



Staff Report

PLANNING DIVISION
COMMUNITY & NEIGHORHOODS DEPARTMENT

To: Salt Lake City Planning Commission

From: Laura Bandara, Urban Designer, (801) 535-6188, laura.bandara@slcgov.com

Date: February 23, 2022

Re: PLNPCM2021-00822 and PLNPCM2021-00835 Pacific Yard

Planned Development and Design Review

PROPERTY ADDRESS: 443 W 700 South, 720 S 400 West, 704 S 400 West

PARCEL ID: 15-12-129-007, 15-12-129-014, 15-12-129-015

MASTER PLAN: Downtown Plan

ZONING DISTRICT: General Commercial (CG)

REQUEST: KTG Architects, on behalf of developer Urban Alfandre, is requesting *Planned Development approval to waive front, corner and rear yard setback requirements and the front and corner side yard landscaping requirements. Additionally, the applicant is seeking relief of the additional landscaping required for buildings seeking additional building height in the CG (General Commercial) zoning district.* The applicant is also seeking *Design Review for an additional 28 feet of building height at approximately 720 S 400 West.* The building will occupy a 1.25-acre site in the Granary zoned General Commercial (CG). In the CG zone, new buildings taller than sixty feet (60') but less than ninety feet (90') may be authorized through Design Review.

The proposed 7-story building is 88-feet in height and includes 292 units and 202 parking stalls. It has a two-story parking garage, wrapped by 12,000 square feet of commercial space on the ground floor. The project incorporates a public mid-block pedestrian walkway along the western property line

RECOMMENDATION:

Based on the findings listed in the staff report, it is Planning Staff's opinion that overall, the project meets the applicable standards and therefore recommends the Planning Commission approve the requests with the following conditions:

1. Final approval of the details for public art, development and site lighting (including the mid-block walkway), street lighting, streetscape details, street furniture, midblock walkway paving, sidewalk paving and landscaping to be delegated to Planning Staff to ensure compliance with the standards for Design Review as well as the Downtown Community Plan.
2. Applicant to mitigate the building mass and improve the relationship of building height to human scale through provision of an awning of 4' in depth, subject to an encroachment agreement approved by all required City divisions and departments.

3. Final approval a tree form with a spreading canopy in the park strip, that will also meet the needs of the Urban Forestry Division and relevant utility companies to be delegated to Planning Staff.
4. A public easement will be recorded on the property for the midblock walkway. A sign will be posted on the midblock walkway stating it is open to the public.
5. A complete lot consolidation application for the three existing parcels shall be submitted and approved.

ATTACHMENTS:

- | | | |
|-----------|--------------------------------------|---|
| A. | <u>ATTACHMENT A:</u> | <u>Vicinity and Zoning Maps</u> |
| B. | <u>ATTACHMENT B:</u> | <u>Plan Set</u> |
| C. | <u>ATTACHMENT C:</u> | <u>Applicant Narratives</u> |
| D. | <u>ATTACHMENT D:</u> | <u>Property & Vicinity Photographs</u> |
| E. | <u>ATTACHMENT E:</u> | <u>Master Plan Policies</u> |
| F. | <u>ATTACHMENT F:</u> | <u>Analysis of Standards – General Commercial Zoning District</u> |
| G. | <u>ATTACHMENT G:</u> | <u>Analysis of Standards – Planned Development</u> |
| H. | <u>ATTACHMENT H:</u> | <u>Analysis of Standards – Design Review</u> |
| I. | <u>ATTACHMENT I:</u> | <u>Public Process and Comments</u> |
| J. | <u>ATTACHMENT J:</u> | <u>Department Review Comments</u> |

Project Description



QUICK FACTS

Height: 87' 10" (7 stories)

Number of Dwellings: 292 units

Ground Floor Uses: Approx. 1300 sq. ft. retail, office, and amenity space

Upper Floor Uses: Residential units, 7th floor rooftop deck

Front, Corner Side, and Rear

Setbacks: 0' (10' required, requesting modification)

Side Setback: 16' midblock walkway (None required; midblock walkway required by Downtown Plan)

Exterior Materials: Brick, stucco, metal, fiber cement, CMU, glass doors, vinyl windows

Parking: 202 stalls

Review Process & Standards:

Planned Development, Design Review, General Commercial (CG) zoning

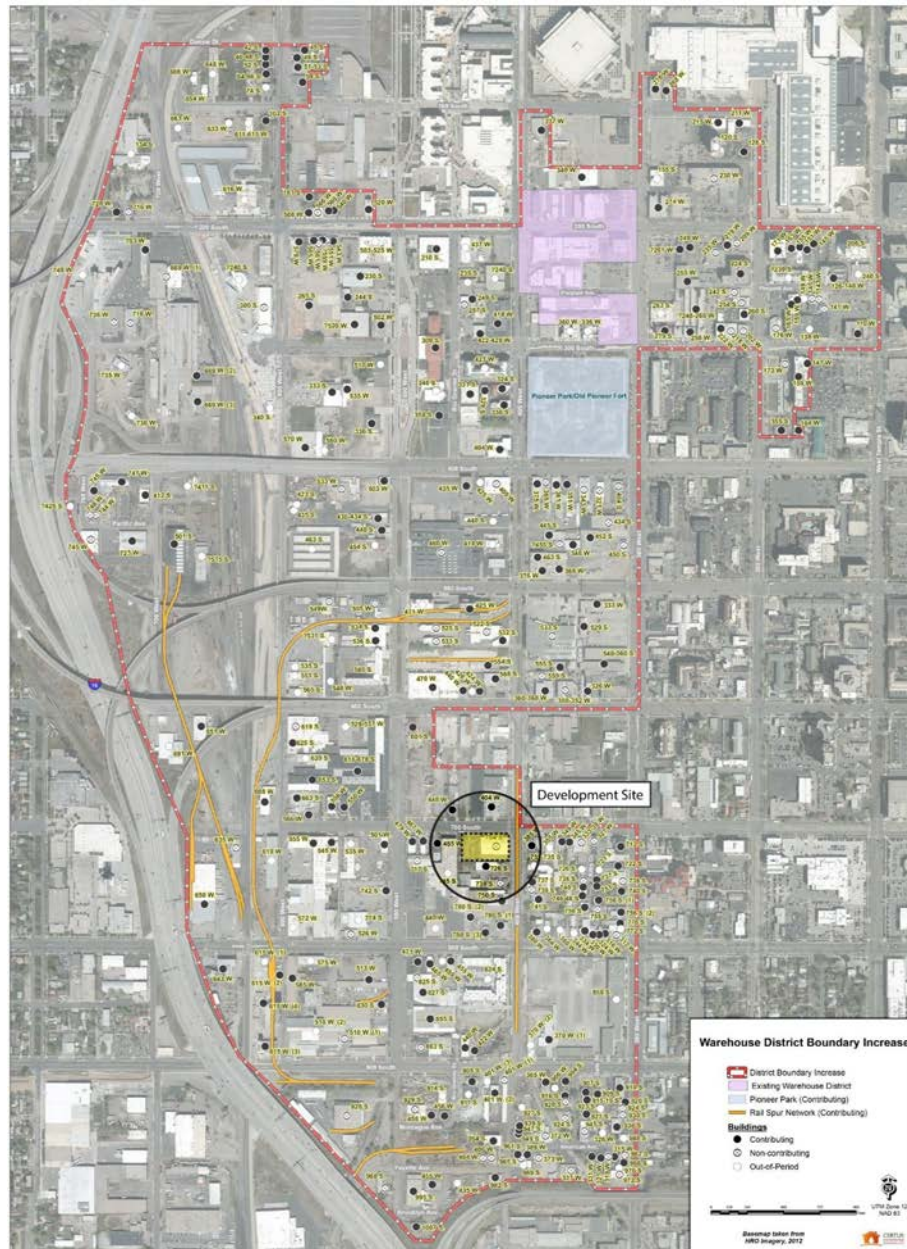


Rendering of the view from the corner of 400 West and 700 South. 400 West facade is on the left. Note that power lines to remain on 700 South—approximately 40 feet tall—are not shown in the rendering.

This is a Planned Development and Design Review request for a 292-unit mixed use building at approximately 443 W 700 South, 720 S 400 West, and 704 S 400 West. Its five floors of residential units sit atop a two-story parking structure with 202 stalls, fronted by approximately 12,000 square feet of ground floor retail, leasing office and amenity area.

Site Context

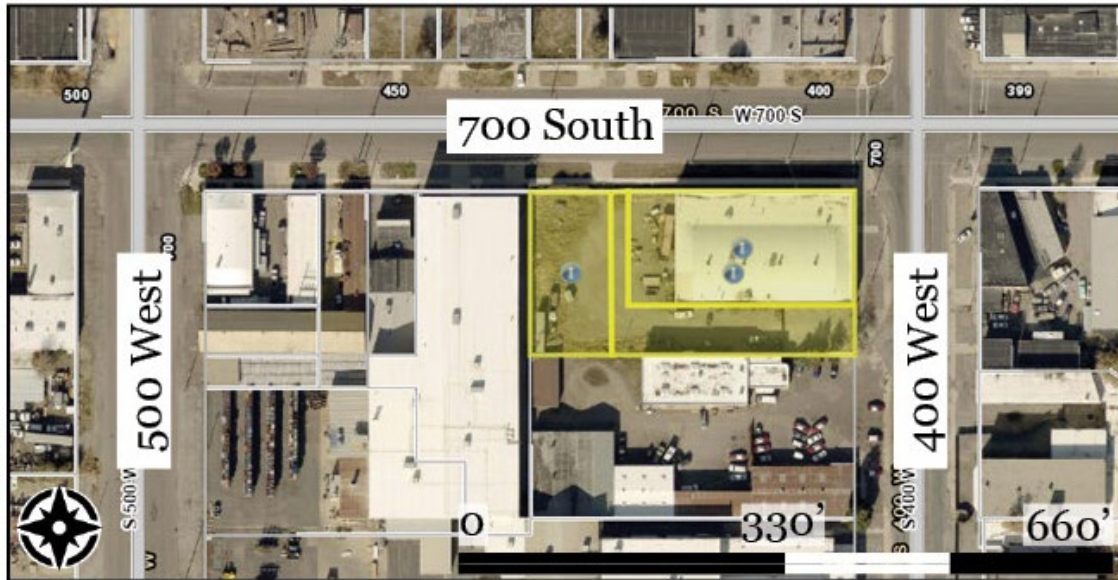
Located in Downtown's Granary, the building is within the National Register Warehouse District of Salt Lake City. According to Planning's Historic Preservation webpage, the Salt Lake City Warehouse District developed as "a late-1800s to early-1900s working class and industrial neighborhood heavily influenced by the railroad industry.... [Most] historic resources in the district are commercial buildings associated with the warehousing and distribution services that developed following the arrival of freight railroads in Utah in 1869. Residential resources are relatively rare in the district and are largely found as isolated buildings or small clusters of buildings scattered throughout the district; the exception is a somewhat larger concentration of dwellings in the southern portion of the district."



Location of development site within National Register Warehouse District. The site faces contributing buildings on the north, east, and south, although the existing building on site is non-contributing.

Existing Conditions

The proposed site will consolidate three parcels, two of which are vacant, and one which contains an under-utilized lower scale building. The existing two-story building located on the eastern portion of the site is approximately 180 ft long by 110 feet wide and will be demolished as part of this project. This property and all abutting and adjacent properties are located within the CG (General Commercial) zoning district.



Aerial showing the location of the site. The building footprint extends nearly $\frac{1}{2}$ block on 700 South, and $\frac{1}{4}$ block on 400 West.



View of existing site from the corner of 400 West and 700 South.

The power lines on 400 West will be buried. The existing power lines on the 700 South façade will remain.

Adjacent Uses

North: 700 South. Across the street is a two-story NR contributing brick warehouse that has recently been adaptively reused as retail and warehouse space for an outdoor gear company.

South: 400 West. The adjacent parcel has a NR one-story contributing brick building, which is setback nearly 73 feet from the street, and sits directly south of the proposal. The parcel has

a central expanse of surface parking and a few more one-to two-story warehouses along the southern and western perimeter, none of which are contributing.

East: 400 West. Across the street is a two-story NR contributing brick warehouse. The disused rail line running through the center of the corridor is proposed as a new streetcar route in the Downtown Plan.

West: 700 South. 10' wide RMP easement and two-story windowless warehouse with metal siding and a single garage door.

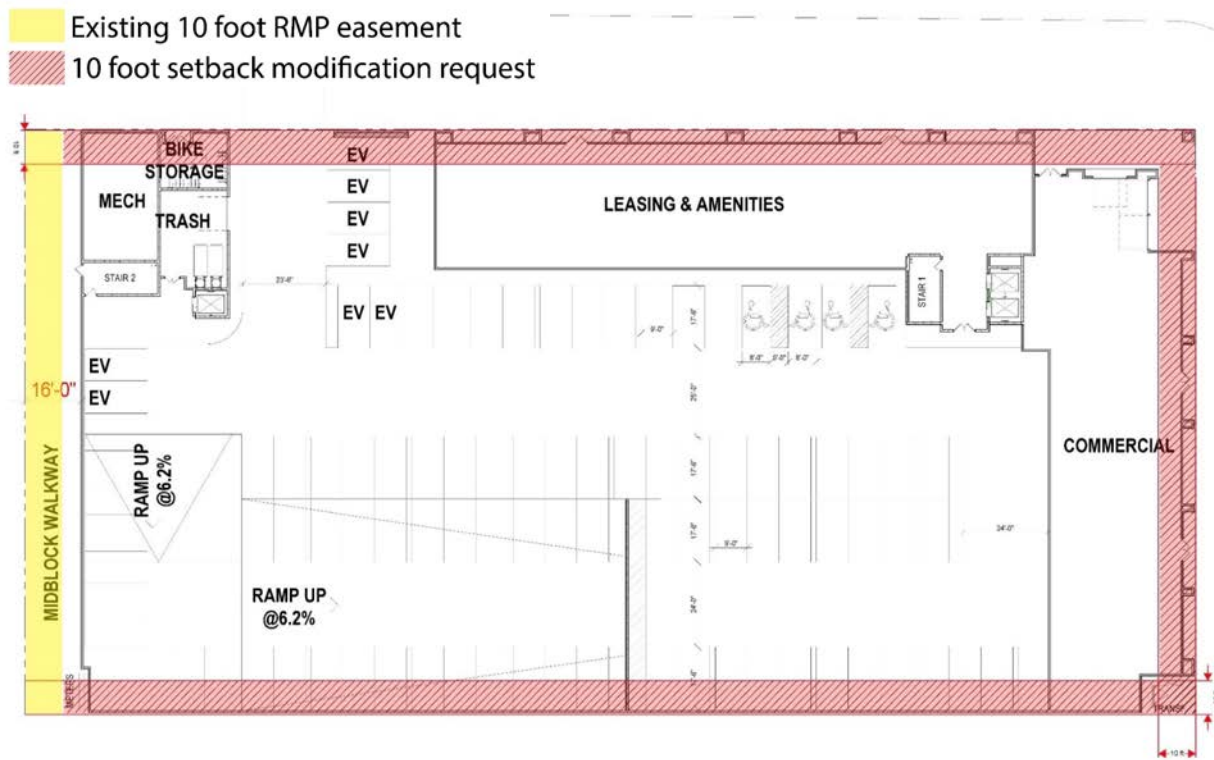
Planned Development

The Planned Development process allows applicants to seek modifications to zoning standards. An applicant must first meet one of several objectives related to City plan policies and goals. The Planned Development process includes standards related to whether any modifications will result in a better final product, whether it aligns with City policies and goals, and is compatible with the area or the City's master plan development goals for the area. Those standards and the objectives are discussed in [Attachment G](#) and in the "Key Considerations" section below

The Planned Development process is required because the applicant requests that the Planning Commission:

- Waive required 10' setbacks for front, corner, and rear yards.
- Waive required 10' front and corner landscape yards.
- Waive 7700 square feet of additional landscaping requirements generated by approvals of additional height.

In lieu of the setbacks and landscape yards, the building will extend to the property line. A request for additional height in the CG zoning district requires a landscaping increase equal to 10% of the area of the approved additional floors. The applicant is requesting 2 additional floors that total 77,000 square feet, increasing the area of landscaping required to 7700 square feet. The applicant seeks relief from both landscape yards and the increased landscaping requirement.



Site plan showing approximate location of front, rear and corner side setbacks in red. Location of power easement in yellow. Full size site and park strip landscape plans are available in [Attachment B](#).

The request is made to achieve transparency and visual interest to support the retail, office, and resident amenity uses on the ground floor, and to retain compatibility with the neighborhood pattern in the Granary's warehouse district, where many buildings have no setbacks, as well as to incorporate additional area for development.

Design Review

The Design Review process allows for additional height and flexibility in meeting certain measurable design related zoning standards if the proposed alternative design still generally meets the intent of those standards. When large developments or requests for additional height are considered, proposals shall comply with all Design Review standards. The Design Review process includes standards of review primarily related to ensuring a development is pedestrian-oriented, human-scale and incorporates sufficient transparency and visual interest to maintain pedestrian engagement. The full list of standards is reviewed in [Attachment H](#). The applicant suggests that the request for additional height will realize the Downtown Community Plan's Urban Design Framework which follows the City's Urban Design Element (1990) and recommends heights of 6-12 stories west and south of the Central Business District.

The CG zone has no façade design requirements, save for the requirement for a door on each building façade. The Design Review requirements produced by the request for additional height, therefore result in a more transparent and visually interesting ground floor than would be required by-right. The building incorporates large commercial windows articulated by framed bays on the 400 West façade and on two-thirds of the 700 South façade.

Materials change from brick, to stucco, to metal change along the façade, and 3 colors of brick are included. On the 700 South façade the ground floor has two breaks in vertical plane, which are intended to provide the appearance of two buildings – the eastern portion is 212 feet wide, and the western portion is 108' long. A projecting brickwork pattern and public art located along the mid-block walkway enlivens the façade of the parking structure.

The width of the building is reduced through vertical emphasis and include color and material changes, as required by the standards for Design Review. The proposal also includes articulation intended to make the 330-foot-wide building appear like two adjoining buildings. There are other long warehouse buildings in the surrounding context, but none above two stories. The CG zoning district does not limit building length, so while a ½ block building width is considerable, and staff believes that further articulation would improve its relation to human scale, it is generally compliant with the standards for Design Review.

KEY CONSIDERATIONS:

The below considerations were identified through analysis of the proposal.

1. Master Plan
2. Request for Additional Height
3. Request for 10' Setback and Landscape Yard Relief
4. Request for Additional Landscaping Relief
5. Mid-Block Walkway

Consideration 1: Master Plan

The Downtown Plan envisions the creation of the “premier center for sustainable urban living, commerce, and cultural life in the Intermountain West,” that is livable, walkable, provides housing choice and affordability, and incorporates a mix of public and private amenities.

The subject property is in the Granary District of the Downtown Community Plan, envisioned as a unique place in the downtown where “The Granary’s historic grit and modern refinement come together.” It is intended to provide mix of housing options include townhouses, adaptive reuse of historic buildings, and mid-rise development.

The plan proposes that existing buildings be repurposed for creative industries and supports office, retail, and restaurant uses. The Plan envisions unique public spaces within large rights of way that incorporate disused rail infrastructure, and the development of a thriving employment center in the area.



The project meets 7 of the Downtown Plan's 48 goals. The proposal is consistent with many of the initiatives in the Downtown Plan, which calls for mid-rise development in the Granary, and building design that is compatible with the character of the neighborhood. For details, see [Attachment E: Master Plan Policies](#)

Consideration 2: Request for Additional Height

The General Commercial (CG) zoning district allows for buildings up to 60 feet in height. Buildings between 60 and 90 feet in height are permitted through the Design Review process. The applicant is requesting an additional 27' 10" in height through this process.

The architectural style responds to the National Register Warehouse District character of the area and is generally compatible with the area. The existing height of the area, however, and the proposed height of the structure are different. The proposal includes a building that is 88 feet tall while the Granary typically includes building between 14 and 30 feet in height. While this building will be significantly taller than the existing context, the applicant and the City acknowledge that additional development is likely to occur, and when compliant with the standards of the design review process, 90' buildings are permissible in the CG zone.



Staff has concerns regarding the building height in relation to human scale related to Design Review Standard D and Standard G.1.a, as detailed in [Attachment H](#). The Granary, in general, is comprised of buildings and streets that lack human-scale features. The building has a 10' step back at the second story on the rear façade, this does not adequately relate to human scale, as it is not visible or perceptible from the street-facing façades. Staff asked the applicant to consider adding step backs to the street facing facades above the second story to better comply with the intent of this standard and to address concerns raised by Community Council members.

In the absence of step backs along the street facing facades, a condition of approval to provide an awning of 4' in depth that provides a greater sense of enclosure paired with an appropriate tree form and scale to further mitigate the buildings mass may improve the relationship of building height to human scale.

Consideration 3: Request for 10' Yard Setback and Landscape Yard Relief

The property is in the General Commercial (CG) zoning district. The CG zone includes a requirement for 10' front, corner, and rear yard setbacks, and 10' landscape yards in the front and corner side. The intent of this is to both provide area for aesthetic landscaping improvements along the street but to also provide some separation from the public way and the uses allowed in this zone. The applicant has proposed to modify the setback to build commercial space along the property line.

The CG zone requires landscape yards to mitigate impacts from large buildings. Through the Planned Development process, the applicant is requesting relief from all landscaping required in the CG zone, namely 10' front and corner landscape yards, (approximately 5000 square feet of landscaping).

Regarding compatibility with directly adjacent properties where the setback is being modified, staff evaluated how the development interfaces with the abutting property to the south and the street front along 400 West and 700 South. Photos of those interface areas are available in [Attachment D](#).

Where the development interfaces on the south, the proposal sits on the property line, and proposes a blank wall with a 10-foot step back at approximately 30 feet from the ground. The existing one-and-one-half story building on the lot to the south is setback approximately 5 feet

from the shared property line and has a windowless wall facing the proposal. The existing building to the south is setback nearly 74 feet from 400 West, and most of the parcel is used for surface parking. On the subject property, the existing building (to be demolished) is adjacent to the sidewalk on 400 West and 700 South, as are many nearby buildings.



The predominant neighborhood pattern is warehouse buildings set at the property line, with surface or vacant lots interspersed. Proposed site in yellow.

Staff believes that the request to waive yard setbacks and landscape yards is appropriate, particularly due to its urban context and the neighborhood pattern of buildings along the sidewalk interspersed with parking lots. The existing building on the northeast portion of the site is built to the property line. Creating a street wall with façade transparency and visual interest, as this proposal does, is a pedestrian-oriented gesture that enhances the public realm, all of which is generally desired Downtown. Staff believes the modification results in a better product related to the materials used and the creation of a pedestrian-oriented street wall, as well as enhancing compatibility with the context. Further, the reduced setbacks are mitigated for residents through the provision of a range of outdoor roof decks and indoor amenities in the building interior.

Consideration 4: Request for Additional Landscaping Relief

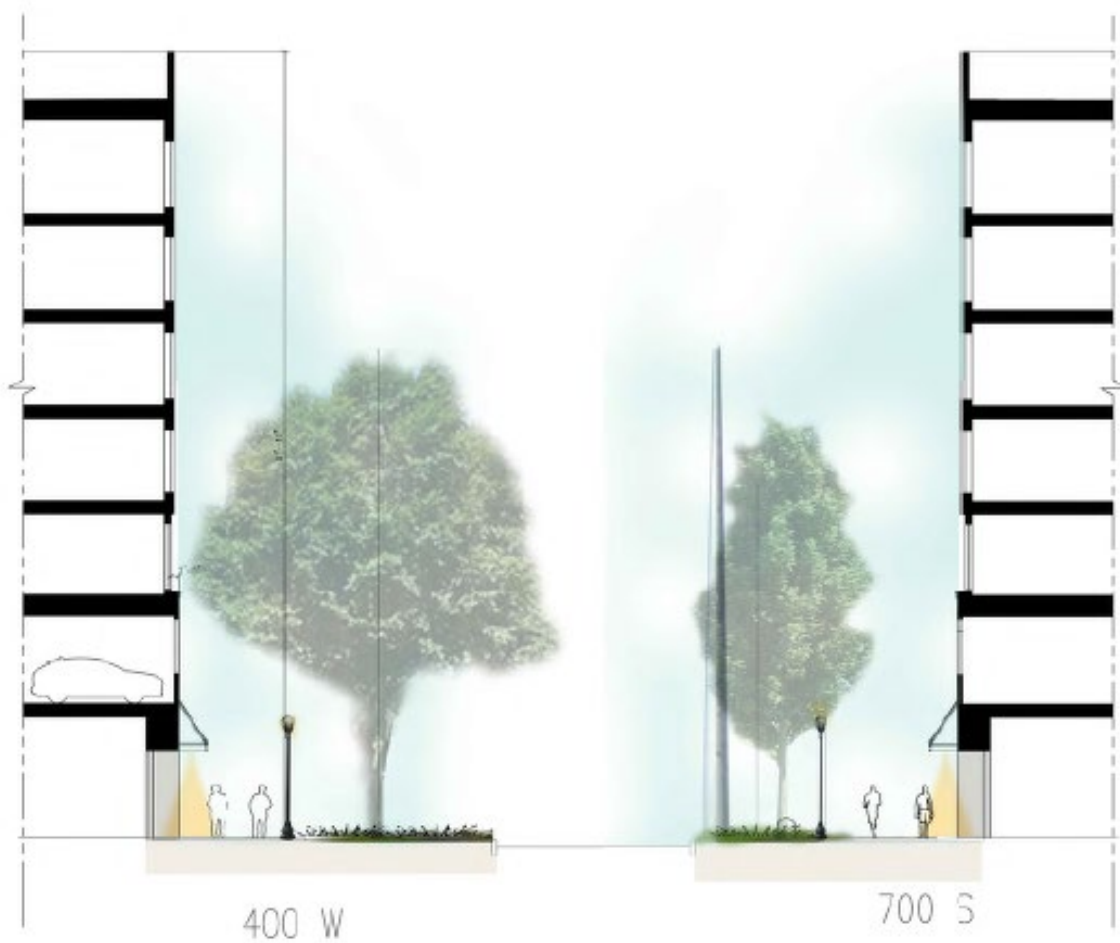
The CG zone requires additional landscaping when additional height is requested. Through the Planned Development process, the applicant is also requesting relief from the required additional landscaping which is approximately 7700 square feet generated by the request of additional floors.

As the applicant is requesting relief from all required landscaping on the property, to create a more enhanced pedestrian experience for the ground floor commercial uses. Thus, Staff finds that an enhanced landscaped park strip will help provide mitigation for the additional height being sought for this project.



Rendering of proposed park strip landscaping on 700 South facade. Note that overhead utility line on 700 South will remain.

While the proposed park strip landscape is limited in its ability to lessen impacts of the 700 South façade it can provide greenery and create a sense of human scale. As stated above, the applicant is burying the power lines along 400 West but leaving the power lines along 700 South. This limits the height for proposed street trees. With this issue in mind and attempting to create a human scale space on the sidewalk, staff is recommending a condition of approval for a tree form with a spreading canopy in the park strip, that will also meet the needs of the Urban Forestry Division and relevant utility companies.



Section through building at 400 West and 700 South to demonstrate scale relationship between proposed park strip landscaping and the development proposal.

Consideration 5: Mid-Block Walkway

A midblock walkway is required on the western property boundary by the Downtown Plan. The applicant's second submission proposed a 10-foot-wide midblock walkway that occupied an existing utility easement. However, after further discussion the applicant revised the width to 16-feet wide. The walkway is located alongside the parking garage, to the west of the proposal. As the block redevelops, the north-south midblock walkway will meet an east-west running walkway at the approximate center of the block and is intended to provide a unique pedestrian privately-owned public space.

To comply with Design Review standards, the applicant has agreed to incorporate seating and public art along the parking garage wall to make the walkway more engaging. The design of the midblock walkway meets Design Review standards for public art, seating, and amenities. The proposal includes an interactive 15' x 9' chalk board at the northern portion of the walkway, and five 8' x 8' panels with artwork along the rest of the western façade, and overhead fairy lights above the walkway.



Midblock walkway, looking north to 700 South



Example of seating along midblock walkway.

The midblock walkway proposal was added to the plan set after the initial submission and still requires concept refinement and design details. As a condition of approval Planning Staff recommends that final approval of the details for public art, signage, midblock walkway lighting, seating, paving patterns, and landscaping to be delegated to Planning Staff. Planning Staff will work with the applicant to address spatial constraints using urban design principals to the greatest extent possible.

DISCUSSION:

The requested modifications have been reviewed against the Planned Development standards in [Attachment G](#) and the proposal generally meets those standards as discussed in those attachments and in the considerations section above. The proposal provides a mixed-use development and the modifications to the front and corner yard setbacks are compatible with the existing neighborhood development pattern and the greater design considerations given the associated facades results in a better product.

The requested modifications have been reviewed against the Design Review standards Attachment H, and while it meets most of those standards, Staff has concerns regarding the proposal in relation to the standards regarding human scale and has recommended a condition to help with this issue. The ½ block long, 88-foot-tall building incorporates shallow horizontal massing changes that create visual interest but do not introduce human scale along the ground-floor street facade.

Otherwise, the proposal generally meets the Design Review standards. As the applicant is generally meeting the applicable standards, Staff is recommending approval of the development with the conditions noted on the first page of the report.

NEXT STEPS:

Planned Development Approval

If the proposal is approved, the applicant will be able to build their proposal as proposed. The final plans submitted for building permits will be reviewed to ensure that they substantially comply with the approved plans and all conditions of approval. The buildings will need to comply with all other zoning and code requirements.

Planned Development Denial

If the Planned Development is denied, the applicant will not be able to build their proposal as proposed. Any proposed development would need to comply with the front, corner side, and rear yard setback requirements of 10' and would need to provide landscape yards and additional landscaping as required in the Commercial General zoning district.

Design Review Approval

If the proposal is approved, the applicant will be able to build their proposal as proposed. The final plans submitted for building permits will be reviewed to ensure that they substantially comply with the approved plans and all conditions of approval. The buildings will need to comply with all other zoning and code requirements.

Design Review Denial

If the proposal is denied, the applicant will not be able to build their proposal as proposed. Any proposed development would need to be at or under the 60' height limit.

ATTACHMENT E: Master Plan Policies

City Master Plan Policies

Downtown Plan

The Downtown Plan puts forth 10 principles to support the Downtown Plan's vision of creating the "premier center for sustainable urban living, commerce, and cultural life in the Intermountain West." These 10 principles are elaborated through a framework of goals and initiatives to guide implementation.

The proposal incorporates several initiatives intended to realize 7 of the Plan's 48 goals.

Principle: Housing Choice

Goal 4: Increased residential density—The project will add 292 residential units to a part of downtown that currently lacks significant residential development.

Principle: Vibrant and Active

Goal 3: Active public realm—The proposal includes a high amount of transparency for ground floor uses and a mix of uses.

Active ground floor uses are prioritized over parking on the 400 West façade and on 2/3rds of the 700 South façade.

Principle: Arts and Culture

Goal 1: Public art—The proposal includes interactive art areas on the midblock walkway.

Goal 2: Distinctive, imageable downtown with identifiable subdistricts—The building identifiably incorporates the architectural style of the Granary warehouse, while incorporating transparency and visual interest to create activation at the ground floor.

Principle: Walkable

Goal 1: Midblock Walkways—Mid-block walkways are intended to facilitate pedestrian movement throughout Downtown. The midblock walkway's proposed location on western boundary of the site is consistent with the midblock walkway network as shown in the Downtown Community Plan.

Principle: Welcoming and safe

Goal 1: 24/7 Public realm— The proposal incorporates a high degree of ground-level transparency, non-reflective glass, architectural design features, and incorporates clear windows and doors, and balconies facing public spaces.

Principle: Beautiful

Goal 1: Character-contributing buildings—Building design is responsive to district character, neighboring buildings, and glass and visual interest at the ground level is responsive to the pedestrian.

Downtown Plan: Granary District Initiatives

The development is in the Granary area of the Downtown Community Plan, which calls for mid-rise development.

There are 25 Granary District initiatives described in the Downtown Community Plan, of which this proposal meets 3:

- contains a rooftop patio,
- utilizes on street parking to count toward parking requirements, and
- rebuilds a 165 linear foot segment of 400 West with adequate curb, gutter, park strip, and sidewalk.

Pending further information, this proposal has the potential to meet two additional initiatives

- develop a small neighborhood service node (ground floor commercial space is provided).
- create an active public space along the required midblock walkway.

Growing SLC

The City's Housing Plan ("Growing SLC") also includes policies that relate to the proposal, including:

GOAL 1: INCREASE HOUSING OPTIONS: REFORM CITY PRACTICES TO PROMOTE A RESPONSIVE, AFFORDABLE, HIGH-OPPORTUNITY HOUSING MARKET

1.1.2 Develop in-fill ordinances that promote a diverse housing stock, increase housing options, create redevelopment opportunities, and allow additional units within existing structures, while minimizing neighborhood impacts.

Staff Discussion: In relation to the above, the proposal utilizes the Planned Development and design review process as an in-fill tool to provide more housing options.

Plan Salt Lake

The City's general citywide plan "Plan Salt Lake" also includes policies related to the proposal, including:

2/ Growth (Policies)

3. Promote in fill and redevelopment of underutilized land.
6. Accommodate and promote an increase in the City's population

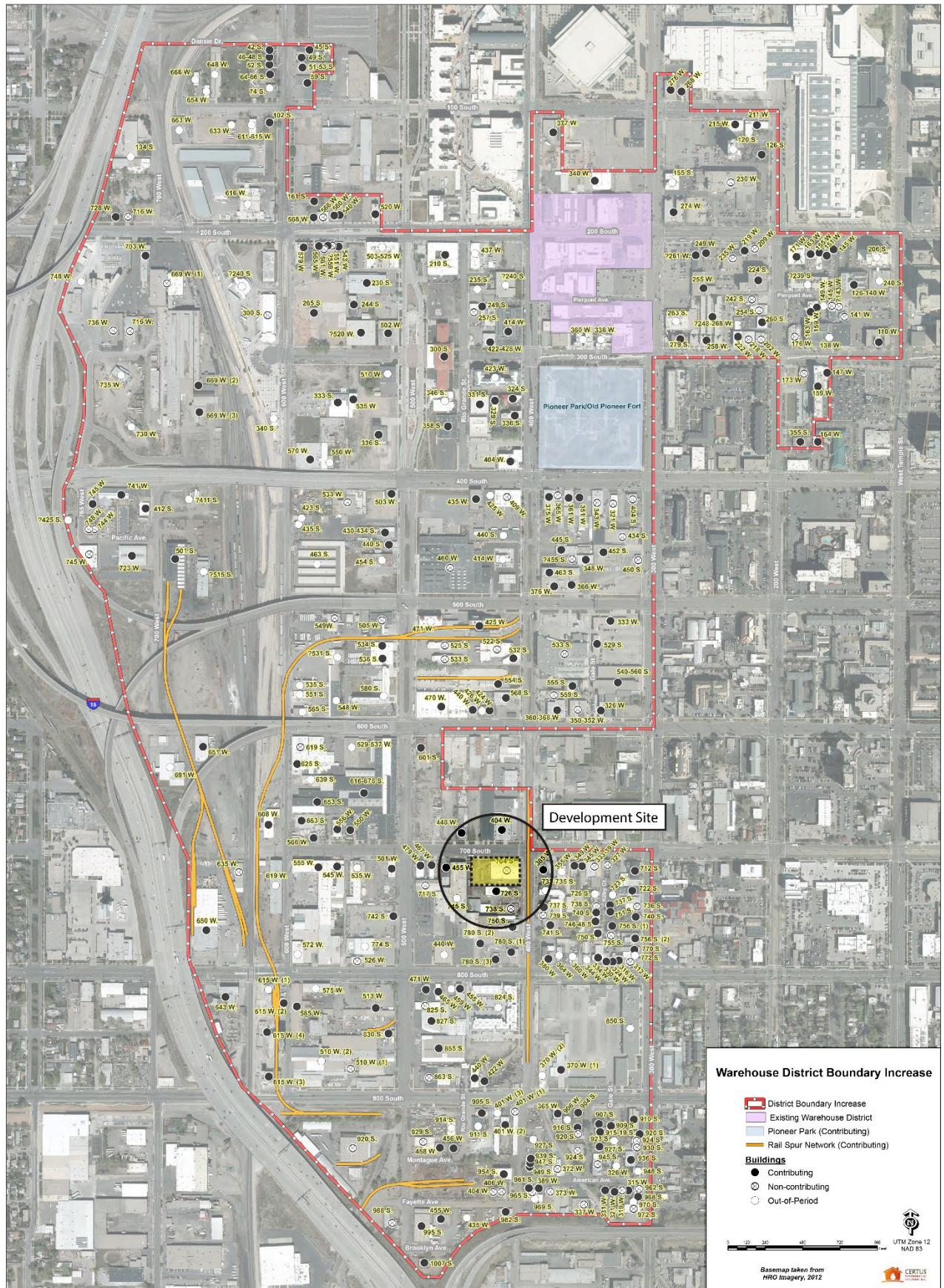
Staff Discussion: The proposal introduces in-fill development on three existing lots, two of which are vacant, and one with an under-utilized lower scale building and that helps accommodate a growing City population. The building provides a mix of nearly 300 one and two-person apartments in an area that currently has little residential development.

In relation to the Downtown Plan, the proposal is utilizing the Planned Development process, which allows for some design flexibility, while also maintaining compatibility with the

surrounding neighborhood. The request for reduced yard setbacks is premised on maintaining continuity with the existing development pattern to create a pedestrian-oriented street wall.

The Design Review process provides for ground-level pedestrian engagement and orientation in a base zone with very few design standards, as well as strategies to mitigate the ½ block width of the building. The design review request is for additional height, which implements several goals and initiatives of the Downtown Plan, related to the provision of commercial space and ground-level transparency and visually interesting facades, as well as an architecturally compatible response to the character of the Granary District.

ATTACHMENT A: Vicinity and Zoning Maps





ATTACHMENT B: **Plan Set**

URBAN ALFANDRE
ALTA/NSPS LAND TITLE SURVEY

LOCATED WITHIN THE NORTHWEST QUARTER OF SECTION 12,
TOWNSHIP 1 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
704 SOUTH 400 WEST, SALT LAKE CITY, SALT LAKE COUNTY, UTAH

SURVEYOR'S CERTIFICATE

TO: FIDELITY NATIONAL TITLE INSURANCE COMPANY, COTTONWOOD TITLE INSURANCE AGENCY,
INC., URBAN ALFANDRE, ENGINE WILLIAM MARTIN, TRUSTEE OF THE EUGENE WILLIAM MARTIN
LIVING TRUST, DATED SEPTEMBER 26, 2019.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE
IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS
LAND TITLE SURVEYS JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS. THE FIELD WORK
WAS COMPLETED IN MARCH, 2021.

SATTAR N. TABRIZ, PLS.
UTAH LICENSE NO.: 155100

SURVEYOR'S NARRATIVE

THIS SURVEY WAS PREPARED BASED UPON THE COMMITMENT FOR TITLE INSURANCE PREPARED
BY COTTONWOOD TITLE INSURANCE AGENCY, INC. ISSUING OFFICE OF FIDELITY NATIONAL TITLE
INSURANCE COMPANY, FILE NO. 147621-CAB, WITH AN EFFECTIVE DATE OF AUGUST 2, 2021 AT 7:30
AM. THE FOLLOWING NOTES PERTAIN TO SCHEDULE 'B' SECTION 2 EXCEPTIONS FROM COVERAGE
LISTED IN SAID COMMITMENT:

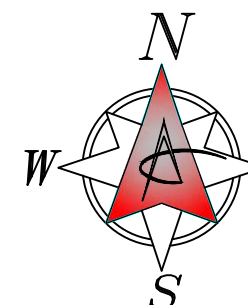
EXCEPTIONS 1-11 ARE NOT PLOTTABLE, OR ADDRESSED BY THIS MAP.

- THE HEREIN DESCRIBED LAND IS LOCATED WITHIN THE BOUNDARIES OF SALT LAKE CITY,
SALT LAKE METROPOLITAN WATER DISTRICT, SALT LAKE CITY MOSQUITO ABATEMENT
DISTRICT, CENTRAL UTAH WATER CONSERVANCY DISTRICT, GRANARY DISTRICT
REDEVELOPMENT PROJECT AREA PLAN, AND IS SUBJECT TO ANY AND ALL CHARGES AND
ASSESSMENTS LEVIED HEREUNDER.
(NO PLOTTABLE DESCRIPTION PROVIDED)
- MINERALS OF WHATSOEVER KIND, SUBSURFACE AND SURFACE SUBSTANCES, INCLUDING
BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND AND GRAVEL IN,
ON, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS,
PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE
PUBLIC RECORDS OR LISTED HEREIN. THE COMPANY MAKES NO REPRESENTATION AS TO
THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS,
EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED.
(NO PLOTTABLE DESCRIPTION PROVIDED)
- CLAIM, RIGHT, TITLE OR INTEREST TO WATER OR WATER RIGHTS WHETHER OR NOT SHOWN
BY THE PUBLIC RECORDS.
(NO KNOWN DOCUMENTS OR OTHER SUPPORTING INFORMATION REGARDING WATER
RIGHTS PROVIDED TO SURVEYOR AT THE TIME OF THIS SURVEY)
- THE EFFECTS, IF ANY, OF EASEMENTS AND RIGHTS-OF-WAY FOR EXISTING ROADS, STREETS,
ALLEYS, DITCHES, RESERVOIRS, UTILITIES, CANALS, PIPELINES AND POWER, TELEPHONE,
SEWER, GAS OR WATER LINES, WHICH MAY BE ASCERTAINED BY AN INSPECTION OR SURVEY
OF THE SUBJECT LAND.
- RIGHTS-OF-WAY FOR RAILROAD, SWITCH TRACKS, SPUR TRACKS, RAILWAY FACILITIES AND
OTHER RELATED EASEMENTS, IF ANY, ON AND ACROSS THE LAND.
(EXISTING RAILROAD TRACKS WITHIN THE VICINITY HAVE BEEN SHOWN HEREON.)
- AMENDED NOTICE OF ADOPTION OF REDEVELOPMENT PLAN ENTITLED "GRANARY DISTRICT
REDEVELOPMENT PROJECT AREA PLAN" AND DATED APRIL 15, 1999 RECORDED MAY 6, 1999
AS ENTRY NO. 7345725 IN BOOK 8275 AT PAGE 1399.
(PROPERTY IS LOCATED WITHIN THE BOUNDARY OF AREA PLAN)
- NOTWITHSTANDING THOSE ITEMS DESCRIBED HEREIN-ABOVE, THE LAND IS ALSO SUBJECT
TO ANY ADDITIONAL DISCREPANCIES, CONFLICTS IN THE BOUNDARY LINES, SHORTAGE IN
AREA, ENCROACHMENTS, OR ANY OTHER FACTS WHICH AN ALTA/NSPS SURVEY, (MADE IN
ACCORDANCE WITH THE CURRENT MINIMUM STANDARD DETAIL REQUIREMENTS FOR
LAND TITLE SURVEYS JOINTLY ESTABLISHED AND ADOPTED BY (ALTA) AMERICAN LAND TITLE
ASSOCIATION AND (NSPS) NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS) MAY
DISCLOSE.
- RIGHTS OF TENANT(S) IN THE LAND, IF ANY, AND RIGHTS OF ALL PARTIES CLAIMING BY,
THROUGH OR UNDER SAID TENANT(S).
(NO PLOTTABLE DESCRIPTION PROVIDED)
- ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL HERETOFORE OR
HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS.
(NO PLOTTABLE DESCRIPTION PROVIDED)

MAP LEGEND

BOUNDARY LINE	---
SECTION LINE	---
QUARTER SECTION LINE	---
CENTERLINE	---
RIGHT OF WAY	---
LOT LINE	---
DEED LINE	---
EASEMENT LINE	---
RADIAL LINE	---
FENCE LINE (CHAINLINK)	---
CONCRETE	---
ASPHALT	---
OVERHEAD POWER LINE	---
MONUMENT	---
LEAD PLUG	---
BOUNDARY CORNER	---
POWER POLE	---
LIGHT POLE	---
FIRE HYDRANT	---
WATER VALVE	---
WATER METER	---
SEWER CLEANOUT	---
GAS METER	---
POWER METER	---
MAJOR CONTOUR	---
MINOR CONTOUR	---

NOTE:
CONTOURS ARE SHOWN IN 1' INTERVALS



GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

GENERAL NOTES

- ONLY EASEMENTS LISTED IN THE TITLE COMMITMENT ARE ADDRESSED BY
THIS MAP.
- THIS MAP IS NOT PROOF OF OWNERSHIP.
- THIS MAP MAKES NO ASSUMPTIONS AS TO ANY UNWRITTEN RIGHTS THAT
MAY EXIST BY AND BETWEEN THE ADJOINING LAND OWNERS.
- COURSES AND DISTANCES SHOWN ON THIS MAP ARE MEASURED
DIMENSIONS TAKEN FROM ACTUAL FIELD MEASUREMENTS, UNLESS
CONTAINED WITHIN PARENTHESES INDICATING A RECORD COURSE OR
DISTANCE. RECORD INFORMATION IS TAKEN FROM MAPS, PLATS, DEEDS
OF RECORD, OR OTHER SOURCES OF RECORD INFORMATION.
- PROPERTY CORNERS WERE EITHER FOUND AS DESCRIBED ON THE FACE
OF THE MAP, OR MONUMENTED WITH A 5/8" REBAR AND A YELLOW NYLON
CAP STAMPED "155100" OR NAIL AND WASHER BEARING THE SAME
INSIGNIA, UNLESS OTHERWISE NOTED.
- UTILITIES SHOWN HEREON ARE BASED UPON ABOVE GROUND FEATURES
FOUND ON SITE AT THE TIME OF THE SURVEY, AND MAPS AND/OR
RECORDS PROVIDED BY UTILITY PROVIDERS AT THE TIME OF THE SURVEY.
ACTUAL UNDERGROUND UTILITY LINE LOCATIONS MAY VARY FROM
LOCATIONS SHOWN ON THE SURVEY.

LEGAL DESCRIPTION

PER TITLE REPORT:

PARCEL 1:

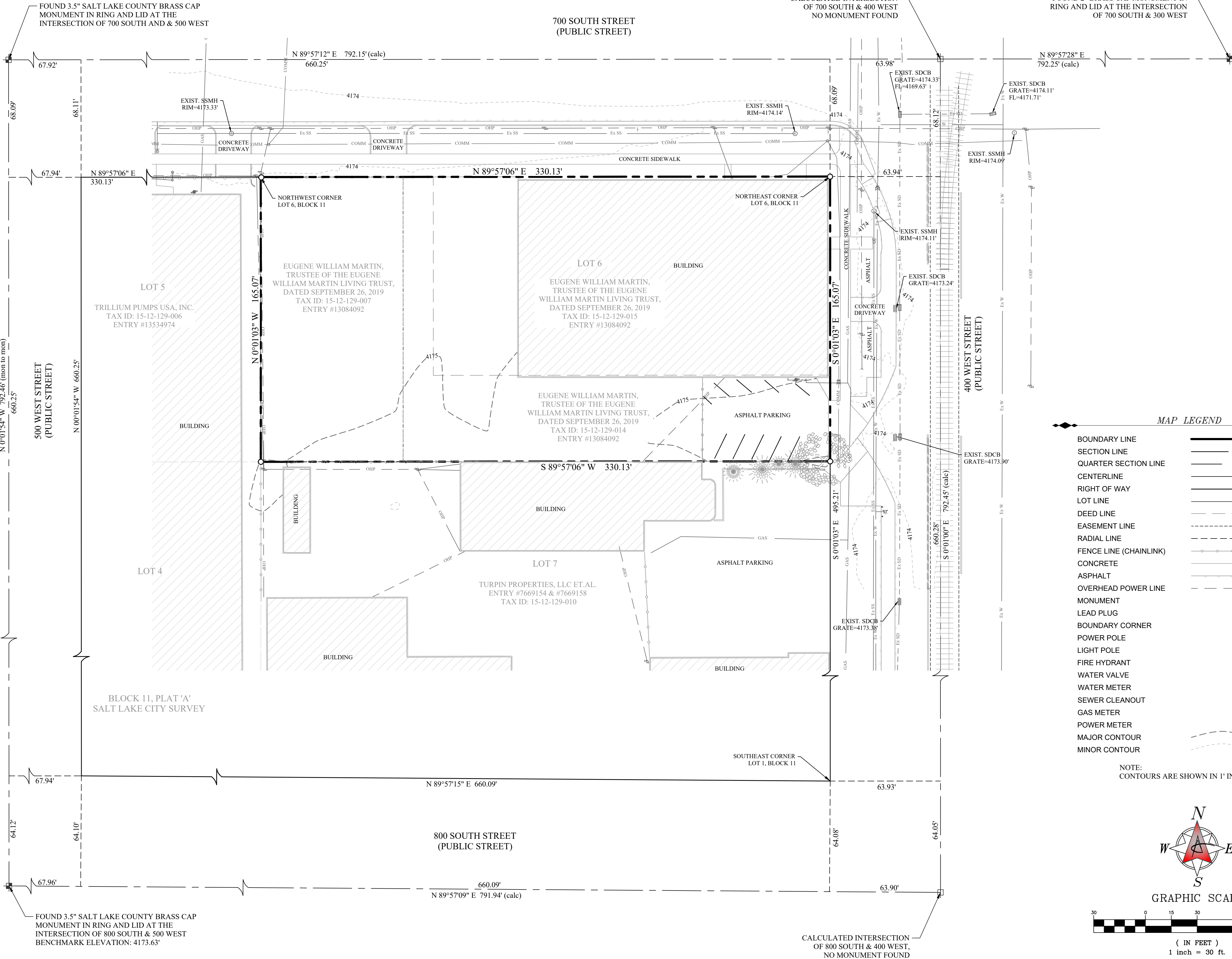
BEGINNING AT THE NORTHEAST CORNER OF LOT 6, BLOCK 11, PLAT "A", SALT
LAKE CITY SURVEY; AND RUNNING THENCE SOUTH 115 FEET; THENCE WEST
230 FEET; THENCE NORTH 115 FEET; THENCE EAST 230 FEET TO THE POINT
OF BEGINNING.

PARCEL 2:

BEGINNING AT THE NORTHWEST CORNER OF LOT 6, BLOCK 11, PLAT "A",
SALT LAKE CITY SURVEY; AND RUNNING THENCE EAST 5 RODS; THENCE
SOUTH 10 RODS; THENCE WEST 5 RODS; THENCE NORTH 10 RODS TO THE
POINT OF BEGINNING.

PARCEL 3:

BEGINNING 115 FEET SOUTH FROM THE NORTHEAST CORNER OF LOT 6,
BLOCK 11, PLAT "A", SALT LAKE CITY SURVEY; RUNNING THENCE SOUTH 50
FEET; THENCE WEST 247.5 FEET; THENCE NORTH 165 FEET; THENCE EAST
17.5 FEET; THENCE SOUTH 115 FEET; THENCE EAST 230 FEET TO THE POINT
OF BEGINNING.



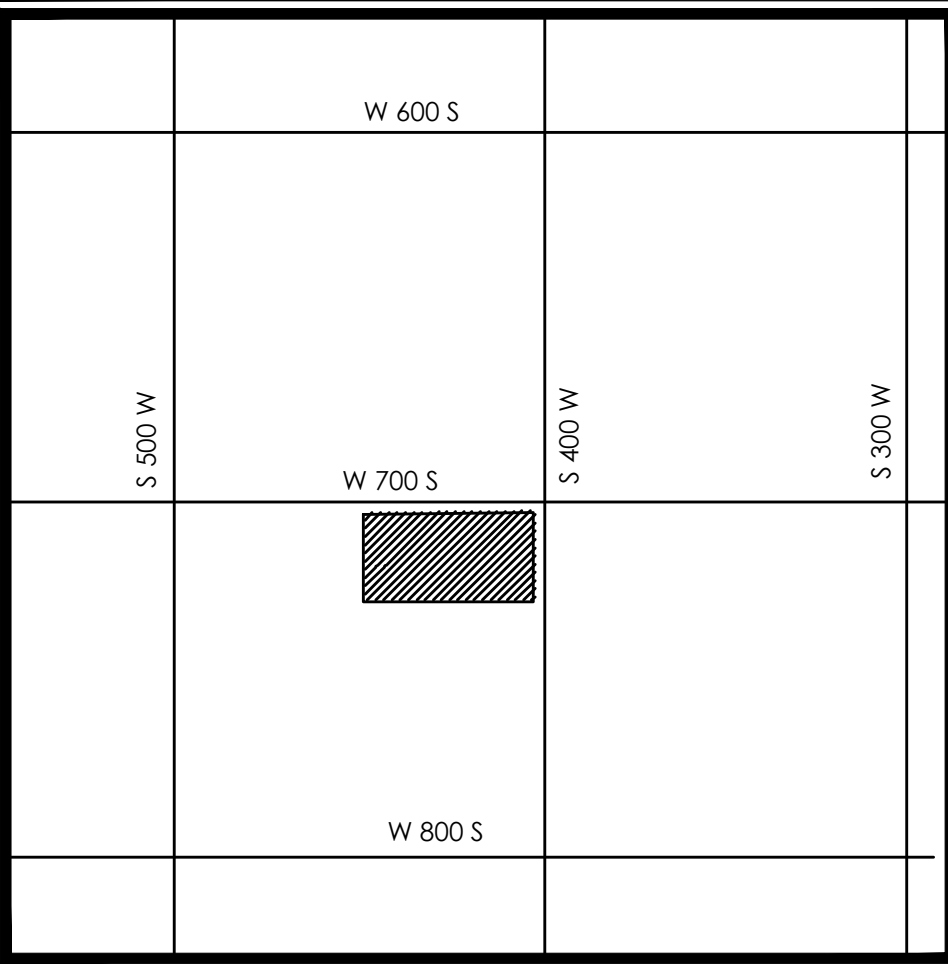
DRAWN BY: FH
FIELD CREW: DM
CHECKED BY: SNT
DATE: 4/16/21

CLIENT: URBAN ALFANDRE
DWG: BASE.DWG
JOB No.: 6814-UF04-21
DRAWING IS REDUCED IF LESS THAN 27"x34"
DIMENSIONS AND NOTES TAKE PRECEDENCE OVER SCALE.

URBAN ALFANDRE
ALTA/NSPS LAND TITLE SURVEY
704 SOUTH 400 WEST, SALT LAKE CITY, UTAH
LOCATED IN THE NORTHWEST QUARTER OF SECTION 12,
TOWNSHIP 1 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN.

REVISIONS			
No.	DATE	BY	REVISION

tel (801) 487-8040 231 West 800 South
fax (801) 487-8668 Salt Lake City, Utah 84101
www.wardeg.com
Ward Engineering Group
Planning • Engineering • Surveying
Since 1981

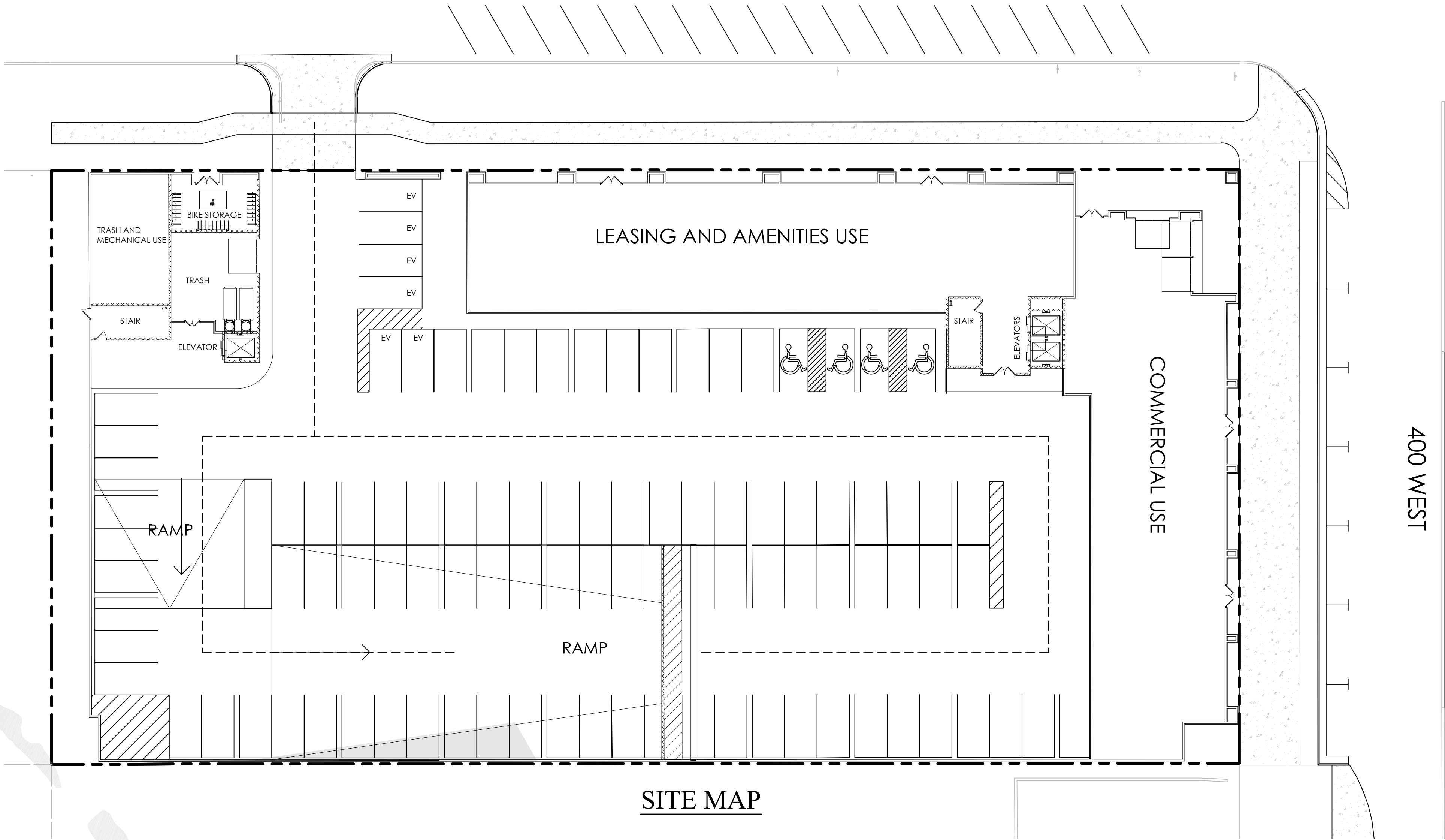


VICINITY MAP
NTS

PACIFIC YARD

PREPARED FOR:
JAMES ALFANDRE
LOCATED IN:
SALT LAKE CITY

700 SOUTH



SITE MAP

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO SALT LAKE CITY AND APWA STANDARD PLANS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.
- THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANT THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

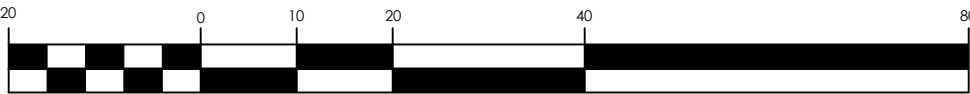
CONTACTS

ENGINEER & SURVEYOR
FOCUS ENGINEERING & SURVEYING, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047
(801) 352-0075
PROJECT MANAGER: CAMERON TAYLOR
SURVEY MANAGER: EVAN WOOD

OWNER/DEVELOPER
URBAN ALFANDRE
650 S 500 W, UTAH 84101
CONTACT: JAMES@URBANALFANDRE.COM



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



FOR
REVIEW
ONLY

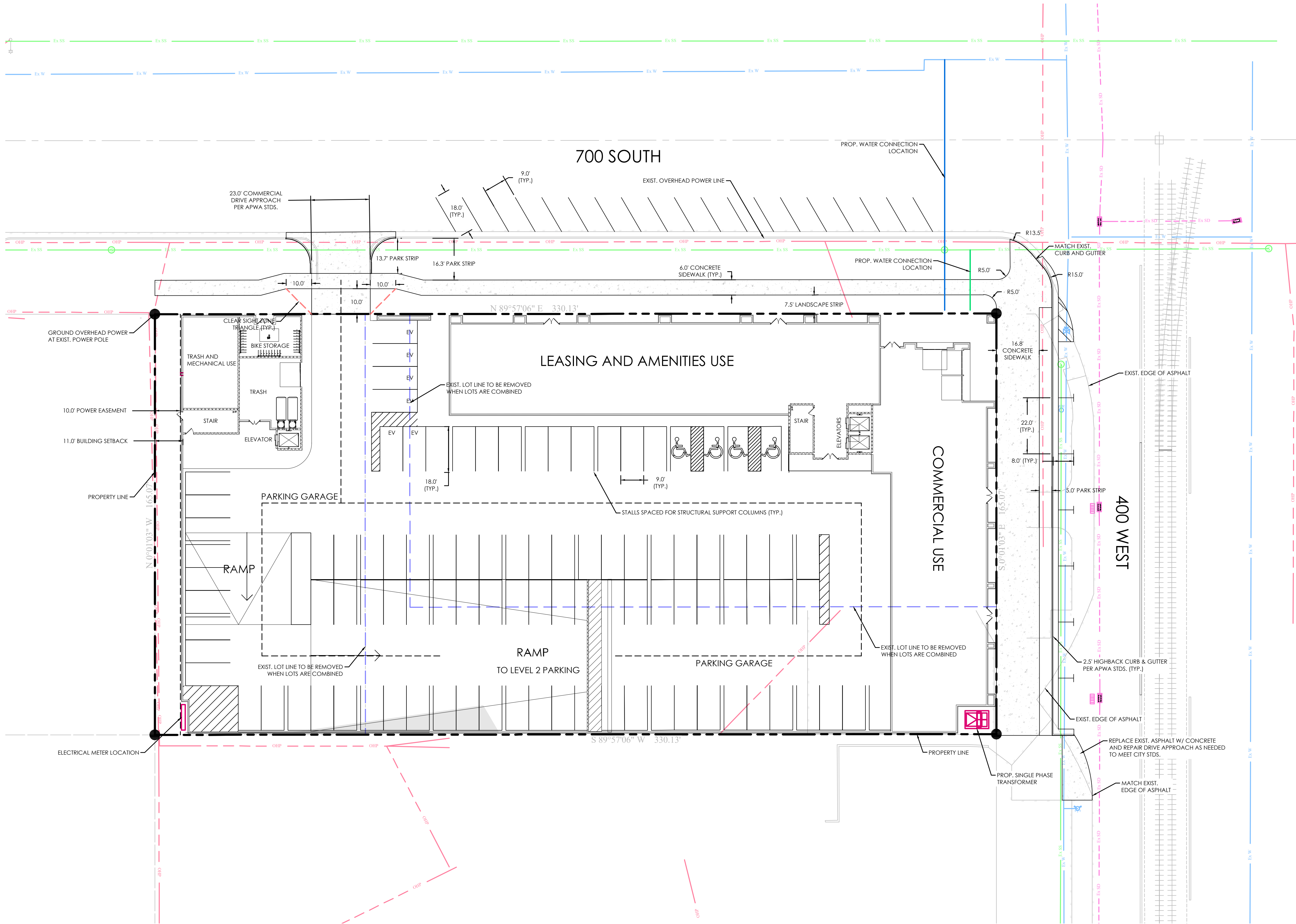
PACIFIC YARD SALT LAKE CITY COVER SHEET

#	DATE	DESCRIPTION
1	***	***
2	***	***
3	***	***
4	***	***
5	***	***
6	***	***

COVER SHEET

Scale: 1"=30'	Drawn: CT
Date: 01/04/2022	Job #: 21-0268
Sheet:	

C1



LEGEND

BOUNDARY	15" SD	EXIST. STORM DRAIN
ROW	8" SS	EXIST. SANITARY SEWER
CENTERLINE	8" W	EXIST. CULINARY WATER
LOT LINE	8" SW	EXIST. CULINARY SEWER
EASEMENT	XXXX	EXIST. FENCE
CONTOUR MAJOR	XXXX	EXIST. CONTOUR MAJOR
CONTOUR MINOR	XXXX	EXIST. CONTOUR MINOR
STREET LIGHT	o XXXX.XX	SIGN
SD MH, INLET, AND COMBO		SEWER MANHOLE
CULINARY VALVE, TEE & BEND		WATER BLOW-OFF
SECONDARY VALVE, TEE & BEND		FIRE HYDRANT
STREET MONUMENT (TO BE SET)		EXIST. STREET MONUMENT
EXIST. SD INLET & MH		EXIST. SEWER MH
EXIST. VALVE, TEE, & BEND		EXIST. FIRE HYDRANT
EXIST. FIRE HYDRANT		SPOT ELEVATION

- NOTES:**
- LOT AREA : 54494 SQFT
 - PUBLIC PARKING : 25 STALLS
 - THERE ARE NO EXISTING TREES ON THIS SITE

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

FOR REVIEW ONLY

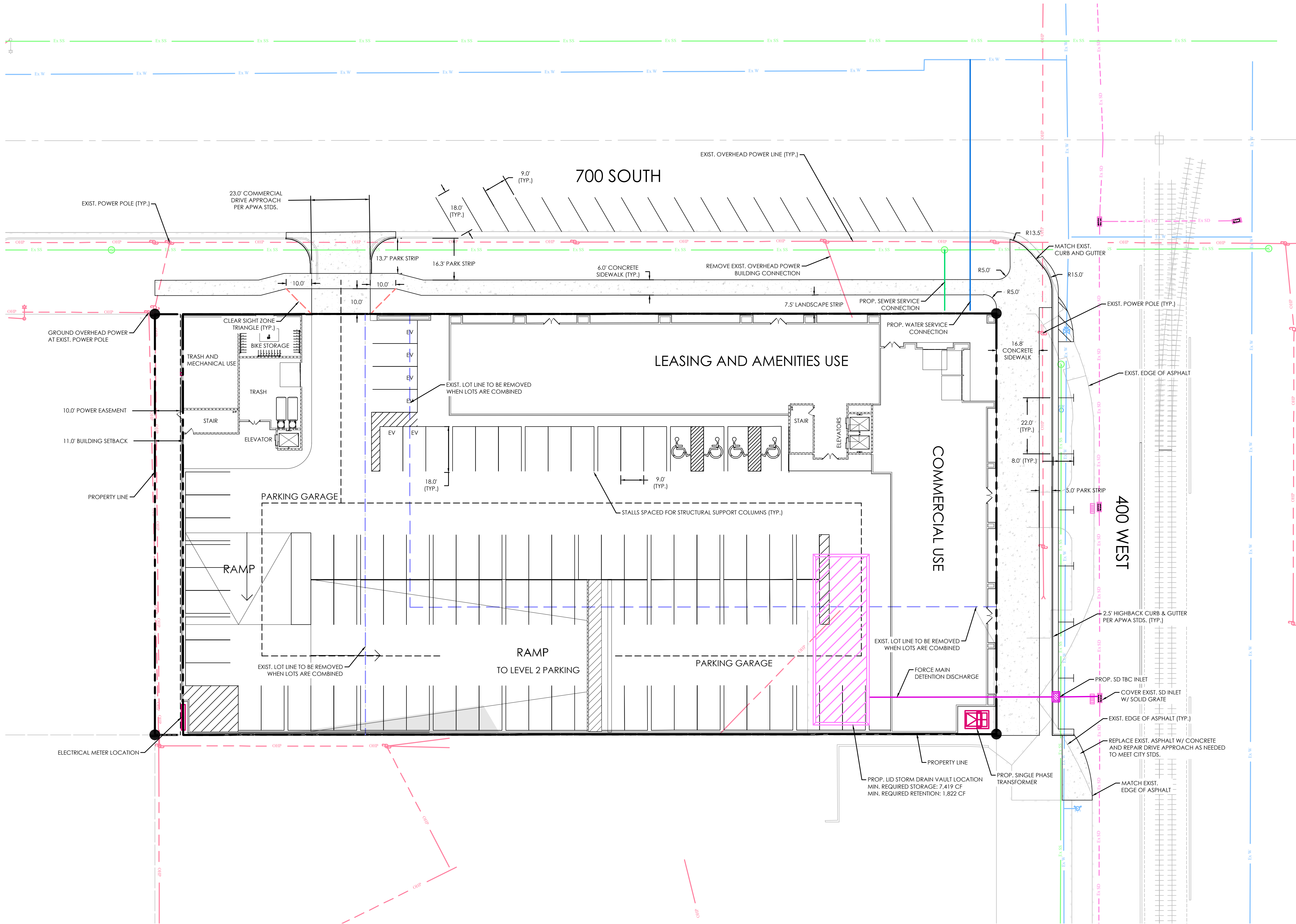
PACIFIC YARD
SALT LAKE CITY
SITE PLAN

REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	

SITE PLAN

Scale: 1"=20'	Drawn: CT
Date: 01/04/2022	Job #: 21-0268
Sheet:	C2

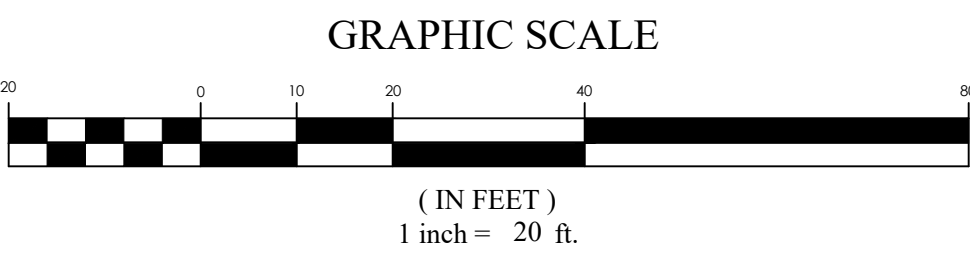




LEGEND

—	BOUNDARY
—	ROW
—	CENTERLINE
—	LOT LINE
---	EASEMENT
15" SD	15" STORM DRAIN
8" SS	8" SANITARY SEWER
8" W	8" CULINARY WATER
8" SW	8" SECONDARY WATER
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
XXXX	EXIST. CONTOUR MAJOR
XXXX	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
+	SEWER MANHOLE
+	CULINARY VALVE, TEE & BEND
+	SECONDARY VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT (TO BE SET)
+	EXIST. STREET MONUMENT
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION

- NOTES:**
- LOT AREA : 54494 SQFT
 - PUBLIC PARKING : 25 STALLS
 - THERE ARE NO EXISTING TREES ON THIS SITE



FOR REVIEW ONLY

PACIFIC YARD
SALT LAKE CITY
SITE PLAN

REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	

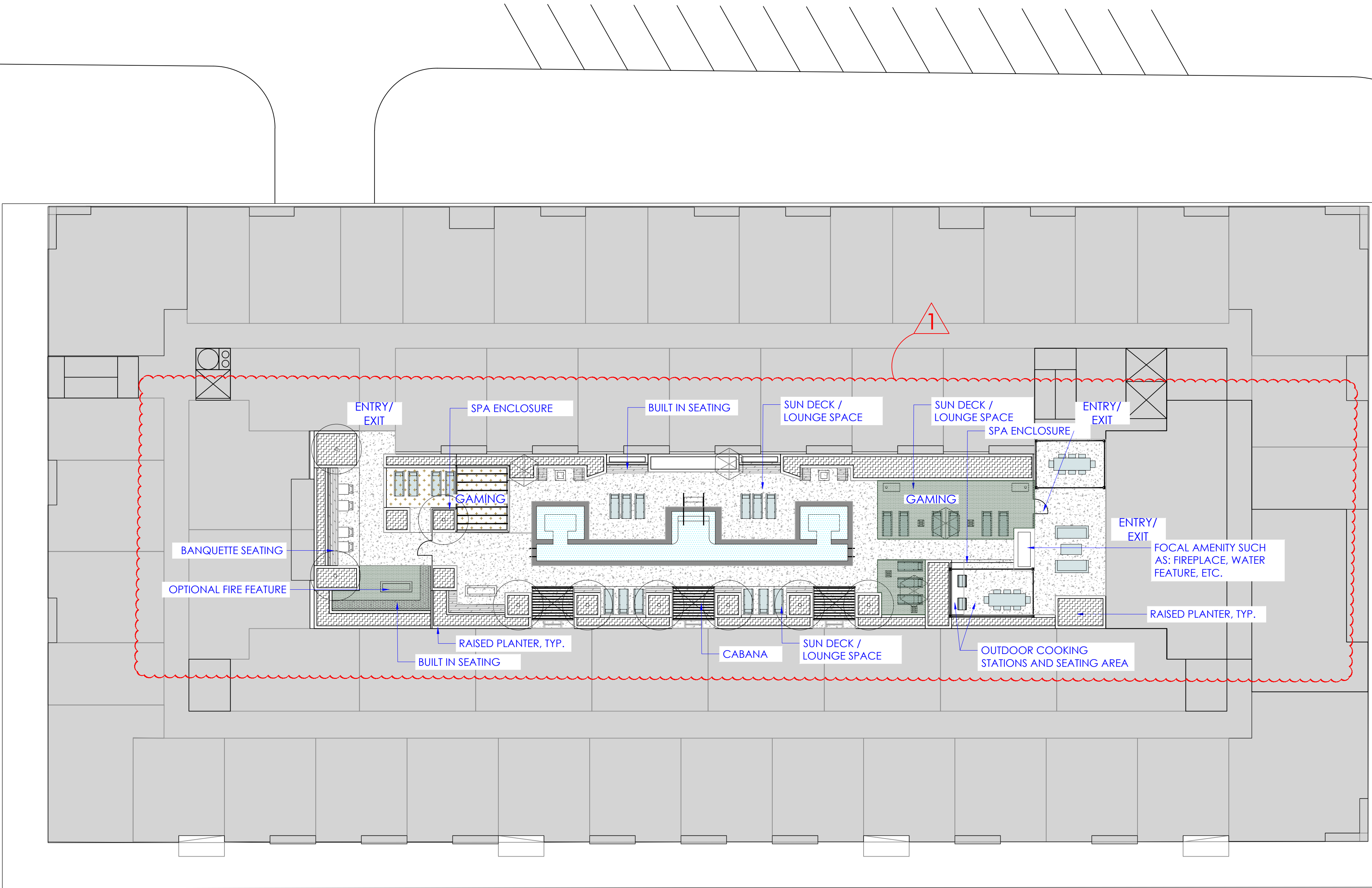
SITE PLAN

Scale: 1"=20'
Date: 01/25/2022
Sheet: C2

Drawn: CT
Job #: 21-0268



LANDSCAPE AREAS - LEVEL 3 OUTDOOR AMENITY DECK



*DESIGN INTENT ONLY - FINAL DESIGN T.B.D. PENDING PLANNING REVIEW
*QUANTITIES AND DESCRIPTION OF LANDSCAPE AREAS SHOWN FOR DESIGN INTENT PURPOSES ONLY AND ARE SUBJECT TO CHANGE

LEVEL 3 AMENITY DECK		AREA EST.
HATCH	DESCRIPTION	SQUARE FT.
	LANDSCAPE / LIVE COVERAGE. *PLANT SELECTIONS TO BE 80% FROM SLC LOW WATER USE LIST *RAISED PLANTER WALLS	1,255
	LANDSCAPE SURFACE SUCH AS: CONCRETE TOPPING SLAB, PAVERS, TILE, ETC.	3,820
	SOFT SURFACING LOUNGE/GAMING SPACE SUCH AS: ARTIFICIAL TURF, COMPACTED LANDSCAPE MATERIALS, RUBBER SURFACING, ETC.	885
	OUTDOOR GAMING SPACE - FINAL GAMES T.B.D. SUCH AS: GROUP EXERCISE SPACE, GAMING SURFACE, VOLLEYBALL, ETC.	350
	SWIM SPA - WATER AMENITY	575

TOTAL OUTDOOR COURTYARD AREA:
8,260 S.F.



KTGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389.6029
AMILLER@KTGY.COM



511 W. 200 S. SUITE 125
SLC, UTAH 84101
OFFICE: 801.521.2370
WWW.LANDFORMDESIGNGROUP.COM

CONTACT:
JEFF RICHARDSON
J.RICHARDSON@LANDFORMDESIGNGROUP.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103

CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

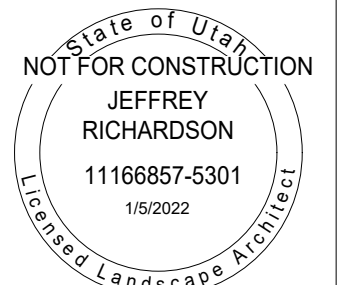
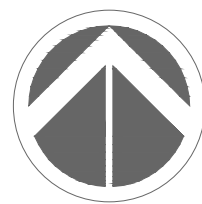
PACIFIC YARD MULTI-FAMILY
704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
09.29.21	PLANNING
10.26.21	PLANNING
01.05.22	PLANNING RESUBMIT

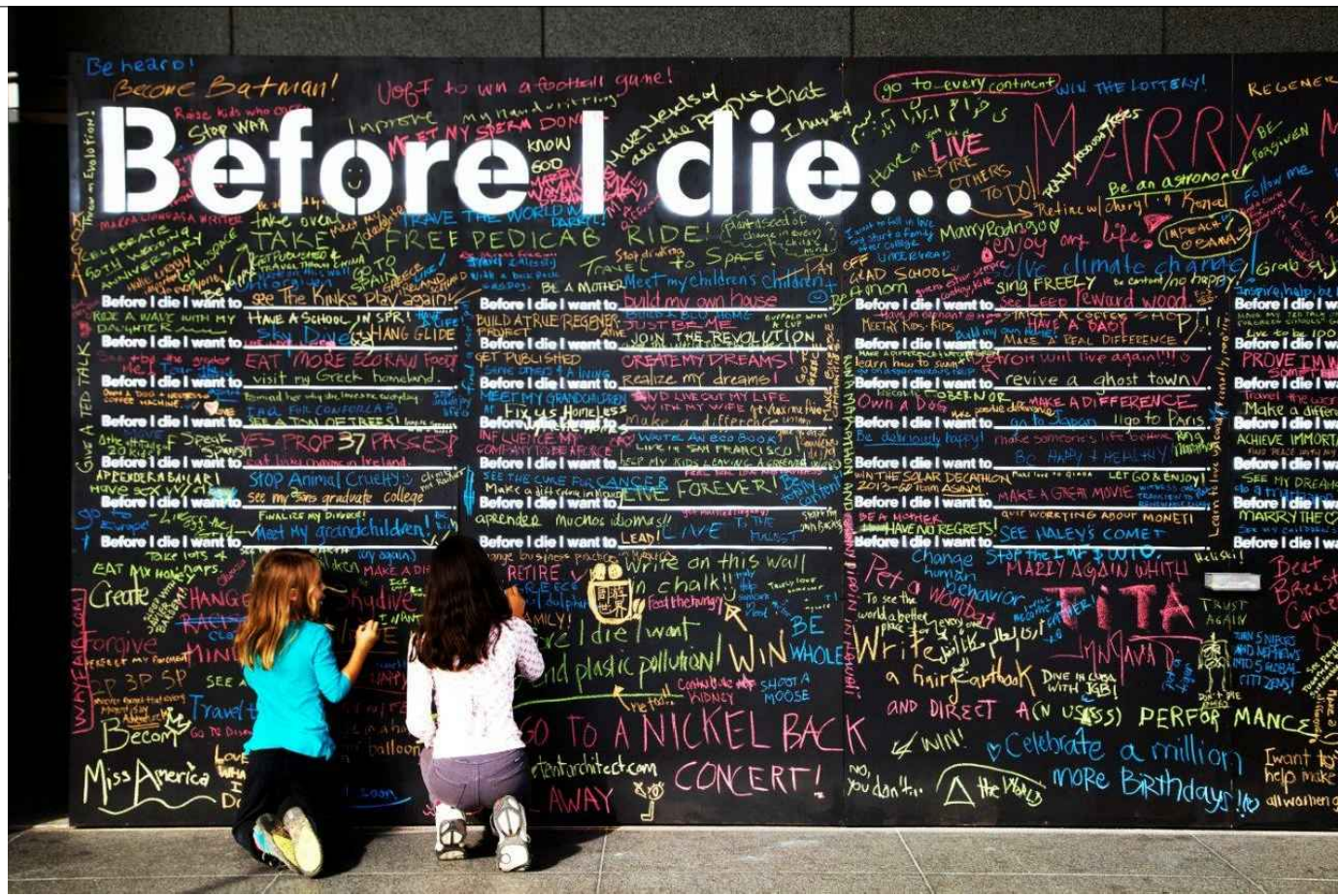
LANDSCAPE PLAN -
LEVEL 3

PROJECT NUMBER
2021-10-C

L1-02



SCALE:
1/16" = 1'-0"



INTERACTIVE ART- As the pedestrian moves around the corner, they are drawn in by the colorful angled walls visible from the street. And just around the corner is an interactive art display to help foster a sense of community.



FRAMED ART DISPLAY- Every other bay is to have a screened opening into the garage, or a framed mural.



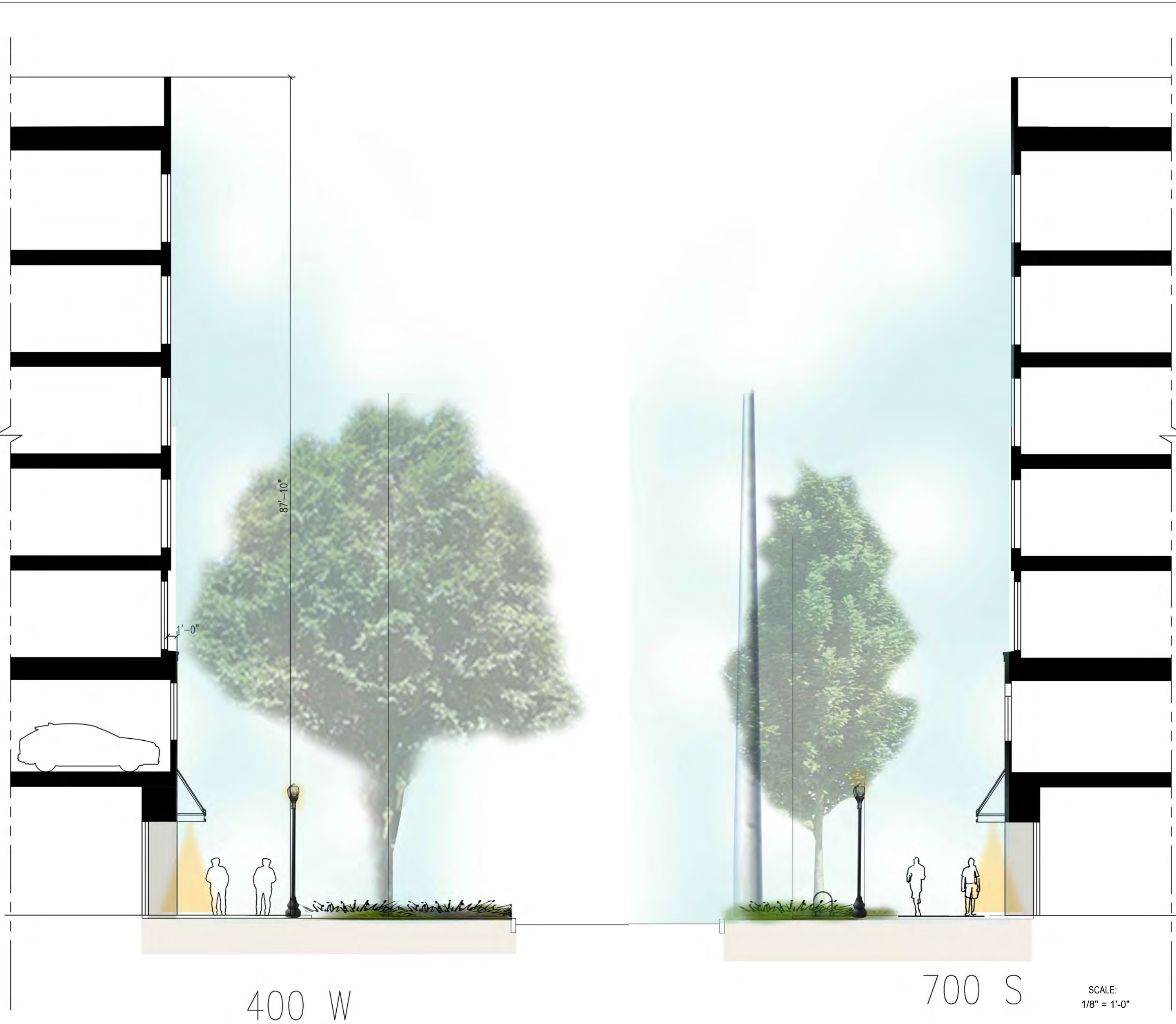
BRICK DETAILING - We are showing a brick pattern that wraps the corner on the ground level to bring the pedestrian's interest into the alley. To make a clear connection between the base and the middle of the building, the brick detail is simplified on the upper stories.



SCONCE UP/DOWN LIGHTING - Sconces that light up and down, are shown at every bay to create a safe and inviting atmosphere



WALKWAY SEATING - Seating with integrated landscaping helps to soften the industrial inspired facade.



ktgy

KTGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389.6029
AMILLER@KTGY.COM

LANDSCAPE ARCHITECT
FDC
URBAN STUDIO
511 W. 200 S. SUITE 125
SLC, UTAH 84101
OFFICE: 801.593.2370
WWW.LANDFORMDESIGNGROUP.COM

CONTACT
JEFF RICHARDSON
JRICHARDSON@LANDFORMDESIGNGROUP.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103

CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

PACIFIC YARD MULTI-FAMILY
704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

STREET SECTION EXHIBITS



MID BLOCK BREAK EXHIBIT



MID BLOCK BREAK EXHIBIT



MID BLOCK BREAK EXHIBIT

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
09.29.21	PLANNING
10.26.21	PLANNING
01.05.22	PLANNING RESUBMITAL

EXHIBITS

PROJECT NUMBER
2021.10.C

L1-03

SCALE:
1/16" = 1'-0"



KTGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389.6029
AMILLER@KTGY.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103
CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

PACIFIC YARD APARTMENTS

704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
01.05.22	PLANNING RESUBMITTAL

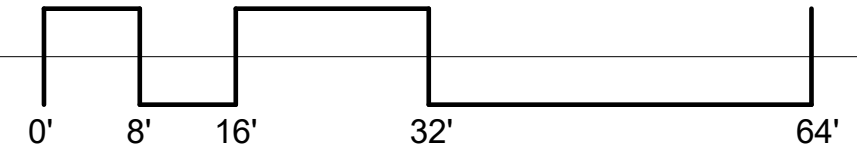
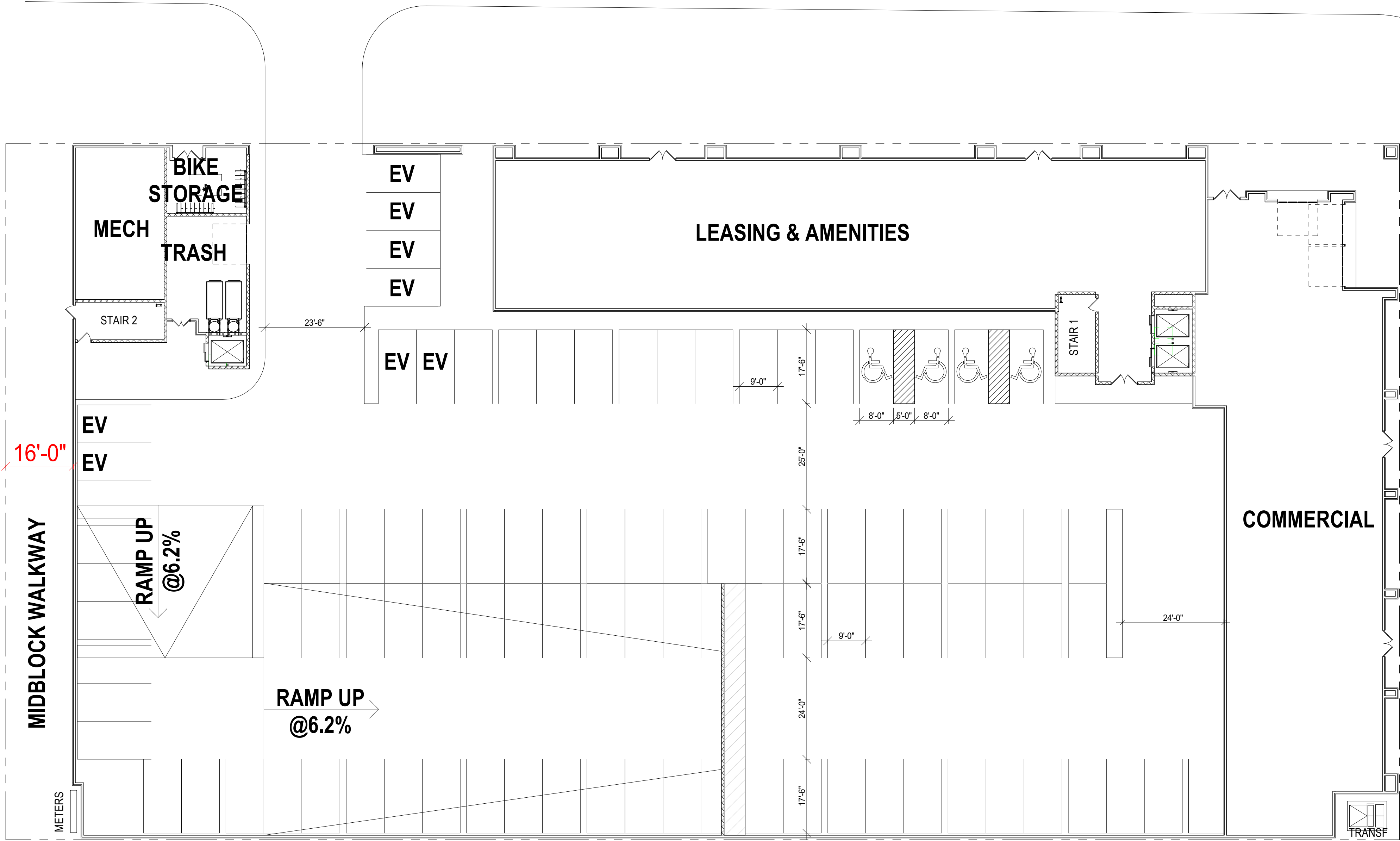
PLANS

PROJECT NUMBER
21008

A - 01

W 700 S

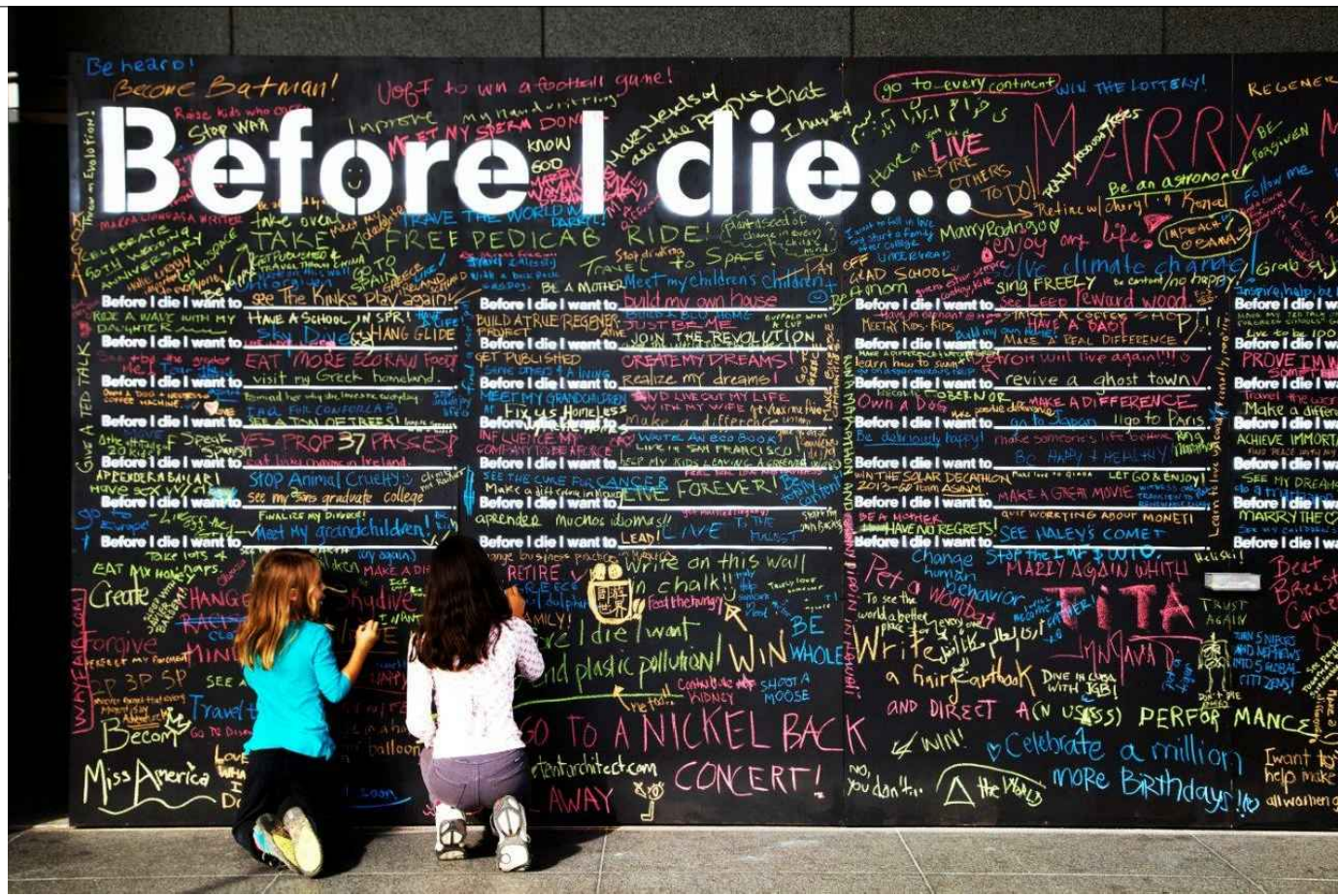
S 400 W



FIRST FLOOR PLAN

SCALE:
1/16" = 1'-0"

1



INTERACTIVE ART- As the pedestrian moves around the corner, they are drawn in by the colorful angled walls visible from the street. And just around the corner is an interactive art display to help foster a sense of community.



FRAMED ART DISPLAY- Every other bay is to have a screened opening into the garage, or a framed mural.



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SCONCE UP/DOWN LIGHTING - Sconces that light up and down, are shown at every bay to create a safe and inviting atmosphere



WALKWAY SEATING - Seating with integrated landscaping helps to soften the industrial inspired facade.



STREET SECTION EXHIBITS



MID BLOCK BREAK EXHIBIT



MID BLOCK BREAK EXHIBIT



MID BLOCK BREAK EXHIBIT

ktgy

KTGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389.6029
AMILLER@KTGY.COM

LANDSCAPE ARCHITECT
FDC
URBAN STUDIO
511 W. 200 S. SUITE 125
S.L.C. UTAH 84101
OFFICE: 801.521.2370
WWW.LANDFORMDESIGNGROUP.COM

CONTACT
JEFF RICHARDSON
JRICHARDSON@LANDFORMDESIGNGROUP.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103

CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

PACIFIC YARD MULTI-FAMILY

704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

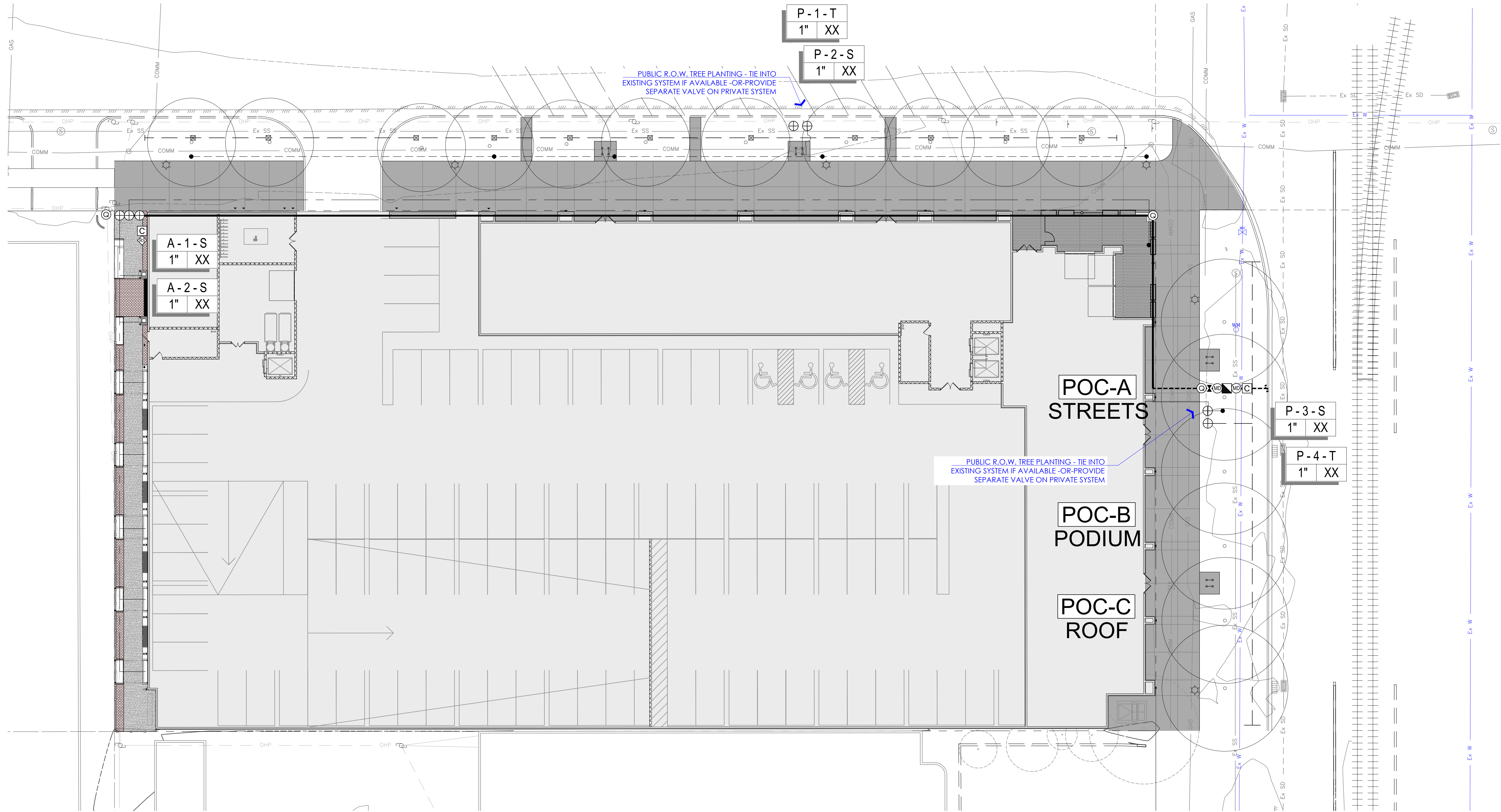
DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
09.29.21	PLANNING
10.26.21	PLANNING
01.05.22	PLANNING RESUBMITAL

EXHIBITS

PROJECT NUMBER
2021.10.C

L1-03

SCALE:
1/16" = 1'-0"



PACIFIC YARD MULTI-FAMILY
704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
09.29.21	PLANNING
10.26.21	PLANNING
01.05.22	PLANNING RESUBMIT

IRRIGATION PLAN

L2-01

KTGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389.6029
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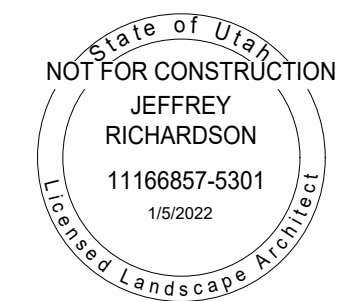
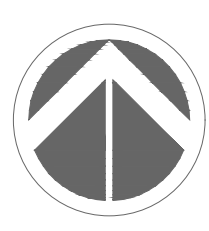
LANDSCAPE ARCHITECT

511 W. 200 S. SUITE 125
S.L.C. UTAH 84101
OFFICE: 801.521.2370
WWW.LANDFORMDESIGNGROUP.COM

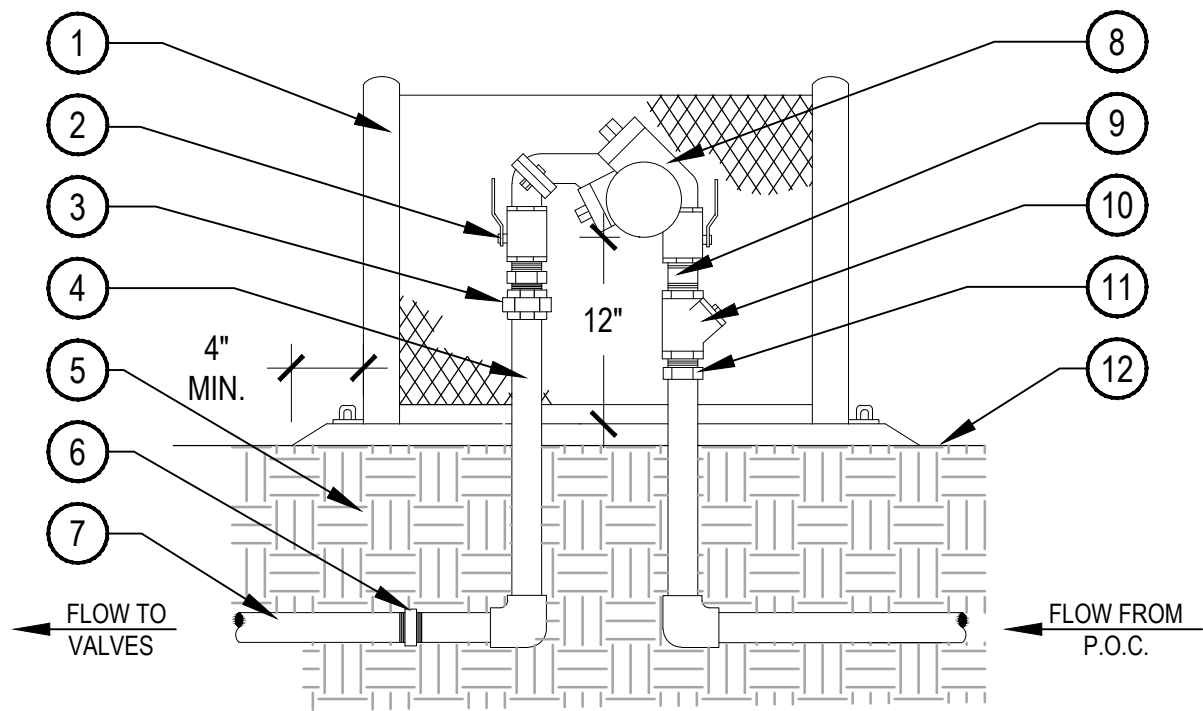
CONTACT:
JEFF RICHARDSON
JRICHARDSON@LANDFORMDESIGNGROUP.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103

CONTACT:
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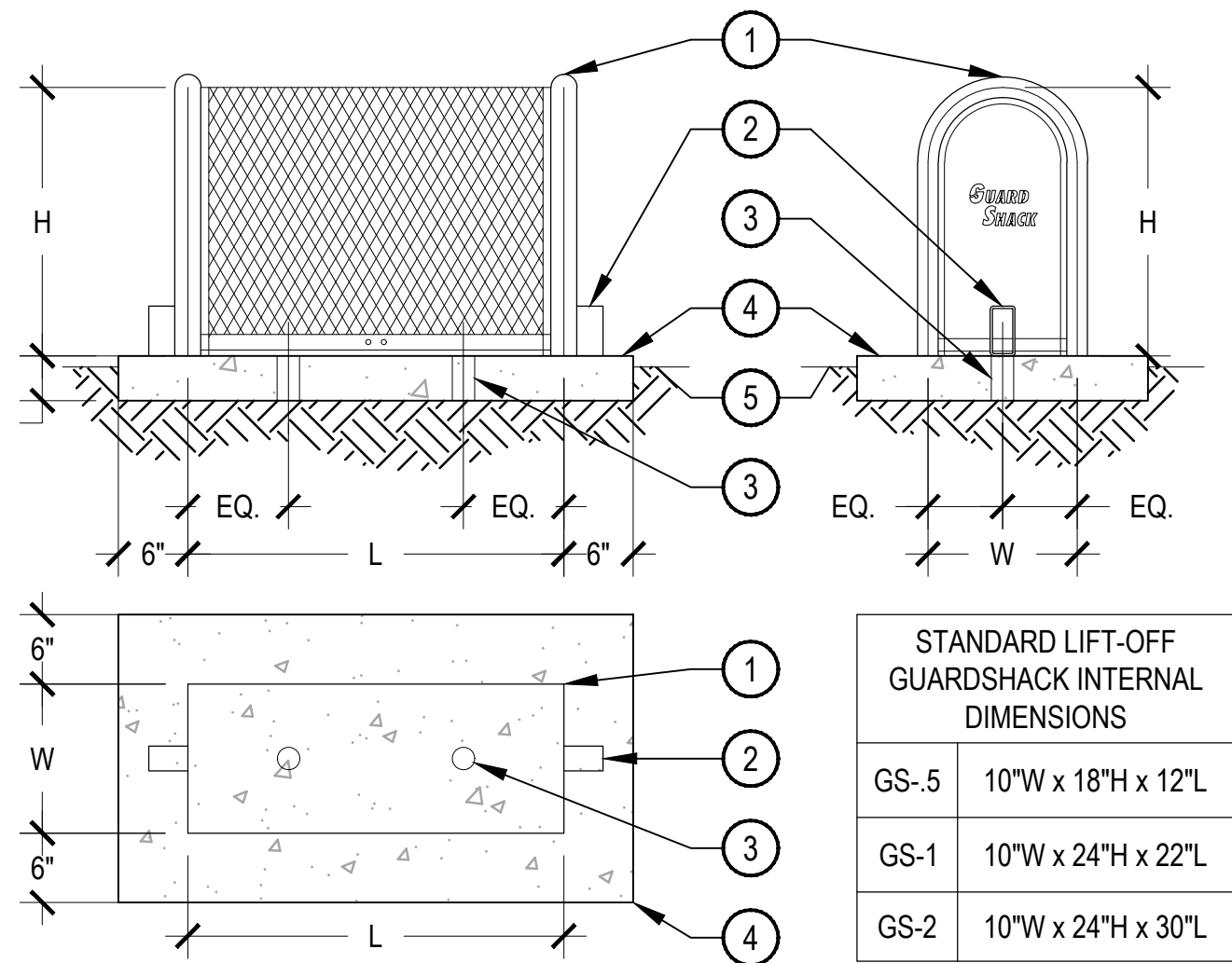
SCALE:
1/16" = 1'-0"



- NOTE:
1. INSTALL PER LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS.
 2. PROVIDE PVC PIPE PROTECTION AROUND COPPER SUPPLY LINES AS THEY GO THROUGH THE CONCRETE SLAB BASE.
 3. BACKFLOW PREVENTION DEVICES SHALL BE PLACED A MINIMUM OF TWO (2') FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.
 4. PROVIDE THRUST BLOCKS FOR LINES 2-1/12" OR LARGER.

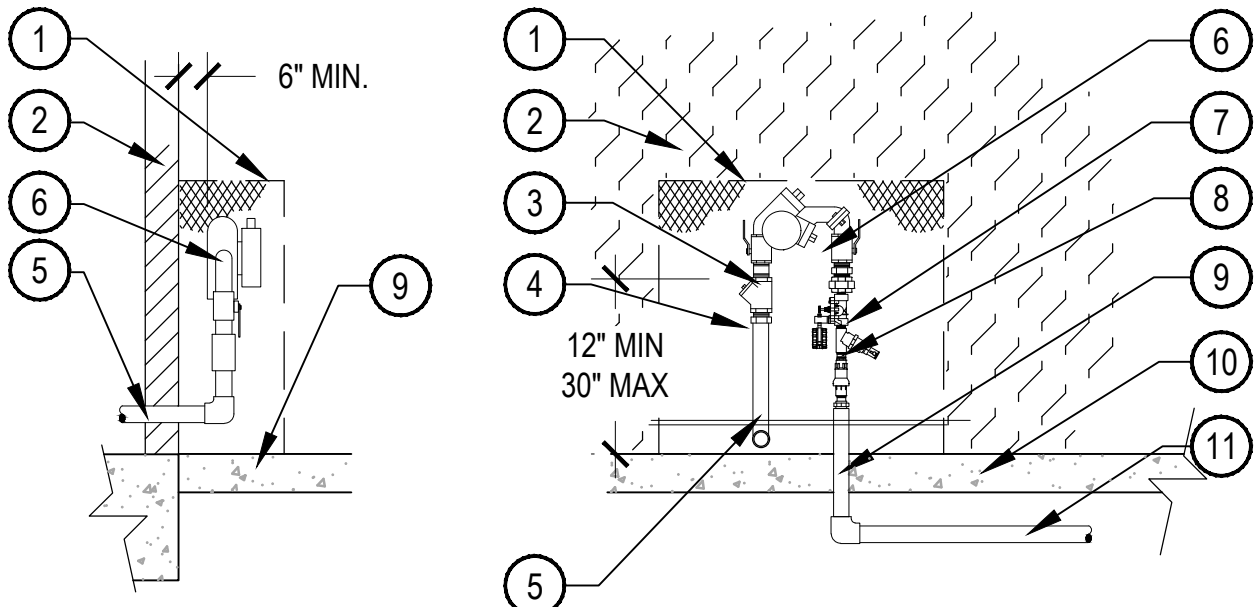
BACKFLOW PREVENTER

SCALE: NTS



LIFT-OFF GUARDSHACK ENCLOSURE

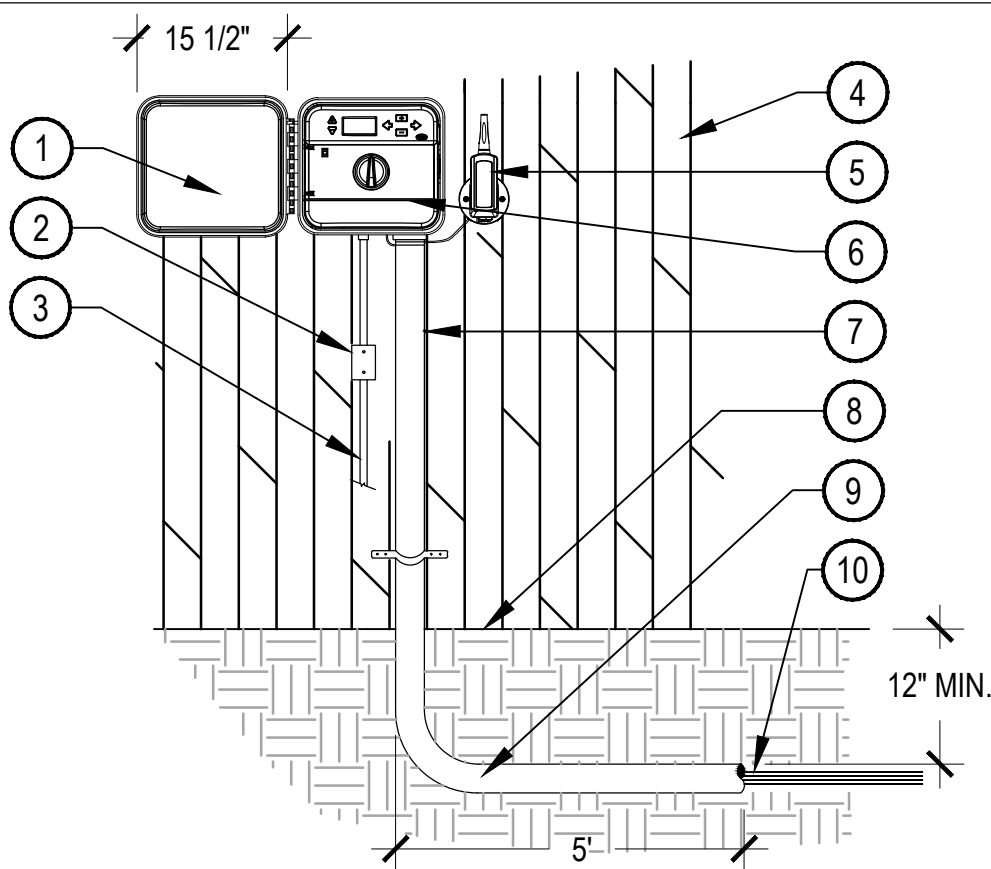
SCALE: NTS



- NOTE:
1. INSTALL PER LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS.
 2. PROVIDE PVC PIPE PROTECTION AND FLEXIBLE WATERPROOF SEALANT AROUND SUPPLY LINES AS THEY GO THROUGH THE CONCRETE SLAB.
 3. ALL BOLTS FOR MOUNTING BRACKETS SHALL BE ZINC PLATED TAMPER PROOF.
 4. PRODUCT AVAILABLE FROM GUARDSHACK 3831 E. GROVE ST. PHOENIX, AZ 85040 PH: (602) 426-1002 EXT. 422 FX: (602) 426-1005

BACKFLOW PREVENTER AT ROOF DECKS

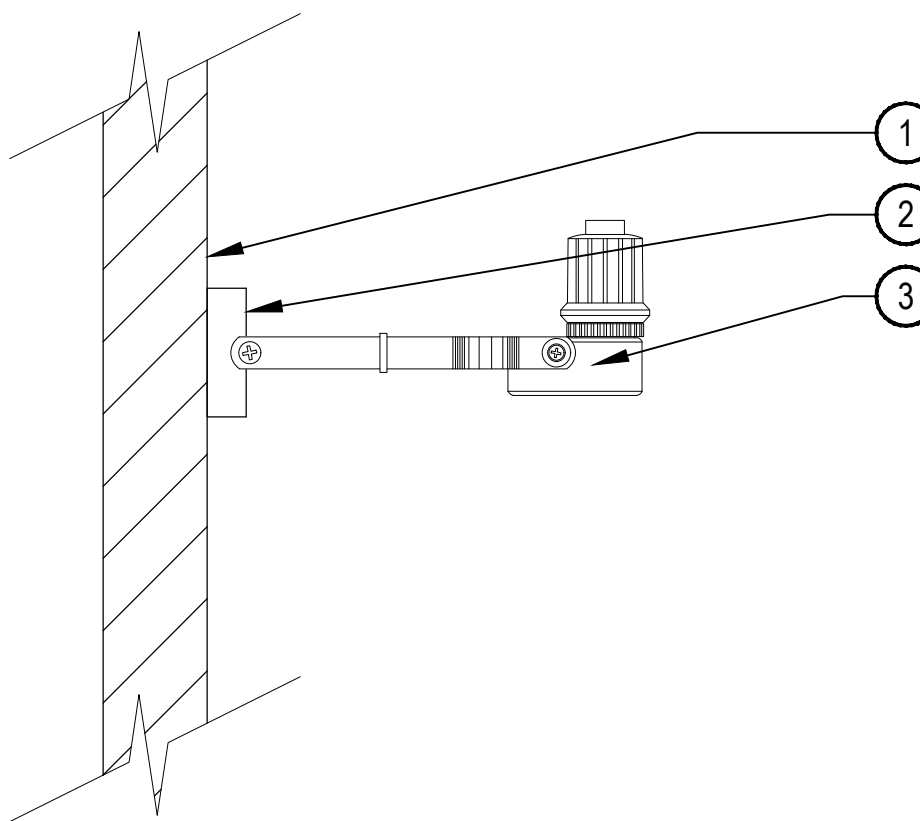
SCALE: NTS



- NOTE:
1. ALL ELECTRICAL AND CONTROLLER WIRE TO BE INSTALLED PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
 2. ALL ELECTRICAL MATERIALS SHALL BE U.L. APPROVED FOR USE AS SHOWN.
 3. GROUND CONTROLLER PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
 4. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.
 5. PROVIDE LOCK AND KEY FOR ENCLOSURE.

WALL MOUNT IRRIGATION CONTROLLER

SCALE: NTS



- NOTE:
1. INSTALL SENSOR PER MANUFACTURER'S SPECIFICATIONS.
 2. FINAL LOCATION AND MOUNTING SYSTEM TO BE APPROVED BY OWNERS REPRESENTATIVE.

RAIN SENSOR













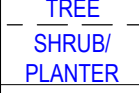
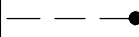
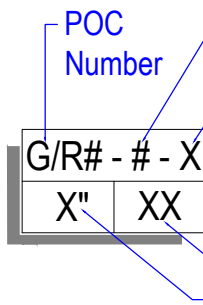
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IRRIGATION NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL THE IMPROVEMENTS SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL COORDINATE AS NECESSARY WITH THE GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE FOR SUCCESSFUL COMPLETION OF THIS WORK.
3. THE CONTRACTOR ASSUMES ALL LIABILITY ASSOCIATED WITH THE MODIFICATION OF THE IRRIGATION SYSTEM DESIGN WITHOUT NOTIFYING OWNER'S REPRESENTATIVE.
4. ALL IRRIGATION EQUIPMENT IS TO BE AS SPECIFIED OR APPROVED EQUAL PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A THOROUGH SITE INSPECTION AND REVIEW OF THE PROJECT CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: LANDSCAPE PLAN, UTILITY PLAN, CIVIL PLAN, ARCHITECTURAL PLANS, ELECTRICAL PLANS, GRADING AND DRAINAGE AND ALL ASSOCIATED PLANS THAT AFFECT THIS WORK PRIOR TO BEGINNING CONSTRUCTION. IF THE CONTRACTOR OBSERVES ANY DISCREPANCIES AMONG THE CONSTRUCTION DOCUMENTS AND THE EXISTING CONDITIONS ON SITE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY.
6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE REGULATIONS TO INSTALL THE IRRIGATION SYSTEM AND IT'S COMPONENTS PER THE MANUFACTURER'S SPECIFICATIONS AS SHOWN ON THESE DOCUMENTS. THE CONTRACTOR SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS REQUIRED BY ANY AND ALL LOCAL AND STATE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
7. THE CONTRACTOR MUST VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. IF THE CONTRACTOR FAILS TO DO SO AND DAMAGES ANY UNDERGROUND UTILITIES THROUGH THE COURSE OF HIS WORK, THE CONTRACTOR SHALL PAY FOR ANY/AND ALL REPAIR WORK ASSOCIATED WITH SAID DAMAGES.
8. IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN THE PROJECT LIMITS AND WITHIN LANDSCAPE AREAS. ANY EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN FOR GRAPHICAL CLARITY ONLY. IF THERE IS A QUESTION REGARDING THE LOCATION OF ANY COMPONENT OF THE IRRIGATION SYSTEM, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE. IF THE CONTRACTOR NEGLECTS TO NOTIFY THE NECESSARY PARTIES, THE CONTRACTOR SHALL PAY FOR ANY REPLACEMENT OR MODIFICATION TO INSURE PROPER LOCATION AND OPERATION OR THE IRRIGATION SYSTEM AND IT'S COMPONENTS.

9. PLANT MATERIAL LOCATIONS TAKE PRECEDENTS OVER IRRIGATION LINES. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
10. IF IRRIGATION SLEEVING IS REQUIRED A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN BANKS OF SLEEVES USED FOR OTHER ON-SITE UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE ADEQUATE VERTICAL SEPARATION BETWEEN ALL IRRIGATION DISTRIBUTION LINES AND ALL UTILITIES (EXISTING OR PROPOSED) CONDUIT, STORM WATER COMPONENTS, DRAINS, ETC.
11. ALL VALVE BOXES / LIDS SHALL BE PLASTIC, COLOR TAN, WITH LOCKING COVERS, PER THE CONSTRUCTION DETAILS. UNDER NO CIRCUMSTANCES ARE VALVE BOXES TO BE LOCATED IN THE TURF AREAS. ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 1'-0" FROM THE EDGE OF PAVED SURFACES AND 3'-0" FROM THE CENTERLINE OF DRAINAGE SWALES OR RETENTION BASINS. THE CONTRACTOR SHALL ADJUST ALL VALVE BOXES TO BE FLUSH FINISH GRADE AS PER THE CONSTRUCTION DETAIL.
12. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF DRIP IRRIGATION LINES PRIOR TO INSTALLATION OF PLANT MATERIAL WITH THE OWNER'S REPRESENTATIVE.
13. LAYOUT EMITTER TUBING PARALLEL TO TOPOGRAPHY WHEREVER POSSIBLE. INSTALL FLUSHABLE TYPE END CAP AT ENDS OF ALL 3/4" PVC DRIP LATERALS AND FLUSH THOROUGHLY BEFORE INSTALLING EMITTERS.
14. TREES, SHRUBS, AND GROUND COVER SHALL BE IRRIGATED BY PRESSURE REGULATING, SINGLE OUTLET EMITTERS, SEE EMITTER SCHEDULE FOR ADDITIONAL INFORMATION.
15. PLANTERS SHALL BE IRRIGATED BY ADJUSTABLE BUBBLER, SEE EMITTER SCHEDULE FOR ADDITIONAL INFORMATION. CONTRACTOR TO DETERMINE QUANTITY AND SPACE EVENLY IN PLANTER.
16. THE CONTRACTOR SHALL FINE TUNE / ADJUST THE IRRIGATIONS SYSTEM TO AVOID / REDUCE OVER-SPRAY ONTO HARD SURFACES BY ADJUSTING NOZZLE DIRECTION AND NOZZLE RADIUS.
17. THE CONTRACTOR SHALL EXTEND THREE SPARE CONTROL WIRES (ONE COMMON AND 2 CONTROL WIRES) FROM THE CONTROLLER TO THE END OF THE MAINLINE OR AS SHOWN ON THE PLANS. INSTALL SPARE WIRES IN A 10" ROUND VALVE BOX WITH A QUICK COUPLING VALVE. USE ONLY #14 OR #12 (WHEN NECESSARY) DIRECT BURY COPPER WIRE FOR ALL UNDERGROUND WIRING.
18. GROUNDING FOR THE IRRIGATION CONTROLLER IS TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND PER THE AMERICAN SOCIETY OF IRRIGATION CONSULTANTS GUIDELINE 100-2002 FOR EARTH GRADING ELECTRONIC EQUIPMENT IN IRRIGATION SYSTEMS FOUND AT www.asic.org/Design_Guides.aspx. CONTACT THE MANUFACTURER FOR ADDITIONAL TECHNICAL ASSISTANCE.

IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MFR	MODEL NO.	COMMENTS	DETAIL
	IRRIGATION POINT OF CONNECTION	NA	3/4" Type K Copper Stub (By Others)	Refer to Plumbing Plans	
					
	BACKFLOW PREVENTER	FEBCO	3/4" Reduced Pressure Backflow Preventer (825YA) WYE Strainer	In Guardshack Security Enclosure	IR2.00/1
	IRRIGATION CONTROLLER	RAINBIRD	ESP4ME	Wall mount X valves	
	RAIN SENSOR	RAINBIRD	Rain/Freeze Sensor (WR2)	Wireless Mount on building fascia	
	GATE VALVE	WATTS	Carson 910 Round Valve Box WGV-X Bronze Gate Valve	Size per line size	
	QUICK COUPLER	RAINBIRD	Carson Standard Valve Box (1419) 1" Quick Coupler (44-LRC)		
	MANUAL DRAIN VALVE	WATTS	Carson 910 Round Valve Box WGV-X Bronze Gate Valve		
	VALVE ASSEMBLY DRIP	RAINBIRD	Carson 1220 Jumbo Valve Box 1" Sch. 80 PVC Ball Valve 1" Drip Zone Control Kit (XCZ-100-PRB-COM)		
	ROOTZONE BUBBLER	RAINBIRD	RWS-B-C-P-SOCK	Connected to existing tree drip system	
	PVC SLEEVING	NA	Class 160 PVC		
	SERVICE LINE	NA	3/4" Type K Copper		
	PVC MAINLINE	NA	3/4" Class 200 PVC	Unless otherwise noted on plan	
	DRIP LATERAL	NA	3/4" Polyethylene Drip Tubing	Unless otherwise called out on plan	
	END CAP	NA	Carson 910 Round Valve Box Poly Hose End Flush Cap		
VALVE CALLOUTS			EMITTER SCHEDULE		
 <p>POC Number</p> <p>Valve / Station Number</p> <p>Zone Designation: T (Tree), S (Shrub), P (Planters), G (Turf)</p> <p>Valve Flow: (GPM)</p> <p>Valve Size</p>			PLANT TYPE	EMITTER RATE	# OF EMITTERS
			1 GAL PLANTS	0.5 GPH	ONE EACH
			5 GAL PLANTS	0.5 GPH	TWO EACH
			TREES	1.0 GPH	SIX EACH
			PLANTER	RB SXB-180-SPKY	PER CONTRACTOR
			NOTES		
1. ALL PLANTERS SHALL BE IRRIGATED W/ RAIN BIRD SXB-180-SPYK, ADJUSTABLE BUBBLER.					
2. ALL PLANT MATERIAL SHALL BE IRRIGATED W/ RAIN BIRD XB BARBED PRESS-ON TYPE SINGLE-PORT PRESSURE COMPENSATING EMITTERS.					
3. 1/4" DISTRIBUTION TUBING NOT TO EXCEED 8' IN LENGTH.					
4. RAIN BIRD DBC-025 DIFFUSER BUG CAP AND TS-025 STAKE ON ALL 1/4" DISTRIBUTION TUBING.					



KITGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
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(303) 389.6029
AMILLER@KITGY.COM

LANDSCAPE ARCHITECT



511 W. 200 S. SUITE 125
S.L.C. UTAH 84101
OFFICE: 801.521.2370
WWW.LANDFORMDESIGNGROUP.COM

CONTACT
JEFF RICHARDSON
JRICHDSON@LANDFORMDESIGNGROUP.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103

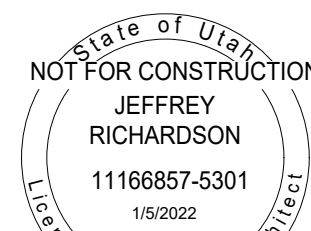
CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

PACIFIC YARD MULTI-FAMILY

704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
09.29.21	PLANNING
10.26.21	PLANNING
01.05.22	PLANNING RESUBMIT

IRRIGATION
DETAILS



SCALE:
1/16" = 1'-0"

PROJECT NUMBER
2021-10-C

L2-02

STREET LEVEL PLANTING MATERIALS - 704 SOUTH

TREES							
SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE	NOTES
C0	11	2" CAL.	CARPINUS BETULUS 'JFS-KW1CB' PP 22814 EMERALD AVENUE	EMERALD AVENUE HORNBEAM	40'x28'	STREET	*STREET TREE PER URBAN FORESTRY *RMP HIGH VOLTAGE AREA
U0	6	2" CAL.	ULMUS X 'TRIUMPH'	TRIUMPH ELM	55'x40'	STREET	*STREET TREE PER URBAN FORESTRY *RMP HIGH VOLTAGE AREA

GROUNDCOVERS / VINES

QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE	NOTES
1,310	FLATS	ACTOSTAPHYLOS X C. 'PANCHITO'	PANCHITO MANZANITA	10'x30"	GV3	PART SHADE
18	2 GAL.	EYONYMUS FORTUNEI 'COLORATA'	WINTERCREEPER	24'x60"	GV4	MOUNDING G.C. // SUN // SHADE
64	3 GAL.	RHUS AROMATICA 'AUTUMN AMBER'	AUTUMN SUMAC	18'x36"	GV1	FULL SUN // LIGHT SHADE
1,130	FLATS	SEDUM ACRE 'OCTOBERFEST'	OCTOBERFEST SEDUM	4'x18"	GV1	FULL SUN

PERENNIALS

QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE	NOTES
24	3 GAL.	GAURA LINDHEIMERI	WHIRLING BUTTERFLIES	36"x30"	P1	FULL SUN
3	5 GAL.	IPOMOEA BATATAS 'MARQUERITE'	SWEET POTATO VINE	12"x36"	*M2D	*FULL SHADE - IN POT
97	1 GAL.	SALVIA NAMOROSA 'SENSATION ROSE'	SENSATION ROSE SAGE	24"x24"	P1	FULL SUN

DECIDUOUS SHRUBS

QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE	NOTES
95	2 GAL.	ARONIA M. 'LOW SCRAPE HEDGER'	DWARF CHOKEBERRY HEDGE	48"x30"	SD3	FULL SUN // PART SHADE

EVERGREEN SHRUBS

QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE	NOTES
<u>15</u>	5 GAL.	ATHYRIUM 'GHOST'	GHOST FERN	24"x24"	*LOW	FULL SHADE // IN PLANTER

ORNAMENTAL GRASSES

QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE	NOTES
216	1 GAL.	FESTUCA 'SISKIYOU BLUE'	SISKIYOU BLUE IDAHO GRASS	24"x16"	TW1	FULL SUN
40	1 GAL.	PENNISETUM ALOPECUROIDES 'HAMELNI'	FOUNTAIN GRASS	24"x24"	TW2	SUN TO LIGHT SHADE

CITY OF SALT LAKE LANDSCAPE CALCULATIONS:

ZONE: GC (GENERAL COMMERCIAL)		WATER WISE PLANTS FOR SALT LAKE CITY
TOTAL SITE :	54,475 S.F.	DROUGHT TOLERANT SHRUBS
PRIVATE LANDSCAPE AREA:	1,600 S.F.	REQUIRED: 80%
TURF:	NA	PROVIDED: 96% (552/572)
<u>PROVIDED LANDSCAPING AREAS:</u>		
ROW:	7,300 S.F.	DROUGHT TOLERANT TREES (17/17)
TOTAL TURF AREA:	0 S.F.	REQUIRED: 80%
MINIMUM 33% COVERAGE:	Y	PROVIDED: 100%

PARKWAY PLANTING - URBAN FORESTRY REQUIREMENTS

ALL TREES IN PUBLIC R.O.W. TO BE 2" CALIPER - LOCATED:

- 5' from water meter and/or utility box
- 10' from fire hydrant
- 5' from residential driveway
- 5-10' from property line of adjoining parcel
- 5-10' from non-trafficked conducting signage
- 5-10' from utility pole and/or light
- 20' from an unregulated intersection (20' back from intersecting sidewalks)
- 30' from stop signs
- 30' from commercial driveway and/or alley
- 40' from an intersection with traffic lights (40' back from intersecting sidewalks)
- 20-30' from a tree that is medium in size at maturity (30 to 50' tall)

LANDSCAPE GENERAL NOTES

REGULATIONS:

1. ALL IMPROVEMENTS SHALL CONFORM TO THE GOVERNING (SALT LAKE CITY) STANDARDS AND SPECIFICATIONS
2. CONTRACTOR SHALL CALL BLUE STAKES OF UTAH TO VERIFY AND NOTE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR FINAL LOCATION OF ALL UTILITIES. CONTRACTOR IS LIABLE FOR DAMAGES TO EXISTING INFRASTRUCTURE AND NEW IMPROVEMENTS

EXISTING CONDITIONS:

1. CONTRACTOR SHALL VERIFY ALL PLANS WITH EXISTING CONDITIONS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES, CHANGES, OR ISSUES TO THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK
2. ALL UTILITIES ARE SHOWN FOR REFERENCE ONLY. CIVIL PLANS SHALL TAKE PRECEDENCE AND IT IS THE RESPONSIBILITY AND LIABILITY OF THE ACTING CONTRACTOR TO PROTECT AND REPAIR ANY DAMAGES TO UTILITIES.

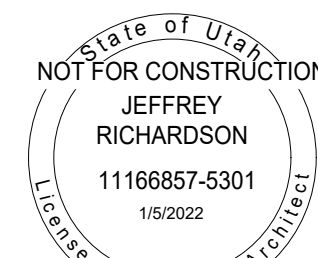
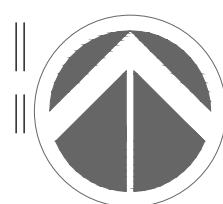
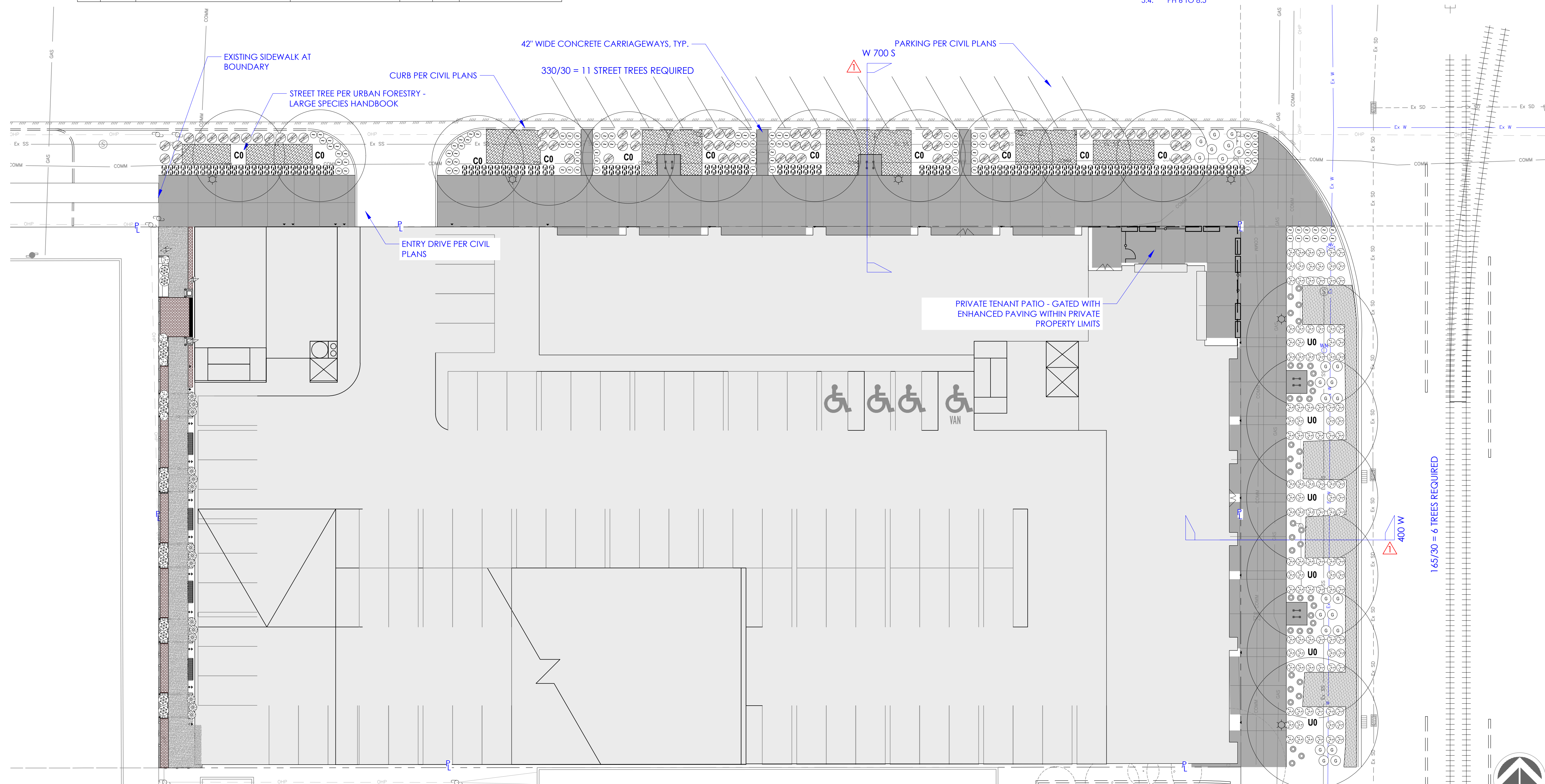
SITE PREPARATION:

1. ALL LANDSCAPE AREAS TO HAVE WEEDS REMOVE AND GRUBBED WITH ALL DEBRIS MEASURING OVER 2" REMOVED
2. APPLY, AS NEEDED, CERTIFIED APPLICATIONS OF HERBICIDE
3. POSITIVE DRAINAGE IS TO BE MAINTAINED AWAY FROM ALL STRUCTURES
4. ENGINEERING PLANS SHALL TAKE PRECEDENCE

SOIL

1. MINIMUM OF 12" OF TOPSOIL IS REQUIRED IN ALL PLANTING AREAS
2. MINIMUM OF 4" OF TOPSOIL IS REQUIRED IN ALL TURF PLANTING AREAS
3. PLANTING HOLES SHALL BE DUG 2X AS WIDE AS ROOTBALL OF VEGETATION
4. BACKFILL FOR SHRUB AND TREE PLANTINGS SHALL BE 80% TOPSOIL, 20% HUMUS MATERIAL
5. SOILS REPORT SHALL TAKE PRECEDENCE
 - 5.1. TOPSOIL STANDARDS
 - SAND - 20%-70%
 - CLAY - 20%-70%
 - #10 SIEVE @ 15% MAXIMUM
 - 5.4. PH 6 TO 8.5

EXISTING CONDITIONS:
NO EXISTING TREES WITHIN THE PUBLIC ROW
EXISTING SITE VEGETATION IN POOR HEALTH
NO SPECIMEN PLANTING FOUND



SCALE:
1/16" = 1'-0"

KTGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389.6029
AMILLER@KTGY.COM

LANDSCAPE ARCHITECT



511 W. 200 S. SUITE 125
SLC, UTAH 84101
OFFICE: 801.521.2370
WWW.LANDFORMDESIGNGROUP.COM

CONTACT
JEFF RICHARDSON
JRICHARDSON@LANDFORMDESIGNGROUP.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103

CONTACT:
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PACIFIC YARD MULTI-FAMILY

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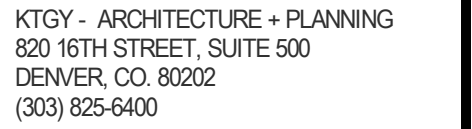
SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
09.29.21	PLANNING
10.26.21	PLANNING
01.05.22	RESUBMIT PLANNING RESUBMITTAL

LANDSCAPE PLANTING PLAN

PROJECT NUMBER
2021.10.C

L3-01



FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103

CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

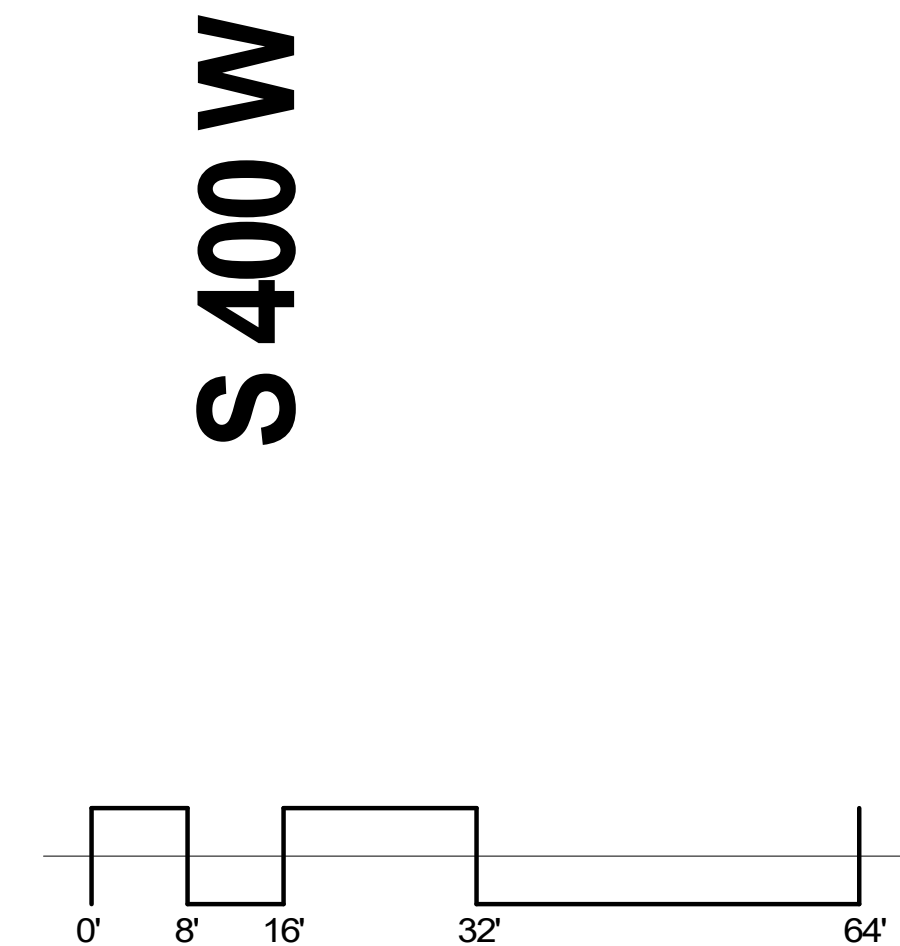
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PROJECT NUMBER
210008

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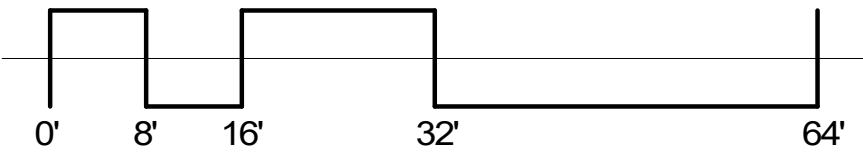
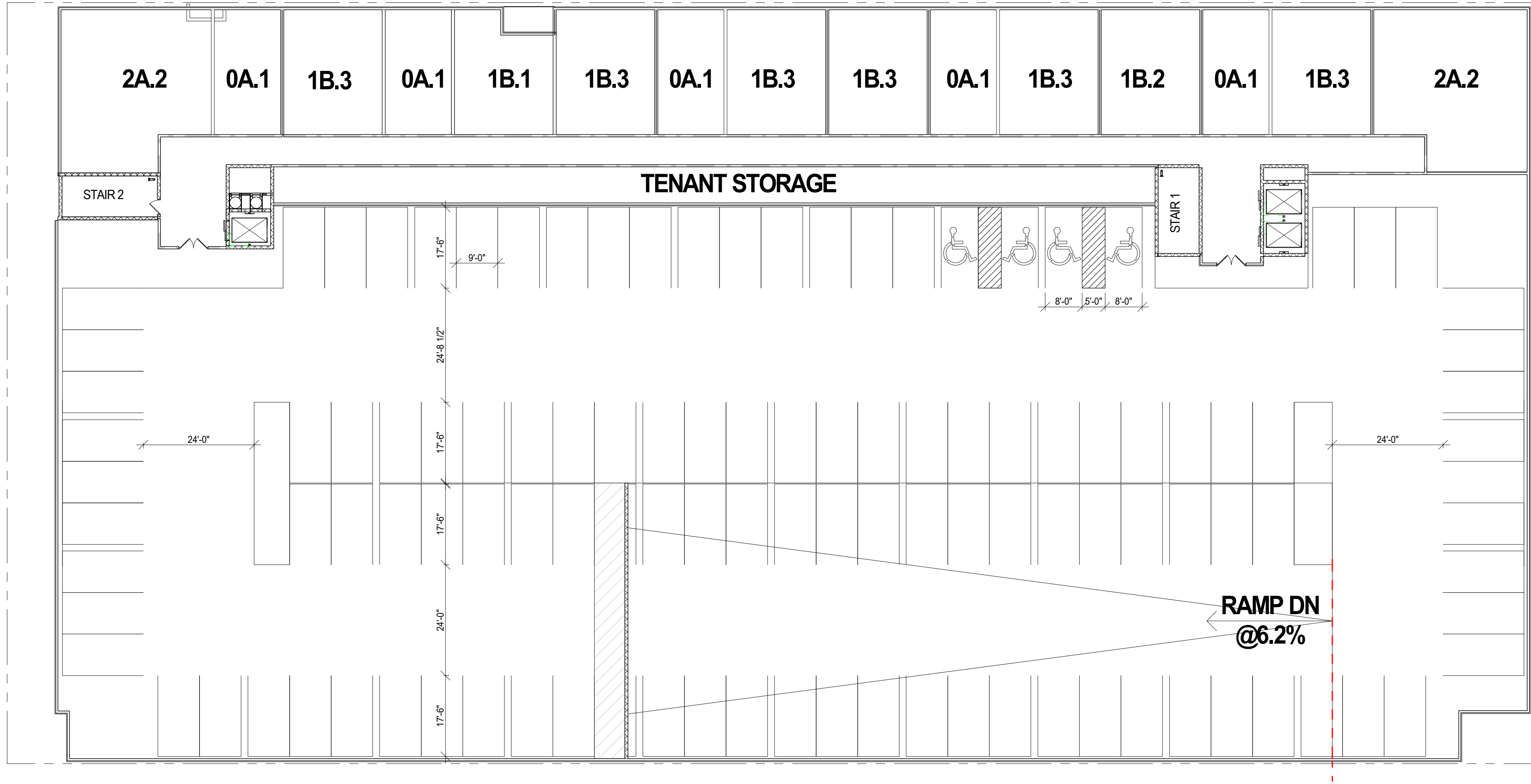
Summary Parking Provided	Spaces	Average
Standard	186	
EV	8	
Accessible	8	
On Street Parking	25	
Total parking spaces provided	227	0.78 space/unit

Summary bike parking	Racks	Average
5% of total vehicle provided	11.35	
Total bike racks provided	10	0.03 space/unit



SCALE:
1/16" = 1'-0"

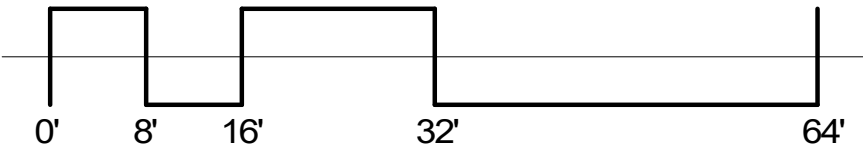
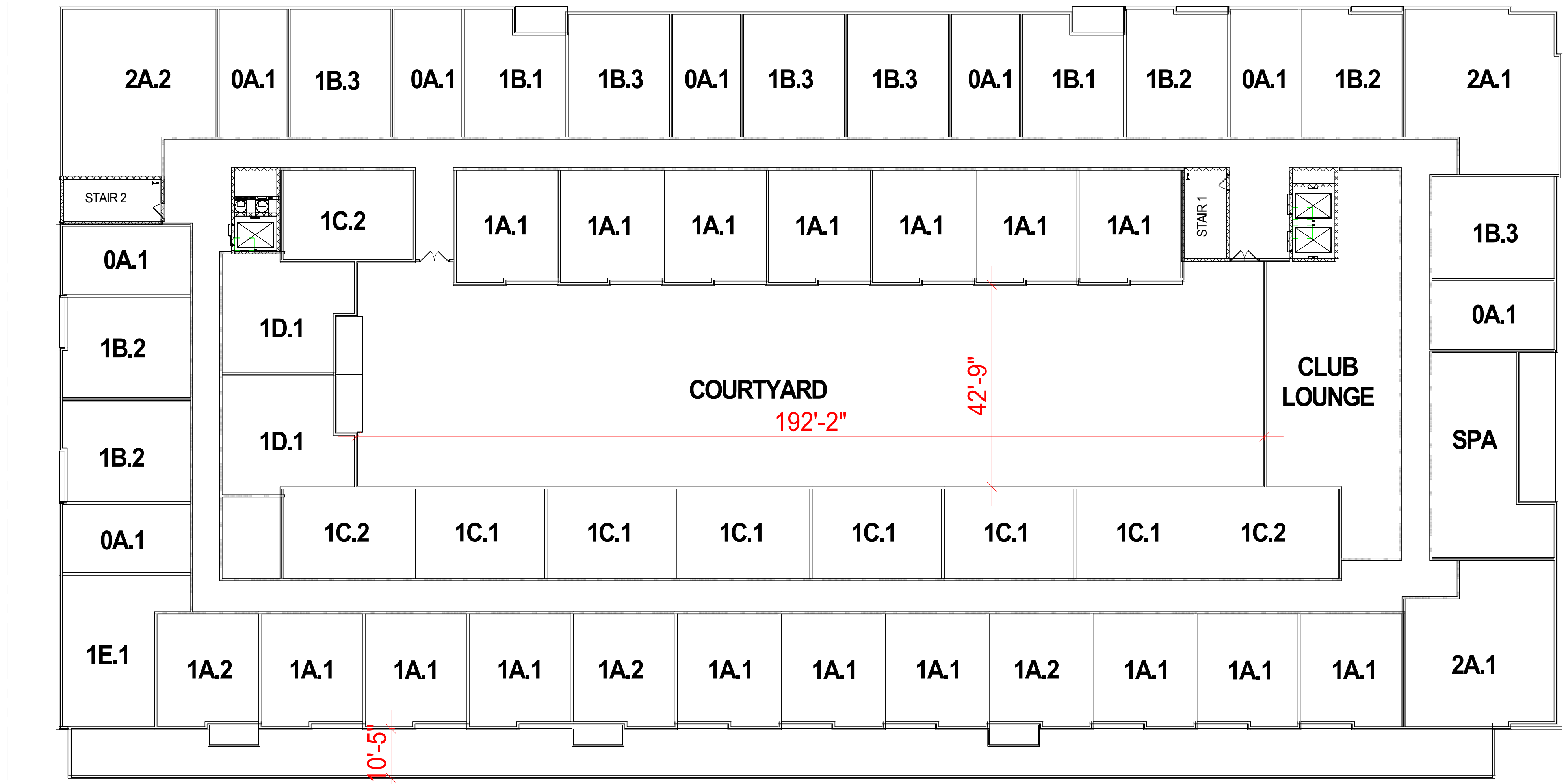
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SECOND FLOOR PLAN

SCALE:
1/16" = 1'-0"

2



THIRD FLOOR PLAN

SCALE:
1/16" = 1'-0"

1



KTGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389 6029
AMILLER@KTGY.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103

CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

PACIFIC YARD APARTMENTS

704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

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820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389.6029
AMILLER@KTGY.COM

FOR:
URBAN ALFANDRE
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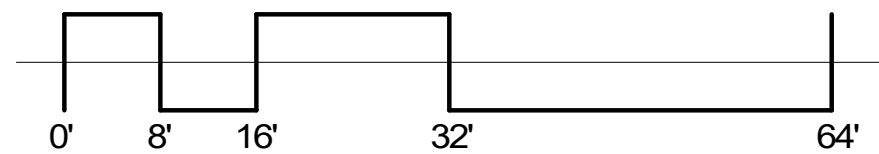
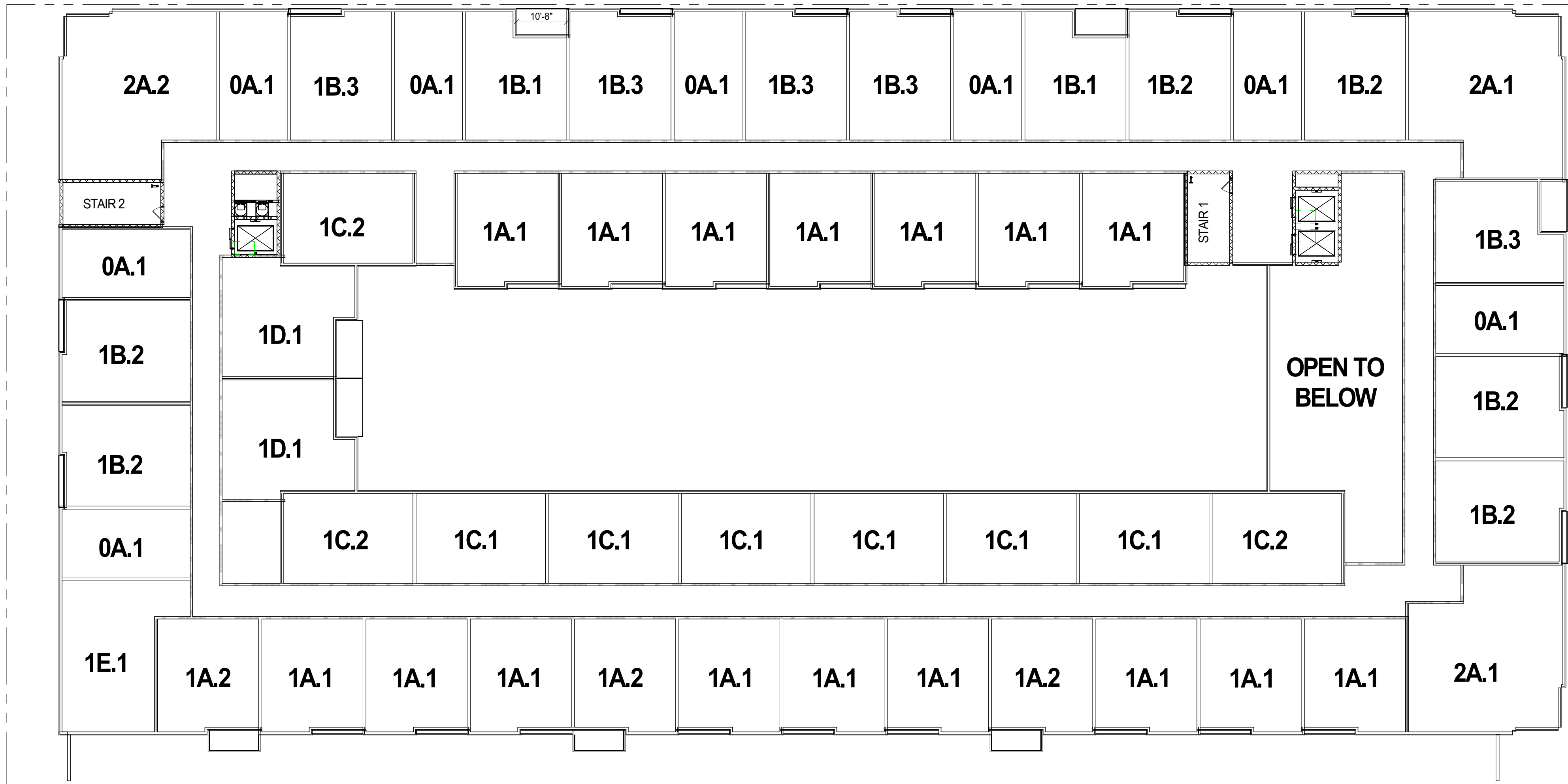
704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

DATE: 08.06.21
ISSUED FOR: SITE PLAN 01
01.05.22 PLANNING RESUBMITTAL

PLANS

PROJECT NUMBER
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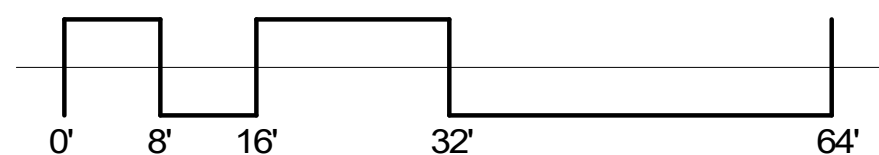
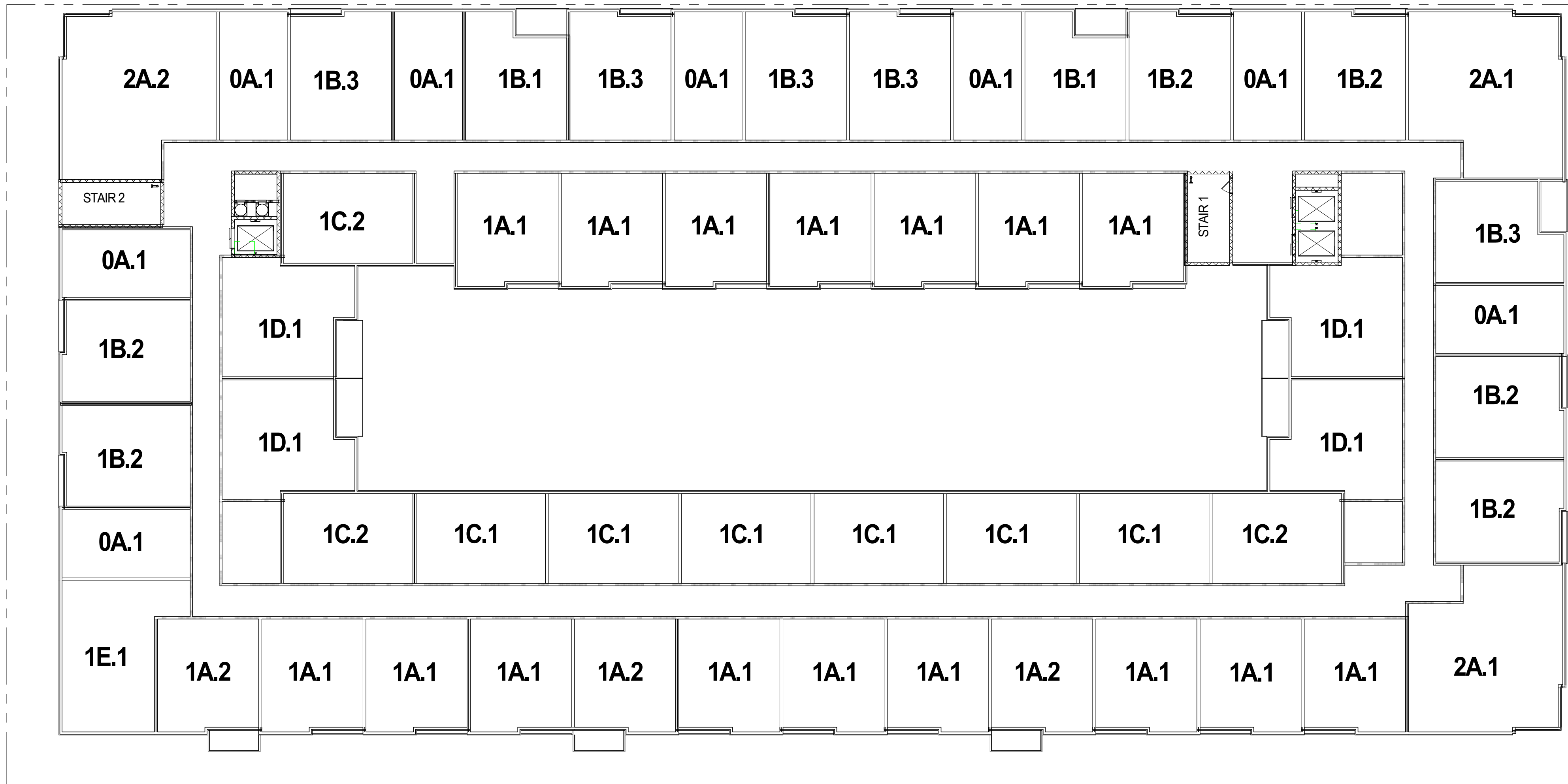
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FOURTH FLOOR PLAN

SCALE:
1/16" = 1'-0"

2



FIFTH/ SIXTH FLOOR PLAN

SCALE:
1/16" = 1'-0"

1



KITGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389.6029
AMILLER@KITGY.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103
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PACIFIC YARD APARTMENTS

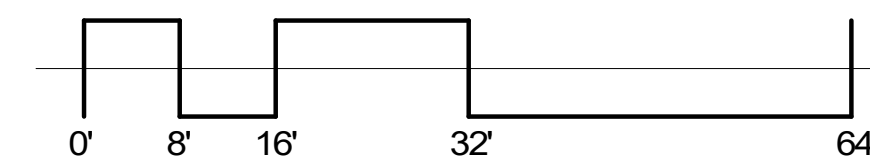
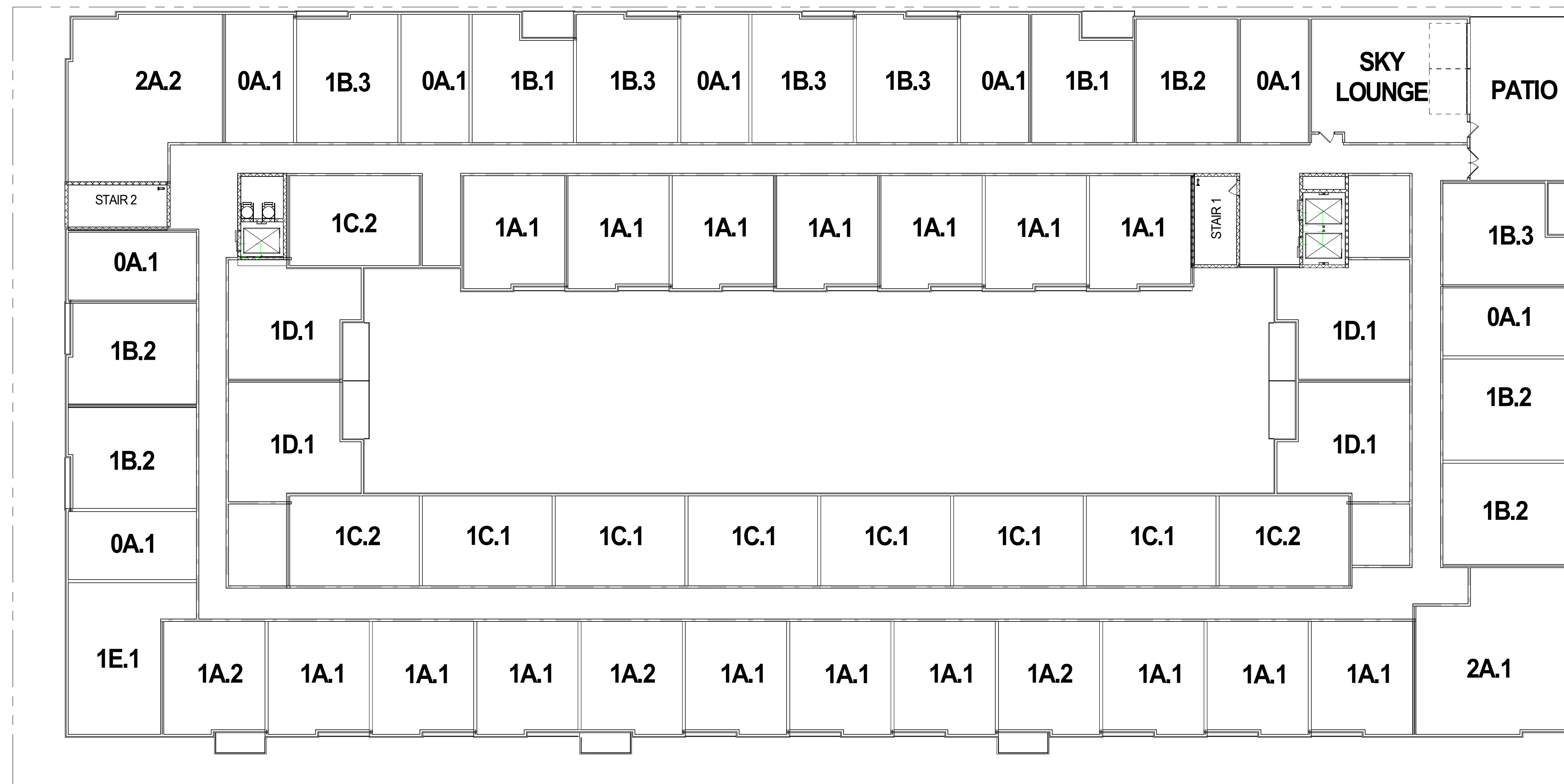
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SALT LAKE CITY, UTAH

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A - 04





EAST ELEVATION

SCALE:
3/32" = 1'-0"

3



EAST ELEVATION

SCALE:
3/32" = 1'-0"

1



KITGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389.6029
AMILLER@KITGY.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103

CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

PACIFIC YARD APARTMENTS

704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
01.05.22	PLANNING RESUBMITTAL

ELEVATIONS

PROJECT NUMBER
21006



KITGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389 6029
AMILLER@KITGY.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
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JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

PACIFIC YARD APARTMENTS

704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

DATE: 08.06.21
01.05.22
ISSUED FOR: SITE PLAN 01
PLANNING RESUBMITTAL

ELEVATIONS

PROJECT NUMBER
21006

A - 06

KEYNOTES - SDP

- | | | | |
|----|---------------------------------|----|---|
| 1 | BRICK - RUNNING - COLOR 1 | 13 | STANDING SEAM METAL PANEL |
| 2 | BRICK - RUNNING - COLOR 2 | 14 | GLASS OVERHEAD DOOR |
| 3 | BRICK - RUNNING - COLOR 3 | 15 | EXPOSED STRUCTURAL STEEL |
| 4 | STUCCO - COLOR 1 | 16 | METAL CANOPY W/ WOOD UNDERSIDE |
| 5 | STUCCO - COLOR 2 | 17 | GARAGE PEDESTRIAN ENTRY |
| 6 | STUCCO - COLOR 3 | 18 | BUILDING ENTRY |
| 7 | FIBER CEMENT PANELING - COLOR 1 | 19 | BUILDING SIGNAGE LOCATION MOUNTED ON AWNING |
| 8 | METAL AWNING | 20 | EXTERIOR WALL MOUNT DOWN LIGHT |
| 9 | VINYL WINDOW | 21 | BRICK - RUNNING - COLOR 4 |
| 10 | STOREFRONT | | |
| 11 | CMU - COLOR 1 | | |
| 12 | DECORATIVE METAL SCREEN | | |



NORTH ELEVATION

SCALE:
3/32" = 1'-0"

1



NORTH ELEVATION

SCALE:
3/32" = 1'-0"

2



WEST ELEVATION

SCALE:
3/32" = 1'-0"

2



WEST ELEVATION

SCALE:
3/32" = 1'-0"

1

KEYNOTES - SDP

- 1 BRICK - RUNNING - COLOR 1
- 2 BRICK - RUNNING - COLOR 2
- 3 BRICK - RUNNING - COLOR 3
- 4 STUCCO - COLOR 1
- 5 STUCCO - COLOR 2
- 6 STUCCO - COLOR 3
- 7 FIBER CEMENT PANELING - COLOR 1
- 8 METAL AWNING
- 9 VINYL WINDOW
- 10 STOREFRONT
- 11 CMU - COLOR 1
- 12 DECORATIVE METAL SCREEN
- 13 STANDING SEAM METAL PANEL
- 14 GLASS OVERHEAD DOOR
- 15 EXPOSED STRUCTURAL STEEL
- 16 METAL CANOPY W/ WOOD UNDERSIDE
- 17 GARAGE PEDESTRIAN ENTRY
- 18 BUILDING ENTRY
- 19 BUILDING SIGNAGE LOCATION MOUNTED ON AWNING
- 20 EXTERIOR WALL MOUNT DOWN LIGHT
- 21 BRICK - RUNNING - COLOR 4
- 22 ART DISPLAY



KITGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389.6029
AMILLER@KITGY.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103

CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

PACIFIC YARD APARTMENTS

704 SOUTH 400 WEST
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ELEVATIONS

PROJECT NUMBER
21006

A - 07



KITGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389.6029
AMILLER@KITGY.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103

CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

PACIFIC YARD APARTMENTS

704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
01.05.22	PLANNING RESUBMITTAL

ELEVATIONS

PROJECT NUMBER
210008

A - 08

KEYNOTES - SDP

- 1 BRICK - RUNNING - COLOR 1
- 2 BRICK - RUNNING - COLOR 2
- 3 BRICK - RUNNING - COLOR 3
- 4 STUCCO - COLOR 1
- 5 STUCCO - COLOR 2
- 6 STUCCO - COLOR 3
- 7 FIBER CEMENT PANELING - COLOR 1
- 8 METAL AWNING
- 9 VINYL WINDOW
- 10 STOREFRONT
- 11 CMU - COLOR 1
- 12 DECORATIVE METAL SCREEN
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- 15 EXPOSED STRUCTURAL STEEL
- 16 METAL CANOPY W/ WOOD UNDERSIDE
- 17 GARAGE PEDESTRIAN ENTRY
- 18 BUILDING ENTRY
- 19 BUILDING SIGNAGE LOCATION MOUNTED ON AWNING
- 20 EXTERIOR WALL MOUNT DOWN LIGHT
- 21 BRICK - RUNNING - COLOR 4
- 22 ART DISPLAY



SOUTH ELEVATION

SCALE:
3/32" = 1'-0"

1



WEST SITE STREET SECTION

SCALE:
1" = 20'-0"

4



SOUTH SITE STREET SECTION

SCALE:
1" = 20'-0"

3



EAST SITE STREET SECTION

SCALE:
1" = 20'-0"

5



NORTH SITE STREET SECTION

SCALE:
1" = 20'-0"

1



KTGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389 6029
AMILLER@KTGY.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103
CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

PACIFIC YARD APARTMENTS

704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

DATE: 08.06.21
ISSUED FOR: SITE PLAN 01
01.05.22 PLANNING RESUBMITTAL

SITE SECTIONS

PROJECT NUMBER
21006



KITGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389.6029
AMILLER@KITGY.COM

FOR:
URBAN ALFANDRE
825 N 300 W #141
SALT LAKE CITY, UT 84103
CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

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704 SOUTH 400 WEST
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DATE:	ISSUED FOR:
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01.05.22	PLANNING RESUBMITTAL

RENDERINGS

PROJECT NUMBER
21008



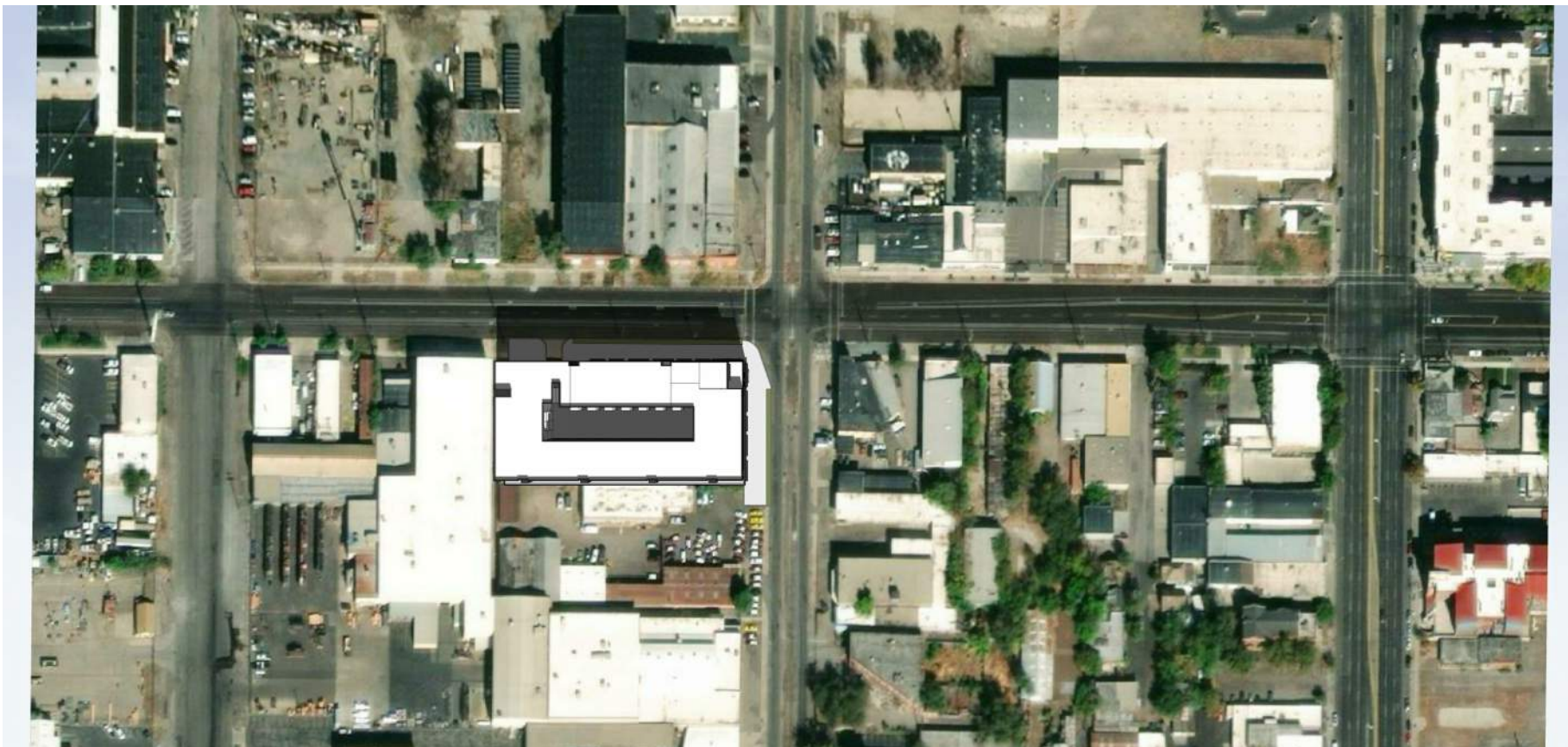
DECEMBER 22 - 9AM



DECEMBER 22 - 12 NOON



DECEMBER 22 - 4PM



MARCH 20 - 9AM



MARCH 20 - 12 NOON



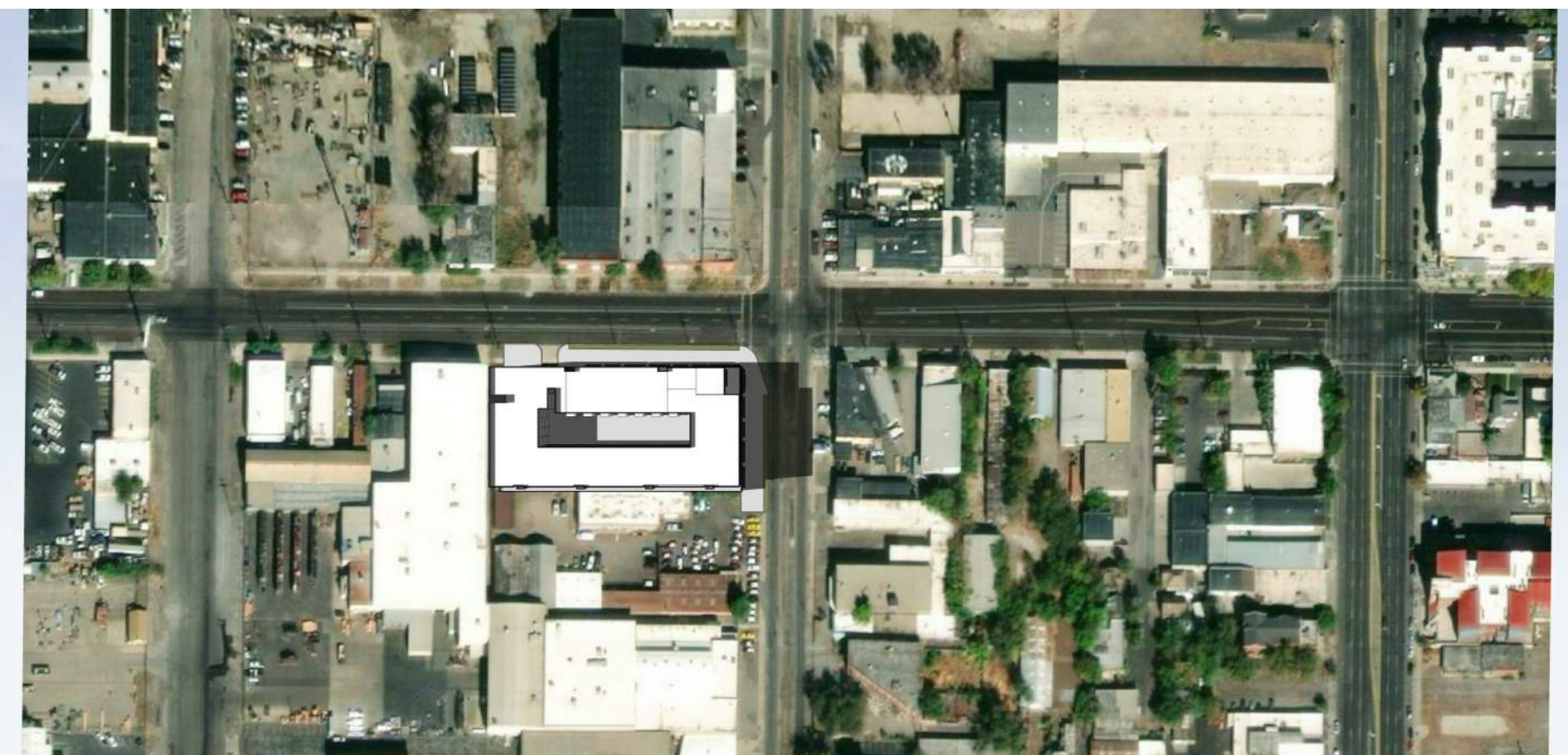
MARCH 20 - 4PM



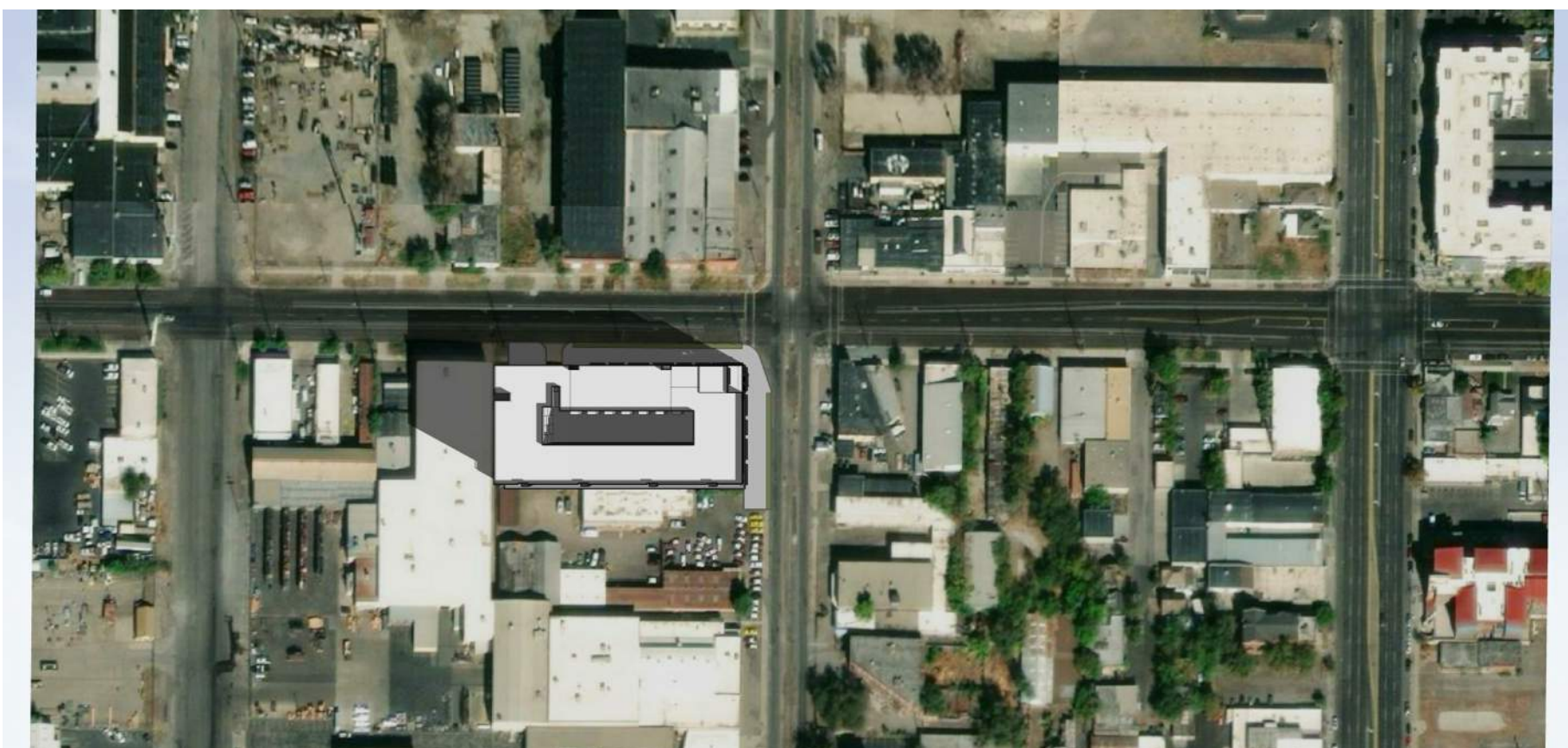
JUNE 22 - 9AM



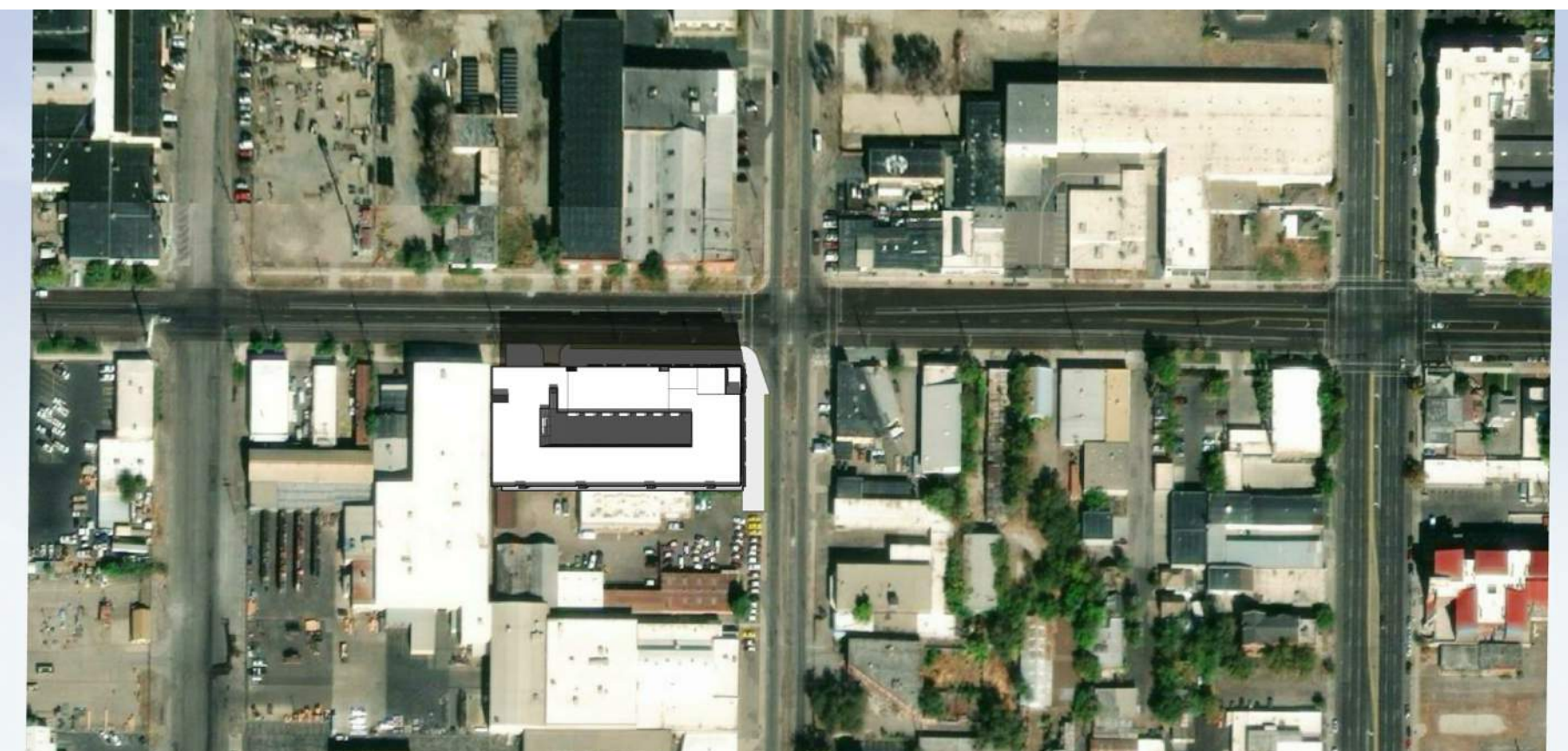
JUNE 22 - 12 NOON



JUNE 22 - 4PM



SEPTEMBER 22 - 9AM



SEPTEMBER 22 - 12 NOON



SEPTEMBER 22 - 4PM



KITGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389.6029
AMILLER@KITGY.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103

CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

PACIFIC YARD APARTMENTS

704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
01.05.22	PLANNING RESUBMITTAL

SHADOW STUDY

PROJECT NUMBER
210008

ATTACHMENT C: **Applicant Narratives**



January 6, 2022

RE: Planned Development Application for Pacific Yard (704 S 400 W)

To Whom it May Concern,

We are pleased to submit this Planned Development application for Pacific Yard.

Pacific Yard “will result in a more enhanced product than would be achievable through strict application of land use regulations, while enabling the development to be compatible with adjacent and nearby land developments” in the following ways:

- Requested reduced setbacks and landscape buffers will keep with the stabilized neighborhood pattern
- Highly activated ground floor will provide more commercial and retail for the neighborhood which achieves Downtown Plan goals of creating a more liveable city through increased walkability and access to services
- Increase the Granary’s housing stock will achieve Downtown Plan goals of housing choices
- Incorporating a mid-block walkway achieves one of the Downtown Plan’s ‘Catalytic Goals’ for pedestrian connectivity and enhances public realm.

Project Narrative: The proposed planned development is called Pacific Yard — a redevelopment project at the corner of 700 South and 400 West in the heart of the Granary District. Pacific Yard consists of efficient studios, one and two-bedroom residential units and 4,000 square feet of ground floor commercial space.

The Granary District is a neighborhood that grew up around the railroad and manufacturing and now a hub for entrepreneurship, art, food and beverage and residences.

Pacific Yard creates a new project that reflects the over-scaled feel in the Granary by creating a warehouse experience on the ground level to interact with the streetscape in a way typically found in the neighborhood, while incorporating human-scaled elements.

Pacific Yard is currently comprised of three separate parcels which will be consolidated into one parcel before the building permit process. It is also incorporating a midblock walkway on the western property line.

Our intent is to activate our public street frontages with provide as much retail, lobby and co-working space and continue the stabilized neighborhood pattern of no setbacks.

2. 21A.26.070 (D): LANDSCAPE YARD REQUIREMENTS: Our plan to reduce setbacks to mimic current development patterns in the neighborhood won't allow us to provide these landscape buffers. We do plan on creating an enhanced streetscape experience with urban landscaping and a corner patio, that is private, but will provide relief for residents and customers, and a pleasant pedestrian experience.



We also believe that reducing the landscape buffer to create a more active street wall, as a priority of Salt Lake City's Urban Design Standards, is a better environment for the pedestrian allowing for more interaction with the commercial and retail ground floor uses. Reducing these setbacks and landscape buffer also helps to minimize the effect of the large rights-of-way of 700 S and 400 W to create a better public realm and comfortable pedestrian scale, "...which will result in a more enhanced product than what would be achievable through strict application of land use regulations, while enabling the development to be compatible with adjacent and nearby land developments."

Please reference Landscape Planting sheet (L301) for proposed species of plants and locations.

3. 21.A.44: PARKING: We would like to comply with the Master Plan by leveraging the large amount of on-street parking available in the Granary's wide, vacant streets to reduce the parking ratio at Pacific Yard to .78:1, or 227 total units. Per code, we are required to have 208 units, so we do comply with the parking standard, but are providing Transportation Demand Strategies as noted below.

There are preliminary plans for a TRAX extension to run right in front of Pacific Yards. It is likely by the time this project is delivered, the TRAX station is steps away, thus allowing for a lower parking ratio than the current zone requires.

Pacific Yard is complying with the following Transportation Demand Strategies:

1. At least 50% required bicycle parking provided in the form of secured long term bicycle parking located in the interior of the building and made available to residents of the development.
2. Providing an on site business center (co-working) or satellite office facility designed to facilitate telecommuting.
3. Providing an on premises gym for residents or employees with at least 400 square feet of space dedicated to workout equipment.

We also plan on having easily accessible bike parking for the residents of Pacific Yard, and customers of the commercial spaces by providing secure bike parking within the building for residents and coordinating bike parking areas, with Salt Lake City Corp, in the public right-of-way.

4. 21.A.55.040 A.3: The proposed planned development is compatible with other property in the neighborhood by eliminating the setbacks required by the current zoning in order to keep with the stabilized neighborhood pattern of zero setbacks as shown below:

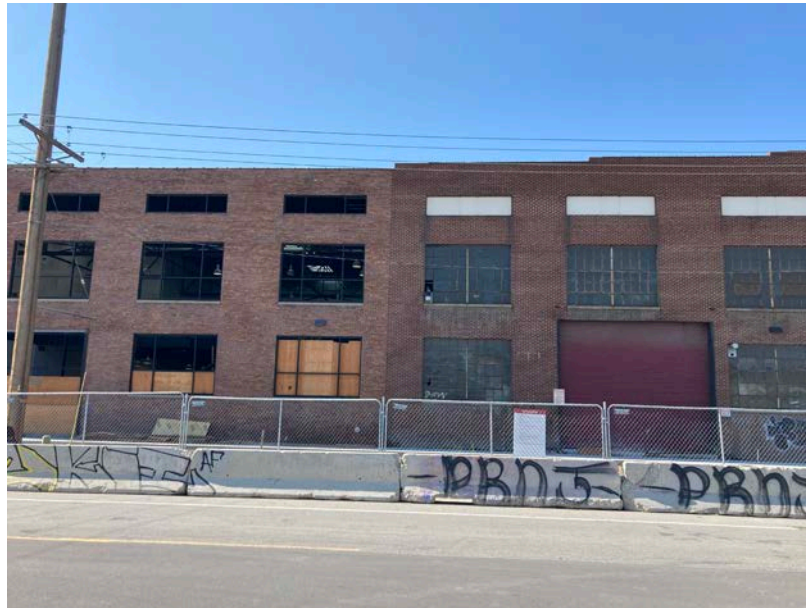


(existing development pattern highlighted in yellow with no setbacks)

The existing building on the Pacific Yard site, along with the adjacent properties, was built decades ago with zero lot lines and no setbacks. This Planned Development request is compatible with these existing development patterns of adjacent properties and most other properties in the neighborhood. Building Pacific Yard with setbacks required in the current zoning would create an uneven street wall and increase the unfriendly scale of the wide street. The requested reduced setbacks would provide a better built product than what is allowed under the current zone.



(Existing building on the Pacific Yard site)



(Adjacent building with zero lot lines and no setbacks)



(Adjacent building with zero lot lines and no setbacks)



(Adjacent building with zero lot lines and no setbacks)

A) **Planned Development Purpose and Objectives:**

We believe Pacific Yard meets the following City objectives for this Planned Development through the following ways:

C. Housing (2): Our proposal includes housing types that aren't commonly found in the existing neighborhood. Pacific Yard will be the first residential project west of 300 West in the Granary District and because of this, will kick-off the neighborhood's housing stock. The scale of the Granary is large, and Pacific Yard will incorporate the existing over-scaled feel of the neighborhood, while adding human-scaled elements through

façade break-up, building step-backs and ground floor activation, to enhance the public realm and pedestrian experience.



E. Master Plan Implementation (1): Pacific Yard is consistent with the guidance of Downtown master plan related to building scale, building orientation, site layout or other similar character defining features through the following ways:

- Providing a mid-block walkway, deemed as a 'Catalytic Project' by the downtown master plan.
- Helping to "rebuild 400 West into a multi-modal street ..." by adding in front of our project "...adequate curb, gutter, park strip and sidewalk"



(Granary Campus mixed-use retail project directly adjacent to Pacific Yard fronting 400 West)

Pacific Yard's ground floor activation will continue to promote redevelopment opportunities along 400 West corridor, "further linking the granary to the rest of downtown."

B) Master Plan Compatibility

Pacific Yard is very consistent with the Downtown master plan through the following ways:

- Providing "mid-rise housing and small local-serving retail" to help "make the Granary a complete neighborhood."
- Creating a "Vibrant & Active" district "further linking the Granary to the rest of downtown" by redeveloping a vibrant, mixed-use project along 400 West that "support a true mix of housing options..."

C) Design And Compatibility

1. The scale, mass and intensity of Pacific Yard is compatible with the surrounding neighborhood and the Downtown master plan in the following ways:

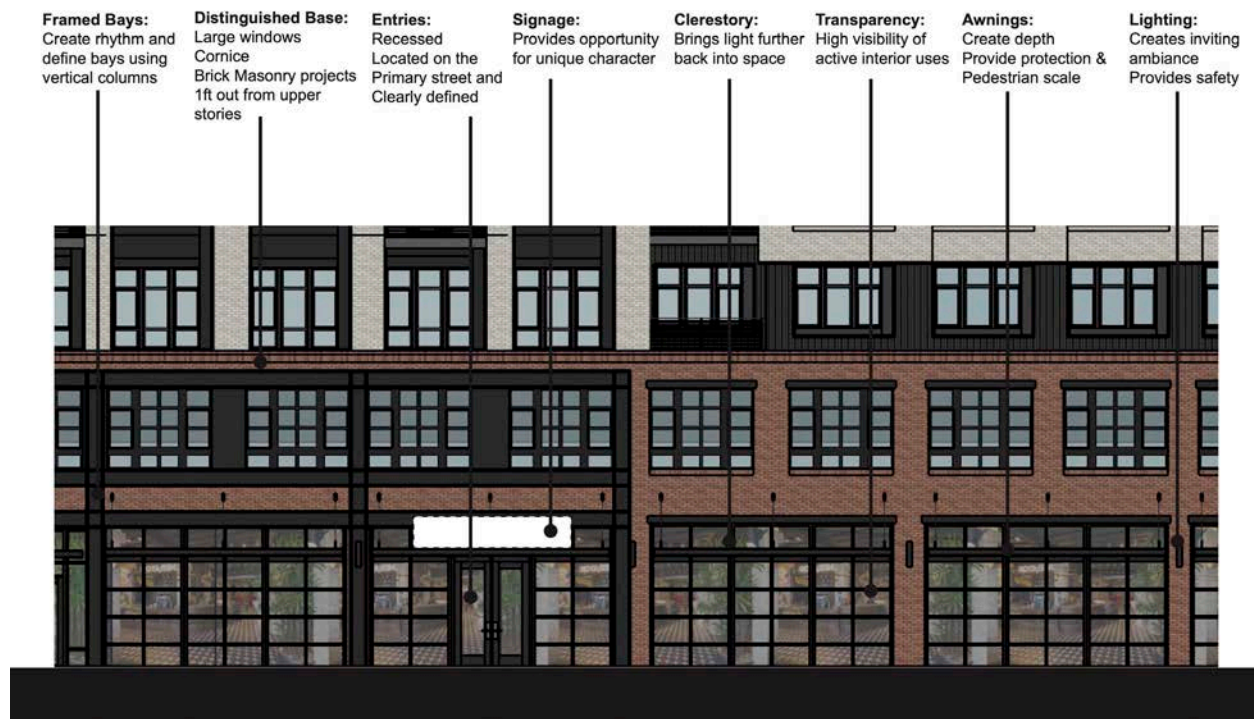
- The Granary is full of large warehouses and large parcels on very wide streets, which has created an over-scaled feel that has become a defining characteristic for this part of town. Pacific Yard's goal is to keep with the over-scaled feel by mimicking the size and scale of surrounding buildings, and add human-scaled design elements to enhance the public realm and pedestrian experience. This is done in the following ways:
 - Designing a ground level that mimics surrounding architecture to add continuity to the neighborhood, while enhancing the walkability by adding retail and commercial uses to the ground level.
 - Reducing setbacks to keep with the stabilized neighborhood pattern of zero lot lines and no setbacks
 - Breaking up the 700 South façade to create the look of two separate buildings — this was carefully designed to keep the over-scaled feeling, while adding visual interest by breaking up the façade to enhance the pedestrian experience.
 - Creating a new mid block walkway which is defined in the Downtown master plan as a 'Catalytic Project'.

2. Pacific Yard's building orientation and building materials are compatible with the neighborhood and the policies stated in the Downtown master plan related to building and site design in the following ways:

- 'SAFETY AND SECURITY' "Residential developments should be designed to be safe and secure. Transitions between the public and private realms, orientation to the street and sidewalk, and clear views from inside to out help the pedestrian realm feel safe. Building occupants should be able to see into public and semi-public spaces; and landscaping and lighting should enhance security (Downtown Plan pg. 17)"
 - Pacific Yard draws inspiration from surrounding warehouses and buildings to inform architecture on the ground level and above in the new

project to create continuity, but also differing architectural elements to create visual interest.

- Pacific yard is designed to be safe and secure by using the safety and security elements found in transitions between the public and private realms, orientation to the street and sidewalk, and clear views from inside to out to help the pedestrian realm feel safe. Building occupants are able to see into public and semi-public spaces and landscaping and lighting enhances security by creating a well manicured safe place both night and day.
- 'RELATIONSHIP TO STREET' "ground floor active uses or ground floor residential units with noticeable feature changes above the ground floor are encouraged this introduces vertical expression into the street base, with many doors on the street and privacy and security for bedrooms and balconies on the second floor and above. (Downtown Plan pg. 17)"
 - Pacific Yard follows this by creating active uses on the ground floor which create a strong base with noticeable feature changes above the ground floor, including massing and color changes, to introduce vertical expressions, with many doors on the street and privacy and security for bedrooms and balconies on the 2nd floor and above, including a rooftop deck on the top floor at the major corner to add varied height and interest and outdoor gathering space above the ground floor.



3. Building setbacks:

a. Maintain the visual character of the neighborhood or the character described in the applicable Master Plan: Pacific Yard maintains the visual character of the neighborhood by requesting no setbacks and no landscape buffer, which is what is currently found in the neighborhood as seen in the below diagram:



(existing development pattern highlighted in yellow with no setbacks)

b. Pacific Yard provides sufficient space for private amenities

c. Pacific Yard is set back 10 feet from adjacent property lines to minimize impacts related to privacy and noise and also to meet building code to allow proper glazing along those property lines to bring in more natural light into those residential units

d. Pacific yard provides adequate sightlines to streets, driveways and sidewalks.

e. Pacific yard provides sufficient space for maintenance. We have designed this space to be located in the parking podium so it can't be seen from the street.

D) Landscaping

1. There are no mature trees located on the periphery of the property.

2. There is no existing buffer landscaping.

3. The proposed landscaping is in response to the design of Pacific Yard and its intention to mimic existing setback in the neighborhood and achieve Master Plan goals. We are asking for reduced setbacks which limits landscaping and landscaping buffers, but in return, provide an engaging street presence and transparent and active ground floor to keep with the stabilized neighborhood pattern of no setbacks, while achieving the Downtown Master Plan goals of 'Safety and Security' and 'Relationship to Street' as noted above. In addition, housing and commercial to support a 24/7 atmosphere and support downtown.

4. The landscaping that we are incorporating into Pacific Yard, including a roof top deck, and planters along the ground floor is appropriate for this urban, mixed-use location.



(Pacific Yard ground level urban landscaping)

E) Mobility

1. Pacific Yard is designed to provide a safe and accommodating pedestrian environment and pedestrian oriented design through activating the ground floor with well-designed and pedestrian scaled commercial and habitable space which brings more services to the neighborhood and reduces car trips.

2. The site design and architecture of Pacific Yard is done in such a way to promote access to adjacent uses and encourage walkability through the design and programming of a vibrant streetscape.

F) Existing Site Features

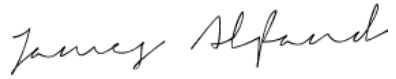
1. N/A to Pacific Yard

G) Utilities

1. We will ensure existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area. We have completed a DRT and have incorporated those comments and other comments set by Laura into this design to be compatible with city comments up to this point.

Elevations, renderings, preliminary plans and context images are included for review.

Kindest regards,

A handwritten signature in cursive script that reads "James Alfandre".

James Alfandre
Founding Principal
Urban Alfandre, LLC
650 South 500 West #188
Salt Lake City, UT 84103



January 6, 2022

RE: Design Review Application for Pacific Yard

To Whom It May Concern:

We are pleased to submit this Design Review application for the Pacific Yard.

Project Description:

The Design Review request is for Pacific Yard – a mixed-use redevelopment project at the corner of 700 South and 400 West in the heart of the Granary District. Pacific Yard consists of efficient studios, one and two-bedroom residential units and 4,000 square feet of ground floor commercial space.

The Granary District is a neighborhood that grew up around the railroad and manufacturing and is now a hub for entrepreneurship, art, and food and beverage start-ups.

Pacific Yard creates a new project that is compatible with the existing neighborhood patterns of large warehouse buildings and large parcels, while adding human-scaled design elements to enhance the public realm and pedestrian experience. In order to achieve this, we are asking for a reduction in setbacks and the landscape buffer to keep with the stabilized neighborhood pattern, and to achieve the Downtown Plan goals and objectives.

James Alfandre, a principal at Urban Alfandre, part of the applicant group, has a deep history in the Granary District neighborhood. He spearheaded Granary Row, a pop-up shipping container installation on the same block as Pacific Yard from 2011-2012 and has been heavily involved in this neighborhood as an advocate to keep and preserve its warehouse aesthetic and architecture of this part of town. The Granary District only wants to become a thriving

version of what it already is, and the addition of Pacific Yard helps in this effort.



(Granary Row 700 S 400 W, 2014)

Building Materials: Pacific Yard is Type IIIA construction and the primary exterior construction materials are:

- Brick
- Glass
- Storefront glass
- Metal Panel

Pacific Yard consists of 292 residential units and 6,060 square feet of ground floor retail space. The residential units average 576 square feet and consist of one-bedroom with two-bedroom units. The overall unit density is 225 units per acre.



(Pacific Yard)

We intend to meet the design standards listed in 21A.59.050 as described below:

The standards in this section apply to all applications for design review as follows:

A. *Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which Pacific Yard is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.*

a. The purpose of the CG General Commercial District is to provide an environment for a variety of commercial uses, some of which involve the outdoor display/storage of merchandise or materials. This district provides economic development opportunities through a mix of land uses, including retail sales and services, entertainment, office, residential, heavy commercial and low intensities of manufacturing and warehouse uses. This district is appropriate in locations where supported by applicable master plans and along major arterials. Safe, convenient and inviting connections that provide access to businesses from public sidewalks, bike paths and streets are necessary. Access should follow a hierarchy that places the pedestrian first, bicycle second and automobile third. The standards are intended to create a safe and aesthetically pleasing commercial environment for all users.

b. This project implements the following catalytic projects that have been identified in the Downtown master plan:

1. "Adding greater depth and choice of the retail, visitor, cultural, and residential offering."

a. Pacific Yard will provide 4,000 square feet of brand new neighborhood commercial and retail space and will add 292 new

housing units to this part of the Granary District, which currently has little to no housing options.

2. "Creating a clear mid-block pedestrian system that breaks up the large blocks."
 - a. Pacific Yard incorporates a well-designed mid-block walkway along its western property line.
3. "Celebrating the assets of each district."
 - a. Pacific Yard celebrates the over-scaled, warehouse aesthetic of the Granary by incorporating architectural and proportion design elements such as:
 - i. Architectural features on the ground level that are found in existing warehouse buildings in the neighborhood
 - ii. Large massings with large windows with nice reveals and mullions and durable brick material
 - iii. Minimizing façade lengths visually through design and color changes in brick, windows and balconies
4. "Growing the downtown population, supporting an active place 24/7."
 - a. Pacific Yard adds much needed housing to the Granary District in a mixed-use application that also promotes activity 24/7.
5. "Creating a pleasing and welcoming public realm."
 - a. Pacific Yard turns an abandoned single-use commercial building into a well-designed, mixed-use building that activates the street and creates a pleasing and welcoming public realm through attractive building materials, design features like large warehouse-like windows and brick detailing and fenestrations which create visual interest for the pedestrian while creating transparent, active ground floor uses to engage the pedestrian, while adding much needed services to the neighborhood to allow more walkability and reduce car trips.
 - b. In return for reducing setbacks and landscape buffers, Pacific Yard provides a better product than would be allowed by the current code, through adding ground floor active commercial uses and creating a vibrant, pedestrian-oriented experience that follows the established neighborhood development patterns for setbacks and landscape buffers. Pacific Yard also implements the Downtown master plan by "...active ground floor uses should be prioritized over parking uses. Structured parking should be designed to accommodate, where feasible, street-level businesses and other active uses."



- c. Pacific Yard follows the recommendation of Salt Lake City's Urban Design Guidelines by creating "a strong street wall [which] helps facilitate pedestrian circulation as well as provide a sense of space and scale unique to" the Granary District's large, over-scaled feel..." and can be accomplished by "buildings abutting front and side property lines"

B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.

a. Primary entrances shall face the public sidewalk.

- i. Pacific Yard's architecture has been developed to emphasize the ground floor as the focal point with most entrances, including all of the 4,000 square feet of retail, facing the public sidewalk.

b. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood.

- i. Pacific Yard seeks to reduce setbacks to keep with the stabilized neighborhood patterns, especially along 400 West which will create a cohesive urban wall and public realm "... further linking the Granary to the rest of downtown."



(existing development pattern highlighted in yellow with no setbacks)

c. *Parking shall be located within, behind, or to the side of buildings.*

- i. All parking for Pacific Yard is located behind or underneath the building and not within public street view.

C. *Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.*

a. *Locate active ground floor uses at or near the public sidewalk.*

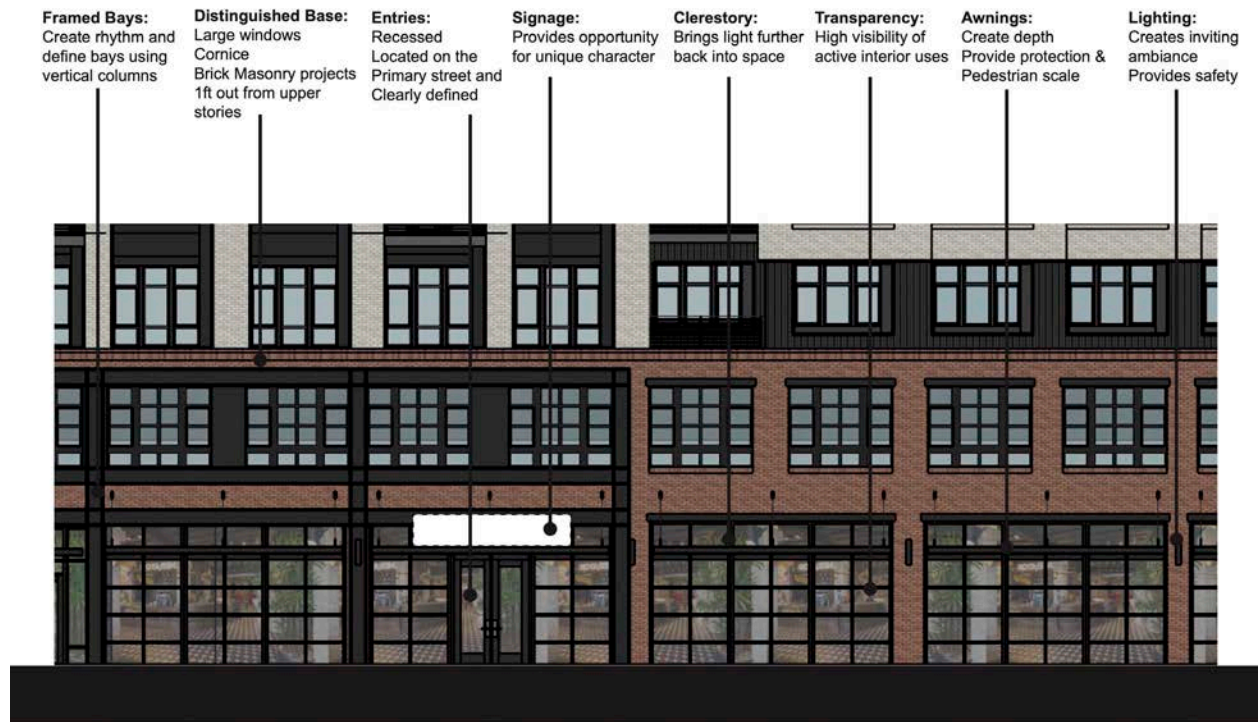
- i. The retail space, lobby and co-working all front the public sidewalk to create an active, vibrant atmosphere.

b. *Maximize transparency of ground floor facades.*

- i. All ground floor facades are easily viewed and accessible.

c. *Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions.*

- i. Pacific Yard uses the following architectural elements to reinterpret traditional storefront elements:



d. *Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces.*

i. The rooftop deck and dining patio are located at the main public street intersection at 400 West and 700 South, creating a strong visual connection to the street and outdoor spaces.

D. *Large building masses shall be divided into heights and sizes that relate to human scale.*

a. *Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, setbacks and vertical emphasis.*

i. The scale of the building is related to the zoning in the neighborhood. All of the adjacent properties are the same zone with a height of 90' and the Downtown master plan calls for "tall buildings on the corners with shorter buildings around them is an historical pattern designed to emphasize nodes formed at the intersections of main streets – west and south of the CBD is encouraged to be six to twelve stories." With all the development that is coming to the neighborhood, the scale of this building will not be incompatible with its surroundings and achieves master plan goals of increasing height on prominent corners intersections.

The scale of this building, with reduced setbacks, and a reduced landscape buffer, is more compatible with existing development patterns in the neighborhood than if this building was built per the existing code. In addition, for reduced setbacks and landscape buffer, a more active and enhanced urban wall will be added to the public realm creating a more engaging and vibrant pedestrian experience while bringing more

amenities and services within walking distance for residents of the Granary District.



As shown in the above rendering, even though we are requesting a reduced landscape buffer, Pacific Yard will still have a robust landscape buffer on the street side, helping to create a nice buffer and scale, while reducing the heat island effect and creating a strong street wall, which is called out as an important feature in Salt Lake City's Urban Design Guidelines.

The reduced setback request is also compatible with the existing development pattern of the neighborhood as seen below and provides a better design and implementation of city and master plan goals (street wall, keeping with stabilized neighborhood pattern, more active and engaging ground floor), than if built under the current zoning code.



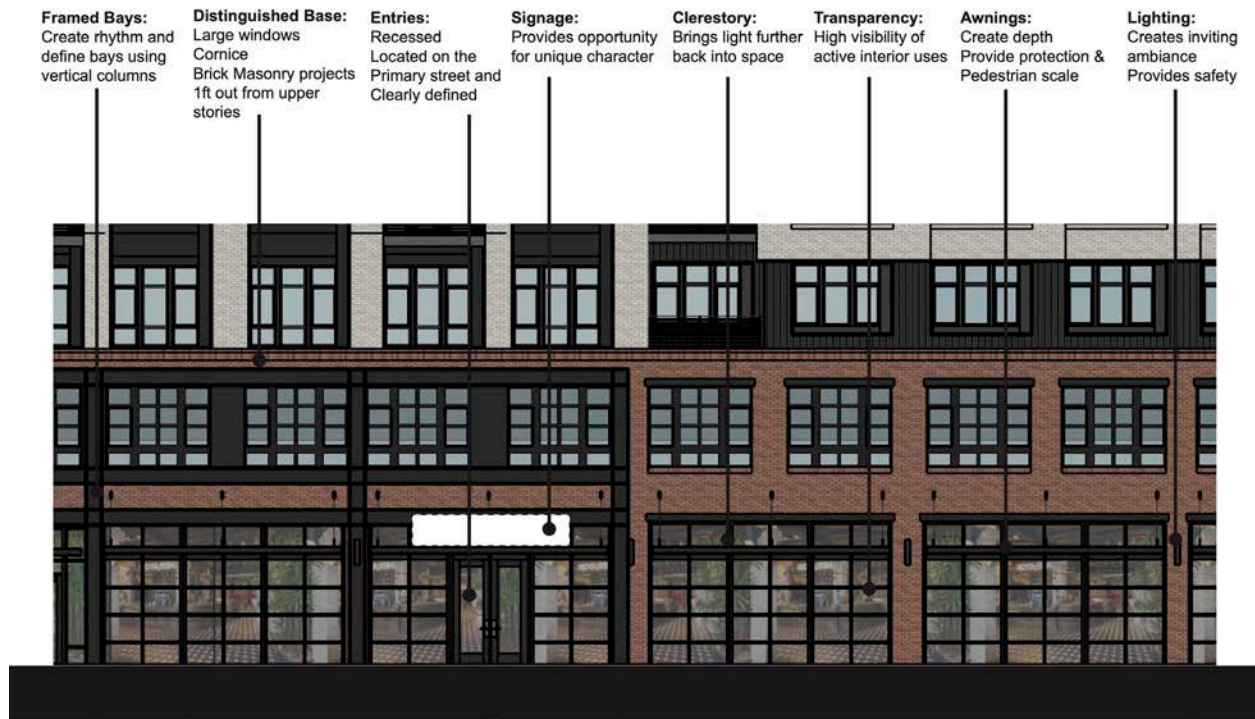
(Evo Building directly across the street to Pacific Yard)

Pacific Yard steps back 1' from the second floor to reduce the feel of scale and massing for existing and anticipated buildings, as seen below.

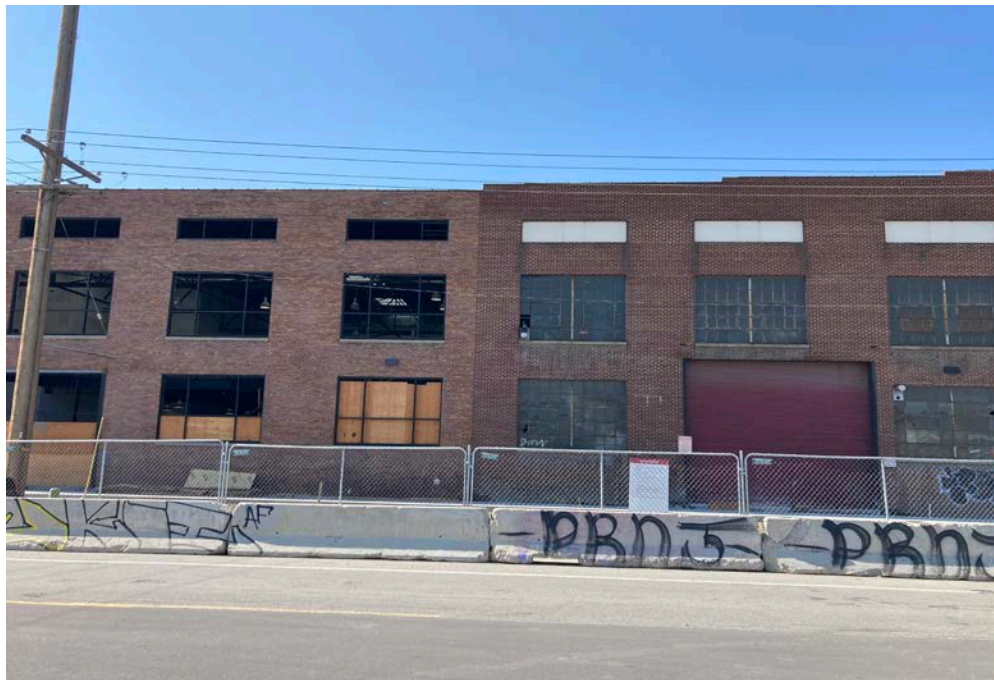


Pacific Yard reinterprets the ground floor uses and design of the Evo Building, an adjacent warehouse that has been restored, and uses warehouse inspired proportions found in the neighborhood, such as

window sizes and reveals, fenestrations and building materials, to create an interesting pedestrian experience, including active, transparent space to engage the pedestrian.



(Pacific Yard storefront design features)



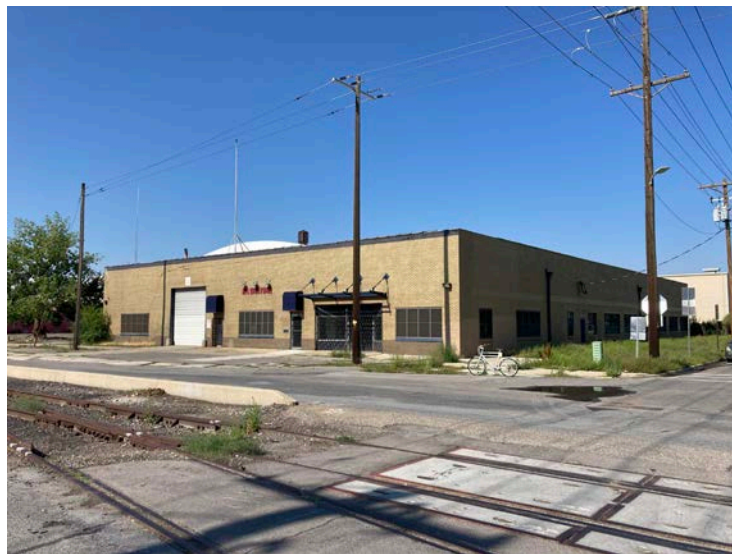
(Adjacent warehouse building used for inspiration for proportions, scale and window details)

Pacific Yard also incorporates a design to make the longest façade along 700 S look like it is multiple buildings to break up the façade to create a better pedestrian scale, public realm and more interesting urban wall. The

westernmost part of the north façade mimics light industrial warehouse buildings found throughout the neighborhood while adding unique design elements of brick detailing to the ground floor to enhance interest and pedestrian pleasantry. Balconies are added and different color brick to create a strong divide of facades to “reduce the visual width.”



(rendering reflecting the façade changes along 700 South to create more interest and improved pedestrian scale)



(site looking southwest, note existing building has no setbacks)

b. *Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height.*

i. Pacific Yard was designed for the pedestrian experience, with an industrial aesthetic to create a vibrant streetscape while being sensitive to the surrounding architecture. We use larger proportions and windows to create a simple, yet elegant design to minimize the scale of the overall structure. We also broke the building up into two separate facades on the longest façade on 700 S to create a look of multiple buildings to help with pedestrian interest and a more engaging public realm as seen below:



(Existing 700 S right-of-way)



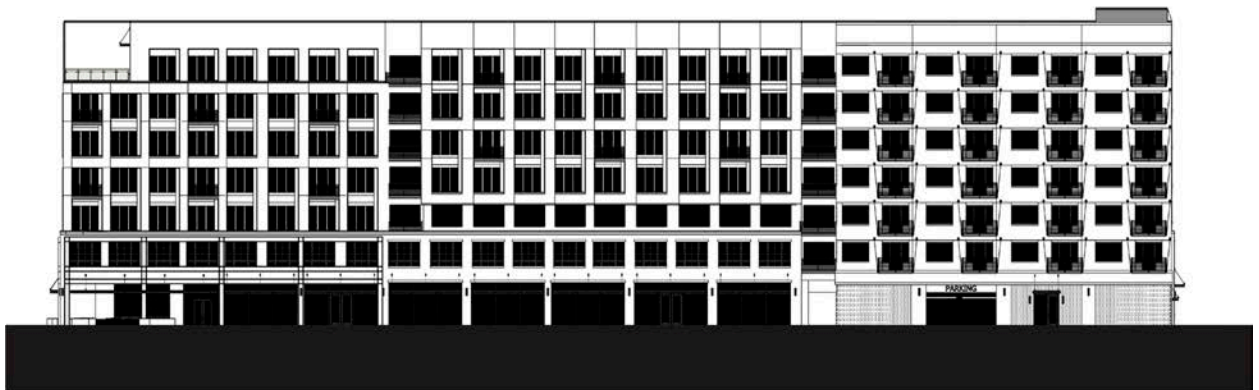
(Example of right-of-way improved with strong street wall and no landscape buffer)

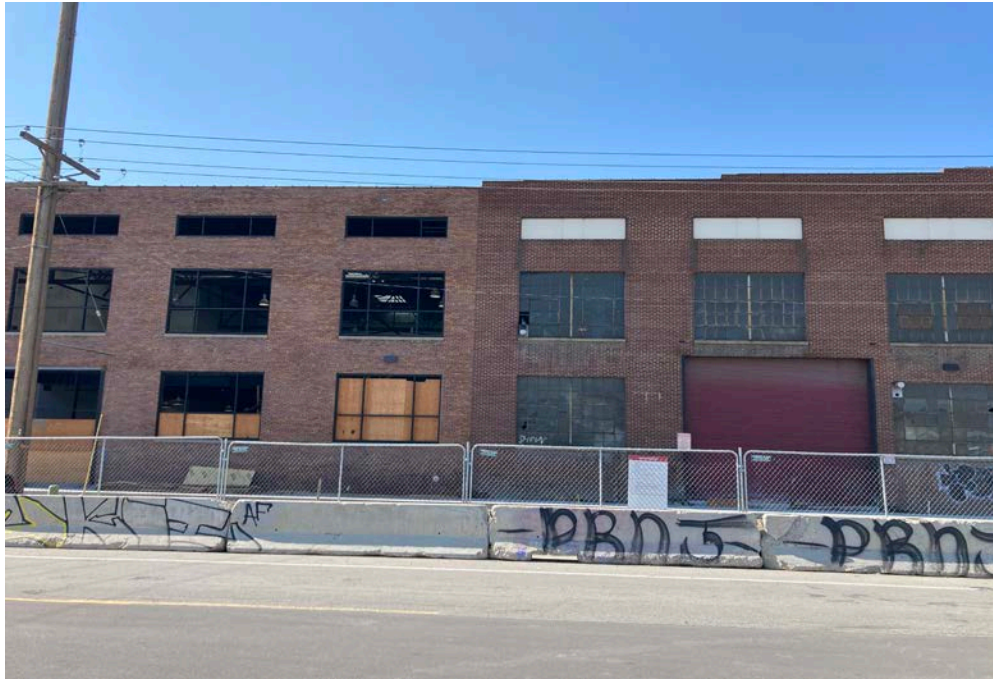
c. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals.

i. Pacific Yard incorporates balconies, a roof-top deck, carefully designed window massing and fenestrations, and strong window reveals.

d. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.

i. Solid/ void of Pacific Yard, as seen below, reflects the scale of typical scale/ void found in the neighborhood.





(Adjacent warehouse building used for inspiration for solid/void)

E. Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include:

a. Changes in vertical plane (breaks in facade);

- i. Pacific Yard has changes in both horizontal and vertical planes as seen below:



b. Material changes; and

- i. The building intergrades variety of materials, including modular brick, architectural metal, concrete banding, and large warehouse windows.

c. Massing changes.

- i. Massing is articulated in both horizontal and vertical elements with the rooftop deck and as seen below:



F. If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements:

- i. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");***
- ii. A mixture of areas that provide seasonal shade;***
- iii. Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inches (2") caliper when planted;***
- iv. Water features or public art;***
- v. Outdoor dining areas; and vi. Other amenities not listed above that provide a public benefit.***

b. Pacific Yard includes numbers i, ii and iv in the only privately-owned public space in the project, which is the mid-block walkway.



Mid-block walkways: the Pacific yard mid-block walkway achieves the midblock walkway principles found in the downtown masterplan including:

1. Pedestrian Priority - prioritizing pedestrians in the public realm
 - a. Pacific Yard creates a welcoming and prioritized pedestrian experience with public art, seating, durable materials, shade and overhead lights.
2. Experience: the pedestrian experience is supported by an environment that is accessible, comfortable, connected, convenient engaging and vibrant.
 - a. Pacific Yard's mid-block walkway achieves this desired experience.
3. Connection: This midblock walkway will connect with the other future midblock walkway network.

Please see midblock walkway sheet in the submitted landscape plans for more renderings.

G. Building height shall be modified to relate to human scale and minimize negative impacts. In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive City skyline.

a. Human Scale:

i. Utilize step backs to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans.

1. Pacific Yard follows the master plan of the neighborhood and future land use goals of providing a vibrant living environment that supports downtown and a 24/7 environment. It also creates density on a main arterial and street that has been designated as a likely TRAX expansion line to connect the Granary to downtown.
2. Pacific Yard also utilizes stepbacks to relate to scale and to enhance the priority of scale on the ground level as seen below:



ii. ***For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height.***

1. Pacific Yard has a distinct base of a reinterpreted warehouse, typically found in the surrounding neighborhood, on the ground floor, a distinct middle of white brick volumes and top varying white brick volumes extending to the top of the building, offset with dark metal top and base. The offset of brick and metal volumes was used to break up the larger scale of the building while still having a distinct base to enhance the pedestrian scale on the street level.
2. Pacific Yard is requesting height over 60' and to reduce the feel of the extra height, we are modulating the building into distinct but different bases, middles and tops, and removing a story at the corner of the building for a rooftop deck, to create a sense of reduced scale and differentiation to minimize the effect of extra height above 60' as seen below.



(story removed at corner for modulation and feel of reduced scale)

b. Negative impacts:

i. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors.

1. Pacific Yard steps back from neighbors and the street from the second level to enhance the ground floor scale for the pedestrian and to push the upper units back to be more welcoming to our neighboring properties.



ii. Minimize shadow impacts of building height on the public realm and semipublic spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height.

1. The shadow studies impact the public street and have little impact on adjacent properties all of which have plans for redevelopment to a much larger scale.

iii. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.

1. Pacific Yard has designed the building with stepbacks and setbacks and landscaping to minimize wind impacts in public and private spaces.

c. Cornices and rooflines:

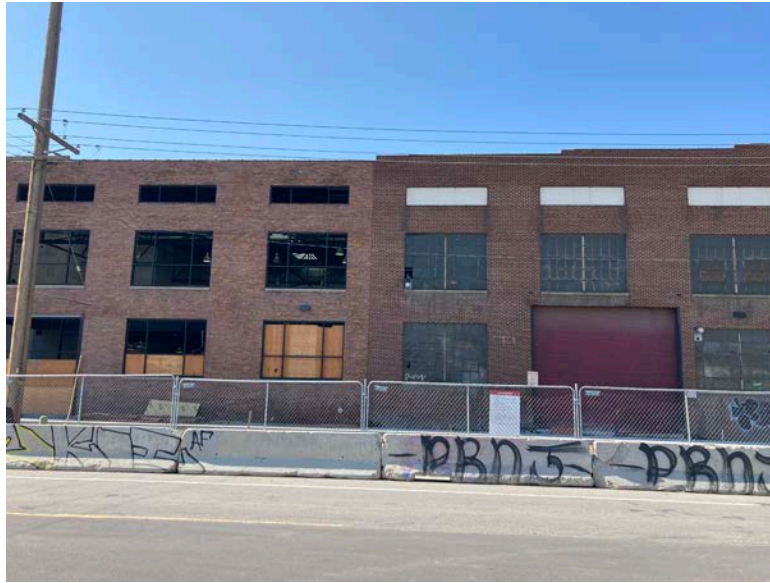
i. Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition.

1. Rooflines are defined to be cohesive with the building's overall form and composition. A rooftop deck was incorporated into

the design to add an outdoor experience for views and relaxation for residents, which also breaks up the roofline.

ii. *Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings.*

1. The context of the roof massing complements surrounding buildings and adds a rooftop courtyard to provide interest and activation to the street.



(Existing warehouse façade and roofline inspiration)

iii. *Green Roof And Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the storm water system.*

1. Pacific Yard includes a rooftop deck that supports a more visually compelling roof landscape.



(Pacific Yard rooftop deck)

H. *Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway*

- i. The parking entrance is removed from the corner and pedestrian activation to create a safer and better connection to the sidewalk.

I. *Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (See subsection 21A.37.050K of this title.)*

- i. All of the above-mentioned equipment is screened from public view.

J. *Signage shall emphasize the pedestrian/mass transit orientation.*

a. *Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building.*

- i. Design will comply with this standard by incorporating pedestrian-focused signage for the ground floor commercial and lobby entrances

b. *Coordinate signage locations with appropriate lighting, awnings, and other projections.*

- i. This is accounted for in the overall design and strategy of Pacific Yard to create an enhanced pedestrian experience with vibrant street activation.

K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals.

a. Provide streetlights as indicated in the Salt Lake City Lighting Master Plan

i. Streetlights will be provided according to the lighting Master Plan.

b. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and up lighting directly to the sky.

i. The outdoor lighting design will meet these requirements as noted above and will be designed accordingly by our electrical engineer once we move into the design development process.

c. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.'

i. Lighting will be emphasized at the building entrances, but otherwise will be low level compatible with residential living requirements.

L. Streetscape improvements shall be provided as follows:

a. One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the approval of the City's Urban Forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester.

i. Pacific Yard incorporates two of the largest trees with more spreading canopies from the SLC Urban Forestry List to comply with this standard and help reduce the sense of scale from the large building we are proposing to the wide streets to create a better scale for the pedestrian as seen below:

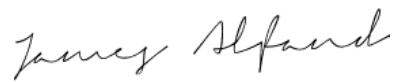


b. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards:

- i. Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur.***
- ii. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table.***
- iii. Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar- Reflective Index (SRI).***
- iv. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City.***
- v. Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities.***
- vi. Asphalt shall be limited to vehicle drive aisles. (Ord. 14-19, 2019)***

Pacific Yard achieves these standards in the mid-block walkway design. More details can be found in the mid-block walkway section of the submitted landscape plans.

Kindest regards,

A handwritten signature in cursive script that reads "James Alfandre".

James Alfandre
Founding Principal
Urban Alfandre, LLC
650 South 500 West #188
Salt Lake City, UT 84103

ATTACHMENT D: Property & Vicinity Photographs



*View of existing site from 700 South looking south. **Note: existing power lines to remain.***



Existing National Register Warehouse District contributing warehouse across the street from the Pacific Yard proposal.



View of existing site and adjacent parcel from 400 West looking west.



**ATTACHMENT F: Analysis of Standards –
General Commercial
Zoning District**

General Commercial Zoning District Standards (21A.26.070)

Requirement	Standard	Proposed	Compliance
Lot Area	10,000 square feet minimum	54,432 square feet	Complies
Lot Width	60 feet minimum	330 feet wide	Complies
Front/ Rear/ Corner Side Yard	10 feet	0 feet	Does not comply, modification requested. See Consideration 3: Request for 10' Yard Setback and Landscape Yard Relief.
Interior Side Yard	None Required	16-foot midblock walkway	Complies
Maximum Height	60 feet. Additional height limited to 30 feet when approved through the Design Review process.	87 feet 10 inches (91 feet 4 inches at stairwell tower, height exception permitted per 21A.36.020C)	Does not comply, modification requested. See Consideration 2: Request for Additional Height.
Landscape Yard - Front	10 feet	0 feet	Does not comply, modification requested. See Consideration 3: Request for 10' Yard Setback and Landscape Yard Relief.
Landscape Yard - Corner	10 feet	0 feet	Does not comply, modification requested. See Consideration 3: Request for 10' Yard Setback and Landscape Yard Relief.
Landscaping - Other	7700 square feet additional landscaping required. In the CG zone, increased landscaping shall be provided equal to ten percent (10%) of	0 feet	Does not comply, modification requested. See Consideration 4:

	the area of the additional floors.		Request for Additional Landscaping Relief.
Design Standard (21A.37) requirements in the CG zone	<p>D. Building entrances (at least 1 per street facing façade)</p> <p>I. Parking lot lighting must be shielded from adjacent residential properties.</p>	<p>D. Both street facing façades on the building include two entrances.</p> <p>I. Parking lot is interior to building. There are no adjacent residential properties.</p>	Complies

The below include general zoning standards. Not all applicable standards are listed here.

Requirement	Standard	Proposed	Compliance
Number of Off-Street Parking Spaces Required (21A.44.030)	<p><u>Minimum</u> – 0.5 spaces/studio, one space per 1-bedroom and two spaces per 2-bedroom unit (233 spaces).</p> <p>Retail goods establishment – 2 spaces per 1000 sq. feet usable floor area (12 spaces)</p> <p><u>245 stalls total required</u></p>	<p>202 total off-street stalls provided in parking structure</p> <p><i>Applicant has provided off-street parking reductions and Transportation Demand Management strategies to decrease parking minimums.</i></p>	Complies
On-Street Parking (21A.44.040.B.6)	<p><u>On</u> street parking in CG zone is allowed to satisfy some of the off-street parking required, when provided on street frontage adjacent to use.</p> <p>25 on street parking spaces present along 700 South façade.</p>	227 total parking stalls provided (202 in structure + 25 on-street)	Complies

Transportation Demand Management Standards (21A.44.050)	<p>B2. Electric vehicle parking - 1 stall per 25 vehicles</p> <p>B3. Bicycle parking- 5% of total parking provided</p>	<ul style="list-style-type: none"> • 8 electric vehicle stalls provided • 10 bike racks provided, 11 are required. These are located on the ground floor at the west end of the 700 South façade, with a separate entrance. 	Complies
Transportation Demand Management Parking Incentives	<p>The min. number of off-street parking spaces ... can be reduced to 75% of the min. requirement ... provided the applicant fulfills at least:</p> <ul style="list-style-type: none"> • two (2) of the minor transportation demand management strategies. 	<p><u>185 stalls total required when 2 minor TDM strategies are met.</u></p> <p><i>Minor TDM Strategies fulfilled:</i></p> <p>(1) Permanently sheltered, covered or secure facilities for required bicycle parking.</p> <p>(2) More information needed.</p>	<p>Complies.</p> <p>Currently the proposal shows only 1 minor TDM strategy, a second strategy will need to be included and verified during building permitting.</p>
Mechanical Equipment	Must be on roof or in rear yard/must be screened	Located in the interior of the development, screened by solid walls.	Complies

ATTACHMENT G: Analysis of Standards – Planned Development

21A.55.050: Standards for Planned Developments: The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

Standard	Finding	Rationale
<p>The planned development shall meet the purpose statement for a planned development (section 21A.55.010) and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development.</p> <p>The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development.</p> <p>The Planning Commission should consider the relationship between the proposed modifications to the zoning regulations and the purpose of a planned development and determine if the project will result in a more enhanced product than would be achievable through strict application of the land use regulations.</p>	Complies	<p>Development proposals are required to meet at least one of six possible objectives to qualify for the Planned Development review process. The applicant has noted in their narrative that they believe their development meets objectives C and F.</p> <p>Those objectives are copied below along with “strategies that are intended to be used to determine if an objective has been accomplished” as noted in the ordinance:</p> <p><i>C. Housing: Providing...types of housing that helps achieve the City's housing goals and policies:</i></p> <p style="padding-left: 40px;"><i>2. The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood.</i></p> <p><i>F. Master Plan Implementation: A project that helps implement portions of an adopted Master Plan in instances where the Master Plan provides specific guidance on the character of the immediate vicinity of the proposal:</i></p> <p style="padding-left: 40px;"><i>1. A project that is consistent with the guidance of the Master Plan related to building scale, building orientation, site layout, or other similar character defining features.</i></p> <p>Item C.2: the proposal does help achieve the City's housing supply goals by providing a housing type that isn't generally supplied in the neighborhood, although the scale is not typical of the neighborhood. The scale is reflective of</p>

			<p>what is desired in the Downtown Plan and other recently approved development in the Granary.</p> <p>Item F: As discussed in Attachment E: Master Plan Policies, the Downtown Plan calls for mid-rise development in the Granary, and the building design is generally responsive to the character of the neighborhood</p> <p>Regarding the modifications resulting in a more enhanced product, the applicant's requested setback modifications proposed to locate commercial areas adjacent to the sidewalk. By incorporating transparency and visual interest into the street facades, the proposed modification will result in a more enhanced product than would strict application of CG zoning regulations.</p>
	<p>B. The proposed planned development is generally consistent with adopted policies set forth in the Citywide, community, and/or small area Master Plan that is applicable to the site where the planned development will be located.</p>	Complies	<p>As noted in Growing SLC and Plan Salt Lake, the proposed development aligns with policies related to compatible in-fill development and housing. Additionally, the proposal is consistent with many of the initiatives in the Downtown Plan, which calls for mid-rise development in the Granary, and building design that is compatible with the character of the neighborhood. For details, see Attachment E: Master Plan Policies.</p>
	<p>C. Design and Compatibility: The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the Planning Commission should consider:</p>	Complies	<p>The proposed development is generally compatible with the area. The existing height of the area and the proposed height of the structure are starkly different. The proposal includes a building that is 88 feet tall. The Granary typically includes building between 14 and 30 feet in height. While this building will be significantly taller than the existing context, the applicant and the City acknowledge that additional development is likely to occur, and when compliant with the standards of the design review process, 90' buildings are permissible in the CG zone. The proposal provides a more enhanced product than would be achieved through strict application of the land use regulations.</p>
C1	Whether the scale, mass, and intensity of the proposed planned development is	Complies	<p>The scale, mass and intensity of the building is generally compatible with the Granary. The proposed height of the</p>

	compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;		development is relatively different for this area, but the applicable Master Plan calls for mid-rise development in Granary. The CG zone requires setbacks and additional landscaping to mitigate the intensity of large buildings. The applicant's request for relief from these requirements is premised on both the ground floor commercial uses proposed, as well as the existing neighborhood pattern, in which many buildings have no setbacks from the sidewalk.
C2	Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;	Complies	The building faces and main entrances are oriented both to 700 South and 400 West. The proposal uses a mix of brick, stucco, metal, and glass that are compatible with the wide range of materials used on nearby buildings on 700 South and 400 West. The Master Plan does not speak to specific building orientation or materials.
C3	<p>Whether building setbacks along the perimeter of the development:</p> <p>C.3.a. Maintain the visual character of the neighborhood, or the character described in the applicable master plan.</p> <p>C.3.b. Provide sufficient space for private amenities.</p> <p>C.3.c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise.</p> <p>C.3.d. Provide adequate sight lines to streets, driveways, and sidewalks.</p> <p>C.3.e. Provide sufficient space for maintenance.</p>	Complies	<p>C.3.a. The proposal maintains the visual character of the neighborhood as it is in an area of the Granary with no or small building setbacks interspersed with surface parking lots.</p> <p>C.3.b. The development provides a range of outdoor and indoor amenities in the building interior and via a mid-block walkway that will be open to the public.</p> <p>C.3.c. The development is buffered on the west by a 16' wide alley, and its north and east boundaries front the public ROW. There is no buffer on the south, where a 25' tall blank wall with a 10' step back is proposed on the property boundary. The buildings to the south are approximately 5 feet south of the property line and have blank walls fronting the proposal. Impacts related to privacy and noise appear negligible.</p> <p>C.3d. Transportation and Engineering did not offer any concerns about the provided sight lines.</p> <p>C.3e. The development has placed electrical meters along the midblock walkway, and a transformer on the 400</p>

			West façade. Minor maintenance will likely occur. There is space for maintenance.
C4	Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;	Complies	Although there are no ground floor transparency or detailing requirements for this zone, the building goes above and beyond by including multiple entrances and high level of ground floor glass. Further, the building includes various architectural details to facilitate pedestrian interest and interaction, including multiple material and color changes, façade articulation, art, architectural detailing on windows, balconies, and awnings.
C5	Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;	Complies, with a condition.	Some uplighting is shown on the midblock walkway, and details to demonstrate the lighting impacts and safety of the proposal have not been provided. Condition: Final approval of the details for development and site lighting, street lighting, and mid-block walkway lighting shall be delegated to Planning Staff to ensure compliance with the standards for Design Review as well as the Downtown Community Plan.
C6	Whether dumpsters, loading docks and/or service areas are appropriately screened; and	Complies	The development includes trash areas in the parking garage that are screened with a solid wall. Loading areas are in the building interior.
C7	Whether parking areas are appropriately buffered from adjacent uses.	Complies	Parking is accessed through a single entrance of the west of the site and all stalls are internal.
D. Landscaping: The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the Planning Commission should consider:		Complies, with a condition.	Staff is recommending that the Planning Commission impose the following condition: Final approval a tree form with a spreading canopy in the park strip, that will also meet the needs of the Urban Forestry Division and relevant utility companies to be delegated to Planning Staff.
D1	Whether mature native trees located along the periphery of the property and along the street are preserved and maintained;	Not applicable	There are no trees on the property or on the street.
D2	Whether existing landscaping that provides additional buffering to the abutting	Not applicable	There is no existing landscaping beyond a few volunteer shrubs, and these do not provide a buffer.

	properties is maintained and preserved;		
D3	Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development; and	Complies, with a condition.	<p>The proposed park strip landscape is limited in its ability to lessen impacts of the 700 South façade. The power lines will remain in place, creating challenges to grow and maintain appropriately scaled trees that might otherwise provide a human-scale sense of enclosure over the public sidewalk.</p> <p>As a condition of approval, staff proposes to work with the applicant to find a tree form with a canopy that can mediate between the 90-foot building and the right of way to introduce human-scale spaces on the sidewalk, that will also meet the needs of the Urban Forestry Division and relevant utility companies.</p> <p>See additional discussion under Consideration 3: Landscape Yard and Additional Landscaping Modification.</p>
D4	Whether proposed landscaping is appropriate for the scale of the development.	Complies, with a condition.	<p>The proposed park strip landscape is limited in its ability to provide an appropriate scale along the 320 foot long, 88 feet tall façade along 700 South. The overhead power lines will remain in place, creating challenges to grow and maintain appropriately scaled trees that might otherwise provide a human-scale sense of enclosure over the public sidewalk. Section drawings show columnar trees, while renderings show pyramidal forms, neither of which is appropriately scaled.</p> <p>As a condition of approval, staff proposes to work with the applicant to find a tree form to mediate between the 90-foot building and the right of way to introduce human-scale spaces on the sidewalk, that will also meet the needs of the Urban Forestry Division and relevant utility companies.</p> <p>See additional discussion under Consideration 3: Landscape Yard and Additional Landscaping Modification.</p>
E. Mobility: The proposed planned development supports Citywide transportation goals and promotes safe and efficient circulation within the site		Complies	The proposal includes direct connections to the sidewalk and implements design

	and surrounding neighborhood. In determining mobility, the Planning Commission should consider:		features to comply with the mobility considerations.
E1	Whether drive access to local streets will negatively impact the safety, purpose, and character of the street;	Complies	Transportation expressed no concerns about drive access.
E2	Whether the site design considers safe circulation for a range of transportation options including: Safe and accommodating pedestrian environment and pedestrian oriented design; Bicycle facilities and connections where appropriate, and orientation to transit where available; and Minimizing conflicts between different transportation modes;	Complies	The site is designed so that there is direct pedestrian access to the sidewalk. A north-south running mid-block walkway is provided along the west property boundary that will eventually connect with an east-west running walkway described in the Downtown Plan. Residents can store bicycles in a dedicated bicycle storage area or in their units. Conflicts were evaluated between pedestrians and cars regarding sight lines and city required "sight distance triangles" where driveways intersect with sidewalks. There is adequate visibility between transportation modes.
E3	Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities;	Complies	The layout of the development includes direct access to the public sidewalk to access nearby adjacent uses and amenities.
E4	Whether the proposed design provides adequate emergency vehicle access; and	Complies	The building is directly adjacent to a public street, which allows for direct emergency access.
E5	Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.	Complies	Loading access is provided within the parking structure and meets the off-street requirements in 21A.44.070.
F. Existing Site Features: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.		Complies	The proposal does not include the preservation of an existing building. The building is compatible with the historically significant NR warehouse district and borrows from its architectural style and character.
G. Utilities: Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area.		Complies	Public utility connections will be fully evaluated during the building permits review phase of the development, and upgrades, if necessary, will be required by that department to serve the property so that there will not be any detrimental impact on other property utility services. The electrical meters are proposed to be

		<p>located on the property facing the midblock walkway. As the midblock walkway is private property (with a public easement) it is allowed in this location. The proposal includes a single-phase transformer on south end of the 400 West façade. To reduce the visual impact of the equipment, it will be screened by a material compatible with the building façade, in accordance with 21A.40.160.</p> <p>There were concerns from the Department of Public Utilities that the reduced setback may limit the ability to adequately provide private utility connections and that the number of units may require offsite improvements to water and sewer lines, and/or storm drains. The applicant will need to address all utility requirements during the building permit issuance.</p>
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ATTACHMENT H: Analysis of Standards – Design Review

21A.59.060: Standards for Design Review: In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

Standard	Finding	Rationale
A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.	Complies	<p><i>The purpose of the CG General Commercial District is to provide an environment for a variety of commercial uses, some of which involve the outdoor display/storage of merchandise or materials. This district provides economic development opportunities through a mix of land uses, including retail sales and services, entertainment, office, residential, heavy commercial and low intensities of manufacturing and warehouse uses. This district is appropriate in locations where supported by applicable master plans and along major arterials. Safe, convenient, and inviting connections that provide access to businesses from public sidewalks, bike paths and streets are necessary. Access should follow a hierarchy that places the pedestrian first, bicycle second and automobile third. The standards are intended to create a safe and aesthetically pleasing commercial environment for all users.</i></p> <p>The proposal is consistent with most aspects of the purpose of the zoning district. It provides a new residential development with a 6000 square foot retail component on the first floor.</p> <p>The project meets 7 of the Downtown Plan's 48 goals. The project is located within the Granary and includes a rooftop patio in accordance with the Downtown Community Plan. The project also proposes to create adequate curb, gutter, park strip and sidewalk on 3% of the 400</p>

		West corridor identified as having very poor to marginal pavement conditions (Downtown Plan, p. 123). Additional elements related to compliance with adopted master plan policies are described in Attachment E .
<p>B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.</p> <ol style="list-style-type: none"> 1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot). 2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood. 3. Parking shall be located within, behind, or to the side of buildings. 	Complies	<p>B.1. Primary entrances to the building are located on the ground floor facing the public sidewalk.</p> <p>B.2. The building is sited adjacent to the sidewalk.</p> <p>B.3. Parking is located within the building.</p>
<p>C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.</p> <ol style="list-style-type: none"> 1. Locate active ground floor uses at or near the public sidewalk. 2. Maximize transparency of ground floor facades. 3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions. 4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces. 	Complies	<p>C.1. Active uses include a retail area, restaurant, amenity area, and leasing office located on the ground floor adjacent to the public sidewalk. A projecting brickwork pattern and public art located along the mid-block walkway enlivens the façade of the parking structure.</p> <p>C.2. The proposed project includes large commercial windows on the 400 West façade and on two-thirds of the 700 South façade.</p> <p>C.3. The street façade includes sign bands and clerestory windows, articulated by framed bays.</p> <p>C.4. Ground floor outdoor dining is located at the northeast corner of the building. A roof deck on the seventh floor provides city views to the north and east.</p>

<p>D. Large building masses shall be divided into heights and sizes that relate to human scale.</p> <ol style="list-style-type: none"> 1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs, and vertical emphasis. 2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height. 3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals. 4. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan. 	<p>Complies with a condition.</p>	<p>D.1. The surrounding existing buildings are between one and two stories, and the anticipated height in the CG zone is 5-stories (60 feet) by-right, or 7-stories (90-feet) with Design Review,. On the 700 South and 400 West façades, the base of the 6th floor balconies roughly aligns with the anticipated height of 60 feet. The second story banding along the midblock walkway façade relates to the existing building to the south. Vertical emphasis created by building articulation and color and material changes divides the building into thirds. A step-back is present on the south façade.</p> <p>D.2. The width of the building is reduced through vertical emphasis and color and material changes, as well as articulation intended to make the 330-foot-wide building appear like two adjoining buildings. Material changes from metalwork on brick to brick run east to west. There are other long warehouse buildings in the context, but none above two stories. The design is less successful in relating building height to human scale. In the absence of the applicant applying step backs to this project, an awning that provides a greater sense of enclosure paired with an appropriate tree form and scale may improve the relationship of building height to human scale. Staff is recommending a condition of deeper awnings along the 700 S and 400 W elevations, , subject to an encroachment agreement approved by all required City divisions and departments</p> <p>D.3. The building includes secondary elements on all street facing facades, and above the 3rd story on the rear (south) face. Window reveals above the second story help reduce the massing.</p> <p>D.4. The building includes ground floor transparency and adapts the solid-to-void ratio of surrounding warehouses to a residential mixed-</p>
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		use building to promote indoor/outdoor connections.
<p>E. Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include:</p> <ol style="list-style-type: none"> 1. Changes in vertical plane (breaks in façade); 2. Material changes; and 3. Massing changes. 	Complies	<p>The 700 South building façade is 320' long:</p> <ol style="list-style-type: none"> 1. On the 700 South façade the ground floor has two breaks in vertical plane, which are intended to provide the appearance of two buildings – the eastern portion is 212 feet wide, and the western portion is 108' long. The upper floors have 3 breaks in the façade. 2. Brick, stucco, and metal change along the façade. 3. Massing changes are suggested through building articulation and changes in color and material.
<p>F. If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements:</p> <ol style="list-style-type: none"> 1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30"). 2. A mixture of areas that provide seasonal shade. 3. Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two-inch (2") caliper when planted; 4. Water features or public art; 5. Outdoor dining areas; and 6. Other amenities not listed above that provide a public benefit. 	Complies, with a condition.	<p>The provided mid-block walkway is a privately owned, public space. These elements are included:</p> <p>F.1. Sitting space is provided.</p> <p>F.4. Public art will be featured along the walkway. The proposal includes an interactive 15' x 9' chalk board at the northern portion of the walkway, and five 8' x8' panels with artwork along the rest of the western façade.</p> <p>F.6. The proposal includes overhead lights over the walkway.</p> <p>The midblock walkway proposal was added to the plan set after the first submission, and still requires concept refinement and design details.</p> <p>Staff requests that final approval of the details for public art, mid-block walkway lighting, furniture, midblock walkway paving, and landscaping to be delegated to Planning Staff to ensure compliance with the standards for Design Review as well as the Downtown Community Plan.</p>

<p>G. Building height shall be modified to relate to human scale and minimize negative impacts.</p> <p>1. Human scale:</p> <p>a) Utilize step backs to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans.</p> <p>b) For buildings more than three stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height.</p>	<p>Complies, with a condition.</p>	<p>1.a. Although the building has a 10' step back at the second story on the rear façade, this does not adequately relate to human scale and modify negative impacts. The step back is not visible or perceptible from the 700 South façade, which is nearly ½ block long. In addition, it is not sufficiently perceptible to pedestrians walking along the 400 West façade as human scale is experienced as one moves parallel to the building, not perpendicular to it. Staff asked the applicant to consider adding step backs to the street facing facades above the second story to better comply with the intent of this standard and to address concerns raised by Community Council members.</p> <p>Note that because the CG zone height is 60' by-right, any requirement for a step back would need to begin at 60 vertical feet from the sidewalk, which would not improve the buildings relationship to human scale. The incorporation of step backs at the second story would provide human scale.</p> <p>In the absence of this, a condition of approval to provide a 4' awning that provides a greater sense of enclosure paired with an appropriate tree form and scale may improve the relationship of building height to human scale. See Consideration 2: Request for Additional Height, above for further discussion.</p> <p>1.b. The storefront windows and patterned bricks create a base, the middle is created color changes in the brick and fenestration, and the top is created via both color and material changes.</p> <p>2a. The building incorporates modulation through articulation and material changes, but section drawings do not demonstrate</p>
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<p>2. Negative impacts:</p> <p>a) Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors.</p> <p>b) Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height.</p> <p>c) Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.</p> <p>3. Cornices and rooflines:</p> <p>a) Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition.</p> <p>b) Complement surrounding buildings: Include roof forms that complement the rooflines of surrounding buildings.</p> <p>c) Green roof and roof deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.</p>		<p>features that step up or down significantly.</p> <p>2b. The building massing does not minimize shadow impacts. The sidewalk on 700 South is located to the north of the building and will be in shadow much of the year. The west-facing mid-block walkway sidewalk will be shaded during the morning hours.</p> <p>2c. Wind impacts are not sufficiently addressed. Staff is recommending a condition of deeper awnings to address the concerns of wind impacts, subject to an encroachment agreement approved by all required City divisions and departments.</p> <p>3a. Cornice and rooflines are cohesive, and complement the flat roofs typically found in the Granary. Window reveals and balconies are incorporated transitions between stories, providing an interpretation of a cornice that enhances the residential character of the upper floors.</p> <p>3b. Roofline complement surrounding buildings. There is a brick cornice between the second and third story typical of the styles found in the area and reference the existing height of contributing buildings.</p> <p>3c. Roof decks for residents are incorporated on level three and level seven.</p>
<p>H. Parking and on-site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway.</p>	<p>Complies</p>	<p>Primary entrances are located on the sidewalk. Pedestrian-only midblock walkway runs north/south adjacent to the parking garage on the west side of the site.</p>
<p>I. Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from</p>	<p>Complies</p>	<p>Waste containers, mechanical equipment, and storage areas and loading docks are incorporated within the building, as are service uses.</p>

the front line of building or located within the structure.		
J. Signage shall emphasize the pedestrian/mass transit orientation. <ol style="list-style-type: none"> 1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building. 2. Coordinate signage locations with appropriate lighting, awnings, and other projections. 3. Coordinate sign location with landscaping to avoid conflicts. 	Complies	<p>J.1. Spaces for signage are incorporated into a metal band on the building face</p> <p>J.2 Sign bands and blade signs are incorporated and coordinated with projections and landscaping.</p> <p>J.2 Coordination of the signs with landscaping will be determined during the building permit process.</p>
K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals. <ol style="list-style-type: none"> 1. Provide streetlights as indicated in the Salt Lake City Lighting Master Plan. 2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky. 3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety. 	Complies, with a condition.	<p>Some uplighting is shown on the midblock walkway, and details to demonstrate the illumination quality of the proposal have not been provided.</p> <p>Condition: Final approval of the details for development and site lighting, street lighting, and mid-block walkway lighting to be delegated to Planning Staff to ensure compliance with the standards for Design Review as well as the Downtown Community Plan.</p>
L. Streetscape improvements shall be provided as follows: <ol style="list-style-type: none"> 1. One street tree chosen from the street tree list consistent with the city's urban forestry guidelines and with the approval of the city's urban forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the city's urban forester. 2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following 	Complies, with a condition.	<p>L1. Street trees are limited by overhead power lines to remain in their ability to provide an appropriate scale along the 320 foot long, 88 feet tall façade along 700 South. The overhead power lines will remain in place, creating challenges to grow and maintain appropriately scaled trees that might otherwise provide a human-scale sense of enclosure over the public sidewalk. Section drawings show columnar trees, while renderings show pyramidal forms, neither of which is appropriately scaled. Staff is recommending the following condition: Final approval a tree form with a spreading canopy in the park strip, that will also meet the needs of the Urban Forestry Division and relevant</p>

<p>standards:</p> <ul style="list-style-type: none"> a) Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur. b) Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table. c) Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar-Reflective Index (SRI). d) Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City. e) Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities. f) Asphalt shall be limited to vehicle drive aisles. 		<p>utility companies to be delegated to Planning Staff.</p> <p>L.2.a. Materials include concrete, unit pavers, metal, and wood.</p> <p>L.2.b. Pervious pavers may be practical along the midblock walkway, pending input from Public Utilities related to the floodplain.</p> <p>L.2.c. Staff to request SRI values of materials during the building permit phase.</p> <p>L.2.d. Streetscape improvements reflect Salt Lake City character. The midblock walkway proposal was added to the plan set after the first submission, and still requires concept refinement and design details to determine relationship to the neighborhood.</p> <p>L.2.e Seating is incorporated into midblock walkway.</p> <p>L.2.f. Asphalt is not shown on site plans. Proposed drive aisle is concrete.</p> <p>Condition: Final approval of the details for streetscape improvements to be delegated to Planning Staff to ensure compliance with the standards for Design Review as well as the Downtown Community Plan.</p>
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ATTACHMENT I: Public Process and Comments

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project:

- **Early Notification**
 - Early notification regarding the project with a link to the upcoming online open house was mailed out December 1, 2021
 - Notices were mailed to property owners/residents within ~300 feet of the proposal and e-mailed directly to the local community council contacts (Ballpark and Downtown Community Councils). Ballpark CC forwarded the notice to Central Ninth CC and noted to staff that the proposal would likely be of interest to them.
- **Planning Division Online Open House – January 24, 2022**
 - An online open house was held on the Planning Division website between January 24 and February 16th.
- **Community Council Engagement**
 - Central 9th Community Council hosted a joint community council presentation with Ballpark and Downtown Community Council members in attendance. Staff attended the C9CC meeting on January 10th, 2021.
 - Community members had concerns about the scale of the building, which is ½ block long.
 - There were concerns about the midblock walkway, and whether or not it would realize the City's intent for these privately-owned public spaces.
 - There were questions about what would be required for lighting along the midblock walkway.
 - Community members expressed concern about whether the level of design and the scale of the building were equivalent to the extent of area and height requested by the applicant.
 - Community members asked if there was any reuse component to the proposal, either of structure or materials. The applicant explained they were not.
 - Community members questioned the number of parking stalls provided.
- **Public Hearing Notices for Planning Commission Meeting**
 - Public hearing notice mailed on February 10, 2022
 - Public hearing notice posted on February 11, 2022

- Public notice posted on City and State websites and Planning Division list serve on February 10, 2022

Public Input:

Staff received two letters from residents objecting to the proposal, along with a letter expressing concerns regarding mitigation measures and façade length from the Ballpark Community Council. The Vice Chair of the Central 9th Community Council objected to the “uninterrupted façade” and wanted to see higher urban design quality provided in relation to the request for relief from the applicant. Those letters are attached. No other formal input was received.

From: [Jesse Hulse](#)
To: [Downtown Community Council 1](#); [Ballpark](#); [REDACTED]; [Central 9th 1](#); [REDACTED]
Subject: Re: [External] Re: Recognized Organization Input Notification - Pacific Yard - Planned Development & Design Review
Date: Monday, December 6, 2021 10:53:00 AM
Attachments: [image001.png](#)

The thing that bothers me about this project is the uninterrupted façade.

An important urban design principle is that there should be variety and interest for pedestrians and opportunities to step off the sidewalk at reasonable intervals. With our super long block faces this is even more crucial. As nice as this building appears, for the pedestrian walking along it, the experience is relentless. There may be nice things to look at through the window, but there is no guarantee of that, so the best thing to do is to break the building up into separate masses, perhaps by introducing one or two courtyards at the sidewalk that allow the public to interact with the space and offer an amenity, these are also nice amenities for the commercial spaces at ground level. This open space can be used by the public even though it is on private property and allows the opportunity to introduce trees and vegetation.

Although not as important, it also impacts the way cars move along the street, when buildings are designed like this, it raises the perceived design speed of a road and makes the street more comfortable to drive at higher speeds. Changes in height, form, increased pedestrian activity, increased tree canopy, all work together to lower traffic speed and make streets more “sticky” which is a good thing for neighborhoods.

Midblock connections where possible are another way to break down the scale of these buildings and provide more human scale.

We need to begin insisting that when a developer is seeking relief from requirements that they offer something in return, “a gift to the street” as Kort Utley at the RDA puts it so succinctly and eloquently. I’d like for us as community organizations to work with the Planning Department to come up with a strategy to make it part of granting a request like this that higher urban design standards are required when ‘variances’ are granted.

Jesse J Hulse

Principal, Atlas Architects Inc

Vice Chair, Central 9th Community Council

[REDACTED]

From: [Amy J. Hawkins](#)
To: [Bandara, Laura](#)
Cc: [REDACTED]
Subject: (EXTERNAL) Re: Recognized Organization Input Notification - Pacific Yard - Planned Development & Design Review
Date: Monday, December 6, 2021 10:52:58 AM

Hi Laura,

Thanks for making us aware of this newly proposed development from Urban Alfandre. Ballpark has a full agenda for our December meeting: reviewing the complete draft of the Ballpark Station Area Plan, which may get a bit zesty. But we would like to hear more about this development and what the developer is proposing to mitigate not following (for example) the set-back requirements. Additionally, is there a maximum façade length for this zone that isn't being addressed?

Our next Ballpark Community Council meeting is scheduled for Thursday, January 6th, which falls within the 45-day period for feedback. I believe the residents and stakeholders in the Central 9th community will also be interested in learning the details about this proposal, so I've copied Paul Johnson and Jesse Hulse on this email. While it may not meet the formal 600 feet requirement, I'd like to offer their community the opportunity to host a presentation at their January meeting, if they feel it's more appropriate. Bryan, Christian, and Tom, if you have an opinion from the Downtown Community Council, please weigh in on this discussion. 700 South is technically Ballpark's northern border, but in my experience from the past 6 years, it tends to fall in a sort of 'no man's land' between community organizations.

Best regards,

Amy J. Hawkins, PhD
Chair, Ballpark Community Council
facebook.com/BallparkCC/

As per official University of Utah guidance, please note: I am Amy J. Hawkins; I am a Ph.D.-trained researcher and full-time faculty member at the University of Utah School of Medicine in the Department of Biochemistry, but I am writing on my personal behalf and not on behalf of the university.

On Wed, Dec 1, 2021 at 2:56 PM Bandara, Laura <Laura.Bandara@slcgov.com> wrote:

Greetings,

You are receiving this email because the Planning Division received a request for **Design Review** and a **Planned Development** at approximately **704 S 400 West**, and we are soliciting comments from the Downtown Community Council and the Ballpark Community Council, the recognized organizations for this area.

More information about the request as well as the plans submitted by the applicant are attached. The recognized community organization chair has 45 days from the date this notice was sent to provide comments from your organization. Because the proposal is within 600 FT of two community council districts, a city online open house will be held at a date to be determined. You will be notified when the open house is live on our webpage.

Please see attached information for further details. Feel free to contact me with any

Bandara, Laura

From: george chapman [REDACTED]
Sent: Tuesday, January 25, 2022 8:15 AM
To: Bandara, Laura
Subject: (EXTERNAL) Comments on Petition Number: PLNPCM2021-00835 and PLNPCM2021-00822

400 West is proposed for rail extension and therefore on street parking may removed. 202 spaces for 292 apartments limits the City's plans for 400 West and hurts other residential and business owners to use on street parking. This project should not be approved.

George Chapman SLC
[REDACTED]

Bandara, Laura

From: Heather Knowlton [REDACTED]
Sent: Tuesday, January 25, 2022 8:20 AM
To: Bandara, Laura
Subject: (EXTERNAL) No! KTG Project at 704 So & 720 So 400 West

Good morning Laura,

I strongly oppose the approval of this project with the proposed decreased setbacks and decreased landscaping required. This project is close to the condo I happily own in the Granary. I understand it must be a challenge to navigate urban planning between a developer who wants to squeeze every square foot into a project and also the city that needs more taxes... BUT shortsighted city planning makes for neighborhood degradation in 20 years.

I remember sitting in on many neighborhood recommendation groups for this area years ago and the main priorities were increased setbacks, more landscaping and aesthetic concerns over too much concrete.

Please help make our neighborhood better and insist on those setbacks etc!

Thank you,

Concerned resident of the Granary.

Heather Knowlton

Sent from my iPad

ATTACHMENT J: Department Review Comments

Engineering (Scott Weiler at scott.weiler@slcgov.com or 801-535-6159)

No objections.

Public Utilities (Jason Draper at jason.draper@slcgov.com or 801-483-6751)

Public Utilities Comments:

Public Utilities has no issues with the proposed special exceptions for building height or grade changes. However, reduced setbacks should be evaluated a limited to ensure that there is adequate room for utility boxes, meters, valves, cleanouts, etc. Private infrastructure cannot be allowed in the public way. A portion of the building should be set back to provide a location for these utilities.

- The site will need to retain the 80th percentile storm. This is the first 0.5" of rain – this would be about 17,650 gallons. The site must also detain the additional flows to discharge rate of 0.2 cfs per acre.
- The stormwater must be treated for the 2-year rate.
- Please provide water and sewer demands for evaluation
- All improvements must meet public utilities standards, policies, and ordinances.
- The number of units may require water, sewer or storm drain offsite improvements.
- Disturbances greater than 1 acre require a SWPPP document to be completed.
- The site is in the 1% and 0.2% Special Flood Hazard Areas. A Floodplain Development Permit will be required.
- All improvements must meet the Flood Protection standards and ordinances.
- No residential units can be built with a floor elevation below 1 foot above the Base Flood Elevation.
- All improvements below the Base Flood Elevation must meet water proofing requirements. Below grade parking must be at an elevation to provide safe evacuation in flood events.
- Water system demands and requirement will need to be provided to model the system for capacity.
- If a new hydrant is required on 400 West, the water main will need to be replaced. If the existing water line velocity is exceeded under the demands of the new building, the main in 400 West will need to be replaced.

The following comments are provided for information only to assist the applicant in obtaining a building permit and do not provide official project review or approval. Comments are provided to assist in design and development by providing guidance for project requirements.

- Public Utility permit, connection, survey, and inspection fees will apply.
- All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.
- All utilities must meet horizontal and vertical clearance requirements.
- Water and sewer lines require 10 ft minimum horizontal separation and 18" minimum vertical separation.

- Sewer must maintain 5 ft minimum horizontal separation and 12" vertical separation from any non-water utilities.
- Water must maintain 3 ft minimum horizontal separation and 12" vertical separation from any non-sewer utilities.
- Please provide sewer and water demands for the proposed project. System improvements may be required depending on demand.
- Contact SLCPU Street Light Program Manager, Dave Pearson (801-483-6738), for information regarding streetlights.
- Utilities cannot cross property lines without appropriate easements and agreements between property owners.
- Site utility and grading plans will be required for building permit review. Other plans such as erosion control plans and plumbing plans may also be required, depending on the scope of work. Submit supporting documents and calculations along with the plans.
- All unused water and sewer services must be capped at the main.
- One culinary water meter is permitted per parcel. If the parcel is larger than 0.5 acres, a separate irrigation meter is also permitted. Fire lines will be permitted, as necessary. Each service must have a separate tap to the main.
- Site stormwater must be collected on site and routed to the public storm drain system. Stormwater cannot discharge across property lines or public sidewalks.
- A Stormwater Pollution Prevention Plan (SWPPP) and Technical Drainage Study are submitted for review.

Planning Staff Note: The above are preliminary comments from public utilities regarding the proposed utility lines. There were concerns from Public Utilities that the reduced setback may limit the ability to adequately provide the private utility connections and that the number of units may require water, sewer or storm drain offsite improvements. The applicant will need to resolve all utility concerns prior to building permit issuance. If the code requirements result in substantive changes to the proposal, it may need to come back to the Planning Commission for re-review.

Transportation (Michael Barry at michael.barry@slcgov.com or 801-535-7147)

The parking calculations on sheet 9 of 18, "A-01 First Floor Plan", of "2021-1029_704 S 400 W-Design Review Drawings (24x36)" show the minimum parking required as 215 parking spaces and the parking provided as 208 parking spaces. The applicant should check/verify the parking calculations.

The applicant could be eligible for on street parking credit per 21A.44.040.B.6. As a standard comment, on street parking is always subject to change by the city at any time and the angled parking and parallel parking spaces on the adjacent streets are not guaranteed to remain forever. I am not aware of any changes proposed to these block faces but just wanted the developer to be aware.

The plans should show the required ten-foot (10') sight distance triangle at the egress of the parking structure per 21A.40.120.E.5.a.

Fire (Doug Bateman at douglas.bateman@slcgov.com)

- Buildings that have occupied floor greater than 75-feet in height from lowest level of fire department access shall provide high rise requirements in chapter 4 of IBC

- *Fire Department access roads shall meet definition of approved and be installed within 150-feet of all ground level exterior walls. This proposal will require an Alternate means and methods application for increase sprinkler density of gpm per sq ft for the occupancy requirement and automatic smoke detection in public and common spaces.
- *Fire Department Connection located on street address side of building and hydrant located within 100-feet of FDC.
- *Hydrant to be located within 600-feet of all ground level exterior walls
- *Aerial apparatus access road to be provided that meets requirements of minimum roads of 26-feet in width, no overhead obstructions (power lines) and is located no closer than 15-feet and no farther than 30-feet from one entire side of the building.

Planning Staff Note: Fire reviewed the development for adequate “aerial fire apparatus access” (sufficient area for fire truck access to fight building fires) due to the building exceeding 30' in height. Applicant stated they have plans to underground utility lines on east façade where the aerial fire access is proposed.

Building Code (Bryan Romney at bryan.romney@slcgov.com)

- Provide a complete Code Analysis as per <http://www.slcdocs.com/building/Commercial%20LogIn%20Checklist%206-18-2019.pdf>
- Architect's seal required on all architectural plans and specifications.
- Provide public toilet facilities as per 2018 IBC Chapter 29.
- Provide Code Analysis which will allow an assembly occupancy on 7th floor level.
- Clarify whether there is an Occupied Roof.

Urban Forestry (Rick Nelson at rick.nelson@slcgov.com)

- There are currently no city trees in the ROW that would need protection.
- We will expect that the plans address the required one tree for every 30' of frontage as is in the city code.
- Attention should be given to the location of underground and overhead utilities to guide the selection of appropriate species.
- If the powerlines are moved underground, then our preference is to plant larger species.