units
- Clarification on number of parking spaces

PUBLIC HEARING [6:41:28 PM](#)

Chairperson Scheer opened the Public Hearing;

Pamela Starley – Stated her opposition of the request.

Keiko Jones – Stated her opposition of the request.

Chelene Fortier – Raised concerns with the parking and stated her opposition of the request.

Antonio Fiero – Stated his opposition of the request.

Aikona Leafaitulagi – Stated her opposition of the request.

Call in user – Stated his opposition of the request and asked the Commission to consider the neighborhoods comments and concerns.

Jason Walker – Stated his opposition of the request.

Seeing no one else wished to speak; Chairperson Scheer closed the Public Hearing.

The applicant address the public comments and concerns.

The Commission, Staff and Applicant discussed the following:

- Clarification on whether the applicant owns all of the single-family home on the South side of 2nd North
- Clarification on how higher density makes property more affordable
- Clarification on how a zoning change takes place
- Clarification on zoning amendments and who is authorized to initiate an amendment
- Clarification on the term “affordable” and what it’s based on
- Height restriction of the core areas
- Clarification on what is included in a score
- Clarification on whether there was communication with the transportation department regarding the traffic flow
- Whether the applicant has had communication with the community council

The Commission made the following comments and discussion:

- I’m in favor of tabling this to hear a better response from transportation
- I’m weighing the project; I think it’s come a long way; I certainly understand where the community is coming from a tight knit community
- Clarification on adding condition to approval and whether it would address the increased load

MOTION [7:39:23 PM](#)

Commissioner Barry stated, based on the analysis and findings listed in the staff report, information presented, and the input received during the public hearing, I move that the Planning Commission approve the Design Review request including modifications to the maximum distance between building entrances, maximum length of a blank wall, and maximum length of a street-facing façade (PLNPCM2020-00258) for the Kozo House Apartments project located at approximately 175 North 600 West. This recommendation is based on the conditions of approval listed in the staff report. With the added condition:

#9 – That a traffic study be conducted with Transportation; specifically looking at the circulation of the increased traffic load and the pedestrian safety regarding the intersection on 200 North and 600 West.

Final details regarding these conditions of approval are delegated to planning staff.

Commissioner Lee seconded the motion. Commissioners Bachman, Barry, Hoskins, Lee, Lyon, and Urquhart voted “Aye”. Commissioner Paredes voted “Nay”. The motion passed 6-1.

[7:44:28 PM](#)

Learned Ave Alley Vacation at approximately 1025 West North Temple - A request from Jarod Hall of Di'velept Design, representing the owner of surrounding properties, Riley Rogers, to vacate the public alley adjacent to the rear property line of 1025 West North Temple that runs mid-block from east to west. The subject alley is surrounded by the TSA-SP-T (Special Purpose Transit Station, Transition Area) zoning district and is located within Council District #2, represented by Andrew Johnston (Staff contact: Aaron Barlow at (385) 386-2764 or aaron.barlow@slcgov.com) **Case number PLNPCM2020-00572**

Aaron Barlow, Principal Planner, reviewed the petition as outlined in the Staff Report (located in the case file). He stated Staff recommended that the Planning Commission forward a position recommendation to the City Council with the conditions listed in the staff report.

The Commission and Staff discussed the following:

- Clarification if the surrounding properties have access to their required parking from the alley
- Clarification on whether the Commission can condition alley vacations for affordable housing

Jarod Hall, applicant, provided further information.

PUBLIC HEARING [7:55:47 PM](#)

Chairperson Scheer opened the Public Hearing;

Antonio Fiero – Asked whether there the nearby restaurants would be closed down and whether the apartments will be affordable.

Seeing no one else wished to speak; Chairperson Scheer closed the Public Hearing.

The applicant addressed the public's questions.

MOTION [7:58:22 PM](#)

Commissioner Bachman stated, based on the findings and analysis in the staff report, the policy considerations for alley vacation, and the input received, I move that the Planning Commission

forward a positive recommendation to the City Council for the alley vacation proposed in PLNPCM2020-00572 with the conditions listed in the staff report.

Commissioner Hoskins seconded the motion.

Commissioner Lyon asked to make a friendly amendment; to add a condition that the City Council also explore adding affordable housing. Commissioner Bachman accepted the amendment.

Commissioners Bachman, Barry, Bell, Hoskins, Lee, Lyon, and Paredes voted "Aye". Commissioner Urquhart voted "Nay". The motion passed 7-1.

The Commission took a 5-minute break.

[8:01:22 PM](#)

Greenprint Gateway Apartments Planned Development and Design Review at approximately 592 West 200 South - Mark Eddy of OZ7 Opportunity Fund, has requested Planned Development and Design Review approval for the Greenprint Gateway Apartments to be located on three (3) contiguous parcels located at 592 W 200 S, 568 W 200 S and 161 S 600 W respectively. The proposal is for a 150-unit apartment building on a 0.59 acre (26,000 square feet) consolidated parcel. The proposed building will be six stories in height and will be approximately 70-feet tall to the top of the building's parapet. The apartments will be a mix of micro and studio apartments. The properties are located in the G-MU Gateway-Mixed Use zoning district. The G-MU zoning district requires Planned Development approval for all new principal buildings and uses. In addition, Design Review approval has been requested to address some design aspects of the building including material choices and maximum length of a section of blank wall space on the west façade of the building. The proposal is located within Council District 4, represented by Ana Valdemoros. (Staff contact: David J. Gellner at (801) 535-6107 or david.gellner@slcgov.com) **Case number PLNPCM2020-00493 & PLNPCM2020-00749**

David Gellner, Principal Planner, reviewed the petition as outlined in the Staff Report (located in the case file). He stated Staff recommended that the Planning Commission approve the request with the conditions listed in the staff report.

The Commission and Staff discussed the following:

- Clarification on the staff recommendations

Mark Eddy, applicant, provided further details and was available for questions.

The Commission, Staff and Applicant discussed the following:

- Clarification on the West elevation of the building and small size of windows
- Discussion of the interior floor plan design and type of units
- Design of the building and lack of cornices
- Landscaping plan, required buffers and fence/gate

PUBLIC HEARING [8:25:54 PM](#)

Chairperson Scheer opened the Public Hearing; seeing no one wished to speak; Chairperson Scheer closed the Public Hearing.

The Commission, Staff and Applicant discussed the following:

- Clarification on whether the units are market rate
- Proposed materials

MOTION [8:29:17 PM](#)

Commissioner Bell stated, based on the findings and analysis in the staff report, testimony, and discussion at the public hearing, I move that the Planning Commission vote to **APPROVE** the proposed Planned Development and Design Review applications for the Greenprint Gateway Apartments located at approximately 592 West 200 South, files PLNPCM2020-00493 and PLNPCM2020-00749 with the conditions of approval listed in the staff report with one addition:

4. Elimination of the required 7-foot parking lot perimeter landscaping buffer on the North edge of the surface parking area.

Commissioner Bachman seconded the motion. Commissioners Bachman, Bell, Hoskins, Lee, Lyon, and Paredes voted “Aye”. Commissioner Barry voted “Nay”. The motion passed 6-1.

Commissioner Urquhart was unable to vote due to technical difficulties.

[8:33:56 PM](#)

Rezone at approximately 860 & 868 East 3rd Avenue – Remarc Investments, representing the property owner, is requesting a Zoning Map Amendment from CN (Neighborhood Commercial) and SR-1A (Special Development Pattern Residential) to R-MU-35 (Residential/Mixed Use) at the above-listed addresses. The applicant would like to rezone the properties to allow a multi-family development on the lots, however the request is not tied to a development proposal. The properties are located within the Avenues Local Historic District and any future demolition or new construction must be approved by the Historic Landmark Commission. Although the applicant has requested that the property be rezoned to R-MU-35, consideration may be given to another zoning district with similar characteristics. The property is located within Council District 3, represented by Chris Wharton. (Staff contact: Mayara Lima at (385) 377-7570 or mayara.lima@slcgov.com) **Case number PLNPCM2020-00703**

Mayara Lima, Principal Planner, reviewed the petition as outlined in the Staff Report (located in the case file). She stated Staff recommended that the Planning Commission forward a positive recommendation to the City Council with the conditions listed in the staff report.

The Commission and Staff discussed the following:

- Height differences
- Commercial component and whether it's practical in the long term
- Clarification on why the house is being included in the rezone if it's going to remain as a house

Marcus Robinson and Kevin Blalock, provided a presentation with further details.

The Commission, Staff and Applicant discussed the following:

- Whether the applicant has shared their plans with the community council or the surrounding neighborhood

PUBLIC HEARING [9:02:03 PM](#)

Chairperson Scheer opened the Public Hearing;

Beckie Bradshaw – Provided an email comment raising concerns with parking and traffic issues.

Brandy Dominguez – Provided an email comment stating her opposition of the request.

Jack Galian – Provided an email comment that he was interested in attending the meeting, but staff did not see him listed in the attendee list.

Nick Gurr – Provided an email comment stating his opposition of the request.

Zack S – Provided an email comment stating his opposition of the request.

Seeing no one else wished to speak; Chairperson Scheer closed the Public Hearing.

The Commission, Staff and Applicant further discussed the following:

- Clarification on what other zoning districts were considered and how it was settled on the current proposal

The Commission made the following comments:

- I'm in favor of recommending approval; I'm not in favor of the condition
- I agree, I don't think that a commercial requirement is appropriate

The Commission and Applicant further discussed the following:

- Whether there's any off-street parking for the existing home

MOTION [9:17:28 PM](#)

Commissioner Bell stated, Based on the information listed in the staff report, the information presented, and the input received during the public hearing, I move that the Planning Commission recommend that the City Council approve the proposed zoning map amendment, as presented in petition PLNPCM2020-00703.

Commissioner Bachman seconded the motion. Commissioners Bachman, Barry, Bell, Hoskins, Lee, and Paredes voted "Aye". Commissioners Lyon, and Urquhart voted "Nay". The motion passed 6-2.

The meeting adjourned at [9:19:16 PM](#)