



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: David J. Gellner, AICP, Senior Planner – 801-535-6107 - david.gellner@slcgov.com

Date: March 9, 2022

Re: Southern Highlands (SoHi) Apartments Design Review - PLNPCM2021-00929

Design Review

PROPERTY ADDRESSES: 913 & 927 South 400 West

PARCELS: 15-12-180-001 and 15-12-180-017

MASTER PLAN: Downtown Plan (2016)

ZONING DISTRICT: CG – General Commercial

REQUEST: Mark Garza, of TLG Company has requested **Design Review approval for Additional Building Height** for the Southern Highlands (SoHi) Apartments project to be located on two contiguous parcels at 913 & 927 South 400 West in the CG – General Commercial zoning district. The proposed project is for a 153-unit apartment building that will be 79-feet tall and located on the combined 0.72 acre (31,363 square foot) parcel. Buildings in excess of 60-feet tall, and up to 90 feet tall in the CG zoning district are allowed through the Design Review process with Planning Commission approval.

STAFF RECOMMENDATION:

Based on the findings listed in the staff report, it is the Planning Staff's opinion that request generally meets the Design Review standards and therefore, recommends the Planning Commission approve the request with the following conditions delegated to staff for verification during the Building Permit review:

1. *Final approval of the details for site signage, development and site lighting, off-street loading, landscaping and any public art to be delegated to Planning Staff to ensure compliance with all applicable zoning standards.*
2. *Approval is for the specific items discussed and identified in the staff report. All other applicable zoning regulations and requirements from other city departments still apply.*
3. *Compliance with street tree requirements consistent with the recommendations of the Salt Lake City Urban Forester.*
4. *The parcels must be consolidated and a new parcel recorded with the Salt Lake County Recorder's Office.*

ATTACHMENTS:

- A. [Vicinity/Zoning Map](#)
- B. [Site Photographs & Existing Conditions](#)
- C. [Applicant's Narrative, Plans & Rendering](#)
- D. [Development Standards](#)
- E. [Analysis of Standards](#)
- F. [Public Process and Comments](#)
- G. [Department Review Comments](#)

PROJECT DESCRIPTION:



Overview

The proposed project is for a 153-unit apartment building that will be a mix of 1 bedroom, 2 bedroom and studio apartment units on a 0.72 acre (31,000 square feet) parcel in the CG – General Commercial zoning district. The proposed building will be 79-feet tall consisting of 5 levels of apartments over 3 levels of parking, one of which will be underground. Buildings in excess of 60-feet tall in the CG zoning district are allowed through the Design Review process with Planning Commission approval. The applicant is going through the Design Review process to request an additional 19-feet of building height over the 60-feet allowed by right in the CG district.

General Site Details, Layout & Orientation

The project is proposed on two adjoining parcels that have traditionally been used for automotive and storage related activities. Most recently, the larger parcel has been used as a towing, storage and impound lot. There is a small single-story industrial building on the larger parcel related to these functions. The building will be removed to make way for the new development.

Project Quick Facts

Property Size: 0.72 acres combined

Height: 79' (7 stories)

Building Length: 250' (along 400 West)

Ground Floor Uses: Lobby, gym, leasing office, mail room, bike repair room and commercial spaces.

Upper Floor Uses: Residential
Number of Residential Units: 153

Exterior Materials: Glass, brick, stucco, fiber composite siding, composite vertical board, wood siding, aluminum fascia and parapet cap

Parking: 146 interior stalls – 3 levels of parking, one is underground

Review Process & Standards: Design Review, and general zoning standards.

The entire east side of the northern parcel and a portion of the east side of the southern parcel border an abandoned railway corridor. This corridor has been identified as the likely alignment of a future TRAX rail transit line through the Granary District. The timing of when or if this becomes a future TRAX line is unclear at this time and outside the scope of this project. The applicant is aware of this and the repurposing of the abandoned railway has been considered in the design of the building.

The site is largely paved and surrounded by chain-link security fences topped with barbed wire. These fences will be removed. There will however be a solid fence 6-feet tall along the east and south sides of the site between unused railway right of way on the east and another property used for automotive related activities to the south in order to help buffer the development.

Street Interaction and Design at Ground Level

The applicant has included active spaces at the ground level and provided considerable amounts of glass to make the design more appealing and interactive at the pedestrian level. This glass is most prominent on the 400 West elevation, which will be the main street orientation and focal point of the building. This glass will provide additional “eyes on the street” for safety and will help to create a welcoming atmosphere for pedestrians along the sidewalk. The amount of glass being included in the design is further described in the Building Materials & Exterior Design Section below. A mural is proposed for the southwest corner of the building to add additional interest along 400 W. A second mural is being considered along the thin north facing elevation on 900 South to add additional elements of interest.

The proposed building will be approximately 73 feet tall at the top portion of the livable space and will top out at approximately 79 feet at the top of some building details and parapets. Amenities provided for tenants include a 2,500 square feet open-air plaza at the 3rd floor level that faces 400 West. There will also be a lounge room available for residents on both sides of the outdoor deck at the front elevation of the building. The courtyard will create a deep building inset to help break up the building length and mass along the west elevation. The lounges in combination with the outdoor plaza will create an attractive outdoor amenity for residents and guests.

Existing and Proposed Trees

There are existing trees within the interior of the subject property that the Urban Forester has described as “specimen quality Honey locust that we would attempt to save or charge a mitigation fee”. Other existing trees on the site were not significant. There are no existing street trees on 400 West or 900 South frontages. Street trees will be required. Based on the street frontage of 280-feet, and the requirement of 1 tree per 30 feet of frontage per 21A.48.060.D.1, a total of nine (9) trees will be required along 400 W. An additional two (2) trees will be required along 900 S which has approximately 70-feet of street frontage. The applicant will work the Urban Forester on installation of any required street trees. The Urban Forester’s comments are included in [Attachment G](#) of this report.

Building Materials and Exterior Design

The exterior of the building is proposed with a variety of materials including stucco, thin brick, metal and fiber composite siding, break metal accents, wood finish siding and architectural concrete. . These materials run to the ground level on the prominent west elevation of the building. On the north elevation, they terminate at the top of the 2nd floor above ground. Dark bronze break material helps to separate some of these elements. The ground floor, and second floor levels, both of which contain parking are broken up with a glass storefront window panel system with a considerable amount of glass on both the east and west elevations. On the east, west and north elevations, some of the previously

described material bands continue down to ground level. The palette of materials being used and colored elevations are included below.

The total amount of glass on the prominent west street facing elevation as a whole is approximately 29.7%. However, on the street facing area on 400 W at the ground level elevation, the total glass area is approximately 48%. On the much smaller and less prominent north facing elevation, the total glass area as a whole is approximately 10% with the ground floor level having a total of 15.6% glass. This elevation is encumbered by the narrowness of the parcel at the north end and the design of the building lends itself to having this end of the building containing an additional lobby, stairway and elevator shaft. As such, it is the more functional and less aesthetic end of the building although it does include an entrance to and from the building toward 900 south. The materials and colors are also described in more detail in the applicant's materials in [Attachment C](#).



EXTERIOR MATERIALS LEGEND



Parking

Parking for the SoHi Apartments will be accommodated within an internal parking structure. The design of the building is for five (5) levels of apartments above 3 levels of concrete parking. Two of the parking levels will be above grade while one level will be below grade.

A total of 146 parking spaces will be provided for the project. This includes a total of 133 regular stalls, 7 electric vehicle stalls and 6 ADA stalls. The garage will also include 8 compact parking stalls which are addressed below. Bicycle parking and storage will be accommodated within the parking structure. The garage will have one entrance oriented toward 400 W. This project is not immediately adjacent to transit but within reasonable walking distance at approximately 0.33 miles to the TRAX station on 900 S via the most direct legal walking path. There are bus stops on 900 S and 300 W at distances of 0.33 and 0.26 miles respectively via the most direct legal walking path. Improvements to 900 S for construction of the 9-Line Trail will provide additional pedestrian and bike infrastructure to the neighborhood are expected to begin in 2022 and extend into 2023.

Based on the Chapter 21A.44.030 – Off Street Parking, Mobility and Loading - the CG zone requires 0.5 spaces for a studio, one space for a one bedroom and two spaces for a two (or more) bedroom unit. The 153 residential units would require a total of 117 parking stalls. The applicant is proposing a total of 146 parking stalls for the project. The 146 total parking stalls proposed for the project exceeds the required minimum. However, The CG zoning district is one that allows the maximum parking to exceed the minimum by up to 25% (21A.44.030.H). The maximum number of parking stalls allowed would be 146. There are also 8 “compact parking stalls” shown within the parking garage. Table 21A.44.020 – Off Street Parking Dimensions of the Zoning Ordinance defines the specifications for required parking spaces. The table does not include dimensions for compact parking spaces and the Transportation division has indicated that “There were a few parking spaces labeled ‘Compact’; the City does not recognize compact parking spaces to satisfy parking requirements.” As such, the additional 8 spaces are not being counted toward or against meeting the parking requirements. Those spaces could be repurposed for additional bicycle parking or motorcycle parking within the garage. The proposed parking meets the requirements for the proposed use and zone.

Previous Project Approval

In April 2021, the Planning Commission reviewed and approved a similar but smaller project on part of this location with the same name of SoHi (Southern Highlands) Apartments. That proposal was for a 104-unit apartment to be building located on the larger (southern) parcel only. The project had frontage on 400 West only and did not include frontage on 900 South. The applicant subsequently had the option to purchase and integrate the smaller northern parcel into the project to create a larger development with frontage on both 400 W and 900 S on a combined parcel. As the project was changed and enlarged and the property area expanded, the proposal must be reviewed as a new Design Review project by the Planning Commission. The majority of the details and design features of the original project approved by the Commission have been carried forward into this new version. The current proposal for Design Review must meet all the applicable standards and is being reviewed as a new application, not as a modification to a previous approval. This previous approval is mentioned for the sake of process clarification as the previous application was approved less than a year ago.

KEY CONSIDERATIONS:

Consideration 1: Request for Additional Height and Neighborhood Compatibility

The additional building height provides space for an additional level of parking located interior to the building without sacrificing living units or adding a large surface parking area. The parking is all located within the building on 3 different levels, one of which is located underground.

The CG zoning designation allows for a building height of 60-feet by-right and up to 90-feet through the Design Review process. The properties surrounding the subject property are all zoned CG – General Commercial as well. Properties zoned CG would also be eligible for building heights of up to 60-feet by right or up to 90-feet through the Design Review process if they were redeveloped in the future. The additional 19-feet of building height should not create significant additional impacts that would not be created with a building 60-feet tall within the CG zone. The applicant's narrative includes a shadow study showing the impact of the additional building height on shadows.

The impacts of additional building height on the surrounding properties, pedestrian realm and shadowing will be mitigated by the design of the building. The building is broken up into different masses with a courtyard in the middle and large quantities of glass along the prominent west street-facing façade. The design includes active ground floor uses such as gym, leasing office and mail room and two elevator lobbies, one at each end to help relate to the human scale and pedestrian realm. An outdoor courtyard space in the middle of the building above the second floor will help reduce the perceived massing of the building and will not present as a monolithic plane along the street-facing elevation. This will help offset additional building shadows on the public realm and neighboring properties and help create wind breaks. Through thoughtful design that complies with the Design Review standards, the additional 19-feet of building height requested should not create significant additional impacts.

Reducing the building height to 60 feet would eliminate the need for the building to comply with the more stringent Design Review standards. The Design Review standards help to ensure development that is compatible with its surroundings and interacts with the human scale, particularly at the pedestrian level of interaction. This is especially important in the CG zoning district which includes relatively few design standards to regulate the design of proposed buildings. The proposed building is higher quality and of a better design in terms of street level interaction and meeting pedestrian/human scale standards than one which could be built by right in the CG district given the lack of any notable design standards in the zoning district. In an area that is expected to continue to redevelop in the future, this development will help to "set the standard" for other future developments in the immediate neighborhood and general area.

Consideration 2: Master Plan Compliance Downtown Plan (2016)

The proposed project is located within the Granary District which is described in the Downtown Plan. This area is generally envisioned for low to medium rise transit oriented uses and future development. The project lies immediately to the west of the Central Ninth area also described in the Downtown Plan. Given the proximity, the Central Ninth area is also referenced as part of this analysis as a relevant consideration.

The Granary District section of the plan recognizes the transition of this area from historically industrial and warehouse buildings to one that is characterized by creative industries and a mix of office, retail, restaurants and residential uses, especially mid-rise housing. It is recognized that the area is highly served by transit. The adjacent Central Ninth area is recognized as a growing neighborhood with a wide variety of housing choices and convenient transit access. A number of recent multi-family developments have been constructed in the Central Ninth area within close proximity to the proposed project.

The proposed building will add increased residential density within reasonable walking distance of the 900 S TRAX station at 200 West. This project is not immediately adjacent to transit but within reasonable walking distance at approximately 0.33 miles to the station via the most direct legal walking

path. The general distance used with relation to transit and walkability is being located within 0.25 miles. This is slightly outside that distance but still has reasonably close and convenient mass transit access. The proposed project is adjacent to a UTA right-of-way proposed for eventual re-establishment as an active rail corridor. This is significant because while it may provide more convenient transit access, the establishment of a new TRAX line along this rail corridor could create additional noise concerns for future residents. The applicant has been advised to take this into account in terms of noise mitigation measures when designing the building.

Specific initiatives in the Granary District section of the plan that support the use include the following:

- *Provides housing choice*
- *Is walkable*
- *Is vibrant and active*
- *Welcoming and safe*

The adjacent Central Ninth area also includes the initiatives mentioned above. The proposed building generally contributes to these principles by providing additional housing in a walkable area close to transit connections.

Plan Salt Lake (2015)

Plan Salt Lake was adopted in 2015 as the citywide vision for Salt Lake City for the next 25 years. The Plan contains Guiding Principles as well as Initiatives in the various chapters that relate to the proposed use including the following:

- *Maintain neighborhood stability and character.*
- *Create a safe and convenient place for people to carry out their daily lives.*
- *Support neighborhood identity and diversity.*
- *Encourage and support local businesses and neighborhood business districts.*
- *Provide opportunities for and promotion of social interaction.*
- *Locate new development in areas with existing infrastructure and amenities, such as transit and transportation corridors.*
- *Encourage a mix of land uses.*
- *Promote infill and redevelopment of underutilized land.*
- *Accommodate and promote an increase in the City's population.*
- *Ensure access to affordable housing citywide (including rental and very low income)*
- *Encourage housing options that accommodate aging in place.*
- *Direct new growth toward areas with existing infrastructure and services that have the potential to be people oriented.*
- *Promote high density residential in areas served by transit.*
- *Create a complete circulation network and ensure convenient equitable access to a variety of transportation options by:*
 - *Having a public transit stop within ¼ mile of all residents.*
- *Prioritize connecting residents to neighborhood, community, regional, and recreation nodes by improved routes for walking, biking, and transit.*
- *Reduce automobile dependency and single occupancy trips.*
- *Encourage transit-oriented development (TOD).*
- *Incorporate pedestrian oriented elements, including street trees, pedestrian scale lighting, signage, and embedded art, into our rights-of-way and transportation networks.*

- *Promote increased connectivity through mid-block connections.*

The proposed project supports the initiatives listed above. It would help provide more housing into an area that is changing and expected to continue to develop a mix of commercial and residential uses. People moving into the area would help to support existing businesses in the area and help to increase the population of the area.

Growing SLC: A Five-Year Housing Plan – 2018-2022 (2017)

Growing SLC: A Five-Year Housing Plan – 2018-2022 (aka – the Salt Lake City Housing Plan) was adopted in late 2017 as the City’s first housing plan since 2000. The Housing Plan is intended to advance the vision that Salt Lake City is a place for a growing diverse population to find housing opportunities that are safe, secure, and enrich lives and communities. The overall intent of the plan is to increase housing opportunities within the City and the various goals and initiatives support that vision.

The proposed use will add to the City’s existing housing stock in the Granary District and greater Central Ninth area both seen as evolving areas of urban living that will continue to develop with a wide range of housing choices. The use is in concert with the principles and strategies identified in the Salt Lake City Housing Plan.

DISCUSSION:

The applicant is proposing a use that is allowed in the zoning district and that is in concert with the established nature of the area. The applicant’s narrative is included in [Attachment C](#) of this report. Staff recommends that the Design Review application be approved by the Planning Commission.

NEXT STEPS:

Design Review Approval

If the Design Review application is approved, the applicant will need to need to comply with the conditions of approval, including any of the conditions required by City departments and the Planning Commission. The applicant will be able to submit for building permits for the development and the plans will need to meet any conditions of approval. Final certificates of occupancy for the buildings will only be issued once all conditions of approval are met.

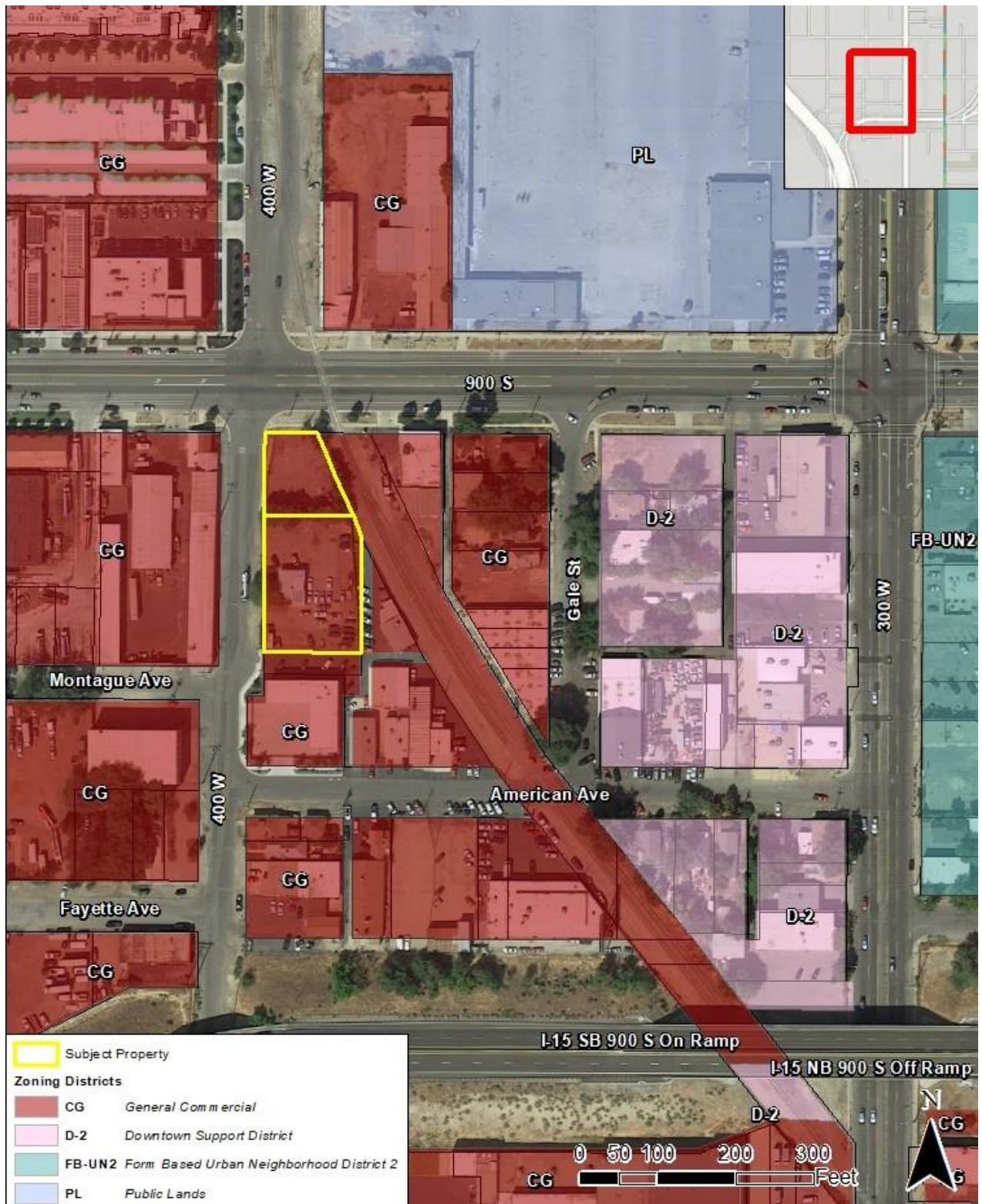
Design Review Tabled/Continued

If the Design Review application is tabled by the Planning Commission, the applicant will have the opportunity to make changes to the design and/or further articulate details in order to return to the Planning Commission for further review and a decision on the application.

Design Review Denial

If the Design Review application is denied, the applicant will be able to submit a new proposal that meets all of the standards required by the Zoning Ordinance or they can construct a building up to 60-feet in height as allowed by the zone, provided that all Zoning Ordinance standards are met.

ATTACHMENT A: Vicinity/Zoning Map & Aerial





ATTACHMENT B: Site Photographs & Existing Conditions



Front of subject property along 400 West – looking north-east



Front of subject property along 400 West – looking south-east



Frontage of subject property along 900 South



400 West across from subject property looking north-west



Existing warehouse development on 400 W across from subject property



View looking south on 400 W from the corner of 900 S



Abandoned railway tracks and corridor to the east of subject properties

Surrounding Development and Zoning

Surrounding properties in all directions are also zoned CG – General Commercial. The development of surrounding properties is described as follows:

North – 900 S – property is across from the City’s Fleet Block and caddy corner to the VOA Youth Homeless Shelter.

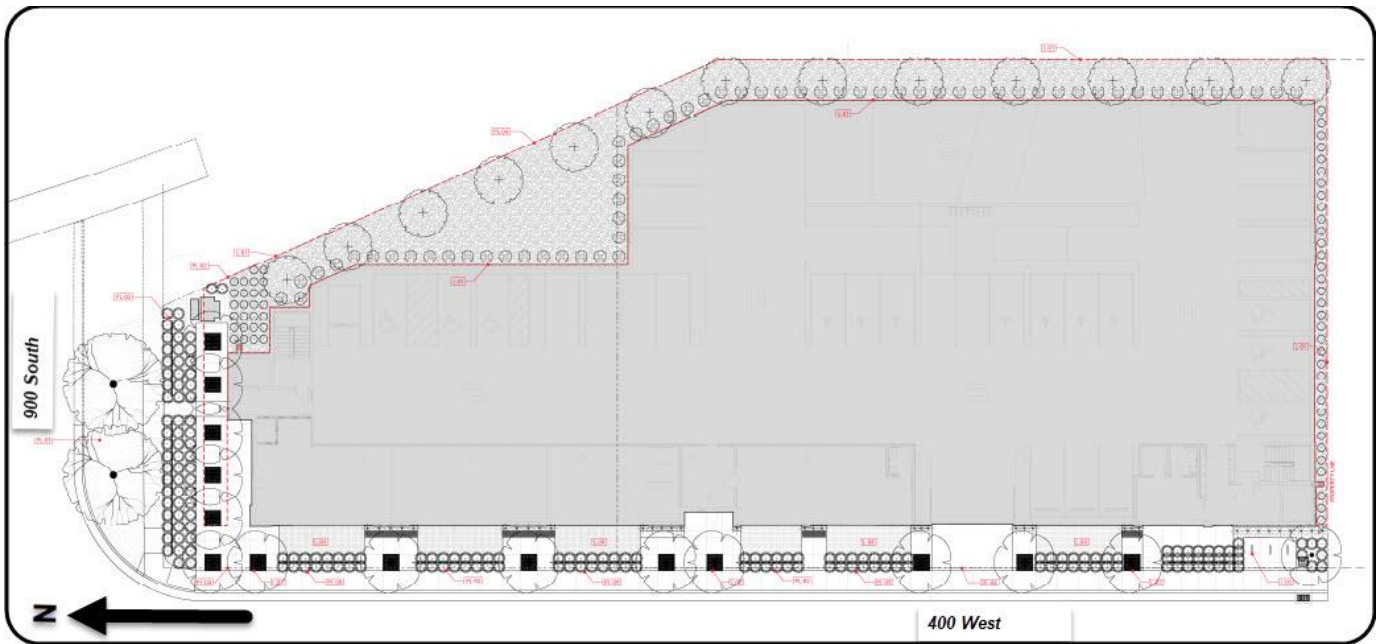
South – Truck and automotive repair operation.

West – Warehouse uses.

East - Auto collision repair use that extends along the south half of the eastern boundary. North half is along the abandoned railway corridor.

ATTACHMENT C: Applicant's Narrative, Plans & Project Renderings

General Site Layout – Taken from the Applicant's Plans



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MARK	ISSUE DESCRIPTION	ISS. DATE	#	REV. DESCRIPTION	REV. DATE
SO	SCHEMATIC DESIGN	10/12/2020			
2	SITE PLAN REVIEW	8-11-2022			

SOHI APARTMENTS
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PROJECT NUMBER
462-1905
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Author
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Checker
SITE PLAN REVIEW

RENDERINGS
DRAWING NUMBER
A900

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3 3D-Presentation View 3
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4 3D-Presentation View 4
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PROJECT NUMBER
462-1905
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SITE PLAN REVIEW

PERSPECTIVE VIEWS

DRAWING NUMBER
A901

MARK	ISSUE DESCRIPTION	ISS. DATE	#	REV. DESCRIPTION	REV. DATE
SD	SCHEMATIC DESIGN	10/12/2020			
2	SITE PLAN REVIEW	8-11-2021			

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A902
3D-Presentation View1

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3D-Presentation View 2

MARK	ISSUE DESCRIPTION	ISS. DATE	#	REV. DESCRIPTION	REV. DATE
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2	SITE PLAN REVIEW	8-11-2020			

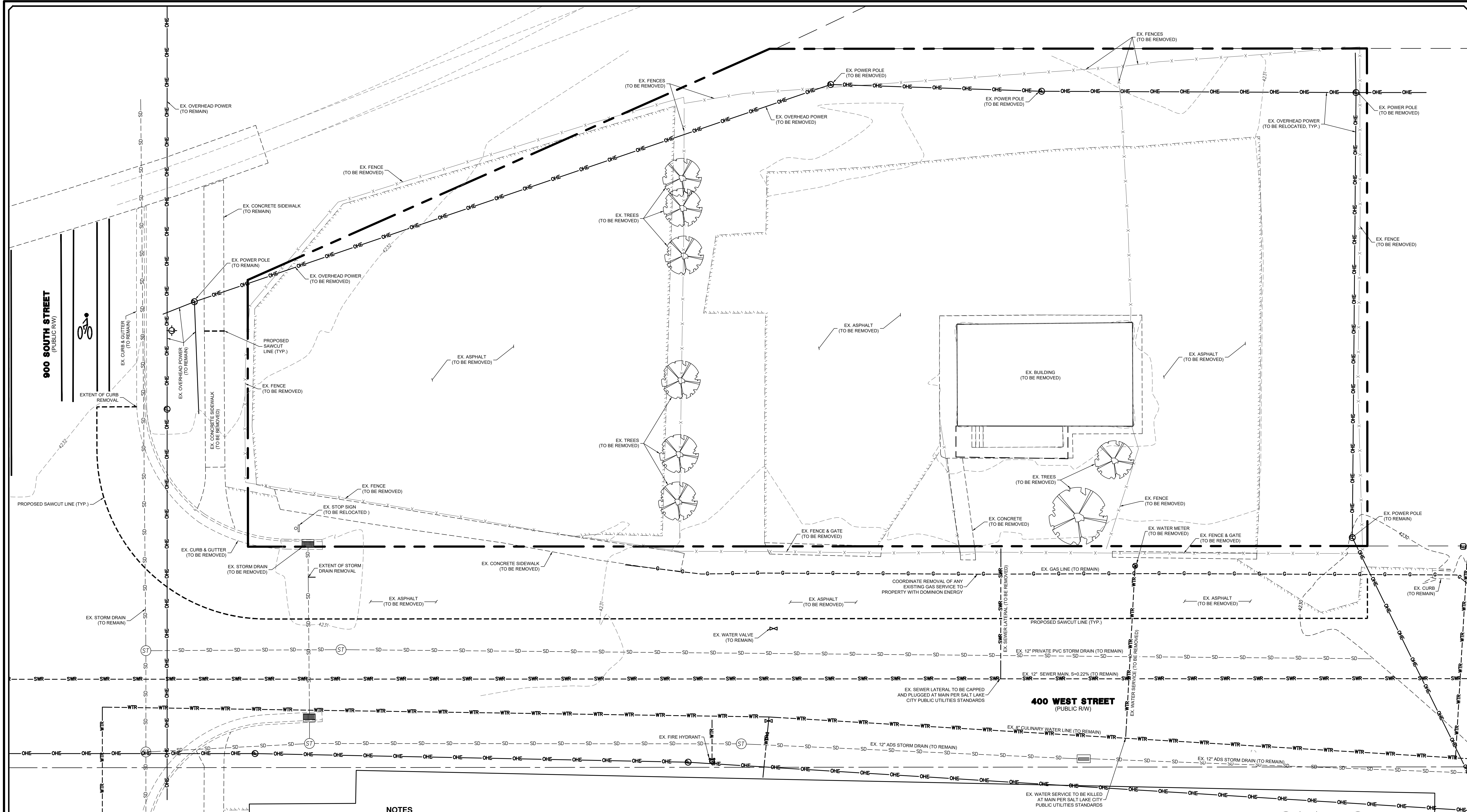
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SITE PLAN REVIEW

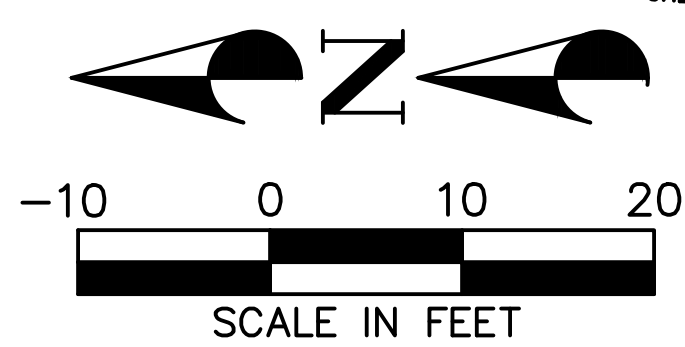
PERSPECTIVE VIEWS

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NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH GOVERNING AGENCY STANDARDS AND SPECIFICATIONS. IN THE ABSENCE OF PROJECT STANDARD AND SPECIFICATIONS APWA STANDARD AND SPECIFICATIONS SHALL GOVERN.
- CONTRACTOR SHALL RETAIN AND PROTECT ALL EXISTING IMPROVEMENTS UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE TO REPAIR ALL SIDEWALK, PAVEMENT, GRAVEL, UTILITIES, LANDSCAPING, IRRIGATION, FENCING AND EXISTING IMPROVEMENTS DAMAGED AS PART OF CONSTRUCTION.
- SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
- IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT BLUE STAKES OF UTAH PRIOR TO STARTING ANY ACTIVITIES. ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATIONS ONLY.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THEN EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTORS FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE. ENSURE ALL OSHA STANDARDS ARE FOLLOWED.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE, INSTALL AND MAINTAIN APPROPRIATE TRAFFIC CONTROL DEVICES, AS WELL AS ANY ADDITIONAL TRAFFIC CONTROL DEVICES THAT MAY BE REQUIRED TO INSURE SAFE AND EFFICIENT MOVEMENT OF TRAFFIC AND PEDESTRIANS THROUGH OR AROUND THE WORK AREA AND TO PROVIDE MAXIMUM PROTECTION AND SAFETY TO ROAD WORKERS.
- ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES). THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
- IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER IMMEDIATELY.
- ALL TREE REMOVAL AND PLANTING IN THE PUBLIC RIGHT OF WAY REQUIRES A PERMIT AND SHALL COMPLY WITH SALT LAKE CITY URBAN FORESTRY TREE PROTECTION AND PRESERVATION POLICY.
- TREES ARE TO REMAIN UNLESS NOTED OTHERWISE.
- PRIOR TO WORKING IN THE PUBLIC RIGHT OF WAY, A LICENSED, INSURED, AND BONDED CONTRACTOR, WHO HAS SAID INFORMATION ON FILE WITH SLC ENGINEERING, MUST OBTAIN A PUBLIC WAY PERMIT FROM SLC ENGINEERING AND PERHAPS A TRANSPORTATION PERMIT. ALL WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW APWA STANDARD PLANS.
- REPAIR ALL STREET CUTS PER APWA PLAN #255 (SEE DETAIL-T ON SHEET C107).
- CONTRACTOR TO APPLY FOR PUBLIC UTILITIES DEMOLITION PERMIT THROUGH THE PUBLIC UTILITIES CONTRACTORS OFFICE. THIS PERMIT IS SEPARATE FROM THE BUILDING DEMOLITION PERMIT.
- THE SWPPP BOOK AND UPDES PERMIT SHALL BE PROVIDED BY THE CONTRACTOR.
- COORDINATE WITH ROCKY MOUNTAIN POWER FOR ELECTRICAL SERVICE REMOVAL.
- COORDINATE WITH DOMINION ENERGY FOR GAS SERVICE LINE REMOVAL.



LEGEND

- PROPOSED BOUNDARY
- EXISTING BUILDING
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- EXISTING EDGE OF ASPHALT
- EXISTING FENCE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING STORM DRAIN LINE
- EXISTING OVERHEAD ELECTRIC
- EXISTING TELECOM LINE
- EXISTING GAS LINE
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED SAWCUT LINE

BENCHMARK
FOUND STREET MONUMENT (FLAT BRASS)
900 SOUTH & 400 W INTERSECTION
ELEVATION=4231.85
(NAVD88)

NO. DESCRIPTION		DATE
1	4/20	
ORIG. DATE: 4/20		
SUPERV. BY: PEP CREW		
DRAWN BY: TRC		
DESIGNED BY: TRC		
CHECKED BY: RUX		
SCALE: 1"=40'		

PEPG CONSULTING
9270 SOUTH 300 WEST • SANDY, UT 84070
PHONE: (801) 562-2521 • FAX: (801) 562-2551

CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT
GEOTECHNICAL • MATERIALS TESTING • INSPECTIONS

SOHI APARTMENTS
927 SOUTH 400 WEST
EXISTING CONDITIONS & DEMOLITION
PLAN

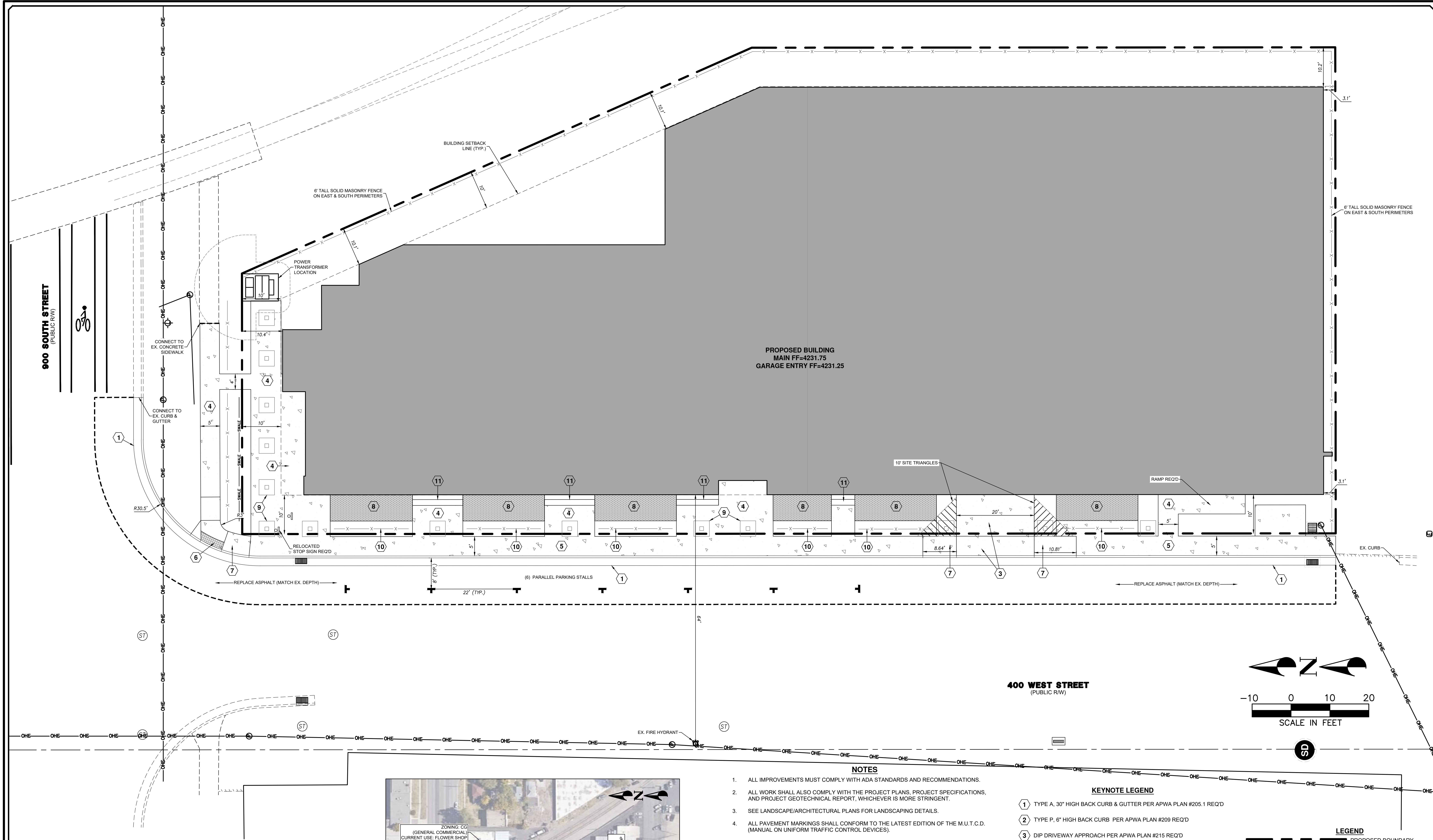
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NOVEMBER 22, 2021
LAST REVISED

SALT LAKE CITY

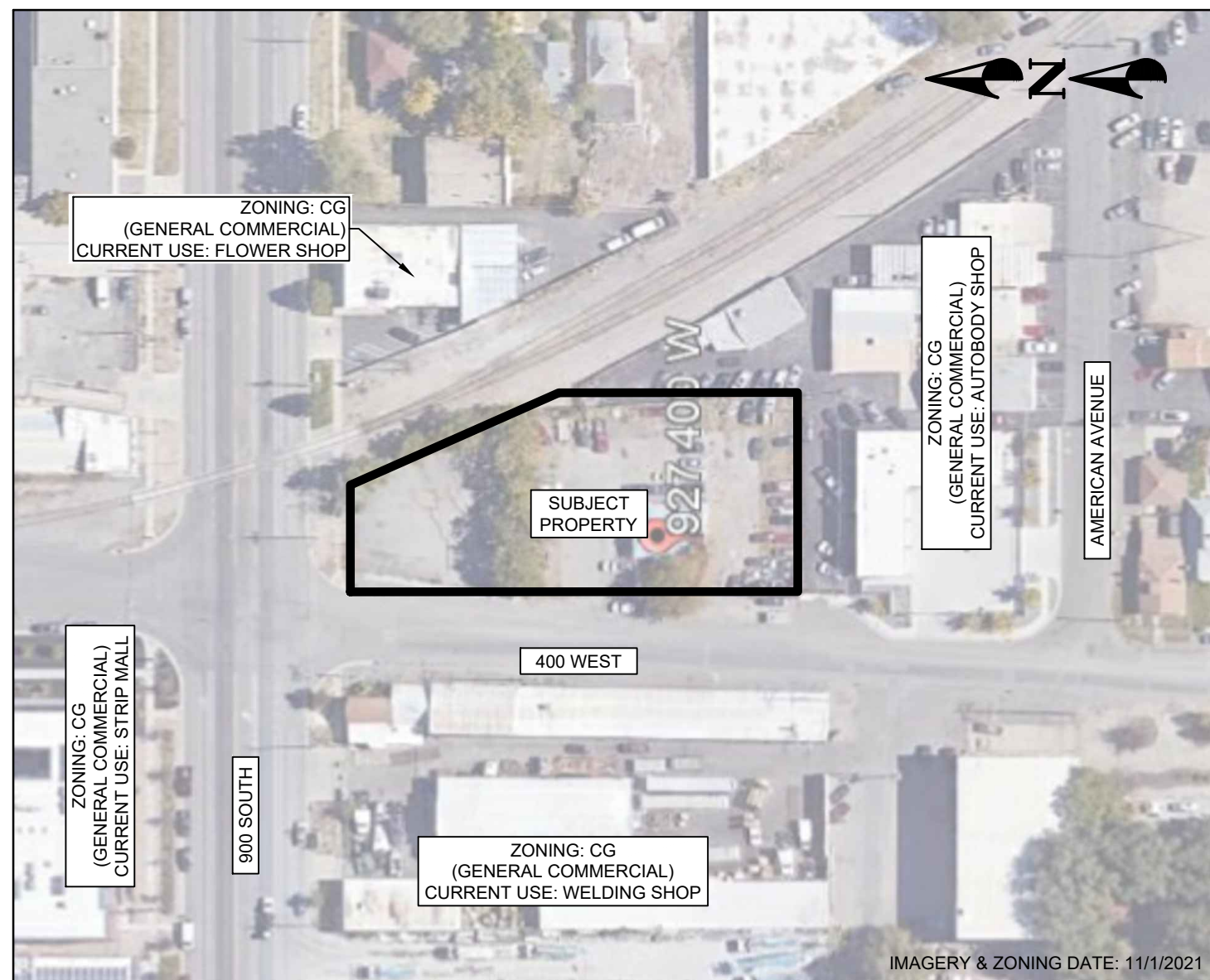
PRELIMINARY
NOT FOR
CONSTRUCTION

SHEET NO. **C101**



SITE AREA BREAKDOWN TABLE

	AREA (SQ. FT.)	% OF TOTAL
LOT AREA	31,337	100.00
BUILDINGS	23,381	74.61



VICINITY MAP & ZONING EXHIBIT

SCALE: 1" = 100'

NOTES

- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- ALL WORK SHALL ALSO COMPLY WITH THE PROJECT PLANS, PROJECT SPECIFICATIONS, AND PROJECT GEOTECHNICAL REPORT, WHICHEVER IS MORE STRINGENT.
- SEE LANDSCAPE/ARCHITECTURAL PLANS FOR LANDSCAPING DETAILS.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS, AND STRUCTURES, WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DOCUMENTS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING WORK ON OR ADJACENT TO A PUBLIC ROAD TO PROVIDE, INSTALL, AND MAINTAIN APPROPRIATE TRAFFIC CONTROL DEVICES, AS WELL AS ANY ADDITIONAL TRAFFIC CONTROL DEVICES THAT MAY BE REQUIRED TO ENSURE SAFE AND EFFICIENT MOVEMENT OF TRAFFIC AND PEDESTRIANS THROUGH OR AROUND THE WORK AREA AND TO PROVIDE MAXIMUM PROTECTION AND SAFETY TO ROAD WORKERS.
- PRIOR TO WORKING IN THE PUBLIC RIGHT OF WAY, A LICENSED, INSURED AND BONDED CONTRACTOR, WHO HAS SAID INFORMATION ON FILE WITH SLC ENGINEERING, MUST OBTAIN A PUBLIC WAY PERMIT FROM SLC ENGINEERING AND PERHAPS A TRANSPORTATION PERMIT. ALL WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW APWA STANDARD PLANS AND SPECIFICATIONS.
- ALL TREE REMOVAL AND PLANTING IN THE PUBLIC RIGHT OF WAY REQUIRES A PERMIT AND SHALL COMPLY WITH SALT LAKE CITY URBAN FORESTRY TREE PROTECTION AND PRESERVATION POLICY.
- ALL GROUND MOUNTED UTILITY BOX LOCATIONS SHALL COMPLY WITH SLC STANDARDS, SPECIFICATIONS AND ORDINANCES. COORDINATE WITH UTILITY SERVICE COMPANIES FOR LOCATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.

KEYNOTE LEGEND

- TYPE A, 30" HIGH BACK CURB & GUTTER PER APWA PLAN #205.1 REQ'D
- TYPE P, 6" HIGH BACK CURB PER APWA PLAN #209 REQ'D
- DIP DRIVEWAY APPROACH PER APWA PLAN #215 REQ'D
- 4" CONCRETE SIDEWALK PER APWA PLAN #231 REQ'D
- 6" CONCRETE SIDEWALK PER APWA PLAN #231 REQ'D
- DETECTABLE WARNING SURFACE PER APWA PLAN #238 REQ'D
- ADA RAMP REQ'D
- PAVER & CONCRETE SIDEWALK PER SLC STANDARDS REQ'D
- TREE PLANTER BOX (TYP., SEE LANDSCAPING PLANS)
- 3" PERFORATED METAL SCREEN FENCE REQ'D
- 18" CONCRETE SEATWALL REQ'D (SEE LANDSCAPING PLANS)

LEGEND

- PROPOSED BOUNDARY
- EXISTING BUILDING
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- EXISTING EDGE OF ASPHALT
- EXISTING FENCE
- PROPOSED BUILDING
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED FENCE
- PROPOSED SAWCUT LINE
- BUILDING SETBACK LINE



PEPE CONSULTING
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PHONE: (801) 562-2521 • FAX: (801) 562-2551
CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT
GEOTECHNICAL • MATERIALS TESTING • INSPECTIONS

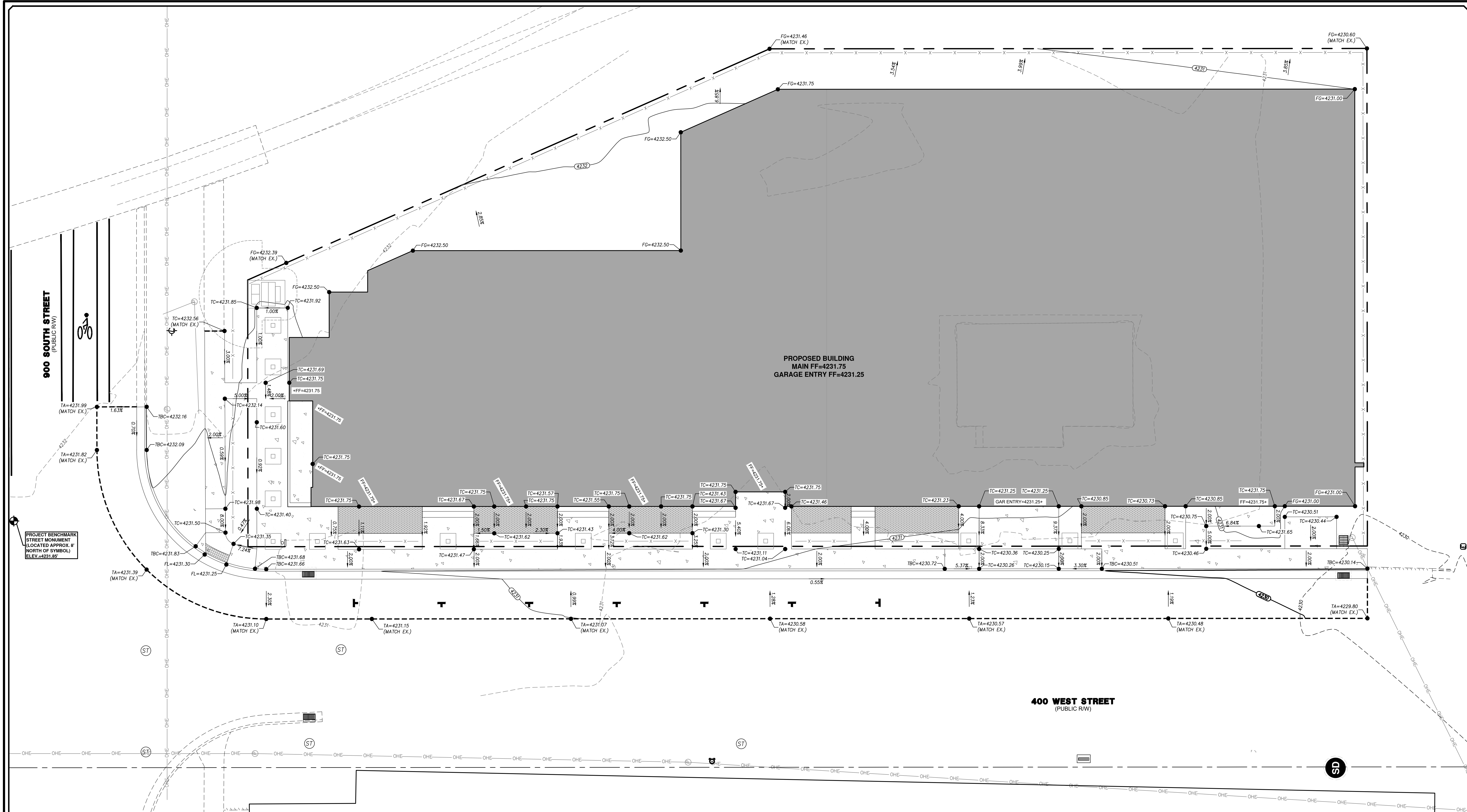
SOHI APARTMENTS
927 SOUTH 400 WEST
SITE PLAN
DWG. 02-SITE-01
DRAWING FILE
14.08.1910
PROJECT NUMBER
NOVEMBER 22, 2021
LAST REVISED

SALT LAKE CITY

PRELIMINARY
NOT FOR
CONSTRUCTION

SHEET NO. **C102**

DATE	11/1/2021
NO. DESCRIPTION	
1"=10'	
SCALE	
CHECKED BY	RLK
DESIGNED BY	TRC
DRAWN BY	TRC
SUPV. BY	TRC
DATE	4/20
ORIG. DATE	



PROJECT BENCHMARK
STREET MONUMENT
LOCATED APPROX. 8'
NORTH OF SYMBOL
ELEV.=4231.85

PROPOSED BUILDING
MAIN FF=4231.75
GARAGE ENTRY FF=4231.25

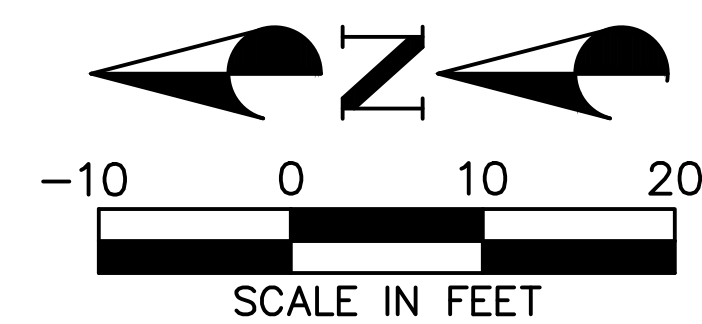
400 WEST STREET
(PUBLIC RW)

GRADING NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH GOVERNING AGENCY STANDARDS AND SPECIFICATIONS. IN THE ABSENCE OF PROJECT STANDARD AND SPECIFICATIONS APWA STANDARD AND SPECIFICATIONS SHALL GOVERN.
- CONTRACTOR SHALL RETAIN AND PROTECT ALL EXISTING IMPROVEMENTS UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE TO REPAIR ALL SIDEWALK, PAVEMENT, GRAVEL, UTILITIES, LANDSCAPING, IRRIGATION, FENCING AND EXISTING IMPROVEMENTS DAMAGED AS PART OF CONSTRUCTION.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND SPECIFICATIONS.
- ALL WORK SHALL COMPLY WITH THE PROJECT PLANS, PROJECT SPECIFICATIONS, AND PROJECT GEOTECHNICAL ENGINEERING REPORT, WHICHEVER IS THE MOST STRINGENT.
- THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT BLUE STAKES OF UTAH PRIOR TO STARTING ANY ACTIVITIES. ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATIONS ONLY.
- CONTRACTOR SHALL ENSURE FINISHED GRADE SLOPES AWAY FROM ALL STRUCTURES ACCORDING TO BUILDING CODES AND AS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.

LEGEND

- PROPOSED BOUNDARY
- EXISTING BUILDING
- EXISTING CURB & GUTTER
- EXISTING SIDEWALK
- EXISTING EDGE OF ASPHALT
- EXISTING FENCE
- EXISTING OVERHEAD ELECTRIC
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED BUILDING
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED FENCE
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- PROPOSED SAWCUT LINE



BENCHMARK

FOUND STREET MONUMENT (FLAT BRASS)
900 SOUTH & 400 W INTERSECTION
ELEVATION=4231.85
(NAVD88)



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CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT	
GEOTECHNICAL • MATERIALS TESTING • INSPECTIONS	
DATE: 4/20	SCALE: 1"=10'
SUPV. BY: PEP	TRC
DRAWN BY: TRC	TRC
DESIGNED BY: TRC	RUX
CHECKED BY: TRC	RUX
NO. DESCRIPTION	
DATE	
APP'D	
SHEET NO. C105	
PRELIMINARY NOT FOR CONSTRUCTION	
SALT LAKE CITY	
SOHI APARTMENTS	
927 SOUTH 400 WEST	
GRADING PLAN	
DWG. (25)-GRADE-01	
DRAWING FILE	
PROJECT NUMBER	
14081910	
NOVEMBER 22, 2021	
LAST REVISED	

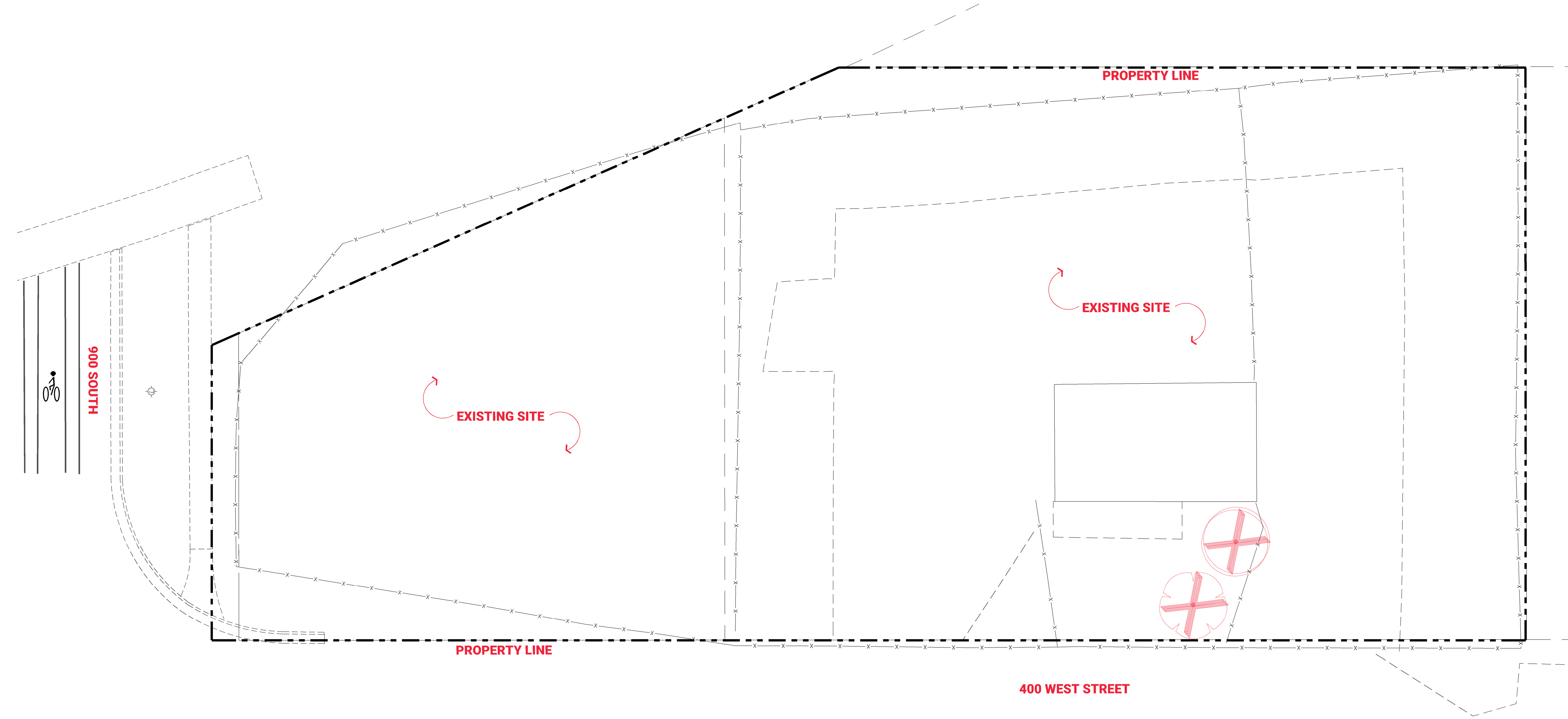
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D

C

B

A



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	CONT.	QTY
	EXISTING TREE / TO BE REMOVED SPECIES: GLEDITSIA TRIACANTHOS - DIAMETER (IN.): 12"	EXISTING	N/A	1
	EXISTING TREE / TO BE REMOVED SPECIES: GLEDITSIA TRIACANTHOS - DIAMETER (IN.): 14"	EXISTING	N/A	1

E

C

B

A

MARK	ISSUE DESCRIPTION	ISS. DATE	#	REV. DESCRIPTION	REV. DATE
SD	SCHEMATIC DESIGN	10.12.2020			

SOHI APARTMENTS
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PROJECT NUMBER
452.1905
DRAWN BY
KCF
CHECKED BY
BAR
SCHEMATIC

TREE REMOVAL PLAN

DRAWING NUMBER

LT101

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D

C






B

A





PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	SIZE	CONT.	HZONE	QTY
	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER LOCUST	2" CAL.	B&B		2
	QUERCUS BICOLOR 'BONNIE AND MIKE' TM / BEACON OAK	2" CAL.	B&B	TD4	13
	ZELKOVA SERRATA 'CITY SPRITE' / CITY SPRITE ZELKOVA	2" CAL.	B&B	TD4	15
SHRUBS	BOTANICAL / COMMON NAME	SIZE	HZONE		
	CALAMAGROSTIS X ACUTIFLORA 'KARL FORESTER' / KARL FORESTER GRASS	1 GAL.			37
	COTONEASTER LUCIDUS / PEKING COTONEASTER	5 GAL.			61
	LIGUSTRUM VULGARE 'SWIFT' STRAIGHT TALK / SWIFT STRAIGHT TALK PRIVET	5 GAL.	SD2		60
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME	SIZE	HZONE		
	PENNISETUM ALOPECUROIDES 'KARLEY ROSE' / KARLEY ROSE GRASS	1 GAL.	TW2		186
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	HZONE	SPACING	
	1-2" GREY COBBLE	ROCK MULCH	N/A		4,271 SF
	TURF SOD	SOD			769 SF
ROCK MULCH	BOTANICAL / COMMON NAME	CONT	HZONE	SPACING	
	1" PERMABARK	ROCK MULCH	N/A		1,257 SF

PLANTING SCHEDULE

SYMBOL	DESCRIPTION
	TURF AREA (TYP.)
	1/4" THICK STEEL EDGING BETWEEN ALL PLANTING AND TURF AREAS (TYP.)
	PLANTING AREA (TYP.)
	PROPERTY LINE (TYP.)
	ENHANCED PLANTINGS AT ENTRY POINT PER PLAN (TYP.)

SITE LAYOUT SCHEDULE

SYMBOL	DESCRIPTION
	ADDITIONAL LANDSCAPE AREA BOUNDARY
	TREE GRATE - URBAN ACCESSORIES - STYLE: CASCADE - SIZE: 4' X 4' - MATERIAL: 100% RECYCLED ALUMINUM - FINISH: ALUMINUM POLISH - OR APPROVED EQUAL
	LIFT BIKE RACK - URBAN ACCESSORIES - COLOR: POWDER COATED MATTE BLACK - OR APPROVED EQUAL
	CONCRETE PAVERS - ACKER STONE - PAVES: PASEO - SIZES: VARIOUS - PATTERN: RANDOM - COLOR: ANTIQUE PEWTER TM - FINISH: FM STANDARD - OR APPROVED EQUAL

SUMMARY DATA

TOTAL SITE:	31,337 SF	100%
BUILDING:	23,423 SF	75%
HARDSCAPE:	1,641 SF	5%
TOTAL LANDSCAPE AREA:	6,273 SF	20%
- TURF GRASS AREA:	769 SF	12% (OF LANDSCAPE AREA)

BASE REQUIRED LANDSCAPE AREA (TOTAL OF SIDE AND FRONT YARD SETBACK INCLUDING HARDSCAPE): 3,419 SF

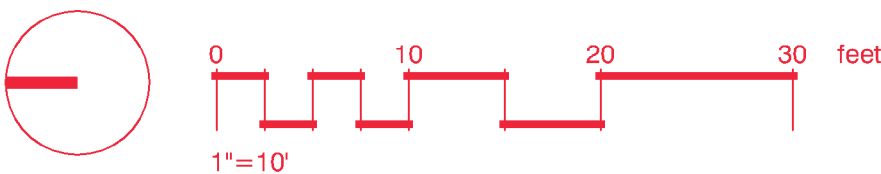
ADDITIONAL REQUIRED LANDSCAPE AREA (EQUAL TO 10% THE AREA OF ADDITIONAL FLOORS AND INSIDE PROPERTY LINE):
REQUIRED: 4,018 SF
PROVIDED: 4,271 SF

DROUGHT TOLERANT TREES AND SHRUBS (80% MINIMUM):
TREES: 100% PROVIDED - NOTE HYDROZONES ON PLANTING SCHEDULE
SHRUBS: 100% PROVIDED - NOTE HYDROZONES ON PLANTING SCHEDULE

PLEASE NOTE: TREE REMOVAL OR TREE PLANTING IN THE PUBLIC WAY REQUIRES APPROVAL FROM THE SLC URBAN FORESTRY (972-7818)

900 SOUTH

400 WEST STREET



SOHI APARMENTS
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462.1905
DWN BY
KCF
CHKD BY
BAR
SCHEMATIC

LANDSCAPE PLAN

DRAWING NUMBER

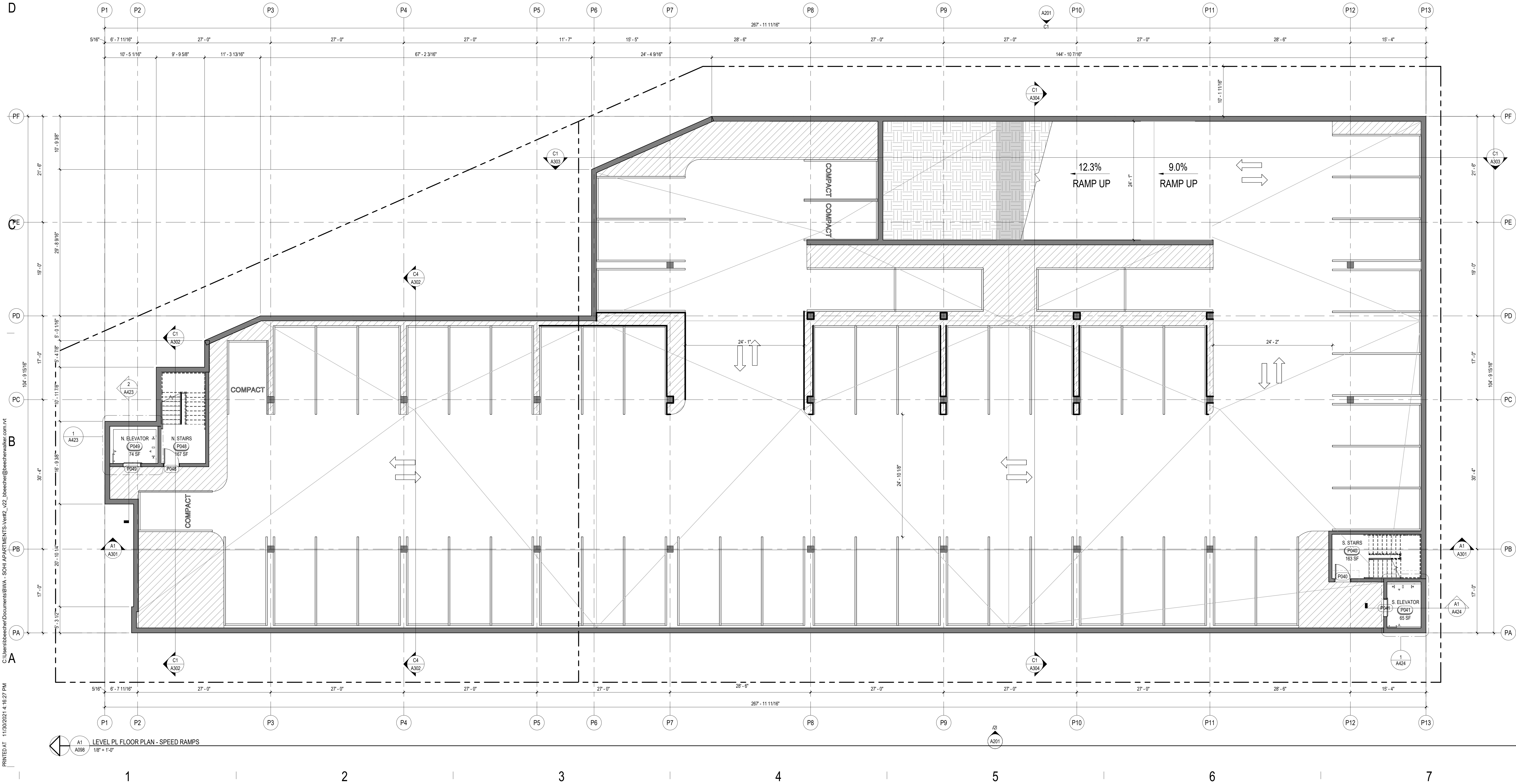
LP101

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PARKING REQUIRED			
UNIT TYPE	UNIT COUNT	SLC CODE FACTOR	REQUIRED STALLS
1 BEDROOM IC	19	1	19
1 BEDROOM IC ADA	1	1	1
2 BEDROOM OC	19	2	38
2 BEDROOM OC ADA	1	2	2
STUDIO - B	8	0.5	4
STUDIO - C	10	0.5	5
STUDIO - D	80	0.5	40
STUDIO - E	5	0.5	2.5
STUDIO - F	10	0.5	5
TOTALS	153		116.5

PARKING PROVIDED		
PARKING LEVEL	STALL TYPE	AMOUNT
LEVEL P0	COMPACT	4
LEVEL P0	STANDARD	58
		62
LEVEL P1		
LEVEL P1	ADA	4
LEVEL P1	ADA VAN	2
LEVEL P1	COMPACT	1
LEVEL P1	ELECTRIC	7
LEVEL P1	STANDARD	19
		33
LEVEL P2		
LEVEL P2	COMPACT	3
LEVEL P2	STANDARD	56
		59
TOTAL		154

MARK	ISSUE DESCRIPTION	ISS. DATE	REV.	DATE
SD	SCHEMATIC DESIGN	10/12/2020		
2	SITE PLAN REVIEW	8-11-2021		

SOHI APARTMENTS
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SALT LAKE CITY, UTAH 84101

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PROJECT NUMBER
462-1905
DWN BY
Author
CHKD BY
Checker
SITE PLAN REVIEW

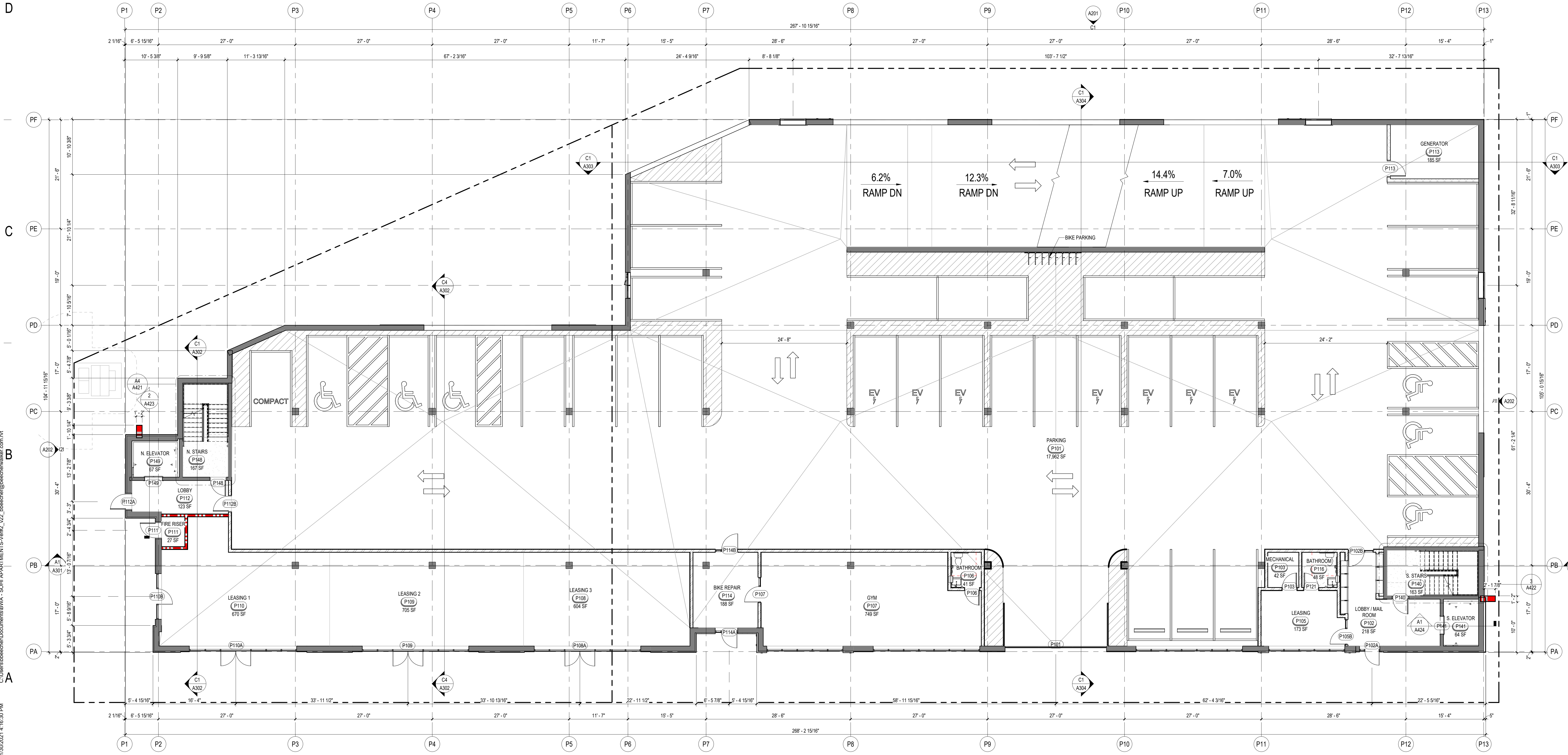
LEVEL P0 FLOOR PLAN

DRAWING NUMBER
A098

PARKING REQUIRED			
UNIT TYPE	UNIT COUNT	SLC CODE FACTOR	REQUIRED STALLS
1 BEDROOM IC	19	1	19
1 BEDROOM IC ADA	1	1	1
2 BEDROOM OC	19	2	38
2 BEDROOM OC ADA	1	2	2
STUDIO - B	8	0.5	4
STUDIO - C	10	0.5	5
STUDIO - D	80	0.5	40
STUDIO - E	5	0.5	2.5
STUDIO - F	10	0.5	5
TOTALS	153		116.5

PARKING PROVIDED		
PARKING LEVEL	STALL TYPE	AMOUNT
LEVEL P0		
LEVEL P0	COMPACT	4
LEVEL P0	STANDARD	58
		62
LEVEL P1		
LEVEL P1	ADA	4
LEVEL P1	ADA VAN	2
LEVEL P1	COMPACT	1
LEVEL P1	ELECTRIC	7
LEVEL P1	STANDARD	19
		33
LEVEL P2		
LEVEL P2	COMPACT	3
LEVEL P2	STANDARD	56
		59
TOTAL		154

MARK	ISSUE DESCRIPTION	ISS. DATE	REV. DATE
SD	SCHEMATIC DESIGN	10.02.2020	
2	SITE PLAN REVIEW	8-11-2020	



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PROJECT NUMBER
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Author
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A
SITE PLAN REVIEW

LEVEL P1 FLOOR PLAN

DRAWING NUMBER
A099

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PARKING PROVIDED		
PARKING LEVEL	STALL TYPE	AMOUNT
LEVEL P0		
LEVEL P0	COMPACT	4
LEVEL P0	STANDARD	58
		62
LEVEL P1		
LEVEL P1	ADA	4
LEVEL P1	ADA VAN	2
LEVEL P1	COMPACT	1
LEVEL P1	ELECTRIC	7
LEVEL P1	STANDARD	19
		33
LEVEL P2		
LEVEL P2	COMPACT	3
LEVEL P2	STANDARD	56
		59
TOTAL		154

MARK	ISSUE DESCRIPTION	ISS. DATE	#	REV DESCRIPTION	REV DATE
SD	SCHEMATIC DESIGN	06/03/2020			
2	SITE PLAN REVIEW	8-11-2020			



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PROJECT NUMBER
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DWN BY Author	CHKD BY Checker
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A SITE PLAN REVIEW

LEVEL P2 FLOOR PLAN

DRAWING NUMBER

A100

ROOM SCHEDULE LEVEL 1			
UNIT #	UNIT TYPE	Area	Count
102	STUDIO - F	382 SF	1
103	STUDIO - C	463 SF	1
104	STUDIO - F	338 SF	1
105	1 BEDROOM IC	583 SF	1
106	2 BEDROOM OC ADA	865 SF	1
107	1 BEDROOM IC	583 SF	1
108	2 BEDROOM OC	865 SF	1
110	STUDIO - D	369 SF	1
112	STUDIO - D	369 SF	1
113	STUDIO - E	511 SF	1
114	STUDIO - D	369 SF	1
115	1 BEDROOM IC	583 SF	1
116	STUDIO - D	369 SF	1
117	1 BEDROOM IC	583 SF	1
118	2 BEDROOM OC	864 SF	1
119	STUDIO - C	463 SF	1
120	2 BEDROOM OC	865 SF	1
123	STUDIO - D	370 SF	1
124	STUDIO - D	369 SF	1
125	STUDIO - D	369 SF	1
126	STUDIO - D	369 SF	1
127	STUDIO - D	369 SF	1
128	STUDIO - D	369 SF	1
129	STUDIO - D	369 SF	1
130	STUDIO - D	369 SF	1
131	STUDIO - D	369 SF	1
132	STUDIO - D	369 SF	1
133	STUDIO - D	369 SF	1
135	STUDIO - D	371 SF	1
GRAND TOTAL: 29			

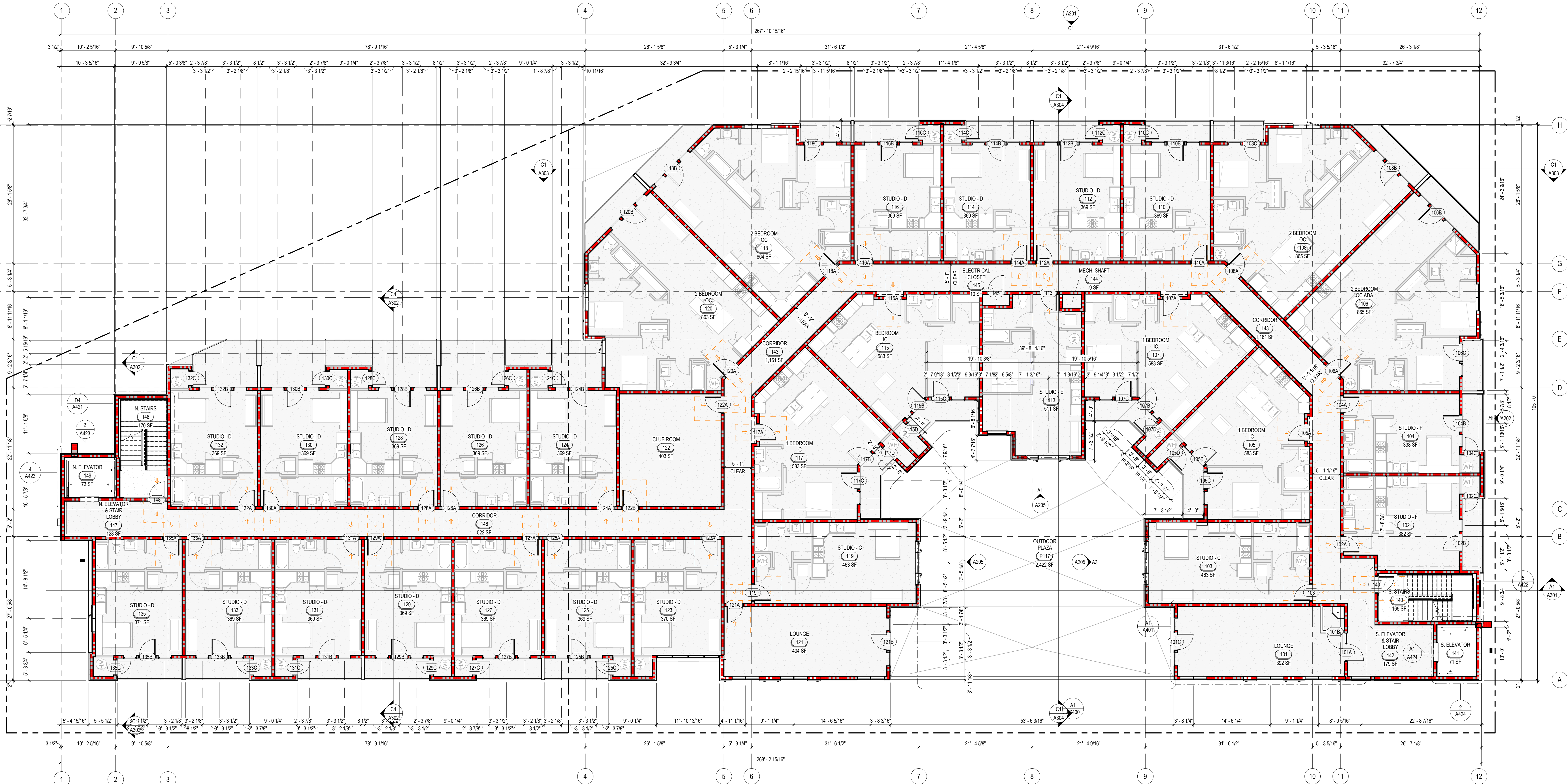
BUILDING MATRIX		
UNIT TYPE	COUNT	AVERAGE UNIT AREA
1 BEDROOM IC	19	580 SF
1 BEDROOM IC ADA	1	580 SF
2 BEDROOM OC	19	860 SF
2 BEDROOM OC ADA	1	860 SF
STUDIO - B	8	460 SF
STUDIO - C	10	460 SF
STUDIO - D	80	370 SF
STUDIO - E	5	510 SF
STUDIO - F	10	400 SF
GRAND TOTAL: 153		

FLOOR PLAN GENERAL NOTES:

- A. GENERAL NOTES APPLY TO ALL DRAWINGS.
- B. ALL DIMENSIONS ARE EXTERIOR WALL TO FACE OF EXTERIOR STRUCTURAL SHEATHING, INTERIOR WALL STUD CENTER LINE, FACE OF MASONRY AND CONCRETE OR CENTER LINE OF COLUMNS UNLESS OTHERWISE NOTED.
- C. EXTERIOR GRIDS ARE FACE OF CONCRETE OR EXTERIOR WALL STRUCTURAL SHEATHING UNLESS OTHERWISE NOTED.
- D. INTERIOR GRIDS AT DEMISING WALLS ARE CENTER LINE OF WALL STUD UNLESS OTHERWISE NOTED.
- E. INTERIOR GRIDS AT CORRIDOR ARE ON STUD FACE, CORRIDOR SIDE OF WALL.
- F. DO NOT SCALE DRAWINGS.
- G. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
- H. ELECTRICAL PLANS INDICATE THE GENERAL DESIGN AND ARRANGEMENT OF PIPES, CONDUIT, WIRING, EQUIPMENT, SYSTEMS, ETC. INFORMATION SHOWN IS DIAGNOSTIC IN CHARACTER AND DOES NOT NECESSARILY INDICATE ITEMS REQUIRED.
- I. ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNLESS OTHERWISE NOTED OTHERWISE.
- J. ALL WALL PENETRATIONS AT RATED WALL LOCATIONS REQUIRED FOR PIPES, CONDUIT, DUCTING, ETC., SHALL BE SEALED TO STOP PASSAGE OF FIRE AND/OR SMOKE WITH FIRE SAFING AND APPROVED SEALANT.
- K. ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED AND INDICATED IN THE CONTRACTORS BID.
- L. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF ALL DEBRIS GENERATED BY CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL BE IN FULL COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS. THE PREMISES SHALL BE KEPT CLEAN AND FREE FROM ALL WASTE MATERIALS.
- M. GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTORS AND SUBCONTRACTORS DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
- N. ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILING OR IN ARCHITECTS APPROVED UTILITY SPACES IN ALL CASES UNLESS NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL EXPOSED ITEMS ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACES UNLESS SCHEDULED FOR AN ACCENT COLOR.
- O. ARCHITECTURAL FINISH FLOOR ELEVATION 100'-0" EQUALS ACTUAL SITE REFERENCE OF FINISH FLOOR.
- P. SEE SHEET A610 FOR WALL TYPES.
- Q. SEE SHEET A601 FOR DOOR AND WINDOW TYPES.
- R. SEE DETAIL B5A541 FOR FIRE EXTINGUISHER CABINET.
- S. FIREBLOCKING SHALL BE INSTALLED TO CUT OFF CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE.
- T. FIREBLOCKING SHALL CONSIST OF 2-INCH NOMINAL LUMBER OR TWO THICKNESSES OF 1-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS OR ONE THICKNESS OF 0.718-INCH WOOD STRUCTURAL PANEL WITH JOINTS BACKED BY 0.718-INCH WOOD STRUCTURAL PANEL OR ONE THICKNESS OF 0.75-INCH PARTICLEBOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLEBOARD. GYPSUM BOARD, CEMENT FIBER BOARD, BATTS OR BLANKETS OF MINERAL WOOL, GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE SHALL BE PERMITTED AS AN ACCEPTABLE FIREBLOCK.
- U. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'.

FLOOR PLAN GENERAL NOTES:

- A. GENERAL NOTES APPLY TO ALL DRAWINGS.
- B. ALL DIMENSIONS ARE EXTERIOR WALL TO FACE OF STUD, INTERIOR WALL TO FACE OF GYPSUM BOARD, FACE OF MASONRY OR CENTER LINE OF COLUMNS UNLESS OTHERWISE NOTED.
- C. DO NOT SCALE DRAWINGS.
- D. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
- E. ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNLESS OTHERWISE NOTED OTHERWISE.
- F. ALL WALL PENETRATIONS AT RATED WALL LOCATIONS REQUIRED FOR PIPES, CONDUIT, DUCTING, ETC., SHALL BE SEALED TO STOP PASSAGE OF FIRE AND/OR SMOKE WITH FIRE SAFING AND APPROVED SEALANT.
- G. ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED AND INDICATED IN THE CONTRACTORS BID.
- H. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF ALL DEBRIS GENERATED BY CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL BE IN FULL COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS. THE PREMISES SHALL BE KEPT CLEAN AND FREE FROM ALL WASTE MATERIALS.
- I. GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTORS AND SUBCONTRACTORS DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
- J. ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILING OR IN ARCHITECTS APPROVED UTILITY SPACES IN ALL CASES UNLESS NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL EXPOSED ITEMS ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACES UNLESS SCHEDULED FOR AN ACCENT COLOR.
- K. ARCHITECTURAL FINISH FLOOR ELEVATION OF 100'-0" EQUALS ACTUAL SITE REFERENCE OF FINISH FLOOR ON OWN DRAWINGS.
- L. SEE SHEET A610 FOR WALL TYPES.
- M. SEE SHEET A601 FOR DOOR AND WINDOW TYPE ELEVATIONS.
- N. MEMBERS OF THE PRIMARY STRUCTURAL FRAME OTHER THAN COLUMNS THAT ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ONE ROOF, OR SUPPORT A LOAD-BEARING WALL OR A NONLOAD-BEARING WALL MORE THAN TWO STORES HIGH, SHALL BE PROVIDED INDIVIDUAL ENCASEMENT PROTECTION BY PROTECTING THEM ON ALL SIDES FOR THEIR FULL LENGTH, INCLUDING CONNECTIONS TO OTHER STRUCTURAL MEMBERS, WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING. SEE SHEET G003.
- O. GENERAL CONTRACTOR SHALL COORDINATE THE SIZE, THICKNESS AND LOCATION OF CONCRETE HOUSEKEEPING PADS WITH MECHANICAL AND ELECTRICAL EQUIPMENT SUPPLIES.
- P. FIREBLOCKING SHALL BE INSTALLED AT OPENINGS AROUND VENT PIPES AND DUCTS AT CEILING AND FLOOR LEVELS WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION.



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PROJECT NUMBER
462-1905
DWN BY
Author
CHKD BY
Checker
SITE PLAN REVIEW

LEVEL 1 FLOOR PLAN

DRAWING NUMBER

A101

ROOM SCHEDULE LEVEL 2			
UNIT #	UNIT TYPE	Area	Count

201	STUDIO - B	410 SF	1
202	STUDIO - F	382 SF	1
203	STUDIO - C	463 SF	1
204	STUDIO - F	338 SF	1
205	1 BEDROOM IC ADA	583 SF	1
206	2 BEDROOM OC	865 SF	1
207	1 BEDROOM IC	583 SF	1
208	2 BEDROOM OC	865 SF	1
210	STUDIO - D	369 SF	1
212	STUDIO - D	369 SF	1
213	STUDIO - E	511 SF	1
214	STUDIO - D	369 SF	1
215	1 BEDROOM IC	583 SF	1
216	STUDIO - D	369 SF	1
217	1 BEDROOM IC	583 SF	1
218	2 BEDROOM OC	864 SF	1
219	STUDIO - C	463 SF	1
220	2 BEDROOM OC	863 SF	1
221	STUDIO - B	404 SF	1
222	STUDIO - D	370 SF	1
224	STUDIO - D	369 SF	1
225	STUDIO - D	369 SF	1
226	STUDIO - D	369 SF	1
227	STUDIO - D	369 SF	1
228	STUDIO - D	369 SF	1
229	STUDIO - D	369 SF	1
230	STUDIO - D	369 SF	1
231	STUDIO - D	369 SF	1
232	STUDIO - D	369 SF	1
233	STUDIO - D	369 SF	1
235	STUDIO - D	371 SF	1
GRAND TOTAL 31			

BUILDING MATRIX		
UNIT TYPE	COUNT	AVERAGE UNIT AREA

1 BEDROOM IC	19	580 SF
1 BEDROOM IC ADA	1	580 SF
2 BEDROOM OC	19	860 SF
2 BEDROOM OC ADA	1	860 SF
STUDIO - B	8	400 SF
STUDIO - C	10	460 SF
STUDIO - D	80	370 SF
STUDIO - E	5	510 SF
STUDIO - F	10	400 SF
GRAND TOTAL: 153		

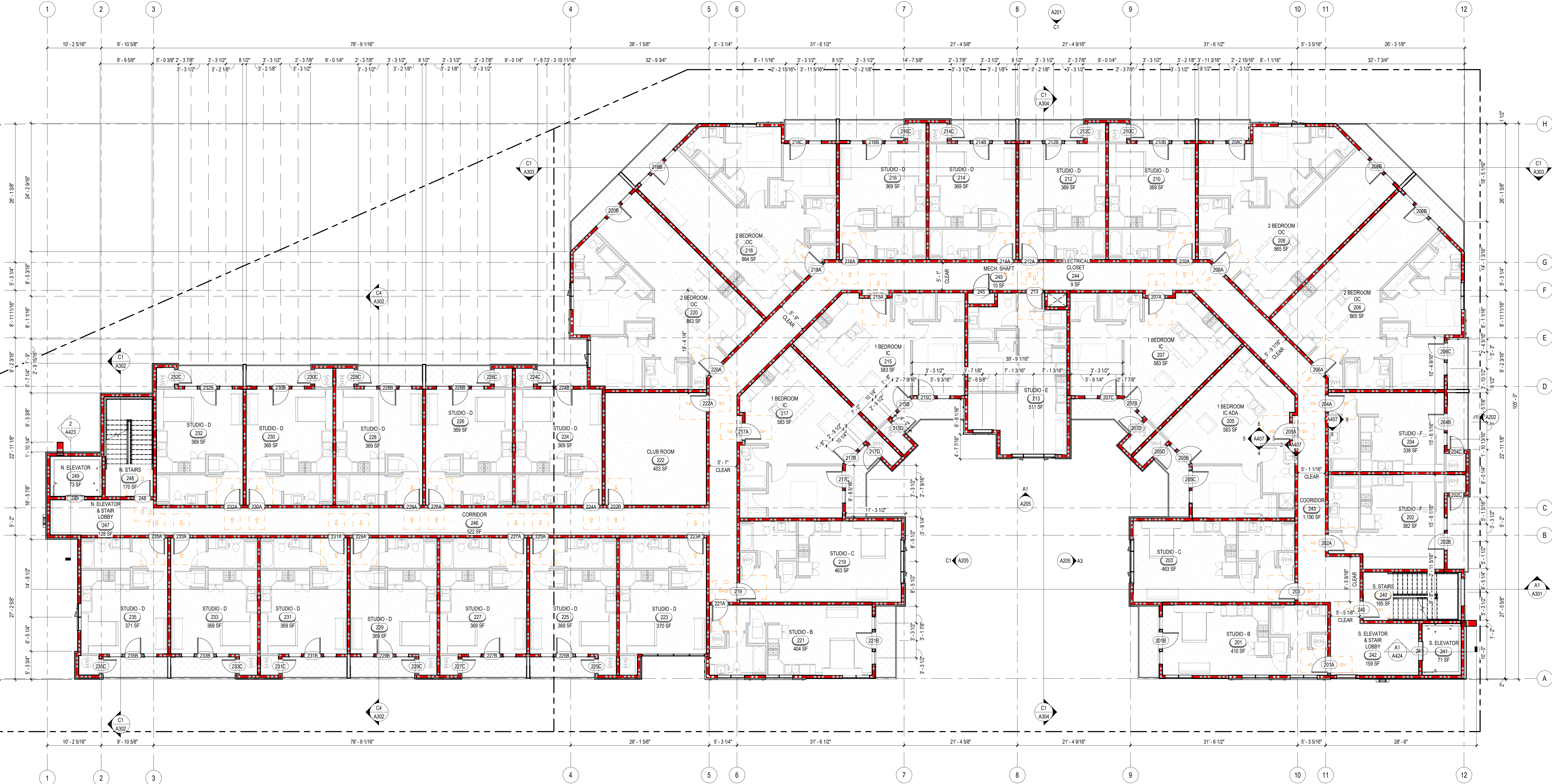
FLOOR PLAN GENERAL NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS.
- ALL DIMENSIONS ARE EXTERIOR WALL TO FACE OF EXTERIOR STRUCTURAL SHEATHING, INTERIOR WALL STUD CENTER LINE, FACE OF MASONRY AND CONCRETE OR CENTER LINE OF COLUMNS UNLESS OTHERWISE NOTED.
- EXTERIOR GRIDS ARE FACE OF CONCRETE OR EXTERIOR WALL STRUCTURAL SHEATHING UNLESS OTHERWISE NOTED.
- INTERIOR GRIDS AT DEMISING WALLS ARE CENTER LINE OF WALL STUD UNLESS OTHERWISE NOTED.
- INTERIOR GRIDS AT CORRIDOR ARE ON STUD FACE, CORRIDOR SIDE OF WALL.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
- ELECTRICAL PLANS INDICATE THE GENERAL DESIGN AND ARRANGEMENT OF PIPES, CONDUIT, WIRING, EQUIPMENT, SYSTEMS, ETC., INFORMATION SHOWN IS DIAGRAMATIC IN CHARACTER AND DOES NOT NECESSARILY INDICATE EVERY REQUIRED OFFSET, FITTING AND EXISTING CONDITION WHEN APPLIED. LOCATION OF THESE ITEMS MAY BE ADJUSTED CONDITIONAL UPON THE SATISFACTORY COMPLIANCE WITH ALL OTHER REQUIREMENTS.
- ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNUSED UNLESS NOTED OTHERWISE.
- ALL WALL PENETRATIONS AT RATED WALL LOCATIONS REQUIRED FOR PIPES, CONDUIT, DUCTING, ETC., SHALL BE SEALED TO STOP PASSAGE OF FIRE AND/OR SMOKE WITH FIRE SAFING AND APPROVED SEALANT.
- ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED AND INDICATED IN THE CONTRACTORS BID.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF ALL DEBRIS GENERATED BY CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL BE IN FULL COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS. THE PREMISES SHALL BE KEPT CLEAN AND FREE FROM ALL WASTE MATERIALS.
- GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTORS AND SUBCONTRACTORS DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
- ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILING OR IN ARCHITECTS APPROVED UTILITY SPACES IN ALL CASES UNLESS NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL EXPOSED ITEMS ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACES UNLESS SCHEDULED FOR AN ACCENT COLOR SHEET.
- ARCHITECTURAL FINISH FLOOR ELEVATION 100'-0" EQUALS ACTUAL SITE REFERENCE OF FINISH FLOOR.
- SEE SHEET A610 FOR WALL TYPES.
- SEE SHEET A601 FOR DOOR AND WINDOW TYPES.
- SEE DETAIL 501541 FOR FIRE EXTINGUISHER CABINET.
- FIREBLOCKING SHALL BE INSTALLED TO CUT OFF CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE.
- FIREBLOCKING SHALL CONSIST OF 2-INCH NOMINAL LUMBER OR TWO THICKNESSES OF 1-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS OR ONE THICKNESS OF 0.718-INCH WOOD STRUCTURAL PANEL WITH JOINTS BACKED BY 0.718-INCH WOOD STRUCTURAL PANEL OR ONE THICKNESS OF 0.75-INCH PARTICLEBOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLEBOARD. GYPSUM BOARD, CEMENT FIBER BOARD, BATTS OR BLANKETS OF MINERAL WOOL, GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE SHALL BE PERMITTED AS AN ACCEPTABLE FIREBLOCK.
- FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'.

- FIREBLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS.
- FIREBLOCKING SHALL BE INSTALLED AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND STRUCTURAL PANEL, 0.375-INCH PARTICLEBOARD, 1-INCH NOMINAL LUMBER, CEMENT FIBERBOARD, BATTS, OR BLANKETS OF MINERAL WOOL, OR GLASS FIBER OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. THE INTERGITY OF DRAFTSTOPS SHALL BE MAINTAINED.
- DRAFTSTOPPING SHALL BE PROVIDED IN FLOORCEILING SPACES. DRAFTSTOPPING SHALL BE LOCATED ABOVE AND IN LINE WITH THE DWELLING UNIT AND SLEEPING UNIT SEPARATIONS.
- AA DRAFTSTOPPING - IN COMBUSTIBLE CONSTRUCTION, DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE THE ATTIC SPACES AND CONCEALED ROOF SPACES. VENTILATION OF CONCEALED ROOF SPACES SHALL BE MAINTAINED IN ACCORDANCE WITH THE 2018 IRC.
- BB DRAFTSTOPPING - OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.
- CC DRAFTSTOPPING SHALL BE INSTALLED ABOVE, AND IN LINE WITH, SLEEPING UNIT AND DWELLING UNIT SEPARATION WALLS THAT DO NOT EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING ABOVE.
- DD DRAFTSTOPS MUST BE PLACED INTO AREAS NOT EXCEEDING 3,000 SQUARE FEET OR ABOVE EVERY TWO DWELLING UNITS, WHICHEVER IS SMALLER.
- EE ALL SWITCHES, OUTLETS, AND CONTROLS ON ALL FLOORS ARE TO BE LOCATED PER ADA STANDARDS.
- FF IN ALL UNITS - HENROTICING & OR BLOCKING FOR GRAB BARS IN ALL RESTROOM WALLS AROUND TOILET, TUB, SHOWERS, ETC. ARE TO BE LOCATED AS PER ENLARGED UNIT SHEETS.
- GG APPE-ROCK RESTROOM WALLS AROUND TUBS AND SHOWERS LOCATED AS PER ENLARGED UNIT SHEET.
- HH ALL DWELLING UNITS ARE TO BE ACCESSIBLE AS REQUIRED BY ANSI A117.1-2017 (SEE SHEET 6002). 2% WILL BE TYPE "A" UNITS. THE REMAINING WILL BE TYPE "B" UNITS.
- II ALL EXTERIOR BALCONIES ARE NOT RATED, BUT WILL BE PROVIDED WITH SPRINKLER PROTECTION TO THOSE AREAS AS DIRECTED BY IBC 1408.3 EXCEPTION 3.
- JJ FIRE DEPARTAMENT STAIRS EQUIPMENT IS NOT TO ENCRACH INTO THE STAIR LANDING BEYOND THE RAILING EXTENDING FROM THE INSIDE CORNER OF THE REQUIRED STAIR LANDING WIDTH.
- KK DRYER/EXHAUST VENTS TO BE LOCATED AWAY FROM ANY OPERABLE WINDOWS/DOORS AS PER 2018 IRC.
- LL MEMBERS OF THE PRIMARY STRUCTURAL FRAME OTHER THAN COLUMNS THAT ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ONE ROOF, OR SUPPORT A LOAD-BEARING WALL OR A NONLOAD-BEARING WALL MORE THAN TWO STORIES HIGH, SHALL BE PROVIDED INDIVIDUAL ENCASEMENT PROTECTION BY PROTECTING THEM ON ALL SIDES FOR THEIR FULL LENGTH, INCLUDING CONNECTIONS TO OTHER STRUCTURAL MEMBERS, WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING.

FLOOR PLAN GENERAL NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS.
- ALL DIMENSIONS ARE EXTERIOR WALL TO FACE OF STUD, INTERIOR WALL TO FACE OF GYPSUM BOARD, FACE OF MASONRY OR CENTER LINE OF COLUMNS UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
- ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNUSED UNLESS NOTED OTHERWISE.
- ALL WALL PENETRATIONS AT RATED WALL LOCATIONS REQUIRED FOR PIPES, CONDUIT, DUCTING, ETC., SHALL BE SEALED TO STOP PASSAGE OF FIRE AND/OR SMOKE WITH FIRE SAFING AND APPROVED SEALANT.
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- ARCHITECTURAL FINISH FLOOR ELEVATION OF 100'-0" EQUALS ACTUAL SITE REFERENCE OF FINISH FLOOR ON CIVIL DRAWINGS.
- SEE SHEET A610 FOR WALL TYPES.
- SEE SHEET A601 FOR DOOR AND WINDOW TYPE ELEVATIONS.
- MEMBERS OF THE PRIMARY STRUCTURAL FRAME OTHER THAN COLUMNS THAT ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ONE ROOF, OR SUPPORT A LOAD-BEARING WALL OR A NONLOAD-BEARING WALL MORE THAN TWO STORIES HIGH, SHALL BE PROVIDED INDIVIDUAL ENCASEMENT PROTECTION BY PROTECTING THEM ON ALL SIDES FOR THEIR FULL LENGTH, INCLUDING CONNECTIONS TO OTHER STRUCTURAL MEMBERS, WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING. SEE SHEET 6003.
- GENERAL CONTRACTOR SHALL COORDINATE THE SIZE, THICKNESS AND LOCATION OF CONCRETE HOUSEKEEPING PADS WITH MECHANICAL AND ELECTRICAL EQUIPMENT SUPPLIERS.
- FIREBLOCKING SHALL BE INSTALLED AT OPENINGS AROUND VENT PIPES AND DUCTS AT CEILING AND FLOOR LEVELS WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION.



LEVEL 2 FLOOR PLAN
1" = 1'-0"

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PROJECT NUMBER
462-1905
DWN BY
Author
CHKD BY
Checker
SITE PLAN REVIEW

LEVEL 2 FLOOR PLAN

DRAWING NUMBER

A102

ROOM SCHEDULE LEVEL 3

ROOM	UNIT TYPE	Area	Count
301	STUDIO - B	410 SF	1
302	STUDIO - F	382 SF	1
303	STUDIO - C	463 SF	1
304	STUDIO - F	382 SF	1
305	1 BEDROOM IC	583 SF	1
306	2 BEDROOM OC	865 SF	1
307	1 BEDROOM IC	583 SF	1
308	2 BEDROOM OC	865 SF	1
310	STUDIO - D	369 SF	1
312	STUDIO - D	369 SF	1
313	STUDIO - E	511 SF	1
314	STUDIO - D	369 SF	1
315	1 BEDROOM IC	583 SF	1
316	STUDIO - D	369 SF	1
317	1 BEDROOM IC	583 SF	1
318	2 BEDROOM OC	864 SF	1
319	STUDIO - C	463 SF	1
320	2 BEDROOM OC	863 SF	1
321	STUDIO - B	404 SF	1
323	STUDIO - D	370 SF	1
324	STUDIO - D	369 SF	1
325	STUDIO - D	369 SF	1
326	STUDIO - D	369 SF	1
327	STUDIO - D	369 SF	1
328	STUDIO - D	369 SF	1
329	STUDIO - D	369 SF	1
330	STUDIO - D	369 SF	1
331	STUDIO - D	369 SF	1
332	STUDIO - D	369 SF	1
333	STUDIO - D	371 SF	1
335	STUDIO - D	371 SF	1
GRAND TOTAL 31			

BUILDING MATRIX

UNIT TYPE	COUNT	AVERAGE UNIT AREA
1 BEDROOM IC	19	580 SF
1 BEDROOM IC ADA	1	580 SF
2 BEDROOM OC	19	860 SF
2 BEDROOM OC ADA	1	860 SF
STUDIO - B	8	400 SF
STUDIO - C	10	460 SF
STUDIO - D	80	370 SF
STUDIO - E	5	510 SF
STUDIO - F	10	400 SF
GRAND TOTAL 153		

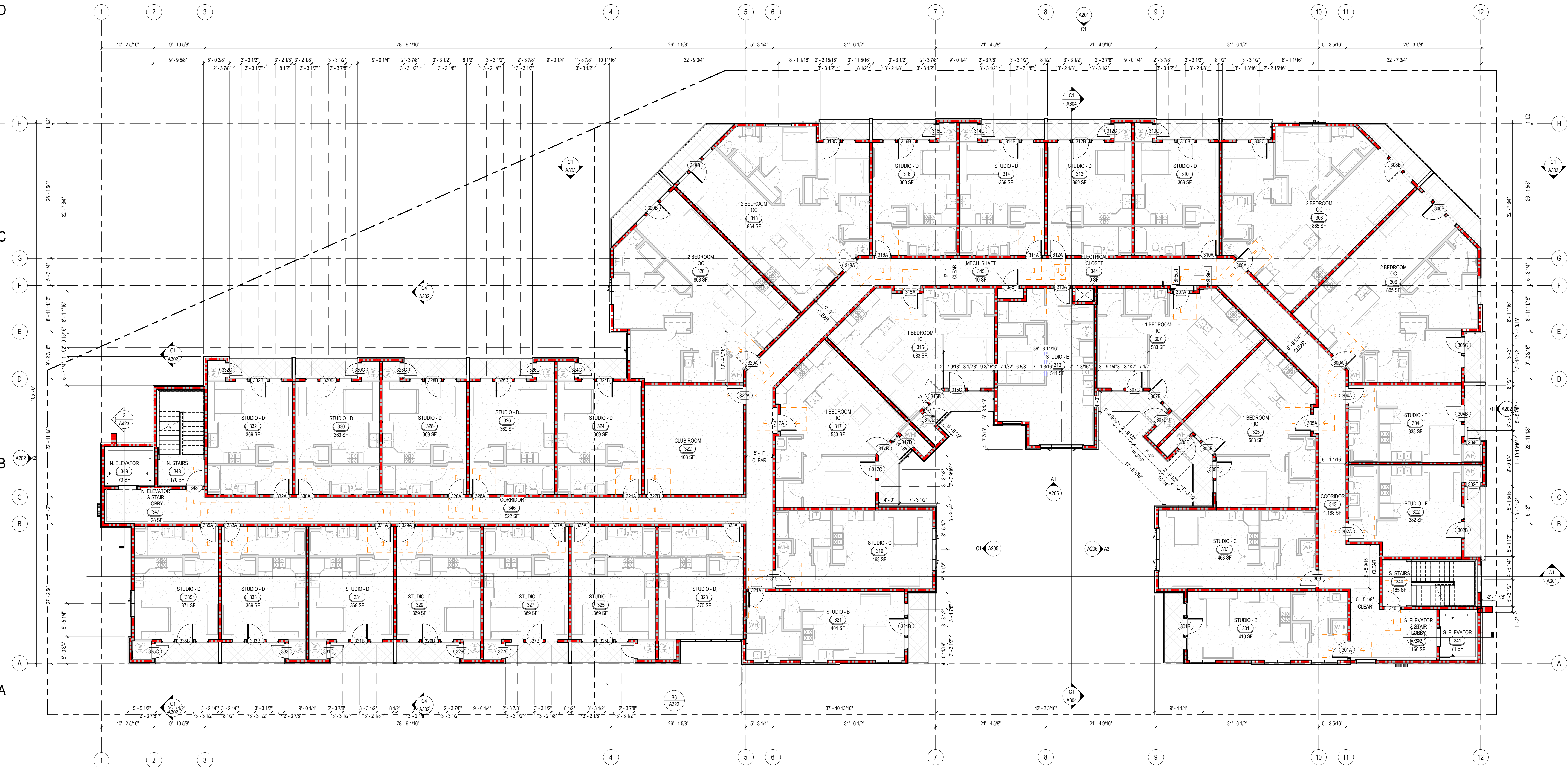
FLOOR PLAN GENERAL NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS.
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- EXTERIOR GRIDS ARE FACE OF CONCRETE OR EXTERIOR WALL STRUCTURAL SHEATHING UNLESS OTHERWISE NOTED.
- INTERIOR GRIDS AT DEMISING WALLS ARE CENTER LINE OF WALL STUD UNLESS OTHERWISE NOTED.
- INTERIOR GRIDS AT CORRIDOR ARE ON STUD FACE, CORRIDOR SIDE OF WALL.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
- ELECTRICAL PLANS INDICATE THE GENERAL DESIGN AND ARRANGEMENT OF PIPES, CONDUIT, WIRING, EQUIPMENT, SYSTEMS, ETC. INFORMATION SHOWN IS DIAGRAMMATIC IN CHARACTER AND DOES NOT NECESSARILY INDICATE EVERY REQUIRED OFFSET, FITTING AND EXISTING CONDITION WHEN APPLIED. LOCATION OF THESE ITEMS MAY BE ADJUSTED CONDITIONAL UPON THE SATISFACTORY COMPLIANCE WITH ALL OTHER REQUIREMENTS.
- ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNLESS OTHERWISE NOTED OTHERWISE.
- ALL WALL PENETRATIONS AT RATED WALL LOCATIONS REQUIRED FOR PIPES, CONDUIT, DUCTING, ETC. SHALL BE SEALED TO STOP PASSAGE OF FIRE AND/OR SMOKE WITH FIRE SAFING AND APPROVED SEALANT.
- ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED AND INDICATED IN THE CONTRACTORS BID.
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- ARCHITECTURAL FINISH FLOOR ELEVATION 100'-0" EQUALS ACTUAL, SITE REFERENCE OF FINISH FLOOR.
- SEE SHEET A810 FOR WALL TYPES.
- SEE SHEET A810 FOR DOOR AND WINDOW TYPES.
- SEE DETAIL BOARD FOR FIRE EXTINGUISHER CABINET.
- FIREBLOCKING SHALL BE INSTALLED TO CUT OFF CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE.
- FIREBLOCKING SHALL CONSIST OF 1/2-INCH NOMINAL LUMBER OR TWO THICKNESSES OF 1/2-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS OR ONE THICKNESS OF 0.75-INCH WOOD STRUCTURAL PANEL WITH JOINTS BACKED BY 0.75-INCH WOOD STRUCTURAL PANEL, OR ONE THICKNESS OF 0.75-INCH PARTICLEBOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLEBOARD, OR GYPSUM BOARD, CEMENT FIBER BOARD, BATTIS OR BLANKETS OF MINERAL WOOL, GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE SHALL BE PERMITTED AS AN ACCEPTABLE FIREBLOCK.
- FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
1. VERTICALLY AT INTERVALS NOT EXCEEDING 17'.
2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 17'.

- FIREBLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS.
- FIREBLOCKING SHALL BE INSTALLED AT OPENINGS AROUND VENTS PIPES, DUCTS CHIMNEYS AND PREPLACES AT CEILING AND FLOOR LEVELS, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION. FACTORY-BUILT CHIMNEYS AND PREPLACES SHALL BE FIREBLOCKED IN ACCORDANCE WITH UL 103 AND UL 127.
- DRAFTSTOPPING - IN COMBUSTIBLE CONSTRUCTION, DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE FLOOR/CEILING ASSEMBLIES.
- DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 0.5-INCH GYPSUM BOARD, 0.375-INCH WOOD STRUCTURAL PANEL, 0.375-INCH PARTICLEBOARD, 1-INCH NOMINAL LUMBER, CEMENT FIBERBOARD, BBATS, OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. THE INTEGRITY OF DRAFTSTOPS SHALL BE MAINTAINED.
- DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/CEILING SPACES. DRAFTSTOPPING SHALL BE LOCATED ABOVE AND IN LINE WITH THE DWELLING UNIT AND SLEEPING UNIT SEPARATIONS.
- DRAFTSTOPPING - IN COMBUSTIBLE CONSTRUCTION, DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE THE ATTIC SPACES AND CONCEALED ROOF SPACES. VENTILATION OF CONCEALED ROOF SPACES SHALL BE MAINTAINED IN ACCORDANCE WITH THE 2018 IRC.
- DRAFTSTOPPING - OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.
- DRAFTSTOPPING SHALL BE INSTALLED ABOVE AND IN LINE WITH SLEEPING UNIT AND DWELLING UNIT SEPARATION WALLS THAT DO NOT EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING ABOVE.
- ADJUTASTOPS MUST BE PLACED INTO AREAS NOT EXCEEDING 3.00 SQUARE FEET OR ABOVE EVERY TWO DWELLING UNITS, WHICHEVER IS SMALLER.
- ALL SWITCHES, OUTLETS, AND CONTROLS ON ALL FLOORS ARE TO BE LOCATED PER ADA STANDARDS.
- IN ALL UNITS - REINFORCING A OR BLOCKING FOR GRAB BARS IN ALL RESTROOM WALLS AROUND TOILET, TUB, SHOWERS, ETC. ARE TO BE LOCATED AS PER ENLARGED UNIT SHEETS.
- APR-ROCK RESTROOM WALLS AROUND TUBS AND SHOWERS LOCATED AS PER ENLARGED UNIT SHEETS.
- ALL DWELLING UNITS ARE TO BE ACCESSIBLE AS REQUIRED BY ANSI A117.1-2017 (SEE SHEET G002). 2% WILL BE TYPE "A" UNITS THE REMAINING WILL BE TYPE "B" UNITS.
- SEE SHEET A810 FOR DOOR AND WINDOW TYPES.
- ALL EXTERIOR BALCONIES ARE NOT RATED, BUT WILL BE PROVIDED WITH SPRINKLER PROTECTION TO THOSE AREAS AS DIRECTED BY IBC 1406.3 EXCEPTION 3.
- THE FIRE DEPARTMENT STANDPIPE EQUIPMENT IS NOT TO ENCRACH INTO THE STAIR LANDING BEYOND THE RADIUS EXTENDING FROM THE INSIDE CORNER OF THE REQUIRED STAIR LANDINGS WITH OR KRYE/EXHAUST VENTS TO BE LOCATED AWAY FROM ANY OPERABLE WINDOWS/DOORS AS PER 2018 IRC.
- MEMBERS OF THE PRIMARY STRUCTURAL FRAME OTHER THAN COLUMNS THAT ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ONE ROOF, OR SUPPORT A LOAD-BEARING WALL OR A NONLOAD-BEARING WALL MORE THAN TWO STORIES HIGH, SHALL BE PROVIDED INDIVIDUAL ENCASEMENT PROTECTION BY PROTECTING THEM ON ALL SIDES FOR THEIR FULL LENGTH, INCLUDING CONNECTIONS TO OTHER STRUCTURAL MEMBERS, WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING.

FLOOR PLAN GENERAL NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS.
- ALL DIMENSIONS ARE EXTERIOR WALL TO FACE OF STUD, INTERIOR WALL TO FACE OF GYPSUM BOARD, FACE OF MASONRY OR CENTER LINE OF COLUMNS UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
- ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNLESS OTHERWISE NOTED OTHERWISE.
- ALL WALL PENETRATIONS AT RATED WALL LOCATIONS REQUIRED FOR PIPES, CONDUIT, DUCTING, ETC. SHALL BE SEALED TO STOP PASSAGE OF FIRE AND/OR SMOKE WITH FIRE SAFING AND APPROVED SEALANT.
- ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED AND INDICATED IN THE CONTRACTORS BID.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF ALL DEBRIS GENERATED BY CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL BE IN FULL COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS. THE PREMISES SHALL BE KEPT CLEAN AND FREE FROM ALL WASTE MATERIALS.
- GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTORS AND SUBCONTRACTORS DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
- ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILING OR IN ARCHITECTS APPROVED UTILITY SPACES IN ALL CASES UNLESS NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL EXPOSED ITEMS ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACES UNLESS SCHEDULED FOR AN ACCENT COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATION OF 100'-0" EQUALS ACTUAL, SITE REFERENCE OF FINISH FLOOR ON CIVIL DRAWINGS.
- SEE SHEET A810 FOR WALL TYPES.
- SEE SHEET A801 FOR DOOR AND WINDOW TYPE ELEVATIONS.
- MEMBERS OF THE PRIMARY STRUCTURAL FRAME OTHER THAN COLUMNS THAT ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ONE ROOF, OR SUPPORT A LOAD-BEARING WALL OR A NONLOAD-BEARING WALL MORE THAN TWO STORIES HIGH, SHALL BE PROVIDED INDIVIDUAL ENCASEMENT PROTECTION BY PROTECTING THEM ON ALL SIDES FOR THEIR FULL LENGTH, INCLUDING CONNECTIONS TO OTHER STRUCTURAL MEMBERS, WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING. SEE SHEET G003.
- GENERAL CONTRACTOR SHALL COORDINATE THE SIZE, THICKNESS AND LOCATION OF CONCRETE HOUSEKEEPING PADS WITH MECHANICAL AND ELECTRICAL EQUIPMENT SUPPLERS.
- FIREBLOCKING SHALL BE INSTALLED AT OPENINGS AROUND VENT PIPES AND DUCTS AT CEILING AND FLOOR LEVELS WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION.



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PROJECT NUMBER
482-1905
DWN BY: Author CHD BY: Checker
SITE PLAN REVIEW

LEVEL 3 FLOOR PLAN

DRAWING NUMBER

A103

This drawing is an integral part of the contract documents for the project. It is not to be used in isolation. It is to be read in conjunction with the other drawings and specifications. It is the responsibility of the user to ensure that the drawing is used in accordance with the contract documents. The user is not to be held responsible for any errors or omissions in this drawing.

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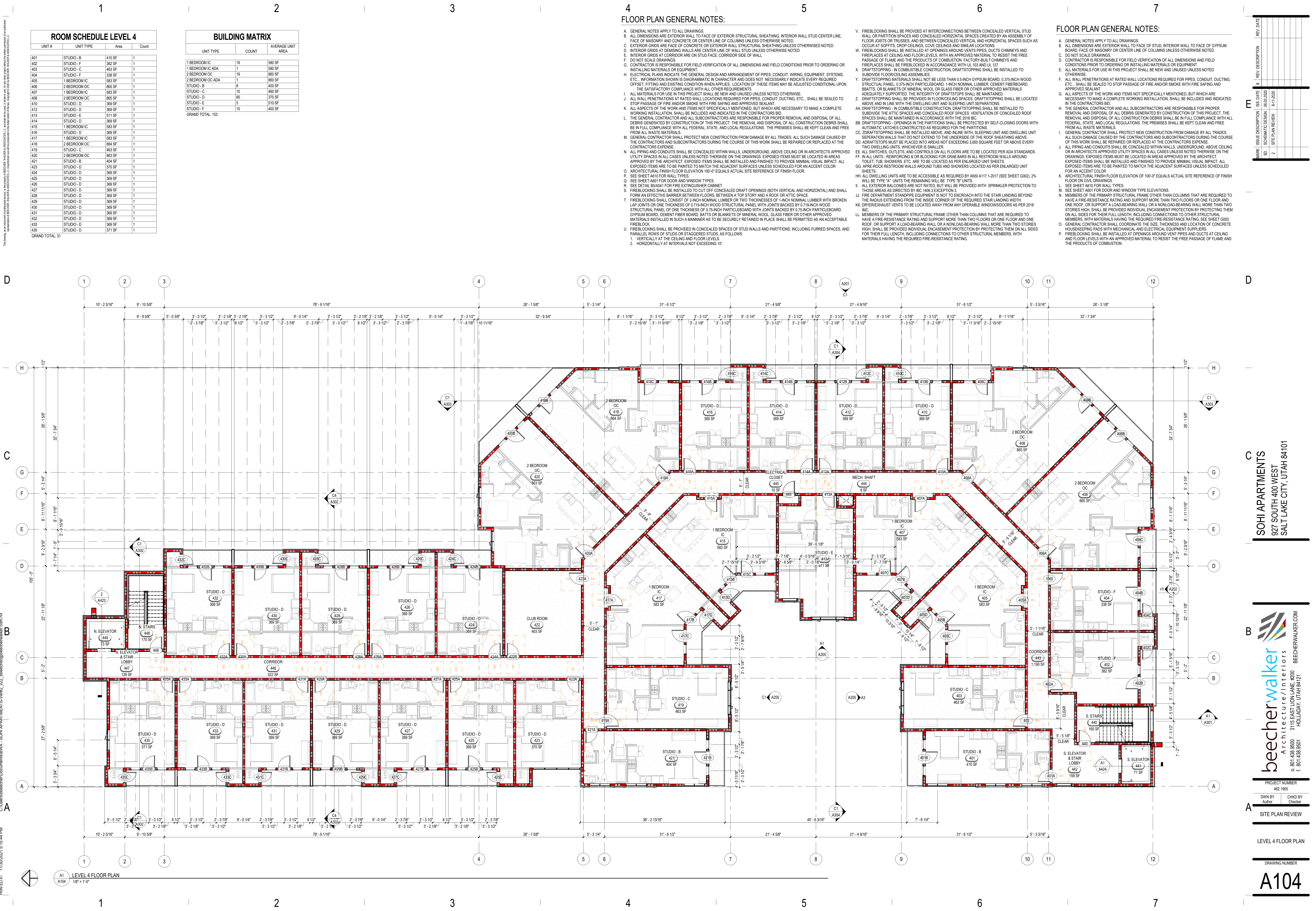
A1 A104 LEVEL 4 FLOOR PLAN 1/8" = 1'-0"

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FLOOR PLAN GENERAL NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS.
- ALL DIMENSIONS ARE EXTERIOR WALL TO FACE OF EXTERIOR STRUCTURAL SHEATHING, INTERIOR WALL STUD CENTER LINE, FACE OF MASONRY AND CONCRETE OR CENTER LINE OF COLUMNS UNLESS OTHERWISE NOTED.
- EXTERIOR GRIDS ARE FACE OF CONCRETE OR EXTERIOR WALL STRUCTURAL SHEATHING UNLESS OTHERWISE NOTED.
- INTERIOR GRIDS AT CORRIDOR ARE ON STUD FACE, CORRIDOR SIDE OF WALL.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
- ELECTRICAL PLANS INDICATE THE GENERAL DESIGN AND ARRANGEMENT OF PIPES, CONDUIT, WIRING, EQUIPMENT, SYSTEMS, ETC. INFORMATION SHOWN IS DIAGNOSTIC IN CHARACTER AND DOES NOT NECESSARILY INDICATE EVERY REQUIRED OFFSET, FITTING AND EXISTING CONDITION WHEN APPLICABLE. LOCATION OF THESE ITEMS MAY BE ADJUSTED CONDITIONAL UPON THE SATISFACTORY COMPLIANCE WITH ALL OTHER REQUIREMENTS.
- ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNLESS NOTED OTHERWISE.
- ALL WALL PENETRATIONS AT RATED WALL LOCATIONS REQUIRED FOR PIPES, CONDUIT, DUCTING, ETC. SHALL BE SEALED TO STOP PASSAGE OF FIRE AND/OR SMOKE WITH FIRE SAFING AND APPROVED SEALANT.
- ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED AND INDICATED IN THE CONTRACTORS BID.
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- GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTORS AND SUBCONTRACTORS DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
- ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILING OR IN ARCHITECTS APPROVED UTILITY SPACES IN ALL CASES UNLESS NOTED OTHERWISE. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL EXPOSED ITEMS ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACES UNLESS SCHEDULED FOR AN ACCENT COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATION 100'-0" EQUALS ACTUAL SITE REFERENCE OF FINISH FLOOR.
- SEE SHEET A610 FOR WALL TYPES.
- SEE SHEET A601 FOR DOOR AND WINDOW TYPES.
- SEE DETAIL 614/41 FOR FIRE EXTINGUISHER CABINET.
- FIREBLOCKING SHALL BE INSTALLED TO CUT OFF CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE.
- FIREBLOCKING SHALL CONSIST OF 2-INCH NOMINAL LUMBER OR 2-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS OR ONE THICKNESS OF 0.75-INCH WOOD STRUCTURAL PANEL WITH JOINTS BACKED BY 0.75-INCH PARTICLEBOARD OR 0.75-INCH PARTICLEBOARD ON ALL SIDES FOR THEIR FULL LENGTH, INCLUDING CONNECTIONS TO OTHER STRUCTURAL MEMBERS. WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING, SEE SHEET G003.
- GENERAL CONTRACTOR SHALL COORDINATE THE SIZE, THICKNESS AND LOCATION OF CONCRETE HOUSEKEEPING PADS WITH MECHANICAL AND ELECTRICAL EQUIPMENT SUPPLIERS.
- FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'.

- FIREBLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS.
- FIREBLOCKING SHALL BE INSTALLED AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND PREPACES AT CEILING AND FLOOR LEVELS, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION. FACTORY-BUILT CHIMNEYS AND PREPACES SHALL BE FIREBLOCKED IN ACCORDANCE WITH UL 103 AND UL 127.
- DRAFTSTOPPING - IN COMBUSTIBLE CONSTRUCTION, DRAFTSTOPPING SHALL BE INSTALLED TO SUBSIDE FLOORCEILING ASSEMBLIES.
- DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 0.5-INCH GYPSUM BOARD, 0.375-INCH WOOD STRUCTURAL PANEL, 0.375-INCH PARTICLEBOARD, 1-INCH NOMINAL LUMBER, CEMENT FIBERBOARD, BBATTS, OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. THE INTEGRITY OF DRAFTSTOPPING SHALL BE MAINTAINED.
- DRAFTSTOPPING SHALL BE PROVIDED IN FLOORCEILING SPACES. DRAFTSTOPPING SHALL BE LOCATED ABOVE AND IN LINE WITH THE DWELLING UNIT AND SLEEPING UNIT SEPARATIONS.
- AA DRAFTSTOPPING - IN COMBUSTIBLE CONSTRUCTION, DRAFTSTOPPING SHALL BE INSTALLED TO SUBSIDE THE ATTIC SPACES AND CONCEALED ROOF SPACES. VENTILATION OF CONCEALED ROOF SPACES SHALL BE MAINTAINED IN ACCORDANCE WITH THE 2018 IRC.
- BB DRAFTSTOPPING - OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.
- CC DRAFTSTOPPING SHALL BE INSTALLED ABOVE AND IN LINE WITH SLEEPING UNIT AND DWELLING UNIT SEPARATION WALLS THAT DO NOT EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING ABOVE.
- DD DRAFTSTOPPING MUST BE PLACED INTO AREAS NOT EXCEEDING 3,000 SQUARE FEET OR ABOVE EVERY TWO DWELLING UNITS, WHICHEVER IS SMALLER.
- EE ALL SWITCHES, OUTLETS, AND CONTROLS ON ALL FLOORS ARE TO BE LOCATED PER ADA STANDARDS.
- FF IN ALL UNITS - REINFORCING I OR BLOCKING FOR GRID BARS IN ALL RESTROOM WALLS AROUND TOILET, TUB, SHOWERS, ETC. ARE TO BE LOCATED AS PER ENLARGED UNIT SHEETS.
- GG APPE-ROCK RESTROOM WALLS AROUND TUBS AND SHOWERS LOCATED AS PER ENLARGED UNIT SHEETS.
- HH ALL DWELLING UNITS ARE TO BE ACCESSIBLE AS REQUIRED BY ANSI A117.1-2017 (SEE SHEET G002). 2% WILL BE TYPE "A" UNITS THE REMAINING WILL BE TYPE "B" UNITS.
- II ALL EXTERIOR BALCONIES ARE NOT RATED, BUT WILL BE PROVIDED WITH SPRINKLER PROTECTION TO THOSE AREAS AS DIRECTED BY IRC 403.3 EXCEPTION 3.
- JJ FIRE DEPARTMENT STAMPING EQUIPMENT IS NOT TO ENCRUMB INTO THE STAIR LANDINGS BEYOND THE RADIUS EXTENDING FROM THE INSIDE CORNER OF THE REQUIRED STAIR LANDING WIDTH.
- KK DRYER/EXHAUST VENTS TO BE LOCATED AWAY FROM ANY OPERABLE WINDOW/DOORS AS PER 2018 IRC.
- LL MEMBERS OF THE PRIMARY STRUCTURAL FRAME OTHER THAN COLUMNS THAT ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ONE ROOF, OR SUPPORT A LOAD-BEARING WALL OR A NONLOAD-BEARING WALL MORE THAN TWO STORES HIGH, SHALL BE PROVIDED INDIVIDUAL ENCASEMENT PROTECTION BY PROTECTING THEM ON ALL SIDES FOR THEIR FULL LENGTH, INCLUDING CONNECTIONS TO OTHER STRUCTURAL MEMBERS. WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING, SEE SHEET G003.
- OO GENERAL CONTRACTOR SHALL COORDINATE THE SIZE, THICKNESS AND LOCATION OF CONCRETE HOUSEKEEPING PADS WITH MECHANICAL AND ELECTRICAL EQUIPMENT SUPPLIERS.
- P FIREBLOCKING SHALL BE INSTALLED AT OPENINGS AROUND VENT PIPES AND DUCTS AT CEILING AND FLOOR LEVELS WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION.

FLOOR PLAN GENERAL NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS.
- ALL DIMENSIONS ARE EXTERIOR WALL TO FACE OF STUD, INTERIOR WALL TO FACE OF GYPSUM BOARD, FACE OF MASONRY OR CENTER LINE OF COLUMNS UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
- ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNLESS NOTED OTHERWISE.
- ALL WALL PENETRATIONS AT RATED WALL LOCATIONS REQUIRED FOR PIPES, CONDUIT, DUCTING, ETC. SHALL BE SEALED TO STOP PASSAGE OF FIRE AND/OR SMOKE WITH FIRE SAFING AND APPROVED SEALANT.
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- ARCHITECTURAL FINISH FLOOR ELEVATION OF 100'-0" EQUALS ACTUAL SITE REFERENCE OF FINISH FLOOR ON CIVIL DRAWINGS.
- SEE SHEET A610 FOR WALL TYPES.
- SEE SHEET A601 FOR DOOR AND WINDOW TYPE ELEVATIONS.
- MEMBERS OF THE PRIMARY STRUCTURAL FRAME OTHER THAN COLUMNS THAT ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ONE ROOF, OR SUPPORT A LOAD-BEARING WALL OR A NONLOAD-BEARING WALL MORE THAN TWO STORES HIGH, SHALL BE PROVIDED INDIVIDUAL ENCASEMENT PROTECTION BY PROTECTING THEM ON ALL SIDES FOR THEIR FULL LENGTH, INCLUDING CONNECTIONS TO OTHER STRUCTURAL MEMBERS. WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING, SEE SHEET G003.
- GENERAL CONTRACTOR SHALL COORDINATE THE SIZE, THICKNESS AND LOCATION OF CONCRETE HOUSEKEEPING PADS WITH MECHANICAL AND ELECTRICAL EQUIPMENT SUPPLIERS.
- FIREBLOCKING SHALL BE INSTALLED AT OPENINGS AROUND VENT PIPES AND DUCTS AT CEILING AND FLOOR LEVELS WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION.

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PROJECT NUMBER
462-1905
DWN BY: Author CHD BY: Checker
SITE PLAN REVIEW

LEVEL 4 FLOOR PLAN
DRAWING NUMBER
A104

ROOM SCHEDULE LEVEL 5				
UNIT #	UNIT TYPE	Area	Count	
501	STUDIO - B	410 SF	1	
502	STUDIO - F	380 SF	1	
503	STUDIO - C	463 SF	1	
504	STUDIO - F	338 SF	1	
505	1 BEDROOM IC	583 SF	1	
506	2 BEDROOM OC	865 SF	1	
507	1 BEDROOM IC	583 SF	1	
508	2 BEDROOM OC	865 SF	1	
509	STUDIO - D	369 SF	1	
510	STUDIO - D	369 SF	1	
511	STUDIO - E	511 SF	1	
512	STUDIO - D	369 SF	1	
513	1 BEDROOM IC	583 SF	1	
514	STUDIO - D	369 SF	1	
515	1 BEDROOM IC	583 SF	1	
516	STUDIO - D	369 SF	1	
517	1 BEDROOM IC	583 SF	1	
518	2 BEDROOM OC	864 SF	1	
519	STUDIO - C	463 SF	1	
520	2 BEDROOM OC	865 SF	1	
521	STUDIO - B	404 SF	1	
522	STUDIO - D	370 SF	1	
523	STUDIO - D	369 SF	1	
524	STUDIO - D	369 SF	1	
525	STUDIO - D	369 SF	1	
526	STUDIO - D	369 SF	1	
527	STUDIO - D	369 SF	1	
528	STUDIO - D	369 SF	1	
529	STUDIO - D	369 SF	1	
530	STUDIO - D	369 SF	1	
531	STUDIO - D	369 SF	1	
532	STUDIO - D	369 SF	1	
533	STUDIO - D	369 SF	1	
534	STUDIO - D	371 SF	1	
GRAND TOTAL 31				

BUILDING MATRIX		
UNIT TYPE	COUNT	AVERAGE UNIT AREA
1 BEDROOM IC	19	580 SF
1 BEDROOM IC ADA	1	580 SF
2 BEDROOM OC	19	860 SF
2 BEDROOM OC ADA	1	860 SF
STUDIO - B	8	400 SF
STUDIO - C	10	460 SF
STUDIO - D	80	370 SF
STUDIO - E	5	510 SF
STUDIO - F	10	400 SF
GRAND TOTAL 153		

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- EXTERIOR GRIDS ARE FACE OF CONCRETE OR EXTERIOR WALL STRUCTURAL SHEATHING UNLESS OTHERWISE NOTED.
- INTERIOR GRIDS AT CORRIDOR ARE ON STUD FACE, CORRIDOR SIDE OF WALL.
- DO NOT SCALE DRAWINGS.
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- ELECTRICAL PLANS INDICATE THE GENERAL DESIGN AND ARRANGEMENT OF PIPES, CONDUIT, WIRING, EQUIPMENT, SYSTEMS, ETC. INFORMATION SHOWN IS DIAGRAMMATIC IN CHARACTER AND DOES NOT NECESSARILY INDICATE EVERY REQUIRED OFFSET, FITTING AND EXISTING CONDITION WHEN APPLIES. LOCATION OF THESE ITEMS MAY BE ADJUSTED CONDITIONAL UPON THE SATISFACTORY COMPLIANCE WITH ALL OTHER REQUIREMENTS.
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- ARCHITECTURAL FINISH FLOOR ELEVATION 100'-0" EQUALS ACTUAL SITE REFERENCE OF FINISH FLOOR.
- SEE SHEET A610 FOR WALL TYPES.
- SEE SHEET A601 FOR DOOR AND WINDOW TYPES.
- SEE DETAIL 55A41 FOR FIRE EXTINGUISHER CABINET.
- FIREBLOCKING SHALL BE INSTALLED TO CUT OFF CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE.
- FIREBLOCKING SHALL CONSIST OF 2-INCH NOMINAL LUMBER OR TWO THICKNESSES OF 1-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS OR ONE THICKNESS OF 0.75-INCH WOOD STRUCTURAL PANEL WITH JOINTS BACKED BY 0.75-INCH PARTICLEBOARD OR ONE THICKNESS OF 0.75-INCH PARTICLEBOARD ON ALL SIDES FOR THEIR FULL LENGTH, INCLUDING CONNECTIONS TO OTHER STRUCTURAL MEMBERS, WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING. SEE SHEET G003.
- FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'.

- FIREBLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS.
- FIREBLOCKING SHALL BE INSTALLED AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND PREPACES AT CEILING AND FLOOR LEVELS, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION. FACTORY-BUILT CHIMNEYS AND PREPACES SHALL BE FIREBLOCKED IN ACCORDANCE WITH UL 103 AND UL 127.
- DRAFTSTOPPING - IN COMBUSTIBLE CONSTRUCTION, DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE FLOORCEILING ASSEMBLIES.
- DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 0.5-INCH GYPSUM BOARD, 0.375-INCH WOOD STRUCTURAL PANEL, 0.375-INCH PARTICLEBOARD, 1-INCH NOMINAL LUMBER, CEMENT FIBERBOARD, BBATTS, OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. THE INTEGRITY OF DRAFTSTOPPING SHALL BE MAINTAINED.
- DRAFTSTOPPING SHALL BE PROVIDED IN FLOORCEILING SPACES. DRAFTSTOPPING SHALL BE LOCATED ABOVE AND IN LINE WITH THE DWELLING UNIT AND SLEEPING UNIT SEPARATIONS.
- AA DRAFTSTOPPING - IN COMBUSTIBLE CONSTRUCTION, DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE THE ATTIC SPACES AND CONCEALED ROOF SPACES. VENTILATION OF CONCEALED ROOF SPACES SHALL BE MAINTAINED IN ACCORDANCE WITH THE 2018 IRC.
- BB DRAFTSTOPPING - OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.
- CC DRAFTSTOPPING SHALL BE INSTALLED ABOVE AND IN LINE WITH SLEEPING UNIT AND DWELLING UNIT SEPARATION WALLS THAT DO NOT EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING ABOVE.
- DD DRAFTSTOPPING SHALL BE INSTALLED ABOVE AND IN LINE WITH SLEEPING UNIT AND DWELLING UNIT SEPARATION WALLS THAT DO NOT EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING ABOVE.
- EE ALL SWITCHES, OUTLETS, AND CONTROLS ON ALL FLOORS ARE TO BE LOCATED PER ADA STANDARDS.
- FF IN ALL UNITS - REINFORCING I OR BLOCKING FOR GRAB BARS IN ALL RESTROOM WALLS AROUND TOILET, TUB, SHOWERS, ETC. ARE TO BE LOCATED AS PER ENLARGED UNIT SHEETS.
- GG APPE-ROCK RESTROOM WALLS AROUND TUBS AND SHOWERS LOCATED AS PER ENLARGED UNIT SHEETS.
- HH ALL DWELLING UNITS ARE TO BE ACCESSIBLE AS REQUIRED BY ANSI A117.1-2017 (SEE SHEET G002). 2% WILL BE TYPE "A" UNITS. THE REMAINING WILL BE TYPE "B" UNITS.
- II. ALL EXTERIOR BALCONIES ARE NOT RATED, BUT WILL BE PROVIDED WITH SPRINKLER PROTECTION TO THOSE AREAS AS DIRECTED BY IRC 403.3 EXCEPTION 3.
- JJ. FIRE DEPARTMENT STANDPIPE EQUIPMENT IS NOT TO ENCRUMB INTO THE STAIR LANDINGS BEYOND THE RADIUS EXTENDING FROM THE INSIDE CORNER OF THE REQUIRED STAIR LANDING WIDTH.
- KK DRYEREXHAUST VENTS TO BE LOCATED AWAY FROM ANY OPERABLE WINDOW/DOORS AS PER 2018 IRC.
- LL MEMBERS OF THE PRIMARY STRUCTURAL FRAME OTHER THAN COLUMNS THAT ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ONE ROOF, OR SUPPORT A LOAD-BEARING WALL OR A NONLOAD-BEARING WALL MORE THAN TWO STORIES HIGH, SHALL BE PROVIDED INDIVIDUAL ENCASEMENT PROTECTION BY PROTECTING THEM ON ALL SIDES FOR THEIR FULL LENGTH, INCLUDING CONNECTIONS TO OTHER STRUCTURAL MEMBERS, WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING. SEE SHEET G003.
- OO GENERAL CONTRACTOR SHALL COORDINATE THE SIZE, THICKNESS AND LOCATION OF CONCRETE HOUSEKEEPING FLOORS WITH MECHANICAL AND ELECTRICAL EQUIPMENT SUPPLIERS.
- P. FIREBLOCKING SHALL BE INSTALLED AT OPENINGS AROUND VENT PIPES AND DUCTS AT CEILING AND FLOOR LEVELS WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION.

FLOOR PLAN GENERAL NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS.
- ALL DIMENSIONS ARE EXTERIOR WALL TO FACE OF STUD, INTERIOR WALL TO FACE OF GYPSUM BOARD, FACE OF MASONRY OR CENTER LINE OF COLUMNS UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
- ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNUSED UNLESS NOTED OTHERWISE.
- ALL WALL PENETRATIONS AT RATED WALL LOCATIONS REQUIRED FOR PIPES, CONDUIT, DUCTING, ETC. SHALL BE SEALED TO STOP PASSAGE OF FIRE AND/OR SMOKE WITH FIRE SAFING AND APPROVED SEALANT.
- ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED AND INDICATED IN THE CONTRACTORS BID.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF ALL DEBRIS GENERATED BY CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL BE IN FULL COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS. THE PREMISES SHALL BE KEPT CLEAN AND FREE FROM ALL WASTE MATERIALS.
- GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTORS AND SUBCONTRACTORS DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
- ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILING OR IN ARCHITECTS APPROVED UTILITY SPACES IN ALL CASES UNLESS NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL EXPOSED ITEMS ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACES UNLESS SCHEDULED FOR AN ACCENT COLOR.
- ARCHITECTURAL FINISH FLOOR ELEVATION OF 100'-0" EQUALS ACTUAL SITE REFERENCE OF FINISH FLOOR ON CIVIL DRAWINGS.
- SEE SHEET A601 FOR WALL TYPES.
- SEE SHEET A601 FOR DOOR AND WINDOW TYPE ELEVATIONS.
- MEMBERS OF THE PRIMARY STRUCTURAL FRAME OTHER THAN COLUMNS THAT ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING AND SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ONE ROOF, OR SUPPORT A LOAD-BEARING WALL OR A NONLOAD-BEARING WALL MORE THAN TWO STORIES HIGH, SHALL BE PROVIDED INDIVIDUAL ENCASEMENT PROTECTION BY PROTECTING THEM ON ALL SIDES FOR THEIR FULL LENGTH, INCLUDING CONNECTIONS TO OTHER STRUCTURAL MEMBERS, WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING. SEE SHEET G003.
- GENERAL CONTRACTOR SHALL COORDINATE THE SIZE, THICKNESS AND LOCATION OF CONCRETE HOUSEKEEPING FLOORS WITH MECHANICAL AND ELECTRICAL EQUIPMENT SUPPLIERS.
- FIREBLOCKING SHALL BE INSTALLED AT OPENINGS AROUND VENT PIPES AND DUCTS AT CEILING AND FLOOR LEVELS WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION.

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PROJECT NUMBER
462-1905
DWN BY
Author
CHKD BY
Checker
SITE PLAN REVIEW

LEVEL 5 FLOOR PLAN


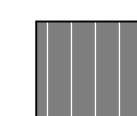
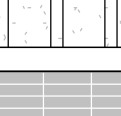

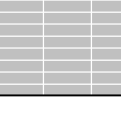

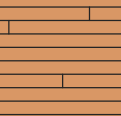
DRAWING NUMBER

A105



EXTERIOR MATERIALS (BASIS OF DESIGN)				
MARK	DESCRIPTION	MANUFACTURER	MODEL/COLOR	
BM01	BREAK METAL DARK BRONZE	TBD	TBD	
BR01	MASONRY - THIN BRICK SYSTEM - STACKING 4X16	TBD	TBD	
CO01	CONCRETE - CAST IN PLACE SHEAR WALL & COLUMNS (PARKING GARAGE)	TBD	TBD	
EF01	EIFS - LIGHT	TBD	TBD	
EF02	STUCCO SYSTEM - COLOR 1	TBD	TBD	
FC01	FIBER CEMENT (WHITE)	SHERWIN WILLIAMS	PURE WHITE SW700	
MS01	ALUMINUM WOOD PANEL	TBD	TBD	
MS02	ALUMINUM WOOD PANEL - GREY	TBD	TBD	

EXTERIOR MATERIALS LEGEND

	FIBER CEMENT BOARD AND BATTEN		METAL SEAM ROOF
	THIN BRICK SHEATHING		STUCCO
	WOOD SIDING		CONCRETE
	WOOD SIDING		

MARK	ISSUE DESCRIPTION	ISS. DATE	#	REV. DESCRIPTION	REV. DATE
SD	SCHEMATIC'S DESIGN	08.03.2020			
2	SITE PLAN REVIEW	8-11-2020			

D

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PROJECT NUMBER 462.1905	
DWN BY Author	CHKD BY Checker

EXTERIOR ELEVATIONS

DRAWING NUMBER

A201

OVERALL GLASS AREA:	4991 SF
OVERALL WALL AREA:	16,807 SF
OVERALL GLASS PERCENTAGE:	29.7%
PARKING LEVEL 2 GLASS AREA:	228 SF
PARKING LEVEL 2 WALL AREA:	3144 SF
PARKING LEVEL 2 GLASS PERCENTAGE:	7%
PARKING LEVEL 1 GLASS AREA:	1302 SF
PARKING LEVEL 1 WALL AREA:	2698 SF
PARKING LEVEL 1 GLASS PERCENTAGE:	48%

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D

C

B

A

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ELEVATION GENERAL NOTES:

A. SEE A600 SERIES SHEETS FOR DOOR AND WINDOW TYPE ELEVATIONS.
B. COORDINATE WINDOW HEIGHTS WITH WINDOW TYPE ELEVATIONS AND EXTERIOR ELEVATIONS.
C. USE IMPACT RESISTANT EIFS WITHIN 48" OF SIDEWALKS AND BUILDING ENTRANCES.

ELEVATION GENERAL NOTES:

A. SEE A600 SERIES SHEETS FOR DOOR AND WINDOW TYPE ELEVATIONS.
B. COORDINATE WINDOW HEIGHTS WITH WINDOW TYPE ELEVATIONS AND EXTERIOR ELEVATIONS.
C. MECHANICAL CONTRACTOR TO COMBINE FACE PLATES FOR DRYER VENT AND EXHAUST ON EXTERIOR OF BUILDING.
D. STUCCO CONTROL JOINTS TO BE PLACED AS SHOWN ON ELEVATIONS BUT NO LENGTH SHOULD BE GREATER THAN 18 FT. IN EITHER DIRECTION BETWEEN JOINTS.
E. NO STUCCO PANEL SHOULD EXCEED 144 SQ. FT. FOR VERTICAL APPLICATION.
F. NO STUCCO PANEL SHOULD EXCEED 100 SQ. FT. FOR HORIZONTAL, CURVED, OR ANGULAR SECTIONS.
G. NO STUCCO PANEL LENGTH-TO-WIDTH RATIO SHOULD EXCEED 2:1:1 IN A GIVEN PANEL.
H. A STUCCO CONTROL JOINT SHOULD BE PLACED AT EACH HORIZONTAL FLOOR SUBSTRATE FRAMING CHANGE.

EXTERIOR MATERIALS (BASIS-OF-DESIGN)			
MARK	DESCRIPTION	MANUFACTURER	MODEL/COLOR
BM01	BREAK METAL - DARK BRONZE	TBD	TBD
BR01	MASONRY - THIN BRICK SYSTEM - STACKING A315	TBD	TBD
CO01	CONCRETE - CAST IN PLACE SHEAR WALL & COLUMNS (PARKING GARAGE)	TBD	TBD
EF01	EIFS - LIGHT	TBD	TBD
EF02	STUCCO SYSTEM - COLOR 1	TBD	TBD
FC01	FIBER CEMENT (WHITE)	SHERWIN WILLIAMS	PURE WHITE SW7005
MS01	ALUMINUM WOOD PANEL	TBD	TBD
MS02	ALUMINUM WOOD PANEL - GREY	TBD	TBD

EXTERIOR MATERIALS LEGEND			
	FIBER CEMENT BOARD AND BATTEN		METAL SEAM ROOF
	THIN BRICK SHEATHING		STUCCO
	WOOD SIDING		CONCRETE
	WOOD SIDING		

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PROJECT NUMBER
462-1905
DWN BY
Author
CHKD BY
Checker
A SITE PLAN REVIEW

EXTERIOR
ELEVATIONS
DRAWING NUMBER
A202

MARK	ISSUE DESCRIPTION	ISS. DATE	#	REV. DESCRIPTION	REV. DATE
S01	SCHEMATIC DESIGN	10/12/2020			
2	SITE PLAN REVIEW	6-11-2020			

D

C

B

A

EXTERIOR
ELEVATIONS

DRAWING NUMBER
A202

This drawing is an instrument of professional service as defined by Utah Code, Title 33A, Chapter 2, Section 2-202. It is the property of Beecher Walker & Associates, LLC and shall remain the property of Beecher Walker & Associates, LLC. It is to be used only for the project and purpose for which it was prepared. Any other use without the written consent of Beecher Walker & Associates, LLC is prohibited. The user of this drawing shall be responsible for obtaining all necessary permits and for complying with all applicable laws and regulations. The user shall indemnify and hold Beecher Walker & Associates, LLC harmless from and against all claims, damages, costs and expenses, including reasonable attorneys' fees, arising out of or from the use of this drawing, whether or not such claims, damages, costs and expenses are caused in whole or in part by the negligence of Beecher Walker & Associates, LLC.



ELEVATION GENERAL NOTES:

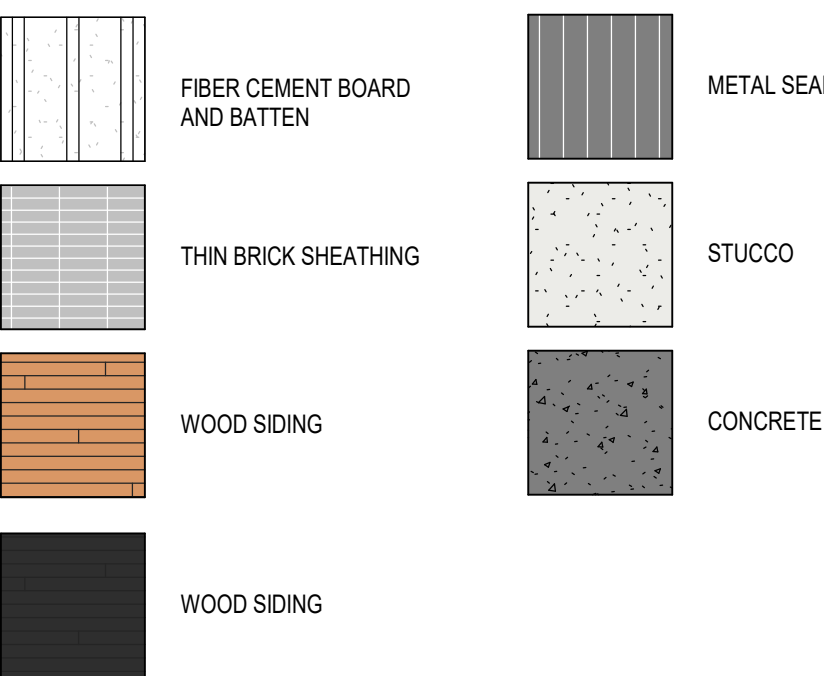
- A. SEE A600 SERIES SHEETS FOR DOOR AND WINDOW TYPE ELEVATIONS.
- B. COORDINATE WINDOW HEIGHTS WITH WINDOW TYPE ELEVATIONS AND EXTERIOR ELEVATIONS.
- C. USE IMPACT RESISTANT EIFS WITHIN 48" OF SIDEWALKS AND BUILDING ENTRANCES.

ELEVATION GENERAL NOTES:

- A. SEE A600 SERIES SHEETS FOR DOOR AND WINDOW TYPE ELEVATIONS.
- B. COORDINATE WINDOW HEIGHTS WITH WINDOW TYPE ELEVATIONS AND EXTERIOR ELEVATIONS.
- C. MECHANICAL CONTRACTOR TO COMBINE FACE PLATES FOR DRYER VENT AND EXHAUST ON EXTERIOR OF BUILDING.
- D. STUCCO CONTROL JOINTS TO BE PLACED AS SHOWN ON ELEVATIONS BUT NO LENGTH SHOULD BE GREATER THAN 18 FT. IN EITHER DIRECTION BETWEEN JOINTS.
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EXTERIOR MATERIALS (BASIS-OF-DESIGN)			
MARK	DESCRIPTION	MANUFACTURER	MODEL/COLOR
BM01	BREAK METAL - DARK BRONZE	TBD	TBD
BR01	MASONRY - THIN BRICK SYSTEM - STACKING 4X16	TBD	TBD
CO01	CONCRETE - CAST IN PLACE SHEAR WALL & COLUMNS (PARKING GARAGE)	TBD	TBD
EF01	EIFS - LIGHT	TBD	TBD
EF02	STUCCO SYSTEM - COLOR 1	TBD	TBD
FC01	FIBER CEMENT (WHITE)	SHERWIN WILLIAMS	PURE WHITE, SW7005
MS01	ALUMINUM WOOD PANEL	TBD	TBD
MS02	ALUMINUM WOOD PANEL - GREY	TBD	TBD

EXTERIOR MATERIALS LEGEND



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A
PROJECT NUMBER
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DWN BY
Author
CHKD BY
Checker
SITE PLAN REVIEW
EXTERIOR
COURTYARD
ELEVATIONS
DRAWING NUMBER
A205

ATTACHMENT D: Development Standards

CG – General Commercial Zoning District

The subject property is located within the CG – General Commercial zoning district. The purpose of the CG district from Chapter 21A.26.070 follows:

The purpose of the CG General Commercial District is to provide an environment for a variety of commercial uses, some of which involve the outdoor display/storage of merchandise or materials. This district provides economic development opportunities through a mix of land uses, including retail sales and services, entertainment, office, residential, heavy commercial and low intensities of manufacturing and warehouse uses. This district is appropriate in locations where supported by applicable master plans and along major arterials. Safe, convenient and inviting connections that provide access to businesses from public sidewalks, bike paths and streets are necessary. Access should follow a hierarchy that places the pedestrian first, bicycle second and automobile third. The standards are intended to create a safe and aesthetically pleasing commercial environment for all users.

The modification for additional building height is being requested through the Design Review process.

Applicable General Zoning Standards:

CG Development Standards – Summarized from Chapter 21A.26.070

Requirement	Standard	Proposed	Compliance
Lot Area/Lot Width	10,000 square feet/60 feet wide	Lot Area – 0.72 acres or 31,400 square feet Lot Width – 125 feet (south) tapering to 70 feet along the 900 S frontage.	Complies
Front Yard -	10 feet	10 feet	Complies
Side/ Rear Yard	0 feet/10 feet	3 feet interior side/10 feet rear	Complies
Maximum Height	60 feet by right or up to 90 feet when approved through the Design Review process	79 FT to top of parapet	Complies: Pending Planning Commission approval for additional height in accordance with Design Review standards

Landscape Yard - Front	10 feet on all front or corner yards	10 feet	Complies
Landscape Yards - Other	Not required on sides 10 feet in rear.	3 feet on side yards and 10 feet in rear yard Additional landscaping of approximately 4,000 square feet is being provided commensurate with 10% of the additional building stories.	Complies
Design Standards	The CG zone requires that the following design standards found in Chapter 21A.37 be met. 1. Building entrances (at least 1 per street facing façade) 2. Parking lot lighting must be shielded to adjacent residential properties.	1. Both street facing façades on the building include an entrance. The 400 W façade includes 2 entrances. 2. Parking lot is interior to building and exterior lighting is downlit. There are no adjacent residential properties by the proposal.	Complies
Off-Street Parking Requirements	<u>Minimum</u> – 0.5 spaces for a studio, one space for a one bedroom and two spaces for a two (or more) bedroom unit. (117 stalls total required for this project) <u>Maximum</u> - 25% more than the minimum (146 maximum for this project) <u>Electric Vehicles</u> - 1 stall per 25 vehicles <u>Bike Parking</u> - 5% of total parking provided	<ul style="list-style-type: none"> • 146 total stalls proposed • 7 electric vehicle stalls provided • Bike parking and storage provided. <p>Provided parking is 25% more than required which is allowed in the CG zone.</p>	Complies

ATTACHMENT E: Analysis of Design Review Standards

DESIGN REVIEW STANDARDS – Planning Application PLNPCM2021-00929

21A.59.050: Standards for Design Review: The standards in this section apply to all applications for design review as follows:

For applications seeking modification of base zoning design standards, applicants shall demonstrate how the applicant's proposal complies with the standards for design review that are directly applicable to the design standard(s) that is proposed to be modified.

For applications that are required to go through the design review process for purposes other than a modification to a base zoning standard, the applicant shall demonstrate how the proposed project complies with each standard for design review. If an application complies with a standard in the base zoning district or with an applicable requirement in chapter 21A.37 of this title and that standard is directly related to a standard found in this section, the Planning Commission shall find that application complies with the specific standard for design review found in this section. An applicant may propose an alternative to a standard for design review provided the proposal is consistent with the intent of the standard for design review.

Standard	Finding	Rationale
A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.	Complies	<p>The intent of the General Commercial zoning district found in Chapter 21A.26 speaks to the commercial aspects of the zone. Residential uses are only addressed in a limited way. The purpose does include a statement on the desire for a mix of land uses which provide economic development opportunities. Multi-family residential uses are allowed in the zone and the purpose of the zone does speak to a hierarchy that considers pedestrians first, bicycles second and automobiles third.</p> <p>The proposed multi-family housing is a permitted use in the CG zone. The height and scale of the proposed development is appropriate and reasonable given the context of the site in the CG zoning district and the potential redevelopment of neighboring properties that are also zoned CG.</p> <p>The proposed use complies with the applicable master plans and City policies as discussed in the Key Considerations section of this report.</p>

<p>B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.</p> <ol style="list-style-type: none"> 1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot). 2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood. 3. Parking shall be located within, behind, or to the side of buildings. 	<p>Complies</p>	<p>There will be 2 building entrances that face the public sidewalk that will be required on 400 W. One entrance will provide access to a lobby, elevator, and the parking garage and the other to a bike repair and storage room which also has an entrance into the parking garage. A separate entrance will be located on the 900 S façade which will lead to a 2nd lobby, an elevator and the parking garage.</p> <p>The entrances will not face a parking lot. The parking is located within the building.</p> <p>The proposed building is sited approximately 10 feet back from the front property line as required. No outdoor plazas or gathering spaces have been proposed within the front (10-feet) setback. The space however exists for those to be added in the future if so desired.</p> <p>This standard has been met.</p>
<p>C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.</p> <ol style="list-style-type: none"> 1. Locate active ground floor uses at or near the public sidewalk. 2. Maximize transparency of ground floor facades. 3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions. 4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces. 	<p>Complies</p>	<p>The building has been designed with street level glass and an overhanging canopy to provide pedestrian engagement. At the ground floor level there are pedestrian entrances, a gym, a mailroom and leasing office and glassed in entrances with lobbies at each end of the building to provide visibility to the street. The design includes balconies from the 3rd floor and up to facilitate more eyes on the street. While the entrance to the parking garage is located in the middle of the building, the rest of the front façade has been designed to facilitate pedestrian interaction.</p> <p>The required support functions such as the parking and garbage drop off areas are located out of site within the building itself or behind the building.</p> <p>The CG zoning district is not one that includes design standards in Chapter 21A.37 that specify that a certain percentage of glass is</p>

		<p>required or that active ground floor uses, or commercial space are a requirement. However, the amount of glass being provided on the street facing west elevation of the is approximately 29.7%. On the first floor only, the percentage is closer to 48%. On the 900 South elevation, the glass is much less pronounced. The 900 S elevation as a whole has approximately 10% glass with the ground floor level having a total of 15.6 % glass. This end of the building is much narrower however and is encumbered by items such as the elevators and stairs at that end of the building.</p> <p>The glass could be considered a reinterpretation of traditional storefront elements, although they lack the typical knee walls and other elements usually associated with store fronts. The glass does however provide visibility into the space to facilitate pedestrian interaction and eyes on the street. The awnings above and the clerestory-like transom windows of the second story help ground the building and reinterpret traditional storefront elements.</p> <p>No outdoor plazas or gathering spaces have been proposed within the front (10-feet) setback. A large outdoor courtyard will be located above the podium on the top of the parking deck and will be surrounded by apartments on 3 sides. Two lounges on the sides of this courtyard will provide additional view on this public street facing amenity.</p> <p>Staff feels that the proposed design meets this standard.</p>
<p>D. Large building masses shall be divided into heights and sizes that relate to human scale.</p> <ol style="list-style-type: none"> 1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis. 	Complies	<ol style="list-style-type: none"> 1. The proposed building will be taller than other existing building in the area which mainly consist of low height warehouse type uses. Given the CG zoning, these properties could however be redeveloped in the future at an allowable height and scale that would be much closer

<ol style="list-style-type: none"> 2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height. 3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals. 4. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan. 		<p>to the proposed building. The architecture of the building puts emphasis on the pedestrian scale through the active ground floor uses and abundant glass as well as overhangs</p> <p>2.The building is well modulated and uses different materials to create vertical and horizontal elements. The elements help relate the building to the pedestrian scale. The perceived height of the building is reduced through pedestrian oriented features such as metal awnings and the glass along the base level facing 400 West.</p> <p>3. The building includes balconies on all sides that help balance the solid-to-void ratio of the facades. It uses projections, material changes, and window reveals to break up solid surfaces and to create visual interest. The courtyard further helps to break up the 400 West street-facing elevation.</p> <p>4. The ground-level façade facing 400 West includes solid surfaces and panel glass windows. The existing neighborhood includes mainly industrial and warehouse buildings constructed of cement or cinder block. There is little to relate to in the immediate neighborhood in terms of the solid-to void ratio of existing buildings. However, there are elements in the design such as square windows with inset smaller panes that relate to what is seen in the in the larger warehouse district.</p> <p>Staff feels that these standards have been met.</p>
<p>E. Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include:</p> <ol style="list-style-type: none"> 1. Changes in vertical plane (breaks in facade); 2. Material changes; and 3. Massing changes. 	<p>Complies</p>	<p>The longest building façade will be approximately 250-feet long so this Design Review standard would apply. The proposed design includes changes in vertical planes along with material changes and massing changes.</p> <p>This standard has been met.</p>

<p>F. If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements:</p> <ol style="list-style-type: none"> 1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30"); 2. A mixture of areas that provide seasonal shade; 3. Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted; 4. Water features or public art; 5. Outdoor dining areas; and 6. Other amenities not listed above that provide a public benefit. 	<p>Not Applicable</p>	<p>None provided. This standard is not applicable.</p>
<p>G. Building height shall be modified to relate to human scale and minimize negative impacts. In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive City skyline.</p> <ol style="list-style-type: none"> 1. Human scale: <ol style="list-style-type: none"> a. Utilize stepbacks to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans. b. For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height. 2. Negative impacts: <ol style="list-style-type: none"> a. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors. b. Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height. c. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building. 	<p>Complies</p>	<p>The applicant's narrative included in Attachment C outlines how they feel this standard is being met.</p> <ol style="list-style-type: none"> 1) The building is proposed with a well-defined base and middle. It does not include a full top section but does include some top elements and articulation that are carried upward, particularly along the 400 W front-facing building elevation. <p>The building includes horizontal step backs through the courtyard element, thereby eliminating a massive single plane along the street-facing elevation. The building is also divided into different masses that break it up. The applicant's narrative includes a rendering of the anticipated shadow impacts and the amount related to the extra building height. Second-story glazing and openings reflect historic warehouse design and help elevate the</p>

<p>3. Cornices and rooflines:</p> <ul style="list-style-type: none"> a. Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition. b. Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings. c. Green Roof and Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system. 		<p>perceived height of the building's base.</p> <p>Protruding partial cornices at the building corners create a termination point that help reduce the perceived height of the building.</p> <p>The base level includes large glass window systems which look into the leasing office and gym. The west façade includes active uses and There are metal awnings above the first level which helps to create a more pedestrian scale to the building.</p> <p>2) The deep step back for the courtyard element on floors 3 and above help to create modulation in the design. The deep courtyard will also act as a wind break by not creating a flat elevation toward the west side. All sides of the building include projections such as fins, balconies and canopies that will help create wind breaks along the building surfaces.</p> <p>Shadow impacts are shown in the applicant's narrative. The additional height would not create a substantial impact on the surrounding areas in excess of what could be developed by right on the property.</p> <p>3) The design of the building features vertical fins that run from the base of the building and end as a partial cornice feature. This element helps to modulate the form as seen from the street-facing</p>
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		<p>elevation and helps to create a sense of balance.</p> <p>An outdoor courtyard space is being included as an amenity for tenants.</p>
H. Parking and on-site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway.	Complies	The project incorporates parking on the first two above ground levels of the building and one underground level. Doorways from the building will lead onto the public sidewalk are included along 400 West and 900 South. Currently no sidewalk exists along the property. The applicant will be required to install a sidewalk per city standards and this will provide for safer pedestrian circulation to and around the site.
I. Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (See subsection 21A.37.050K of this title.)	Complies	These functions will all be located within the building. The trash service area will be located in a corner of the garage away from the street frontage. The containers will be manually wheeled toward the garage door for servicing. Other equipment will be located within the garage or appropriately screened from view.
<p>J. Signage shall emphasize the pedestrian/mass transit orientation.</p> <ol style="list-style-type: none"> 1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building. 2. Coordinate signage locations with appropriate lighting, awnings, and other projections. 3. Coordinate sign location with landscaping to avoid conflicts. 	Complies – Verification at Building Permit	<p>The building includes lettering signage that will have the name “SOHI” on the southwest corner of the building facing toward 400 W. This will be repeated on the north elevation facing 900 South. Murals will add interest on both elevations. This is a vertical sign/lettering that will integrate into the building design.</p> <p>No other signs have been proposed or indicated on the plans.</p> <p>Primary building signage will be provided under a separate application. Compliance with signage approval is delegated to staff and will be verified at the building permit stage.</p>

<p>K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals.</p> <ol style="list-style-type: none"> 1. Provide streetlights as indicated in the Salt Lake City Lighting Master Plan. 2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and up lighting directly to the sky. 3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety. 	<p>Condition of Approval</p> <p>Verification at Building Permit</p>	<p>The Design Standards in Chapter 21A.37 specify that lighting must not trespass onto adjacent properties. This standard includes provision for exterior building lighting and parking lots. Neither would apply in this case as the exterior provision does not apply to the CG zone and the parking is interior to the building.</p> <p>However, the applicant has indicated that their lighting would support the standards found in this section, contingent upon a site study by an electrical engineer. A preliminary lighting plan has been submitted. This is being included as a condition of approval. Compliance with this standard will be verified at the building permit stage.</p>
<p>L. Streetscape improvements shall be provided as follows:</p> <ol style="list-style-type: none"> 1. One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the approval of the City's Urban Forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester. 2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards: <ol style="list-style-type: none"> a. Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur. b. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table. 	<p>Condition of Approval</p> <p>Verification at Building Permit</p>	<p>There are currently no street trees along 400 W. Plans show that nine (9) areas of evergreen shrubs are planned for the 400 W side of the site. Deciduous trees are planned for the east side of the site to provide additional buffering between the property and un-used railway line on the east. The rail corridor is slated for reuse by UTA for a TRAX line expansion.</p> <p>Ordinance requirements are "Park strip trees, when required, shall be provided at the equivalent of at least one tree for each thirty feet (30') of street frontage and may be clustered or spaced linearly as deemed appropriate by the city forester." At total of nine (9) trees will be required along the approximately 280-feet of street frontage along 400 West. An additional 2 trees will be required along the frontage of 900 S which measures approximately 70 feet. Specification of tree species and planting details require approval from the City's Urban Forester.</p>

<ul style="list-style-type: none"> c. Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar-Reflective Index (SRI). d. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City. e. Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities. f. Asphalt shall be limited to vehicle drive aisles. 	<p>Staff is including meeting this standard as a condition of approval in order to allow the applicant to work with Urban Forestry at the Building Permit stage to ensure compliance with the number of required street trees and the process for any removal and replacement permits.</p> <p>There are no privately owned public spaces being provided in the development. There are common areas that are located within the building. No active uses are proposed in the setback area between the building and sidewalk.</p>
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ATTACHMENT F: Public Process and Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to this project:

Public Notices:

- Notice of the project and a formal letter requesting comments was sent to the Chair of the Ball Park Community Council on December 13, 2021.
- Staff sent an early notification announcement of the project to all residents and property owners located within 300 feet of the project site on December 14, 2021 providing notice about the project and information about the online open house and how to give public input on the project.
- Staff hosted an online Open House to solicit public comments on the proposal. The Online Open House period started on December 13, 2021 and ended on January 31, 2022.
- The Ball Park Community Council did not request a presentation by staff as a smaller version of this project was reviewed by them in December 2020. That project was approved by the Planning Commission in April 2021.
- The 45-day recognized organization comment period expired on January 31, 2022.

Public Hearing Notice:

- Public hearing notice mailed: February 23, 2022
- Public hearing notice sign posted on property: February 25, 2022
- Public notice posted on City & State websites & Planning Division list serve: February 23, 2022

Public Comments:

No formal comments were submitted by the Ball Park Community Council in relation to the proposal.

To date no public comments have been submitted on the proposal.

ATTACHMENT G: Department Review Comments

The following comments were received from other City divisions/departments with regards to the proposed development:

Building Review – William Warlick

Complete. However, it is unclear from these drawings, but it appears that the balcony projections on the south side will violate IBC Section 705.2. I encourage the applicant to submit a wall section drawing of the south walls and balconies that includes a vertical lot line, and that dimensions the distances from the lot line to the leading edge of the balcony projection and to the exterior wall.

Engineering – Scott Weiler

No private stairs, ramps or walls allowed in the public way. The Grading Plan needs some tweaks to facilitate drainage. Otherwise, Engineering has no objections.

Urban Forestry – Rick Nelson

Urban Forestry has no concerns with the selected species to be planted along the street frontages. There are two existing Honey locust trees located in the front yard area of 927 S that are specimen quality trees that should be preserved or mitigation paid for the removal of those trees. All other trees on the site are volunteer trees and are not of value.

Transportation – Michael Barry

They've got the number of required parking spaces and the dimensions look good. There were a few parking spaces labeled 'Compact'; the City does not recognize compact parking spaces to satisfy parking requirements. If they are over 100,000 square feet of residential use, then one short loading berth is required per 21A.44.080.

Sustainability

No comments provided

Fire – Douglas Bateman

*Fire hydrants located within 600-feet of all ground level exterior walls and within 100-feet of Fire Department Connection

*This proposal does not provide approved fire department access as defined by the fire prevention bureau (height of building X 30% + 4 feet for clearance) to all obstructions or lot lines. Applicant may apply for an alternate means and methods review to increase the fire sprinkler density 0.05 gpm per sq ft above the normally required hazard and provide automatic smoke detection in all common and public spaces, or provide another form of fire protection as outlined in IFC 503.1.1 exceptions

*Aerial access for buildings greater than 30-feet in height shall be from a fire access road that is at least 26-feet wide and not closer than 15-feet and greater than 30-feet that runs parallel to one entire side of the building. There can be no overhead obstructions between the road and the face of the building

Public Utilities

Additional Utility comments and requirements will be provided for building permit review.

- Public Utility permit, connection, survey, and inspection fees will apply.
- All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.
- All utilities must be separated by a minimum of 5 feet horizontally and 12" vertically. Water and

sewer lines require 10 feet minimum horizontal separation and 18" minimum vertical separation.

- Street lights may be required

Water

The existing water in 400 W is an 8" PVC pipe built in 2004. There is currently a 3/4" water meter serving the property.

- Applicant must provide fire flow and culinary water demands to SLCPU for review. The public water system will be modeled with these demands. If the demand is not adequately delivered, a water main upsizing will be required at the property owner's expense. Required improvements on the public water system will be determined by the Development Review Engineer. New water mains must cross the entire frontage of the property. A plan and profile and Engineer's cost estimate must be submitted for review. The property owner is required to bond for the amount of the approved cost estimate.

- One culinary water meter and one fire line are permitted per parcel. If the parcel is larger than 0.5 acres, a separate irrigation meter is also permitted. Each service must have a separate tap to the main.

Sewer

The sewer main in 400 W is a 12" vitrified clay pipe built in 1926. The sewer lateral connected to this property was built in 1982

- Covered parking area drains are required to be treated to remove solids and oils prior to discharge to the sanitary sewer. These drains cannot be discharged to the storm drain. Use a sand/oil separator or similar device. A 4ft diameter sampling manhole must be located downstream of the device and upstream of any other connections.

Stormwater

- Stormwater treatment is required prior to discharge to the public storm drain. Utilize stormwater Best Management Practices (BMPs) to remove solids and oils. Green infrastructure should be used whenever possible. Sand/oil separators are commonly used to treat stormwater runoff from uncovered parking areas.

This parcel is adjacent to the 500 year floodplain. There is also up to 1' of standing water in the 100 year floodplain so standing water is possible. Have multiple sewer laterals from the building to the main. Take precaution with underground parking structure. Please note any air intake should be above the standing water elevation.

Please note that storm drain inlets and connections are preferred with the curb and gutter installation.

Please provide water and sewer demand model calculations for this site.