



Staff Report

PLANNING DIVISION

DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Michael McNamee, Associate Planner
michael.mcnamee@slcgov.com or 801-535-7226
Date: May 11, 2022
Re: PLNPCM2021-01306, Black Pearl Planned Development

Planned Development

PROPERTY ADDRESS: 968 W Quayle Ave
PARCEL ID: 15-14-405-008-0000
MASTER PLAN: Westside
ZONING DISTRICT: CG (General Commercial District)

REQUEST:

TAG SLC, property owner, is requesting Planned Development approval for nine driveways and curb cuts fronting Pearl Street, in order to accommodate a townhome style multi-family development. In nonresidential zoning districts, multiple curb cuts are permitted per street frontage if the lot exceeds 100 feet in width, but only if the curb cuts are not spaced closer than 100 feet apart from each other, per Salt Lake City Code Section 21A.44.020.F.7.a(1).

List of Requested Modifications:

- A modification of 21A.44.020.F.7.a(1) to permit nine curb cuts that are approximately four feet apart from each other on average.

RECOMMENDATION:

Based on the information and findings listed in the staff report, it is the Planning Staff's opinion that the request does not meet the applicable standards of approval and therefore recommends the Planning Commission deny the request.

ATTACHMENTS:

- A. [ATTACHMENT A: Vicinity Map](#)
- B. [ATTACHMENT B: Plan Set](#)
- C. [ATTACHMENT C: Property and Vicinity Photos](#)
- D. [ATTACHMENT D: CG Zoning Standards](#)
- E. [ATTACHMENT E: Planned Development Standards](#)
- F. [ATTACHMENT F: Public Process & Comments](#)
- G. [ATTACHMENT G: Department Review Comments](#)

PROJECT DESCRIPTION



Quick Facts

Height: 35 feet (3 stories)

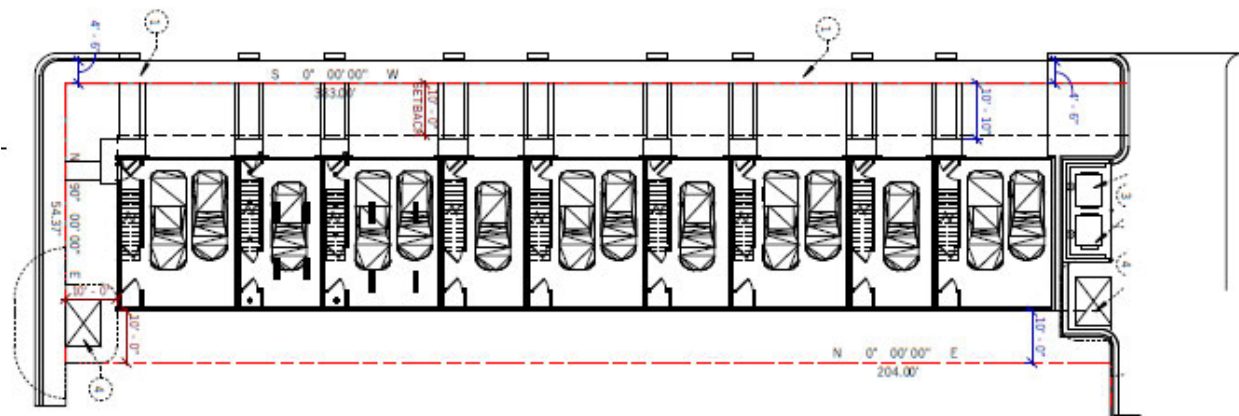
Number of Residential Units: 9 units

Parking: 2 stalls per three-bedroom unit, 1 stall per one-bedroom unit

Review Process & Standards:
Planned Development, CG zoning standards, and general zoning standards.

The applicant, TAG SLC, is proposing to build nine new townhomes, five three-bedroom and four one-bedroom units, on a site that is approximately one-quarter acre (10,890 square feet) in size, and is zoned CG, General Commercial District. The parcel is located on the northeast corner of the intersection at Quayle Avenue and Pearl Street, in the Glendale neighborhood. This would be the second of a two-phase townhome project which, as currently proposed, would include a total of 26 units. The first phase would be constructed on a separate, adjacent lot to the north and is currently proposed to be built by-right (see map below).

PEARL ST.



The lot upon which these nine townhomes would be constructed is long and narrow. It is approximately 203'6" long and 54'6" wide. The longer frontage is on Pearl Street, which is a relatively narrow right-of-way at 33 feet wide. Quayle Avenue is slightly wider at 50 feet. As proposed, the townhomes would be built with a 14'3" setback from the front lot line abutting Pearl Street, a 14'6" setback from the corner side lot line abutting Quayle Avenue, a 10'2" setback from the rear (east) lot line, and a 10'10" setback from the interior side (north) lot line (all

measurements approximate, exact measurements listed in [Attachment D](#)). As proposed, the setbacks meet the minimum requirements for the CG district.



The applicant is proposing to position the garage doors so that they are incorporated into the front façade, facing Pearl Street. This requires them to construct nine separate driveways and curb cuts to facilitate access to each garage. Each curb cut will be about four feet apart, on average. The length of the driveways will be 14' 3 1/4". Driveway width varies from approximately 11' or 16', depending on if the unit is a one-bedroom or three-bedroom. The applicant is proposing to use a turf block treatment for the driveways to encourage some vegetative growth. Driveways are

excluded from front yard landscaping requirements, so they cannot be counted towards or against required landscaping.

APPROVAL PROCESS AND COMMISSION AUTHORITY

This project is subject to Planned Development approval per Salt Lake City Code Chapter 21A.55. The Planning Commission has the authority to approve or deny the request. If the Commission decides to approve the request against staff's recommendation, the Commission must respond to each standard staff has determined the application does not comply with, explaining how the project is complying with those standards.

KEY CONSIDERATIONS

The key considerations listed below were identified through the analysis of the project:

1. Compliance with Adopted Master Plans
2. Compliance with Zoning Requirements
3. Conflicts within the Pedestrian Realm
4. Front Façade Design

Consideration 1: Compliance with Adopted Master Plans

The proposed project is largely consistent with the citywide *Plan Salt Lake* and the *Westside Master Plan*. In *Plan Salt Lake*, it is consistent with an initiative in the Housing chapter, "Increase the number of medium density housing types and options." The provided housing density under this proposal will be about 36 units per acre.

The project is consistent with Guiding Principle #3 in *Plan Salt Lake*, "Access to a wide variety of housing types for all income levels throughout the City, providing the basic human need for safety and responding to changing demographics." The proposed project's residential units provide additional housing units in the neighborhood to accommodate more residents. All of the units are proposed to be sold at market rate.

Initiatives from the Growth chapter are also applicable. The following Growth initiatives apply:

- Encourage a mix of land uses.
- Promote infill and redevelopment of underutilized land.
- Accommodate and promote an increase in the City's population.
- Provide access to opportunities for a healthy lifestyle (including parks, trails, recreation, and healthy food).

The proposed project would redevelop a parcel that is currently vacant and appears to have been unutilized for a considerable period of time. It would introduce a residential use to a block that does not otherwise have residential, providing a greater mix of land uses. The Jordan River Parkway Trail can be accessed within approximately one quarter mile via 1700 South and the 17th South River Park is also accessible within about the same distance.

The *Westside Master Plan* shows this property as being adjacent to a Regional Node at 1700 South and 900 West. Regional Nodes are identified as locations that are "major magnets for large commercial uses, professional offices and multi-family developments." (p. 43) The node at 1700 South and 900 West is further discussed as having the potential for professional offices, educational facilities, and supporting commercial retail and service uses to provide a buffer between the residential uses to the north and industrial uses to the south. (p. 44) While this

proposal does not specifically implement that part of the plan, multi-family development is permitted in the CG zoning district, and Regional Nodes in general are identified as being good locations for multi-family housing. The description of a Regional Node notes that ideal housing density should be no less than 50 units per acre. As proposed, this development would include approximately 36 units per acre. However, given the dimensions of the lot and requirements of the CG zone, 50 units per acre is likely not a feasible density for this property.

Consideration 2: Compliance with Zoning Requirements

The applicant is requesting a modification to a standard in the parking ordinance that requires curb cuts to be separated by at least 100 feet in non-residential zoning districts. The exact language from the code is below:

Nonresidential Districts: For lots in nonresidential districts with a width of less than one hundred feet (100'), only one curb cut shall be allowed per street frontage. For lots in nonresidential districts with a width of one hundred feet (100') or greater, more than one curb cut shall be allowed per street frontage provided they are at least one hundred feet (100') apart. (Salt Lake City Code 21A.44.020.F.7.a(1))

Along Pearl Street, this lot has a width of approximately 203.5 feet, permitting the applicant to have more than one curb cut on that frontage. However, they are limited to a minimum distance of 100 feet between the curb cuts, limiting them to two curb cuts total. The applicant is proposing to create front-loaded garages, facing Pearl Street, that would each have their own drive access. In order to do that, they are proposing nine curb cuts, spaced approximately four feet apart from each other.

If the project were built so that the garages faced the rear instead, the applicant would be required to provide a drive aisle of at least 22'7" in width. Alternatively, Transportation indicated they may be able to provide angled parking with a one-way drive aisle at the rear.

It is worth noting that a similar project could be constructed without Planned Development approval if the parking were oriented to the rear of the property. This would allow the applicant to construct a more limited number of curb cuts and design the Pearl Street frontage of the building to be more pedestrian oriented.

Consideration 3: Conflicts within the Pedestrian Realm

The applicant is proposing nine individual drive access points, which would consume a significant portion of the street frontage along Pearl Street. There are several Planned Development standards related to mobility that are in direct conflict with this design, as discussed in [Attachment E](#). This will create an excessive number of conflict points where vehicles will need to cross the sidewalk to access the property. The result will be a streetscape that is overwhelmingly oriented toward motor vehicles. Rather than contributing to a pleasant and safe pedestrian environment, the proposed design discourages pedestrian activity.

To access the garages, the applicant is proposing driveways that are approximately 14'3 1/4" in depth. This is not long enough to be considered a parking stall under the requirements in the parking ordinance, which require a depth of at least 17'6". Staff is concerned that residents and visitors to the property will park in the driveways even given the short length. If this were to happen, parked vehicles would block the sidewalk, further contributing to a lack of pedestrian orientation and potentially causing a safety hazard for pedestrians utilizing the sidewalk.

Consideration 4: Front Façade Design

The applicant is requesting a modification that will allow them to provide front-loaded garages facing Pearl Street. This will result in a ground-level façade that consists primarily of garage doors, running counter to Planned Development standard C.4:

Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction. (Salt Lake City Code 21A.55.050.C.4)

Granting this request will allow the applicant to build a design that offers very little in terms of ground floor transparency or architectural detailing to facilitate pedestrian interest and interaction. The façade will be primarily oriented towards the automobile, and as a result the residents and visitors will likely primarily interact with the front of the property in their cars, and pedestrian activity in general will not be encouraged. If this project were built to meet zoning standards, the drive access would need to be built to the rear of the property, greatly reducing the number of curb cuts and orienting the front of the project towards the public realm.

STAFF RECOMMENDATION

Based on the potential to create conflicts with the pedestrian environment and facilitation of poor design of the ground floor façade which will not facilitate pedestrian interest or interaction, it is Planning Staff's opinion that the request does not meet the applicable standards of approval and therefore recommends the Planning Commission deny the request.

NEXT STEPS

Approval of the Request

If the Planned Development is approved, the applicant will need to need to comply with the conditions of approval, including any of the conditions required by City departments and the Planning Commission.

Denial of the Request

If the Planned Development is denied, the applicant can submit a building permit application that complies with the requirements of the CG zoning district and proceed with a permitted development.

[illegible]

ATTACHMENT B: Plan Set

GENERAL NOTES - ELEVATION

A SEE GENERAL NOTES ON SHEET T1.2 FOR ADDITIONAL REQUIREMENTS.

B COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE.

C COORDINATE ALL BEARING ELEVATIONS WITH ROOF PLAN. SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL FRAMING REQUIREMENTS.

D OWNER TO SELECT BRICK FOR BRICK VENEER. INSTALL AS PER ELEVATIONS, AND AS PER I.B.C. SEE GENERAL MASONRY NOTES.

E OWNER TO SELECT E.I.F.S. COLORS AND TEXTURE. INSTALL AS PER ELEVATIONS, AND AS PER I.B.C.

F SEE ROOF PLAN FOR ALL ROOF SLOPES.

G ALL METAL ROOFING TO BE INSTALLED AS PER MANUFACTURER.

H FINISH ROOF TO BE CONCRETE TILE AS PER OWNER. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.

I NEW FLOOR HEIGHT TO MATCH HEIGHT OF EXISTING FLOOR.

KEYED NOTES

1 STUCCO FINISH; OWNER TO SELECT

2 FRONT ENTRY DOOR UNIT AS PER OWNER; SEE DOOR SCHEDULE ON A4.1

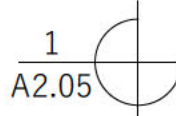
3 SMOOTH STUCCO TRIM OWNER TO SELECT COLOR.

4 GARAGE DOOR UNIT AS PER OWNER; SEE DOOR SCHEDULE ON A4.1

5 PARAPET AND CAP AS PER DETAIL 7/A5.2

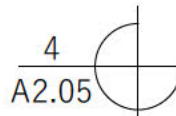


SOUTH BUILDING FRONT
PERSPECTIVE



WEST ELEVATION

1/8" = 1'-0"

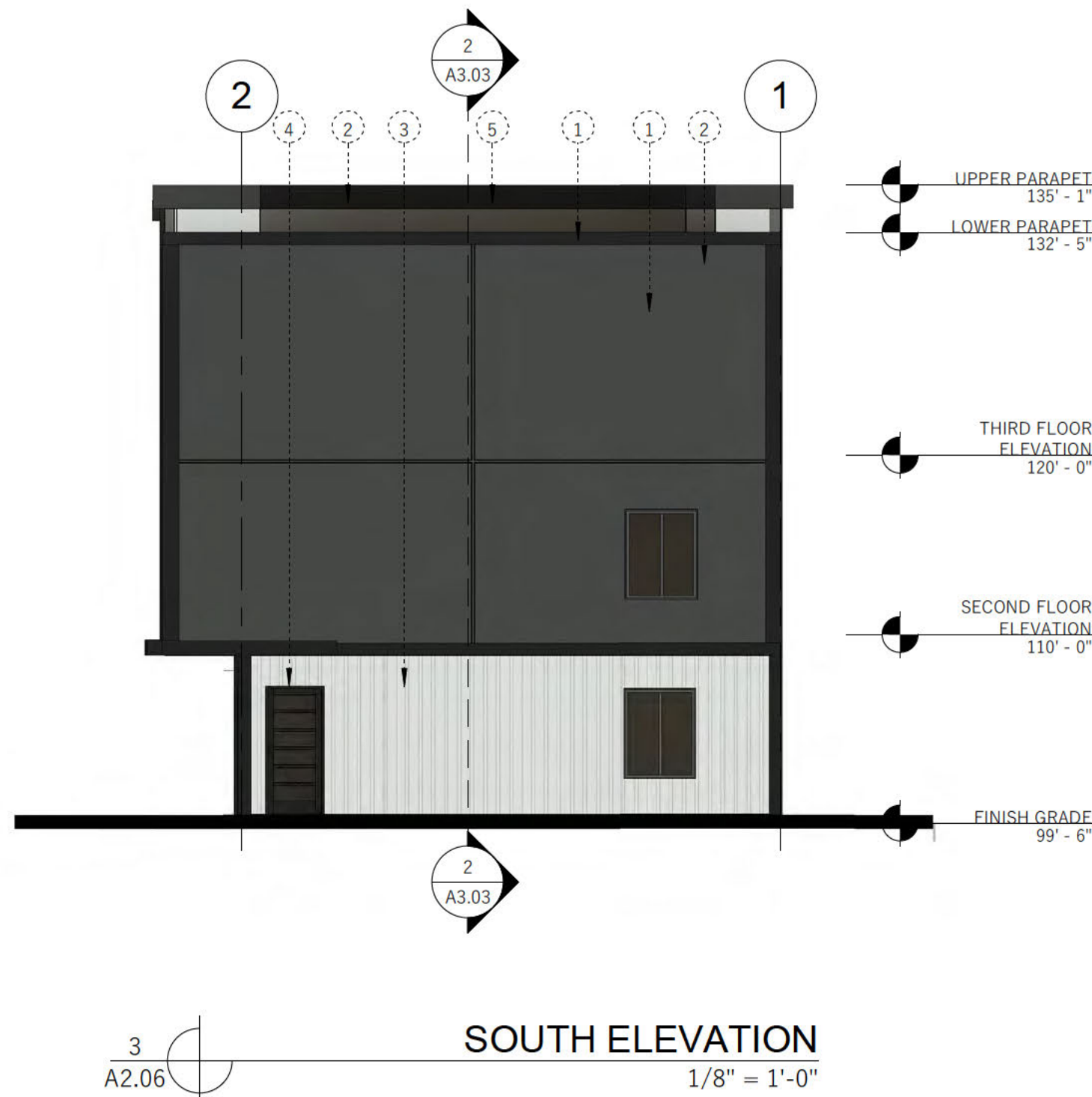
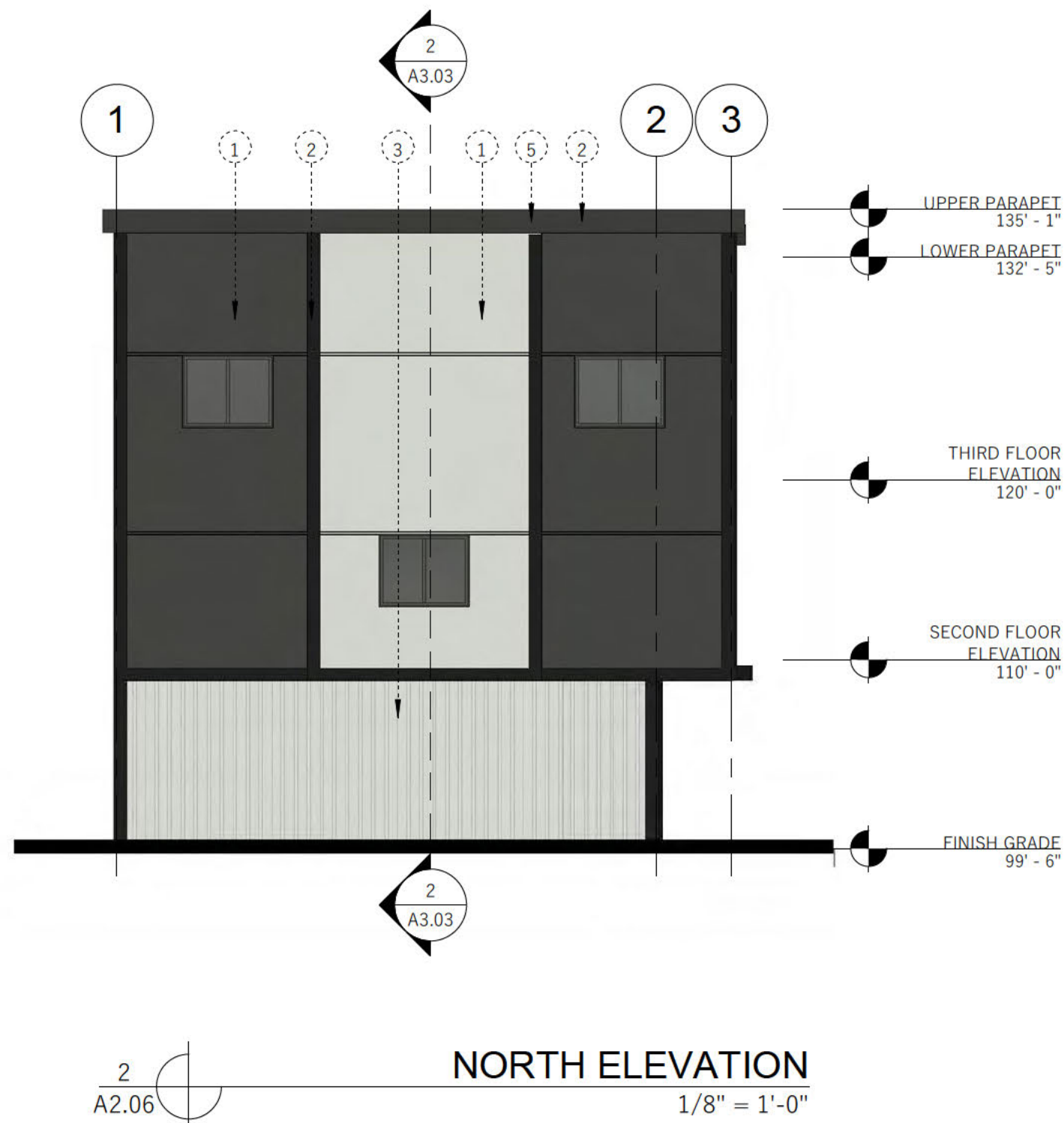


GENERAL NOTES - ELEVATION

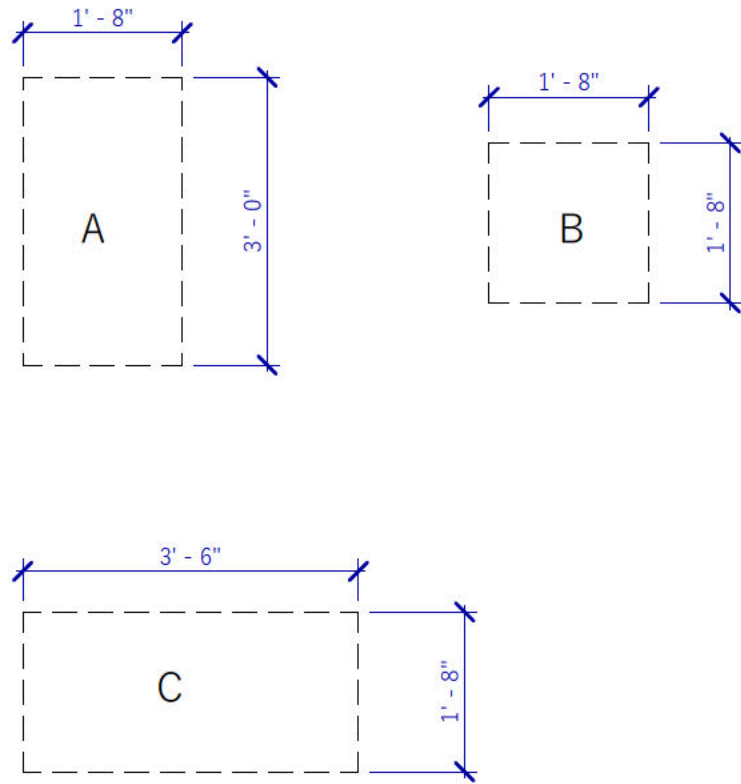
- A SEE GENERAL NOTES ON SHEET T1.2 FOR ADDITIONAL REQUIREMENTS.
- B COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE.
- C COORDINATE ALL BEARING ELEVATIONS WITH ROOF PLAN. SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL FRAMING REQUIREMENTS.
- D OWNER TO SELECT BRICK FOR BRICK VENEER. INSTALL AS PER ELEVATIONS, AND AS PER I.B.C. SEE GENERAL MASONRY NOTES.
- E OWNER TO SELECT E.I.F.S. COLORS AND TEXTURE. INSTALL AS PER ELEVATIONS, AND AS PER I.B.C.
- F SEE ROOF PLAN FOR ALL ROOF SLOPES.
- G ALL METAL ROOFING TO BE INSTALLED AS PER MANUFACTURER.
- H FINISH ROOF TO BE CONCRETE TILE AS PER OWNER. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.
- I NEW FLOOR HEIGHT TO MATCH HEIGHT OF EXISTING FLOOR.

KEYED NOTES

- 1 STUCCO FINISH; OWNER TO SELECT
- 2 SMOOTH STUCCO TRIM OWNER TO SELECT COLOR.
- 3 BOARD & BATTEN FINISH; OWNER TO SELECT
- 4 FRONT ENTRY DOOR UNIT AS PER OWNER; SEE DOOR SCHEDULE ON A4.1
- 5 PARAPET AND CAP AS PER DETAIL 7/AS 2



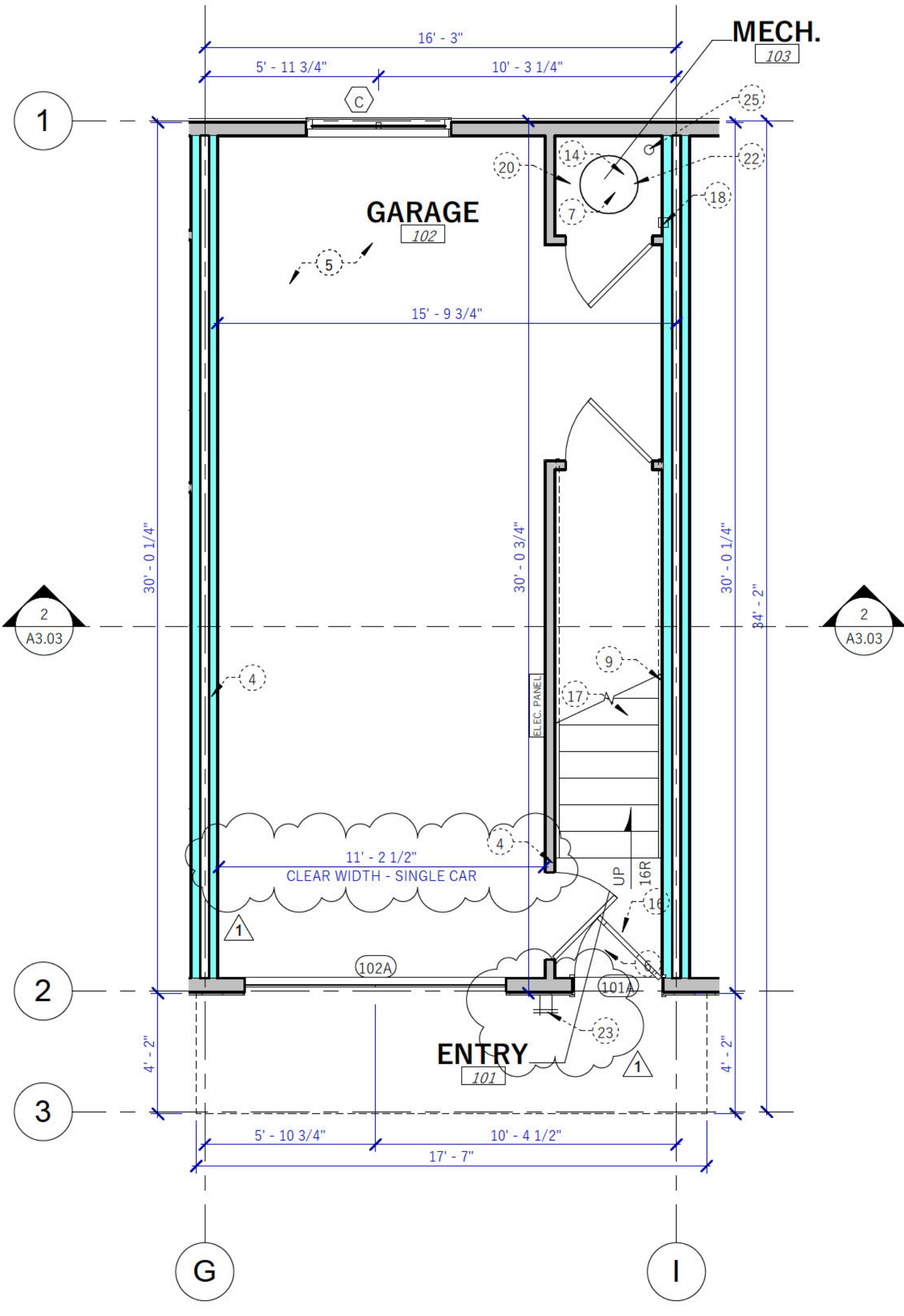
BATHROOM CLEARANCE



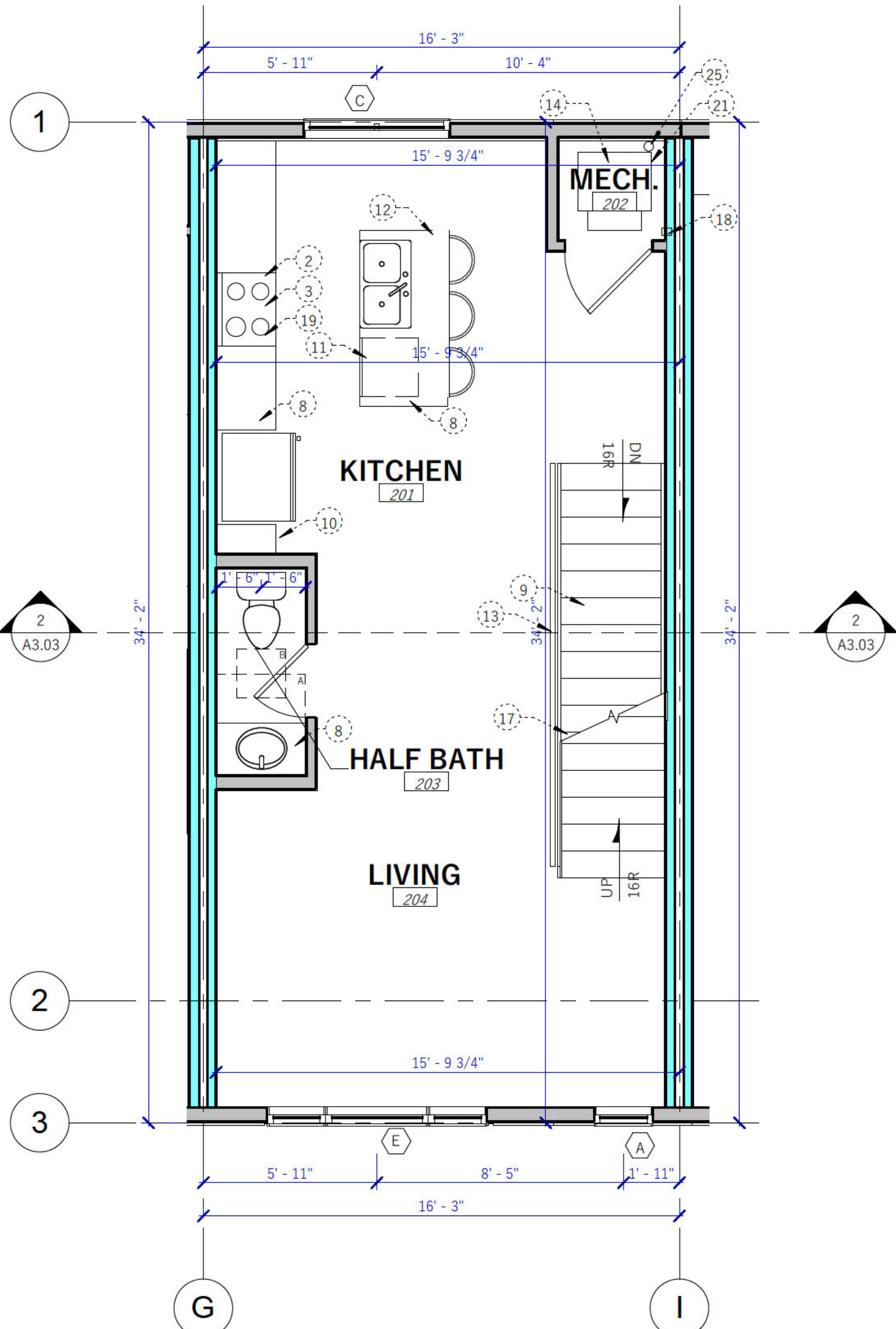
GENERAL NOTES - PLAN	
A	SEE GENERAL NOTES ON SHEET T1.2 FOR ADDITIONAL REQUIREMENTS.
B	DIMENSIONS TO DOORS AND WINDOWS ARE TO CENTER OF FRAMED OPENING UNLESS NOTED OTHERWISE.
C	SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS, INCLUDING FOUNDATION WALL SPECIFICATIONS, AND SHEARWALL AND HOLDDOWN REQUIREMENTS.
D	PROVIDE SOUND INSULATION IN ALL WALLS AROUND BATHROOMS.
E	COORDINATE ALL WINDOW HEAD HEIGHTS AND SIZES WITH ELEVATIONS AND WINDOW SCHEDULE.
F	OUTLETS MOUNTED UNDER THE KITCHEN ISLAND COUTERTOP ARE TO BE NOT MORE THAN 12" BELOW THE TOP OF THE COUNTERTOP. CANNOT BE LOCATED WHERE THE COUNTERTOP EXTENDS MORE THAN 6"

GENERAL NOTES - PLAN	
G	ALL TUBS AND SHOWERS ARE REQUIRED TO BE EQUIPPED WITH A WATER TEMPERATURE LIMITING DEVICE THAT IS SET TO 120 DEGREES FAHRENHEIT MAX. PER IRC P2708.4 AND P2713.3
H	FOR END UNIT WINDOWS, SEE A1.03
I	TAMPER RESISTANT ELECTRICAL OUTLET RECEPTACLES ON 15A AND 20A CIRCUITS IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUN ROOMS, BEDROOMS, RECREATION ROOMS, OR SIMILAR ROOMS OR AREAS.
J	INTERIOR WATER AND GAS PIPING IS TO BE BONDED PER IRC R3609.6 AND R3609.7.

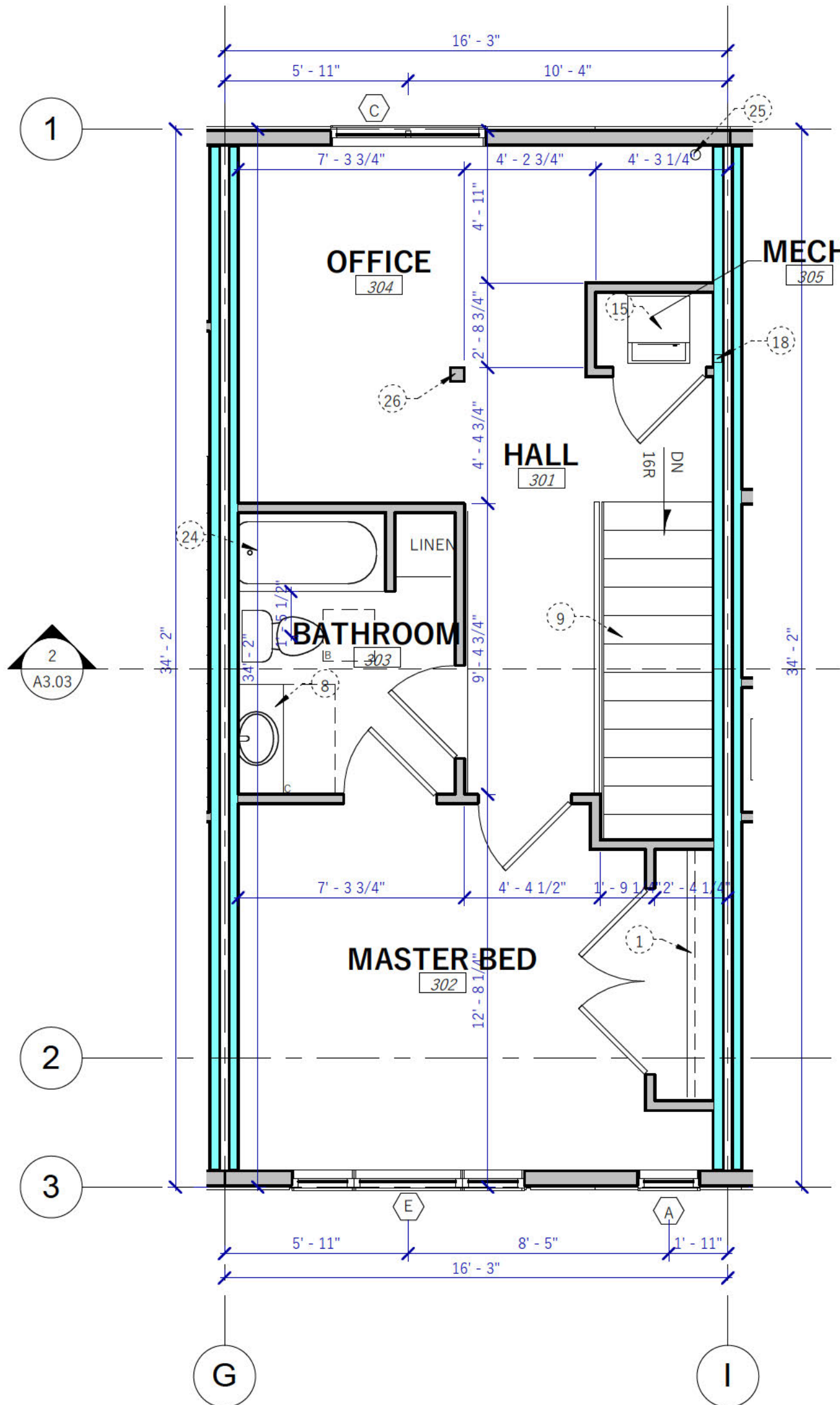
KEYED NOTES	
1	INSTALL ROD AND SHELF AT CLOSET AS PER OWNER; OWNER TO SELECT CONFIGURATION
2	STOVE/ RANGE; AS PER OWNER
3	OVER-THE-RANGE MICROWAVE; MODEL AS PER OWNER
4	PROVIDE 5/8" GYPSUM BOARD, FIRE TAPED AT SEPERATION WALL BETWEEN HOUSE AND GARAGE AS REQUIRED BY I.R.C.
5	CEILINGS IN GARAGE TO HAVE TYPE X 5/8" GYP BOARD FOR FIRE RATING.
6	FULL WEATHERSTRIPPED EXTERIOR DOOR UNIT; SEE DOOR SCHEDULE
7	HIGH-EFFICIENCY WATER HEATER WITH PAN AND DRAIN; SEE MECHANICAL DRAWINGS
8	BUILT-IN MILLWORK AS INDICATED
9	FRAMED STAIRS WITH (3) 2X12 D.F. #2 STRINGERS. STAIR SYSTEM TO HAVE 10" MIN TREAD AND 7-1/2" MAX RISER
10	REFRIGERATOR/FREEZER; MODEL AS PER OWNER
11	BUILT-IN DISHWASHER; MODEL AS PER OWNER
12	BUILT IN KITCHEN ISLAND
13	RAILING AT STAIRS TO BE CONSTRUCTED SO AS NOT TO ALLOW A 4" SPHERE TO PASS THROUGH. SEE MAIN FLOOR PLAN AND PROJECT NOTES.
14	PROVIDE GAS HOOKUPS FOR MECHANICAL EQUIPMENT AS PER MAUNFACTURERS SPECIFICATIONS
15	PROVIDE HOOKUPS AND FLOOR DRAIN FOR WASHER/ DRYER LOCATION. PROVIDE MANUFACTURED CURB & DRAIN PAN
16	EXTERIOR THRESHOLD DOOR (WEATHER).
17	LINE HERE TO REPRESENT FLOOR ABOVE
18	BOX HERE REPRESENTS EMERGENCY SHUTOFF VALVE. AS PER IRC G2420.5
19	PROVIDE MAKE-UP AIR FOR RANGE HOODS EXHAUSTING IN EXCESS OF 400CFM.
20	GAS FIRED APPLIANCES IN THE GARAGE MUST HAVE THEIR SOURCE OF IGNITION A MINIMUM 18" ABOVE THE FINISH FLOOR AS PER IRC M1307.3 AND ARE PROTECTED FROM IMPACT PER IRC M1307.3.1.
21	ALL COMBUSTION AIR TO MECHANICAL ROOM MUST BE TAKEN DIRECTLY FROM THE OUTDOORS.
22	EXPANSION TANK TO BE ON WATER HEATER AS PER IRC P2903.4 AND TO BE PROVIDED SEISMIC BRACING AS PER IRC P2801.8
23	BOX HERE REPRESENTS HOSE BIB LOCATION(S). HOSE BIBS ARE TO BE THE FROSTPROOF TYPE PER IRC P2903.10
24	FLOOR DRAIN
25	ROOF DRAINAGE
26	POST (6X6)



1 FIRST FLOOR UNIT A PLAN
1/4" = 1'-0"



2 SECOND FLOOR UNIT A PLAN
1/4" = 1'-0"



3 ENLARGED THIRD FLOOR UNIT A PLAN
1/4" = 1'-0"

PROJECT NUMBER

21106

ISSUE DATE:

OCTOBER 13, 2021

REVISIONS:

No.	Date	Description
1	12-22-21	Revision 1

CONSULTANT

PEARL STREET TOWNHOMES

967 WEST 1700 SOUTH
SALT LAKE CITY, UT 84104

SOUTH BUILDING
UNIT A PLANS

A1.07

JZW
ARCHITECTS

KEYED NOTES	
1	INSTALL ROD AND SHELF AT CLOSET AS PER OWNER; OWNER TO SELECT CONFIGURATION
2	STOVE/ RANGE; AS PER OWNER
3	OVER-THE-RANGE MICROWAVE; MODEL AS PER OWNER
4	PROVIDE 5/8" GYPSUM BOARD, FIRE TAPED AT SEPERATION WALL BETWEEN HOUSE AND GARAGE AS REQUIRED BY I.R.C.
5	Ceilings in GARAGE TO HAVE TYPE X 5/8" GYP BOARD FOR FIRE RATING.
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8	HIGH-EFFICIENCY WATER HEATER WITH PAN AND DRAIN; SEE MECHANICAL DRAWINGS
9	FRAMED STAIRS WITH (3) 2X12 D.F., #2 STRINGERS, STAIR SYSTEM TO HAVE 10" MIN TREAD AND 7-1/2" MAX RISER
10	LINE HERE TO REPRESENT FLOOR ABOVE
11	EXTERIOR THRESHOLD DOOR (WEATHER).
12	FULL WEATHERSTRIPPED EXTERIOR DOOR UNIT; SEE DOOR SCHEDULE
13	ALL COMBUSTION AIR TO MECHANICAL ROOM MUST BE TAKEN DIRECTLY FROM THE OUTDOORS.
14	PROVIDE HOOKUPS AND FLOOR DRAIN FOR WASHER/DRYER LOCATION. PROVIDE MANUFACTURED CURB & DRAIN PAN

KEYED NOTES	
15	STACKED WASHER/DRYER; MODEL AS PER OWNER
16	BOX HERE REPRESENTS EMERGENCY SHUTOFF VALVE, AS PER IRC G2420.5
17	BUILT-IN KITCHEN ISLAND
18	BUILT-IN MILLWORK AS INDICATED
19	PROVIDE MAKE-UP AIR FOR RANGE HOODS EXHAUSTING IN EXCESS OF 400CFM.
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22	RAILING AT STAIRS TO BE CONSTRUCTED SO AS NOT TO ALLOW A 4" SPHERE TO PASS THROUGH. SEE MAIN FLOOR PLAN AND PROJECT NOTES.

GENERAL NOTES - PLAN	
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D	PROVIDE SOUND INSULATION IN ALL WALLS AROUND BATHROOMS.
E	COORDINATE ALL WINDOW HEAD HEIGHTS AND SIZES WITH ELEVATIONS AND WINDOW SCHEDULE.

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No. Date Description

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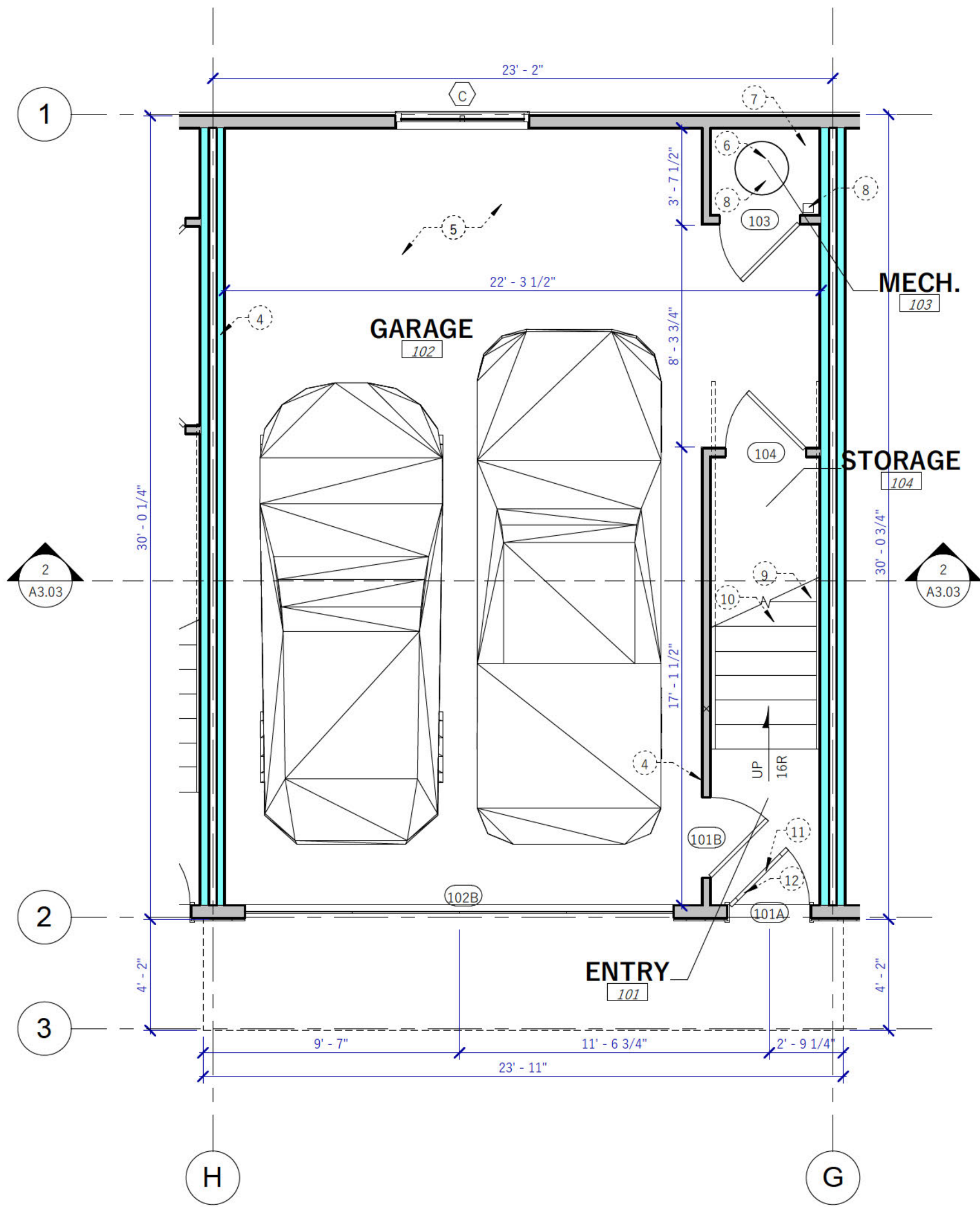
PEARL STREET TOWNHOMES

967 WEST 1700 SOUTH
SALT LAKE CITY, UT 84104

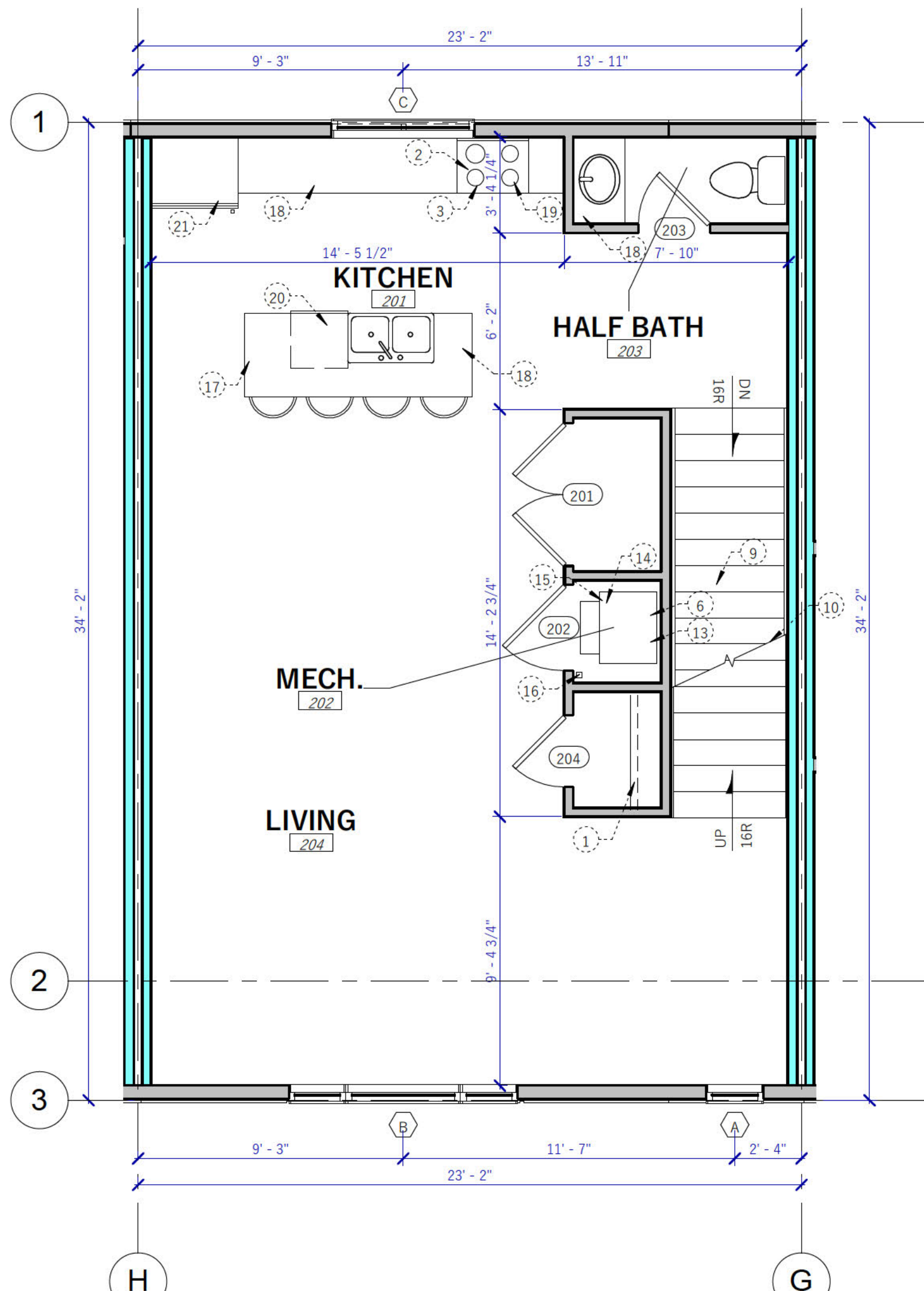
SOUTH BUILDING
UNIT B PLANS

A1.08

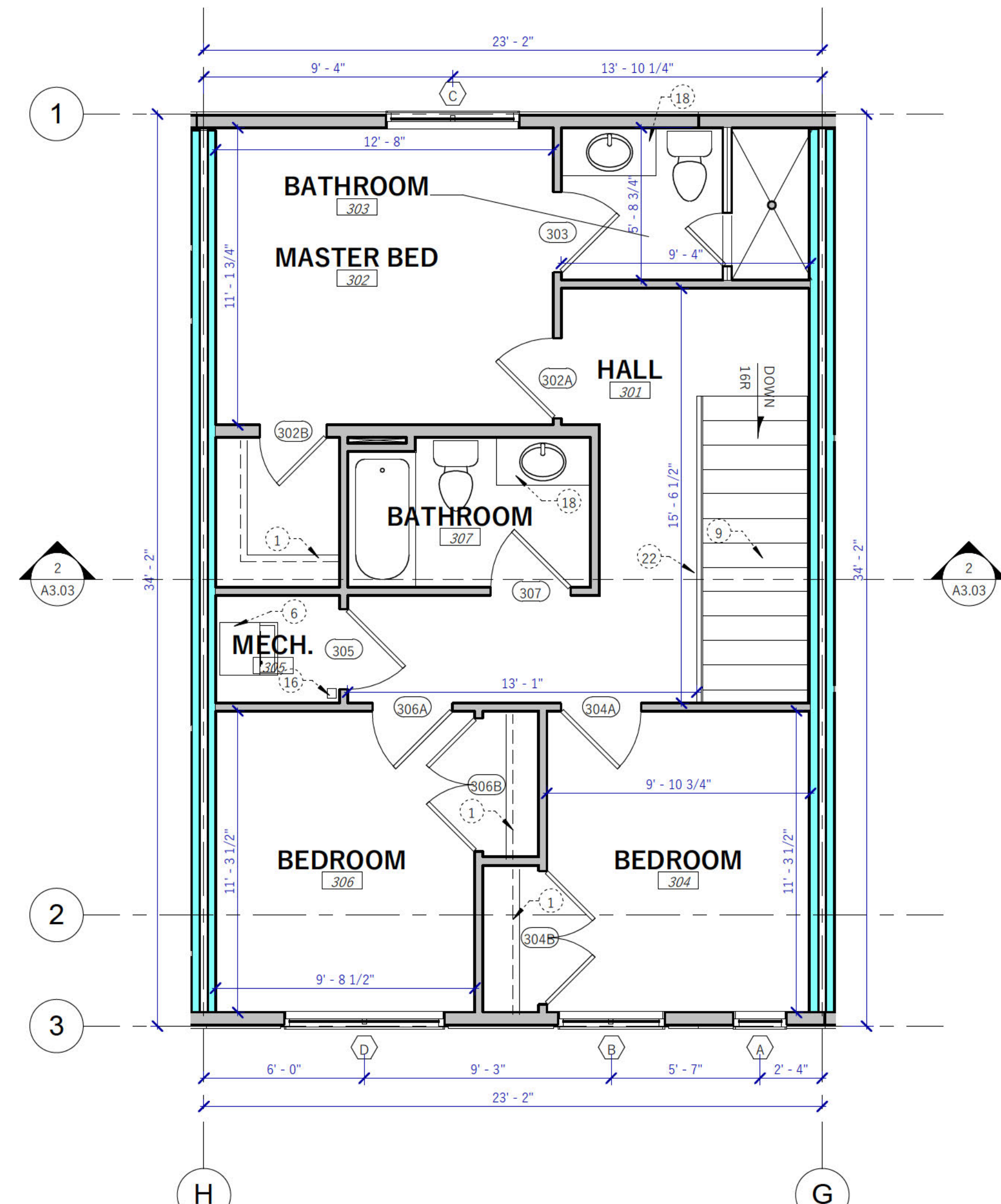
JZW
ARCHITECTS



1
A1.08
ENLARGED FIRST FLOOR UNIT B
PLAN
1/4" = 1'-0"



2
A1.08
ENLARGED SECOND FLOOR
UNIT B PLAN
1/4" = 1'-0"



3
A1.08
ENLARGED THIRD FLOOR UNIT B
PLAN
1/4" = 1'-0"

LANDSCAPE SET

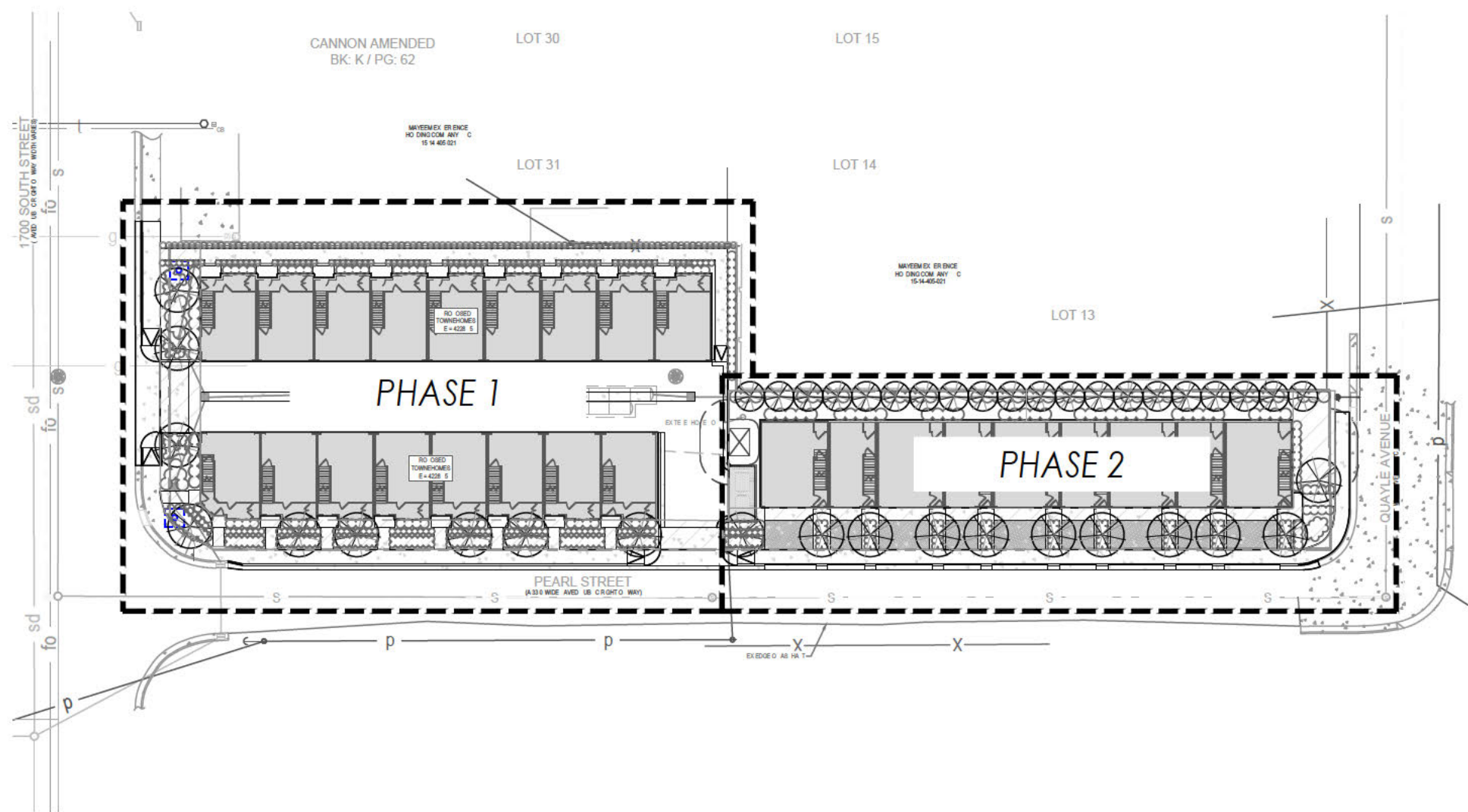
DRAWING LIST

L1.1 PLANTING PLAN AND DETAILS - PHASE 1
L1.2 PLANTING PLAN AND DETAILS - PHASE 2
L2.0 IRRIGATION PLAN AND DETAILS



GENERAL NOTES

- LANDSCAPE CONTRACTOR TO EXAMINE SITE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. IF CONDITIONS ARE UNSATISFACTORY CONTRACTOR TO CONTACT OWNER'S REPRESENTATIVE IN WRITING. DO NOT PROCEED UNTIL CONDITIONS ARE SATISFACTORY.
2. BEFORE EXCAVATING, DIGGING, OR DISTURBING SITE FOR ANY REASON, LANDSCAPE CONTRACTOR TO HAVE AREA "BLUE STAKED" IN ORDER TO LOCATE UNDERGROUND UTILITIES. LANDSCAPE CONTRACTOR TO ALSO NOTE LOCATION OF NEW AND PROPOSED UTILITIES AND WORK IN SUCH A MANNER TO PROTECT EXISTING AND PROPOSED UTILITIES FROM DAMAGE.
3. THE LANDSCAPE CONTRACTOR TO COORDINATE THE WORK WITH OTHER CONTRACTORS. LANDSCAPE CONTRACTOR TO BE FAMILIAR WITH ALL ASPECTS OF THE SITE AND WORK IN SUCH A MANNER AS TO AVOID DAMAGING ANY PORTION OF THE SITE OR STRUCTURE. LANDSCAPE CONTRACTOR TO REPAIR ANY DAMAGE, AT NO EXPENSE TO THE OWNER, THAT IS INCURRED BY THE LANDSCAPE CONTRACTOR.
4. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISH GRADE ELEVATIONS IN ALL LANDSCAPED AREAS. ALLOW FOR 3" OF ROCK MULCH IN ALL PLANTING BEDS.
5. LANDSCAPE CONTRACTOR TO LAYOUT PLANTS PRIOR TO PLANTING. ADJUSTMENT MAY BE REQUIRED. NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE TO RECEIVE APPROVAL OF PLANT LAYOUT BEFORE PROCEEDING WITH PLANTING.
6. ALL PLANT MATERIALS MUST MEET SIZES INDICATED IN SCHEDULES. SHALL MEET ANSI STANDARDS. AND SHALL MEET MINIMUM REQUIREMENTS OF LOCAL CODES. THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET SPECIFICATIONS OR DO NOT MEET THE QUALITY STANDARDS OF THE OWNER. ALL PLANT MATERIAL SHALL HAVE WELL DEVELOPED FIBROUS ROOT SYSTEM THAT ARE FREE OF PHYSICAL DAMAGE, DISEASE, AND INSECT INFESTATION.
7. CONTRACTOR TO PROVIDE 3" OF ROCK MULCH IN ALL PLANTER AREAS.
8. ANY PLANT DAMAGED DURING ANY STAGE OF THE INSTALLATION PROCESS SHALL BE REPLACED AT NO EXPENSE TO THE OWNER.
9. ANY PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL VERIFY ALL QUANTITIES REQUIRED AND PROVIDE THE PLANTS NECESSARY TO COMPLETE THE PLANTINGS. PLANT MATERIAL QUANTITIES INDICATED FOR BEDS/PLANTERS ARE ESTIMATES. VERIFY QUANTITY TO MATCH DETAILED DESIGN INTENT. PLANT QUANTITIES ARE FOR INDIVIDUAL PLANTS ONLY.
10. LANDSCAPE CONTRACTOR TO PROVIDE A ONE YEAR WARRANTY (MINIMUM) ON ALL PLANTING INSTALLATION. CONTRACTOR SHALL REPLACE, AT NO EXPENSE TO OWNER, ANY PLANT MATERIAL THAT DOES NOT SURVIVE.
11. SEE SPECIFICATIONS FOR PLANTING PROCEDURES, SOIL COMPOSITION, AND INFORMATION PERTINENT TO LANDSCAPE INSTALLATION.



PLANT SCHEDULE - PHASE 1

ABBR.	BOTANICAL NAME	COMMON NAME	HYDROZONE	COUNT	SIZE
CAKF	<i>Calamagrostis acutifolia</i> 'Karl Foerster'	Karl Foerster Feathergrass	Tw2	16	1#
CEPL	<i>Ceratostigma plumbaginoides</i>	Dwarf Plumbago	n/a	192	1#
LVLO	<i>Ligustrum vulgare</i> 'Lowdense'	Lowdense Privet	n/a	71	5#
MASS	<i>Malus</i> 'Spring Snow'	Spring Snow Flowering Crabapple	n/a	5	2" cal.
PAHA	<i>Pennisetum alopecuroides</i> 'Hameln'	Hameln Fountain Grass	Tw2	159	1#
PLOL	<i>Prunus laurocerasus</i> 'Otto Luykens'	Otto Luykens Laurel	n/a	14	5#
RAGL	<i>Rhus aromatica</i> 'Gro-low'	Grow Low Sumac	Gv1	12	5#
SBSC	<i>Stachys byzantina</i> 'Silver Carpet'	Silver Carpet Lambs Ear	Gv1	98	1#
ZSWI	<i>Zelkova serrata</i> 'Wireless'	Wireless Zelkova	Td4	4	2" cal.

SALT LAKE BUILDING CODE NOTES

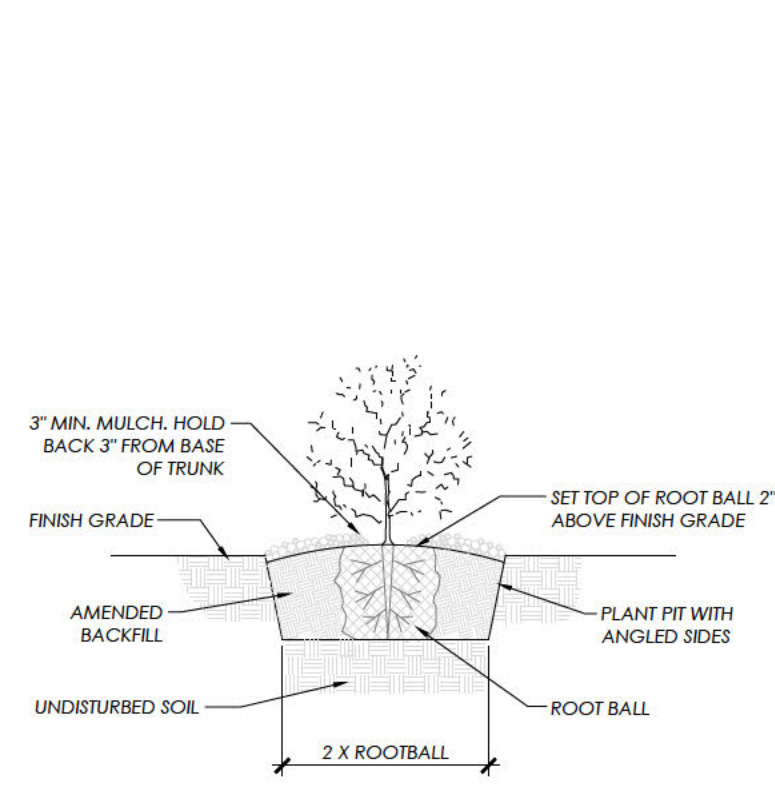
1. Urban Forestry calculations:
 - Salt Lake City Urban Forestry Program requires one tree for every 30 feet of street front. There is 277' of street frontage for Phase 1 and 274' for Phase 2. $277/30 = 9.23$ trees per street front, which rounds down to 9 trees per street front. There are 9 trees shown along the Phase 1 street front, thereby meeting the requirement. $274/30 = 9.13$ trees per street front, which rounds down to 9 trees per street front. There are 11 trees shown along the Phase 2 street front, thereby exceeding the requirement.
 - There are no park strips within the project, so there are no city requirements to be met regarding park strips.
 - Due to the density of the project, small trees at maturity (less than 30 ft) have been chosen for the site. Along the street front, *Cercis canadensis*, *Malus* 'Spring Snow', and *Zelkova serrata* 'Wireless' are selected; these have a mature height of under 25 ft, and are listed in the "SLC Plant List and Hydrozone Schedule 2013" as T44. A tree row of *Carpinus betulus* is selected along the back of phase 2; this tree is not on the SLC Hydrozone Schedule.
2. Water conserving plant list calculations:
 - There are 142 shrubs indicated on the plan (LVLO, PLOL, RAGL). 52 of these 142 shrubs are on the SLC plant list. Therefore, 37% of shrubs are selected from the water conserving plant list, which does not exceed the 80% requirement.
3. Park strip ground surface treatment - plant coverage calculations:
 - This calculation is not applicable, as the site does not have park strips.
4. Open Space Calculations (min 10% of lot area required):
 - Lot area: 31389 s.f
 - Ground landscape and walkways: 7713 s.f (=25% of lot area)

LANDSCAPE AREA CALCULATIONS

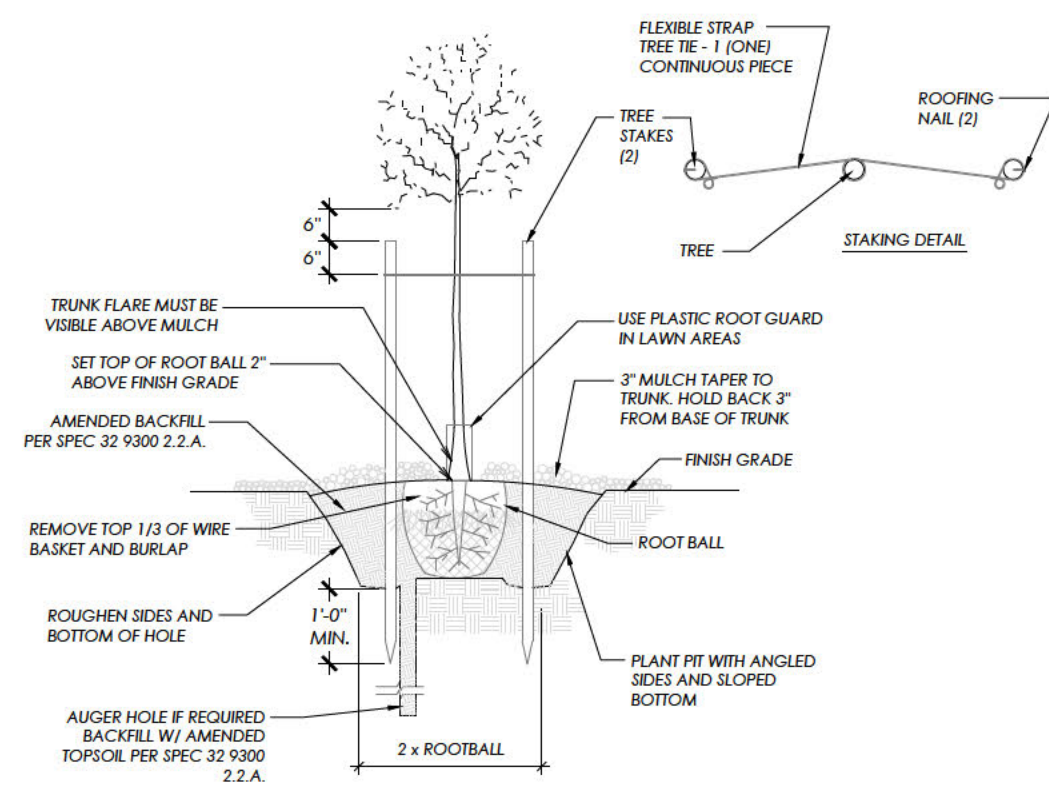
AREA	PHASE 1	PHASE 2	COMBINED
TOTAL SITE (sf)	20611	10036	30647
LANDSCAPE (sf)	3214	3018	6232
TURFBLOCK (sf)	0	1305	1305
% LANDSCAPE	16%	30%	20%
FRONT YARD (sf)	3183	2222	5405
FRONT YARD LANDSCAPE (sf)	2071	1055	3126
FRONTYARD TURFBLOCK (sf)	0	1305	1305
% FRONT YARD LANDSCAPE	65%	47%	57%

PLANTING NOTES

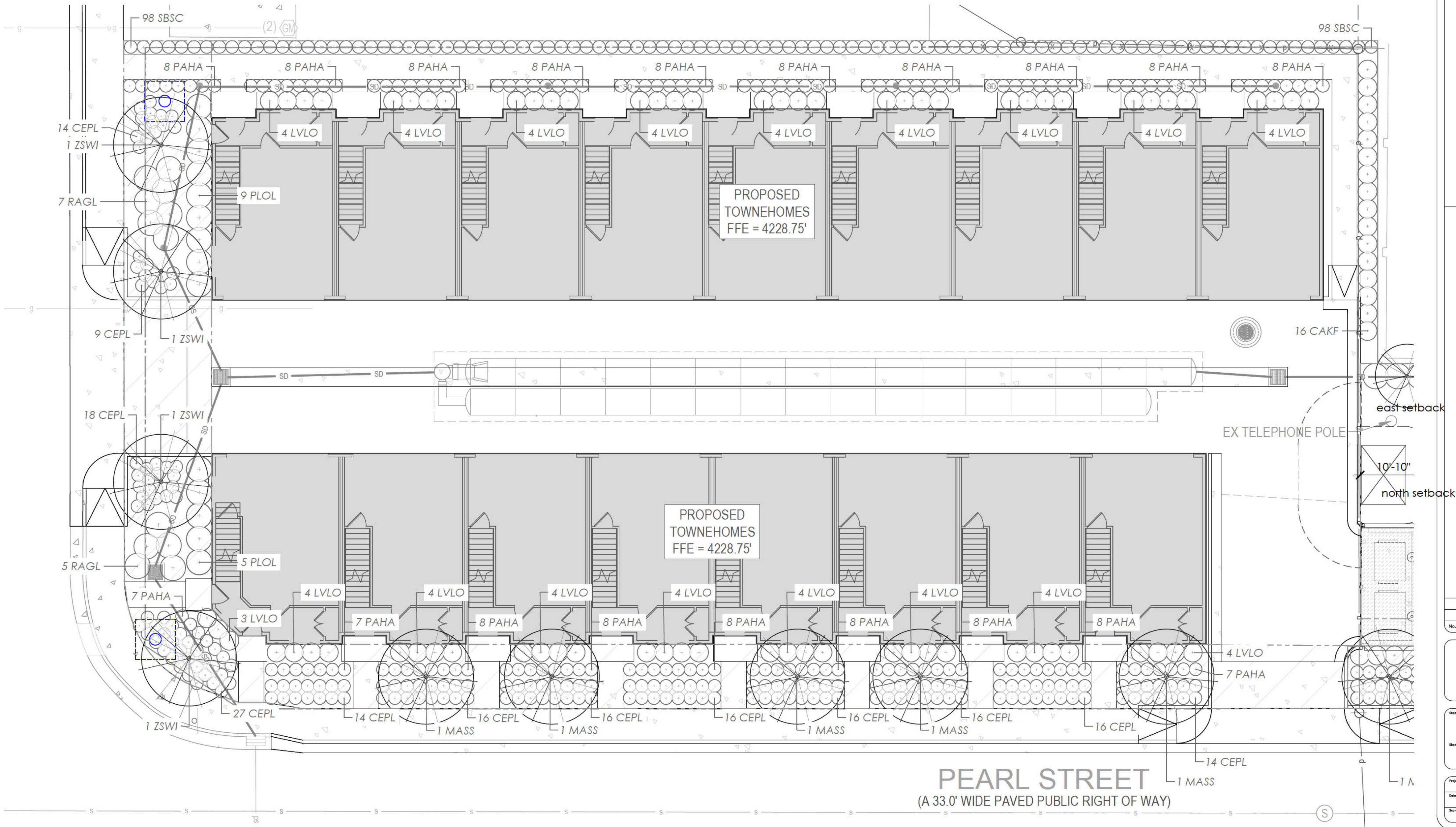
1. THE INTENTION OF THE OWNER AND DESIGNER IS TO HAVE CONSTRUCTED UNDER THE CONSTRUCTION CONTRACT, A COMPLETE PROJECT READY FOR USE. THE GENERAL LANDSCAPE CONTRACTOR AND HIS SUB-CONTRACTORS SHOULD VIEW THESE DOCUMENTS ACCORDINGLY. ANY APPARENT QUESTION, INCOMPLETE AREA, AREAS OF DISCREPANCY OR CONTRADICTION MUST BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO BIDDING. BY SUBMITTING A BID ON THIS PROJECT THE BIDDER CERTIFIES THAT HE HAS FULLY INFORMED HIMSELF OF THE REQUIREMENTS OF THE CONSTRUCTION DRAWINGS AS THEY RELATE TO HIS WORK AND HAS READ AND UNDERSTANDS THE NOTES AND SPECIFICATIONS. ALSO, THAT ANY QUESTIONS, INCOMPLETE AREAS, DISCREPANCIES OR CONTRADICTIONS HAVE BEEN BROUGHT TO THE ATTENTION OF THE LANDSCAPE DESIGNER AND THE OWNER AND THAT THEY ARE ALL RESOLVED.
2. WILLFUL INSTALLATION OF THIS WORK WHEN IT IS OBVIOUS THERE EXISTS JOB/SITE CONDITIONS OR DISCREPANCIES ON PLANS THAT ARE DETRIMENTAL TO THE PROJECT AND THAT SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER OR THE LANDSCAPE DESIGNER WILL BE BACK CHARGED TO THE INSTALLER. THE INSTALLER ASSUMES FULL RESPONSIBILITY TO CORRECT THE WORK AT HIS OWN EXPENSE IF HE FAILS TO GIVE THE REQUIRED NOTIFICATION FOR RESOLUTION.
3. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO COMPLETE ROUGH GRADING, FINE GRADING AND PLACING AND GRADING OF TOPSOIL.
4. SEE PLANS, DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
5. EXISTING LANDSCAPE TO REMAIN SHALL BE PROTECTED AND MAINTAINED BY CONTRACTOR.
6. COMPACTED LANDSCAPE AREAS SHALL BE REPAIRED BEFORE PLANTING OCCURS.
7. PRE-EMERGENT HERBICIDE APPLICATIONS ARE REQUIRED DURING LANDSCAPE INSTALLATION. THE APPLICATION IS TO OCCUR AFTER THE LANDSCAPE AREA IS WEED FREE AND BEFORE THE WEED BARRIER OR WOOD MULCH IS INSTALLED.
8. QUANTITIES ARE TO BE VERIFIED BY THE CONTRACTOR. IF DISCREPANCIES EXIST THE PLANTING CONTRACTOR SHALL CONTACT.
9. DECORATIVE ROCK TO BE PLACED AROUND PAVERS AND IN GRAVEL AREAS IS TO BE PLACED AT 3" DEPTH OVER DEWIT PRO 5 WEED BARRIER OR APPROVED EQUAL. SPRAY PRE-EMERGENT HERBICIDE PRIOR TO PLACEMENT OF WEED BARRIER AND AFTER PLACEMENT OF ROCK.
10. BETWEEN ALL PLANTING, LAWN, AND GRAVEL AREAS, INSTALL METAL EDGING, USE 1/2" X 1/2" X 1/4" METAL EDGING OR APPROVED EQUAL.
11. SHREDDED DYED BROWN WOOD MULCH SHALL BE PLACED AT 3" DEPTH ON SOIL IN MULCHED AREAS. SPRAY PRE-EMERGENT HERBICIDE PRIOR TO AND AFTER PLACEMENT.
12. SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY OWNER.



A SHRUB PLANTING DETAIL
NOT TO SCALE



B TREE PLANTING AND STAKING
NOT TO SCALE



TAG - Pearl Street Townhomes
967 West 1700 South
Salt Lake City, UT


No.	Revision/Issue	Date
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VODA Landscape + Planning
159 West Broadway #200
Salt Lake City Utah 84101
801-520-5382 www.vodaplanning.com

Planting Phase

1.1

Project P21-08	
Date 2021-11-02	
Scale 1" = 10'	

LANDSCAPE SET

DRAWING LIST

L1.1 PLANTING PLAN AND DETAILS - PHASE 1
L1.2 PLANTING PLAN AND DETAILS - PHASE 2
L2.0 IRRIGATION PLAN AND DETAILS



GENERAL NOTES

- LANDSCAPE CONTRACTOR TO EXAMINE SITE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. IF CONDITIONS ARE UNSATISFACTORY CONTRACTOR TO CONTACT OWNER'S REPRESENTATIVE IN WRITING. DO NOT PROCEED UNTIL CONDITIONS ARE SATISFACTORY.
2. BEFORE EXCAVATING, DIGGING, OR DISTURBING SITE FOR ANY REASON, LANDSCAPE CONTRACTOR TO HAVE AREA "BLUE STAKED" IN ORDER TO LOCATE UNDERGROUND UTILITIES. LANDSCAPE CONTRACTOR TO ALSO NOTE LOCATION OF NEW AND PROPOSED UTILITIES AND WORK IN SUCH A MANNER TO PROTECT EXISTING AND PROPOSED UTILITIES FROM DAMAGE.
3. THE LANDSCAPE CONTRACTOR TO COORDINATE THE WORK WITH OTHER CONTRACTORS. LANDSCAPE CONTRACTOR TO BE FAMILIAR WITH ALL ASPECTS OF THE SITE AND WORK IN SUCH A MANNER AS TO AVOID DAMAGING ANY PORTION OF THE SITE OR STRUCTURE. LANDSCAPE CONTRACTOR TO REPAIR ANY DAMAGE, AT NO EXPENSE TO THE OWNER, THAT IS INCURRED BY THE LANDSCAPE CONTRACTOR.
4. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISH GRADE ELEVATIONS IN ALL LANDSCAPED AREAS. ALLOW FOR 3" OF ROCK MULCH IN ALL PLANTING BEDS.
5. LANDSCAPE CONTRACTOR TO LAYOUT PLANTS PRIOR TO PLANTING. ADJUSTMENT MAY BE REQUIRED. NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE TO RECEIVE APPROVAL OF PLANT LAYOUT BEFORE PROCEEDING WITH PLANTING.
6. ALL PLANT MATERIALS MUST MEET SIZES INDICATED IN SCHEDULES. SHALL MEET ANSI STANDARDS. AND SHALL MEET MINIMUM REQUIREMENTS OF LOCAL CODES. THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET SPECIFICATIONS OR DO NOT MEET THE QUALITY STANDARDS OF THE OWNER. ALL PLANT MATERIAL SHALL HAVE WELL DEVELOPED FIBROUS ROOT SYSTEM THAT ARE FREE OF PHYSICAL DAMAGE, DISEASE, AND INSECT INFESTATION.
7. CONTRACTOR TO PROVIDE 3" OF ROCK MULCH IN ALL PLANTER AREAS.
8. ANY PLANT DAMAGED DURING ANY STAGE OF THE INSTALLATION PROCESS SHALL BE REPLACED AT NO EXPENSE TO THE OWNER.
9. ANY PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL VERIFY ALL QUANTITIES REQUIRED AND PROVIDE THE PLANTS NECESSARY TO COMPLETE THE PLANTINGS. PLANT MATERIAL QUANTITIES INDICATED FOR BEDS/PLANTERS ARE ESTIMATES. VERIFY QUANTITY TO MATCH DETAILED DESIGN INTENT. PLANT QUANTITIES ARE FOR INDIVIDUAL PLANTS ONLY.
10. LANDSCAPE CONTRACTOR TO PROVIDE A ONE YEAR WARRANTY (MINIMUM) ON ALL PLANTING INSTALLATION. CONTRACTOR SHALL REPLACE, AT NO EXPENSE TO OWNER, ANY PLANT MATERIAL THAT DOES NOT SURVIVE.
11. SEE SPECIFICATIONS FOR PLANTING PROCEDURES, SOIL COMPOSITION, AND INFORMATION PERTINENT TO LANDSCAPE INSTALLATION.

SALT LAKE BUILDING CODE NOTES

1. Urban Forestry calculations:
Salt Lake City Urban Forestry Program requires one tree for every 30 feet of street front. There is 2727' of street frontage for Phase 1 and 274' for Phase 2. $2773/30 = 9.23$ trees per street front, which rounds down to 9 trees per street front. There are 9 trees shown along the Phase 1 street front, thereby meeting the requirement. $274/30 = 9.13$ trees per street front, which rounds down to 9 trees per street front. There are 9 trees shown along the Phase 2 street front, thereby exceeding the requirement.
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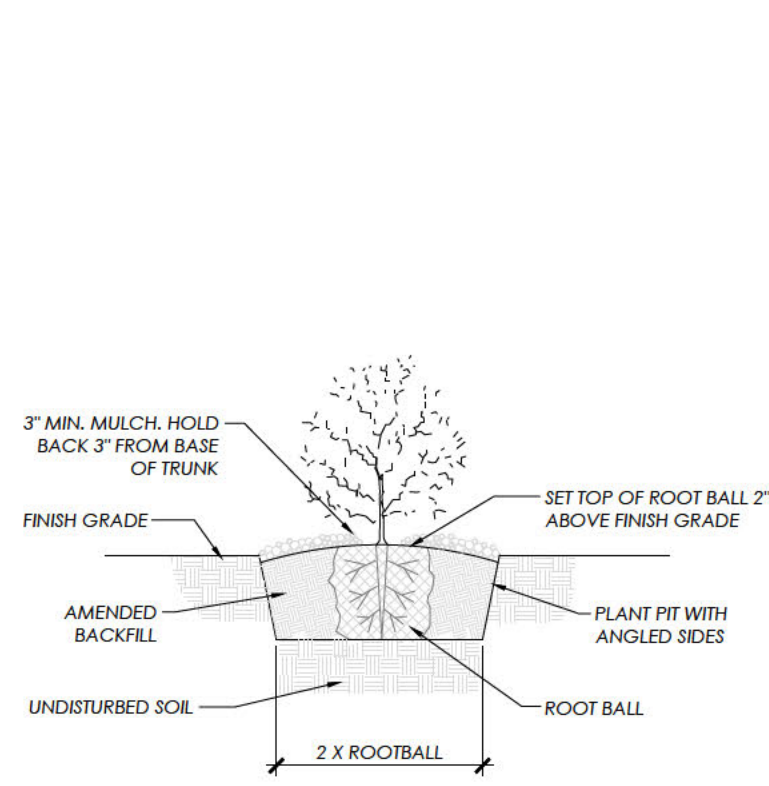
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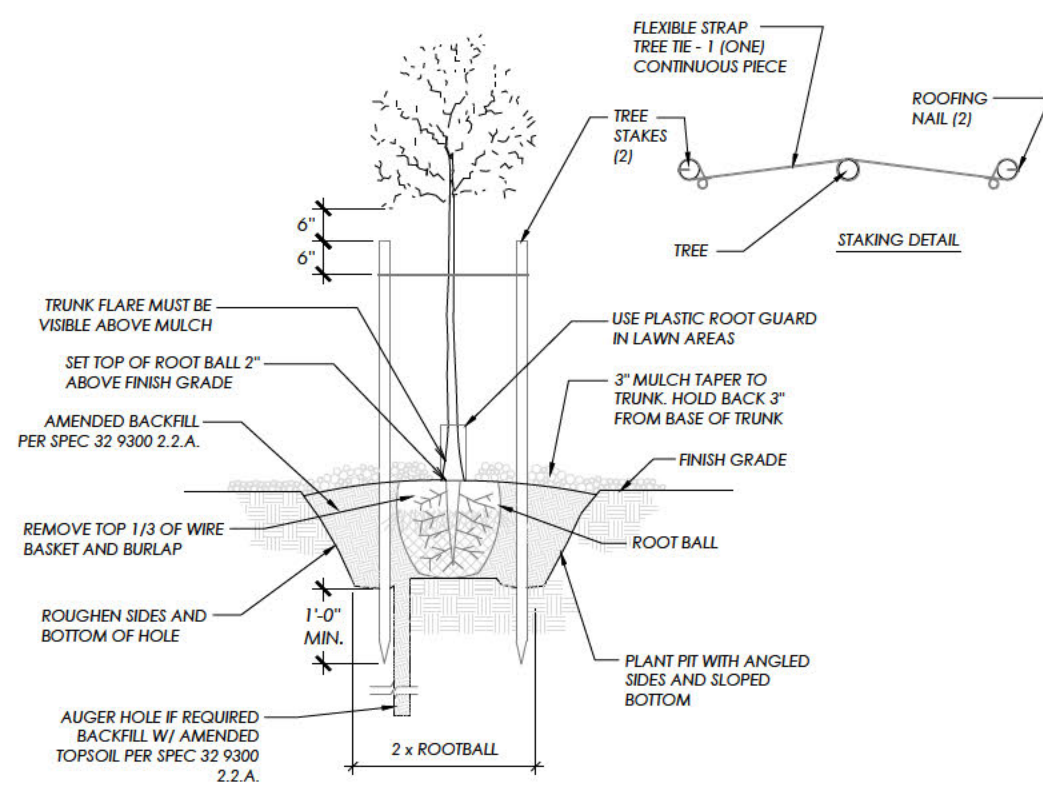
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8. QUANTITIES ARE TO BE VERIFIED BY THE CONTRACTOR. IF DISCREPANCIES EXIST THE PLAN SHALL BE THE DECIDING FACTOR.
9. DECORATIVE ROCK PLACED AROUND PAVERS AND IN GRAVEL AREAS IS TO BE PLACED AT 3" DEPTH OVER DEWIT 100 5 WEED BARRIER OR APPROVED EQUAL. SPRAY PRE-EMERGENT HERBICIDE PRIOR TO PLACEMENT OF WEED BARRIER AND AFTER PLACEMENT OF ROCK.
10. BETWEEN PLANTING, LAWN, AND GRAVEL AREAS, INSTALL METAL EDGING, USE COMB WED 100 5 BLACK EDGING OR APPROVED EQUAL.
11. SHREDDED DYED BROWN WOOD MULCH SHALL BE PLACED AT 3" DEPTH ON SOIL IN MULCHED AREAS. SPRAY PRE-EMERGENT HERBICIDE PRIOR TO AND AFTER PLACEMENT.
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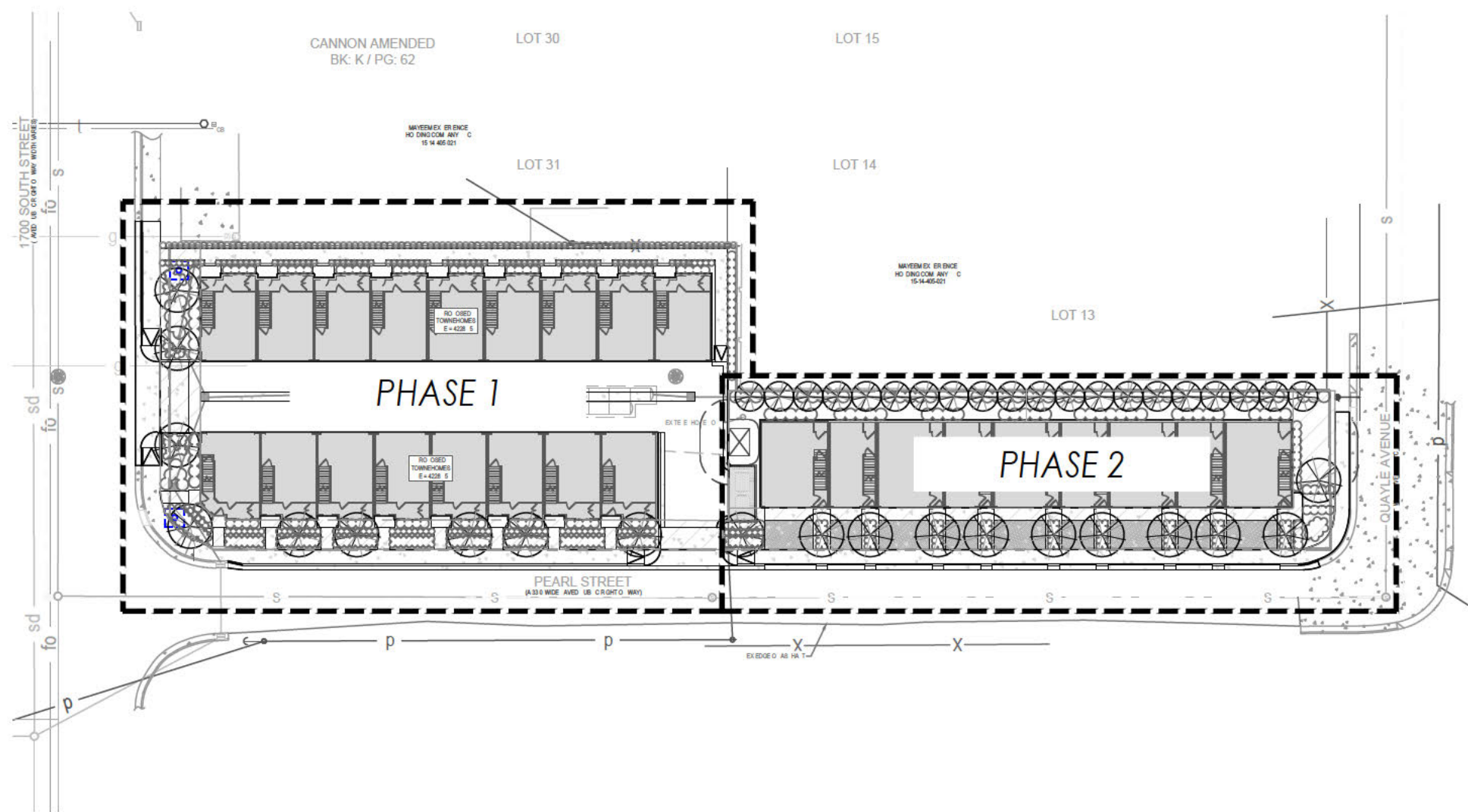
PLANTING DETAILS



A SHRUB PLANTING DETAIL
NOT TO SCALE

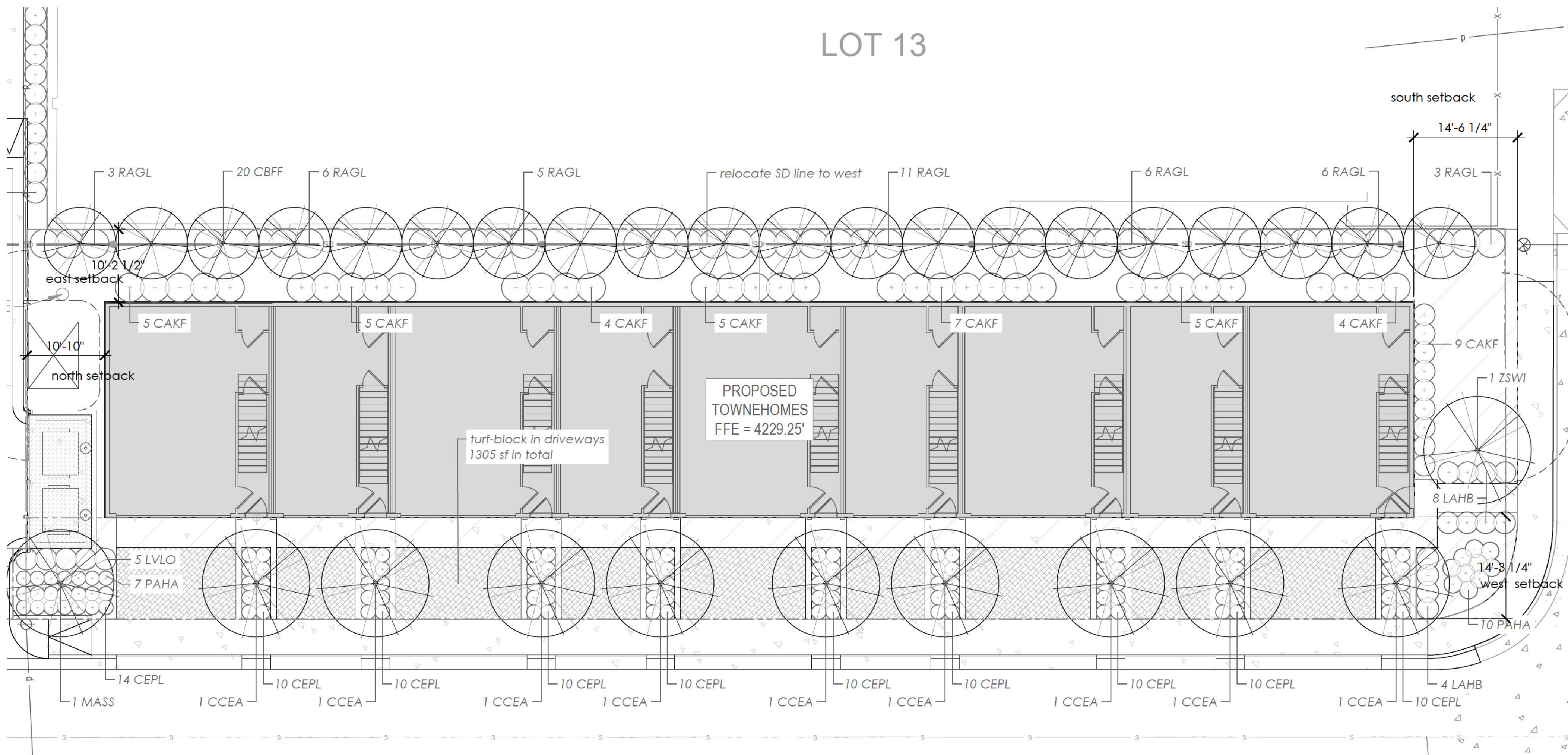


B TREE PLANTING AND STAKING
NOT TO SCALE



PLANT SCHEDULE - PHASE 2

ABBR.	BOTANICAL NAME	COMMON NAME	HYDROZONE	COUNT	SIZE
CAKF	<i>Calamagrostis acutifolia</i> 'Karl Foerster'	Karl Foerster Feathergrass	Tw2	44	1#
CBFF	<i>Carpinus betulus</i> Franz Fontaine'	Franz Fontaine Hornbeam	n/a	20	2" cal.
CCFA	<i>Cercis canadensis</i> 'Eastern'	Eastern Redbud	Td4	9	2" cal.
CEPL	<i>Ceratostigma plumbaginoides</i>	Dwarf Plumbago	n/a	104	1#
LAHB	<i>Lavandula angustifolia</i> 'Hidcote Blue'	Hidcote Blue English Lavender	P2	12	1#
LVLO	<i>Ligustrum vulgare</i> 'Lowdense'	Lowdense Privet	n/a	5	5#
MASS	<i>Malus</i> 'Spring Snow'	Spring Snow Flowering Crabapple	n/a	1	2" cal.
PAHA	<i>Pennisetum alopecuroides</i> 'Hamel'	Hamel Fountain Grass	Tw2	17	1#
RAGL	<i>Rhus aromatica</i> 'Gro-low'	Grow Low Sumac	Gv1	40	5#
ZSWI	<i>Zeikova serrata</i> 'Wireless'	Wireless Zeikova	Td4	1	2" cal.



TAG - Pearl Street Townhomes
967 West 1700 South
Salt Lake City, UT

No.	Revision/Issue	Date



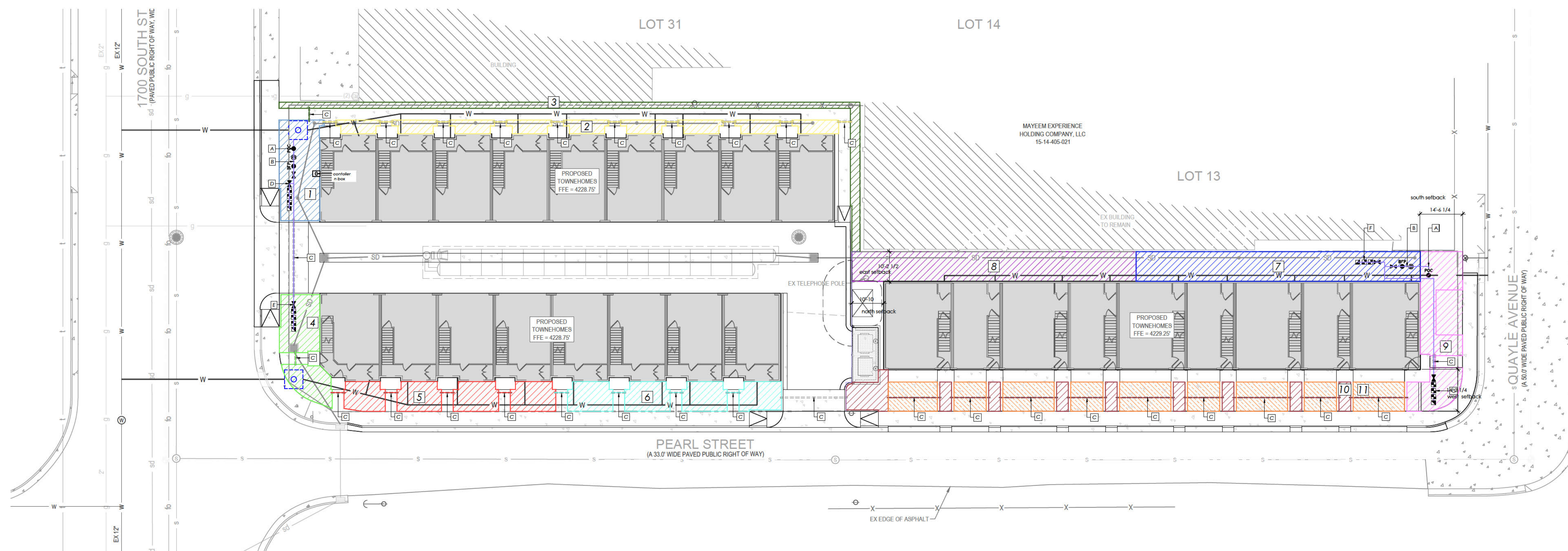
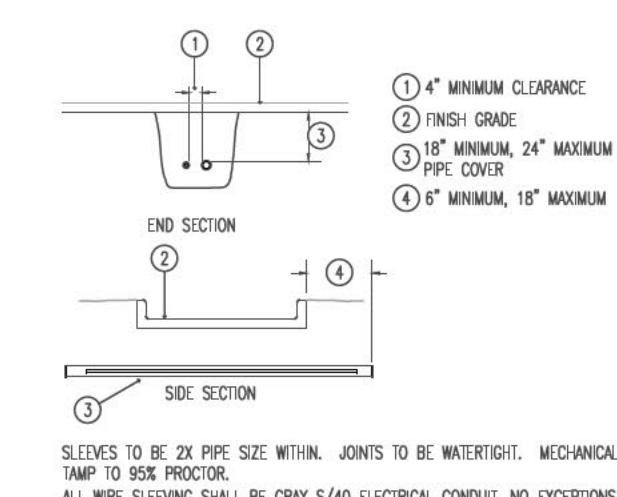
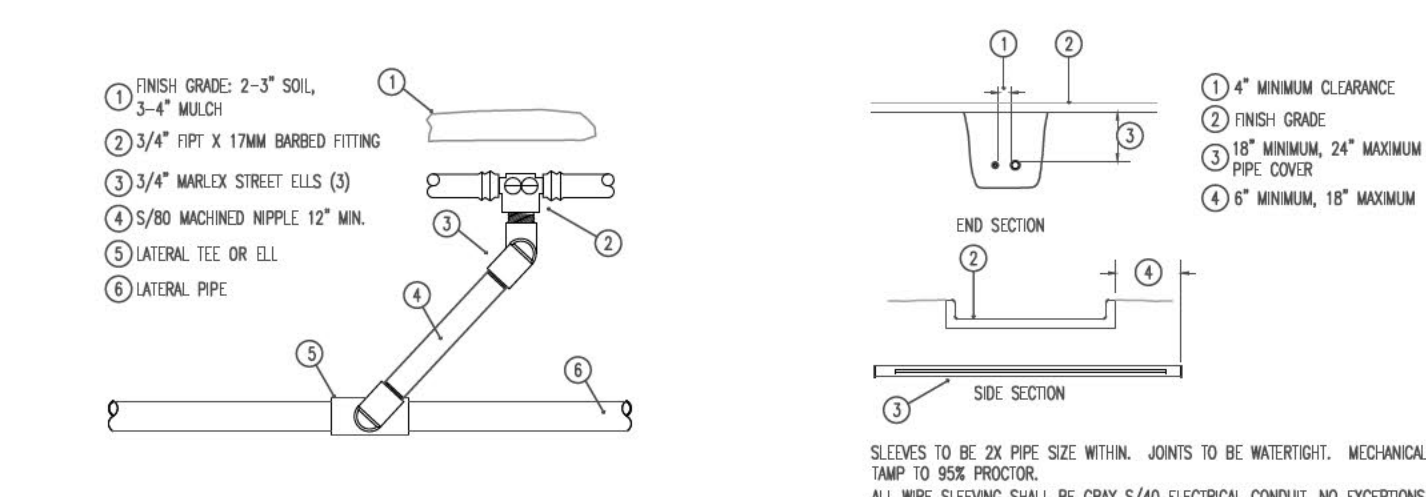
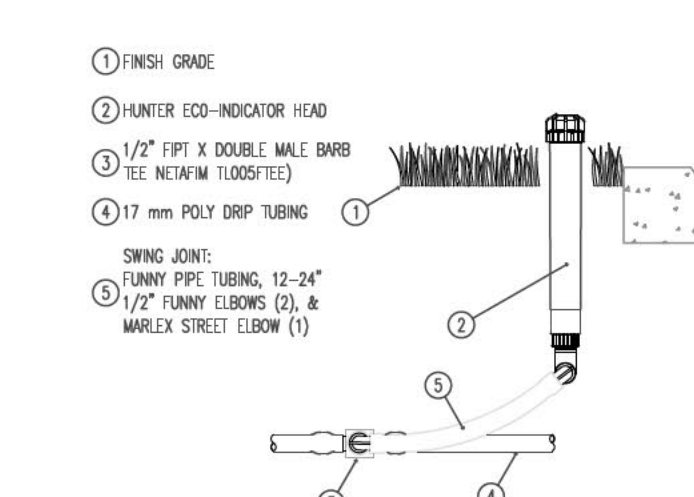
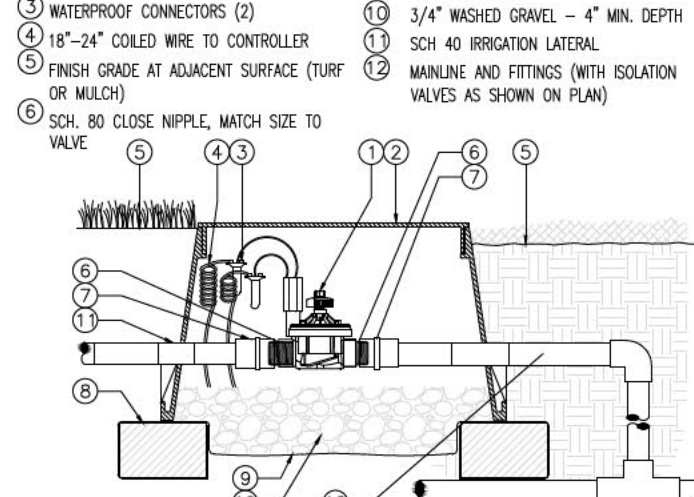
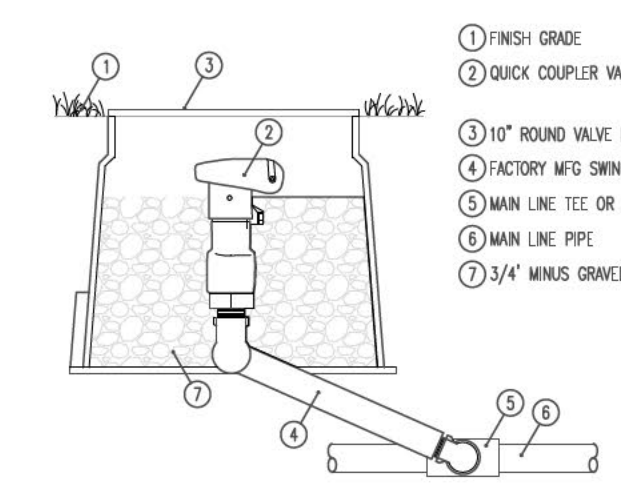
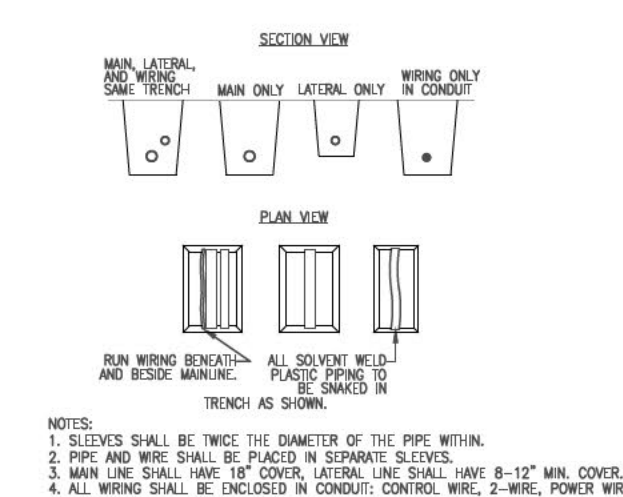
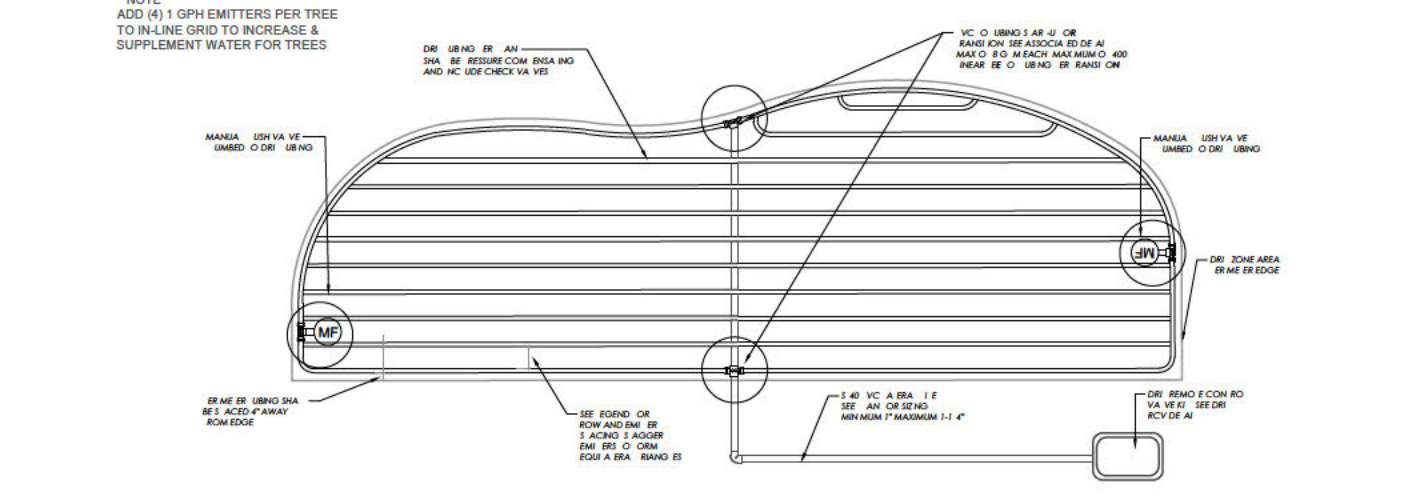
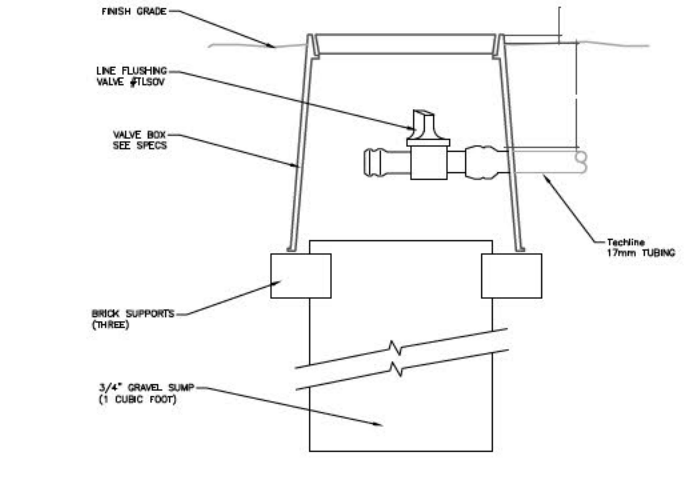
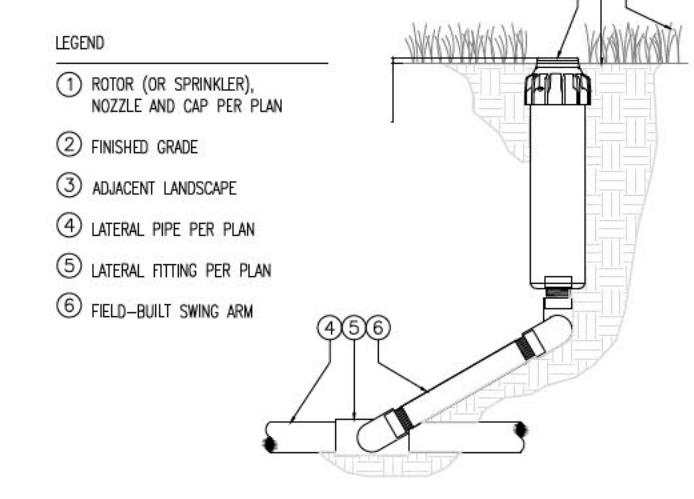
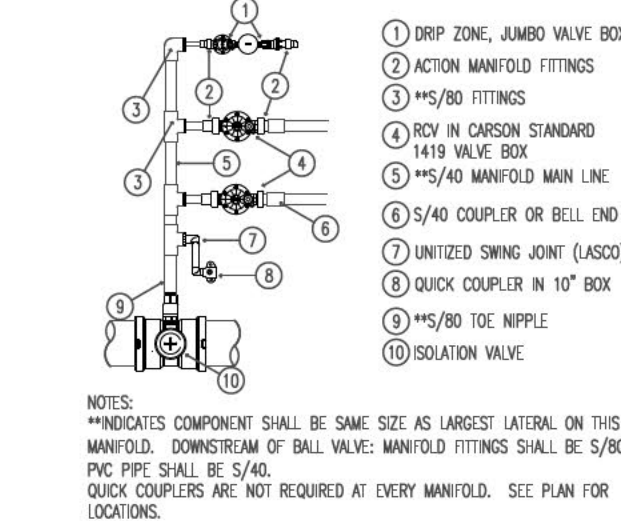
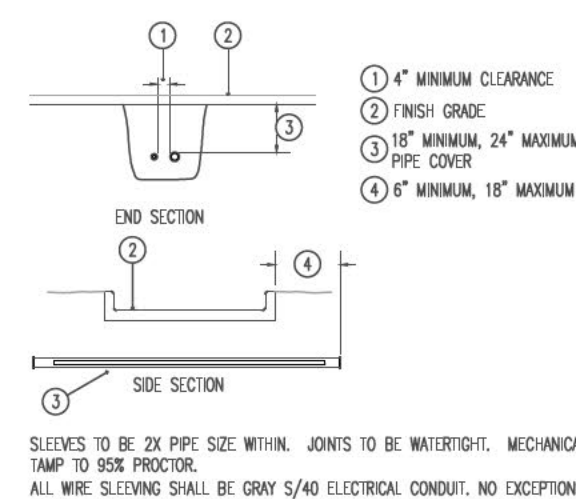
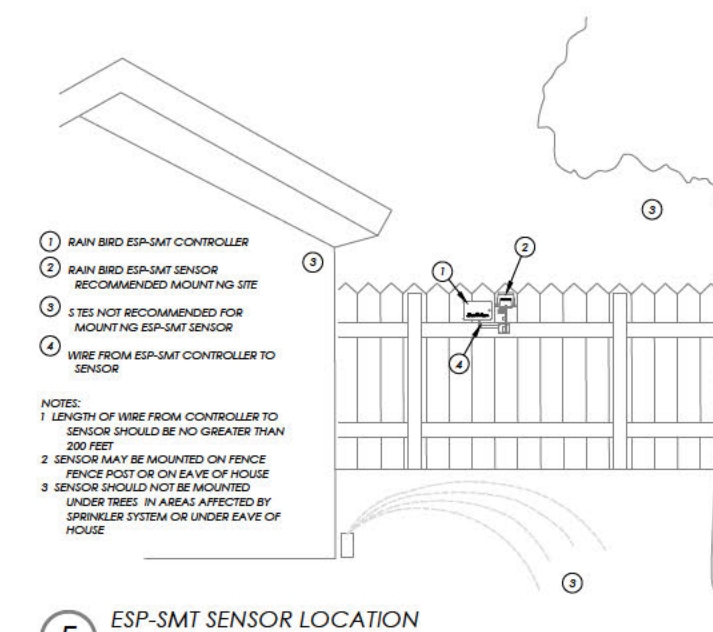
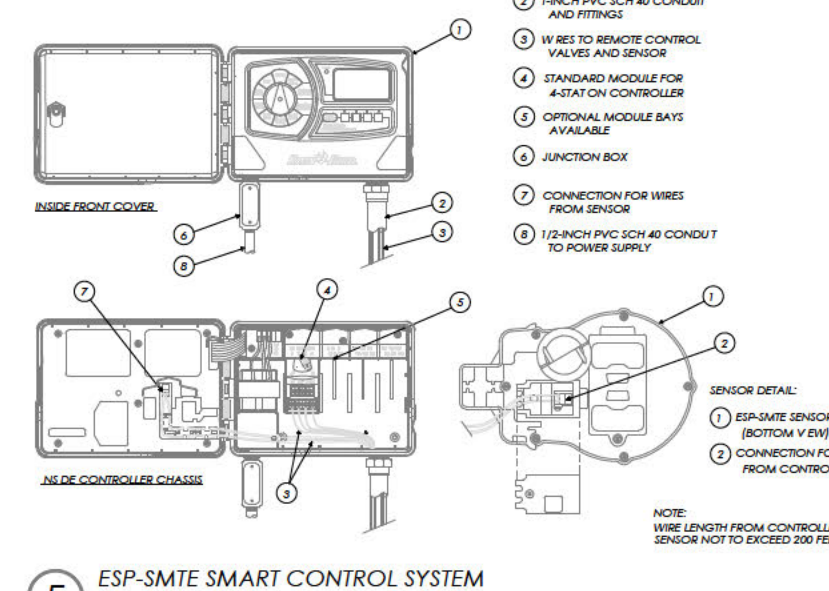
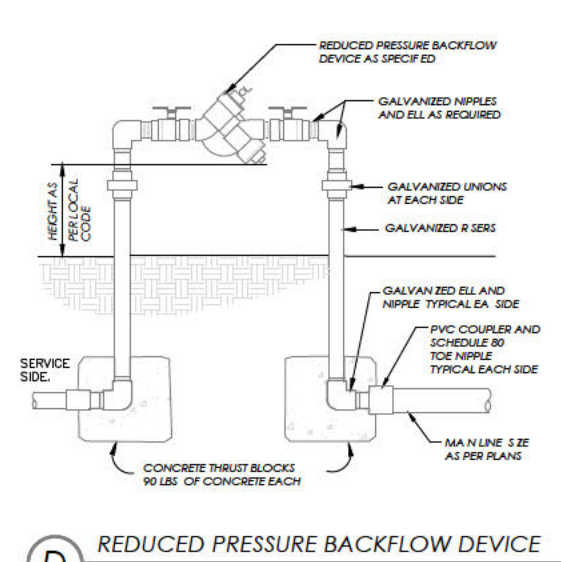
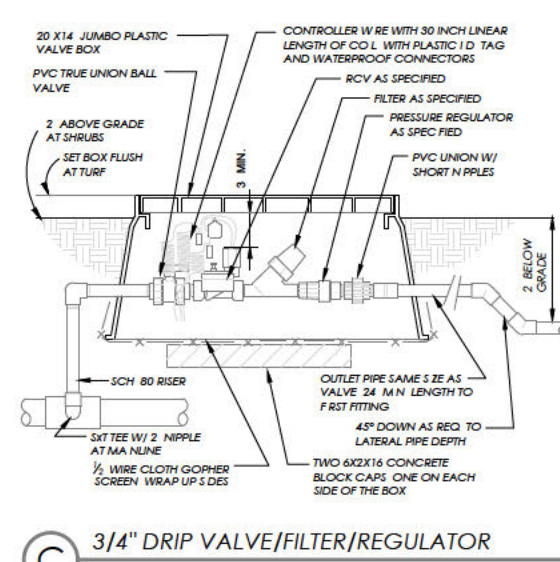
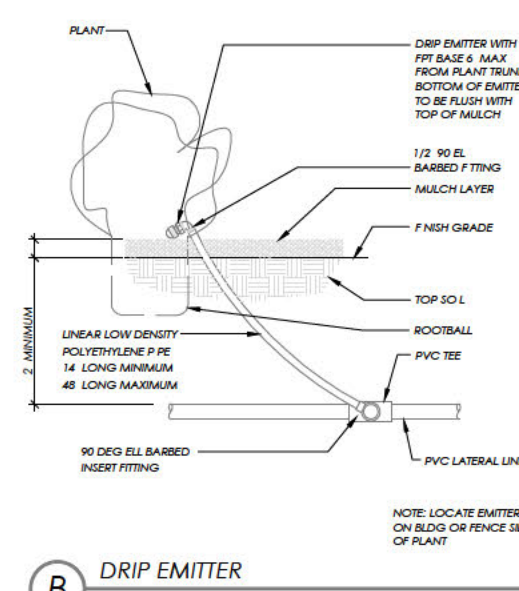
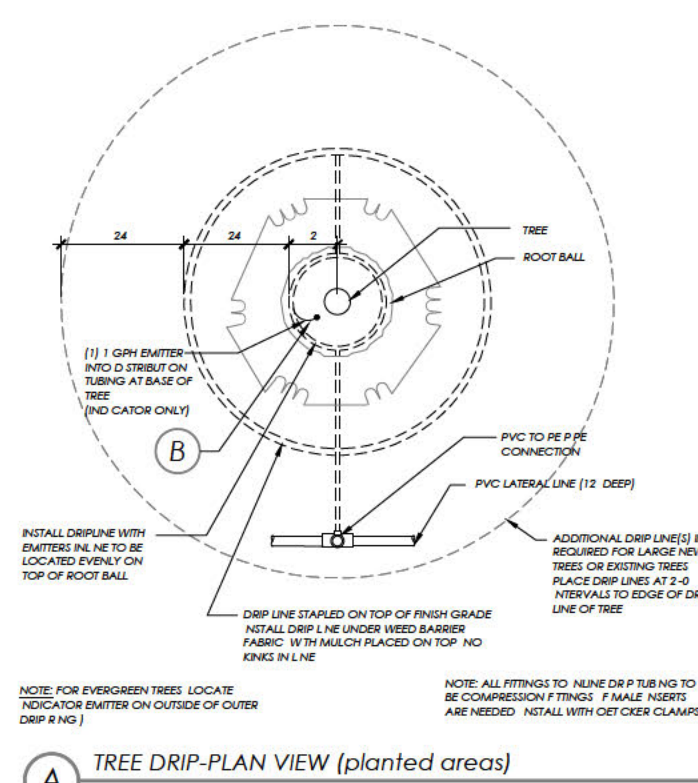
VODA Landscape + Planning
159 West Broadway #200
Salt Lake City Utah 84101
801-520-5382 www.vodaplan.com

Planting Plan

1.2

21-98










 $1'' = 10$














IRRIGATION KEYED NOTES:

- A. New point of connection
- B. New stop and waste, BFP and master control valve
- C. New PVC sleeving under pavement
- D. Automatic control valves for zones 1, 2, 3 and quick coupler in valve box
- E. Automatic control valves for zones 4, 5, 6 and quick coupler in valve box
- F. Automatic control valves for zones 7, 8 and quick coupler in valve box
- G. Automatic control valves for zones 9, 10, 11 and quick coupler in valve box

IRRIGATION ZONES

	Zone 1: ~470 s.f. drip irrigation
	Zone 2: ~570 s.f. drip irrigation
	Zone 3: ~570 s.f. drip irrigation
	Zone 4: ~435 s.f. rotor irrigation
	Zone 5: ~580 s.f. drip irrigation
	Zone 6: ~580 s.f. drip irrigation
	Zone 7: ~980 s.f. drip irrigation
	Zone 8: ~980 s.f. drip irrigation
	Zone 9: ~625 s.f. drip irrigation
	Zone 10: ~470 s.f. drip irrigation
	Zone 11: ~1305 s.f. spray irrigation

IRRIGATION LEGEND

-  Point of connection (compression T, adjust location base on new water main)
-  Stop and access valve (3'-5' below grade with access via vertical sleeve and cap)
-  Reduced Pressure Back Flow Preventer
-  Master control valve in valve box
-  Isolation valve in valve box
-  Quick coupler valve (provide key with hose bib attachment)
-  Drip control valve
-  Head control valve
-  Main lines
-  Lateral lines
-  PCV sleeving under paving

ATTACHMENT C: Property and Vicinity Photos



Subject Property – Looking north from Quayle Ave



Intersection of Quayle Ave and Pearl St – Looking east



Subject Property – Looking northeast from intersection of Quayle/Pearl



Intersection of Quayle Ave and Pearl St – Looking north



Southern portion of the subject property



Subject Property – Looking southeast from Pearl St



Adjacent property to the south



Adjacent property to the west

ATTACHMENT D: CG Zoning Standards

CG (General Commercial District)

Purpose Statement: The purpose of the CG General Commercial District is to provide an environment for a variety of commercial uses, some of which involve the outdoor display/storage of merchandise or materials. This district provides economic development opportunities through a mix of land uses, including retail sales and services, entertainment, office, residential, heavy commercial and low intensities of manufacturing and warehouse uses. This district is appropriate in locations where supported by applicable master plans and along major arterials. Safe, convenient and inviting connections that provide access to businesses from public sidewalks, bike paths and streets are necessary. Access should follow a hierarchy that places the pedestrian first, bicycle second and automobile third. The standards are intended to create a safe and aesthetically pleasing commercial environment for all users.

Standard	Requirement	Proposed	Finding
Maximum Building Height	60 feet, or up to 90 feet with Design Review	35'1" to the top of parapet	Complies
Front/Corner/Side/Rear Yard Setbacks	Front Yard: Ten feet (10'). Corner Side Yard: Ten feet (10'). Interior Side Yard: None required. Rear Yard: Ten feet (10').	Front Yard: 14'3 1/4". Corner Side Yard: 14'6 1/4". Interior Side Yard: 10'10". Rear Yard: 10'2 1/2".	Complies
Buffer Yard	Lots in the CS or CG Districts which abut a lot in a residential district shall provide a fifteen foot (15') landscape buffer.	Property does not abut any lot in a residential district.	Complies
Lot Size	Minimum Lot Area: Ten thousand (10,000) square feet. Minimum Lot Width: Sixty feet (60'). Existing Lots: Lots legally existing prior to April 12, 1995, shall be considered legal conforming lots.	Approximately 10,890 square feet; existing lot.	Complies
Mid-Block Walkway	None required	N/A	N/A
Refuse Control	Recycling collection station required. Construction waste management plan required.	To be verified at building permits.	To Be Checked
Lighting	All developments shall provide adequate lighting	Lighting plan will be evaluated when project is reviewed for	To Be Checked

	so as to assure safety and security. Lighting installations shall not have an adverse impact on traffic safety or on the surrounding area. Light sources shall be shielded, and shall not shine onto adjacent properties.	permits. Small scale of project reduces likelihood of creating light pollution.	
Minimum Off Street Parking Requirements (21A.44.030.G)	2 parking spaces for each dwelling unit containing 2 or more bedrooms 1 parking space for 1 bedroom and efficiency dwelling 1/2 parking space for single room occupancy dwellings (600 square foot maximum)	2 parking spaces for each dwelling unit containing three bedrooms (5 units, 10 parking stalls); 1 parking space for each unit containing one bedroom (4 units, 4 parking stalls); 14 parking stalls total	Complies
Landscaping & Buffering (21A.48)	Landscaping must comply with park strip and landscape yard requirements.	47% live vegetation in front yard. Applicant is proposing turf block treatment for driveways. Driveways are excluded from landscaping requirements, so proposed treatment does not count either way.	Complies
Signage (21A.46.090)	Signage must comply with sign regulations for commercial districts.	No signs proposed.	N/A
Ground Floor Use	No specific ground floor use required.	N/A	Complies
Building Materials	No specific materials required.	N/A	Complies
Ground Floor Glass	No specific amount required.	N/A	Complies
Upper Floor Glass	No specific amount required.	N/A	Complies
Building Entrances	At least one operable building entrance on the ground floor is required for every street facing facade.	Nine building entrances provided on ground floor facing Pearl St. (one per dwelling unit); one building entrance provided on ground floor facing Quayle Ave.	Complies
Maximum Length of Blank Wall	No specific maximum.	N/A	Complies

ATTACHMENT E: Planned Development Standards

21A.55.050: Standards for Planned Developments: The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards.

The Finding for each standard is the recommendation of the Planning Division based on the facts associated with the proposal, the discussion that follows, and the input received during the engagement process. Input received after the staff report is published has not been considered in this report.

A. Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development. The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development. The Planning Commission should consider the relationship between the proposed modifications to the zoning regulations and the purpose of a planned development, and determine if the project will result in a more enhanced product than would be achievable through strict application of the land use regulations.

Planned Development Purpose Statement: A planned development is intended to encourage the efficient use of land and resources, promoting greater efficiency in public and utility services and encouraging innovation in the planning and building of all types of development. Further, a planned development implements the purpose statement of the zoning district in which the project is located, utilizing an alternative approach to the design of the property and related physical facilities. A planned development incorporates special development characteristics that help to achieve City goals identified in adopted Master Plans and that provide an overall benefit to the community as determined by the planned development objectives. A planned development will result in a more enhanced product than would be achievable through strict application of land use regulations, while enabling the development to be compatible with adjacent and nearby land developments.

Discussion: Staff finds that the project meets two of the Planned Development objectives: Housing and Master Plan Implementation. However, staff does not feel that this project would result in a more enhanced product than would be achievable through strict application of land use regulations. The specific purpose of the request is to create multiple curb cuts, spaced closely together, fronting a narrow street. This will negatively impact the public way, creating conflicts between pedestrians and vehicles maneuvering in and out of, or parked in, the proposed driveways. It will also result in a front façade that is defined primarily by nine garage doors at the ground level.

Finding: ☐ Meets Purpose Statement ☒ Does Not Meet Purpose Statement

- A. Open Space And Natural Lands: Preserving, protecting or creating open space and natural lands:
1. Inclusion of community gathering places or public recreational opportunities, such as new trails or trails that connect to existing or planned trail systems, playgrounds or other similar types of facilities.
 2. Preservation of critical lands, watershed areas, riparian corridors and/or the urban forest.
 3. Development of connected greenways and/or wildlife corridors.
 4. Daylighting of creeks/water bodies.
 5. Inclusion of local food production areas, such as community gardens.
 6. Clustering of development to preserve open spaces.

Discussion:

Project does not specifically include proposal to preserve, protect, or create open space or natural lands.

Finding: ☐ Objective Satisfied ☒ Objective Not Satisfied

B. Historic Preservation:

1. Preservation, restoration, or adaptive reuse of buildings or structures that contribute to the character of the City either architecturally and/or historically, and that contribute to the general welfare of the residents of the City.
2. Preservation of, or enhancement to, historically significant landscapes that contribute to the character of the City and contribute to the general welfare of the City's residents.

Discussion: Project is not located in a historic district or listed as a landmark site and it does not involve a historic structure.

Finding: ☐ Objective Satisfied ☒ Objective Not Satisfied

C. Housing: Providing affordable housing or types of housing that helps achieve the City's housing goals and policies:

1. At least twenty percent (20%) of the housing must be for those with incomes that are at or below eighty percent (80%) of the area median income.
2. The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood.

Discussion: As proposed, the project would provide a type of housing that is not typical for the neighborhood. The neighborhood immediately to the north of this site consists primarily of single-family detached dwellings. While some single-family attached and multi-family developments also exist in the neighborhood, they are not characteristic of the area. Providing single-family attached style multi-family housing contributes to a greater variety of housing types for this neighborhood, while still building at a scale that is typical to the neighborhood.

Finding: ☒ Objective Satisfied ☐ Objective Not Satisfied

<p>D. Mobility: Enhances accessibility and mobility:</p> <ol style="list-style-type: none"> 1. Creating new interior block walkway connections that connect through a block or improve connectivity to transit or the bicycle network. 2. Improvements that encourage transportation options other than just the automobile.
<p>Discussion: Project does not include an interior block walkway connection or improvements to transit or bicycle network. There are no specific improvements proposed that would encourage transportation options other than just the automobile.</p>
<p>Finding: <input type="checkbox"/> Objective Satisfied <input checked="" type="checkbox"/> Objective Not Satisfied</p>
<p>E. Sustainability: Creation of a project that achieves exceptional performance with regards to resource consumption and impact on natural systems:</p> <ol style="list-style-type: none"> 1. Energy Use And Generation: Design of the building, its systems, and/or site that allow for a significant reduction in energy usage as compared with other buildings of similar type and/or the generation of energy from an on-site renewable resource. 2. Reuse Of Priority Site: Locate on a brownfield where soil or groundwater contamination has been identified, and where the local, State, or national authority (whichever has jurisdiction) requires its remediation. Perform remediation to the satisfaction of that authority.
<p>Discussion: Project has not been identified as being located on a brownfield site. The design of the building, its systems, or site have not been specifically identified as allowing for a significant reduction in energy usage as compared with other buildings of a similar type. There is no proposed on-site generation of renewable energy.</p>
<p>Finding: <input type="checkbox"/> Objective Satisfied <input checked="" type="checkbox"/> Objective Not Satisfied</p>
<p>F. Master Plan Implementation: A project that helps implement portions of an adopted Master Plan in instances where the Master Plan provides specific guidance on the character of the immediate vicinity of the proposal:</p> <ol style="list-style-type: none"> 1. A project that is consistent with the guidance of the Master Plan related to building scale, building orientation, site layout, or other similar character defining features.
<p>Discussion: The proposed project would create new multi-family residential development close to an identified Regional Node in the Westside Master Plan, which is a land use type that is identified as ideal for that type of node. The intensity of development is comparable to what the Plan calls for in terms of multi-family development surrounding a Regional Node. The Plan states that density should be no less than 50 units per acre. This project is providing a density of approximately 36 units per acre, but an increase in density of any significance over the proposed is unlikely given the dimensions of the site and zoning requirements. The project would also redevelop property adjacent to, but not within, the area of the neighborhood that is zoned for single-family residential. The Westside Master Plan states that most redevelopment should happen in this pattern.</p>
<p>Finding: <input checked="" type="checkbox"/> Objective Satisfied <input type="checkbox"/> Objective Not Satisfied</p>

B. Master Plan Compatibility: The proposed planned development is generally consistent with adopted policies set forth in the Citywide, community, and/or small area Master Plan that is applicable to the site where the planned development will be located.

Finding: Complies

Discussion: The Westside Master Plan states that development should generally occur around existing single-family neighborhoods, as opposed to redeveloping property within the single-family neighborhoods themselves. Opportunities for redevelopment are identified around several nodes, one of which is located at the intersection of 1700 South and 900 West, which is described as a “Regional Node.” The Master Plan notes Regional Nodes should be “major magnets for large commercial uses, professional offices, and multi-family developments.” This project helps to meet identified goals in the Master Plan by redeveloping property adjacent to a primarily single-family residential neighborhood and building a multi-family development near a regional node.

Condition(s):

C. Design And Compatibility: The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the Planning Commission should consider:

1. Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;

Finding: Complies

Discussion:

Bulk and height of the proposed development are similar to surrounding development. The Westside Master Plan identifies this area as a Regional Node which ideally would support large commercial uses, professional offices, and multi-family developments. The proposed intensity of development is closely aligned with the ideal development characteristics specified in the Plan for this type of node.

Condition(s):

2. Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;

Finding: Complies

Discussion:

Building orientation and materials are generally compatible with the surrounding neighborhood. There are few related policies in the applicable Master Plans.

Condition(s):

3. Whether building setbacks along the perimeter of the development:

- a. Maintain the visual character of the neighborhood or the character described in the applicable Master Plan.
- b. Provide sufficient space for private amenities.
- c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise.
- d. Provide adequate sight lines to streets, driveways and sidewalks.
- e. Provide sufficient space for maintenance.

Finding: Complies

Discussion:

- a. Setbacks do not impact the visual character of the neighborhood. They comply with underlying zoning standards.
- b. Adequate space is maintained for private amenities.
- c. Underlying zoning does not require an open space buffer because this property is not adjacent to a lot in a residential district. Applicant is providing a 10' setback along the east side of the property which abuts a heavy commercial use.
- d. Sight lines to streets, driveways, and sidewalks must be maintained per applicable City code requirements. Applicant is not requesting a modification to setback standards.
- e. Project must meet all requirements related to access for maintenance. Applicant is not requesting a modification to setback standards.

Condition(s):

4. Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;

Finding: Does Not Comply

Discussion:

Building façade is primarily composed of garage doors at the ground level. Small windows in garage doors will provide some transparency into garages. Entrances to each unit are also located on the front façade and are proposed to include large sections of glass. However, these entrances are very small in scale compared to the garage doors. Design overall does not facilitate pedestrian interest and interaction.

Condition(s):

5. Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;
Finding: Complies
Discussion: Project is small scale in nature. Lighting will likely not impact surrounding property. To be fully evaluated at permits.
Condition(s):
6. Whether dumpsters, loading docks and/or service areas are appropriately screened;
Finding: Complies
Discussion: No dumpsters, loading docks, or service areas are proposed.
Condition(s):
7. Whether parking areas are appropriately buffered from adjacent uses.
Finding: Complies
Discussion: Parking areas will be contained in garages.
Condition(s):

D. Landscaping: The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the Planning Commission should consider:
1. Whether mature native trees located along the periphery of the property and along the street are preserved and maintained;
Finding: Complies
Discussion: Vegetation was removed prior to the applicant applying for the Planned Development, but it was not significant in nature and did not need to be preserved.
Condition(s):

2. Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved;

Finding: Complies

Discussion:

Vegetation was removed prior to the applicant applying for the Planned Development, but it was not significant in nature and did not need to be preserved. The previous landscaping did not provide a buffer to abutting properties.

Condition(s):

3. Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development;

Finding: Complies

Discussion:

Front yard landscaping provides a buffer between the development and sidewalk, which is identified as a design goal by Urban Forestry. Minimal park strip landscaping is proposed, but staff recognizes that providing a park strip wide enough for proper landscaping is difficult given the dimensions of the project site.

Condition(s):

4. Whether proposed landscaping is appropriate for the scale of the development.

Finding: Complies

Discussion:

Applicant is proposing trees, shrubs, and foliage that are appropriate for the scale of the development.

Condition(s):

E. Mobility: The proposed planned development supports Citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the Planning Commission should consider:

1. Whether drive access to local streets will negatively impact the safety, purpose and character of the street;

Finding: Does Not Comply

Discussion:

The proposed development would include nine new curb cuts and driveways facing Pearl Street, approximately 6 feet apart from each other. Driveway widths range from about 11 feet to about 17 feet. Pearl Street is narrow at 33 feet wide. The character of the street would be substantially altered with the introduction of nine driveways spaced so closely together.

Condition(s):

2. Whether the site design considers safe circulation for a range of transportation options including:
 - a. Safe and accommodating pedestrian environment and pedestrian oriented design;
 - b. Bicycle facilities and connections where appropriate, and orientation to transit where available; and
 - c. Minimizing conflicts between different transportation modes;

Finding: Does Not Comply**Discussion:**

- a. Proposed driveways will each cross the public sidewalk that will be constructed in front of the property. The number of driveways and narrow sidewalk will limit what pedestrians will perceive as public right of way.
- b. No specific area for bicycle parking is proposed. There are bike lanes along 1700 South and on 900 West, north of 1700 South.
- c. The proposed design will create significant conflicts between pedestrians and automobiles by building nine closely spaced driveways and garages that must be accessed by driving across the sidewalk. Due to the short length of the driveways, if vehicles are parked there they will block the sidewalk and partially obstruct the street. As the street exists now, there is no sidewalk on the opposite side of the street for pedestrians to use as an alternative. Due to the narrow street and the proposed number of curb cuts and driveways, the potential for negative interaction between bicyclists, pedestrians and vehicles substantially increases.

Condition(s):

3. Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities;

Finding: Does Not Comply

The layout of the proposal includes direct access to the public sidewalk, which would permit residents to access nearby adjacent uses and amenities. However, that access may be partially obstructed by vehicles parked in the short driveways. Pedestrian access would be difficult and there is a likelihood of conflict between vehicular traffic on Pearl and the proposed drive accesses.

The surrounding neighborhood, particularly on 1700 South and 900 West, has some small-scale neighborhood businesses as well as larger, auto-oriented businesses and warehouse/manufacturing/heavy commercial uses, and some detached- and attached-single family home development. Neighborhood scale businesses include a restaurant and convenience store. These are located on the block of 1700 South adjacent to the proposed development.

Condition(s):

4. Whether the proposed design provides adequate emergency vehicle access;

Finding: Complies

Discussion:

Emergency vehicles will use Quayle Avenue and Pearl Street for access.

Condition(s):

5. Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.

Finding: Does Not Comply

Discussion:

Loading access to the property is adequate, but it would be provided directly from the public right-of-way for each proposed townhouse, which would have a large impact on such a narrow street.

Condition(s):

F. Existing Site Features: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.

Finding: Complies

Discussion:

There are no natural or built site features that significantly contribute to the character of the neighborhood.

Condition(s):

G. Utilities: Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area.

Finding: Complies

Discussion:

Public utility connections will be fully evaluated during the building permits review phase of the development, and upgrades may be required by that department to serve the property.

Condition(s):

ATTACHMENT F: Public Process & Comments

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- February 14, 2022 – The Glendale Community Council was sent the 45 day required notice for recognized community organizations. The council subsequently requested a presentation from the applicant and provided a letter of support for the project.
- February 10, 2022 - Property owners and residents within 300 feet of the development were provided early notification of the proposal.
- February – May 2022 – The project was posted to the Online Open House webpage.

Notice of the public hearing for the proposal included:

- April 29, 2022
 - Public hearing notice sign posted on the property
- April 29, 2022
 - Public hearing notice mailed
 - Public notice posted on City and State websites and Planning Division list serve

Public Input:

A letter of support was received from the Glendale Community Council and is included below. Additionally, a letter of support was received from an individual member of the Glendale Community Council. A letter in opposition was received from an individual identifying themselves as an architect.



Board of Directors

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At-Large Member

Jaycee Miller
At-Large Member

Levi de Oliveira
At-Large Member

Sarah Wolfe
At-Large Member

March 30, 2022

Salt Lake City Planning Division
ATTN: Michael McNamee
451 S State St.
Rm 406
PO Box 145480
Salt Lake City, UT 84114-5480

Dear Michael,

It is my pleasure to submit this letter of support on behalf of the Glendale Community Council. After consulting with the applicant, Glendale Community Council Board Members and members of the community, we would like to express our support for the proposed Planned Development at 968 W Quayle Avenue to allow multiple curb cuts separated by less than 100 feet. We believe that the project will create additional housing suitable for families compared to the project possible under strict application of the code. Additionally, the greenspace along the Eastern edge of the proposed Planned Development will create a more desirable experience for future residents. The eyes the development will put on the street will certainly be appreciated by the neighborhood.

Thank you for the opportunity to weigh in on the development in our neighborhood, we appreciate the opportunity to engage in the planning process as well as your attendance at the Community Conversation on March 17th.

Thank you,

Turner C. Bitton
Chair, Glendale Neighborhood Council

Glendale Community Council
1375 S. Concord Street
Salt Lake City, UT 84104

From: [Levi Oliveira](#)
To: [McNamee, Michael](#)
Subject: (EXTERNAL) Letter of Support for New Development - Application ID: PLNPCM2021-01306
Date: Tuesday, February 22, 2022 8:57:38 AM

Hello Michael,

I have been a long time resident of Glendale and I'm very excited and supportive of the new residential developments that are coming to our neighborhood.

I would like to reach out to you today to express my support for the new planned development on Pearl and Quayle St.

It is my understanding that TAG SLC has requested Multiple curb cuts within 100 feet of each other to facilitate garage access directly from the street rather than a shared drive aisle.

I'm in support of their request and believe that this will allow for a buffer yard between the units and Marine Products building to the east of the development.

After reviewing this request with the team at TAG SLC and with our Glendale community council (which I'm a part of) I would like to express my full support in the hopes that the city planning commission will grant this request.

This part of Glendale is starting to transition, and I feel that the accommodations that are being requested will make the units more livable as it is a pioneering project in the area.

Please let me know if you would like to discuss this request in further detail.

Thanks,

Levi de Oliveira

m. 

a. 1618 S. Navajo St. SLC UT 84101

From: [Joshua Stewart](#)
To: [McNamee, Michael](#); [Norris, Nick](#)
Subject: (EXTERNAL) Quayle Townhouses
Date: Tuesday, February 22, 2022 4:08:29 PM
Attachments: [image.png](#)
[image.png](#)
[image.png](#)

Mr. McNamee,

Having all garage doors the whole length of the street at the pedestrian level is counter to Salt Lake City's planning objectives of creating vital, friendly walkable urban life. I realize it is a long narrow site, but the City could work with the developer and create a narrower Pearl St.. Perhaps 24' of asphalt 15' setback where sidewalk, street trees, and private patio gardens could occur and then allow the developer to access his parking from the back side next to the huge block wall to the east. In addition, there could then be some active spaces on the ground floor rather than just garages. This would require the City to sell part of the right of way to the developer in order to create a much more interesting streetscape like the image below. I think a City and developer partnership here could be very synergistic. Talk with Nick Norris about how Pearl Street could be redesigned and the setbacks adjusted to help this developer to create a more interesting pedestrian streetscape. This is a great opportunity to work with the developer to do something where the street and architecture are designed together. Trees planted on the west side of Pearl would be really helpful as well to give afternoon shade to the properties and any outdoor spaces.

Thanks,

Josh Stewart
Architect



image.png

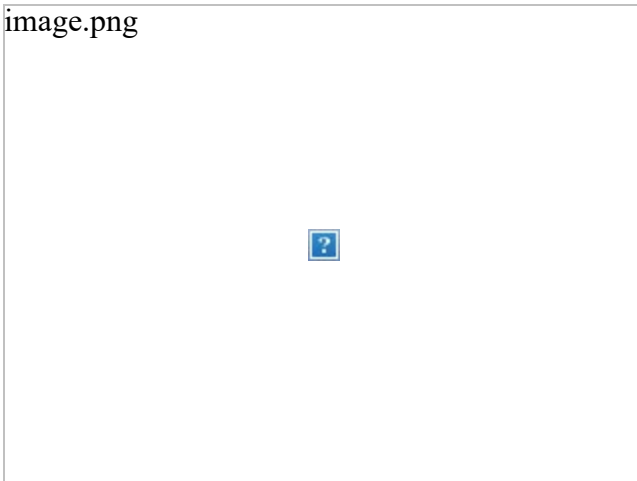


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ATTACHMENT G: Department Review Comments

This proposal was reviewed by the following departments. Any requirement identified by a City Department is required to be complied with.

Engineering:

No objections to the planned development.

Prior to performing work in the public way, a Permit to Work in the Public Way must be obtained from SLC Engineering.

Building:

Many other Townhome sites in area. Project to be built according to adopted building code. Plans submitted for permit.

Fire:

They're in an AMM for fire sprinklers to be installed for this due to fire access issues. Fire hydrant to be located within 600-feet of all ground level exterior walls.

Urban Forestry:

City code requires that a tree be planted in the ROW for every 30' of public street frontage. However, there are plenty of examples throughout the city where there are no plantable public ROW parkstrips. As I'm sure you understand, it is far more desirable for the pedestrian to walk on a sidewalk that has some separation from the street traffic. It is one of the main reasons why we design parkstrips with trees in them, so it can be both a perceptive, and actual buffer between the pedestrians and street traffic. This would be our preferred design outcome. Is it possible to narrow the road by eliminating the option for on street parking and using that space to create the desired tree lined parkstrip? The plan does offer that buffer within their private property and does functionally offer shaded tree canopy to the otherwise exposed pedestrian in the public ROW with trees that are proposed to be planted on private property. In the end, if the planning division is willing to allow it, we are willing to accept the plan as shown.

Transportation:

As far as public way improvements go, they are planning on installing an abutting sidewalk (5' wide), curb & gutter and asphalt on Pearl St. The right-of-way on Pearl St. is only around thirty-three (33) feet wide. We have asked them to replace a minimum of 20 feet of asphalt width along the project frontage on Pearl St. due to the condition of the existing roadway and its ability to support two-way traffic; they are showing replacing asphalt to the centerline and re-using the existing asphalt on the west side of the road. We can also expect some additional wear and tear on the roadway during construction. They will need an Engineering (Public Way) Permit for work in the right-of-way (requires a licensed/bonded/insured contractor) and a Traffic Control Permit from Transportation (for signs/barricades).

Public Utilities:

The proposed development may require some offsite improvements to provide water and fire protection.

Site design needs to consider the placement of utility services and connections.

The site does not currently have utility connections.

All improvements must meet SLCDPU standards, policies, and ordinances.