



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Eric Daems, Senior Planner, eric.daems@slcgov.com or 801-535-7236
Date: March 9, 2022
Re: PLNPCM2021-01109 (Planned Development) PLNPCM2021-01150 (Design Review) for Liberty Duet Apartments

PLANNED DEVELOPMENT & DESIGN REVIEW

PROPERTY ADDRESS: 347, 353, 355, and 357 East 500 South

PARCEL ID's: 16-06-405-014-0000, 16-06-405-015-0000, 16-06-405-009-0000, and 16-06-405-016-0000

MASTER PLAN: Central Community

ZONING DISTRICT: R-MU-45 (Residential Mixed-Use) and Groundwater Source Protection Overlay

REQUEST:

A request by Zack Jones of Cowboy Partners for **Design Review** and **Planned Development** review at approximately 353 East 500 South. The proposal is for a 54-unit, 5 story, multi-family development. The building is proposed to be 60' in height and is located in the R-MU-45 zone. The development is seeking approval for additional building height and for relief from site development standards of the R-MU-45 zone. The specific request to the Planning Commission is for the following:

Design Review:

- An additional 10' of building height. The Planning Commission may permit buildings up to 55' tall through the Design Review process.
- To allow for a reduction in ground floor use along 500 South of 62% and 21% along Blair Street where 75% would be required.
- To allow for a reduction of 37% glass along 500 South and 20% along Blair Street where 60% would be required.
- To allow for a separation of 105' between entries along Blair Street where 75' would be required.
- To eliminate the required 10' building step back at 30 feet in height along 500 South and Blair Street.

Planned Development:

- An additional 5' of building height. The Planning Commission may grant an additional 5' of height through the Planned Development process.
- To allow for a 10' rear yard setback where 30' would be required.
- To allow for the balconies, an awning, and the roof cantilever to encroach up to 5' into the front and corner yard setbacks, where 2 ½' would be allowed.

RECOMMENDATION:

Based on the findings listed in the staff report, it is Planning Staff's opinion that the project generally meets the applicable Design Review standards and the objectives and standards for a Planned Development and therefore recommends the Planning Commission approve the request with the following conditions:

1. The garage doors include transparent panels for at least 50% of the width between 3' and 8' feet from the ground.
2. The parcels be combined prior to beginning construction.
3. Final approval for signage be delegated to Staff to review in accordance with adopted standards and ordinances.

ATTACHMENTS:

- A. Vicinity Map
- B. Applicant Submittal & Plan Set
- C. Property and Vicinity Photos
- D. Master Plan Policies
- E. Analysis of Zoning Standards
- F. Analysis of Design Review Standards
- G. Analysis of Planned Development
- H. Department Review Comments
- I. Public Process & Comments



Quick Facts

Property Size: .55 acres

Height: 60' (5 stories)

Ground Floor Uses: Fitness center, lobby/lounge, bike storage/wash, parking
Upper Floor Uses: Residential units, open courtyard

Number of Residential Units: 54

Front/Corner Setback: 5' (5' required)

Side Setback: 0' (0' required)

Rear Setback: 10' (30' required, requesting modification)

Exterior Materials: Glass, brick, cement fiberboard, architectural metal paneling, metal awnings

Parking: 48 interior stalls

Review Process & Standards: Design Review, Planned Development, and general zoning standards.

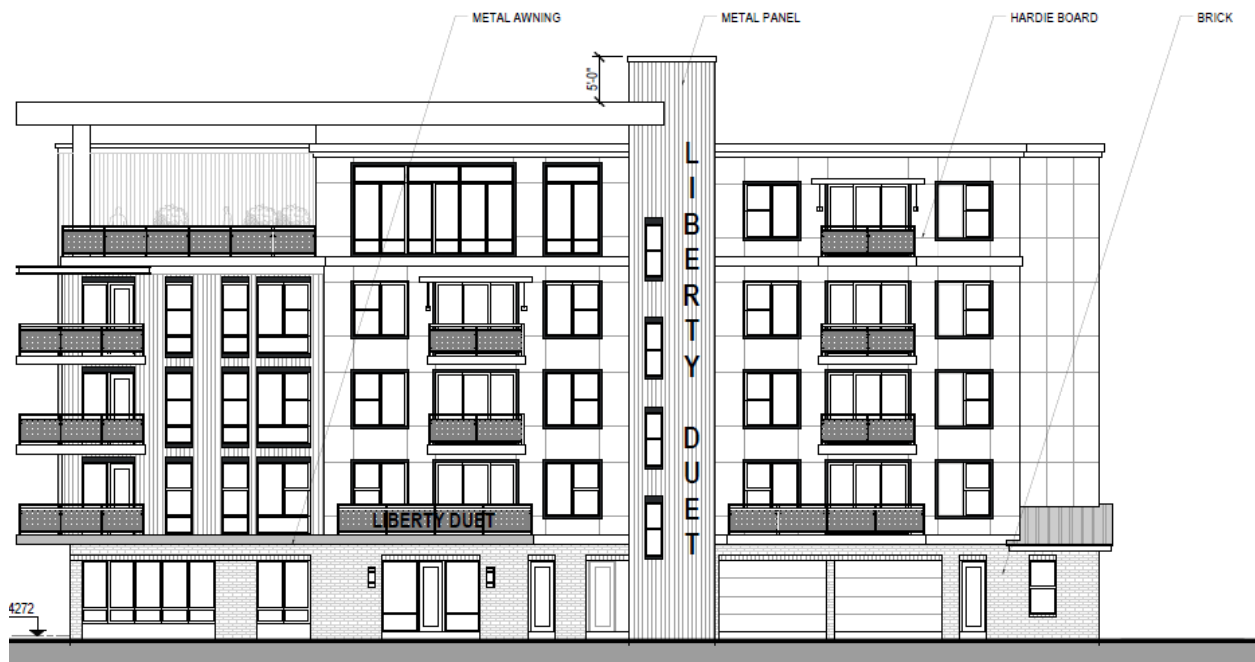
PROJECT DESCRIPTION & BACKGROUND:

Cowboy Partners is proposing a five-story, 54-unit multi-family building. The building is proposed as 60' tall and will be approximately 54,158 square feet. The building includes 48 interior parking stalls. Above is a rendering of the development and a list of quick facts about the proposal.

The structure will consist entirely of two-bedroom units, the developer is calling "dual-master units". These will be considered market-rate but are made to be more affordable in that they are designed in a way that rent can be shared with a roommate. The layout offers a large unit, in an expensive area, that is made much more affordable by the option to split rent.

The property has frontage on both 500 South and Blair Street, although it will primarily be accessed from 500 South. Blair Street is a private street with restricted access intended to service the Salt Lake City Public Safety Building. The ground-level of the building will include a pedestrian entrance, leasing office, and fitness center along the project's public street frontage along 500 South. The parking garage will also be accessed from 500 South. Bicycle storage and a wash and repair area will be provided along the Blair Street frontage. Additional amenity space and a rooftop deck will be located on the fifth floor. The project's primary façade materials will be brick, architectural metal, cement fiberboard, and glass.

The property consists of four existing parcels. The single-story building on the property was most recently occupied by a jewelry store. The applicant is currently working on combining the parcels with the City. The Salt Lake Public Safety Building is located across Blair Street to the east. A surface parking lot for the Public Safety Building abuts the property on the north. A series of two-story office buildings and a five-story apartment building across 500 South to the south. A parking garage and two-story office building is adjacent to the property on the east.



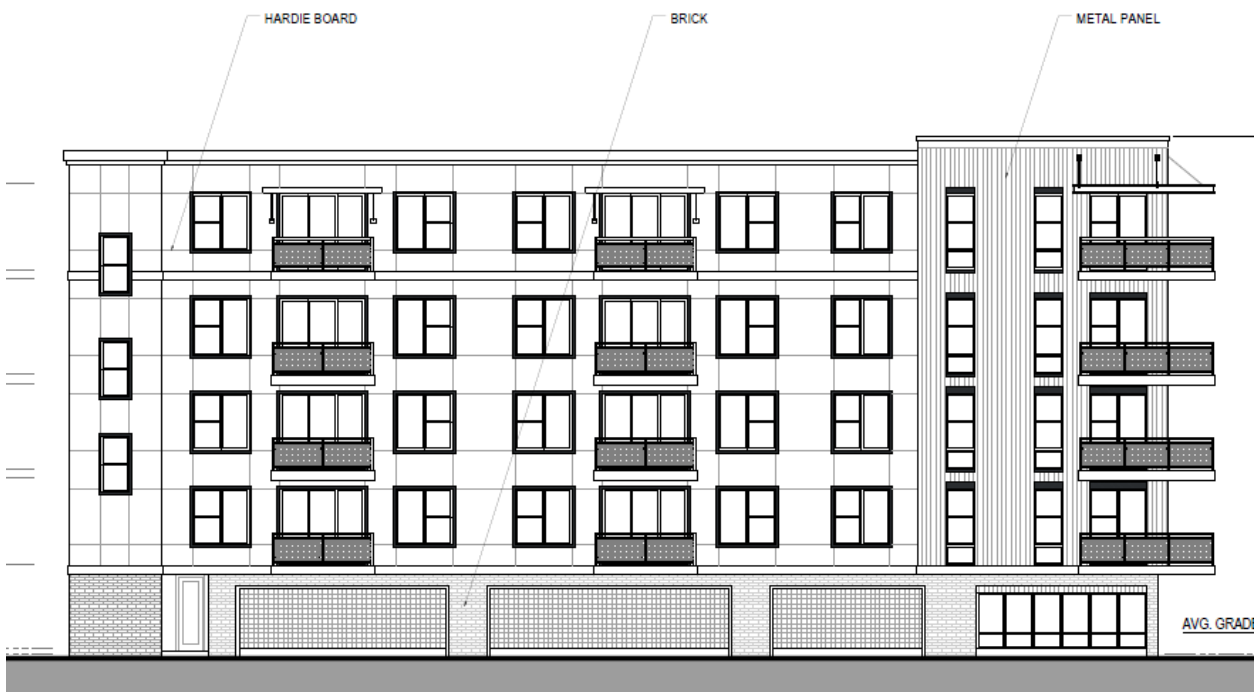
South Elevation



West Elevation



East Elevation



North Elevation

APPLICABLE REVIEW PROCESSES AND STANDARDS:

Review Processes: Planned Development and Design Review

Applicable Standards:

- R-MU-45 zoning standards
- General zoning standards (landscaping, parking, etc.)

Planned Development: The Planned Development process allows applicants to seek modifications to zoning standards. An applicant must first meet one of several objectives related to City plan policies and goals. The Planned Development process includes standards related to whether any modifications will result in a better final product, whether it aligns with City policies and goals, and is compatible with the area or the City's master plan development goals for the area.

Design Review: The Design Review process allows applicants to pursue minor modifications to design standards or for larger developments that could be impactful to the City. For minor modifications, the process allows some flexibility in how the design standards are administered. For requests that would increase the size or height of the development, the Design Review process seeks to create compatibility with surrounding properties, mitigate impacts to public infrastructure, and to ensure that the proposed development helps achieve goals of the various master plans of the City.

KEY CONSIDERATIONS:

The considerations below were identified through the analysis of the project. Further analysis of each is provided in [Attachment F](#) and [Attachment G](#) of this report.

Consideration #1: Compatibility of Additional Building Height

The development has a proposed height of 60' where 45' would be allowed by-right. This request is seeking additional height through two different processes. Through Design Review, the Planning Commission may grant an additional 10' of height. Through the Planned Development process, the Planning Commission may grant an additional 5' of total height. Approval of both of these processes would allow for the requested height of 60'.

Given the neighborhood and the location of the development, the proposed height is appropriate in design and scale. The building will be shorter than the Salt Lake City Public Safety Building to the west and the TSA-zoned developments to the north. In that context, the building will provide a step down in the urban form from the taller buildings to the west and north down to the shorter commercial buildings to the east and south. The proposed building is similar in height to many residential and office buildings in the surrounding neighborhood. The added building height allows for 12 additional dwelling units in a transit-oriented, amenity-rich, neighborhood that is well-served with retail, commercial, institutional, and public uses. Further, a significant portion of the additional floor will be used for a large roof deck and clubroom, providing a common social space and outdoor amenity for the residents.

Consideration #2: Blair Street Frontage

The property intended for this development is considered to be a corner property with frontage along 500 South and Blair Street. As such, it would typically be required to provide a higher level of design and pedestrian-scaled features along both frontages. However, the southern portion of Blair Street is unique in that it is a private street with an easement only for fire department and public safety vehicles. It looks like, and functions, more like a private driveway than a street frontage. Although it does provide some pedestrian connection to the development to the north, it is not intended as a principle public

space and sidewalk was only provided on the west side of the street. The rear portion of the Public Safety Building, including utilities and the service areas of the building, face Blair Street.

In consideration of the restrictions along Blair Street, the applicant was required to use 500 South for vehicular access to the building. Providing vehicular access from 500 South limits the layout options of an internal parking area and has compelled the applicant to make concessions along both ground level façades. For example, the façade along Blair Street is proposed with metal screens to allow ventilation into the parking garage. While the screens provide a level of transparency into the building, they reduce the amount of ground floor glass that can be provided, and they do not look into active ground floor space. Nearly 22% of the 500 South façade is occupied by the garage door, which alters the amount of ground floor active space and glass than can be provided along that façade.



Blair Street

The applicant is also seeking relief from the upper floor step back. This is based on the nature of Blair Street, the desire to provide additional dwelling units, and in consideration of the various design elements incorporated into the building that are intended to fulfill the spirit of the ordinance. The building includes pedestrian scaled features with large windows, brick detailing, and awnings at the ground floor. The upper floors are broken up visually with balconies, material changes, and a projecting roof. The building has a distinct base, middle, and top. Staff believes the requested modifications to ground floor glass, ground floor active uses, the upper floor step back, and separation of entrances are appropriate, and the project still creates an attractive and pedestrian friendly development overall.

Consideration #3: Modified Rear Yard Setback and Design Standards

The proposal seeks to reduce the rear yard setback from 30' to 10'. The rear of the property abuts a surface parking lot for the Public Safety Building. The reduced setback will not have a significant impact on adjacent properties but will allow for additional dwelling units to ease the City's housing shortage.

The proposal is also requesting to modify several design standards required in the R-MU-45 zone including ground floor use, ground floor glass, and the 10' step back for the upper floors. The requested modifications are in response to the need to provide a driveway from 500 South and with the intention to design the building in a way that is more compatible with neighboring development. In all cases, the proposal seeks to meet the intent of the standards by providing an architecturally pleasing building that relates to surrounding buildings with a focus on scale, articulation, changes in plane, and high-quality building materials. The building also seeks to incorporate glass, brick detailing, awnings, and lighting that provide a pedestrian-scale experience at the ground floor. In effort to maximize design opportunities, Staff is recommending additional glass be incorporated into the garage door. This would provide close to 47% transparency along the 500 South frontage.

Overall, Staff believes the modifications requested are appropriate for the development and that sufficient design features have been incorporated to meet the intent of the code.

DISCUSSION:

In general, Staff is of the opinion that the proposal meets the intent of the R-MU-45 zoning district, the objectives and standards for a Planned Development and of Design Review. As will be discussed in more detail in [Attachment D](#), the proposal is compatible with the various master plans of the city. The additional 15' of building height, the reduced rear yard setback, modification of design elements, and the encroachment of balconies, awnings, and the roof cantilever into the setbacks have been appropriately mitigated with the proposed design elements intended to enhance the pedestrian experience.

NEXT STEPS:

Approval of Planned Development and/or Design Review

If the requests are approved, the applicant will need to comply with the conditions of approval, including any of the conditions required by other City departments and the Planning Commission. The applicant would be able to submit plans for building permits once all conditions of approval are met.

Denial of Planned Development

If the Planned Development request is denied, the applicant will still be able to develop the property by right, but at a smaller scale. Specifically, the following changes would need to be made:

- The total building height would need to be reduced by 5'
- The provided rear yard setback would need to be 30'
- The projection of the balconies, awnings, and roof cantilever would not to be reduced so as to not project into the front or corner side yards beyond what is allowed by-right

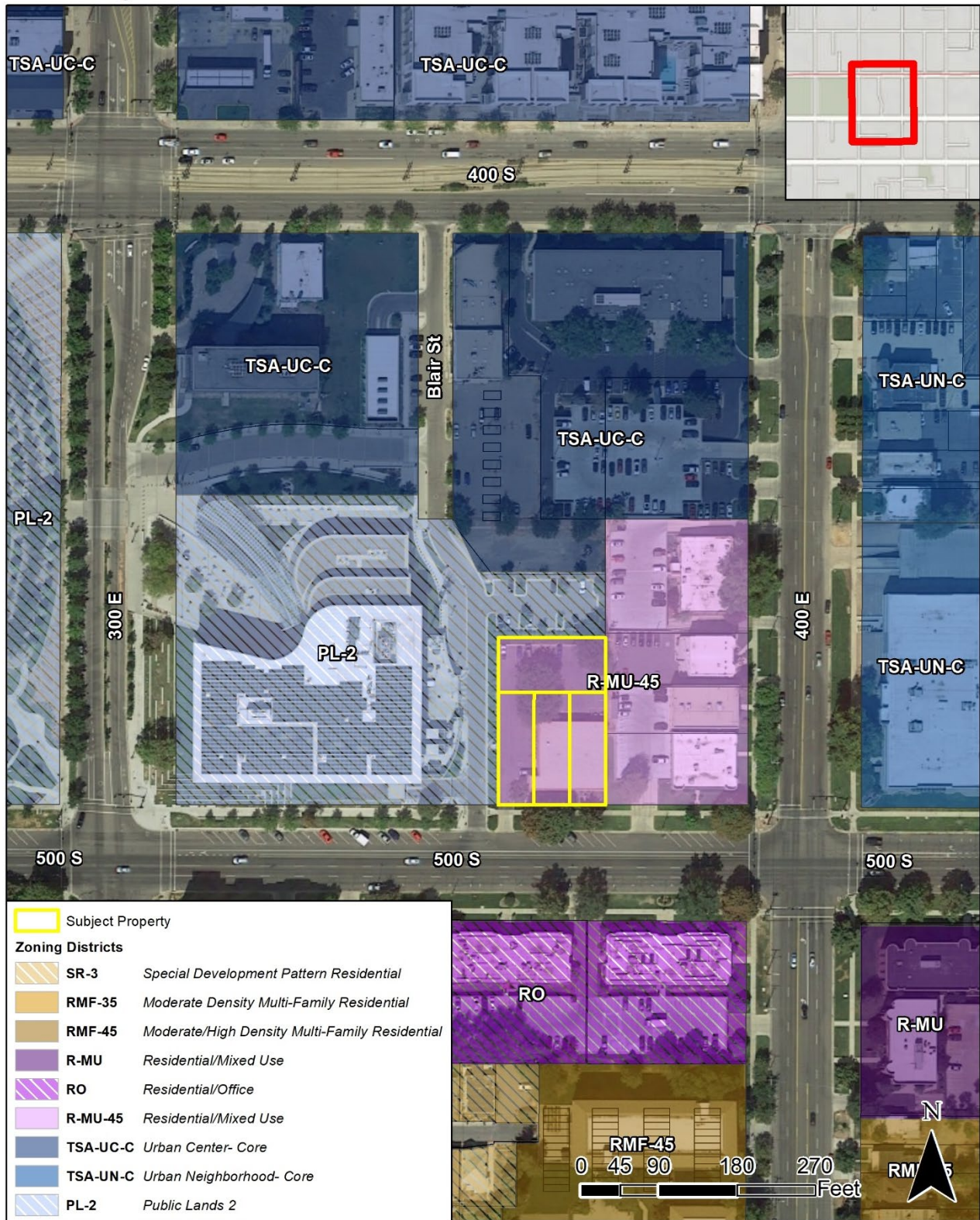
Denial of Design Review

If the Design Review request is denied:

- The building would be limited to a maximum height of 45'
- 75% active ground floor uses would need to be provided along 500 South and Blair Street
- 60% ground floor glass would need to be provided along 500 South and Blair Street
- The building would need to step back 10' above 30'
- Entries along Blair Street could not be separated by more than 75'

ATTACHMENT A – VICINITY MAP

Liberty Duet



ATTACHMENT B – APPLICANT SUBMITTAL & PLAN SET









A104

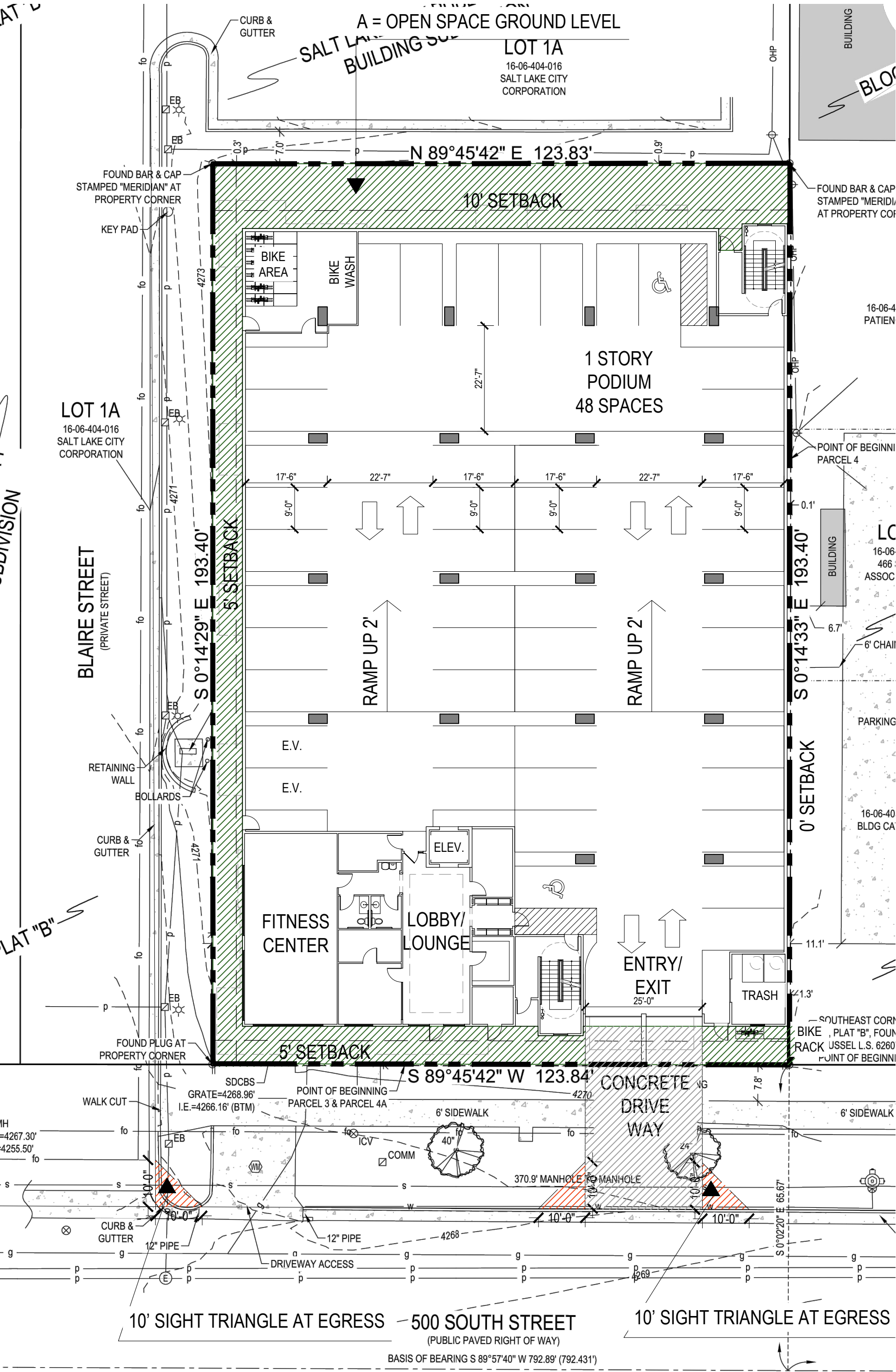




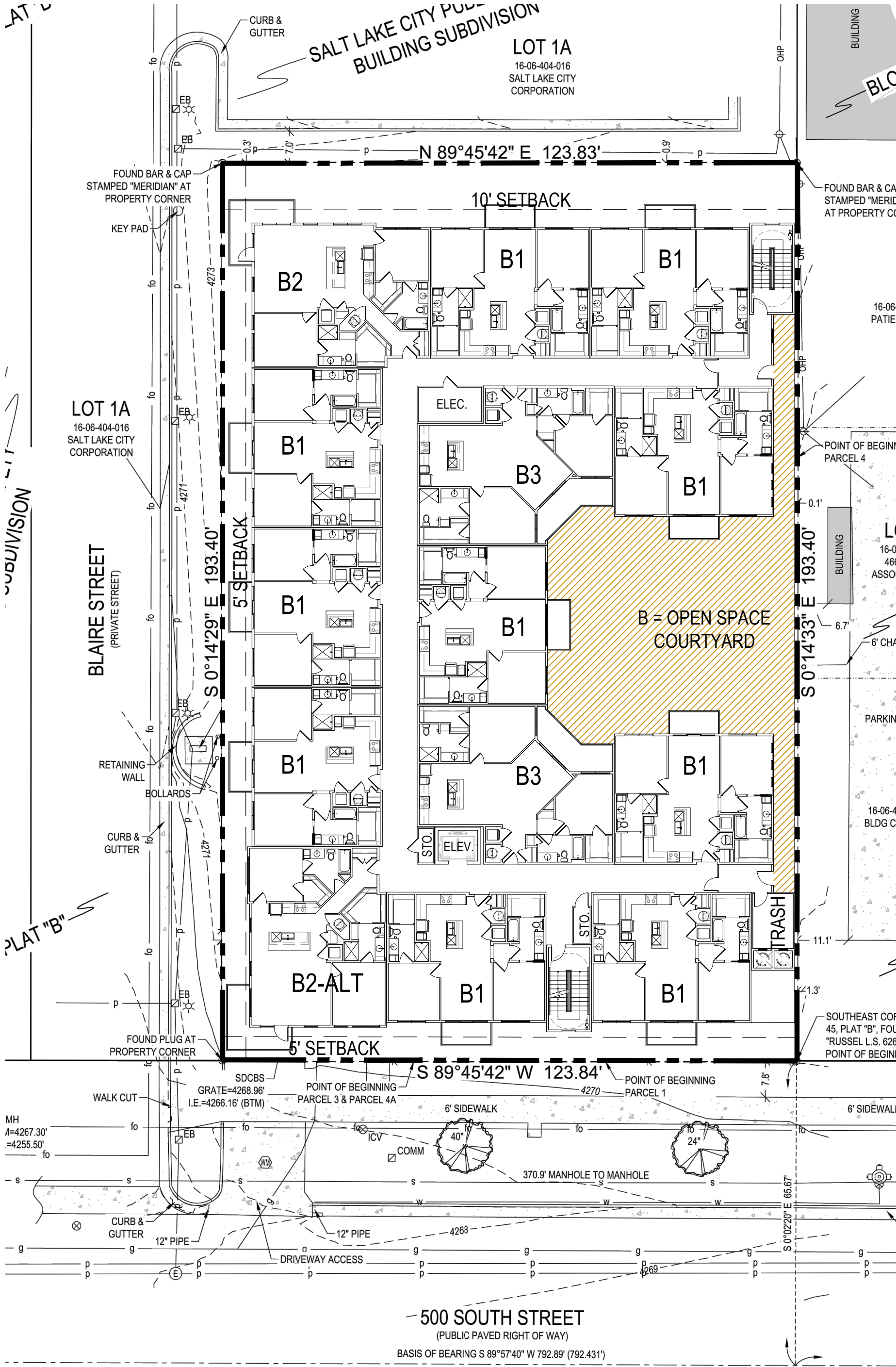
- PARKING CALCULATION:
- Minimum parking requirement (per District Specific Table in 21A.44.030.G.2) = 54 units x 1 parking space/unit x .5 (reduction to mass transit 21A.44.040.B.7) = 27 parking spaces
 - Minimum ADA stalls = 2 parking stalls
 - Minimum EV shown = 48 stalls (provided) x 1/25 = 1.92 rounded =2 EV stalls
 - Minimum bike parking (per 21A.44.050.B.3) = 48 parking stalls (provided) x .05 = 2.4 rounded = 2

20% OPEN SPACE CALCULATION:
Site plan = 23.767 s.f.
A = 3.575 S.F. B = 2.670 S.F.
A+B = 6.245 S.F.
A+B / site plan = 26%
26% OPEN SPACE

UNIT COUNT:
Total N° of Units = 54
N° of ANSI Units = 2 (4%)

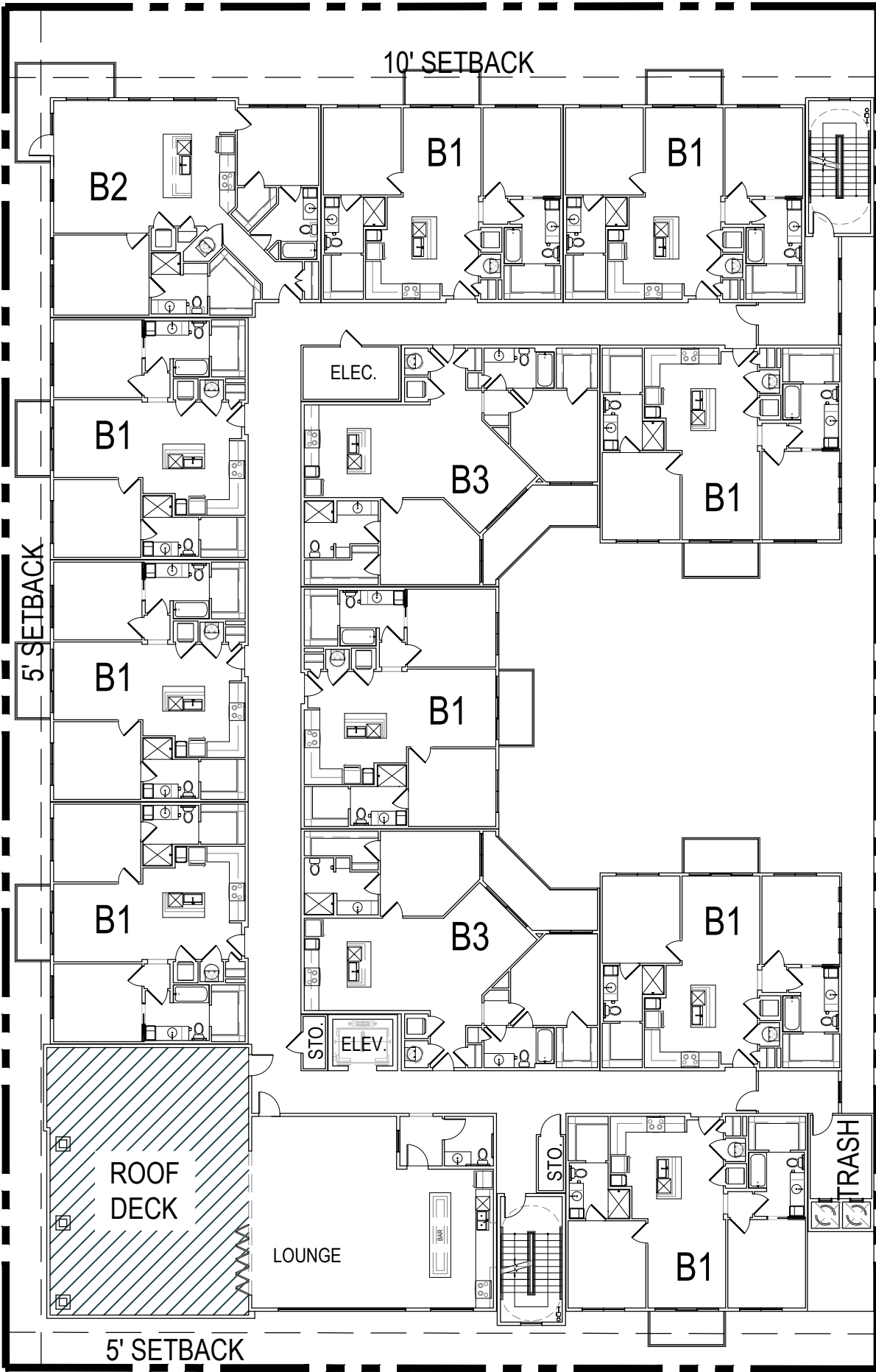


1ST. LEVEL



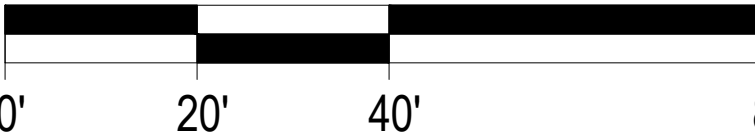
2ND. TO 4TH. LEVEL

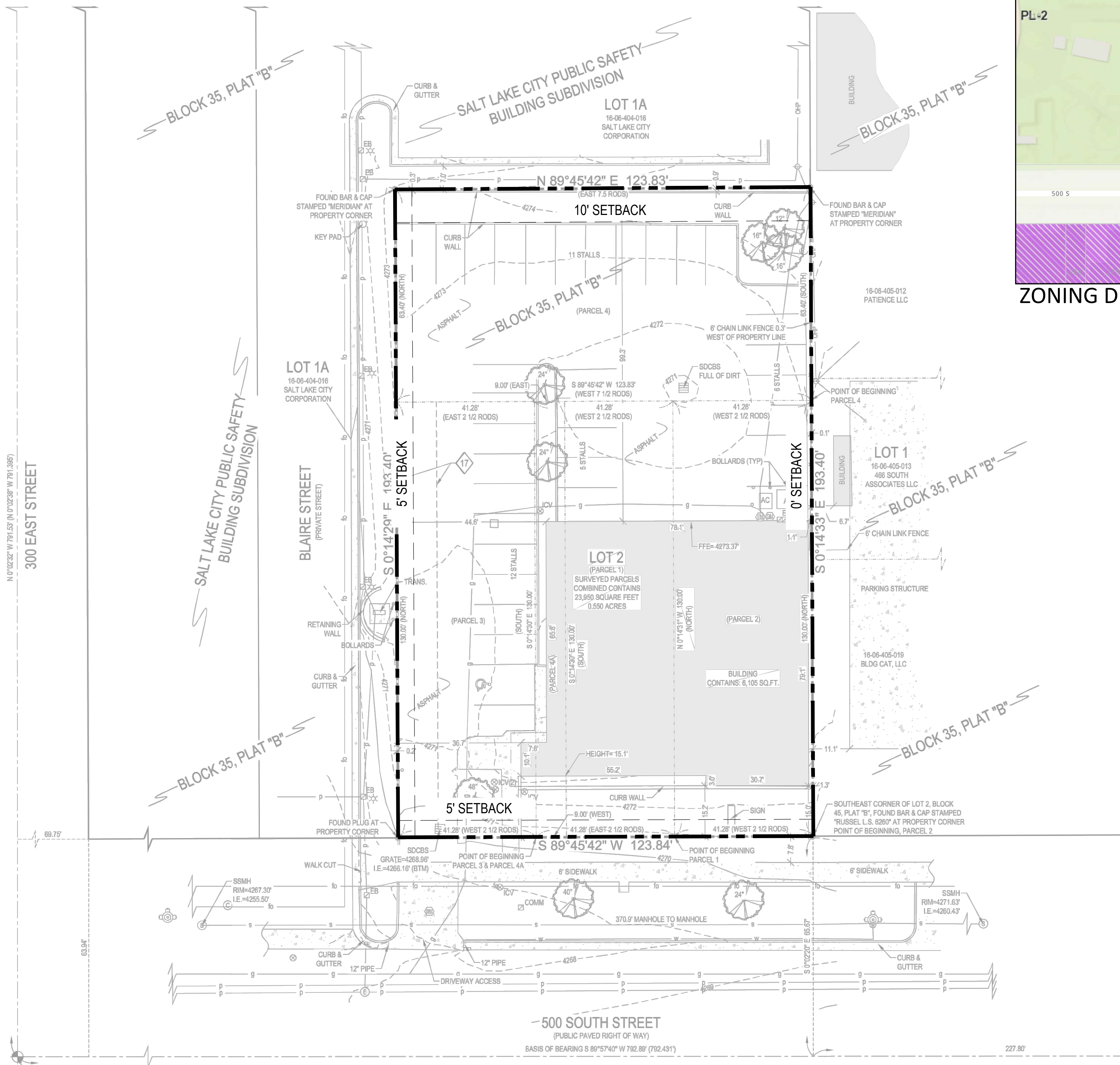
FRESHMAN SITE						COWBOY PARTNERS	2020400
UNIT TABULATION - 4 STORY RESIDENTIAL WITH 1 LEVEL PODIUM PARKING							10/7/21
UNIT NAME	UNIT TYPE	NET AREA(SF)	UNIT COUNT	PERCENTAGE	TOTAL AREA	% BREAKDOWN	
B1	2br/2ba	954	39	72%	37,206	100%	
B2	2br/2ba	1,158	4	7%	4,632		
B2-ALT	2br/2ba	1,128	3	6%	3,384		
B3	2br/2ba	1,117	8	15%	8,936		
TOTALS			54	100%	54,158		
UNIT AVERAGE NET SF :						1,003	
* NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE A/C SPACE. IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIO/BALCONY STORAGE.							
PROJECT DATA							
UNIT AVERAGE NET SF :						1,003 S.F.	
ACREAGE:						0.6 GROSS ACRES	
DENSITY:						90 UNITS/ACRE	
PARKING:							
REQUIRED						27 SPACES	
PROVIDED PODIUM SPACES						48 SPACES	
						0.9 SPACES/UNIT	



5TH. LEVEL

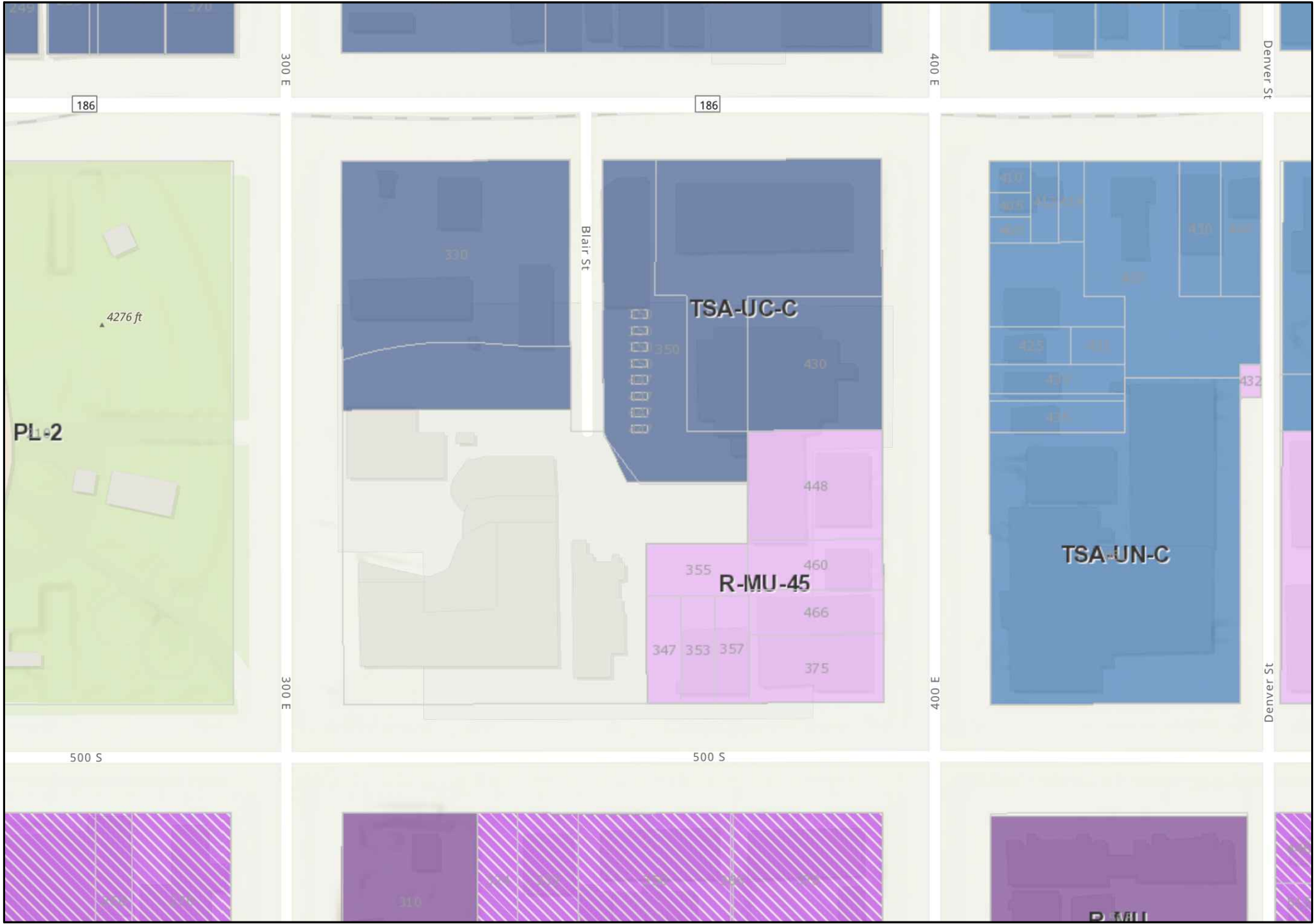
SCALE: 1" = 20' - 0" (24"x36" SHEET)

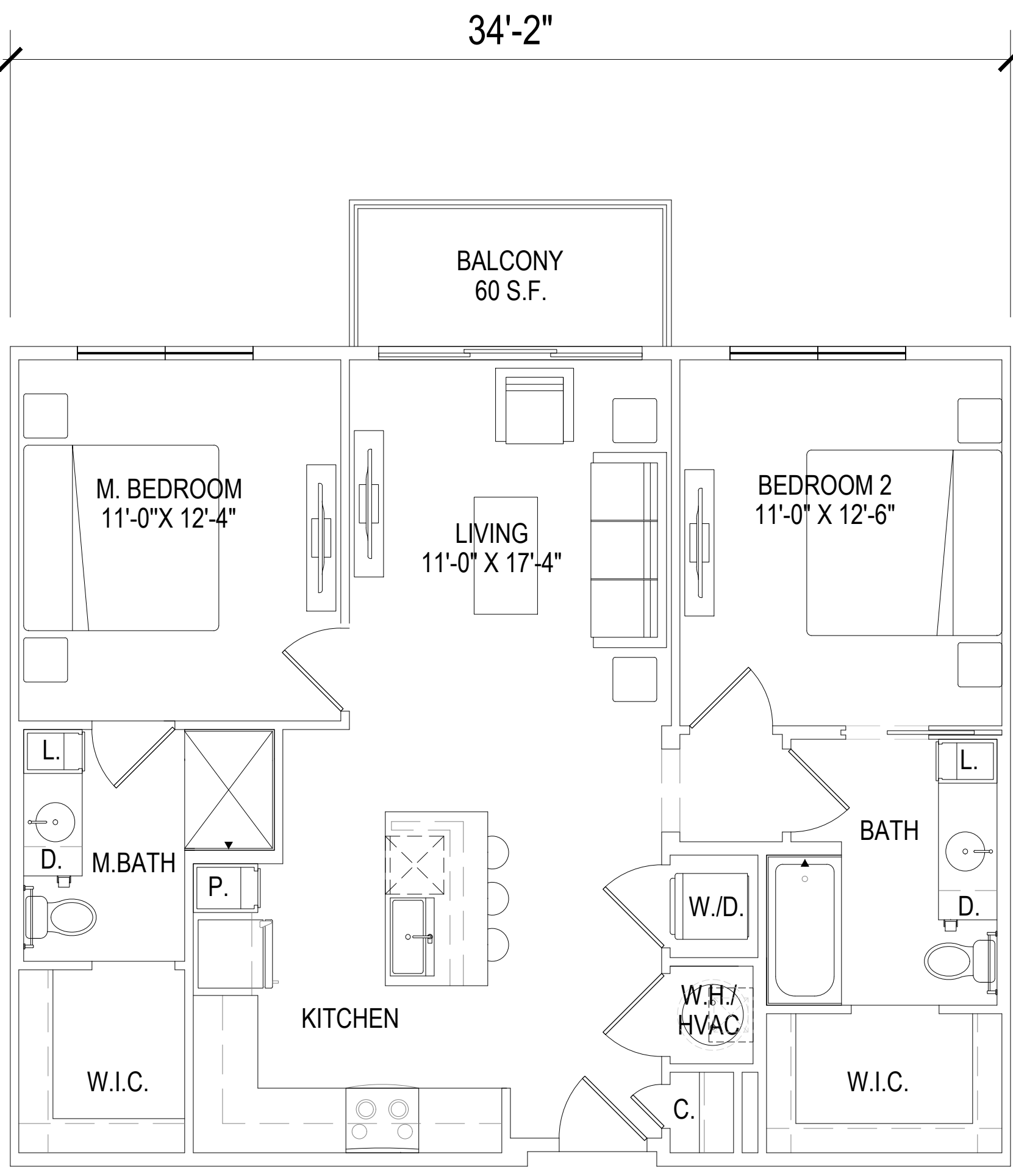




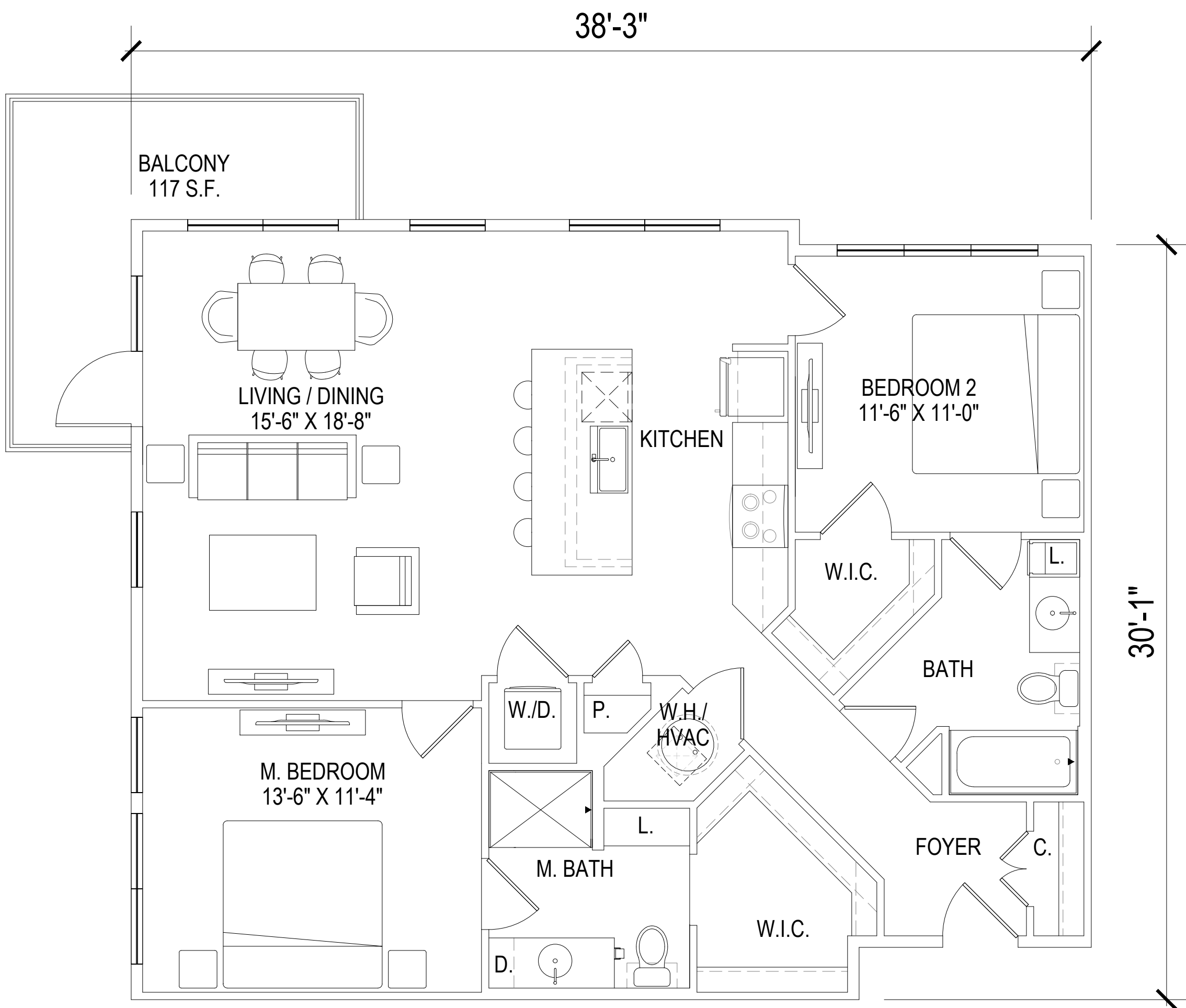
SITE PLAN DATA

NOTE: Overhang of balconies or roof features from 2nd floor and up may protrude into setback on north, south, and west for up to 4'.

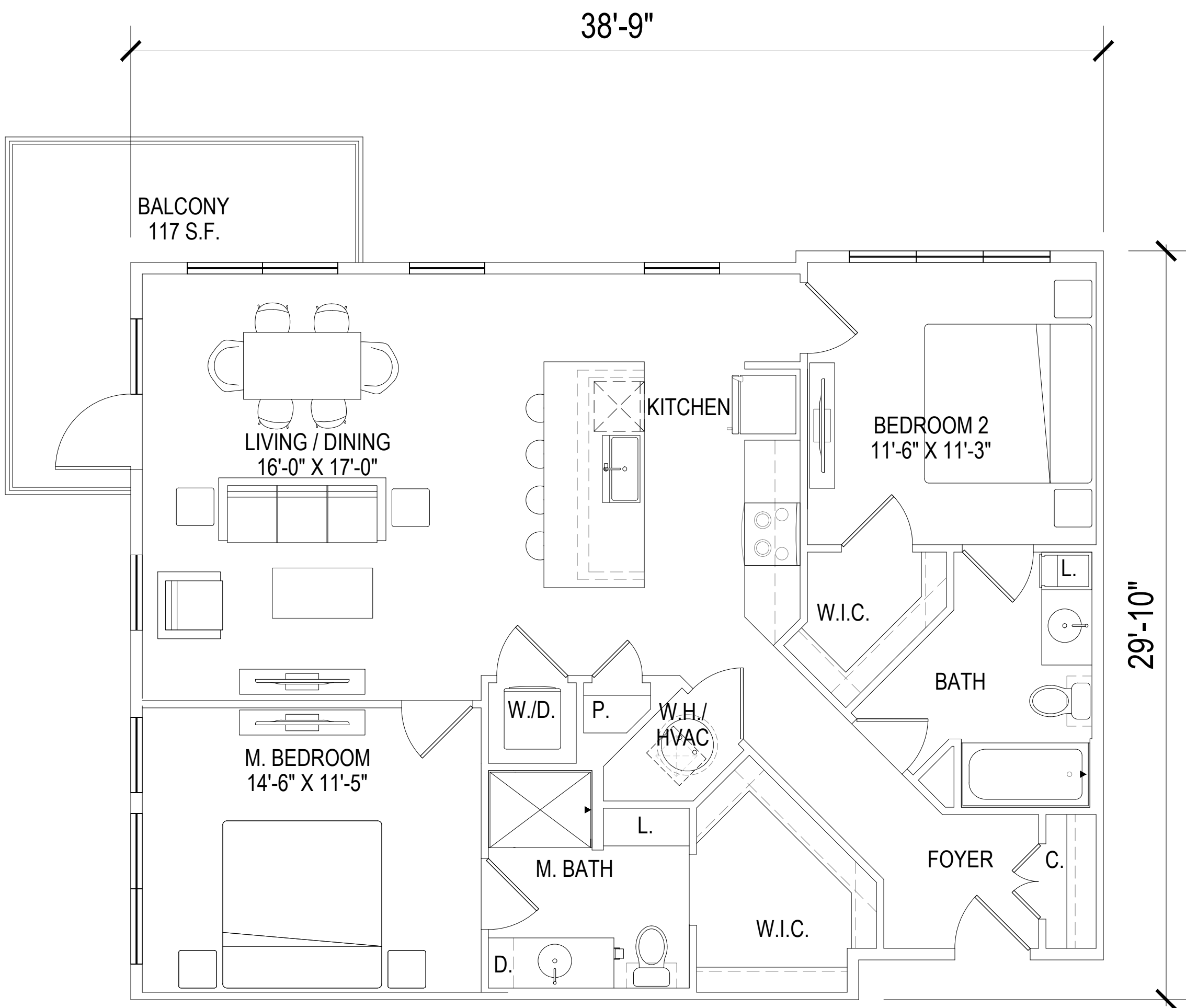




UNIT B1
NET - 954 SQ. FT.



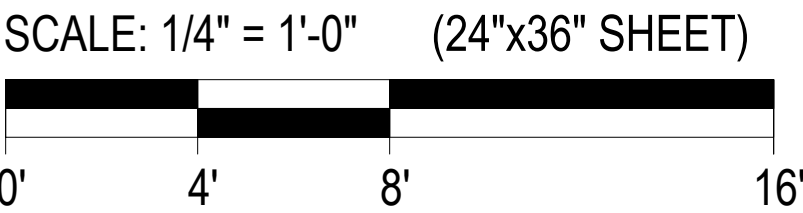
UNIT B2
NET - 1158 SQ. FT.

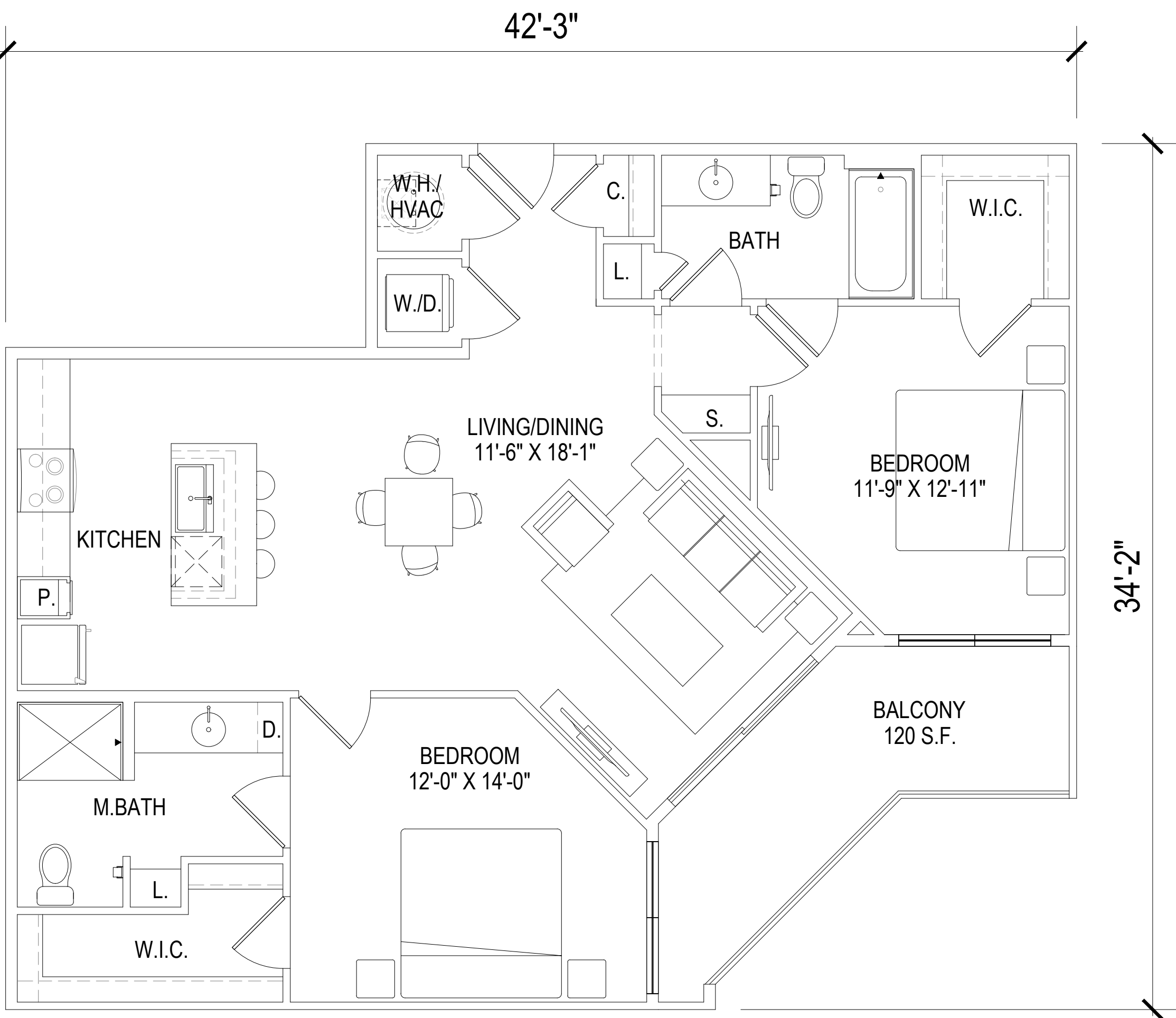


UNIT B2-ALT
NET - 1128 SQ. FT.

CLOSET DIMENSIONS:
HVAC & WATER HEATER = 3'-4" X 3'-4"
WASHER & DRYER = 3'-6" X 3'-0"

BEDS:
ALL BEDS SHOWN ARE KING SIZE

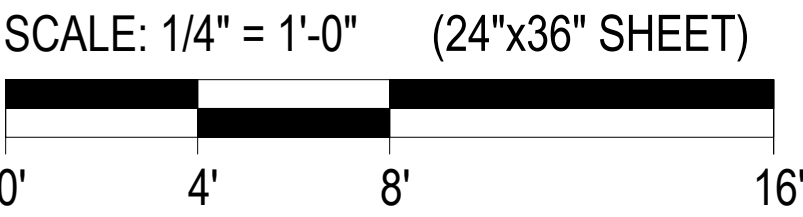


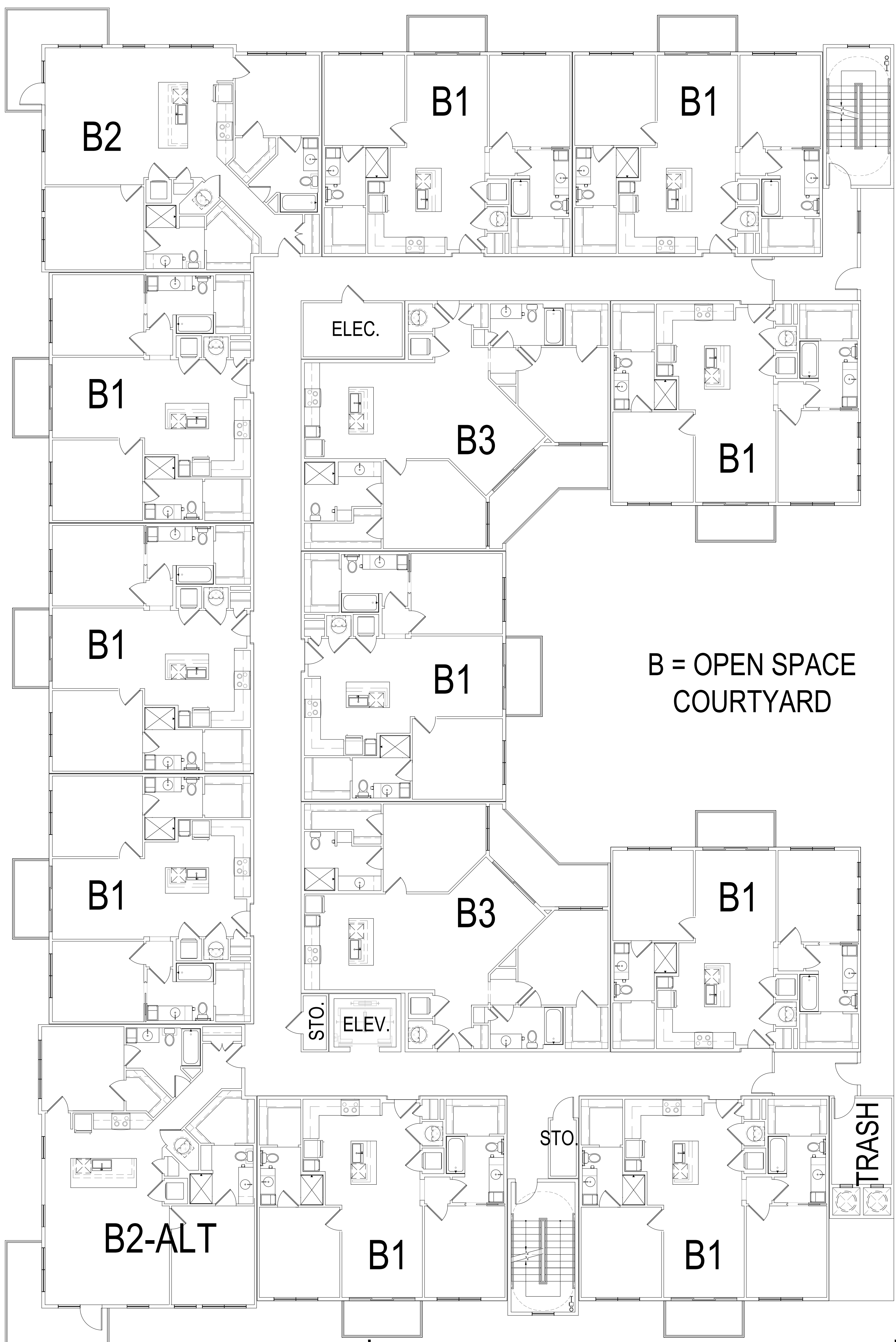


UNIT B3
NET - 1117 SQ. FT.

CLOSET DIMENSIONS:
HVAC & WATER HEATER = 3'-4" X 3'-4"
WASHER & DRYER = 3'-6" X 3'-0"

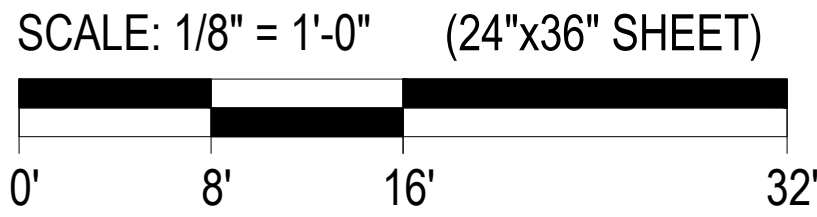
BEDS:
ALL BEDS SHOWN ARE KING SIZE

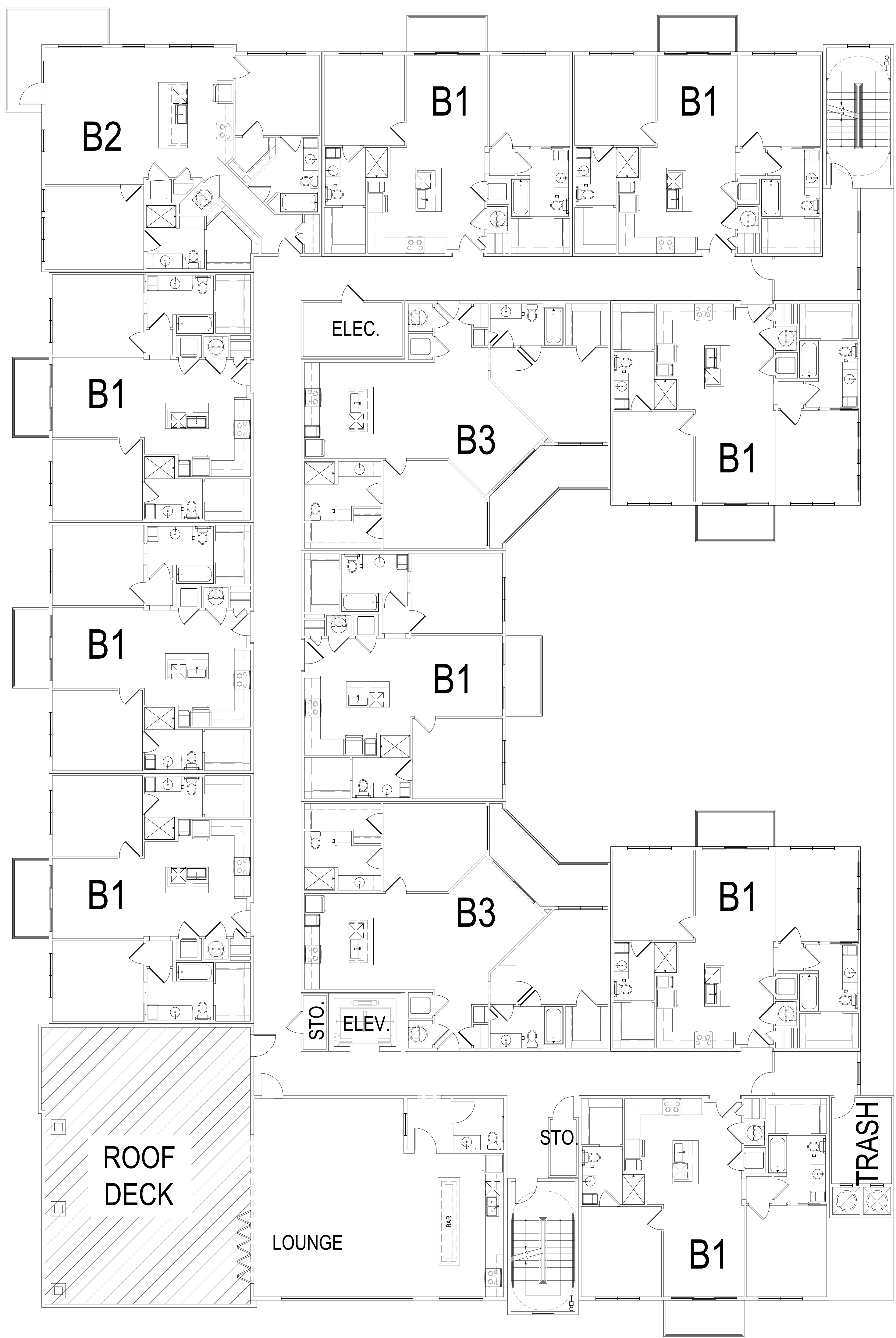




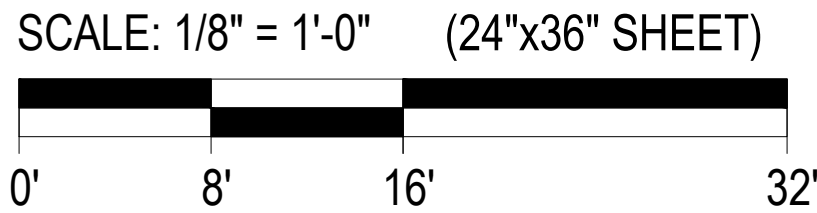
NOTE:

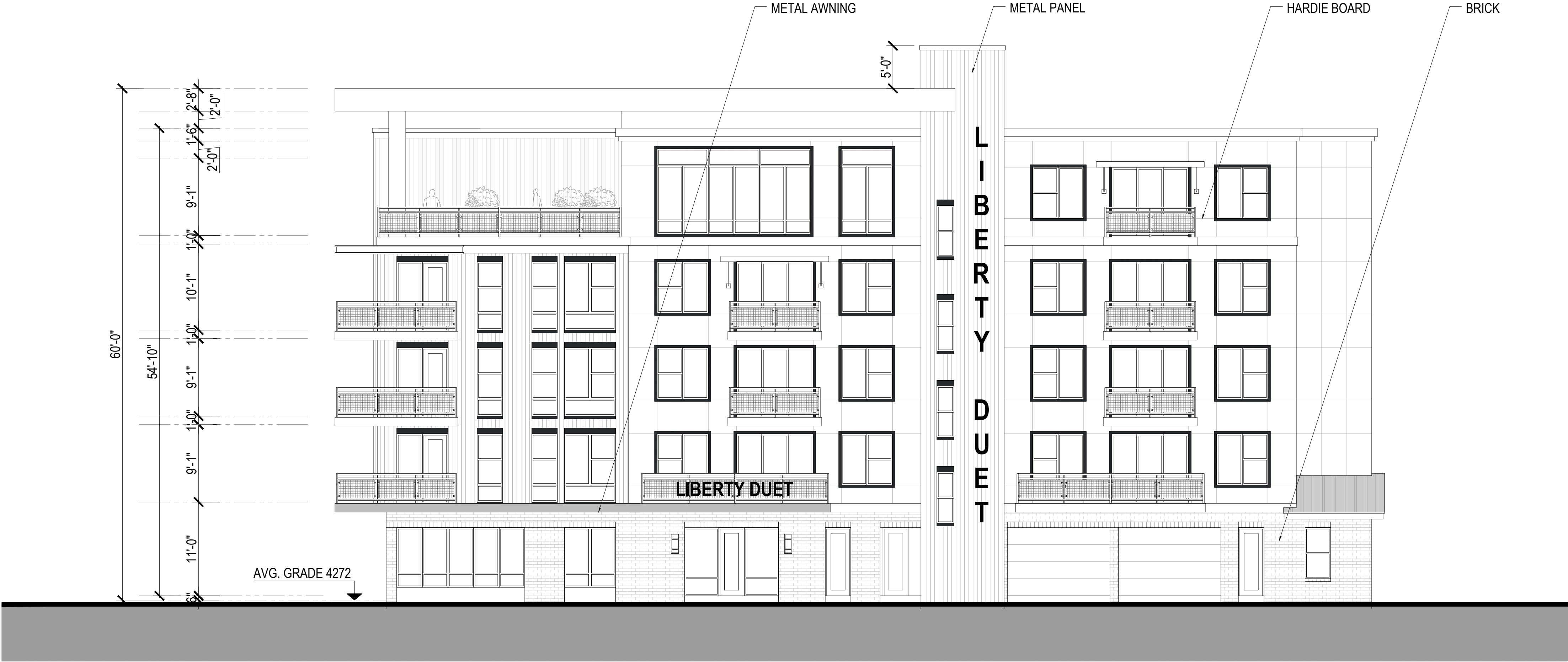
- Zoning Classification R-MU-45





NOTE:
• Zoning Classification R-MU-45

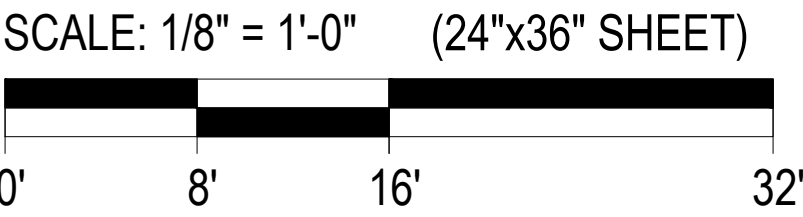


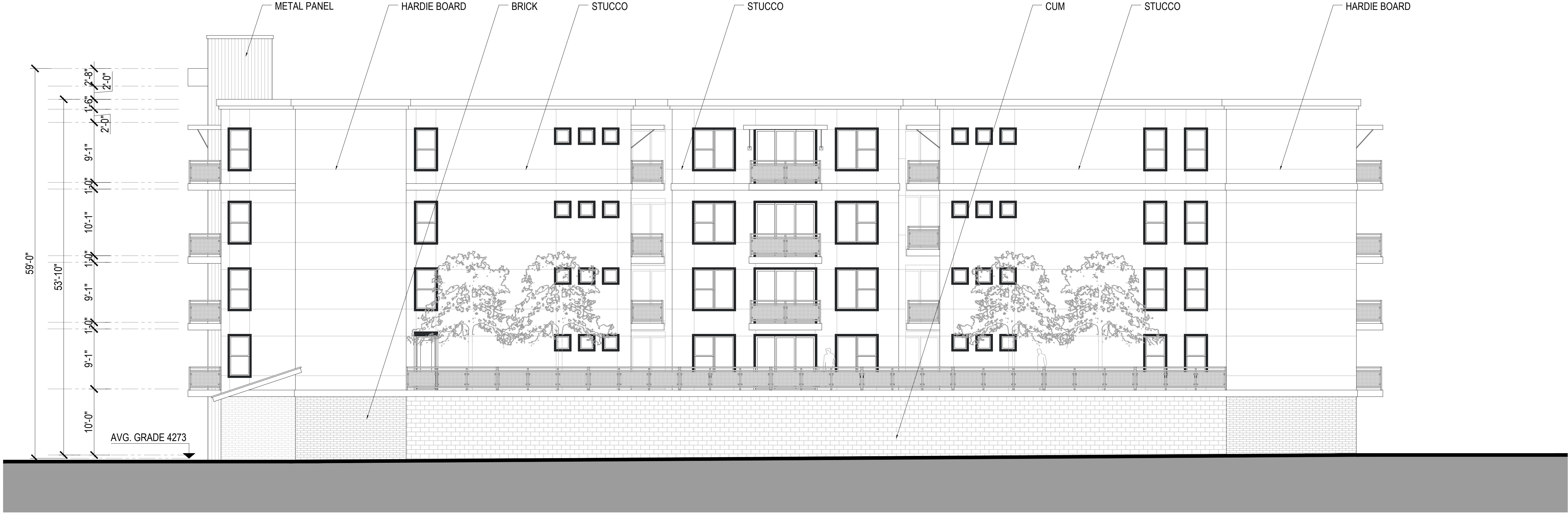


500 SOUTH STREET ELEVATION

TRANSPARENCY CALCULATION:
TOTAL 1ST. FLOOR WALL = 1,251 S.F.
TRANSPARENCY = 322 S.F. (26%)

NOTE:
ENTRANCE INTO PARKING GARAGE WILL BE CONCRETE





EAST ELEVATION

SCALE: 1/8" = 1'-0" (24"x36" SHEET)



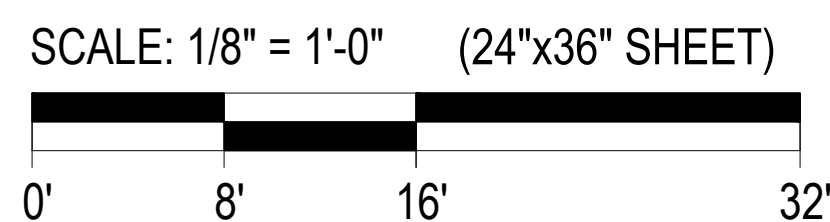
BLAIRE STREET ELEVATION

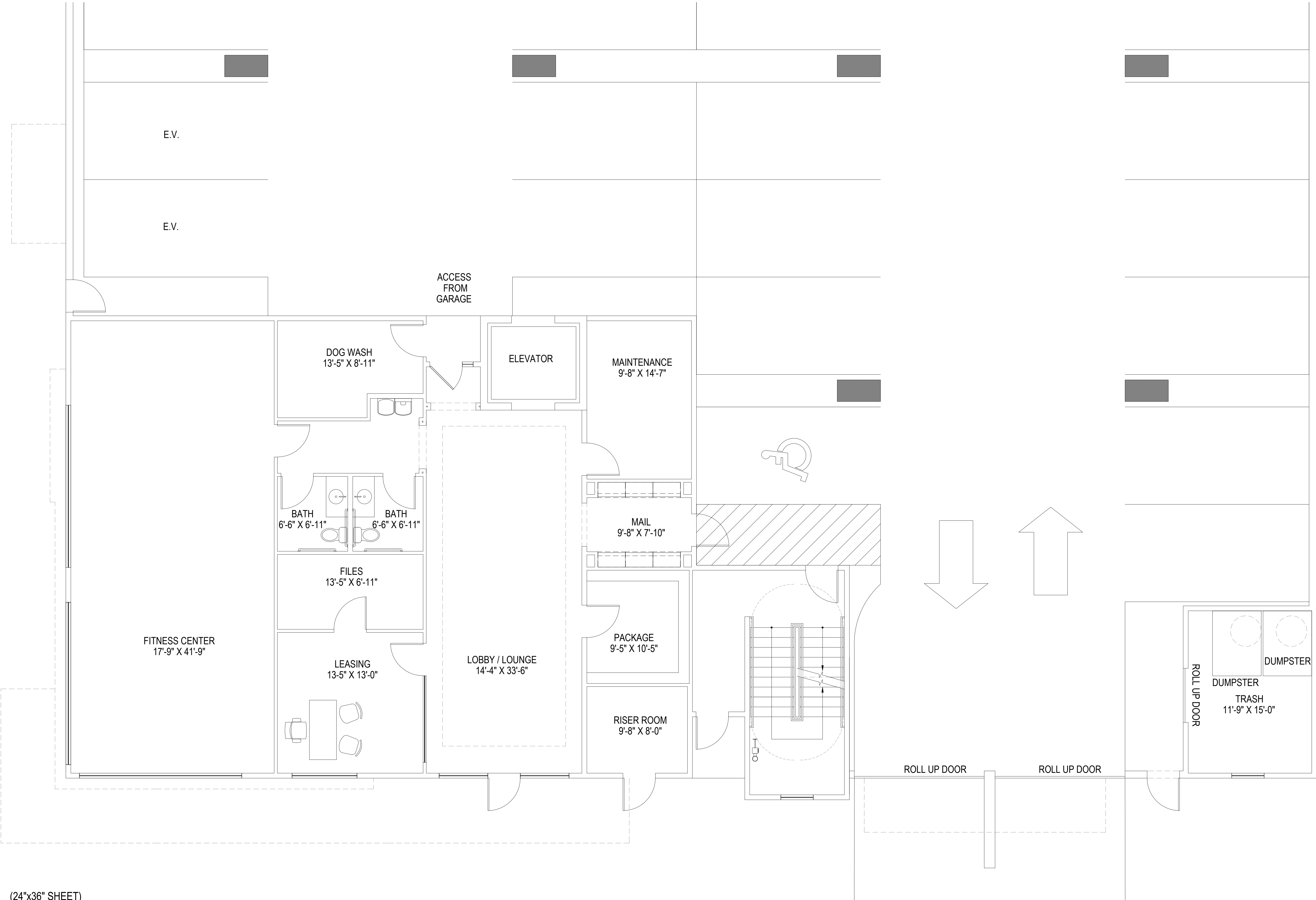
TOTAL 1ST. FLOOR WALL = 1,606 S.F.

TRANSPARENCY = 306 S.F. (19%)



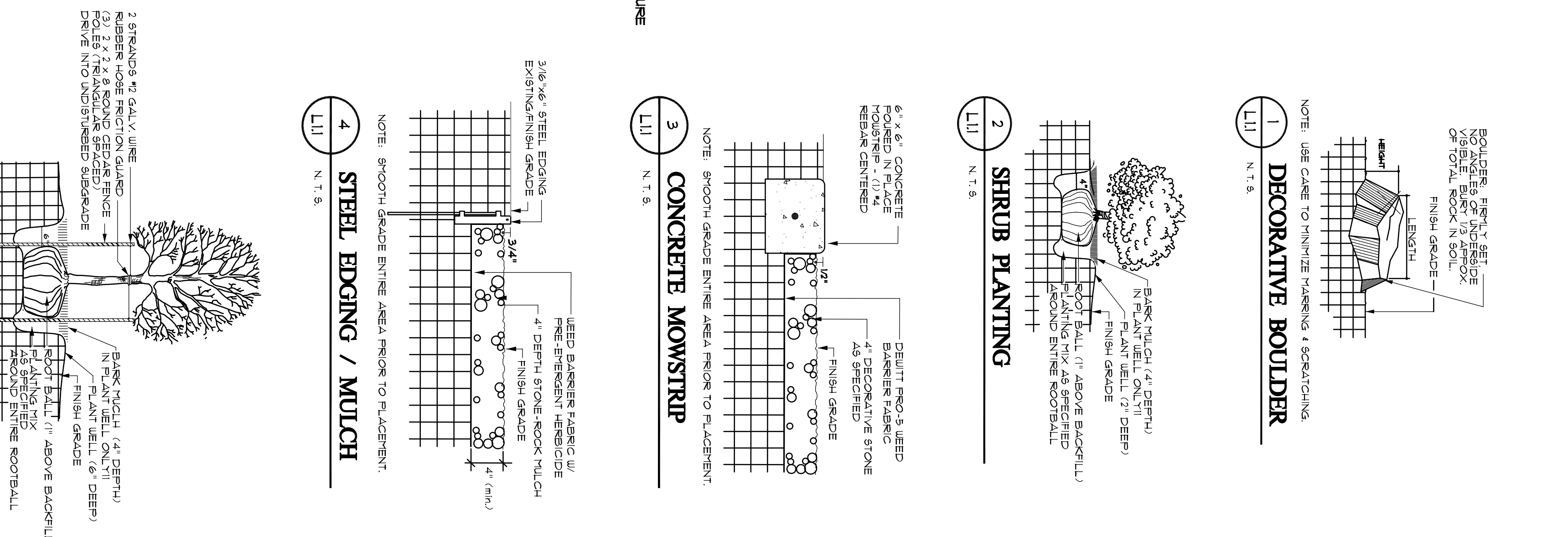
REAR ELEVATION





SCALE: 1/4" = 1'-0" (24"x36" SHEET)

0' 4' 8' 16'



LANDSCAPE AREA CALCULATIONS			
TOTAL ON-SITE AREA	23,950 SF.	55 ACRES	(100%)
TOTAL ON-SITE LANDSCAPE AREA	3,950 SF.		(16.5%)
TREE AREA	0 SF.		(0%)
PLANTING AREA	460 SF.		(11.1%)
DOG RUN	1600 SF.		(40.5%)
BIKE PATH	1320 SF.		(33.4%)
ROCK AREA	260 SF.		(6.5%)

Diagram illustrating the correct planting technique for a shrub:

- ROOT BALL** (7" ABOVE BACKFILL)
- PLANTING MIX** AS SPECIFIED AROUND INSIDE ROOTBALL
- FINISH GRADE**
- BACKFILL** (4" DEPTH)
- PLANT HILL** (2" DEEP)

NOTE: SMOOTH GRADE ENTIRE AREA PRIOR TO PLACEMENT.

4" STEEL EDGING
FINISH GRADE
34"
4" DEPTH STONE ROCK MULCH
FINISH GRADE
4"
4"

4 STEEL EDGING / MULCH
N.T.S.

The diagram illustrates a tree planting pit with the following components and measurements:

- Labels:**
 - GAZY WIRE
 - PROTECTOR GUARD
 - ROUND CORNER PLATE
 - DISPERSED SUBGRADE
 - BACK TUCK (4" DEPTH)
 - PLANT WELL ONLY
 - PLANT WELL (6" DEEP)
 - FINISH GRADE
 - ROOT BALL (1" ABOVE BACKFILL)
 - PLANTING MIX
 - 48" DEEP
 - 36" DIA. STIRRE ROOT BALL
- Measurements:**
 - 48" DEEP
 - 36" DIA. STIRRE ROOT BALL

PLANT LIST (SHRUBS)	
Quan.	Symbol Botanical Name
54	⊕ <i>Buxus microphylla</i> "Winter Gem"

PLANT LIST (ORNAMENTAL GRASSES)						
Quan.	Symcol	Botanical Name	Common Name	Size	Remarks	Hydrozone

21		Blue Cat Grass	5 Gallon	12-15" Height
9		Dwarf Fountain Grass	5 Gallon	12"-15" Height

PLANTING NOTES

1. All lawn areas shall receive a 6 inch depth of topsoil, all shrub planting areas a 12 inch depth of topsoil. If topsoil is not available at the site, it must be furnished from an approved local source, and be of a sandy loam consistency.
2. Prior to placement of topsoil, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches by the use of mechanical means, in order to create a transition layer between existing and new soils.
3. All plant material hoses shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site.
4. Plant backfill mixture shall be composed of 3 parts topsoil to 1 part minus additive, and shall be rotely mixed on-site prior to installation.
5. Plant fertilizer shall be "Agriform brand 21 gram topsoil, used as per manufacturer's recommendations.
6. All trees shall receive an "Agor Guard" trunk protector, or equal, and have a 3/8 inch diameter black mulch ring. All trees shall be staked for wind protection, unless otherwise indicated.
1. Upon completion of planting operations, all shrub pits and tree wells shall receive a four inch depth of fine ground bark mulch mixture as a cover. The overall product beds themselves shall receive a 4" depth of decorative stone surfacing over DeWitt Pro-5 weed barrier fabric. Stone products to be used shall be approved by the Owner.
2. In decorative stone beds, cut the fabric from around the water well of each plant, then apply fine ground bark inside water well.
3. The remainder of the planter bed shall receive the depth of decorative stone.
3. Landscape maintenance shall be required for a period of 30 days minimum following the date of project acceptance, and shall include mowing, weeding, pruning and one herbicide and plant fertilizer application.
4. The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of final completion and acceptance.

1. All bidding landscape contractors shall have a minimum of 5 years experience in the installation of commercial landscapes and irrigation projects and be able to supply the necessary staff to perform all tasks associated with these drawings, and in a professional and timely manner.
2. The landscape contractor, at all times, shall have personnel on-site experienced in being able to interpret the drawings correctly and accurately measure the design layout using the specified scale.
3. The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning work. The contractor shall coordinate all work with the project manager and all other contractors working on the site.
4. The finish grade of all planting areas shall be smooth, even and consistent, free of any rumps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 1/2" below all walks, curbs, etc.
5. The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
6. All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications.
7. The contractor shall plant all plants per the planting details, stakes/guy as shown. The top of the rootballs shall be planted flush with the finish grade.























SUB-GRADE REQUIREMENTS

1. **LAN AREA:** Eight (8) inches below finish grade. This will allow for the installation of a 6 inch depth of import topsoil along with the seeding material, leaving it slightly below finish grade.
2. **SUBLE AREAS:** Sixteen (16) inches below finish grade. This will allow for the installation of a 12 inch depth of import topsoil, along with the seeding material, leaving it slightly below finish grade and concrete areas.
3. **ALONG WITH A FOUR INCH DEPTH OF BARK MULCH OR DECORATIVE STONE MULCH,** leaving it slightly below finish grade and concrete areas.
4. **COORDINATION:** The contractor, early on in the construction process, shall meet on-site with the site grading contractor to discuss all sub-grade requirements, prior to the installation of topsoil and other required materials, to insure that all sub-grade elevations are correct and provided for, prior to the landscape contractor beginning work.

SUBMITTAL REQUIREMENTS

1. The contractor shall provide to the Owner/Engineer product samples of all landscape materials such as boulders, decorative stones, bark mulches, weed barrier fabric, soil amendments and import topsoil in order to obtain approval to be used on the project, and prior to any shipment to the site. Failure to provide this in a timely manner will in no way affect the construction schedule and time for project completion.
2. All plant materials shall be secured for the project a minimum of 60 days prior to shipment to the site. The contractor shall provide to the Owner/Engineer written confirmation of this a minimum of 30 days prior to planting of the project.

LEGEND	
Symbol	Description - Remarks

Back Area / Decorative Stone to Be 3' High, Size /
 Location of dog / 4' Depth Over Used Barrier Fabric.
 Dog Run Area / Bark And/or Small Paws Gravel to Be
 Installed to 4' 4' Depth Over Used Barrier Fabric.
 New Shrub Area / Decorative Stone to Be 1 1/2' Min.
 Size - Calico / 4' Depth Over Used Barrier Fabric.
 rldesigncomcast.net
 Email:

Scale : 1/16" = 1'-0"
 16" 0 16"

RDL Design Company, Inc.
1020 East Yale Avenue
Salt Lake City, Utah 84105

Phone : 801-647-3114
Email : rdldesign@comcast.net

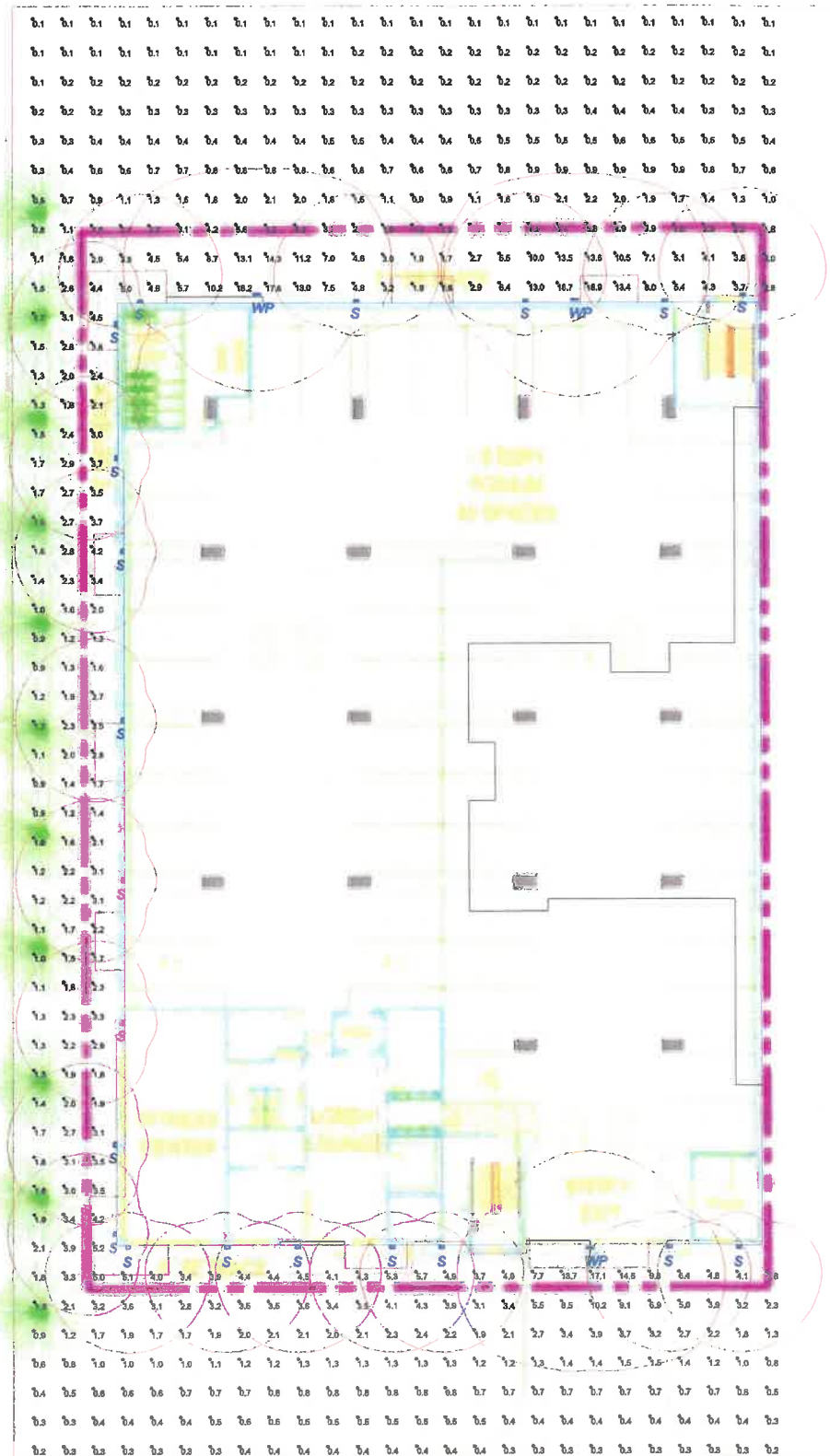
STAN



Liberty Duet

For Cowboy Partners

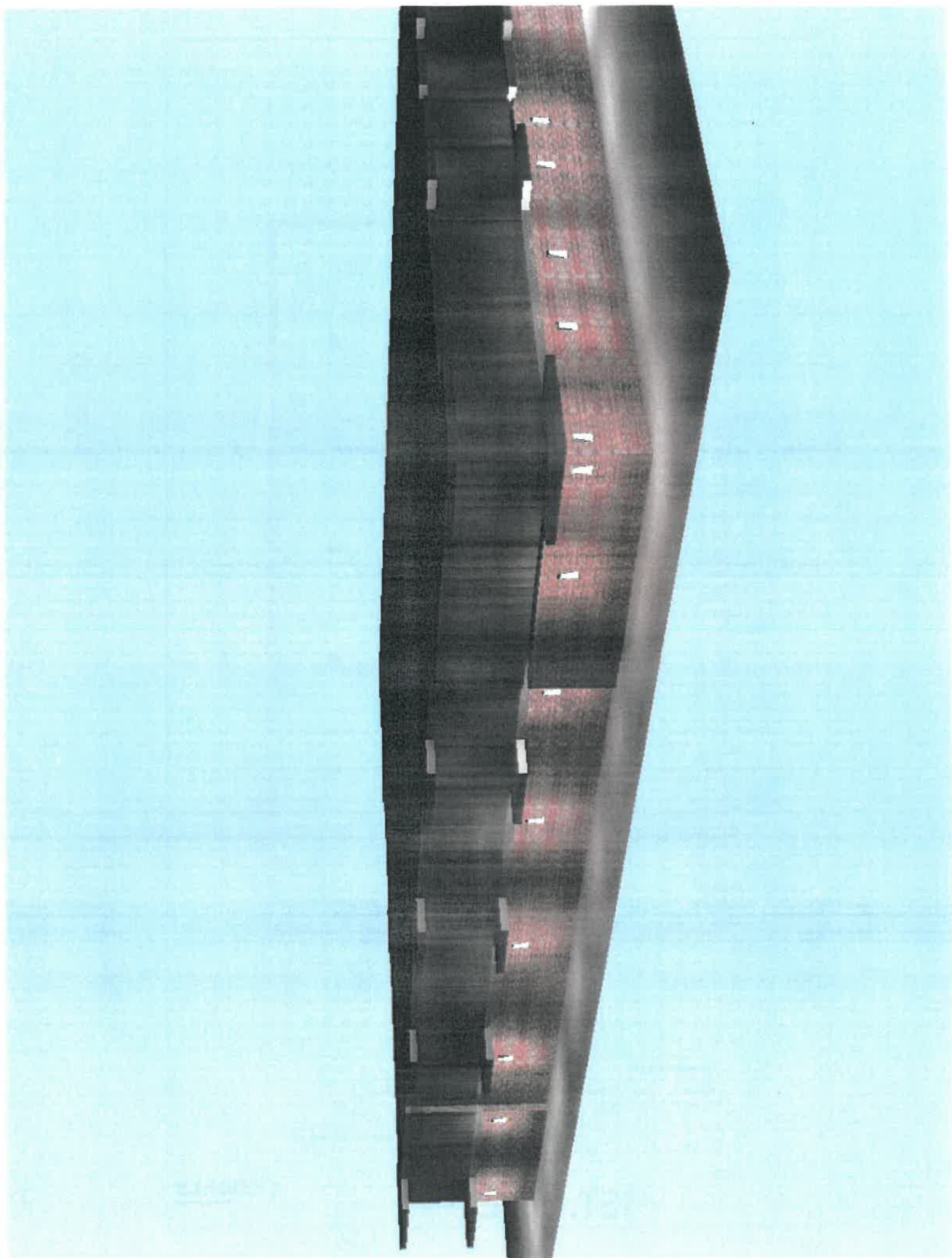
353 East 500 South Salt Lake City, Utah

PROJECT:	
DRAWN BY:	
CHECK BY:	RDL
ISSUE DATE:	01-21-22
REVISIONS:	X-X -X-X -XX
SHEET TITLE	
Landscape Planting Plan	
SHEET NUMBER	



Luminaire Schedule				
Symbol	Qty	Label	Description	[MANUFAC]
	3	WP	WPX2 LED 40K Mvolt	Lithonia Lighting
	20	S	MENW-650-LED-36W	LIGHTWAY INDUSTRIES, INC

1ST. LEVEL





WPX LED Wall Packs



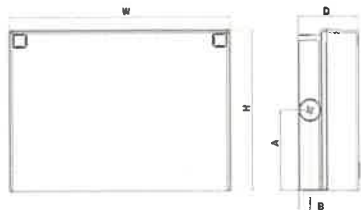
Catalog Number **WPX2 LED 40K MVOLT DDBXD**

Notes **LIBERTY DUET**

Type **WP**

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Specifications



Front View

Side View

Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8 kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7 kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0 kg)

Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

Series		Color Temperature	Voltage	Options	Finish
WPX1 LED P1	1,550 Lumens, 11W ¹	30K 3000K	MVOLT 120V - 277V	(blank) None	DDBXD Dark bronze
WPX1 LED P2	2,900 Lumens, 24W	40K 4000K	347 347V ³	E4WH Emergency battery backup, CEC compliant (4W, 0°C min) ²	DWHXD White
WPX2 LED	6,000 Lumens, 47W	50K 5000K		E14WC Emergency battery backup, CEC compliant (14W, -20°C min) ²	DBLXD Black
WPX3 LED	9,200 Lumens, 69W			PE Photocell ³	Note : For other options, consult factory.

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

NOTES

- All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection.
Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD
- Battery pack options only available on WPX1 and WPX2.
- Battery pack options not available with 347V and PE options.

FEATURES & SPECIFICATIONS

INTENDED USE

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

CONSTRUCTION

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection). All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



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WPX LED
Rev. 08/31/21

COMMERCIAL OUTDOOR

Performance Data

Electrical Load

Luminaire	Input Power (W)	120V	208V	240V	277V	347V
WPX1 LED P1	11W	0.09	0.05	0.05	0.04	0.03
WPX1 LED P2	24W	0.20	0.12	0.10	0.09	0.07
WPX2	47W	0.39	0.23	0.20	0.17	0.14
WPX3	69W	0.58	0.33	0.29	0.25	0.20

Projected LED Lumen Maintenance

Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.94	>0.92	>0.90

Lumen Output

Luminaire	Color Temperature	Lumen Output
WPX1 LED P1	3000K	1,537
	4000K	1,568
	5000K	1,602
WPX1 LED P2	3000K	2,748
	4000K	2,912
	5000K	2,954
WPX2	3000K	5,719
	4000K	5,896
	5000K	6,201
WPX3	3000K	8,984
	4000K	9,269
	5000K	9,393

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

HID Replacement Guide

Luminaire	Equivalent HID Lamp	WPX Input Power
WPX1 LED P1	100W	11W
WPX1 LED P2	150W	24W
WPX2	250W	47W
WPX3	400W	69W

Emergency Egress Battery Packs

The emergency battery backup is integral to the luminaire — no external housing or back box is required. The emergency battery will power the luminaire for a minimum duration of 90 minutes and deliver minimum initial output of 550 lumens. Both battery pack options are CEC compliant.

Battery Type	Minimum Temperature Rating	Power (Watts)	Controls Option	Ordering Example
Standard	0°C	4W	E4WH	WPX2 LED 40K MVOLT E4WH DDBXD
Cold Weather	-20°C	14W	E14WC	WPX2 LED 40K MVOLT E14WC DDBXD

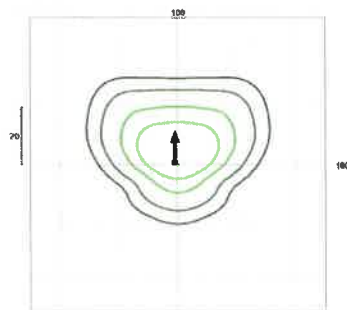
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting [WPX LED](http://www.lithonia.com) homepage. Tested in accordance with IESNA LM-79 and LM-80 standards

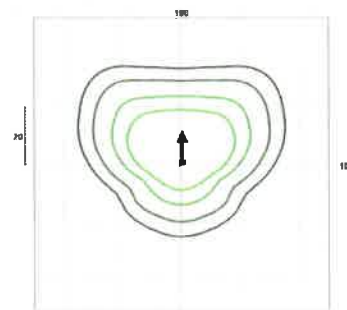
LEGEND

0.1 fc
0.2 fc
0.5 fc
1.0 fc

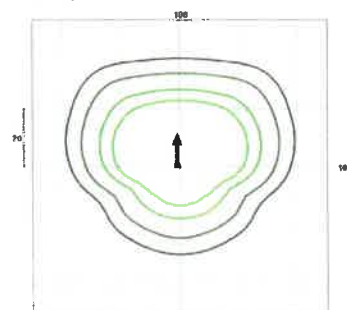
WPX1 LED P1



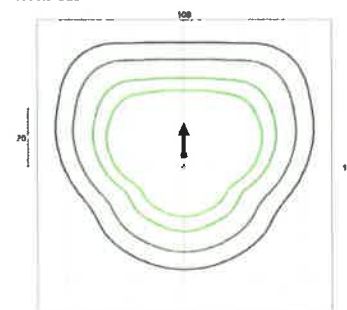
WPX1 LED P2



WPX2 LED



WPX3 LED



Mounting Height = 12 Feet.

MENW-600-LED

Construction:

- Steel housing and chassis
- Diffuser is .10 extruded white acrylic

Light Source:

- LED
- Dimming to 10% **Included**

Notes:

- Integral mounting plate; keyhole slots
- Top and bottom white acrylic lens - standard
- Optional photocell (21) increases fixture depth 1 ½"
- Optional battery backup
- Optional lens cover (ALC) prevents up/down light
- ADA compliant
- UL and CUL listed **WET** location
- LED Components
 - Replaceable Module
 - CRI > 80
 - Universal 120/277 volt standard
 - 5-Year Warranty on LED Components

- You may also like the [MERW](#) or [MANW](#) Series

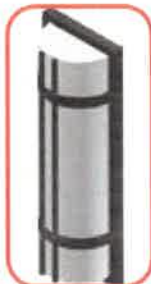
Type:	S
Job Name:	LIBERTY DUET



DESIGN OPTIONS



MENW-A



MENW-B



MENW-C



MENW-D



MENW-E



MENW-F

Fixture Overall Dimensions

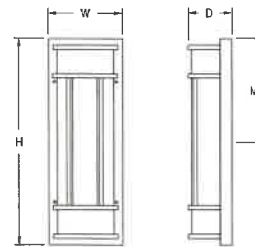
"H" - 12" - 16" - 18" - 26" - 38" - 50"

"W" - 6 ½"

"D" - 4"

"MC" - 6" - 8" - 9" - 13" - 19" - 25"

- See 900 or 1100 Series for other width options



28435 Industry Drive., Valencia, California 91355
 West Coast Sales: 800-325-4448 / 661-257-0286 • fax 800-323-2346 / 661-257-0201
 East Coast Sales: 866-350-0991 • fax 866-490-5754
www.lightwayind.com • sales@lightwayind.com



Revision: 04/23/2021

MENW-600-LED

ORDERING INFORMATION

Example: MENW-616-LED-O1C-3-D-Z1-WSA

MENW 650-LED O4C 4 F Z3 WSA

Size	LED	Watts	Source Lumens	Dimming	Energy Star	Kelvin	Cage	Finish	Diffuser	Options
						2 3000K	A	B1 Satin Black	WSA White Smooth Acrylic	DIM LED dimming driver (0 - 10v)
						4 4000K	B	B2 Text Black		DIMLD Line Voltage /TRIAC/ELV/120v
							D	Z1 Satin Bronze		Consult Factory
							C	Z3 Text Bronze		
							E	W1 Yolk White		21 Photocell - Specify voltage
						Optional	F	W2 Gloss White		01 - 120 volt
						3 3500K	X	W3 Text White		02 - 277 volt
								T4 Shimmer Gray		ALC Aluminum Lens Cover - See Notes
								M13 Anod Silver		ES Energy Star listed components
								T6 Pewter		90CRI Consult Factory
								W13 Pearl Beige		
								Optional (See Price List)		Optional Voltage
								M17 Brass Powder		-347V Input voltage to 347v
								P2 Brushed Alum		Battery Backup Options
								P9 Brushed Nickel		(Available with 0-10v only)
								M16 Antique Brass		BB10 10 Watts (1170lm) for 90-Minutes



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 East Coast Sales: 866-350-0991 • fax 866-490-5754
 www.lightwayind.com • sales@lightwayind.com



Revision: 04/23/2021

EXISTING EASEMENTS OF RECORD

The map illustrates the following easements and features:

- Streets:** 300 EAST STREET, 400 SOUTH STREET, 500 SOUTH STREET, BLAIR STREET (PRIVATE STREET), PEOPLE'S WAY (445 SOUTH) (PRIVATE STREET).
- Easements:**
 - GAS PIPELINE EASEMENT IN FAVOR OF MOUNTAIN FUEL SUPPLY COMPANY BOOK 1027 PAGE 514
 - RIGHT OF WAY EASEMENT BOOK 2012P PAGE 31 TO BE VACATED BY THE RECORDING OF THIS PLAT
 - COMMUNICATIONS & POWER EASEMENT BOOK 2012P PAGE 31 TO BE VACATED BY THE RECORDING OF THIS PLAT
 - POWER EASEMENT BOOK 2012P PAGE 31 TO BE VACATED BY THE RECORDING OF THIS PLAT
 - EXCLUSIVE PERPETUAL EASEMENT TO PARK VEHICLES BOOK 8189 PAGE 1690
 - PARKING SPACE EASEMENT BOOK 8189 PAGE 1690
 - POWER EASEMENT IN FAVOR OF UTAH POWER & LIGHT COMPANY BOOK 2417 PAGE 82
 - POWER EASEMENT IN FAVOR OF UTAH POWER & LIGHT COMPANY BOOK 2417 PAGE 83
 - INGRESS & EGRESS EASEMENT BOOK 2985 PAGE 286
 - UTILITY EASEMENT BOOK 2012P PAGE 31
 - RIGHT OF WAY EASEMENT BOOK 6260 PAGE 2625
 - RIGHT OF WAY EASEMENT BOOK 6334 PAGE 2796
 - COMMUNICATIONS & POWER EASEMENT BOOK 2012P PAGE 31 TO BE VACATED BY THE RECORDING OF THIS PLAT
 - RIGHT OF WAY EASEMENT BOOK 827 PAGE 78
 - COMMUNICATIONS & POWER EASEMENT BOOK 2012P PAGE 31
 - RIGHT OF WAY EASEMENT BOOK 827 PAGE 78
 - UTILITY EASEMENT BOOK 2012P PAGE 31
 - UTILITY EASEMENT BOOK 2012P PAGE 31
- Lots:** LOT 2A, LOT 3B, LOT 1A.
- Monuments:** STREET MONUMENT 400 SOUTH 300 EAST FOUND FLAT BRASS CAP (16063004), STREET MONUMENT 400 SOUTH 400 EAST FOUND FLAT BRASS CAP (16064004), STREET MONUMENT 500 SOUTH 300 EAST (NOT FOUND, CALCULATED PER SLC SURVEY PLAT "B"), STREET MONUMENT 500 SOUTH 400 EAST (FOUND BRASS CAP).

LEGEND	
[Solid Line]	SUBDIVISION BOUNDARY LINE
[Dashed Line]	SUBDIVISION LOT LINE
[Thin Solid Line]	ADJOINER LINE
[Thick Dashed Line]	MONUMENT LINE
[Thin Dashed Line]	EASEMENT LINE
[Box with 'N']	NEW EASEMENT AS NOTED
[Box with 'V']	TO BE VACATED BY THE RECORDING OF THIS PLAT
[Square with 'F']	FOUND STREET MONUMENT
[Square with 'X']	STREET MONUMENT NOT FOUND
[Circle]	UNLESS OTHERWISE NOTED, SET 5/8" BY 24" REBAR WITH ORANGE PLASTIC CAP. CAP IS STAMPED "MERIDIAN 801-569-1315"

SALT LAKE CITY PUBLIC SAFETY BUILDING SUBDIVISION AMENDED & EXTENDED (AMENDING & EXTENDING LOTS 1, 2, & 3) SITUATED IN THE SOUTH 1/2 OF SECTION 6, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, LOTS 2-7, BLOCK 35, PLAT 3, SALT LAKE CITY SURVEY PLAT "B", SALT LAKE CITY, SALT LAKE COUNTY, STATE OF UTAH	
PREPARED BY: MERIDIAN ENGINEERING, INC. 1628 WEST 11010 SOUTH, SUITE 102 SOUTH JORDAN, UTAH 84095 PHONE (801) 569-1315 FAX (801) 569-1319	NUMBER _____ ACCOUNT _____ SHEET <u>2</u> OF <u>2</u> SHEETS

1. (Gonzalez, 2018) 96766-9686 - S. D. Public Safety Building (Ref: 19259). Dec. 19259. Final Plat des Feb 25, 2019 - 10:35am

ATTACHMENT C – PROPERTY AND VICINITY PHOTOS



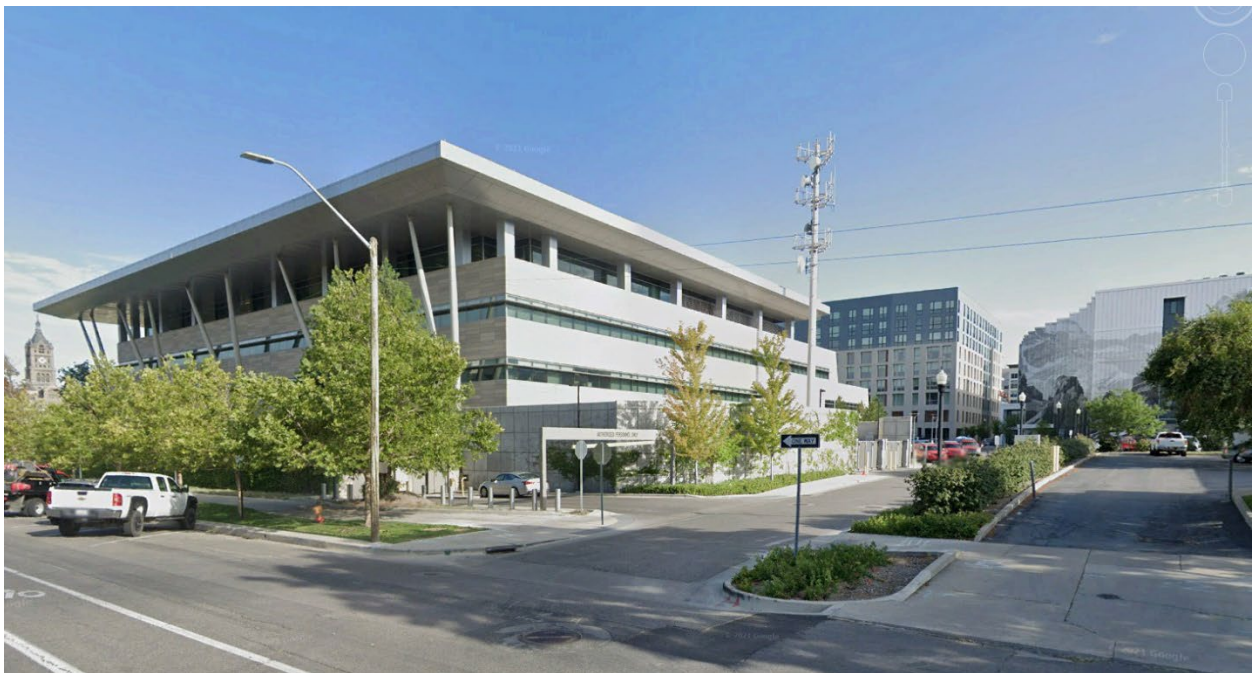
Birdseye view of property



View of Subject property looking north from 500 South



View of development to the east of subject property



View of Public Safety Building to the west of subject property



Development to the south (across 500 South)



Development to the southwest (across 500 South)

ATTACHMENT D –MASTER PLAN POLICIES

Growing SLC- Citywide Housing Plan (2018-2022)

Objective 1: Review and modify land-use and zoning regulations to reflect the affordability needs of a growing, pioneering city

- *Increasing flexibility around dimensional requirements and code definitions will reduce barriers to housing construction that are unnecessary for achieving city goals, such as neighborhood preservation.*
 - *1.1.2 Develop in-fill ordinances that promote a diverse housing stock, increase housing options, create redevelopment opportunities, and allow additional units within existing structures, while minimizing neighborhood impacts.*

Commentary: The planned development process is a zoning tool that provides flexibility in the zoning standards and a way to provide development that would normally not be allowed through strict application of the zoning code. The proposed development is utilizing this process to allow for a reduced rear yard setback and an additional 5' of building height that will allow for more efficient use of the property. In so doing, additional housing can be provided, helping to fulfill overall housing needs within the city. The proposed development also introduces 2-bedroom units in an area that is primarily has had studio and 1-bedroom units constructed in the past few years.

Plan Salt Lake:

Neighborhoods:

- Create a safe and convenient place for people to carry out their daily lives

Commentary: The proposed development provides an excellent opportunity for people to live and carry out their daily lives due to the proximity to services, businesses, transit, jobs, and recreation.

Growth:

- Locate new development in areas with existing infrastructure and amenities, such as transit and transportation corridors
- Promote infill and redevelopment of underutilized land
- Accommodate and promote an increase in the City's population

Commentary: The proposed development would replace a former single-story jewelry shop. The building proposes 54 additional housing units in the downtown area, which is within two-blocks of a TRAX station and includes existing infrastructure.

Housing:

- Direct new growth towards areas with existing infrastructure and services that have the potential to be people-oriented
- Promote high density residential in areas served by transit

Commentary: The site is well serviced by existing infrastructure. The property is less than two blocks from mass-transit and is well connected with sidewalks and bike lanes. The area includes a wide range of services, shopping, recreation, entertainment, and job opportunities accessible by walking, on bicycle, or by using mass transit.

Transportation and Mobility:

- Encourage transit-oriented development

Commentary: The project area is less than two blocks from a TRAX station. The neighborhood includes parks, employment opportunities, shopping, recreation, and many other services that are accessible without a car.

Air Quality:

- Reduce greenhouse gas emissions
- Minimize impact of car emissions

Commentary: The proximity of the project to activities of daily life and to mass transit improves the opportunity for residents to choose alternative means of transportation and to contribute less greenhouse emissions.

Economy:

- Maintain and grow Salt Lake City as the economic center of the region

Commentary: The proposed development adds 54 dual-master bedroom units close to downtown. The residents are likely to support local businesses and provide additional workforce within Salt Lake City.

Central Community Master Plan:**Central City Neighborhood Planning Area:**

- Preserve the historic [25-foot] wide tree lined park strips

Commentary: The proposal will maintain the wide park strip along 500 South. Currently there are two mature trees in the park strip. Efforts to retain the westernmost tree should be made. The easternmost tree is smaller but will likely need to be removed and replaced due to the proposed location of the driveway. The driveway is being moved away from the corner of 500 South and Blair Street to improve the pedestrian oriented design on the corner of the building. Two additional trees will be provided in the park strip to provide a tree-lined experience.

Urban Design Goals:

- Make the Central Community more attractive and livable by applying the best urban design practices
- Encourage property improvements that are visually compatible with the surrounding neighborhood.

Commentary: The quality of the architecture and site layout are harmonious with the area and add to the pedestrian focus desired through Design Review. The building includes high-quality materials, transparency, awnings, brick detailing and other design elements that are compatible with the neighborhood and make the area more attractive.

The proposed development is designed to fit into the surrounding neighborhood in scale and massing. It serves as a transitional step down from the high-density, tall buildings from the north and west to the lower-density two-story buildings to the south and east.

ATTACHMENT E –ANALYSIS OF ZONING STANDARDS

21A.24.168: This section of the City's ordinances governs the zoning requirements of the R-MU-45 Zoning District. A table with an analysis of these standards is provided below:

Standard	Finding	Rationale
Purpose Statement: The purpose of the R-MU-45 Residential/Mixed Use District is to provide areas within the City for mixed use development that promotes residential urban neighborhoods containing residential, retail, service commercial and small scale office uses. The standards for the district reinforce the mixed-use character of the area and promote appropriately scaled development that is pedestrian oriented.	Complies	Although the proposed use is not a mixed-use development, it is a permitted use in the zone. The area includes a diverse mix of uses and additional housing will reinforce the character of the area by adding customer-base for area businesses and promoting the residential urban nature of the area. The building adds pedestrian scaled features to the area and will improve the pedestrian experience.
Uses: Uses in the R-MU-45 Residential/Mixed Use District, as specified in section <u>21A.33.020</u> , "Table Of Permitted And Conditional Uses For Residential Districts", of this title, are permitted subject to the general provisions set forth in section <u>21A.24.010</u> of this chapter and this section.	Complies	The proposed multi-family residential development is a permitted use in the R-MU-45 district.
Minimum Lot Area (for multi-family dwellings): 5,000 square feet for new lots. No minimum for existing lots.	Complies	The lot area exceeds 23,000 square feet.
Yard Requirements: <ol style="list-style-type: none"> 1. Front and Corner Side Yards: 5' minimum, 15' maximum. 2. Interior Side Yards: No setback required unless adjacent to single or two-family residential zone. 3. Rear Yards: 25% of lot depth, but not to exceed 30'. 	Complies subject to Planned Development Approval	<ol style="list-style-type: none"> 1. Both the front and corner side yards are set at 5'. 2. There is no interior side yard provided, however the property is not adjacent to a single or two-family residential zone. 3. The proposed rear yard setback is 10' where 30' would be required. The setback is being requested to be modified through the Planned Development process.
Maximum Height*: 45' and up to 55' may be authorized through Design Review and provided that the proposed height is supported by the applicable master Plan. *An additional 5' of height may be permitted through the Planned Development process.	Complies subject to Design Review and Planned Development Approval	The proposed building is 60'. Allowance for that height is dependent on approval of both the Design Review and Planned Development requests.

Minimum Open Space Area: For residential uses and mixed uses containing residential uses, not less than twenty percent (20%) of the lot area shall be maintained as an open space area. This open space area may take the form of landscaped yards or plazas and courtyards, subject to site plan review approval.	Complies	The project includes 26% open space. 3,575 square feet of ground level landscaping are being provided while 2,670 square feet of open space will be in form of an open courtyard on the 2 nd level of the building.
Landscape Buffers: Where a lot in the R-MU-45 District abuts a lot in a Single-Family or Two-Family Residential District, landscape buffers shall be provided as required in chapter 21A.48, "Landscaping And Buffers", of this title.	N/A	The property is abutted by additional R-MU-45 zoned properties to the east and PL-2 to the west.
Parking Structures: Parking structures not attached to the principal building shall maintain a forty five foot (45') minimum setback from a front or corner side yard property line or be located behind the primary structure.	N/A	The parking for the project will be located interior to the building.
Other Applicable Standards:		
Parking Requirements: Any applicable standard listed in chapter 21A.44, including: <ul style="list-style-type: none"> • Minimum parking: 1 stall per dwelling unit (54 units). • Maximum parking: 1.25 stalls per dwelling unit. • Reduction of parking minimum due to proximity to mass transit: 50% (27 total required) 	Complies	The development is proposing 48 parking stalls located interior to the building where 27 would be required. All other requirements of the off-street parking ordinance have been met.
Landscaping: Any applicable standard listed in chapter 21A.48, "Landscaping And Buffers", of this title shall be complied with.	Complies	In accordance with the comments provided by Urban Forestry, efforts will be made to preserve the existing street trees along 500 South. Depending on the exact location of the eastern most tree, it may need to be removed and replaced with a suitable alternative due to the location of the driveway. All other landscaping requirements have been met.

ATTACHMENT F – ANALYSIS OF DESIGN REVIEW STANDARDS

21a.37.050 General Design Standards- The following is taken from the applicants provided response and Staff's analysis of the General Design Standards.

Standard	Finding	Rationale
<p>A. Ground Floor Use And Visual Interest: This standard's purpose is to increase the amount of active uses and/or visual interest on the ground floor of a building. There are two (2) options for achieving this, one dealing solely with the amount of ground floor use, and the other combining a lesser amount of ground floor use with increased visual interest in the building facade's design.</p> <p>1. Ground Floor Use Only: This option requires that on the ground floor of a new principal building, a permitted or conditional use other than parking shall occupy a minimum portion of the length of any street facing building facade according to section 21A.37.060, table 21A.37.060 of this chapter. All portions of such ground floor spaces shall extend a minimum of twenty five feet (25') into the building. Parking may be located behind these spaces.</p> <p>a. For single-family attached uses, the required use depth may be reduced to ten feet (10').</p> <p>b. For single-family or two-family uses, garages occupying up to fifty percent (50%) of the width of the ground floor building facade are exempt from this requirement.</p> <p>c. For all other uses, vehicle entry and exit ways necessary for access to parking are exempt from this requirement. Such accessways shall not exceed thirty feet (30') in width. Individual dwelling unit garages do not qualify for this exemption.</p>	<p>Does not comply along 500 South or Blair Street Frontage-seeking exception through Design Review</p>	<p>The facades along 500 South and Blair Street do not meet the minimum requirement for Ground Floor Use. Within the R-MU-45 zone, any street facing façade must have a permitted or conditional use other than parking that shall occupy 75% of the length of the building. Along 500 South, the achieved percentage is 62%. Along Blair Street, 21% is achieved.</p> <p>Although the Ground Floor Use option is not accomplished, the facades integrate interesting and interactive design to fulfill the purpose of the requirement. The 500 South façade is fronted by an amenity space fitness center, lobby, and leasing office. The façade will feel vibrant and full of activity along 500 South. As discussed in Key Consideration #2 of this report, public access along Blair Street is somewhat restricted. Although the building technically fronts on Blair Street, the frontage has a feel and functionality more similar to private driveway.</p>
<p>B. Building Materials: Ground Floor Building Materials: Other than windows and doors, a minimum amount of the ground floor facade's wall area of any street facing facade shall be clad in durable materials according to section 21A.37.060, table 21A.37.060 of this chapter. Durable materials include stone, brick, masonry, textured or patterned concrete, and fiber cement board. Other materials may be used for the remainder of the ground floor</p>	<p>Complies</p>	<p>Both ground floor frontages are clad entirely in brick.</p>

<p>facade adjacent to a street. Other materials proposed to satisfy the durable requirement may be approved at the discretion of the Planning Director if it is found that the proposed material is durable and is appropriate for the ground floor of a structure.</p>		
<p>C. Glass:</p> <ol style="list-style-type: none"> 1. Ground Floor Glass: The ground floor building elevation of all new buildings facing a street, and all new ground floor additions facing a street, shall have a minimum amount of glass, or within a specified percentage range, between tree feet (3') and eight feet (8') above grade according to section 21A.37.060, table 21A.37.060 of this chapter. All ground floor glass shall allow unhampered and unobstructed visibility into the building for a depth of at least five feet (5'), excluding any glass etching and window signs when installed and permitted in accordance with chapter 21A.46, "Signs", of this title. The Planning Director may approve a modification to ground floor glass requirements if the Planning Director finds: <ol style="list-style-type: none"> a. The requirement would negatively affect the historic character of an existing building; b. The requirement would negatively affect the structural stability of an existing building; or c. The ground level of the building is occupied by residential uses that face the street, in which case the specified minimum glass requirement may be reduced by fifteen percent (15%). 	<p>Does not comply along 500 South or Blair Street Frontage-seeking exception through Design Review</p>	<p>The design standards for the R-MU-45 zone require a minimum of 60% glass on the ground level street facing façade. This would apply to 500 South and Blair Street. The proposed building does not meet this requirement and requests to waive this design standard through the design review process. Along 500 South, the building provides 37% transparency. One of the major reasons it does not provide more is that nearly 22% of the façade is occupied by the garage door. Vehicular access from 500 South is the only feasible option.</p> <p>The façade facing Blair Street accomplishes 20% glass. However, over 47% of the façade includes metal screens that are open to the parking garage. They will provide a certain level of transparency and light, although not into active ground floor space. Between the glass and the metal screens, 67% transparency is accomplished. As Blair Street is a private street with limited access, it not consistent with the spirit of the ordinance that the same design details be required along its frontage.</p> <p>The purpose of the glass ground floor requirement on street facing facades is to create interest and interaction at the pedestrian level. Although the proposed building doesn't meet the glass requirement, it fulfills the purpose of the glass requirement. It is architecturally interesting and interactive with the mix of brick, glass, metal, and lighting. The ground floor includes interactive spaces with the amenity space, leasing office, and lobby area all having glass. In addition, the ground floor exterior will include planter boxes and interesting lighting to enhance the interest and interaction at the pedestrian level. The interactive space wraps around to Blair Street providing additional interest at the pedestrian level for a portion along that street.</p>
<p>D. Building Entrances: At least one operable building entrance on the ground floor is required for every street facing façade.</p>	<p>Complies along 500 South, not along Blair</p>	<p>The 500 South frontage has three entrances spaced no more than 40' apart. There are two pedestrian entrances along the Blair Street frontage, but they are</p>

<p>Additional operable building entrances shall be required, at a minimum, at each specified length of street facing building façade according to section 21A.37.060, table 21A.37.060 of this chapter. The center of each additional entrance shall be located within six feet (6') either direction of the specified location. Each ground floor nonresidential leasable space facing a street shall have an operable entrance facing that street and a walkway to the nearest sidewalk. Corner entrances, when facing a street and located at approximately a forty five degree (45°) angle to the two (2) adjacent building facades (chamfered corner), may count as an entrance for both of the adjacent facades.</p>	<p>Street frontage-seeking exception through Design Review</p>	<p>separated by 105'. The applicant is seeking relief from this standard as Blair Street is a private street with limited public access. It does not include sidewalk on the east side of the street. This side of the building will only include a paved path for residents to access the bicycle storage/repair area.</p>
<p>E. Maximum Length of Blank Wall: The maximum length of any blank wall uninterrupted by windows, doors, art or architectural detailing at the ground floor level along any street facing façade shall be as specified according to section 21A.37.060, table 21A.37.060 of this chapter. Changes in plane, texture, materials, scale of materials, patterns, art, or other architectural detailing are acceptable methods to create variety and scale. This shall include architectural features such as bay windows, recessed or projected entrances or windows, balconies, cornices, columns, or other similar architectural features. The architectural feature shall be either recessed a minimum of twelve inches (12") or projected a minimum of twelve inches (12").</p>	<p>Complies</p>	<p>Maximum Length of Blank Wall: The maximum allowed length of a blank wall in the R-MU-45 zone is 15'. The longest segment of blank wall along either street-facing façade is 8'. The building includes changes in material, windows, and doors to break up blank walls.</p>
<p>G. Upper Floor Step Back: For street facing facades the first full floor, and all additional floors, above thirty feet (30') in height from average finished grade shall be stepped back a minimum horizontal distance from the front line of building, according to section 21A.37.060, table 21A.37.060 of this chapter. An alternative to this street facing façade step back requirement may be utilized for buildings limited to forty five feet (45') or less in height by the zoning ordinance: those buildings may provide a four foot (4') minimum depth canopy, roof structure, or balcony that extends from the face of the building toward the street at a height of between twelve feet (12')</p>	<p>Does not comply along 500 South or Blair Street Frontage-seeking exception through Design Review</p>	<p>The proposed building will include a canopy and balconies that extend from the face of the building towards the street on both 500 South and Blair Street at a height of between ten feet 10' and 15' above the adjacent sidewalk and it extends horizontally parallel to the street for a minimum of fifty percent 50% of the face of the building. Additionally, the street façade will have balconies and a roof structure that extends from the façade above the 15' level, introducing depth and articulation to the façade. These elements create a façade that is appropriately scaled, and architecturally pleasing.</p>

and fifteen feet (15') above the adjacent sidewalk. Such extension(s) shall extend horizontally parallel to the street for a minimum of fifty percent (50%) of the face of the building and may encroach into a setback as permitted per section 21A.36.020, table 21A.36.020B, "Obstructions in Required Yards", of this title.		
J. Screening of Mechanical Equipment: All mechanical equipment for a building shall be screened from public view and sited to minimize their visibility and impact. Examples of siting include on the roof, enclosed or otherwise integrated into the architectural design of the building, or in a rear or side yard area subject to yard location restrictions found in section 21A.36.020, table 21A.36.020B, "Obstructions in Required Yards", of this title.	Complies	Mechanical systems are fully enclosed within the proposed structure or are behind parapet walls.
K. Screening Of Service Areas: Service areas, loading docks, refuse containers and similar areas shall be fully screened from public view. All screening enclosures viewable from the street shall be either incorporated into the building architecture or shall incorporate building materials and detailing compatible with the building being served. All screening devices shall be a minimum of one foot (1') higher than the object being screened, and in the case of fences and/or masonry walls the height shall not exceed eight feet (8'). Dumpsters must be located a minimum of twenty-five feet (25') from any building on an adjacent lot that contains a residential dwelling or be located inside of an enclosed building or structure.	Complies	All service areas, load/unloading areas, and refuse containers are located within the parking garage and are fully screened from public view. Along Blair Street, which is a private street with restricted access, the building uses metal mesh panels to screen the parking area while providing ventilation.

21A.59.050: Standards for Design Review: The following standards apply to all applications requesting additional building height. Responses are taken both from commentary supplied by the applicant and Staff's analysis of the project:

Standard	Finding	Rationale
A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines	Complies	The purpose of the R-MU-45 Residential/Mixed Use District is to provide areas within the City for mixed use development that promotes residential urban neighborhoods containing residential, retail, service commercial and small-scale office uses. The standards for the district reinforce the mixed-use character of the area and promote appropriately scaled development that is pedestrian oriented.

<p>governing the specific area of the proposed development.</p>		<p>The proposed development fulfills this purpose by contributing 54 urban dwelling units with facilities and amenities to encourage sustainable means of transportation. The design of the building is meant to be interesting at the pedestrian level and to fit into the neighborhood as a whole.</p> <p>The development is less than a ¼ mile to public transit and will encourage sustainable urban living.</p> <p>Additional analysis of how the proposal complies with adopted master plans can be found in Attachment D of this report.</p>
<p>B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.</p> <ol style="list-style-type: none"> 1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot). 2. Building(s) shall be sited close to the public sidewalk, following, and responding to the desired development patterns of the neighborhood. 3. Parking shall be located within, behind, or to the side of buildings. 	<p>Complies</p>	<ol style="list-style-type: none"> 1. The primary entrance to the building faces 500 South. As discussed previously, Blair Street is a private street with access intended primarily for public safety vehicles. The building includes two secondary doors along Blair Street, but they do not connect to a public sidewalk as there is not one on the east side street. 2. The building is situated at the required 5' front and corner yard setbacks. The building is consistent in both design and scale with development occurring in the neighborhood. 3. Parking is located within the building.
<p>C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.</p> <ol style="list-style-type: none"> 1. Locate active ground floor uses at or near the public sidewalk. 2. Maximize transparency of ground floor facades. 3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions. 4. Locate outdoor dining patios, courtyards, plazas, habitable 	<p>Complies with Staff Recommendation</p>	<p>The proposed building uses a rich mix of materials along the ground level including glass, brick, and metal. In addition, the ground floor exterior will include planter boxes and interesting lighting to enhance interaction at the pedestrian level.</p> <ol style="list-style-type: none"> 1. The ground floor includes a fitness center, leasing office, and a lobby. All include large glass windows and doors. 2. Transparency is maximized on ground floor facades with large windows and visibility into the lobby, leasing office, and additional amenity spaces along 500 South. The biggest limitation to glass along the 500 South frontage is the space needed for the driveway. It is required to be along 500 South as Blair Street is restricted to access for public safety vehicles only. Staff is recommending some glass panels be included in the garage door to bring

landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces.		<p>additional transparency to that section of the façade.</p> <p>3. The building will include tall windows to mimic storefront elements with trim that matches the rest of the building. The ground level will have a large awning to create articulation on the façade, sheltered pedestrian space, and human scale at the ground level.</p> <p>4. The building is proposed at the required 5' setbacks, so ground level open space is limited to landscaping and pedestrian connections. However, the building does propose a fifth floor outdoor amenity area that includes patio and lounge space that will provide visual connection to the street.</p>
<p>D. Large building masses shall be divided into heights and sizes that relate to human scale.</p> <ol style="list-style-type: none"> 1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis. 2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height. 3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals. 4. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan. 	Complies	<ol style="list-style-type: none"> 1. The building is smaller in scale than the buildings to the north and west, but larger than the buildings to the east and west. Its scale provides an appropriate transition between the two. The 1- and 2-story buildings to the east are also zoned R-MU-45 and could be redeveloped at the same scale of the proposed building. The design features material changes and awnings which relate the ground floor to the buildings around it. The projecting roofline helps relate its design and scale to the Public Safety Building. 2. The proposed building scales the visual height and width through use of variation in plane, variation in materials, and vertical elements. A street level awning creates a human scaled pedestrian experience and change in material. The massing breaks the building up vertically with the transition in materials. The strong roof plane elements cap the building visually. 3. The building includes balconies that provide articulation to the façade. There is a very strong vertical bay composition created by the break-up of the building through material transitions and variation in plane. The design elements create a defined base, middle, and top to the building. 4. The scale of the building serves as a transition from the taller buildings to the north and west to the smaller scale buildings to the east and south. The solid-to-void ratio and window pattern/rhythm is similar to other residential buildings in the area.
E. Building facades that exceed a combined contiguous building length of 200 feet shall include:	N/A	None of the building facades exceed a combined continuous building length of 200'.

<ol style="list-style-type: none"> 1. Changes in vertical plane (breaks in facade). 2. Material changes; and 3. Massing changes. 		
<p>F. If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements:</p> <ol style="list-style-type: none"> 1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30"). 2. A mixture of areas that provide seasonal shade. 3. Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two-inch (2") caliper when planted. 4. Water features or public art. 5. Outdoor dining areas; and 6. Other amenities not listed above that provide a public benefit. 	N/A	The project does not include privately-owned public space.
<p>G. Building height shall be modified to relate to human scale and minimize negative impacts:</p> <ol style="list-style-type: none"> 1. Human scale: <ol style="list-style-type: none"> a. Utilize step backs to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans. b. For buildings more than 	Complies	<ol style="list-style-type: none"> 1. Human scale: In lieu of a step back, the proposed building applies the use of a canopy across the ground floor to create a pedestrian scaled experience. It also includes variation in material and plane that help relate it to the scale of neighboring development. The proposed building is designed with modern design features that is classically composed. There is a solid foundation established with brick and glass, then an interesting middle which include variations in material and plane, with a strong roofline plane as a top to the building. 2. Negative Impacts

<p>three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height.</p> <p>2. Negative impacts:</p> <ul style="list-style-type: none"> a. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors. b. Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height. c. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building. <p>3. Cornices and rooflines:</p> <ul style="list-style-type: none"> a. Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition. b. Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings. c. Green Roof And Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system. 		<p>The site is a next-door neighbor to the Salt Lake City Public Safety building directly to the west, a TSA zone in the rear, and no single- or two-family residences abutting the property. To the east, the site abuts a parking garage and office building. The proposed building is shorter and smaller in scale than the Public Safety building and the new developments within the core TSA zone in the building's rear. There are no public or semi-public spaces impacted by the site, therefore no spaces significantly impacted by shadows due to portions of the building that are subject to the request for additional height.</p> <p>3. Cornices and rooflines: The roofline is designed to match the architecture of the rest of the building while being consistent with the neighborhood. The projecting roofline is designed to recall the prominent roofline of the Public Safety Building. The building includes an accessible roof deck which creates a roofline that is visually compelling.</p>
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H. Parking and on-site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway.	Complies	<p>Parking for the project is located interior to the project and will feature one access point to reduce auto-pedestrian interaction.</p>
I. Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (See subsection 21A.37.050K of this title.)	Complies	<p>All waste and recycling containers will be stored interior to the building and will be fully screened from public view.</p>
J. Signage shall emphasize the pedestrian/mass transit orientation. <ol style="list-style-type: none"> 1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building. 2. Coordinate signage locations with appropriate lighting, awnings, and other projections. 3. Coordinate sign location with landscaping to avoid conflicts. 	Complies with Staff recommendation	<p>Signage for the building has not been finalized. The signage shown on renderings is conceptual only. When proposed, it will need to meet these standards. Staff is recommending approval for signage be delegated to staff.</p>
K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals. <ol style="list-style-type: none"> 1. Provide streetlights as indicated in the Salt Lake City Lighting Master Plan. 2. Outdoor lighting should be 	Complies	<ol style="list-style-type: none"> 1. Existing streetlights are in place along 500 South and Blair Street. 2. Lighting fixtures have been directed downwards or shielded to avoid light trespass on neighboring properties. 3. Building lighting will highlight architectural features of the building and be add to the pedestrian experience at the ground level.

<p>designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and up lighting directly to the sky.</p> <p>3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.</p>		
<p>L. Streetscape improvements shall be provided as follows:</p> <ol style="list-style-type: none"> 1. One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the approval of the City's Urban Forester shall be placed for each 30 feet of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester. 2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards: <ol style="list-style-type: none"> a. Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur. b. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge 	<p>Complies</p>	<ol style="list-style-type: none"> 1. The park strip along Blair Street was planted as part of the development of the street and will not be altered. There are two existing mature street trees in the park strip along 500 South. At least one of them will likely need to be removed and replaced to accommodate the proposed driveway to the building. The driveway is proposed to be moved further east in order to give the corner of the building more pedestrian orientation. If development requires street trees to be removed, they will be replaced according to the guidelines of the Urban Forester. 2. The concrete pattern for privately-owned public spaces will be different than the public sidewalks. The site includes landscaped areas within the setbacks that will allow infiltration of rainwater. Light-colored concrete will be used to lessen the urban heat island effect. The site design and materials took into account neighboring buildings' architectural designs. The building is fully accessible to people of all abilities with elevator service within the building and a lobby with seating at the ground level. There is no asphalt proposed for the development.

<p>the water table.</p> <p>c. Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar-Reflective Index (SRI).</p> <p>d. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City.</p> <p>e. Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities.</p> <p>f. Asphalt shall be limited to vehicle drive aisles.</p>		
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ATTACHMENT G – ANALYSIS OF PLANNED DEVELOPMENT

STANDARDS FOR PLANNED DEVELOPMENTS

21A.55.050: The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

Standard	Finding	Rationale
<p>A. Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (section <u>21A.55.010</u> of this chapter) and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development. The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development. The Planning Commission should consider the relationship between the proposed modifications to the zoning regulations and the purpose of a planned development and determine if the project will result in a more enhanced product than would be achievable through strict application of the land use regulations.</p> <p>The purpose of a Planned Development is to support efficient use of land and resources and to allow flexibility about the specific zoning regulations that apply to a development, while still ensuring that the development complies with the purposes of the zone. As stated in the PD purpose statement, developments should also incorporate characteristics that help achieve City goals.</p>	Complies	<p>The applicant has stated that their proposal meets objectives for Mobility and Sustainability. Staff has found it to meet objectives for Mobility, Housing, and Master Plan Implementation. Only one objective must be met to go through the Planned Development process.</p> <p>The applicant has provided a narrative for how each objective has been met in <u>Attachment B</u>. Staff's analysis of each objective is found below.</p>
Housing:	Complies	The majority of the housing in the area consists of single-family homes on individual

<p>Providing affordable housing or types of housing that helps achieve the City's housing goals and policies:</p> <ol style="list-style-type: none"> 1. At least twenty percent (20%) of the housing must be for those with incomes that are at or below eighty percent (80%) of the area median income. 2. The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood. 		<p>lots or apartment buildings consisting of studio and 1-bedroom units. The proposed development is for 54-unit multi-family apartment building. The units will be market-rate, however they are proposing a unique dual master bedroom layout. This 2-bedroom design is unique in that it allows for the rent to be shared between two people. This arrangement increases affordability for a larger unit.</p>
<p>Mobility: Enhances accessibility and mobility:</p> <ol style="list-style-type: none"> 1. Creating new interior block walkway connections that connect through a block or improve connectivity to transit or the bicycle network. 2. Improvements that encourage transportation options other than just the automobile. 	<p>Complies</p>	<p>The proposal includes bike facilities including bike storage, cleaning, and repair space to encourage residents to use cycling as a primary means of transportation. In addition to the encouragement of bike usage, the development is near a TRAX station. The improvements encourage transportation options other than the automobile.</p>
<p>Sustainability: Creation of a project that achieves exceptional performance with regards to resource consumption and impact on natural systems:</p> <ol style="list-style-type: none"> 1. Energy Use And Generation: Design of the building, its systems, and/or site that allow for a significant reduction in energy usage as compared with other buildings of similar type and/or the generation of energy from an on-site renewable resource. 2. Reuse Of Priority Site: Locate on a brownfield where soil or groundwater contamination has been identified, and where the local, State, or national authority (whichever has jurisdiction) requires its remediation. Perform remediation to the satisfaction of that authority. 	<p>Insufficient Information Provided</p>	<p>The following narrative has been provided by the applicant: <i>Cowboy Partners has involved iCast as an energy efficiency consultant to assist in the design related to public and utility services in the building. The purpose of this aligns with the city's objective to significantly reduce energy usage within the community, as stated in 21A.55.010 of the Planned Development ordinance. Cowboy Partners approached iCast in an effort to produce a more sustainable and efficient product.</i></p> <p>Additional information on energy usage was not provided and could not be verified by Staff. However, since a Planned Development is only required to meet one objective, additional information was not pursued.</p>
<p>Master Plan Implementation: A project that helps implement portions of an adopted Master Plan in instances where the Master Plan provides specific guidance on the character of the immediate vicinity of the proposal:</p> <ol style="list-style-type: none"> 1. A project that is consistent with the guidance of the Master Plan related to building scale, 	<p>Complies</p>	<p>The proposal is compatible with many objectives outlined in the various master plans of the city. Without the Planned Development exceptions, the property would be less efficiently used and would not be able to provide as many units. The proposed development is generally in scale with surrounding properties. A full analysis of master plan implementation is provided in <u>Attachment D</u>.</p>

building orientation, site layout, or other similar character defining features.			
B. Master Plan Compatibility: The proposed planned development is generally consistent with adopted policies set forth in the Citywide, community, and/or small area Master Plan that is applicable to the site where the planned development will be located.		Complies	The proposed development aligns with the multiple objectives of Growing SLC, Plan Salt Lake, and the Central Community Master Plan. See <u>Attachment D</u> for more information on compatibility with Master Plans.
C. Design and Compatibility: The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the Planning Commission should consider:		Complies	See rationales below
C1	Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;	Complies	The scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located. The scale is within the land use regulations, pending design review approval. The proposed development was designed with the intent to fit into the neighborhood, both in scale and with similar architectural characteristics. The site is adjacent to the Public Safety building to the west, a TSA zone in the rear, and a parking garage and office building in the R-MU-45 zone to the east. No single- or two-family residences abut the property. The building is shorter and smaller in scale than the Public Safety building and the new developments within the core TSA zone in the building's rear.
C2	Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;	Complies	The building is oriented so that it faces 500 South making it similar with development in the area. The building has secondary frontage along Blair Street, which is a private street with limited access. The building uses glass, brick, cement fiberboard, and architectural metal for the exterior materials, which is consistent with materials used on nearby buildings.
C3	Whether building setbacks along the perimeter of the development: a. Maintain the visual character of the neighborhood or the character described in the applicable master plan. b. Provide sufficient space for private amenities.	Complies	a. The building was designed to be consistent with the character of the neighborhood. The façade materials and masonry colors are meant to complement the surrounding built environment, and the roofline and masonry colors are specifically meant to call to the adjacent Public Safety Building in a way that is related yet distinct. The modern design is consistent with much of the existing and new

	<p>c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise.</p> <p>d. Provide adequate sight lines to streets, driveways, and sidewalks.</p> <p>e. Provide sufficient space for maintenance.</p>		<p>development in place within the surrounding neighborhood. The reduced rear yard setback does not negatively affect the visual character of the neighborhood.</p> <p>b. The development includes a dog run in the rear yard setback. All other amenities are located within the buildable area. The development includes a roof deck and lounge amenity area, and a fitness center.</p> <p>c. The proposed development provides a rear setback of 10' to create a buffer between the building and the city owned parking lot located to the north. The impacts from activity at the rear of the property are mitigated with the setback and by the adjacent parking lot. All other setbacks provided meet zoning regulations.</p> <p>d. The single building design of the proposal and use of windows and balconies provides adequate sight lines to streets, driveways, and sidewalks.</p> <p>e. The proposed setbacks are sufficient to provide maintenance to the building. Much of the utilities and building systems are accessible from the interior of the building or parking garage.</p>
C4	Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;	Complies	<p>Much of the ground floor facing 500 South provides transparency with glass looking into the amenity space and leasing office. Brick detailing and awnings provide pedestrian interest at an appropriate scale. The façade facing Blair Street includes the same elements to an extent, but also has openings with metal grates to provide ventilation for the parking garage. Blair Street is a private street primarily used as vehicular access for public safety vehicles and is not encouraged to be a main pedestrian thoroughfare. Blair Street does not include sidewalk adjacent to the property and therefore it is likely less important to have architectural detailing to facilitate pedestrian interest along this portion of the building.</p>
C5	Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;	Complies	<p>The lighting is designed for safety of the residents and pedestrians when entering the building and to create visual interest. The lighting is designed to minimize impacts on the surrounding properties by using vertical lighting for visual interest and lights that are directed downward on walkways, creating a safe, and visually interesting experience for pedestrians. A lighting plan has been included in Attachment B.</p>
C6	Whether dumpsters, loading docks and/or service areas are appropriately screened; and	Complies	<p>The dumpsters and loading areas will be located within the parking area and will be fully screened from public view.</p>
C7	Whether parking areas are appropriately buffered from adjacent uses.	Complies	<p>Parking areas are appropriately buffered from adjacent uses as the parking garage is located within the structure of the building</p>

			and will be walled or in the case of Blair street, will include metal screening.
D. Landscaping: The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the Planning Commission should consider:		Complies	See rationales below
D1	Whether mature native trees located along the periphery of the property and along the street are preserved and maintained;	Complies	Mature trees located along the periphery of the property will be maintained wherever possible. The urban forester has indicated one or both of the street trees are to be preserved if possible.
D2	Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved;	Complies	Existing landscaping that provides additional buffering to the abutting properties will be maintained. Existing landscape exists to the west between the planned development and Blair Street and will be maintained.
D3	Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development; and	Complies	The proposed landscaping and street trees will provide visual interest at a pedestrian scale which will lessen the impacts of the additionally requested building height.
D4	Whether proposed landscaping is appropriate for the scale of the development.	Complies	The proposed landscaping is appropriate for the scale of the development. Additional street trees will be added along Blair Street and 500 South in accordance with City code.
E. Mobility: The proposed planned development supports Citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the Planning Commission should consider:		Complies	See rationales below
E1	Whether drive access to local streets will negatively impact the safety, purpose, and character of the street;	Complies	<p>The development is proposing one driveway from 500 South. It is proposed further east than the existing driveway so as to give a more pedestrian focus to the corner of the building along Blair Street and 500 South.</p> <p>Early on, it was explored to have vehicular access from Blair Street, however, that request was rejected as it could have had substantial impact on the ingress and egress of emergency vehicles for the Public Safety Building.</p> <p>As proposed, the driveway will have minimal impact on 500 South. The driveway will maintain proper site triangles to improve safety.</p>
E2	Whether the site design considers safe circulation for a range of transportation options including:	Complies	a. The proposal includes glass and pedestrian level lighting to create a well-lit sidewalk that is safe and accommodating to pedestrians.

	<ul style="list-style-type: none"> a. Safe and accommodating pedestrian environment and pedestrian oriented design; b. Bicycle facilities and connections where appropriate, and orientation to transit where available; and c. Minimizing conflicts between different transportation modes; 		<ul style="list-style-type: none"> b. The proposal includes onsite bike storage, wash, and repair room. The proposed community is within a quarter-mile of a mass transit (TRAX) station as well as close proximity to bus routes reducing conflict and safety hazards between the two transportation methods. c. The proposed development has a separate entrance for the bike facility and the garage door for automobiles.
E3	Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities	Complies	The project relies on public sidewalks to provide connections to adjacent uses.
E4	Whether the proposed design provides adequate emergency vehicle access; and	Complies	Emergency vehicles could access the building from 500 South or Blair Street.
E5	Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.	Complies	The proposed building has a designated area within the parking garage for loading, unloading and service access, thus minimizing impacts to the surrounding area and right-of-way.
F. Existing Site Features: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.		Complies	<p>There are no existing features that significantly to the character of the area. The existing single-story building was most recently used as a jewelry store but is now vacant.</p> <p>The park strips along Blair Street have a 4-5' grade change and were planted as part of the development of the Public Safety Building. They will not be altered with this proposal.</p>
G. Utilities: Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area.		Complies	<p>The proposal has been reviewed by appropriate departments and has been found to be adequately serviced by existing utilities. In some instances, there will need to be updates to connecting lines. Rocky Mountain Power has indicated that no ground transformers will be required for the development.</p> <p>All improvements within the planned development meet Public Utility standards. All unused water and sewer services will be capped at the main. Additionally, as requested by Salt Lake City Public Utilities Division, the water main in 500 South will be replaced and upgraded from Blair Street to 400 East.</p>

ATTACHMENT H – DEPARTMENT REVIEW COMMENTS

The comments below are the most current comments from each department and are in response to the 2nd round of revisions to the proposed project.

PLANNING DIVISION COMMENTS

Comments by: Eric Daems

Email: eric.daems@slcgov.com

Phone: 801-535-7236

Status: Comments for Building Permits

1. Permits for signage (if desired) should be sought separately according to 21A.46.
2. Parcels will need to be combined via parcel consolidation or subdivision.

Staff Response: The applicant has indicated they do not intend to apply for signage at this time. Any future signage will need to conform to the standards of 21A.46 and be applied for using the appropriate permits.

The applicant has also submitted for a parcel consolidation. That application is in for current review and will be approved separate from this application.

PUBLIC UTILITIES DIVISION COMMENTS

Comments by: Jason Draper

Email: Jason.draper@slcgov.com

Phone: 801-483-6751

Status: Comment for Building Permits

- All improvements must meet SLCPU standards, practices, policies, and ordinances
- There are several sewer services and a water service to the properties. All unused water and sewer services must be capped at the main.
- The water main in 500 South will need to be replaced and upgraded from blair street to 400 East.
- Any groundwater pumping must be permitted and connected to the public storm drain system. A Permit from the state and city will be required.
- Complete comments and review will be provided with the building permit review.

ENGINEERING DIVISION COMMENTS

Comments by: Scott Weiler

Email: scott.weiler@slcgov.com

Phone: 801-535-6159

Status: No objections

TRANSPORTATION DIVISION COMMENTS

Comments by: Michael Barry

Email: Michael.barry@slcgov.com

Phone: 801-535-7147

Status: Make Corrections

- The parking stalls are shown as 17'-0" (vehicle projection) and they should be 17'-6".
- The site distance triangles at the driveways are shown incorrectly. The sight distance triangles at the driveway should be drawn as an isosceles triangle with an apex (apices) at the intersection of the back of sidewalk and the edge of driveway; and the two (2) equal sides of length ten (10) feet should extend, with one leg, along the back of sidewalk running away from the driveway and the other leg, along the edge of driveway running toward the building.
- They spelled RAMP wrong.

Staff Response: Corrections have been made by the applicant just prior to the publishing of this report.

BUILDING DEPARTMENT COMMENTS

Comments by: Steven Collett

Email: steven.collett@slcgov.com

Phone: 801-535-7289

Status: General Comments

All construction within the corporate limits of Salt Lake City shall be per the State of Utah adopted construction codes and to include any state or local amendments to those codes. RE: Title 15A State Construction and Fire Codes Act.

Existing structures on adjacent parcels shall not be made less complying to the construction codes than it was before the proposed development.

FIRE DEPARTMENT COMMENTS

Comments by: Steven Collett

Email: steven.collett@slcgov.com

Phone: 801-535-7289

Status: General Comments

Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of IFC section 503 and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

There shall be a fire hydrant within 400 feet of all exterior walls of the first floor on a fire apparatus access road.

Fire department access roads for structures 30 foot and above will require at least two means of fire department access. One of which shall be no closer than 15 feet from the structure and no greater than 30 feet to the entire side of the structure as required in IFC Section D105.3

Fire department access roads for structures 30 foot and above will require a minimum road width of 26 feet as required in IFC Section D105.2.

Existing structures on adjacent parcels shall not be made less complying to the construction codes than it was before the proposed consolidation.

HOUSING STABILITY

Comments by: Tony Milner

Email: tony.milner@slcgov.com

Phone: 801-535-6168

Status: No objections- but see comments and questions below

Concerns:

- No concerns regarding the applicant's design modification requests.

Recommendations:

- Salt Lake City is committed to increasing mixed-income developments and increasing the number of affordable/income-restricted units.
 - We strongly advise the developer to review the City's available fee waivers and low-interest loan products that support the development and operations of affordable units. <https://www.slc.gov/hand/affordable-residential-development-resources/>
 - For example: Code 18.98.060: EXEMPTIONS: "E. The following housing may be exempt from the payment of impact fees, to the following extent: 1. A one hundred percent (100%) exemption shall be granted for rental housing for which the annualized rent per dwelling unit does not exceed thirty percent (30%) of the annual income of a family whose annual income equals sixty percent (60%) of the median income for Salt Lake City, as determined by HUD;"
 - We encourage the developer to consider converting some of the planned 2 bdrm units into 3 or 4 bdrm units to provide a wider range of rental options for the City and support families with children looking to live in the City.

Question:

- Will any of the units be wheelchair accessible with roll-in showers? If not, the City is committed to equity in housing and we encourage the developer to designate, design, and build units that are wheelchair accessible to benefit residents with temporary or long-term mobility difficulties.

POLICE DEPARTMENT COMMENTS

Comments by: Lamar Ewell

Email: lamar.ewell@slcgov.com

Phone: 801-799-3260

Status: No objections

URBAN FORESTRY COMMENTS

Comments by: Rick Nelson

Email: rick.nelson@slcgov.com

Phone: 801-972-7839

Status: Make Corrections

At 353 E 500 S there is a 1F position 31" DBH Maple in Good condition that should be preserved. At 357 E 500 S there is a 1F position 16" DBH Maple in Good condition. There is an existing utility box 12' west of the 353 tree that doesn't allow for a third tree in the park strip. There are street light wires along the edge of the park strip that have minimum impact on the trees. Park strip is wide enough to accommodate large species trees. There are five specimen quality Honeylocust trees on the property in the rear parking lot that should be preserved. There are two just north of the building that are 23" DBH and 21" DBH in good condition. There is a cluster of three in the northeast corner of the property that are 14" DBH, 17" DBH, and 17" DBH that are all in good condition. Mitigation will need to be paid at the rate of \$200/inch of DBH removed for trees that can't be preserved. Public ROW trees must be designed around and protected against demolition and construction damage for the duration of the project according to the SLC Urban Forestry Tree Protection and Preservation Policy. Please contact me for any needed clarification at rick.nelson@slcgov.com

Updated Comments

Though not specifically stated on the plans. It appears that they intend to remove all existing trees on the property including the two Public ROW Maple trees on 500 S and replace them with three little 2" Zelkova. The currently existing Maples already have an established and functioning canopy that should be preserved. It appears that with relatively small design adjustments that both of the existing trees could be preserved to allow for many years of preserved benefits from these long established trees.

Staff Response: Efforts will be made to preserve the trees. If they cannot be preserved, mitigation fees for the removed trees will be required to be paid prior to the issuance of a building permit.

ATTACHMENT I – PUBLIC PROCESS & COMMENTS

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- November 22, 2021 – 45-day notice of the project was provided to the Central City Community Council, other recognized community organizations, as well as property owners and residents within 300 feet of the proposal.
 - The community council did not request the item to be presented at one of their meetings.

Notice of the public hearing for the proposal included:

- Public hearing notice mailed on February 25, 2022
- Public notice posted on City and State websites and Planning Division list serve on February 25, 2022
- Public hearing notice sign posted on the property February 25, 2022

Public Input:

- At the time of this staff report, no public comments had been received in regard to the proposal.