



Staff Report

PLANNING DIVISION
DEPARTMENT *of* COMMUNITY *and* NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Eric Daems, Senior Planner, eric.daems@slcgov.com or 801-535-7236
Date: January 26, 2022
Re: PLNPCM2021-00548- Alta Terra Sugar House North-Design Review

DESIGN REVIEW

PROPERTY ADDRESS: 1121 East Ashton Avenue

PARCEL ID: 16-20-253-002-0000

MASTER PLAN: Sugar House

ZONING DISTRICT: CSHBD-1 – Central Sugar House Business District 1 and Groundwater Source Protection Overlay

REQUEST:

A request by Sam Watkins of BKV Group for **Design Review** at approximately 1121 East Ashton Avenue. The proposed development is for a 228-unit, 10 story, mixed-use building proposed to be 102' 6" in height. Buildings over 50' tall or 20,000 square feet in the CSHBD-1 zone are required to go through a Design Review process with the Planning Commission. The Planning Commission may permit buildings up to 105' tall through the Design Review process.

RECOMMENDATION:

Based on the findings listed in the staff report, it is Planning Staff's opinion that the project generally meets the applicable Design Review standards and therefore recommends the Planning Commission approve the request with the following condition:

1. The final approval for signage for the development be delegated to staff to review in accordance with adopted standards and ordinances.

ATTACHMENTS:

- A. [Vicinity Map](#)
- B. [Applicant Submittal & Plan Set](#)
- C. [Property and Vicinity Photos](#)
- D. [Master Plan Policies](#)
- E. [Analysis of Zoning Standards](#)
- F. [Analysis of Design Review Standards](#)
- G. [Department Review Comments](#)
- H. [Public Process & Comments](#)



Quick Facts

Property Size: 1.28 acres
Height: 102' 6" (10 stories)
Ground Floor Uses: Residential units, lobby, leasing office, coffee shop
Upper Floor Uses: Residential
Number of Residential Units: 228
Exterior Materials: Glass, brick, stucco, and architectural metal paneling
Parking: 216 interior stalls
Review Process & Standards: Design Review, and general zoning standards.

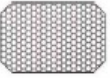

PROJECT DESCRIPTION & BACKGROUND:

This is a request for Design Review approval for a new principal building at 1121 East Ashton Avenue. The proposal is for a 10-story, 228-unit mixed-use, multi-family building. The structure will be approximately 339,400 square feet. The building is proposed as 102' 6" tall and would include a mix of studio, 1, 2, and 3- bedroom units. The units will be provided at market-rate. 12 of the units are proposed as town home style units that would be accessed directly from the public sidewalk. The ground floor of the building also includes a lobby, leasing office, pet lounge, and a coffee shop. The development would include 216 parking stalls which would be provided interior to the project. The parking would be accessed through a single entrance point off Ashton Avenue. The building includes such amenities as a business center, theater, fitness center, maker space, club room, and a large outdoor terrace accessed from the 4th floor. Above is a rendering of the development and a list of quick facts about the proposal. On November 10, 2021, the Planning Commission approved a Design Review for Alta Terra South which is a sister project and will be located across Ashton Avenue to the south. That building will include 118 dwelling units and is approximately 94' tall and 124,286 square feet.

The Future Land Use Map of the Sugar House Master Plan identifies the subject property as Business District Mixed Use- Town Center Scale. The current zoning of CSHBD-1 requires buildings over 50' tall or 20,000 square feet to go through the Design Review process prior to applying for a building permit. This project is being reviewed according to the Design Review standards specifically due to it's proposed height and size and is not requesting modification to any base design standards.

The property consists of one existing parcel that has recently been cleared of a fitness center. Fairmont Park is on the opposite side of 1100 East. There is an office on the property to the north and neighborhood scale restaurants and retail to the east. The recently approved Alta Terra South project will be constructed on the property across Ashton Avenue to the south.

The primary building material for the first three stories is brick and glass, with wood paneling and limited stucco as an accent. The upper floors also use brick but have more stucco. The north and east elevations will include a painted mural. Additional elevations and building details can be found in [Attachment B](#) of this report.

1		STUCCO MATTE GREY COLOR	6		BRICK INTERSTATE TUMBLEWEED COLOR	11		METAL MESH DARK BRONZE COLOR
2		STUCCO GREY COLOR	7		ALUMINUM WINDOW BLACK COLOR	12		INDUSTRIAL STOREFRONT BLACK COLOR
3		BRICK INTERSTATE OBSIDIAN COLOR	8		ALUMINUM DOOR BLACK COLOR	13		CNC CORTEN STEEL BROWN COLOR
4		BRICK INTERSTATE BRONZESTONE COLOR	9		ALUMINUM STOREFRONT BLACK COLOR	14		WOOD PANEL BROWN COLOR
5		BRICK INTERSTATE ARTIC WHITE COLOR	10		METAL RAILING BALCONY PAINTED BLACK	15		PAINTED ART MURAL

Exterior Materials Legend



West Elevation



North Elevation



East Elevation



South Elevation

KEY CONSIDERATIONS:

The key considerations for this project are whether the proposal is consistent with the purpose and standards of both the CSHBD-1 zone and the Design Review chapter.

Consideration #1: Design Review Objectives

The purpose of Design Review is to “ensure high quality outcomes for larger developments that have a significant impact on the City”. The intent of the process is to “verify new developments are compatible with their surroundings, impacts to public infrastructure and public spaces are addressed, and that new development helps achieve development goals outlined in the adopted master plans of the City”. Chapter 21A.59 governs additional standards for projects that require Design Review approval. These standards are geared toward creating developments which are human-scaled and create a pedestrian-friendly, walkable environment. The proposed building seeks to activate the ground floor by including a lobby, leasing office, and residential units that all have direct pedestrian access from the public sidewalk. The street facing façades exceed glass requirements and help activate the street. The building steps back by 15’ above the third level. This provides a human-scale experience from the public sidewalk. All the parking for the project has been enclosed in a parking structure in the first two floors of the building and the access to this garage area is limited to one driveway accessed from Ashton Avenue to limit potential points of conflict between pedestrians and vehicles. A full analysis of the standards for Design Review is found in [Attachment F](#) of this report.

In addition to the design standards required by the Design Review process, Chapter 21A.37 governs general design standards for projects in Salt Lake City. The proposal satisfies all standards set forth in Chapter 21A.37, including:

- Incorporating at least 40% ground floor glass for street-facing facades
- Providing pedestrian building entrances on each street-facing facade
- Not exceeding 15’ for the length of any blank walls
- Including a 15’ upper floor building step back
- Providing lighting that is shielded and directed downward
- Screening of mechanical equipment

Consideration #2: Zoning Standards

Chapter 21A.26.060 governs the zoning standards for the CSHBD-1 zoning district. These standards include minimum lot size, setbacks, building height, and other development standards. The purpose of the CSHBD Sugar House Business District is to “promote a walkable community with a transit oriented, mixed use town center that can support a 24-hour population. The CSHBD provides for residential, commercial and office use opportunities, with incentives for high density residential land use in a manner compatible with the existing form and function of the Sugar House master plan and the Sugar House Business District.”

The proposal generally meets all minimum and maximum setbacks and yard requirements outlined in the chapter. The one exception is that the plans currently show railing to a stairwell that encroaches into the public sidewalk on the south side of the building. That stairwell and railing will need to be altered to be entirely located on private property as part of the building permit approval process. Altering the stairwell should not have any effect on the rest of the site plan or design of the building. The building is proposed with a height of 102’ 6” where 105’ can be requested through the Design Review process.

The building and site have been designed to facilitate a pedestrian-oriented environment. The ground floor façade features high quality materials including brick and glass. A lobby, leasing office, coffee shop, and 12 multi-story residential units will have direct pedestrian access from the public sidewalk and help activate the street.

The CSHBD-1 zone includes a provision that buildings over 30' in height need to be primarily residential and include structured parking. This building meets that requirement with all floors being primarily residential, and all parking being interior to the building. A full analysis of compliance with zoning standards can be found in [Attachment E](#) of this report.

DISCUSSION:

In general, Staff is of the opinion that the proposal meets the intent of the CSHBD-1 zoning district, the objectives and standards of Design Review, and is compatible with the various master plans of the city which will be discussed in more detail in Attachment D. The additional height and square footage have been appropriately mitigated with the proposed design elements intended to enhance the pedestrian experience.

NEXT STEPS:

Approval of Design Review

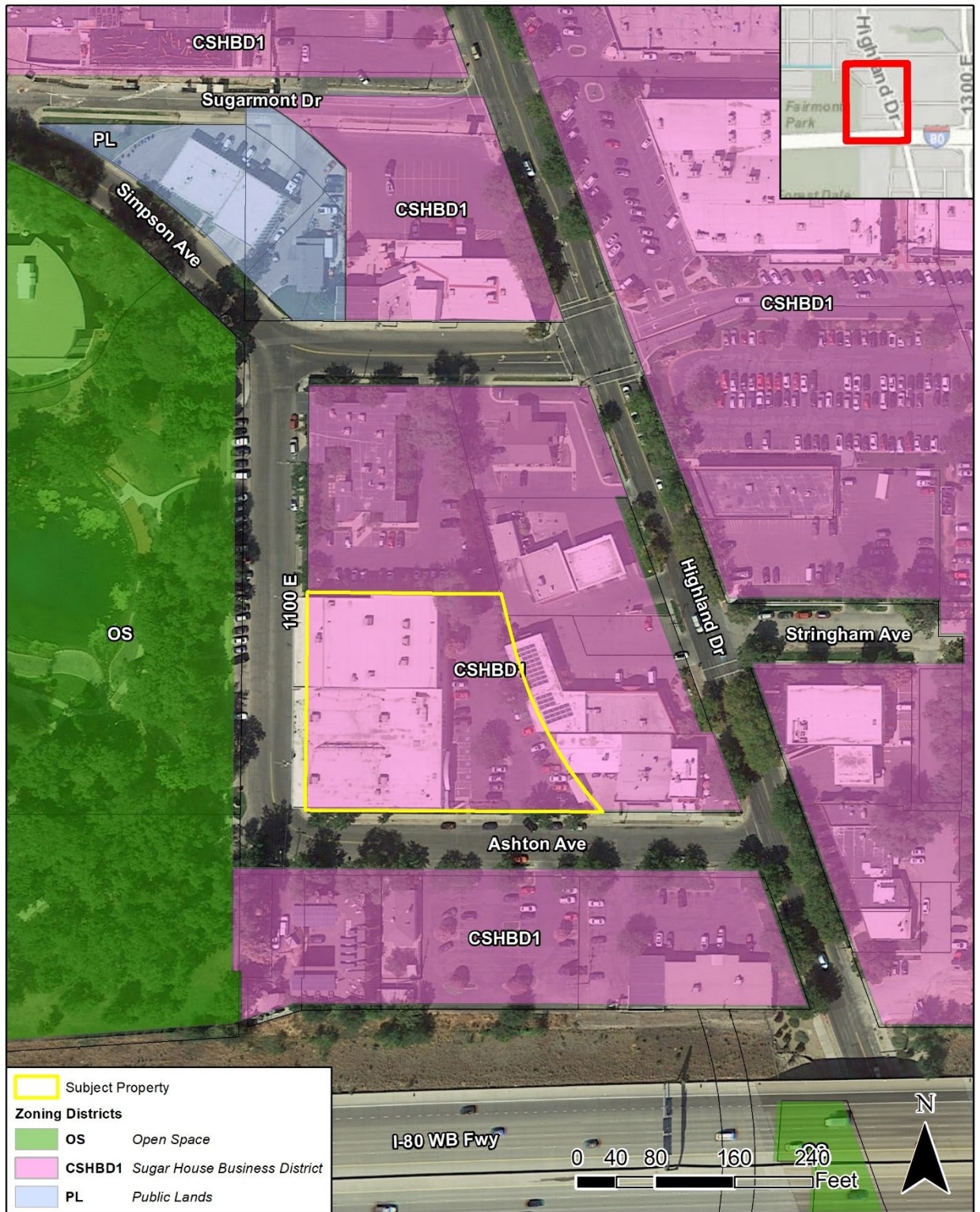
If the requests are approved, the applicant will need to comply with the conditions of approval, including any of the conditions required by other City departments and the Planning Commission. The applicant would be able to submit plans for building permits once all conditions of approval are met.

Denial of Design Review

If the design review request is denied, the applicant will still be able to develop the property by right, but at a smaller scale. Specifically, the building would need to be below 50' in height in the CSHBSD-1 zone. The applicant would be able to submit plans for building permits subject to meeting all applicable zoning requirements and requirements of other divisions.

ATTACHMENT A – VICINITY MAP

Alta Terra North



ATTACHMENT B – APPLICANT SUBMITTAL & PLAN SET



Design Review

SALT LAKE CITY PLANNING

OFFICE USE ONLY

Project #:	Received By:	Date Received:	Zoning:
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Project Name:

PLEASE PROVIDE THE FOLLOWING INFORMATION

Request:			
Address of Subject Property:			
Name of Applicant:	Phone:		
Address of Applicant:			
E-mail of Applicant:	Cell/Fax:		
Applicant's Interest in Subject Property:			
Owner	Contractor	Architect	Other:
Name of Property Owner (if different from applicant):			
E-mail of Property Owner:	Phone:		

Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

AVAILABLE CONSULTATION

Planners are available for consultation prior to submitting this application. Please email zoning@slcgov.com if you have any questions regarding the requirements of this application.

WHERE TO FILE THE COMPLETE APPLICATION

Apply online through the [Citizen Access Portal](#). There is a [step-by-step guide](#) to learn how to submit online

REQUIRED FEE

Filing fee of **\$758** plus **\$121** per acre in excess of (1) acre.

*Additional fee for required public notices will be assessed after the application is submitted.

SIGNATURE

If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent:	Date:
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July 2nd, 2021

Planning Division
Community and Economic Development
Salt Lake City Corporation
c/o John Anderson
451 South State Street, Room 215
Salt Lake City, Utah 84114

Re: Design Review Team submission for Alta Terra Sugar House, 1121 Ashton Ave

Project Description and Proposed Use

ATRE Sugar House is new construction of multi-family market-rate housing residential development located in Salt Lake City, Utah, with partial below-grade parking, interior common area amenities, landscape amenities and site improvements. The site comprises one parcel of approximately 1.21 acres located at 1121 South Ashton Avenue in Salt Lake City, Utah.

The site is to be developed in one phase for a total of 228 units in a flat-roofed structure of ten stories totaling approximately 339,400 SF of building area. The building includes a cast-in-place parking structure, ground-floor lobby, leasing, amenity spaces and residential space, and additional stories of residences above. Approximately 216 stalls of structured parking will be provided. Amenity Spaces will include Lobby, Fitness, Business Center, elevated Amenity Deck/Clubroom, and Management space. Outdoor amenities will include an outdoor courtyard space with amenities such as a swimming pool, outdoor patio, firepit, grilling stations, bar, trellis, and landscaping. All parking that fronts Ashton Avenue & 1100 E will be screened by activated uses, either residential units with individual street-level entrances or common resident amenity areas. The design of both buildings aims for a cohesive composition that helps to define the future of Sugar House and Fairmont Park while maintaining connections to the rich local history. Opportunities to support active use of the park will be sought out as the design progresses.

The building will include a mix of one and two-bedroom dwelling units intended to appeal to the young professional residents of the Sugar House area. Larger, ground level townhouses units with street fronting entrances will also be provided along both Ashton Avenue and 1100 Street. These multi-story units will offer residents a direct connection to the street and adjacent park, avoiding the lifeless blocks that can result from some large developments.

Type of Construction and Primary Exterior Construction Materials

Floors one through three comprise a cast-in-place concrete podium with metal framing infill (IBC Type I construction). Floors four through ten are load-bearing metal framing with metal framing infill (IBC Type II construction). Exterior materials include brick masonry, metal panels, and stucco.

Number, Size & Type of Dwelling Units, and Dwelling Unit Density

		One Bedroom													Two Bedroom										
Unit Type	Level	UNIT A		UNIT A1					UNIT A2			UNIT A3			UNIT B1		UNIT B2			UNIT B3		TOWNHOUSE			TOTAL
		A-ALT	A	A1	A1-1	A1-1 ALT1	A1-1 ALT2	A1-2	A2	A2-1	A2-2	A3	A3-1	A3-2	B1	B1-1	B2	B2-1	B2-2	B3-ALT	B3	TH1	TH2	TH3	
Area (SF)		422	468	550	598	567	672	665	693	718	794	822	827	865	693	821	1,021	1,021	1,023	1,138	1,081	1,184	1,797	2,216	
																									0
	G																					1	5	6	12
	2																								0
	3																								0
	4	1	4	1	1	3	2	1	1	1	1	1	1	3		1	1	2	1	2					28
	5	1	4	1	1	3	2	1	1	1	1		1	3	1	1	1	2	1	2	2				30
	6	1	4	1	1	3	2	1	1	1	2		2	3	1	1	1	2	1	2	2				32
	7	1	4	1	1	3	2	1	1	1	2		2	3	1	1	1	2	1	2	2				32
	8	1	4	1	1	3	2	1	1	1	2		2	3	1	1	1	2	1	2	2				32
	9	1	4	1	1	3	2	1	1	1	2		2	3	1	1	1	2	1	2	2				32
	10	1	4	1	1	3	2		1	1	2		2	3	1	1	1	2		2	2				30
Unit per Type		7	28	7	7	21	14	6	7	7	12	1	12	21	6	7	7	14	6	14	12	1	5	6	228
Unit Mix		15.4%		24.1%					11.4%			14.9%			5.7%		11.8%			11.4%		5.3%			
Site Area	1.21 Acres																								
Density	188 Units per Acre																								

Existing Uses on the Site

The site is currently occupied by the vacant 24 Hour Fitness building, formerly used as a bowling alley. The building is in poor overall condition and will be demolished as part of the project's construction commencement.

Uses Adjacent to the Site

The site is surrounded by existing mixed uses as is typical of the Sugar House business district. Fairmont Park is immediately to the west. Small residential and office buildings of two and three stories are nearby at the corner of Ashton and 1100 East. To the east are one story retail establishments including a DABC Liquor Store, Patagonia store, Pib's Exchange costume store and Bruges Belgian Bistro. A two-story office building is immediately to the north with tenants including The Community Foundation of Utah

Describe Any Hazardous Materials Associated with the Site

Materials used in the maintenance and operations of the buildings will be restricted to commonly available cleaning agents. Residents will not be permitted to use or store hazardous materials within their units. An environmental site assessment has indicated there are no hazardous materials associated with the site.

Supplemental Narrative

Standards for Design Review (§21a.59.050):

SLC Standard	Team Response
A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.	High-density infill residential development directly addresses the intent of the regulations.
B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.	
1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot).	The primary building entrance faces 1100 E and Fairmont Park.

2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood.	The building is sited along the sidewalks and aligning with the intended denser development pattern of the master plan.
3. Parking shall be located within, behind, or to the side of buildings.	All parking is located within the building and screened from view from the public sidewalks.
C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.	
1. Locate active ground floor uses at or near the public sidewalk.	Leasing and ground-level residential units are located along the public sidewalks.
2. Maximize transparency of ground floor facades.	The public functions at the corner of Ashton and 1100 are primarily glass, while the units along Ashton and 1100 have amounts of glass appropriate to residential uses.
3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions.	The primary building entrance and public functions at Ashton and 1100 feature articulation and detailing that harkens back to the industrial past of the Sugar House district.
4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces.	The primary building entrance and public functions are recessed to create a plaza space with seating and a visual connection to the sidewalk and Fairmont Park.
D. Large building masses shall be divided into heights and sizes that relate to human scale.	
1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis.	Building massing has been articulated to include multiple step backs providing occupiable exterior spaces. The primary step back occurring at $\pm 36'$ above grade provides a datum at a more relatable, residential scale.
2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height.	In addition to the primary step back, there are secondary step backs and horizontal breaks in the building massing, generally no more than 30' apart.
3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals.	Balconies and material transitions are arranged to create additional tiers of visual interest beyond the "first-look" of the building massing.
4. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.	The spacing of the residential unit windows serving the living and bedroom spaces provides a regular and human-scaled rhythm along Ashton and 1100 E.
E. Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include:	
1. Changes in vertical plane (breaks in facade);	In addition to the primary step back, there are secondary step backs and horizontal breaks in the building massing, generally no more than 30' apart.
2. Material changes; and	Brick and stucco vary in color to break the massing of the building into smaller units. Wood-tone panels are incorporated as accents in key areas near entrances.
3. Massing changes.	The primary step back occurring at $\pm 36'$ above grade helps to mitigate the change in scale from smaller neighbors to the residential tower.
F. If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements:	
1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");	This element was not chosen.
2. A mixture of areas that provide seasonal shade;	This element was not chosen.

3. Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted;	The amount of trees at the streetscape shown exceeds this requirement.
4. Water features or public art;	Water feature to be provided.
5. Outdoor dining areas; and	Outdoor seating and tables will be provided at the Ashton frontage of the leasing/entry plaza.
6. Other amenities not listed above that provide a public benefit.	N/A
G. Building height shall be modified to relate to human scale and minimize negative impacts. In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive City skyline.	
1. Human scale:	
a. Utilize step-backs to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans.	Building massing has been articulated to include multiple step backs providing occupiable exterior spaces. The primary step back occurring at $\pm 32'$ above grade provides a datum at a more relatable, residential scale.
b. For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height.	The street-level uses and parking podium provide a base to the building. Deep setbacks at the fourth floor set the scale for the middle section while additional setbacks and trellis structures at the top level provide
2. Negative impacts:	
a. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors.	Building massing has been articulated to include multiple step backs providing occupiable exterior spaces. The primary step back occurring at $\pm 32'$ above grade provides
b. Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height.	The "h" layout of the upper floors provides a great deal of variation in the massing. No request for additional building height is required.
c. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.	The "h" layout of the upper floors provides windbreaks for the outdoor spaces on Level 4.
3. Cornices and rooflines:	
a. Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition.	The rooflines reflect the massing of the building in a straightforward and cohesive manner.
b. Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings.	The rectilinear roof forms are consistent with the surrounding commercial structures. The variation in the building massing keeps these rooflines to a sympathetic scale.
c. Green Roof and Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.	Level 4 features over 12,350 SF of green and accessible roof space for resident use. There are two terraces on Level 8 providing an additional 650 SF of shared outdoor space.
H. Parking and on-site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway.	Parking and pedestrian access are located at the center of the property to maximize the distance to neighboring curb cuts.
I. Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back	All waste containers are served by internal chutes and storage is provided within the building.

from the front line of building or located within the structure.	
J. Signage shall emphasize the pedestrian/mass transit orientation.	
1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building.	Building signage have not yet been designed but will adhere to these guidelines.
2. Coordinate signage locations with appropriate lighting, awnings, and other projections.	Building signage have not yet been designed but will adhere to these guidelines
3. Coordinate sign location with landscaping to avoid conflicts.	Signage will be coordinated with landscape elements where applicable.
K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals.	
1. Provide streetlights as indicated in the Salt Lake City Lighting Master Plan.	Streetlights to be shown that are as indicated in the Salt Lake City Lighting Master Plan.
2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and up-lighting directly to the sky.	Lighting fixtures to include glare shields as appropriate.
3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.	Landscape lighting provided for accent and illumination in pedestrian areas.
L. Streetscape improvements shall be provided as follows:	
1. One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the approval of the City's Urban Forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester.	Street trees are being provided @ 30' o.c. max. The trees shown exceed this requirement.
2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards:	Paver type in public sidewalks is different than the paver type and size at privately owned spaces. The pavers at privately owned spaces overlap the pavers at public sidewalks in some locations but the distinction of spaces is clear.
a. Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur.	Durable materials are being specified for this project.
b. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table.	Rainwater infiltration will occur in planting areas.
c. Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar- Reflective Index (SRI).	Pavers to be chosen with a higher SRI Solar-reflective Index
d. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City.	Materials are intended to tie into the local context as well as compliment the Architecture.
e. Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities.	Textured ground surfaces (truncated dome pavers) to be provided at curb ramps or at vehicular crossings.
f. Asphalt shall be limited to vehicle drive aisles.	There will be no asphalt paving in this project.

Public Spaces (§21a.59.060 - K.2):

Because of the large size of this project, it is not feasible to provide the full amount of plaza, park or public space as detailed in §21a.59.060 - K.2 of the Standards for Design Review. To meet the intent of this requirement, the width of sidewalks has been increased and a plaza space of 2,000 square feet has been created directly across from the existing Fairmont Park entrance. An additional 13,000 square feet of shared outdoor space is arranged on the upper levels of the buildings. These amenities feature outdoor seating, grilling, fire pits, extensive shading and plantings, and a swimming pool. Due to the unusually wide right-of-way for 1100 E, we would like to collaborate with the city to enhance the streetscape in ways that will support the use of Fairmont Park. This could include broader public sidewalks and infrastructure to support food trucks and other community-focused events.



ATRE SUGAR HOUSE

SALT LAKE CITY, UTAH - DRT SUBMISSION

05/05/2021



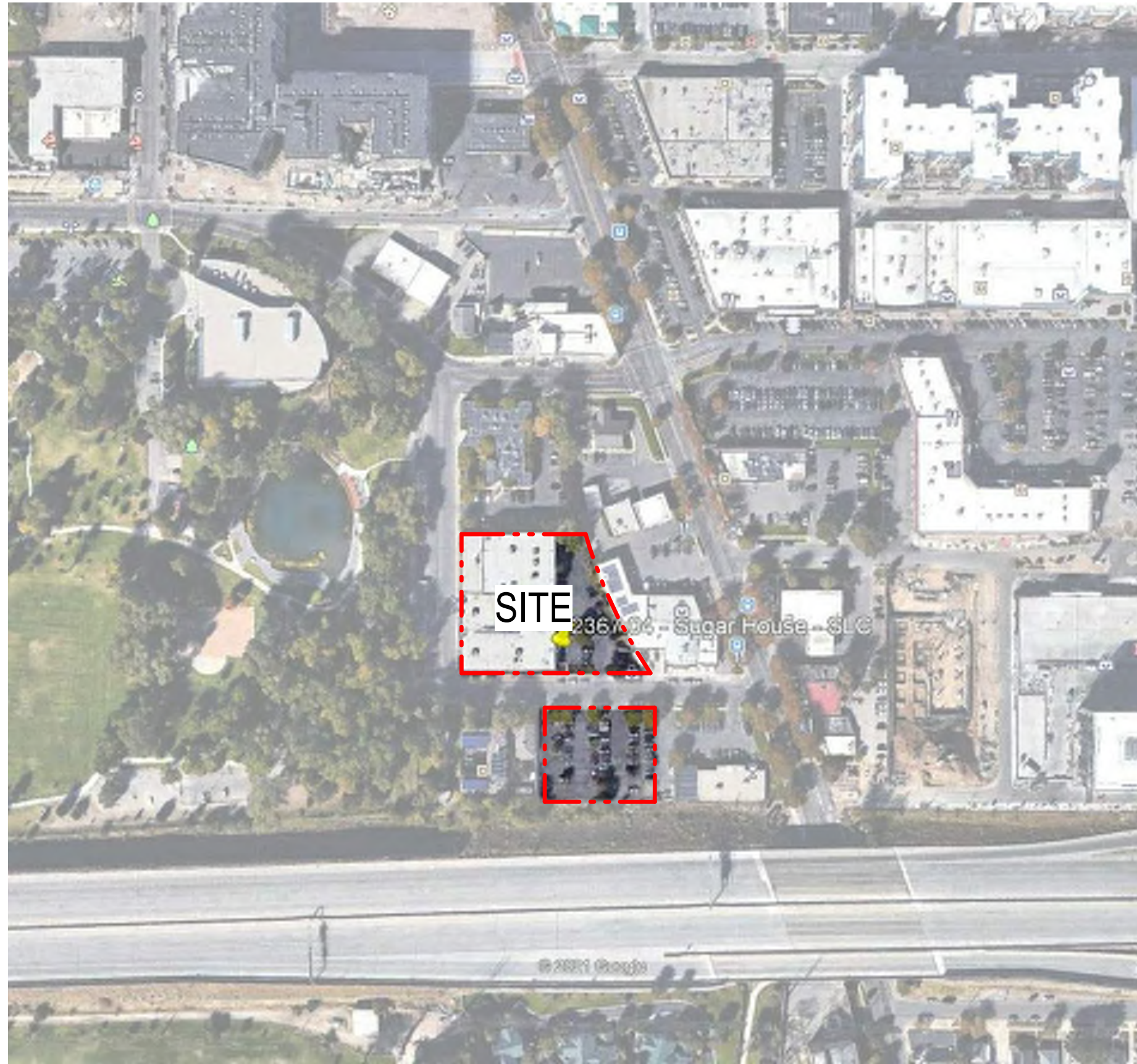
CONSULTANTS

PROJECT TITLE

SUGAR HOUSE -
NORTH BUILDING

ISSUE #	DATE	DESCRIPTION
	04/02/2021	SCHEMATIC DESIGN

PROJECT LOCATION



GENERAL

G101B	DRT PROJECT INFORMATION
G102	DRT SITE CONTEXT IMAGES
CG100	OVERALL GRADING PLAN
CU100	OVERALL UTILITY PLAN
G200A	RENDERINGS
G200B	RENDERINGS
G200C	RENDERINGS
A010	SITE PLAN

NORTH BUILDING

L101	GROUND FLOOR LANDSCAPE PLAN
L102	LEVEL 4 LANDSCAPE PLAN
L103	LEVEL 8 LANDSCAPE PLAN
A101	LEVEL 1 - OVERALL FLOOR PLAN
A102	LEVEL 2 - OVERALL FLOOR PLAN
A103	LEVEL 3 - OVERALL FLOOR PLAN
A104	LEVEL 4 - OVERALL FLOOR PLAN
A106	LEVEL 6-9 - OVERALL FLOOR PLAN
A107	LEVEL 10 - OVERALL FLOOR PLAN
A140	ROOF PLAN
A401	EXTERIOR ELEVATIONS
A402	EXTERIOR ELEVATIONS
A403	EXTERIOR ELEVATIONS
A404	EXTERIOR ELEVATIONS
A405	EXTERIOR ELEVATIONS
A406	EXTERIOR ELEVATIONS

SOUTH BUILDING

G101B	DRT PROJECT INFORMATION
A101	LEVEL 1 - OVERALL FLOOR PLAN
A102	LEVEL 2 - OVERALL FLOOR PLAN
A103	LEVEL 3 - OVERALL FLOOR PLAN
A104	LEVEL 4 - OVERALL FLOOR PLAN
A105	LEVEL 8 - OVERALL FLOOR PLAN
A140	ROOF PLAN
A401	EXTERIOR ELEVATIONS
A402	EXTERIOR ELEVATIONS
A403	EXTERIOR ELEVATIONS
A404	EXTERIOR ELEVATIONS
A405	EXTERIOR ELEVATIONS
A406	EXTERIOR ELEVATIONS

PROJECT TEAM

OWNER / APPLICANT:

ATRE
3100 Pinebrook Road, Ste. 1250-C
Park City, UT 84098
Phone: 435.214.7431
Contact: Michael Augustine

Architect:

Boarman Kroos Vogel Group, Inc
222 North Second Street
Dallas, TX 75202
Phone: 469.405.1196
Fax:
Contact: Sam Watkins

Civil:

Psomas
4179 Riverboat Road, STE 200
Salt Lake City, UT 74123
Phone: 801.270.5777
Contact: Scott Roche

Landscape:

Studio Outside
824 Exposition Ave. STE 5
Dallas, TX 75226
Phone: 214.954.7160
Contact: Brian Halseil

Structural Engineering:

BHB Engineers
2766 South Main Street
Salt Lake City, UT 84115
Phone: 801.355.5656
Contact: Chris Hofheins

Mechanical Engineering:

Boarman Kroos Vogel Group, Inc
222 North Second Street
Minneapolis, Minnesota 55401
Phone: 612.339.3752
Fax: 612.339.6212
Contact: Bill Ljunquist

Electrical Engineering:

Boarman Kroos Vogel Group, Inc
222 North Second Street
Minneapolis, Minnesota 55401
Phone: 612.339.3752
Fax: 612.339.6212
Contact: Chad Kurdi

Pool Consultant:

COMPANY NAME
ADDRESS
CITY, STATE ZIP
Phone: XXX.XXX.XXXX
Fax: XXX.XXX.XXXX
Contact: Person

Fire Consultant:

COMPANY NAME
ADDRESS
CITY, STATE ZIP
Phone: XXX.XXX.XXXX
Fax: XXX.XXX.XXXX
Contact: Person

Kitchen Consultant:

COMPANY NAME
ADDRESS
CITY, STATE ZIP
Phone: XXX.XXX.XXXX
Fax: XXX.XXX.XXXX
Contact: Person

Waste Water Consultant:

COMPANY NAME
ADDRESS
CITY, STATE ZIP
Phone: XXX.XXX.XXXX
Fax: XXX.XXX.XXXX
Contact: Person

ZONING SUMMARY

• ZONE SUGAR HOUSE BUSINESS DISTRICT (CSHBD-1)

- MINIMUM LOT AREA
- 346 TOTAL UNITS (116 UNITS SOUTH BUILDING & 228 UNITS NORTH BUILDING)
- REQUIRED SITE AREA: N/A
- PROVIDED SITE AREA: 1.15 ACRES (76,167 SF)
- MAX LOT COVERAGE: N/A

• HEIGHT AND SETBACK:

- FRONT SETBACK: 0 FT
- REAR SETBACK: 0 FT
- SIDE SETBACK: 0 FT
- MAX SETBACK: 15 FT
- PARKING SETBACK: 15 FT
- MAX HEIGHT: 105 FT

• PARKING:

- BIKE PARKING: 5% OF REQUIRED SPACES, 12 REQUIRED, 78 PROVIDED
- PROVIDED: 1784 SF OF SECURE INDOOR BIKE STORAGE, REFER TO SHEET A101 FOR LOCATION.
- EV PARKING: 1 PER 25 SPACES, 9.6 REQUIRED, 12 SPACES PROVIDED
- 306 REQUIRED - 187 WITH 1/4 MILE REDUCTION, 238 SPACES PROVIDED
- HANDICAP: 1 PER 50 SPACES, 7 REQUIRED, 7 PROVIDED
- VAN SPACE: 1 PER 6, 3 PROVIDED
- COMPACT: NOT ALLOWED

• AGGREGATE STREET LEVEL USE SHALL NOT EXCEED 50% OF FLOOR LEVEL

- GARAGE PARKING MUST BE SCREENED
- STALL SIZE: 8'-3" x 17'-6" @ 24'-10 AISLES
- 8'-6" x 17'-6" @ 24'-1" AISLES
- COMPACT: NOT ALLOWED

• LOADING REQUIRED:

- 1 PER 200,000 SF (10' x 35')

• LOADING PROVIDED:

- LARGE: 601 SF OF SPACE PROVIDED,
- MEDIUM: 433 SF OF SPACE PROVIDED

PROJECT SUMMARY (UNIT MATRIX)

Sugar House - SLC, UTAH - North Building													4/2/2021			
Unit Type	Level	Lobby/Leasing		Amenity	Amenities & Support MEP & Services		Loadings Trash	Parking Area	Parking Count	Tabulations						
Area (SF)										Gross Building Area	GRSF	NRSF	Efficiency			
													[NRSF / (GROSS BLDG - PARKING)]			
	G	3,665		3,232	0	31,675	80	46,576	7,039	7,039						
	2		3,079	1,418	1,568	31,687	82	46,536	8,220	8,220						
	3		3,056	1,811	76	29,791	76	43,918	8,219	8,219						
	4		3,206	415				29,325	25,704	20,833	71.04%					
	5		264	264			27,547	27,283	23,026	83.51%						
	6-9			264			29,302	29,038	24,677	84.22%						
	10		780	264			28,084	27,040	22,662	80.69%						
Unit per Type																
Parking Ratio		3,665	10,120	8,463	1,568		93,153	238	339,395	219,655	188,687	76.6%				
Parking Requested 1.1 /unit						412	Area/Space									
Total Parking Provided						1,04	Parking Ratio									
Parking Garage							(Per unit)									
Electric parking																
Handicapped parking																
Bike parking																
Total Townhome																
Total Unit												52,850	Site Area	1.21	Acres	
Bed Count												187	Density	= Total Units / Acreage		
NRSF by Type												0.88	Lot Coverage	= Ground Floor/Site Area		
NRSF Ave. unit												246,442	GFA	= Gross Bldg Area - Parking Area		
Unit Mix												4.66	FAR	= GFA / Site Area		

CERTIFICATION

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CONSTRUCTION

DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	2367.04

SHEET TITLE

DRT PROJECT
INFORMATION

SHEET NUMBER

G101B



ASHTON AVE- LOOKING NORTHEAST



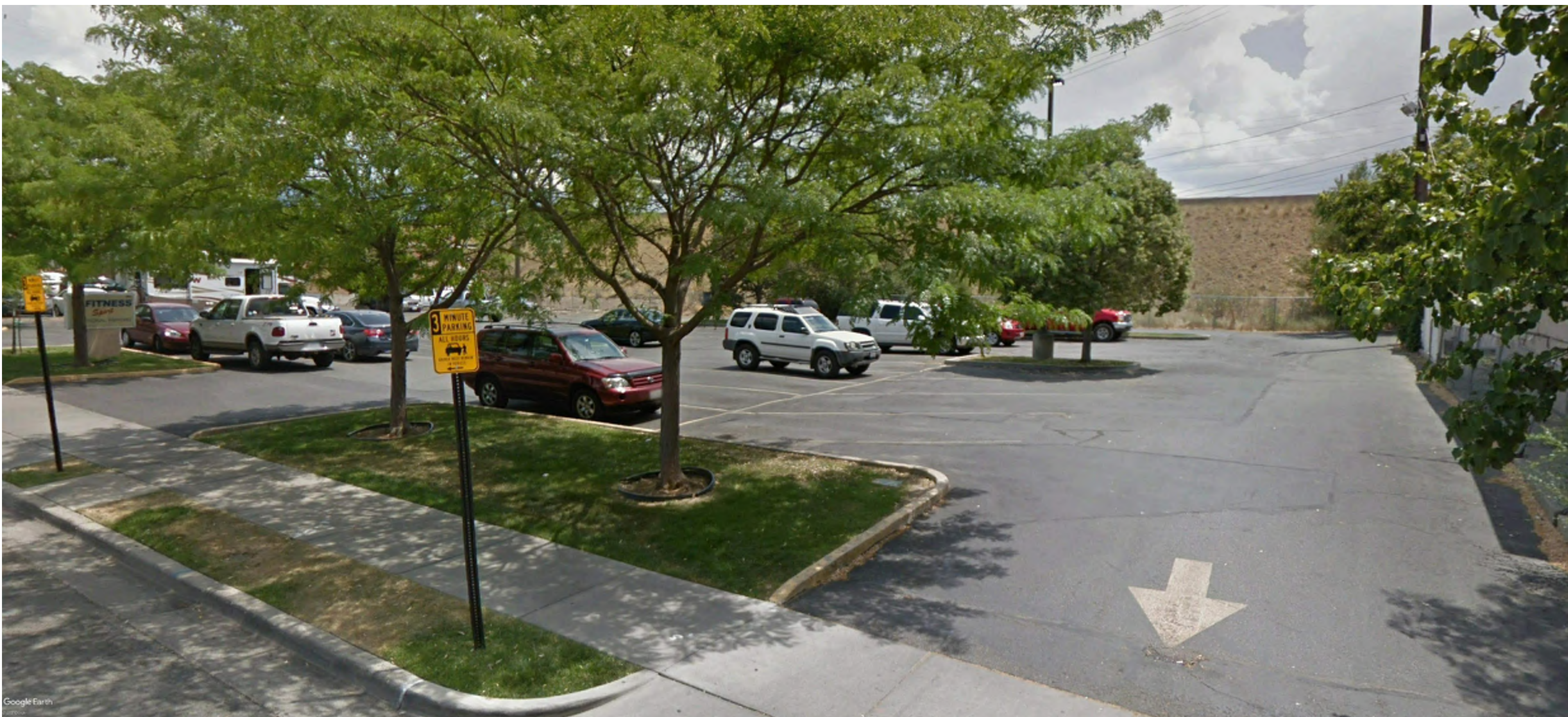
ASHTON AVE- LOOKING SOUTHWEST



ASHTON AVE- LOOKING NORTHWEST



S. HIGHLAND DR- LOOKING WEST



ASHTON AVE- LOOKING SOUTHEAST



S1100 E- LOOKING SOUTHEAST

CONSULTANTS

PSOMAS

4179 S. Riverboat Rd., Suite 200
Salt Lake City, UT 84123
(801) 270-5777
(801) 270-5782 (FAX)
www.psomas.com

PROJECT TITLE

SUGAR HOUSE -
NORTH BUILDING

GRADING NOTES

IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.

CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.

MATERIAL LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR AND BE DISPOSED OF IN A LEGAL OFF-SITE LOCATION APPROVED BY THE ENGINEER AND/OR UNIVERSITY REPRESENTATIVES.

THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.

ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.

THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION. CONTRACTOR SHALL REMOVE ALL MUD TRACKED FROM THE PROJECT SITE ONTO PUBLIC DRIVES AND ROADWAYS.

FINISHED GRADES SHOWN ON PLANS ARE TO FINISHED SURFACE. CONTRACTOR TO DEDUCT PAVEMENT SECTION TO DETERMINE SUBGRADE ELEVATION.

ALL CONSTRUCTION ALONG ADA ACCESSIBLE ROUTES AND IN ADA PARKING STALLS SHALL BE CONSTRUCTED ACCORDING TO THE LATEST EDITION OF THE AMERICAN WITH DISABILITIES ACT AND THE UTAH BUILDING CODE. ALL FINISHED GRADES WILL BE CHECKED FOR COMPLIANCE WITH A 4 FOOT DIGITAL SMART LEVEL. AREAS FOUND OUT OF COMPLIANCE WILL BE REQUIRED TO BROUGHT INTO COMPLIANCE.

CERTIFICATION

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CONSTRUCTION

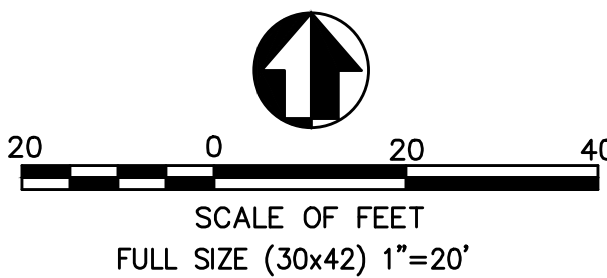
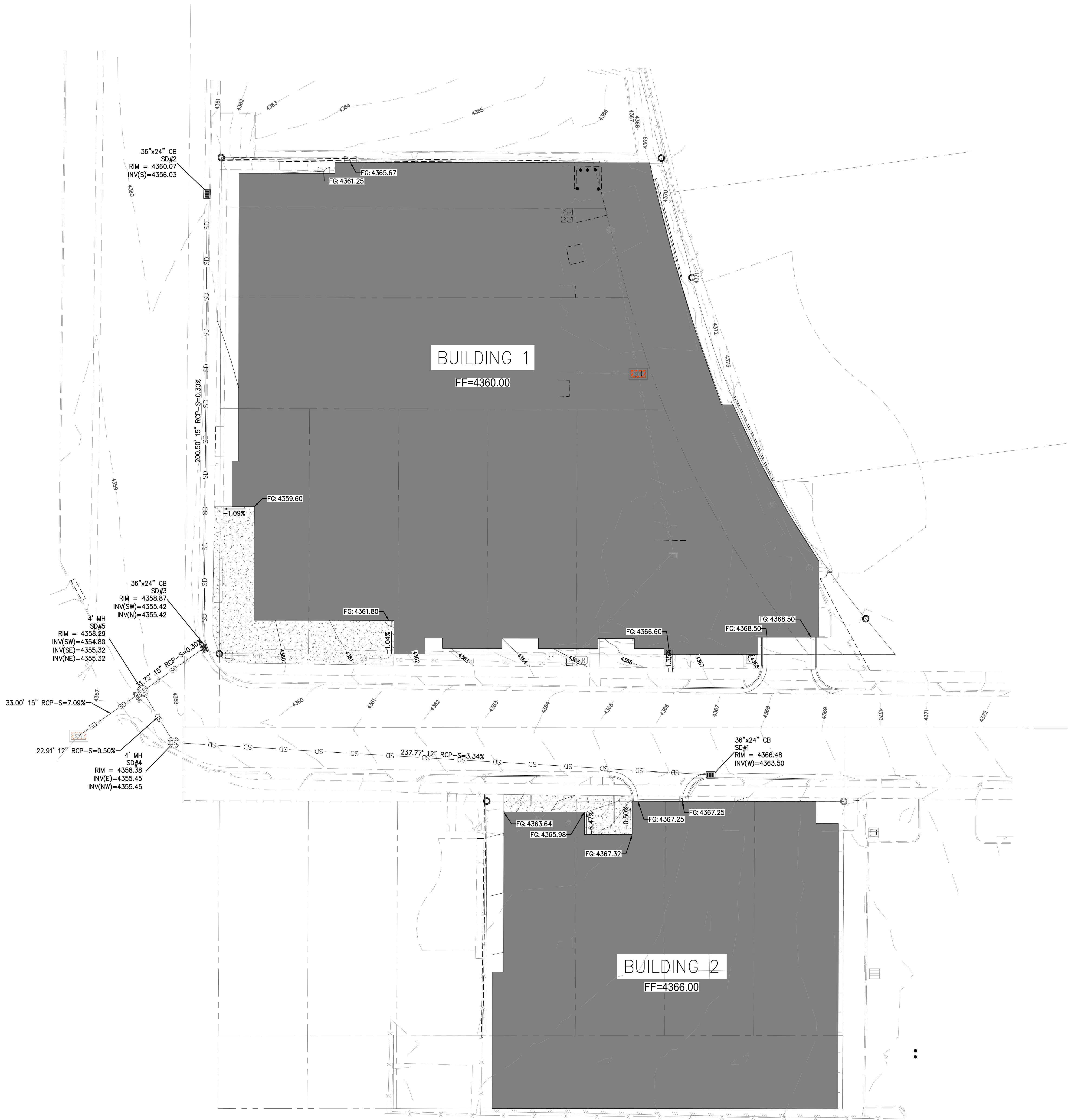
DRAWN BY TJG
CHECKED BY TJG
COMMISSION NUMBER 2387.04

SHEET TITLE

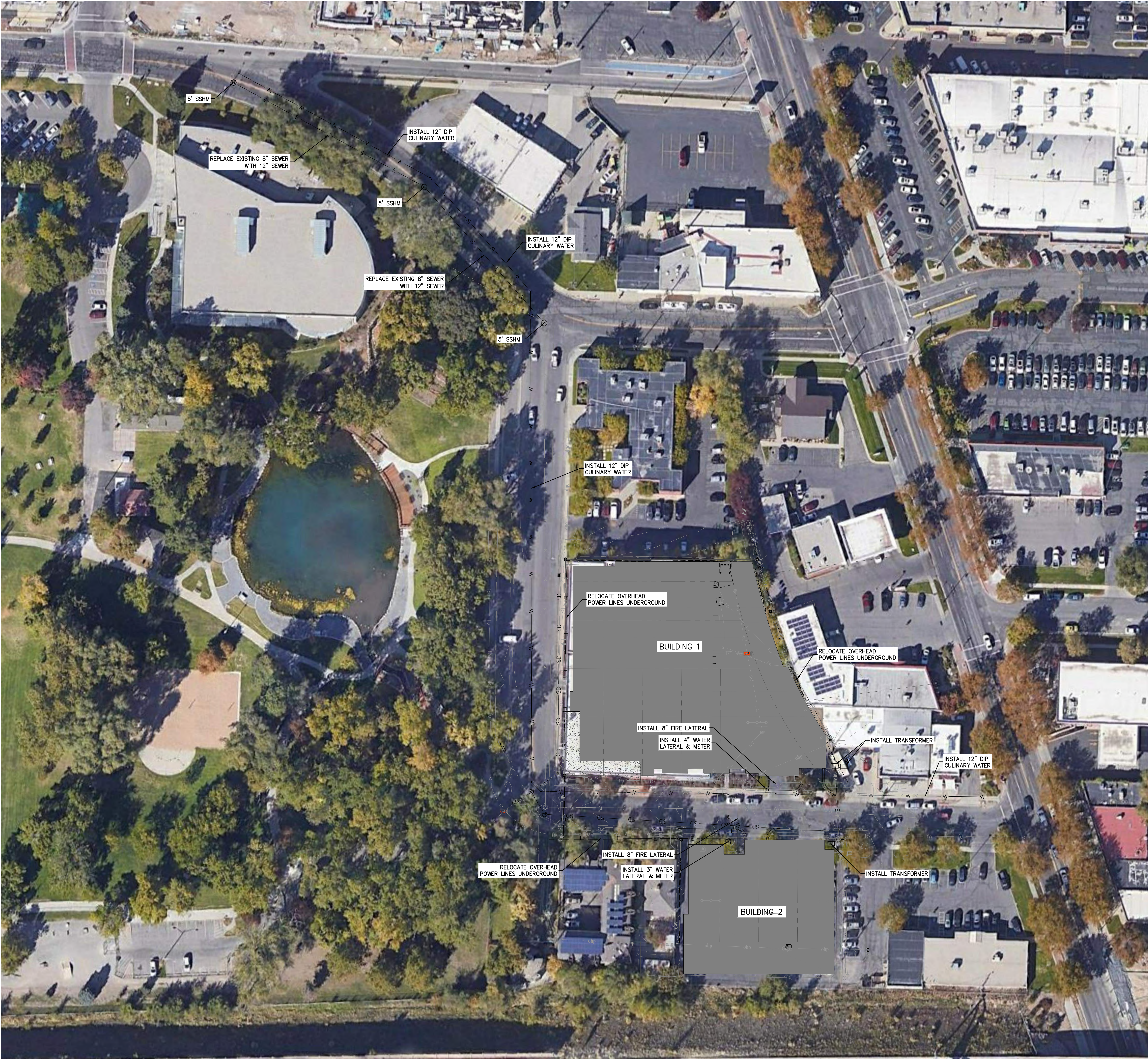
OVERALL
GRADING PLAN

SHEET NUMBER

CG100

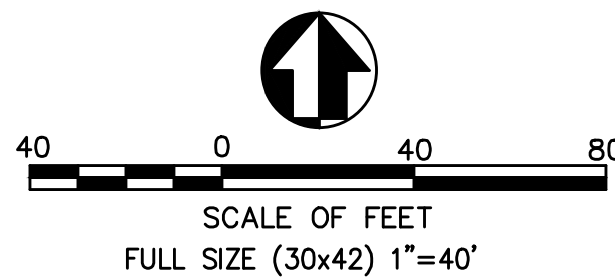


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UTILITY NOTES

- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND UNIVERSITY OF UTAH RECORDS.
- ALL ABANDONED UTILITIES DAMAGED OR EXPOSED DURING CONSTRUCTION SHALL BE REMOVED CAPPED AND PLUGGED. ENGINEER SHALL DETERMINE WHICH UTILITIES ARE ABANDONED.
- THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCE'S WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.
- CONTRACTOR SHALL CONTACT THE UNIVERSITY OF UTAH SURVEY DEPARTMENT TO MARK ALL EXISTING UTILITIES A MINIMUM OF TWO WEEKS PRIOR TO ANY DIGGING. LENARD BARNEY 801-585-5070
- CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING INLETS, VALVE BOXES, MANHOLE RIMS, AND SEWER CLEAN OUTS, ETC. TO FINISH GRADE AS APPLICABLE WHETHER OR NOT THEY ARE SHOWN ON THE PLANS.
- ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
- ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.
- CONTRACTOR IS RESPONSIBLE FOR THE COST AND SCHEDULING OF REQUIRED UTILITIES TO THE PROJECT.
- ALL WATERLINES TO BE BURIED WITH A MINIMUM OF 60 INCHES OF COVER.
- ALL RIM ELEVATIONS ARE APPROXIMATE, CONTRACTOR TO ADJUST FINAL RIMS TO GRADE.
- ALL UTILITIES ARE TO BE AS-BUILT SURVEYED IN U OF U COORDINATE SYSTEM WITH HORIZONTAL AND VERTICAL INFORMATION.
- UTILITY PLAN CONSTRUCTION NOTES:**
- ALL WATER LINES SHALL BE DUCTILE IRON.
 - ALL SEWER LINES SHALL BE SDR-35.
 - ALL WORK SHALL COMPLY WITH SALT LAKE CITY STANDARDS.
 - ALL INSTALLATION AND MATERIALS SHALL, AT A MINIMUM, CONFORM TO SALT LAKE CITY STANDARDS, SPECIFICATIONS, AND PLANS.
 - THE CONTRACTOR SHALL OBTAIN A PERMIT FOR UTILITY CONSTRUCTION AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
 - TRENCH EXCAVATIONS WITHIN EXISTING RIGHT-OF-WAYS SHALL BE BACKFILLED WITH IMPORT MATERIALS CONSISTENT WITH SALT LAKE CITY STANDARDS FOR BACKFILL MATERIALS.
 - COMPACTION TESTING FOR ALL TRENCH EXCAVATIONS WILL BE REQUIRED AT EACH LIFT IN ACCORDANCE WITH SALT LAKE CITY STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 - CONTRACTOR SHALL NOTIFY THE SALT LAKE CITY ENGINEERING INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING UTILITY.
 - ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - EXISTING UTILITIES AND CONNECTIONS POINTS AND ELEVATIONS SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 - WATERLINES SHALL BE TESTED AND DISINFECTED IN ACCORDANCE WITH THE SALT LAKE CITY STANDARDS, SPECIFICATIONS, AND PLANS.
 - MANHOLES SHALL BE PRECAST CONFORMING TO ASTM C-478. CONCRETE BASES SHALL BE POURED IN PLACE OR PRECAST.
 - ALL UTILITY PIPES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH THE DETAIL DRAWINGS AND SITE WORK SPECIFICATIONS. ANY UTILITY WORK PERFORMED IN EXISTING RIGHT-OF-WAYS WILL REQUIRE PERMITS FROM SALT LAKE CITY AND SHALL BE COMPLETED IN ACCORDANCE WITH SALT LAKE CITY STANDARDS.
 - TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT. ANY EXISTING MANHOLES IN UNPAVED AREAS SHALL BE 6 INCHES ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
 - DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
 - CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO SUBSURFACE WORK FOR LIGHT POLES (BORING ETC.) AND SIMILAR STRUCTURES.
 - GRAVITY UTILITIES ARE TO BE CONSTRUCTED STARTING AT THE FARTHEST DOWNSTREAM POINT (I.E. POINT OF CONNECTION) AND PROGRESS UPSTREAM.
 - WATERLINES SHALL NOT BE INSTALLED PRIOR TO INSTALLATION OF STORM AND SANITARY SEWER.
 - PIPE MATERIAL SUBSTITUTIONS WILL REQUIRE PRIOR APPROVAL OF THE ENGINEER. FAILURE TO OBTAIN PRIOR APPROVAL MAY REQUIRE THE REPLACEMENT OF THE PIPE AT THE CONTRACTOR'S EXPENSE AT THE DISCRETION OF THE ENGINEER, AND SHALL CONFORM TO THE SALT LAKE CITY STANDARDS, SPECIFICATIONS, AND PLANS.
 - LENGTHS OF WATER PIPES ARE THE HORIZONTAL DISTANCES FROM CENTERLINE TO CENTERLINE OF FITTING/BEND.
 - LENGTHS OF STORM DRAIN AND SEWER PIPE ARE THE HORIZONTAL DISTANCES FROM THE INSIDE EDGE OF EACH ADJOINING STRUCTURE. THEREFORE LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND FITTING LENGTHS.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18-INCHES CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI A21.11 (AWWA C-151) (CLASS 50) MEASUREMENTS SHALL BE TAKEN FROM EDGE TO EDGE. ALL CROSSINGS SHALL COMPLY WITH SECTION R309-550-7 OF THE UTAH ADMINISTRATION CODE.
 - NORTHING AND EASTING CALLS ON MANHOLES AND CATCH BASINS REPRESENT CENTER OF RIM/GRATE.
 - FOR ALL UTILITY WORK WITHIN THE RIGHT OF WAY, REFER TO SALT LAKE CITY STANDARD PRACTICES GUIDE AND APWA MODIFICATIONS.
 - CONTRACTOR TO POTHOLE EXISTING GAS MAIN PRIOR TO PLACEMENT OF TREE PLACEMENT IN PARK STRIPS.



BKV
GROUP

Architecture
Interior Design
Landscape Architecture
Engineering

222 North Second Street
Long & Kees Bldg
Suite 101
Minneapolis, MN
55401
612.339.3752

www.bkvgroup.com

CONSULTANTS

P S O M A S

4179 S. Riverbend Rd., Suite 200
Salt Lake City, UT 84123
(801) 270-5777
(801) 270-5792 (FAX)
www.psomass.com

PROJECT TITLE

SUGAR HOUSE -
NORTH BUILDING

ISSUE #	DATE	DESCRIPTION
	04/02/2021	Schematic Design

CERTIFICATION

NOT FOR
CONSTRUCTION

DRAWN BY	TJG
CHECKED BY	TJG
COMMISSION NUMBER	2367.04

SHEET TITLE

OVERALL UTILITY
PLAN

SHEET NUMBER

CU100

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CORNER OF ASHTON AND S1100E LOOKING EAST



CORNER OF ASHTON AND HIGHLAND LOOKING WEST

BKV
GROUP

Architecture
Interior Design
Landscape Architecture
Engineering

1412 Main Street
Adolphus Tower
Suite 700
Dallas, TX
75202
972.898.2841

www.bkvgroup.com

CONSULTANTS

PROJECT TITLE

SUGAR HOUSE -
NORTH BUILDING

ISSUE #	DATE	DESCRIPTION
	04/02/2021	SCHEMATIC DESIGN
	06/29/2021	DESIGN DEVELOPMENT

CERTIFICATION

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CHECKED BY	Checker
COMMISSION NUMBER	2367-04

SHEET TITLE

RENDERINGS

SHEET NUMBER

G200A

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CORNER OF ASHTON AND S1100E LOOKING EAST



CORNER FROM FAIRMONT PARK LOOKING SOUTHEAST

BKV
GROUP

Architecture
Interior Design
Landscape Architecture
Engineering

1412 Main Street
Adolphus Tower
Suite 700
Dallas, TX
75202
972.898.2841

www.bkvgroup.com

CONSULTANTS

PROJECT TITLE

SUGAR HOUSE -
NORTH BUILDING

ISSUE #	DATE	DESCRIPTION
	04/02/2021	SCHEMATIC DESIGN
	06/29/2021	DESIGN DEVELOPMENT

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COMMISSION NUMBER	2367-04

SHEET TITLE

RENDERINGS

SHEET NUMBER

G200B

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CENTERED ON S1100E LOOKING EAST



FROM ASHTON LOOKING SOUTHWEST

CONSULTANTS

PROJECT TITLE

SUGAR HOUSE -
NORTH BUILDING

ISSUE #	DATE	DESCRIPTION
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CERTIFICATION

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COMMISSION NUMBER	2367.04

SHEET TITLE

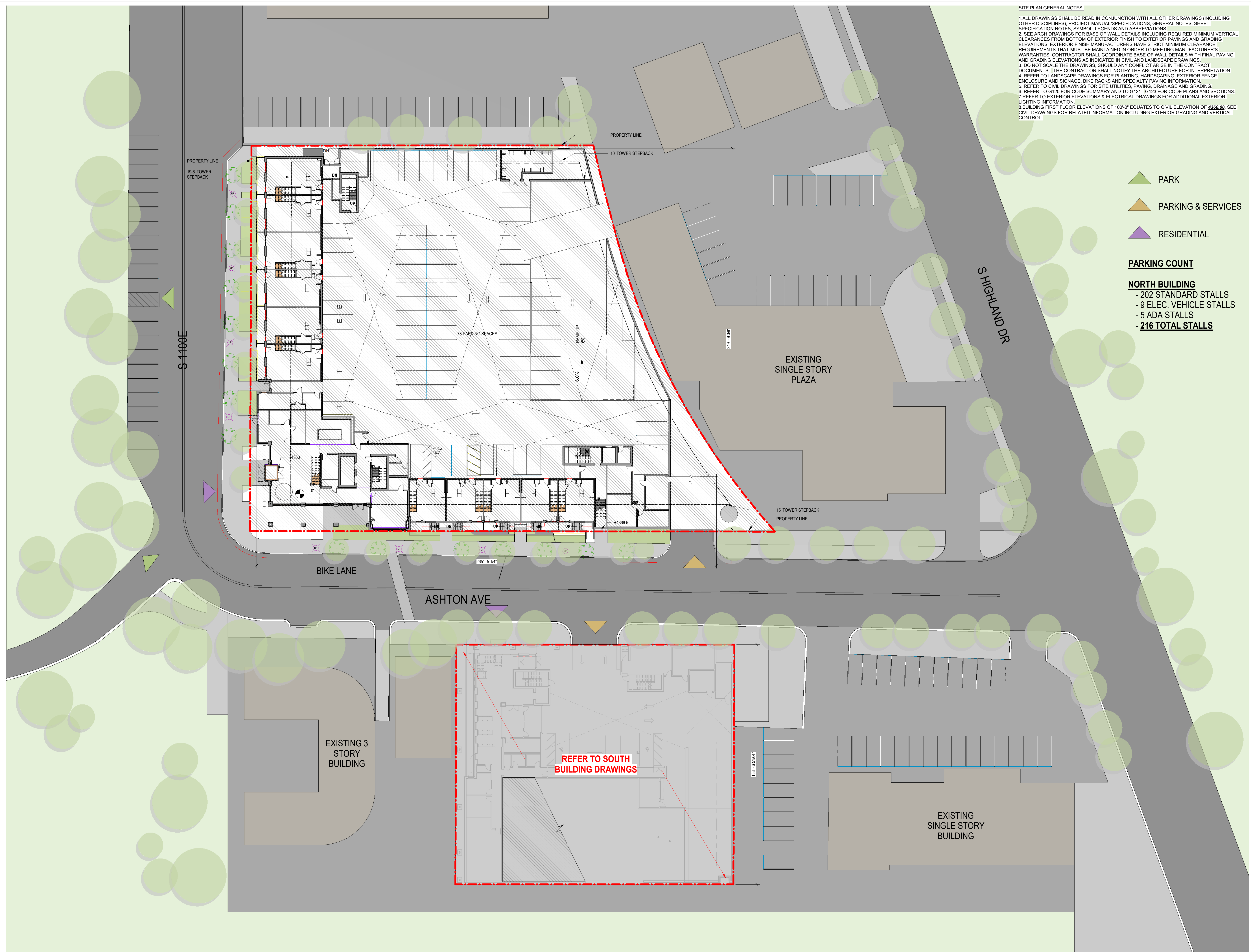
RENDERINGS

SHEET NUMBER

G200C

ISSUE #	DATE	DESCRIPTION
	09/17/2021	ISSUED FOR PERMIT

DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	2367.04-N



Compliance with Sugar House Business District Design Standards:

Sidewalk widths along frontage roads to be 8’ width in concordance with CSHBD1 District Zone requirements.

7’ landscape buffer provided where available space between building edge and road allows. 12’ width bike lane and 8’ width sidewalk with trees planted within the sidewalk are provided, and the landscape buffer is provided in the remaining space.

Trees along streetscape to be planted with a minimum opening of 5’ square. Openings to be covered with paver grates to allow air to reach the soil within the 5’x5’ area. Trees to be located within the 8’ width sidewalk.

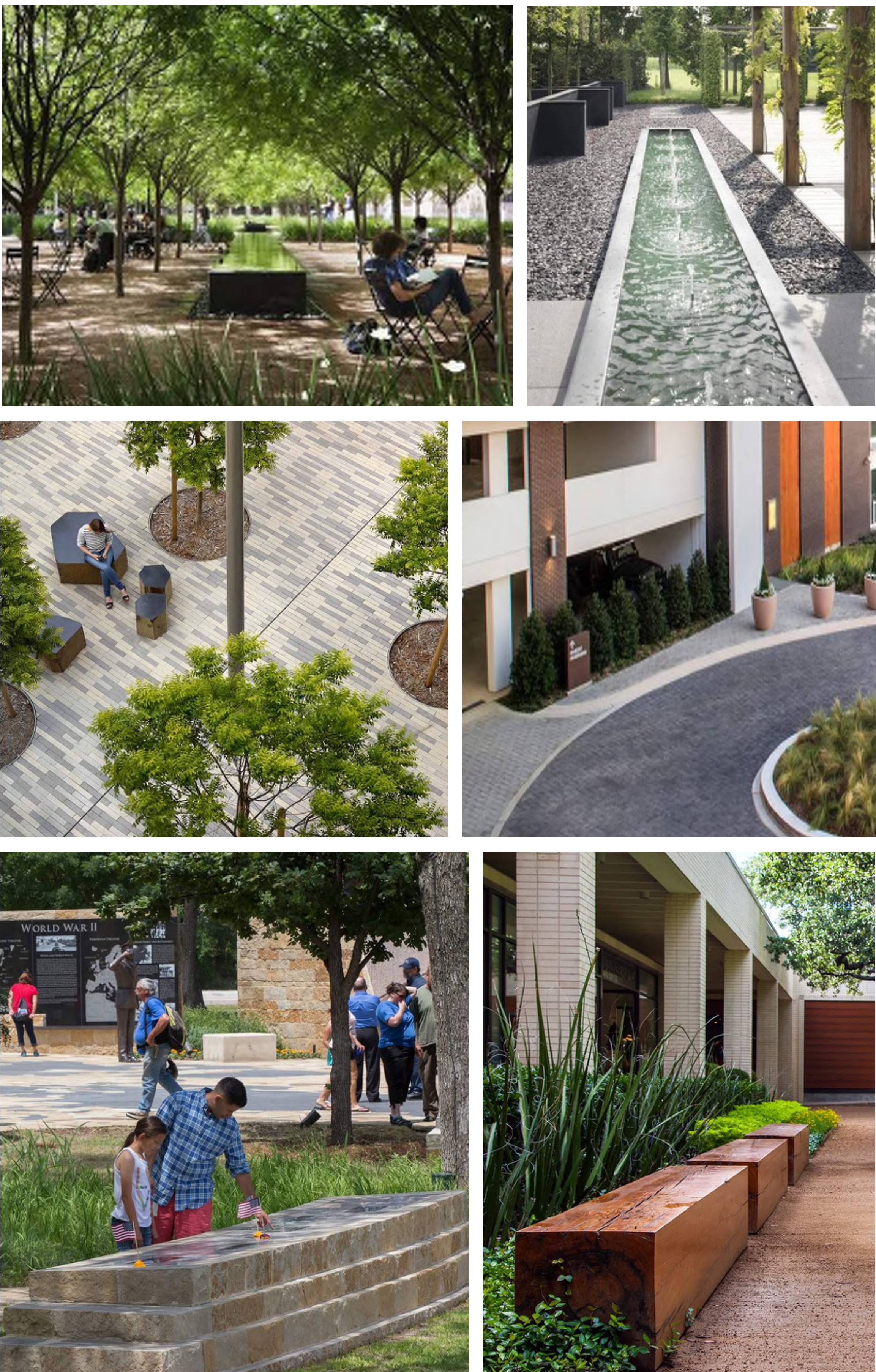
Compliance with 21A59.050 Standards for Design Review:

The privately-owned private space incorporates the following (3) elements:
1) Outdoor dining area (@ leasing entry)
2) Water Feature
3) Trees in proportion to the space and at a minimum of one tree per 800 square feet. The quantity of trees shown exceeds this.

At least one street tree provided for every (30’) of property frontage along S Ashton Ave. and 1100 E. Trees shown on plan at 22’ on-center. Trees to comply with Salt Lake City Urban Forestry tree list.

Sidewalk widths along frontage roads to be 8’ width in concordance with CSHBD1 District Zone requirements.

Hardscape Materials to be lighter in color with higher Solar Reflective Index



ISSUE #	DATE	DESCRIPTION
	04/02/2021	Schematic Design

DRAWN BY	RO
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COMMISSION NUMBER	2387.04



Section A

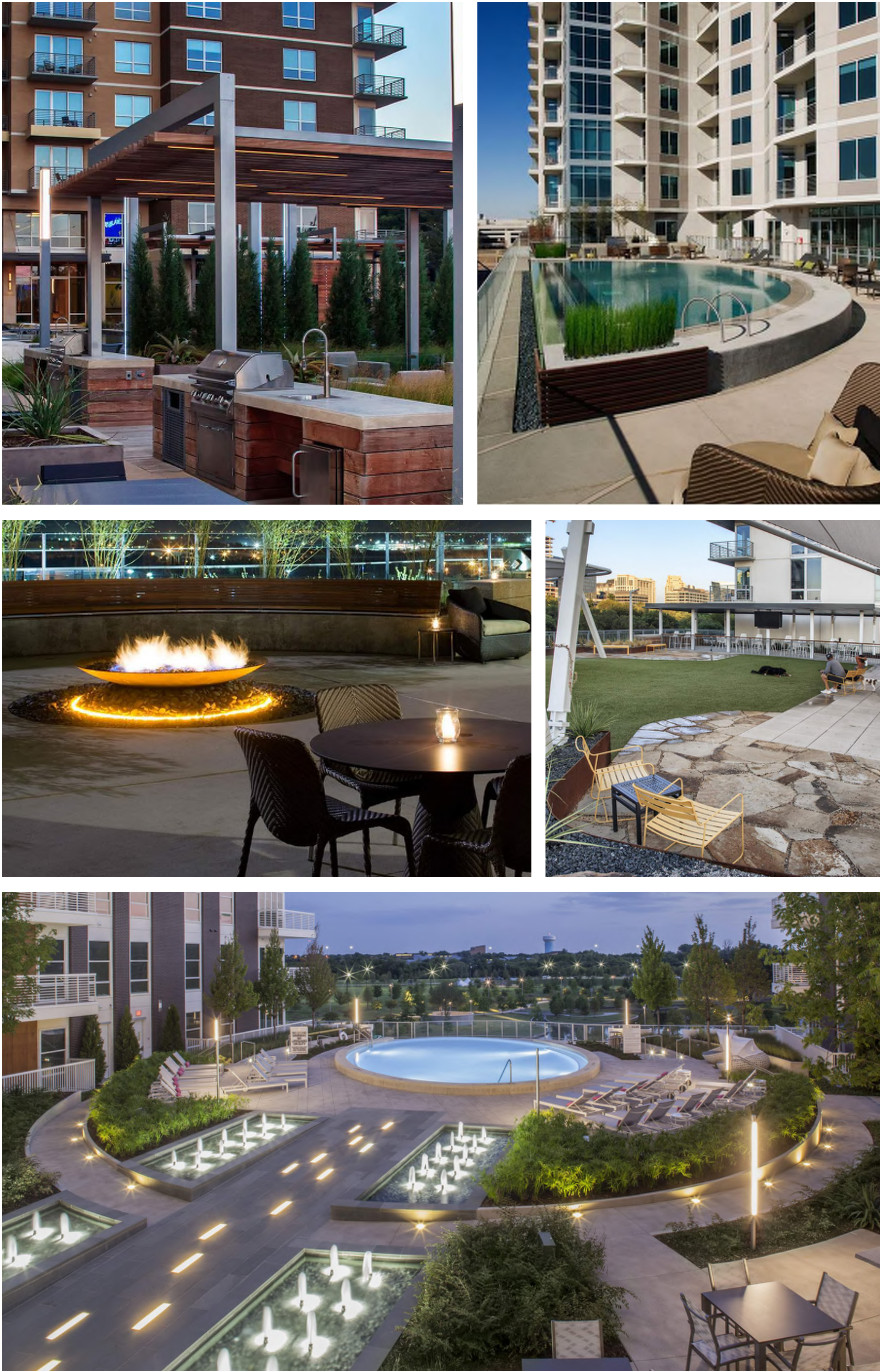
Compliance with 21A59.050 Standards for Design Review:

Accessible roof deck with vegetated planters included to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.



Legend:

- 1 Raised Planter Wall
- 2 Private Patios
- 3 Fire Pit/Fireplace
- 4 Wet Deck
- 5 Boardwalk Paving
- 6 Pool
- 7 Cabana
- 8 Fenced Dog Run with Berms
- 9 Countertop w/ Grill



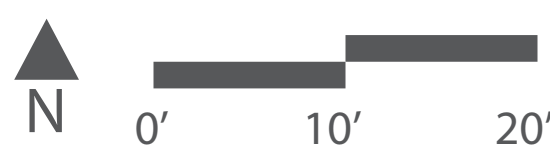
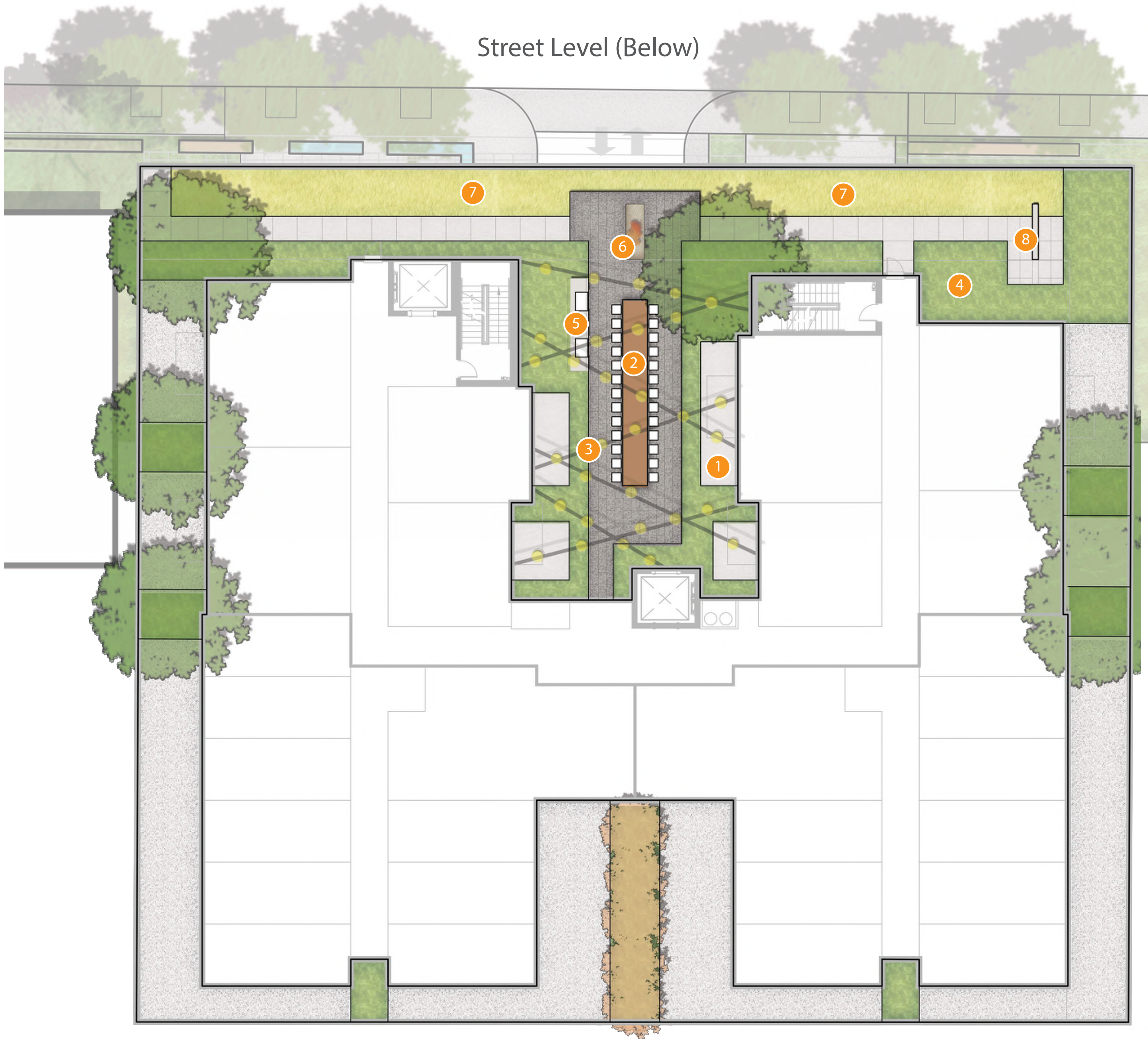
ISSUE #	DATE	DESCRIPTION
1	04/02/2021	Schematic Design

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CONSTRUCTION

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S ASHTON AVE.



- Legend:
- 1 Private Patios
 - 2 Group Table
 - 3 Overhead Lighting
 - 4 Planting
 - 5 Countertop w/ Grill
 - 6 Fire Pit
 - 7 Seating Lawn
 - 8 Feature Wall

Compliance with 21A59.050 Standards for Design Review:

Accessible roof deck with vegetated planters included to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.



ISSUE #	DATE	DESCRIPTION
	04/02/2021	Schematic Design

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FLOOR PLAN GENERAL NOTES

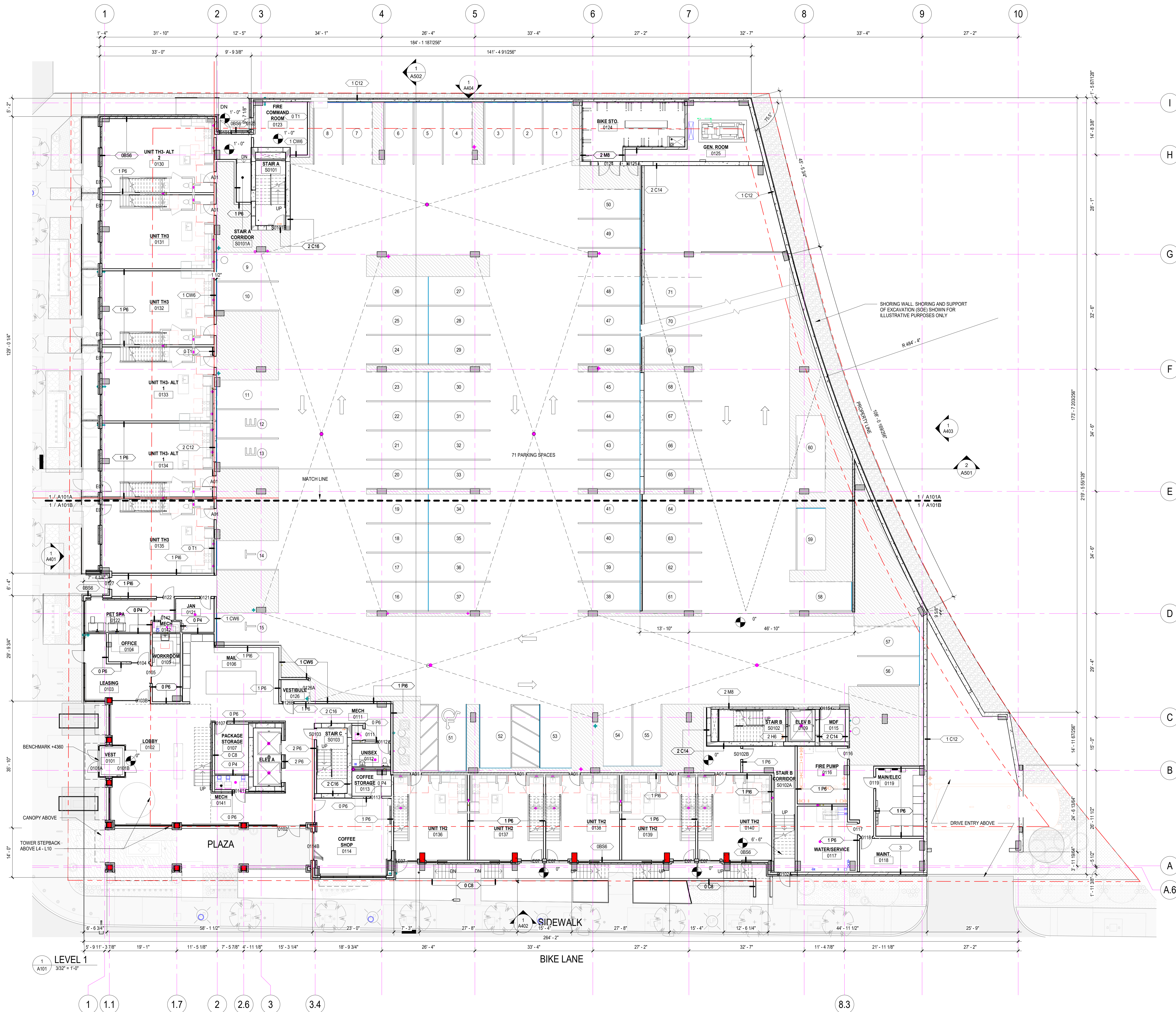
- DO NOT SCALE DRAWINGS.
- REFER TO SHEET A140 FOR OVERALL ROOF PLAN, NOTES, MATERIALS, ROOF SLOPES AND DRAINAGE INFO.
- REFER TO A200 SERIES FOR ENLARGED UNIT FLOOR PLANS INCLUDING PLAN DIMENSIONS AND WALL TYPES.
- REFER TO A400 SERIES FOR EXTERIOR ELEVATIONS, INCLUDING EXTERIOR MATERIALS AND WINDOW TYPES.
- REFER TO A500 SERIES FOR WALL SECTIONS. REFER TO A600 SERIES FOR INTERIOR ELEVATIONS.
- REFER TO A850 SERIES FOR UNIT KITCHEN AND BATH ELEVATIONS AND DETAILS.
- REFER TO A900 SERIES FOR DOOR SCHEDULE AND FRAME TYPES AND DETAILS.
- SEE INTERIORS SHEETS FOR FINISH SCHEDULES, FINISH PLANS AND FURNITURE PLANS.
- ALL OUTSIDE CORNERS AT ALL COMMON AREAS INCLUDING CORRIDORS OF GYP. BOARD WALLS TO RECEIVE CORNER GUARDS AS SPECIFIED. ALL WALLS AT TRASH ROOMS TO RECEIVE CORNER GUARDS AS SPECIFIED.
- REMOVE ALL BARCODE, TAGS, ETC. FROM CONDUIT, PIPING AND DUCTWORK PRIOR TO INSTALLATION. ROTATE PERMANENT MARKINGS TO CONCEAL.
- BUILDING FIRST FLOOR ELEVATION OF 100'-0" EQUATES TO CIVIL ELEVATION OF 690.60. SEE CIVIL DRAWINGS FOR RELATED INFORMATION INCLUDING EXTERIOR GRADING AND VERTICAL CONTROL.
- ROOM NUMBERS SHOWN CORRESPOND WITH LEVEL, EXAMPLE 200 SERIES AT THE 2ND LEVEL, ETC.

DIMENSIONING/LAYOUT NOTES

- UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN TO:
 - THE CENTER LINE OF STUD AT INTERIOR WALLS VMD
 - THE FACE OF GYP. BD AT CORRIDOR WALLS (GRID @ CORRIDOR SIDE)
 - THE CENTERLINE OF UNIT SEPARATION WALLS (GRID @ CENTERLINE)
 - THE OUTSIDE FACE OF MATERIAL AT EXTERIOR WALLS (GRID)
- SEE ENLARGED PLANS FOR COMMON AREA DIMENSIONS AND NOTES
- SEE ENLARGED UNIT PLANS FOR UNIT AND UNIT ENTRY BAY DIMENSIONS, WALL TYPES AND NOTES.

WALL TYPE NOTES

- WALL TYPES ARE DESIGNATED WITH SYMBOL.
- REFER TO SHEETS A601 AND A602 FOR INTERIOR AND EXTERIOR WALL TYPES. REFER TO SHEETS A603, A604 AND A605 FOR CONSTRUCTION TYPES AND RELATED DETAILS.



CONSULTANTS

PROJECT TITLE

SUGAR HOUSE -
NORTH BUILDING

1121 E. Ashton Ave, Salt Lake City, UT

ISSUE #	DATE	DESCRIPTION
	09/17/2021	ISSUED FOR PERMIT

CERTIFICATION

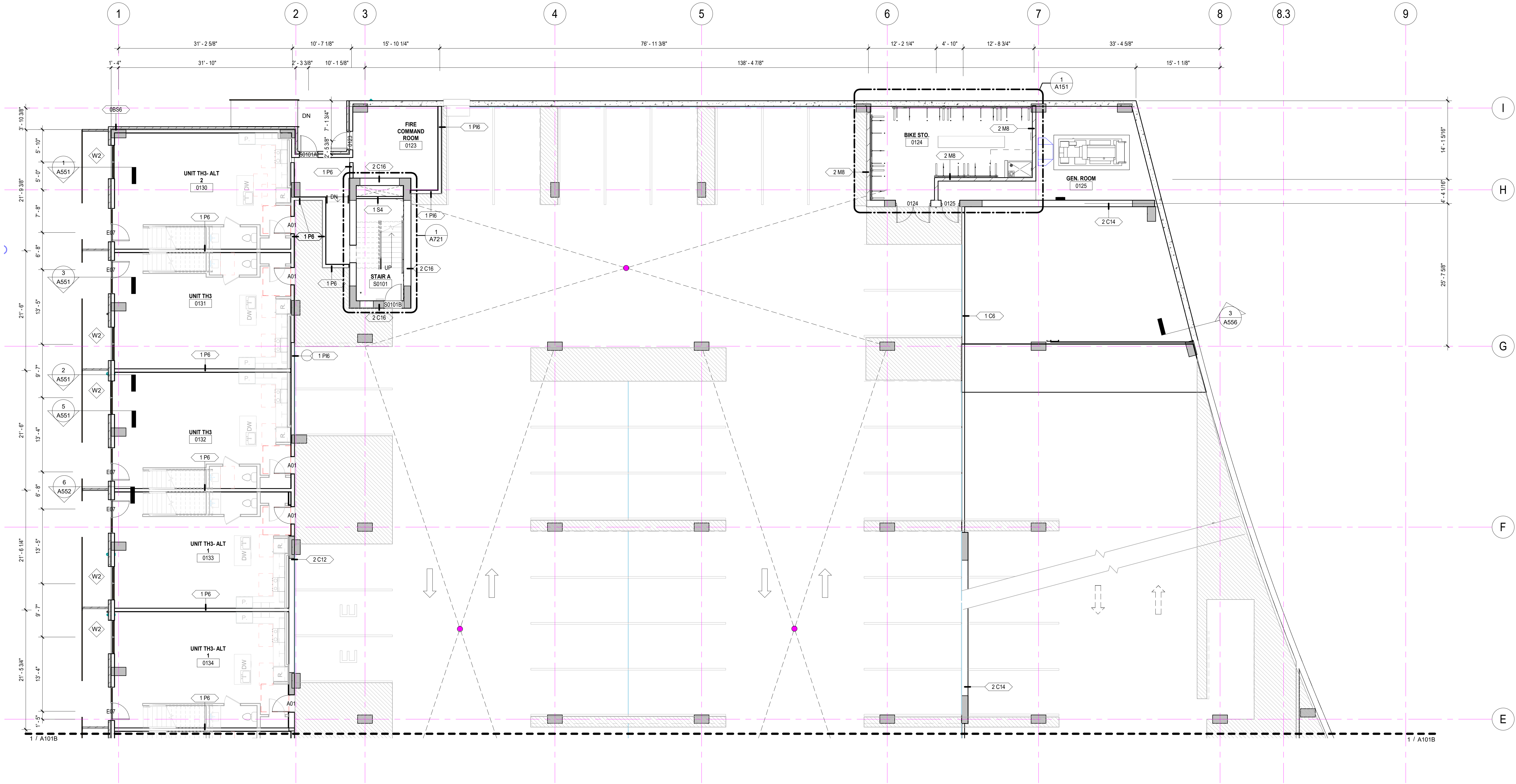
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COMMISSION NUMBER	2387 04-N

SHEET TITLE

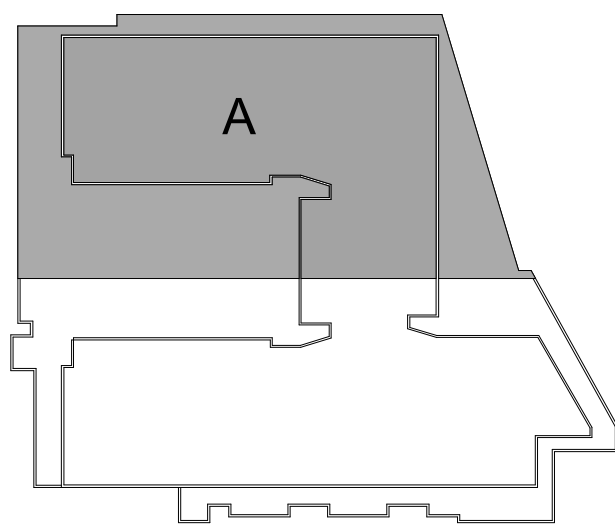
LEVEL 1 FLOOR
PLAN - AREA A

SHEET NUMBER

A101A



1
A101A
LEVEL 1 - ENLARGED - AREA A
1/8" = 1'-0"



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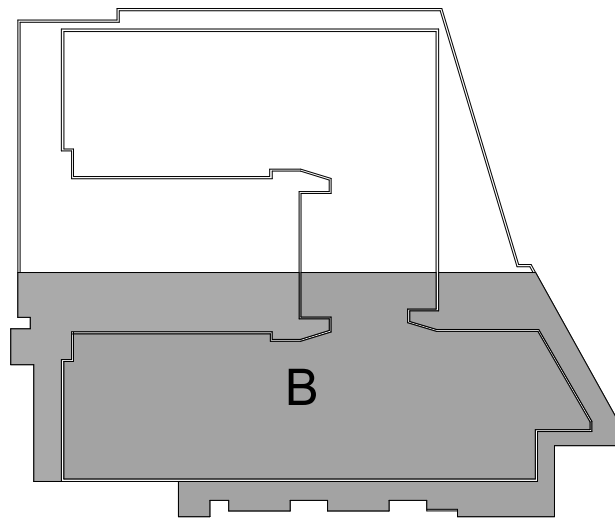
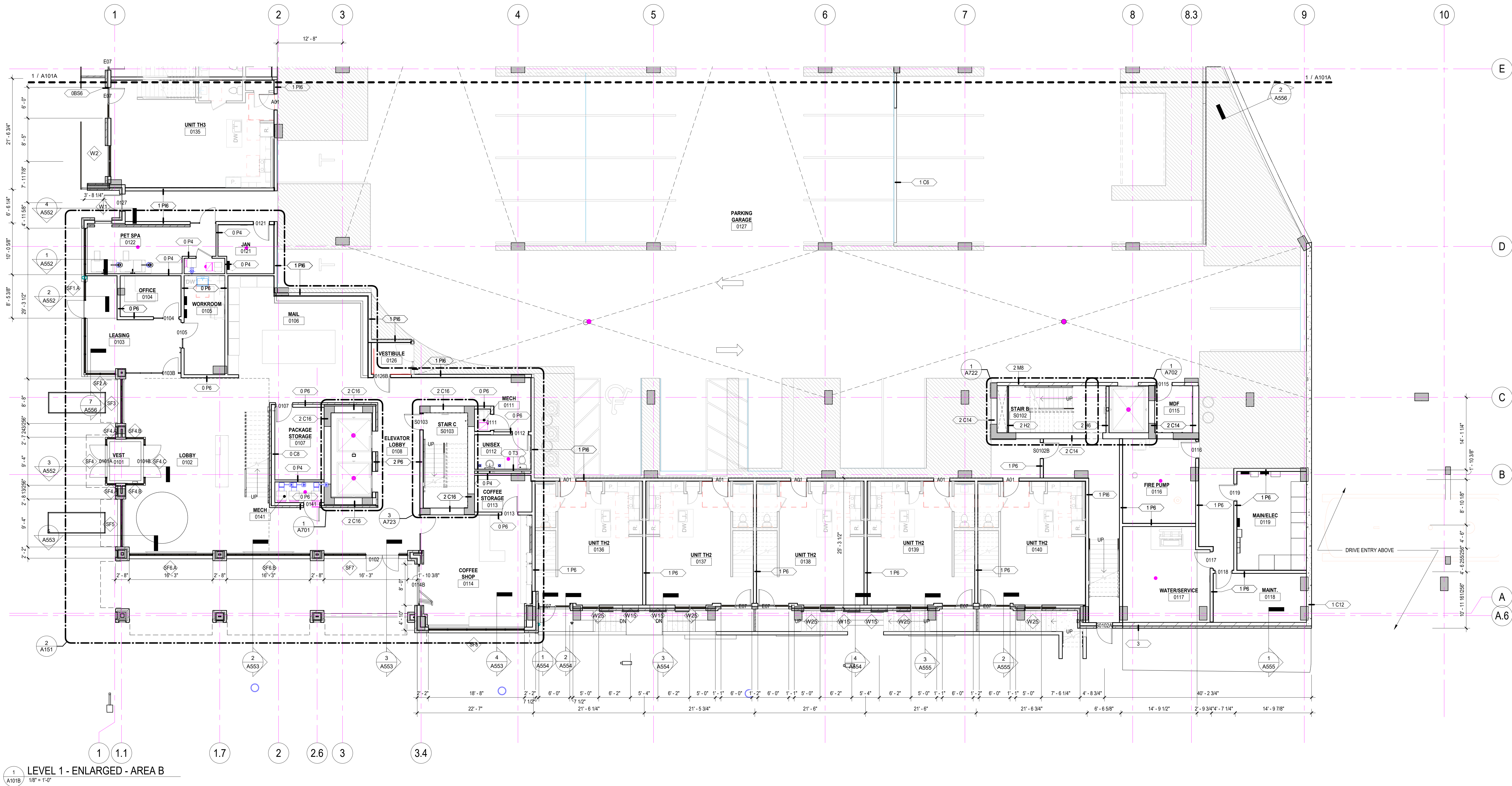
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COMMISSION NUMBER	2387 04-N

SHEET TITLE

LEVEL 1 FLOOR
PLAN - AREA B

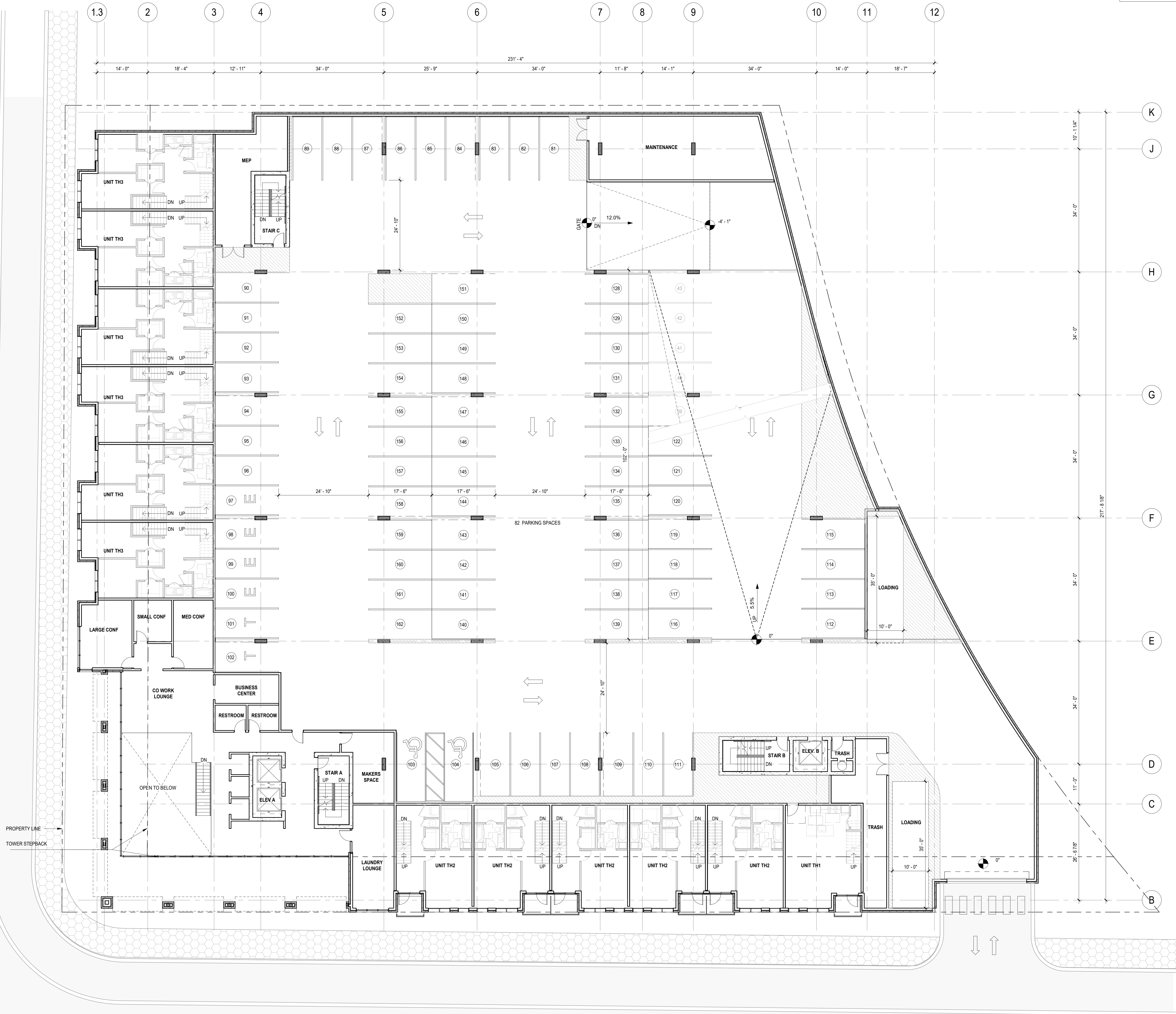
SHEET NUMBER

A101B



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1
A102
LEVEL 2
3/32" = 1'-0"



ARCHITECTURAL KEYNOTES

FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- REFER TO SHEET A140 FOR OVERALL ROOF PLAN, NOTES, MATERIALS, ROOF SLOPES AND DRAINAGE INFO.
- REFER TO A200 SERIES FOR ENLARGED UNIT FLOOR PLANS INCLUDING PLAN DIMENSIONS AND WALL TYPES.
- REFER TO A400 SERIES FOR EXTERIOR ELEVATIONS, INCLUDING EXTERIOR MATERIALS AND WINDOW TYPES.
- REFER TO A500 SERIES FOR WALL SECTIONS.
- REFER TO A600 SERIES FOR INTERIOR ELEVATIONS.
- REFER TO A850 SERIES FOR UNIT KITCHEN AND BATH ELEVATIONS AND DETAILS.
- REFER TO A900 SERIES FOR DOOR SCHEDULE AND FRAME TYPES AND DETAILS.
- SEE INTERIOR SHEETS FOR FINISH SCHEDULES, FINISH PLANS AND FURNITURE PLANS.
- ALL OUTSIDE CORNERS AT ALL COMMON AREAS INCLUDING CORRIDORS OF GYP BOARD WALLS TO RECEIVE CORNER GUARDS AS SPECIFIED. ALL WALLS AT TRASH ROOMS TO RECEIVE CORNER GUARDS AS SPECIFIED.
- REMOVE ALL BARCODE, TAGS, ETC. FROM CONDUIT, PIPING AND DUCTWORK PRIOR TO INSTALLATION. ROTATE PERMANENT MARKINGS TO CONCEAL.
- BUILDING FIRST FLOOR ELEVATION OF 100'-0" EQUATES TO CIVIL ELEVATION OF 690.60. SEE CIVIL DRAWINGS FOR RELATED INFORMATION INCLUDING EXTERIOR GRADING AND VERTICAL CONTROL.
- ROOM NUMBERS SHOWN CORRESPOND WITH LEVEL, EXAMPLE 200 SERIES AT THE 2ND LEVEL, ETC.

DIMENSIONING/LAYOUT NOTES

- UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN TO:
 - THE CENTER LINE OF STUD AT INTERIOR WALLS VND
 - THE FACE OF GYP BD AT CORRIDOR WALLS (GRID @ CORRIDOR SIDE)
 - THE CENTERLINE OF UNIT SEPARATION WALLS (GRID @ CENTERLINE)
 - THE OUTSIDE FACE OF MATERIAL AT EXTERIOR WALLS (GRID)
- SEE ENLARGED PLANS FOR COMMON AREA DIMENSIONS AND NOTES.
- SEE ENLARGED UNIT PLANS FOR UNIT AND UNIT ENTRY BAY DIMENSIONS, WALL TYPES AND NOTES.

WALL TYPE NOTES

- WALL TYPES ARE DESIGNATED WITH SYMBOL.
- REFER TO SHEETS A601 AND A602 FOR INTERIOR AND EXTERIOR WALL TYPES. REFER TO SHEETS A603, A604 AND A605 FOR CONSTRUCTION TYPES AND RELATED DETAILS.

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Minneapolis, MN
55401
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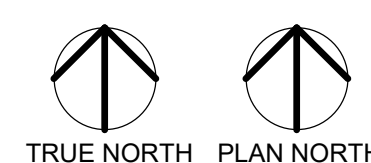
SHEET TITLE

LEVEL 2 -
OVERALL FLOOR
PLAN

SHEET NUMBER

A102

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- ARCHITECTURAL KEYNOTES
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- DO NOT SCALE DRAWINGS.
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 - REFER TO A200 SERIES FOR ENLARGED UNIT FLOOR PLANS INCLUDING PLAN DIMENSIONS AND WALL TYPES.
 - REFER TO A400 SERIES FOR EXTERIOR ELEVATIONS, INCLUDING EXTERIOR MATERIALS AND WINDOW TYPES.
 - REFER TO A500 SERIES FOR WALL SECTIONS.
 - REFER TO A800 SERIES FOR INTERIOR ELEVATIONS.
 - REFER TO A850 SERIES FOR UNIT KITCHEN AND BATH ELEVATIONS AND DETAILS.
 - REFER TO A900 SERIES FOR DOOR SCHEDULE AND FRAME TYPES AND DETAILS.
 - SEE INTERIOR SHEETS FOR FINISH SCHEDULES, FINISH PLANS AND FURNITURE PLANS.
 - ALL OUTSIDE CORNERS AT ALL COMMON AREAS INCLUDING CORRIDORS OF GYP. BOARD WALLS TO RECEIVE CORNER GUARDS AS SPECIFIED. ALL WALLS AT TRASH ROOMS TO RECEIVE CORNER GUARDS AS SPECIFIED.
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 - SEE ENLARGED PLANS FOR COMMON AREA DIMENSIONS AND NOTES.
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NORTH BUILDING

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CONSTRUCTION

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SHEET TITLE

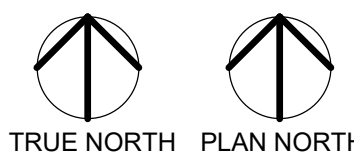
LEVEL 3 -
OVERALL FLOOR
PLAN

SHEET NUMBER

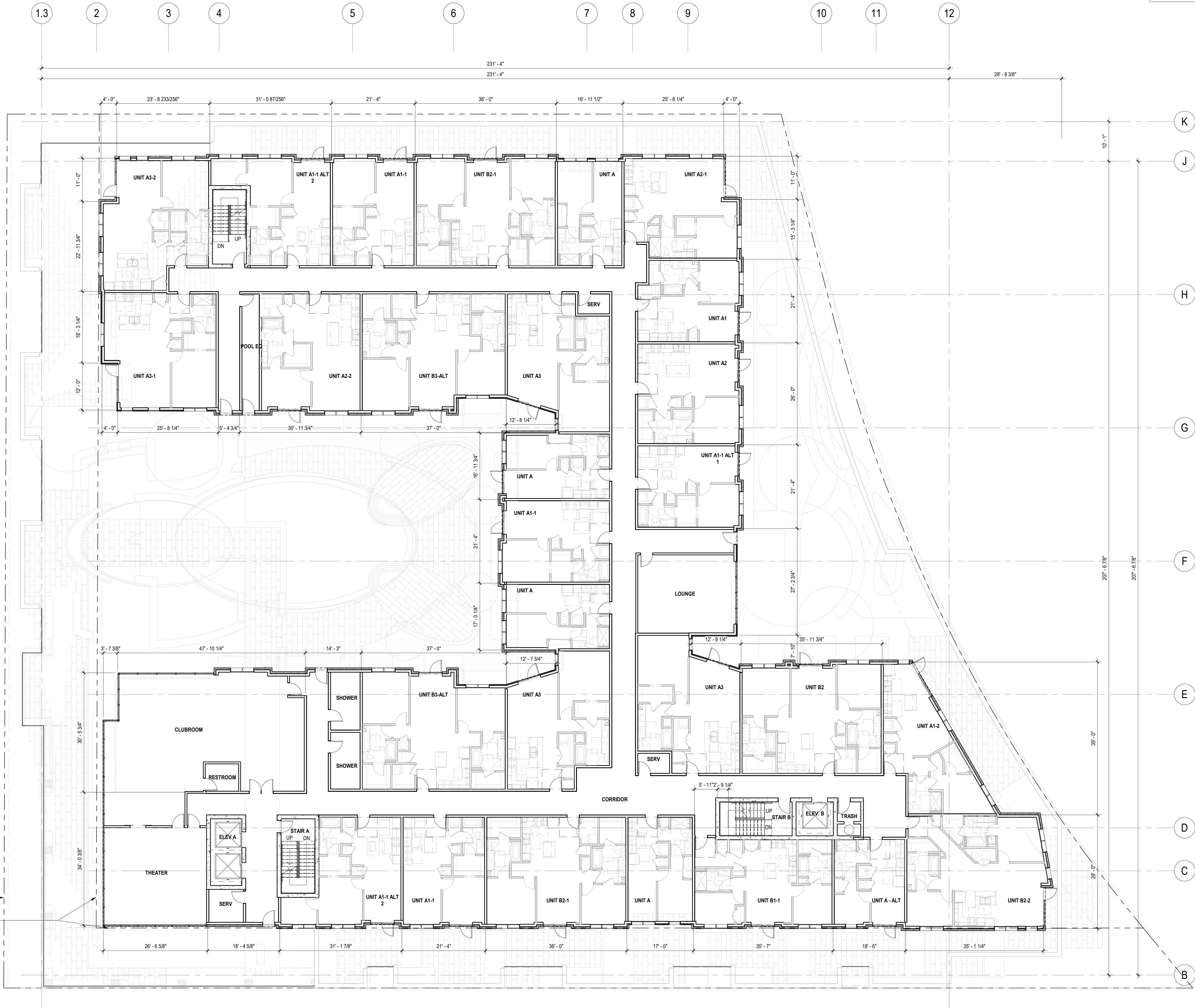
A103

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1
A103
LEVEL 3
3/32" = 1'-0"



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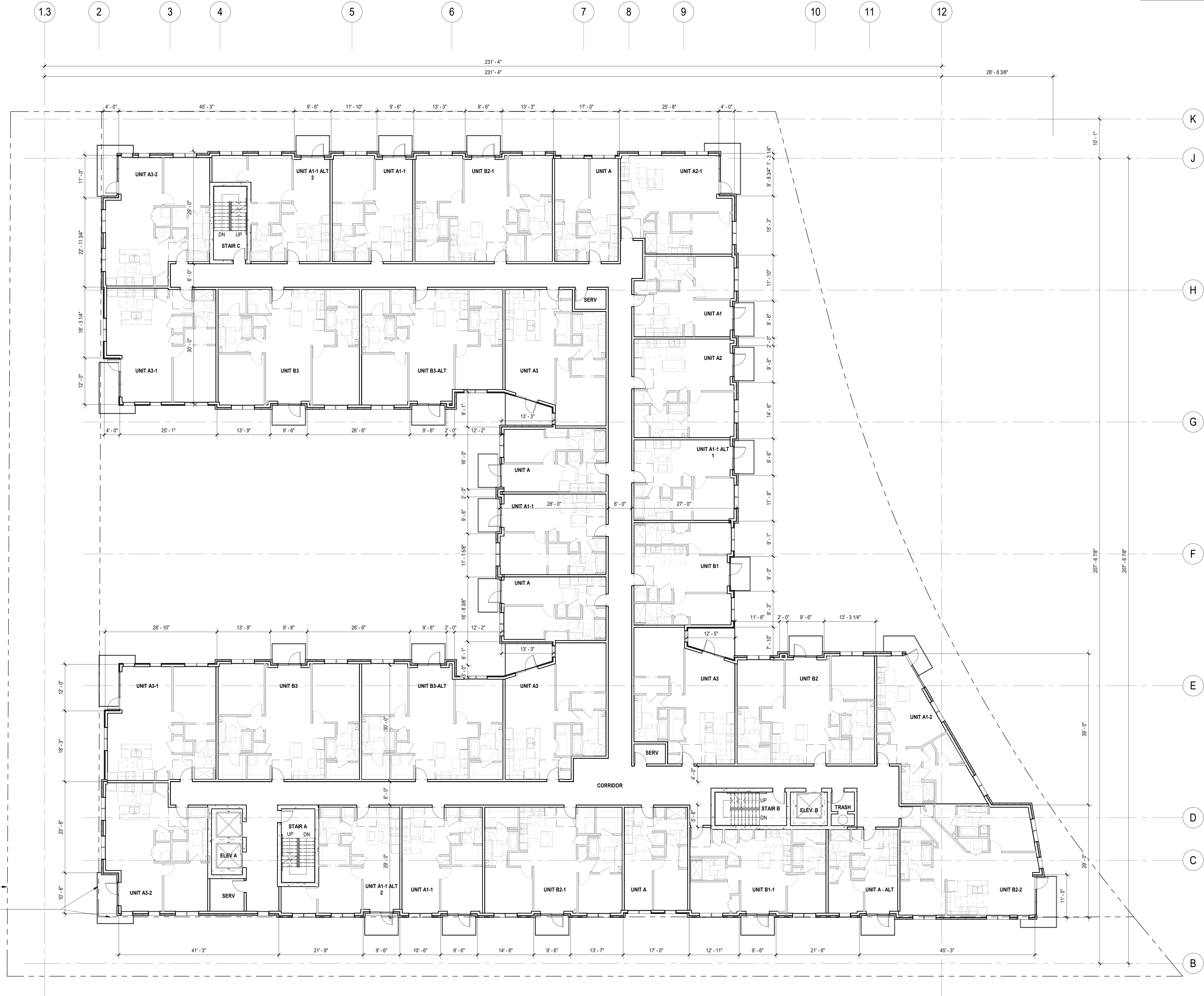
LEVEL 4 -
OVERALL FLOOR
PLAN

SHEET NUMBER

A104

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- ARCHITECTURAL KEYNOTES
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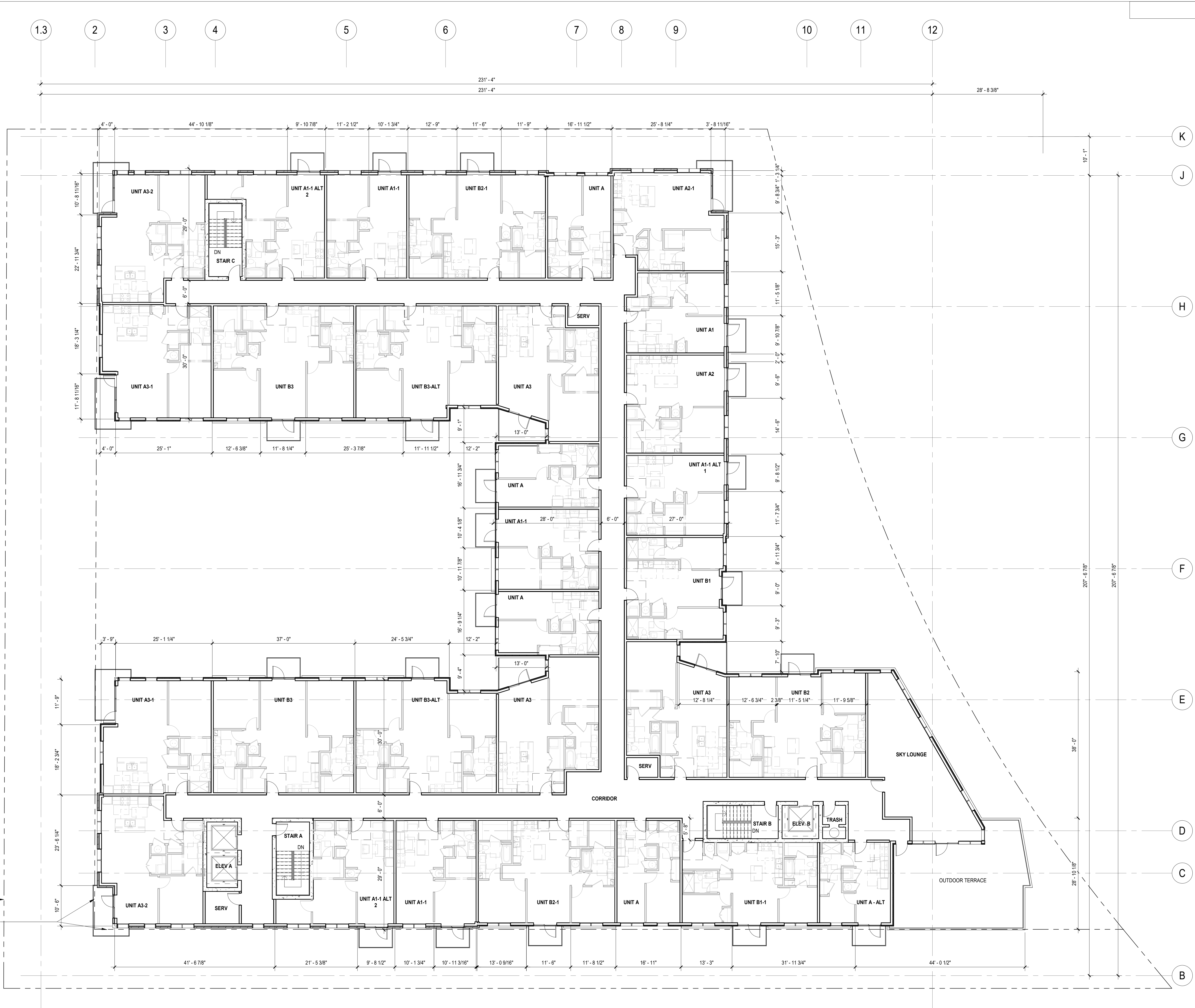
LEVEL 6-9 -
OVERALL FLOOR
PLAN

SHEET NUMBER

A106

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ARCHITECTURAL KEYNOTES

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PROJECT TITLE

**SUGAR HOUSE -
NORTH BUILDING**

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CERTIFICATION

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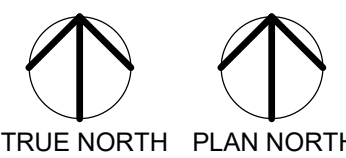
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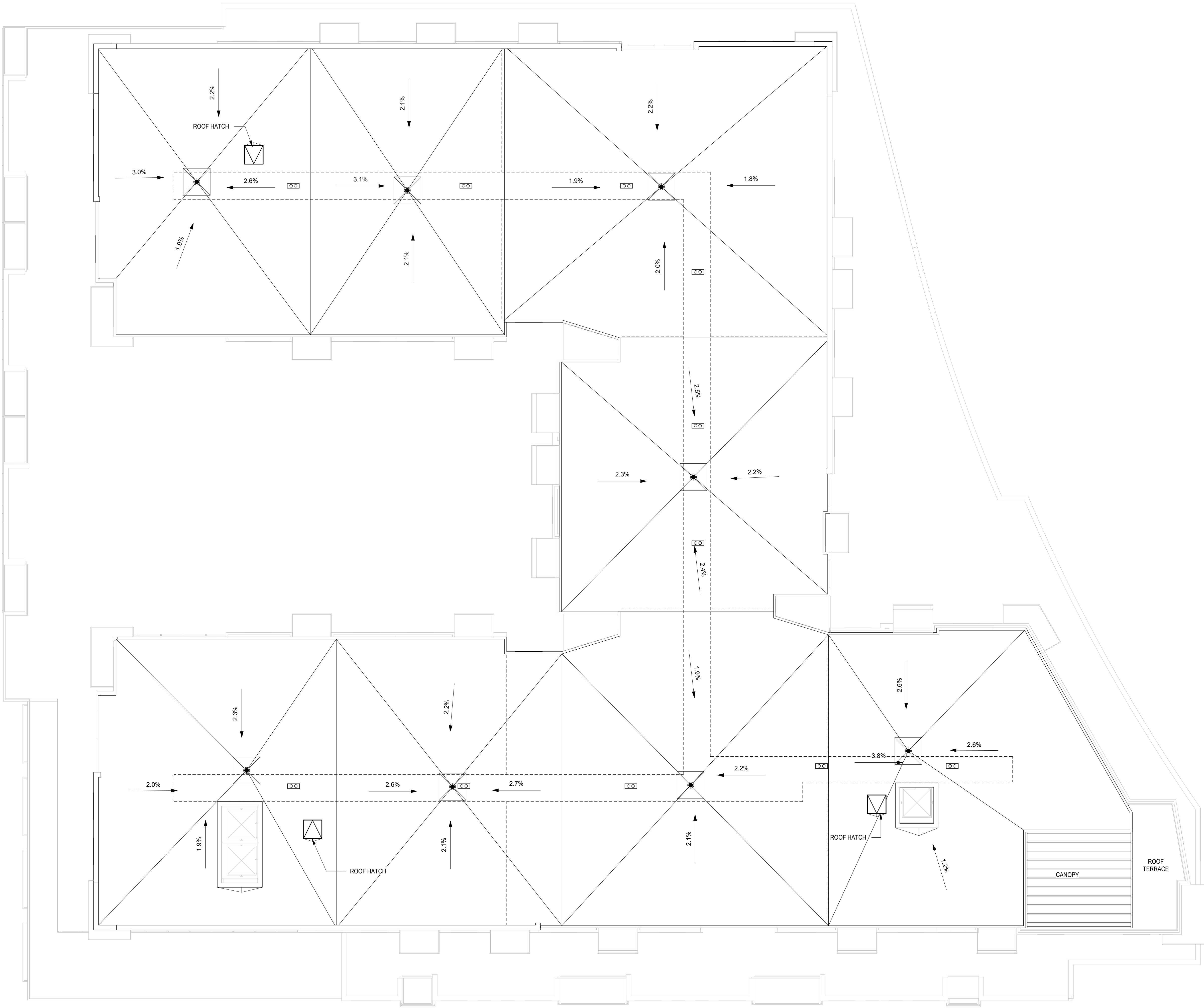
**LEVEL 10 -
OVERALL FLOOR
PLAN**

SHEET NUMBER

A107

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1 ROOF
A140 3/32" = 1'-0"

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PROJECT TITLE

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NORTH BUILDING

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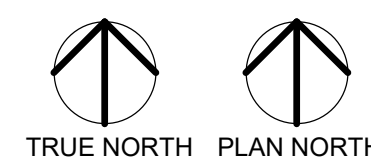
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COMMISSION NUMBER	2387.04

SHEET TITLE

ROOF PLAN

SHEET NUMBER

A140



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PROJECT TITLE

SUGAR HOUSE -
NORTH BUILDING

ISSUE #	DATE	DESCRIPTION
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1 WEST ELEVATION
A401x 1/4" = 1'-0"

80% OF DURABLE MATERIAL REQUIRED AT GROUND LEVEL, 100% PROVIDED
60% OF DURABLE MATERIAL REQUIRED AT UPPER LEVELS, 62% PROVIDED
25% OF WALL AREA OCCUPIED BY GLASS REQUIRED BETWEEN 3'-8", 51% PROVIDED

1		STUCCO MATTE GREY COLOR	6		BRICK INTERSTATE TUMBLEWEED COLOR	11		METAL MESH DARK BRONZE COLOR
2		STUCCO GREY COLOR	7		ALUMINUM WINDOW BLACK COLOR	12		INDUSTRIAL STOREFRONT BLACK COLOR
3		BRICK INTERSTATE OBSIDIAN COLOR	8		ALUMINUM DOOR BLACK COLOR	13		CNC CORTEN STEEL BROWN COLOR
4		BRICK INTERSTATE BRONZESTONE COLOR	9		ALUMINUM STOREFRONT BLACK COLOR	14		WOOD PANEL BROWN COLOR
5		BRICK INTERSTATE ARTIC WHITE COLOR	10		METAL RAILING BALCONY PAINTED BLACK	15		PAINTED ART MURAL

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SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A401

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PROJECT TITLE

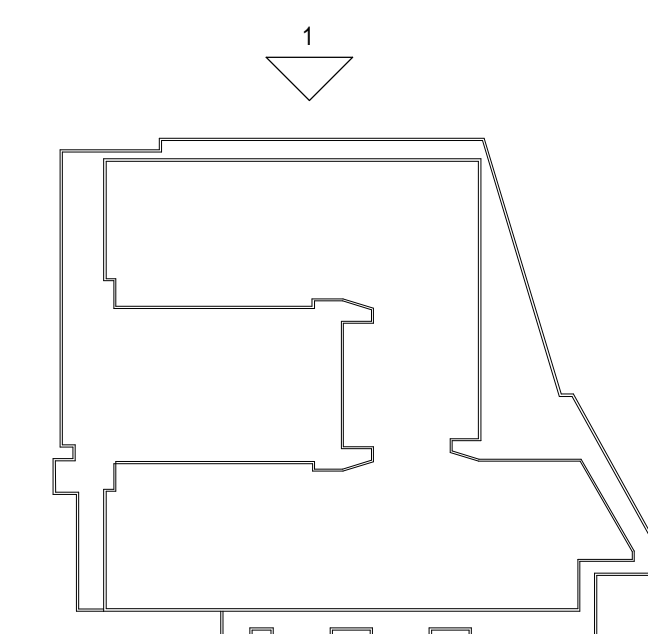
SUGAR HOUSE -
NORTH BUILDING

ISSUE #	DATE	DESCRIPTION
	04/02/2021	SCHEMATIC DESIGN



1 NORTH ELEVATION
A402x 1/4" = 1'-0"

1		STUCCO MATTE GREY COLOR	6		BRICK INTERSTATE TUMBLEWEED COLOR	11		METAL MESH DARK BRONZE COLOR
2		STUCCO GREY COLOR	7		ALUMINUM WINDOW BLACK COLOR	12		INDUSTRIAL STOREFRONT BLACK COLOR
3		BRICK INTERSTATE OBSIDIAN COLOR	8		ALUMINUM DOOR BLACK COLOR	13		CNC CORTEN STEEL BROWN COLOR
4		BRICK INTERSTATE BRONZESTONE COLOR	9		ALUMINUM STOREFRONT BLACK COLOR	14		WOOD PANEL BROWN COLOR
5		BRICK INTERSTATE ARTIC WHITE COLOR	10		METAL RAILING BALCONY PAINTED BLACK	15		PAINTED ART MURAL



CERTIFICATION

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CONSTRUCTION

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CHECKED BY	Checker
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SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A402

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SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

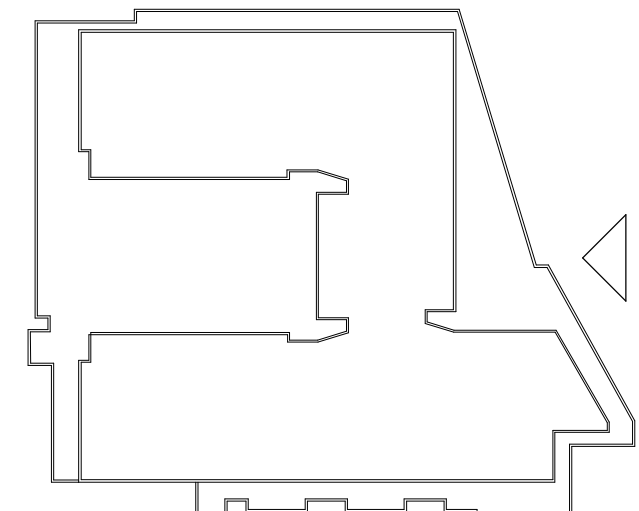
A403



1 EAST ELEVATION

A403x
1/4" = 1'-0"



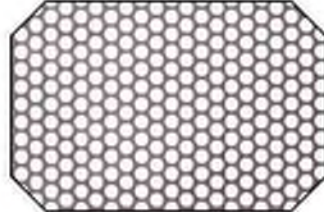
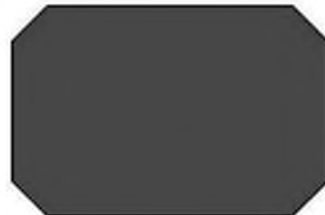











1		STUCCO MATTE GREY COLOR	6		BRICK INTERSTATE TUMBLEWEED COLOR	11		METAL MESH DARK BRONZE COLOR
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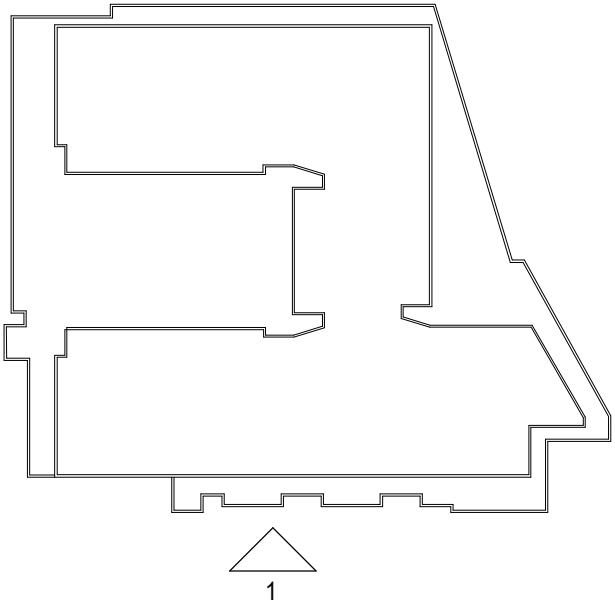




1 SOUTH ELEVATION
A404s 1/4" = 1'-0"

80% OF DURABLE MATERIAL REQUIRED AT GROUND LEVEL, 100% PROVIDED
60% OF DURABLE MATERIAL REQUIRED AT UPPER LEVELS, 83% PROVIDED
25% OF WALL AREA OCCUPIED BY GLASS REQUIRED BETWEEN 3'-8", 50% PROVIDED

1		STUCCO MATTE GREY COLOR	6		BRICK INTERSTATE TUMBLEWEED COLOR	11		METAL MESH DARK BRONZE COLOR
2		STUCCO GREY COLOR	7		ALUMINUM WINDOW BLACK COLOR	12		INDUSTRIAL STOREFRONT BLACK COLOR
3		BRICK INTERSTATE OBSIDIAN COLOR	8		ALUMINUM DOOR BLACK COLOR	13		CNC CORTEN STEEL BROWN COLOR
4		BRICK INTERSTATE BRONZESTONE COLOR	9		ALUMINUM STOREFRONT BLACK COLOR	14		WOOD PANEL BROWN COLOR
5		BRICK INTERSTATE ARTIC WHITE COLOR	10		METAL RAILING BALCONY PAINTED BLACK	15		PAINTED ART MURAL



CONSULTANTS

PROJECT TITLE

SUGAR HOUSE -
NORTH BUILDING

ISSUE #	DATE	DESCRIPTION
	04/02/2021	SCHEMATIC DESIGN

CERTIFICATION

DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	2387.04

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A404

CONSULTANTS



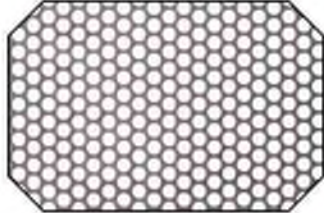
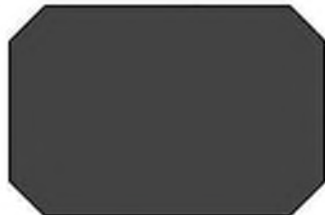





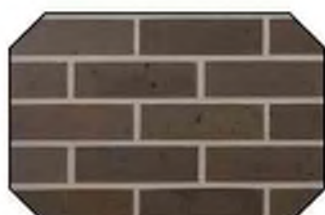





PROJECT TITLE

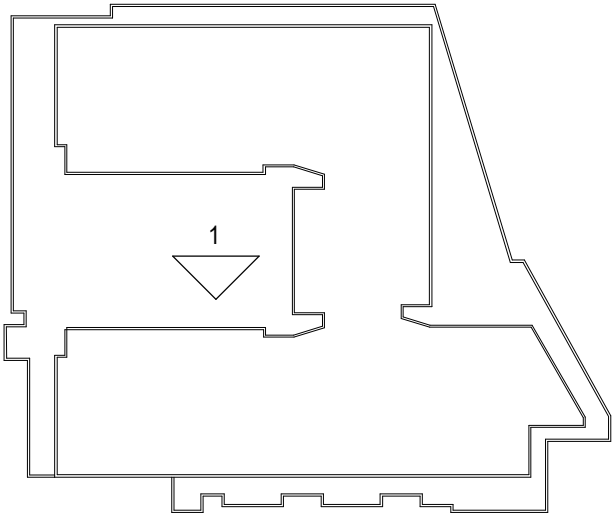
SUGAR HOUSE -
NORTH BUILDING

ISSUE #	DATE	DESCRIPTION
	04/02/2021	SCHEMATIC DESIGN



1 NORTH COURTYARD ELEVATION
A405x 1/4" = 1'-0"

1		STUCCO MATTE GREY COLOR	6		BRICK INTERSTATE TUMBLEWEED COLOR	11		METAL MESH DARK BRONZE COLOR
2		STUCCO GREY COLOR	7		ALUMINUM WINDOW BLACK COLOR	12		INDUSTRIAL STOREFRONT BLACK COLOR
3		BRICK INTERSTATE OBSIDIAN COLOR	8		ALUMINUM DOOR BLACK COLOR	13		CNC CORTEN STEEL BROWN COLOR
4		BRICK INTERSTATE BRONZESTONE COLOR	9		ALUMINUM STOREFRONT BLACK COLOR	14		WOOD PANEL BROWN COLOR
5		BRICK INTERSTATE ARTIC WHITE COLOR	10		METAL RAILING BALCONY PAINTED BLACK	15		PAINTED ART MURAL



CERTIFICATION

NOT FOR
CONSTRUCTION

DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	2387.04

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A405

CONSULTANTS

PROJECT TITLE

SUGAR HOUSE -
NORTH BUILDING

ISSUE #	DATE	DESCRIPTION
	04/02/2021	SCHEMATIC DESIGN

CERTIFICATION

DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	2387.04

SHEET TITLE

EXTERIOR
ELEVATIONS



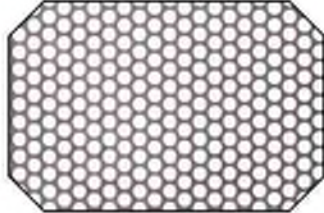
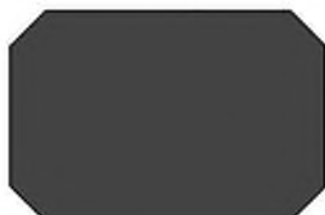











SHEET NUMBER

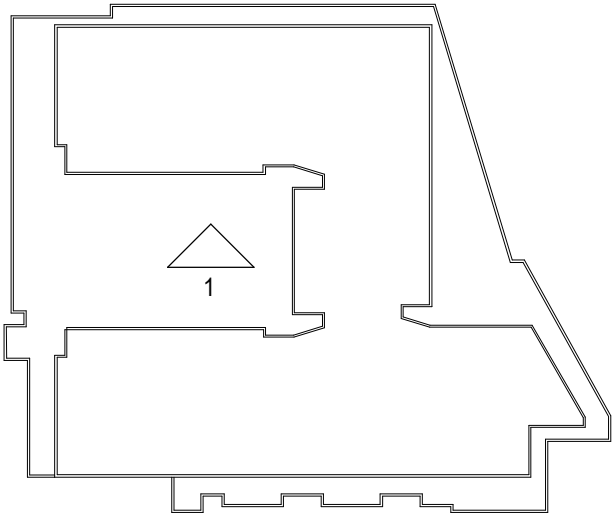
A406



1 SOUTH COURTYARD ELEVATION

1/4" = 1'-0"

1		STUCCO MATTE GREY COLOR	6		BRICK INTERSTATE TUMBLEWEED COLOR	11		METAL MESH DARK BRONZE COLOR
2		STUCCO GREY COLOR	7		ALUMINUM WINDOW BLACK COLOR	12		INDUSTRIAL STOREFRONT BLACK COLOR
3		BRICK INTERSTATE OBSIDIAN COLOR	8		ALUMINUM DOOR BLACK COLOR	13		CNC CORTEN STEEL BROWN COLOR
4		BRICK INTERSTATE BRONZESTONE COLOR	9		ALUMINUM STOREFRONT BLACK COLOR	14		WOOD PANEL BROWN COLOR
5		BRICK INTERSTATE ARTIC WHITE COLOR	10		METAL RAILING BALCONY PAINTED BLACK	15		PAINTED ART MURAL



ATRE SUGAR HOUSE NORTH BUILDING

ISSUED FOR PERMIT 09/17/2021

1121 E. ASHTON AVE, SALT LAKE CITY, UT

ATRE REAL ESTATE



BKV
GROUP

Architecture
Interior Design
Landscape Architecture
Engineering

1412 Main Street
Adolphus Tower
Suite 700
Dallas, TX
75202
972.898.2841

www.bkvgroup.com

CONSULTANTS

PROJECT TITLE

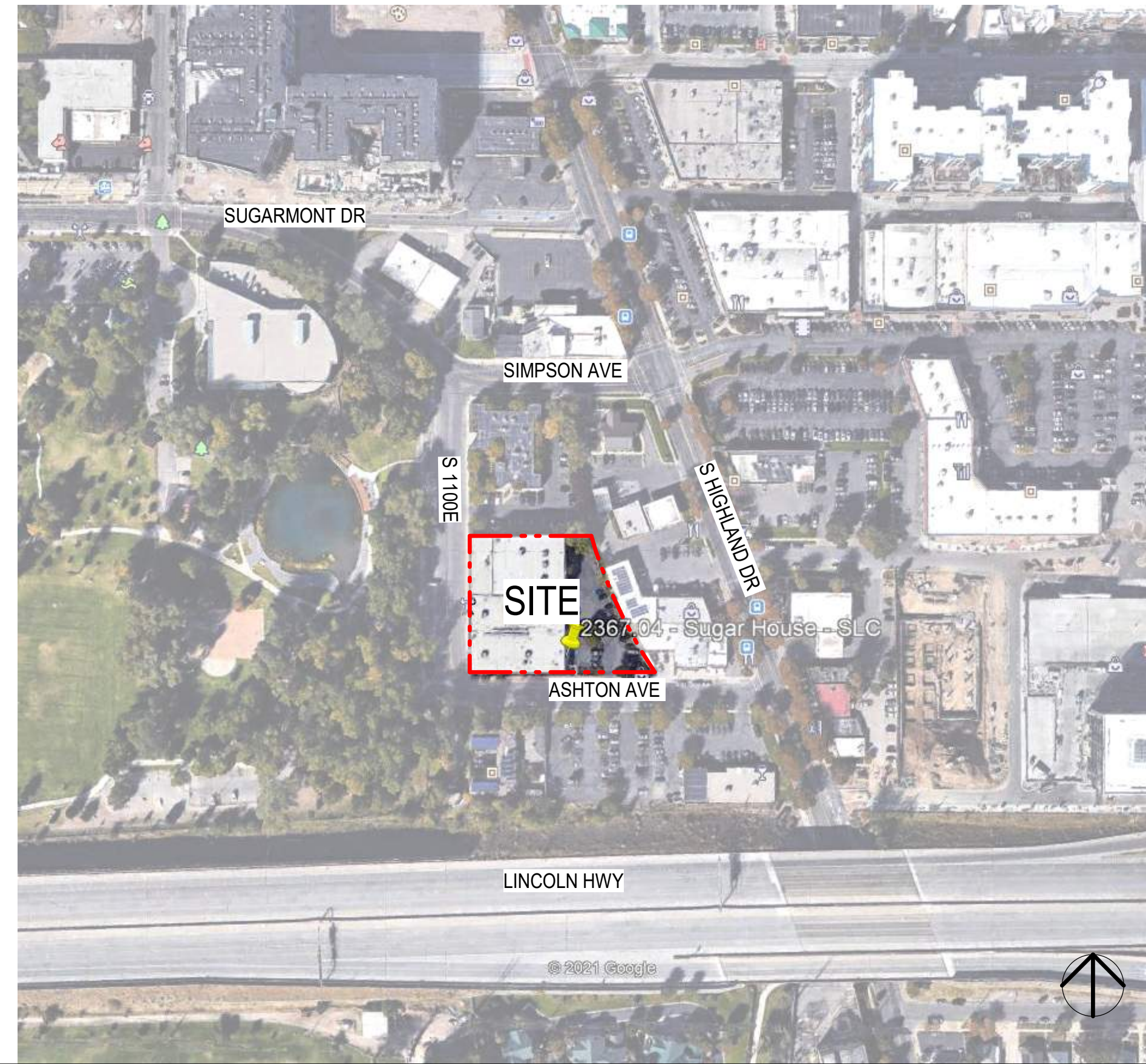
SUGAR HOUSE -
NORTH BUILDING

1121 E. Ashton Ave, Salt Lake City, UT

ISSUE #	DATE	DESCRIPTION
	09/17/2021	ISSUED FOR PERMIT



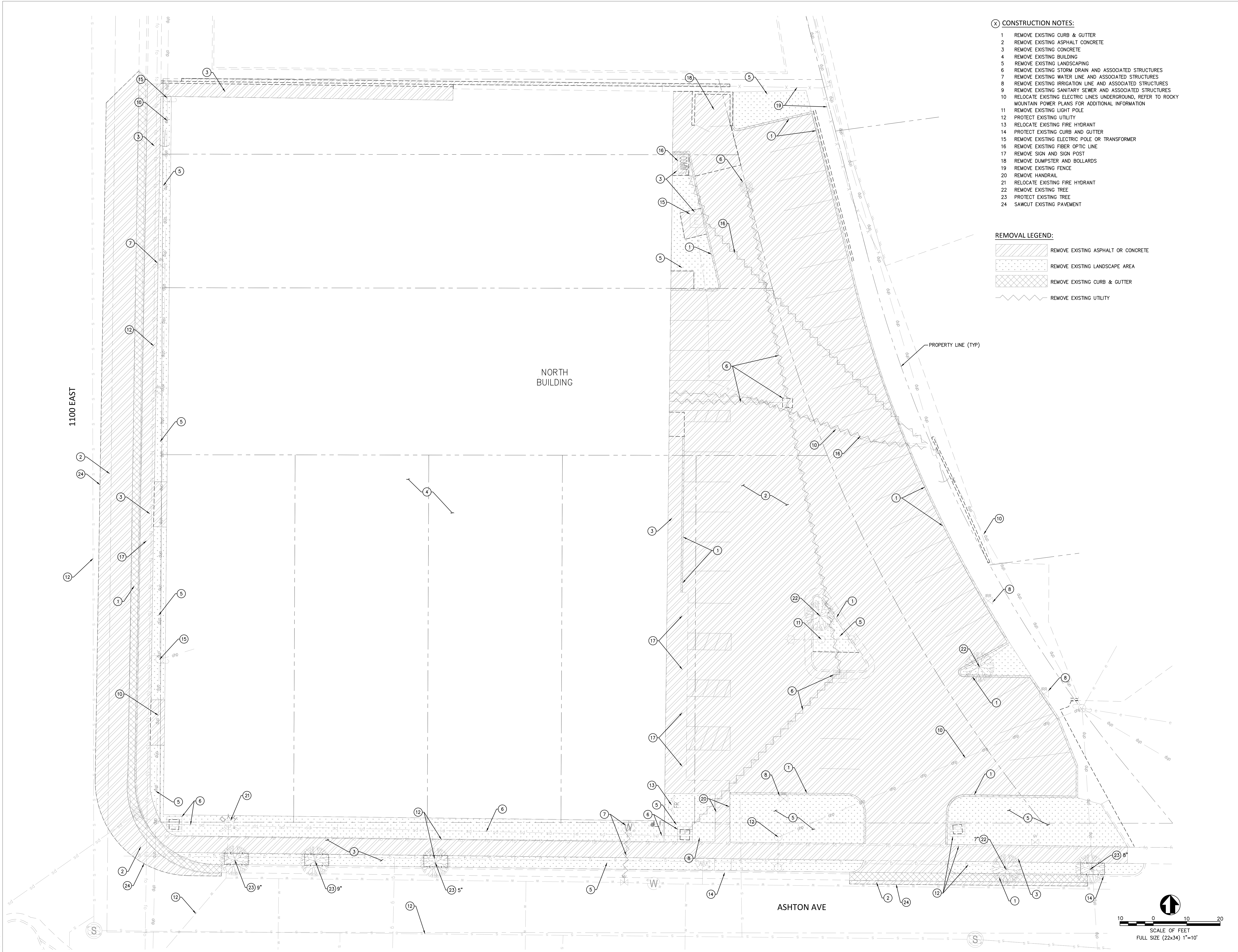
PROJECT LOCATION



PROJECT SUMMARY (UNIT MATRIX)

SUGAR HOUSE - B.C. ST. NORTH		UNIT A																				UNIT B																				TOWNHOUSE										Total		9/17/2025																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
Unit Type	Level	A	A1	A2	A3	A4	A5	A6	A7	A8	A9	A10	A11	A12	A13	A14	B1	B2	B3	B4	B5	B6	B7	B8	B9	B10	B11	B12	B13	B14	B15	B16	B17	B18	B19	B20	B21	B22	B23	B24	B25	B26	B27	B28	B29	B30	B31	B32	B33	B34	B35	B36	B37	B38	B39	B40	B41	B42	B43	B44	B45	B46	B47	B48	B49	B50	B51	B52	B53	B54	B55	B56	B57	B58	B59	B60	B61	B62	B63	B64	B65	B66	B67	B68	B69	B70	B71	B72	B73	B74	B75	B76	B77	B78	B79	B80	B81	B82	B83	B84	B85	B86	B87	B88	B89	B90	B91	B92	B93	B94	B95	B96	B97	B98	B99	B100	B101	B102	B103	B104	B105	B106	B107	B108	B109	B110	B111	B112	B113	B114	B115	B116	B117	B118	B119	B120	B121	B122	B123	B124	B125	B126	B127	B128	B129	B130	B131	B132	B133	B134	B135	B136	B137	B138	B139	B140	B141	B142	B143	B144	B145	B146	B147	B148	B149	B150	B151	B152	B153	B154	B155	B156	B157	B158	B159	B160	B161	B162	B163	B164	B165	B166	B167	B168	B169	B170	B171	B172	B173	B174	B175	B176	B177	B178	B179	B180	B181	B182	B183	B184	B185	B186	B187	B188	B189	B190	B191	B192	B193	B194	B195	B196	B197	B198	B199	B200	B201	B202	B203	B204	B205	B206	B207	B208	B209	B210	B211	B212	B213	B214	B215	B216	B217	B218	B219	B220	B221	B222	B223	B224	B225	B226	B227	B228	B229	B230	B231	B232	B233	B234	B235	B236	B237	B238	B239	B240	B241	B242	B243	B244	B245	B246	B247	B248	B249	B250	B251	B252	B253	B254	B255	B256	B257	B258	B259	B260	B261	B262	B263	B264	B265	B266	B267	B268	B269	B270	B271	B272	B273	B274	B275	B276	B277	B278	B279	B280	B281	B282	B283	B284	B285	B286	B287	B288	B289	B290	B291	B292	B293	B294	B295	B296	B297	B298	B299	B300	B301	B302	B303	B304	B305	B306	B307	B308	B309	B310	B311	B312	B313	B314	B315	B316	B317	B318	B319	B320	B321	B322	B323	B324	B325	B326	B327	B328	B329	B330	B331	B332	B333	B334	B335	B336	B337	B338	B339	B340	B341	B342	B343	B344	B345	B346	B347	B348	B349	B350	B351	B352	B353	B354	B355	B356	B357	B358	B359	B360	B361	B362	B363	B364	B365	B366	B367	B368	B369	B370	B371	B372	B373	B374	B375	B376	B377	B378	B379	B380	B381	B382	B383	B384	B385	B386	B387	B388	B389	B390	B391	B392	B393	B394	B395	B396	B397	B398	B399	B400	B401	B402	B403	B404	B405	B406	B407	B408	B409	B410	B411	B412	B413	B414	B415	B416	B417	B418	B419	B420	B421	B422	B423	B424	B425	B426	B427	B428	B429	B430	B431	B432	B433	B434	B435	B436	B437	B438	B439	B440	B441	B442	B443	B444	B445	B446	B447	B448	B449	B450	B451	B452	B453	B454	B455	B456	B457	B458	B459	B460	B461	B462	B463	B464	B465	B466	B467	B468	B469	B470	B471	B472	B473	B474	B475	B476	B477	B478	B479	B480	B481	B482	B483	B484	B485	B486	B487	B488	B489	B490	B491	B492	B493	B494	B495	B496	B497	B498	B499	B500	B501	B502	B503	B504	B505	B506	B507	B508	B509	B510	B511	B512	B513	B514	B515	B516	B517	B518	B519	B520	B521	B522	B523	B524	B525	B526	B527	B528	B529	B530	B531	B532	B533	B534	B535	B536	B537	B538	B539	B540	B541	B542	B543	B544	B545	B546	B547	B548	B549	B550	B551	B552	B553	B554	B555	B556	B557	B558	B559	B560	B561	B562	B563	B564	B565	B566	B567	B568	B569	B570	B571	B572	B573	B574	B575	B576	B577	B578	B579	B580	B581	B582	B583	B584	B585	B586	B587	B588	B589	B590	B591	B592	B593	B594	B595	B596	B597	B598	B599	B600	B601	B602	B603	B604	B605	B606	B607	B608	B609	B610	B611	B612	B613	B614	B615	B616	B617	B618	B619	B620	B621	B622	B623	B624	B625	B626	B627	B628	B629	B630	B631	B632	B633	B634	B635	B636	B637	B638	B639	B640	B641	B642	B643	B644	B645	B646	B647	B648	B649	B650	B651	B652	B653	B654	B655	B656	B657	B658	B659	B660	B661	B662	B663	B664	B665	B666	B667	B668	B669	B670	B671	B672	B673	B674	B675	B676	B677	B678	B679	B680	B681	B682	B683	B684	B685	B686	B687	B688	B689	B690	B691	B692	B693	B694	B695	B696	B697	B698	B699	B700	B701	B702	B703	B704	B705	B706	B707	B708	B709	B710	B711	B712	B713	B714	B715	B716	B717	B718	B719	B720	B721	B722	B723	B724	B725	B726	B727	B728	B729	B730	B731	B732	B733	B734	B735	B736	B737	B738	B739	B740	B741	B742	B743	B744	B745	B746	B747	B748	B749	B750	B751	B752	B753	B754	B755	B756	B757	B758	B759	B760	B761	B762	B763	B764	B765	B766	B767	B768	B769	B770	B771	B772	B773	B774	B775	B776	B777	B778	B779	B780	B781	B782	B783	B784	B785	B786	B787	B788	B789	B790	B791	B792	B793	B794	B795	B796	B797	B798	B799	B800	B801	B802	B803	B804	B805	B806	B807	B808	B809	B810	B811	B812	B813	B814	B815	B816	B817	B818	B819	B820	B821	B822	B823	B824	B825	B826	B827	B828	B829	B830	B831	B832	B833	B834	B835	B836	B837	B838	B839	B840	B841	B842	B843	B844	B845	B846	B847	B848	B849	B850	B851	B852	B853	B854	B855	B856	B857	B858	B859	B860	B861	B862	B863	B864	B865	B866	B867	B868	B869	B870	B871	B872	B873	B874	B875	B876	B877	B878	B879	B880	B881	B882	B883	B884	B885	B886	B887	B888	B889	B890	B891	B892	B893	B894	B895	B896	B897	B898	B899	B900	B901	B902	B903	B904	B905	B906	B907	B908	B909	B910	B911	B912	B913	B914	B915	B916	B917	B918	B919	B920	B921	B922	B923	B924	B925	B926	B927	B928	B929	B930	B931	B932	B933	B934	B935	B936	B937	B938	B939	B940	B941	B942	B943	B944	B945	B946	B947	B948	B949	B950	B951	B952	B953	B954	B955	B956	B957	B958	B959	B960	B961	B962	B963	B964	B965	B966	B967	B968	B969	B970	B971	B972	B973	B974	B975	B976	B977	B978	B979	B980	B981	B982	B983	B984	B985	B986	B987	B988	B989	B990	B991	B992	B993	B994	B995	B996	B997	B998	B999	B1000	B1001	B1002	B1003	B1004	B1005	B1006	B1007	B1008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u:\8sc\p\0100\CADD\Design\Sheets\north building set\CS100 DEMOLITION PLAN.dwg
9/16/2021 4:32 PM



- (X) CONSTRUCTION NOTES:
- 1 REMOVE EXISTING CURB & GUTTER
 - 2 REMOVE EXISTING ASPHALT CONCRETE
 - 3 REMOVE EXISTING CONCRETE
 - 4 REMOVE EXISTING BUILDING
 - 5 REMOVE EXISTING LANDSCAPING
 - 6 REMOVE EXISTING STORM DRAIN AND ASSOCIATED STRUCTURES
 - 7 REMOVE EXISTING WATER LINE AND ASSOCIATED STRUCTURES
 - 8 REMOVE EXISTING IRRIGATION LINE AND ASSOCIATED STRUCTURES
 - 9 REMOVE EXISTING SANITARY SEWER AND ASSOCIATED STRUCTURES
 - 10 RELOCATE EXISTING ELECTRIC LINES UNDERGROUND, REFER TO ROCKY MOUNTAIN POWER PLANS FOR ADDITIONAL INFORMATION
 - 11 REMOVE EXISTING LIGHT POLE
 - 12 PROTECT EXISTING UTILITY
 - 13 RELOCATE EXISTING FIRE HYDRANT
 - 14 PROTECT EXISTING CURB AND GUTTER
 - 15 REMOVE EXISTING ELECTRIC POLE OR TRANSFORMER
 - 16 REMOVE EXISTING FIBER OPTIC LINE
 - 17 REMOVE SIGN AND SIGN POST
 - 18 REMOVE DUMPSTER AND BOLLARDS
 - 19 REMOVE EXISTING FENCE
 - 20 REMOVE HANDRAIL
 - 21 RELOCATE EXISTING FIRE HYDRANT
 - 22 REMOVE EXISTING TREE
 - 23 PROTECT EXISTING TREE
 - 24 SAWCUT EXISTING PAVEMENT

- REMOVAL LEGEND:
- REMOVE EXISTING ASPHALT OR CONCRETE
 - REMOVE EXISTING LANDSCAPE AREA
 - REMOVE EXISTING CURB & GUTTER
 - REMOVE EXISTING UTILITY

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Architecture
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Landscape Architecture
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222 North Second Street
Long & Kees Bldg
Suite 101
Minneapolis, MN
55401
612.339.3752

www.bkvgroup.com

CONSULTANTS

PSOMAS

4179 S. Riverbowl Rd., Suite 200
Salt Lake City, UT 84123
(801) 275-5777
(801) 275-5762 (FAX)
www.psomas.com

PROJECT TITLE

SUGAR HOUSE -
NORTH BUILDING

ISSUE #	DATE	DESCRIPTION
	09/17/2021	ISSUED FOR PERMIT

CERTIFICATION

PROFESSIONAL
ENGINEER

No. 175981
Scott H. Ropke

STATE OF UTAH

DRAWN BY

MWC

CHECKED BY

T.J.G.

COMMISSION NUMBER

2367.04

SHEET TITLE

DEMOLITION
PLAN

SHEET NUMBER

CS100

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ISSUE #	DATE	DESCRIPTION
	09/17/2021	ISSUED FOR PERMIT



DRAWN BY	MWC
CHECKED BY	TJG
COMMISSION NUMBER	2367.04

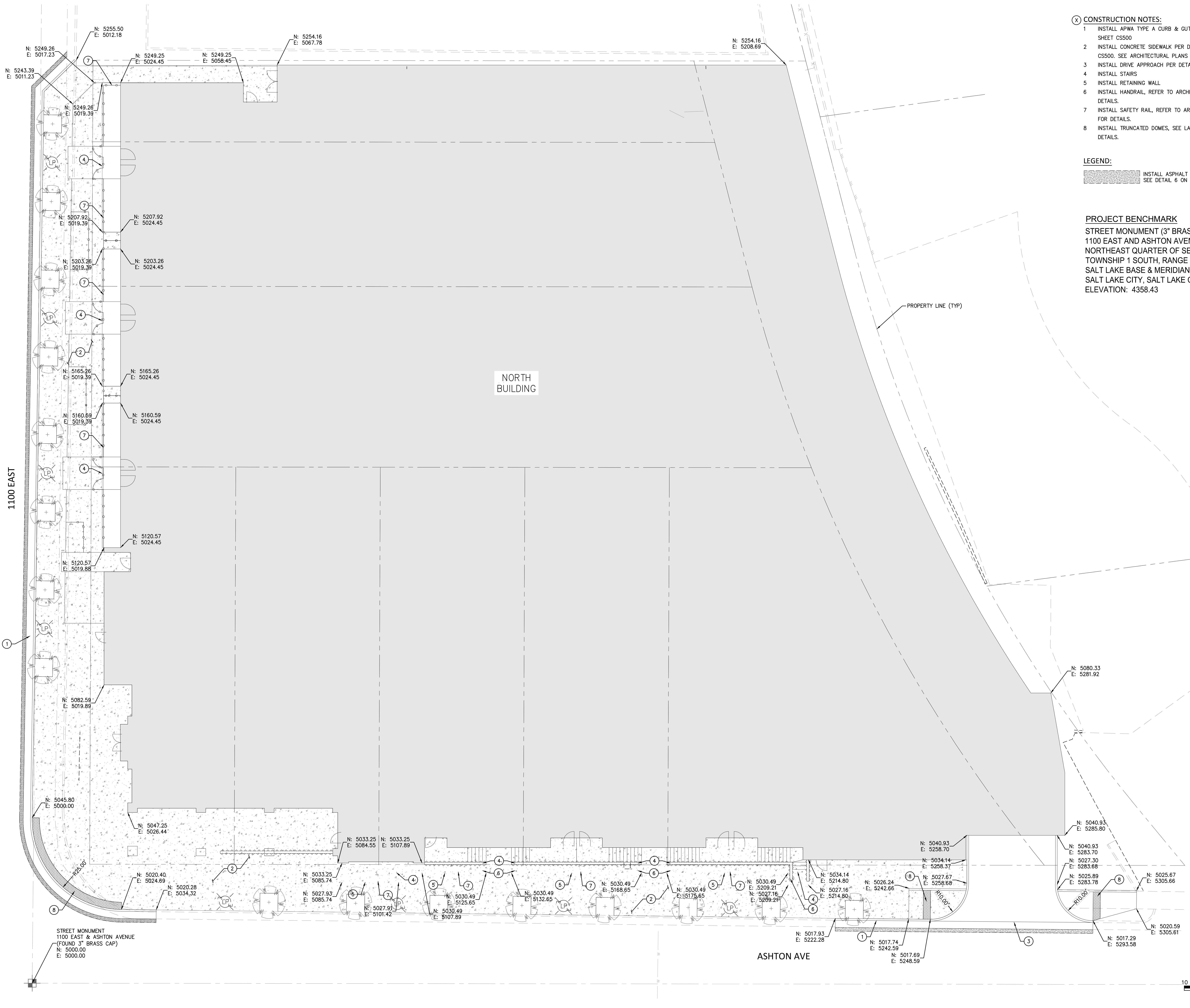
- ⑧ CONSTRUCTION NOTES:
1. INSTALL APWA TYPE A CURB & GUTTER PER DETAIL 1 ON SHEET CS500
 2. INSTALL CONCRETE SIDEWALK PER DETAIL 3 ON SHEET CS500. SEE ARCHITECTURAL PLANS FOR STAMPING DETAILS.
 3. INSTALL DRIVE APPROACH PER DETAIL 5 ON SHEET CS500
 4. INSTALL STAIRS
 5. INSTALL RETAINING WALL
 6. INSTALL HANDRAIL, REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 7. INSTALL SAFETY RAIL, REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 8. INSTALL TRUNCATED DOMES, SEE LANDSCAPE PLANS FOR DETAILS.

LEGEND:

INSTALL ASPHALT CONCRETE PAVEMENT,
SEE DETAIL 6 ON SHEET CS500

PROJECT BENCHMARK

STREET MONUMENT (3" BRASS CAP)
1100 EAST AND ASHTON AVENUE
NORTHEAST QUARTER OF SECTION 20,
TOWNSHIP 1 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN
SALT LAKE CITY, SALT LAKE COUNTY, UTAH
ELEVATION: 4358.43



PLANTING NOTES:

1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
3. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
4. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
5. FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
6. ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
7. LANDSCAPE CONTRACTOR TO PROVIDE STEEL EDGING BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
8. ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK - LATEST EDITION AMERICAN ASSOCIATION OF NURSEYMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
9. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
10. ALL NEW PLANTING AREAS TO BE AMENDED PER SPECIFICATIONS.
11. ANY PLANT MATERIAL THAT DOES NOT SURVIVE SHALL BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN THIRTY (30) DAYS.
12. PLANT MATERIAL SHALL BE PRUNED AS NECESSARY TO CONTROL SIZE BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY AND PEDESTRIAN PASSAGE OR TO ACHIEVE A CONTINUOUS OPAQUE HEDGE IF REQUIRED.
13. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
14. ALL LIME STABILIZED SOIL & INORGANIC FILL FOR BUILDING SHOULD BE REMOVED FROM PLANTING AREAS AND REPLACED WITH ORGANIC IMPORTED TOPSOIL FILL @ THE FOLLOWING DEPTHS:
- 12" @ TURF GRASS AREAS
- 24" @ SHRUB & GROUNDCOVER AREAS
- DEPTH OF ROOTBALL & 2X ROOTBALL WIDTH @ TREES

IRRIGATION NOTES:


1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANTING AREAS.
2. IRRIGATION SYSTEMS SHALL BE MAINTAINED AND REPLACED AS NECESSARY.
3. ALL PLANTING AREAS TO BE FULLY IRRIGATED.
4. IRRIGATION SYSTEM TO HAVE A FULLY AUTOMATED CONTROL SYSTEM.
5. ANY EXISTING PLANTING DAMAGED DURING CONSTRUCTION DUE TO IRRIGATION SYSTEM "DOWN TIME" IS TO BE REPLACED AT NO COST THE OWNER
6. IF THE EXISTING IRRIGATION SYSTEM IS DAMAGED OR TURNED OFF DURING CONSTRUCTION ACTIVITIES, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAND WATER ALL PLANT MATERIAL AS NEEDED.

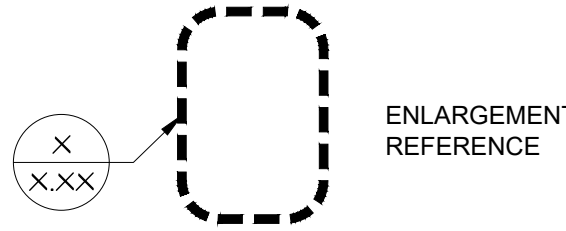
GENERAL NOTES:

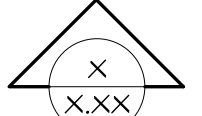
1. WARNING!!!!!!!!!! CALL BEFORE YOU DIG!!!!!! TOLL FREE 811
2. WRITTEN DIMENSIONS PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
3. THE CONTRACTOR BEARS ALL RESPONSIBILITY FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DAMAGE TO UTILITIES THAT ARE TO REMAIN SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NOT SHOWN ON PLANS.
4. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
5. ALL PROPOSED AND FINISHED GRADES ARE BASED ON INFORMATION PROVIDED BY THE OWNER'S SURVEY AND/OR CIVIL ENGINEER. ANY DISCREPANCIES IN ACTUAL FIELD MEASUREMENTS ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
6. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED BY LANDSCAPE ARCHITECT ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTORS ARE TO BID THEIR OWN VERIFIED QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
7. EASEMENTS SETBACKS, BUILDING, CURB AND GUTTER, UNDERGROUND UTILITIES HAVE BEEN SUPPLIED TO LANDSCAPE ARCHITECT BY THE PROJECT CIVIL ENGINEER. REFER TO CIVIL ENGINEERS DRAWINGS FOR ADDITIONAL INFORMATION.
8. STUDIO OUTSIDE ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITIES, OR COST RESULTING FROM CHANGES OR ALTERATIONS MADE TO THE PLAN WITHOUT THE EXPRESS WRITTEN CONSENT OF STUDIO OUTSIDE.

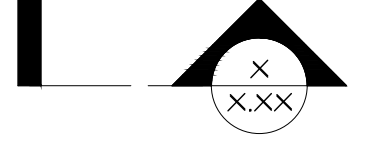
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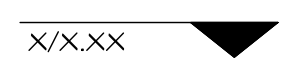
GENERAL

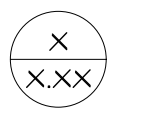
 POINT OF BEGINNING


 ENLARGEMENT REFERENCE

 ELEVATION REFERENCE


 SECTION REFERENCE


 DETAIL REFERENCE


 DETAIL REFERENCE


 MATERIAL MATERIAL REFERENCE


GENERAL


 CENTER LINE


 LIMIT OF WORK


 MATCHLINE


 EXPANSION JOINT


 CONTROL JOINT


 STEEL EDGING

 GRADE BREAK

 PERFORATED PIPE

 SOLID PVC PIPE

 SLOPE LAWN/PLANTING AREA

 SLOPE HARDSCAPE AREA

ABBREVIATIONS

AD = AREA DRAIN (HARDSCAPE)
BS = BOTTOM STEP
CL = CENTER LINE
EJ = EXPANSION JOINT
GB = GRADE BREAK
HP = HIGH POINT
LP = LOW POINT
PD = AREA DRAIN (PLANTING)
POB = POINT OF BEGINNING
TC = TOP OF CURB
TR = TOP OF RAMP
TS = TOP STEP
TW = TOP OF WALL

MATERIALS LEGEND:

PAVING

CALLOUT	TYPE	SUPPLIER / MANUFACTURER	MODEL / STYLE	COLOR	FINISH	SIZE	THICKNESS	PATTERN	INSTALLATION	CONTACT	MOCK-UP	SHOP DRAWINGS	SAMPLES	NOTES
P-1	Concrete Pavers	Hanover	Plankstone/Prest Paver	Charcoal	N/A	12"x12"	2"	Stacked Bond	Ref. Details/Specs	hanoverpavers.com	Yes	No	No	
P-2	Concrete Pavers	Hanover	Plankstone/Traditional Brick	Limestone Gray	Square Edge	4"x8"	2"	Running Bond	Ref. Details/Specs	hanoverpavers.com	Yes	No	No	Sand set
P-3	Porcelain Pavers (Wood)	Daltile	Saddle Brook	SD14 Farmhouse	Glazed	6"x36"	2CM	Running Bond	Ref. Details/Specs	daltile.com	Yes	No	No	
P-4	Porcelain Pavers (Gray)	Crossville	Portugal	PTG06-Madiera Reserve (Warm Dark)	Standard	6"x24"	2CM	Running Bond	Ref. Details/Specs	crossvilleinc.com	Yes	No	No	Sand set
P-5	Paving (Integral Color)	Scofield Colors	Cast-in-place Concrete	Shadow Slate	TopCast 05 (surface retarder finish)	N/A	4" Min.	N/A	Ref. Details/Specs	scofield.com	Yes	No	No	Dayton Superior (800-745-3700)
P-6	Detectable Warning Plate	D & L Foundry (or Approved Equal)	NA	NA	NA	12"x12"	3"	Stacked Bond	Ref. Details/Specs	difoundry.com	Yes	No	No	

GRAVEL

CALLOUT	TYPE	SUPPLIER / MANUFACTURER	MODEL / STYLE	COLOR	FINISH	SIZE	THICKNESS	PATTERN	INSTALLATION	CONTACT	MOCK-UP	SHOP DRAWINGS	SAMPLES	NOTES
G-1	Crushed Gravel	Local Supplier	Angular Clean Washed Drain Rock	N/A	N/A	1/2"-1"	Ref. Details	N/A	Ref. Details/Specs	N/A	Yes	No	Yes	
G-2	Decorative Rock	American Stone	Twilight Gray Crushed	Twilightlight Gray	Standard	3/4"-1"	Ref. Details	N/A	Ref. Details/Specs	801.262.4300	No	No	Yes	
G-3	Slag Glass	American Specialty Glass	Slag Glass	TBD	Tumbled	3"-5"	Ref. Details	N/A	Ref. Details/Specs	N/A	No	No	Yes	located at fountains
G-4	Landscape Glass	American Specialty Glass	Landscape Glass	TBD	Tumbled	Medium	Ref. Details	N/A	Ref. Details/Specs	801.294.4222	No	No	Yes	located at base of fire dish
G-5	Decorative Rock	American Stone	Twilight Gray Crushed	Twilightlight Gray	Standard	4"-6"	Ref. Details	N/A	Ref. Details/Specs	801.262.4300	No	No	Yes	

BRICK

CALLOUT	TYPE	SUPPLIER / MANUFACTURER	MODEL / STYLE	COLOR	FINISH	SIZE	THICKNESS	PATTERN	INSTALLATION	CONTACT	MOCK-UP	SHOP DRAWINGS	SAMPLES	NOTES
BR-1	Brick Retaining Wall	Match Architecture	Match Architecture	Match Architecture	Match Architecture	Standard	TBD	Running Bond	Ref. Details/Specs	N/A	Yes	Yes	No	

CONCRETE

CALLOUT	TYPE	SUPPLIER / MANUFACTURER	MODEL / STYLE	COLOR	FINISH	SIZE	THICKNESS	PATTERN	INSTALLATION	CONTACT	MOCK-UP	SHOP DRAWINGS	SAMPLES	NOTES
C-1	Concrete Planter Wall	N/A	Natural Gray	Natural	Smooth Rubbed	Ref. Details	8", tapering	N/A	Ref. Details/Specs	N/A	Yes	Yes	No	
C-2	Concrete Countertop / Runnel Fountain	N/A	Integral Color	TBD	Polished	Ref. Details	6"	N/A	Ref. Details/Specs	N/A	Yes	Yes	No	

STONE

CALLOUT	TYPE	SUPPLIER / MANUFACTURER	MODEL / STYLE	STONE TYPE	FINISH	SIZE	THICKNESS	PATTERN	INSTALLATION	CONTACT	MOCK-UP	SHOP DRAWINGS	SAMPLES	NOTES
ST-1	Stone Block	Delta Stone	Mountain Valley Architectural Boulders	Quartzitic Sandstone	Sawn Sides & Ends w/ Roughback Face	Ref. Details/Plans	8" Min.	Staggered Stacking	Ref. Details/Specs	435.654.3336	No	No	No	waterproof all portions of stone coming into contact with soil, with light reveal @ base where LED light strip is present.
ST-2	Stone Veneer @ Fountain	Delta Stone	Blue Stone	Quartzite	Honed	12"x24"	2CM	Ref. Plan/Detail	Ref. Details/Specs	435.654.3336	Yes	Yes	Yes	1/16" Joints
ST-3									NOT USED					
ST-4	Stone Cap @ Wall	Delta Stone	Blue Stone	Quartzite	Bush Hammered	14"x24"	12"	Continuous	Ref. Details/Specs	435.654.3336	No	Yes	No	1/16" Joints
ST-5	Stone Countertop	Delta Stone	Blue Stone	Quartzite	Honed	Ref. Details	3CM	N/A	Ref. Details/Specs	435.654.3336	Yes	Yes	Yes	1/16" Joints
ST-6	Stone Cap @ Seating	Delta Stone	Blue Stone	Quartzite	Honed	Ref. Details	3CM	Stacked Bond	Ref. Details/Specs	435.654.3336	Yes	Yes	Yes	1/16" Joints

METALS

CALLOUT	TYPE	SUPPLIER / MANUFACTURER	MODEL / STYLE	COLOR	FINISH	SIZE	THICKNESS	PATTERN	INSTALLATION	CONTACT	MOCK-UP	SHOP DRAWINGS	SAMPLES	NOTES
M-1	Edging @ Planting	Permaloc	Cleanline	Black	N/A	4" Height	3/16"	N/A	Ref. Details/Specs	permaloc.com/	No	No	Yes	
M-2	Edging @ Gravel	Permaloc	CLeanline	Black	N/A	5" Height	3/16"	N/A	Ref. Details/Specs	permaloc.com/	No	No	Yes	
M-3	Handrail	Local Fabricator	Stainless Steel (Type 316)	N/A	Brushed	H.S.S 1x1	N/A	N/A	Ref. Details/Specs	N/A	No	Yes	No	
M-4	Guardrail @ Townhomes	Local Fabricator	Painted Steel	Custom RAL, TBD	Painted	Ref. Details	N/A	N/A	Ref. Details/Specs	N/A	No	Yes	No	
M-5	Patio Fence & Gate	Local Fabricator	Painted Steel	Custom RAL, TBD	Painted	Ref. Details	N/A	N/A	Ref. Details/Specs	N/A	No	Yes	No	
M-6	Metal Planter Wall	Local Fabricator	Anthracite Metal	Natural	Smooth	Ref. Details	3/8"	N/A	Ref. Details/Specs	N/A	No	Yes	No	Bid. Alt. Weathering Steel
M-7									NOT USED					
M-8	Dog Run Fence & Gate	Local Fabricator	Painted Steel	Black	Painted	Ref. Details	N/A	N/A	Ref. Details/Specs	N/A	No	Yes	No	
M-9	Shade Structure Supports	Local Fabricator	Tnemec High Performance Coating	Black	Painted	Ref. Details	N/A	N/A	Ref. Details/Specs	N/A	No	Yes	No	Series 73 Endura-Shield by Tnemec
M-10	Paver Grate	Green Blue Urban	Castle Grate	Natural	Standard	60" Square	N/A	N/A	Ref. Details/Specs	Matthew Werle, 865.951.7290	No	Yes	No	Include option for (2) uplights
M-11	Fountain Basin	Local Fabricator	Stainless Steel (Type 316)	Natural	Smooth	Ref. Details	3/8"	N/A	Ref. Details/Specs	N/A	No	Yes	No	
M-12	Runnel Trough	Local Fabricator	Stainless Steel (Type 316)	Natural	Brushed	4" Ht. x 6" Width	3/16"	N/A	Ref. Details/Specs	N/A	No	Yes	No	
M-13	Gate Hinge	D&D Technologies	Sure Close 57 SF, Center Mount	Painted to Match Fence	N/A	Ref. Details	Ref. Details	Ref. Details	Ref. Details/Specs	N/A	No	Yes	No	
M-14	Dog Park Gate Handle	360 Yardware.com	Alta Contemporary	N/A	S.S.	Ref. Details	N/A	N/A	Ref. Details/Specs	N/A	No	Yes	No	
M-15	Cable Hardware	Ultratech	Invisiwire	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	

WOOD

CALLOUT	TYPE	SUPPLIER / MANUFACTURER	MODEL / STYLE	COLOR	FINISH	SIZE	THICKNESS	PATTERN	INSTALLATION	CONTACT	MOCK-UP	SHOP DRAWINGS	SAMPLES	NOTES
W-1	Wood Slats	Local Source	lpe (FSC Certified)	Natural	Natural	Ref. Details	Ref. Details	Vertical	Ref. Details/Specs	N/A	Yes	Yes	Yes	Bid. Alt. Kebony (us.kebony.com)
W-2	Wood Veneer	Local Source	lpe (FSC Certified)	Natural	Natural	Ref. Details	Ref. Details	Horizontal	Ref. Details/Specs	N/A	Yes	Yes	Yes	Bid. Alt. Kebony (us.kebony.com)

BKV GROUP

Architecture
Interior Design
Landscape Architecture
Engineering

1412 Main Street
Adolphus Tower
Suite 700
Dallas, TX
75202
972.898.2841

www.bkvgroup.com

CONSULTANTS

studioOutside

824 Exposition Avenue, Ste. 5
Dallas, Texas 75208
817.454.7185
817.454.7182

PROJECT TITLE

SUGAR HOUSE - NORTH BUILDING
1121 E. Ashton Ave, Salt Lake City, UT

ISSUE #	DATE	DESCRIPTION
	06/25/2021	DESIGN DEVELOPMENT
	09/17/2021	ISSUED FOR PERMIT

CERTIFICATION



DRAWN BY	EH / AD
CHECKED BY	BH / EH
COMMISSION NUMBER	2387.04

SHEET TITLE

MATERIALS
LEGEND &
GENERAL NOTES

SHEET NUMBER

L0.01

MATERIALS LEGEND - CONTINUED:

MISCELLANEOUS														
CALLOUT	TYPE	SUPPLIER / MANUFACTURER	MODEL / STYLE	COLOR	FINISH	SIZE	THICKNESS	OPTION	INSTALLATION	CONTACT	MOCK-UP	SHOP DRAWINGS	SAMPLES	NOTES
MI-1	Artificial Turf	ForeverLawn	DuPont Select HD	N/A	N/A	N/A	N/A	Double Punched	Ref. Details/Specs	801.503.0949	No	No	Yes	
MI-2	Artificial Turf @ Dog Run	ForeverLawn	K9 Grass	N/A	N/A	N/A	N/A	N/A	Ref. Details/Specs	801.503.0949	No	No	Yes	
MI-3	Soil Cell System	Green Blue Urban	Root Space	N/A	N/A	600	N/A	N/A	Ref. Details/Specs	Matthew Werle, 865.951.7290	No	No	Yes	Bid. Alt. City Green Stratavault or Deeproot Silva Cells
MI-4	Exterior Outlet	Taymac	MM510c	Clear	N/A	N/A	N/A	N/A	N/A	N/A	No	No	No	
SWIMMING POOL														
CALLOUT	TYPE	SUPPLIER / MANUFACTURER	MODEL / STYLE	COLOR	FINISH	SIZE	THICKNESS	PATTERN	INSTALLATION	CONTACT	MOCK-UP	SHOP DRAWINGS	SAMPLES	NOTES
SP-1	Pool Coping	Delta Stone	Quartzite	Blue Stone	Sandblast	6"x24"	2"	Stacked Bond	Ref. Details/Specs	435.654.3336	Yes	Yes	Yes	radial cut. 1/2" radius edges @ pool side of coping
SP-2	Pool Wall Tile	KnoxTile	Interstyle GlassHues	TBD	N/A	1"x1"	N/A	Straight Grid Mosaic	Ref. Details/Specs	Donna McClendon 214.761.5669	Yes	Yes	Yes	
SP-3	Step Delineation Tile	KnoxTile	Interstyle	TBD	Slip Resistant with Corundum Added	1"x1"	N/A	Straight Grid Mosaic	Ref. Details/Specs	Donna McClendon 214.761.5669	Yes	Yes	Yes	
SP-4	Pool Depth Markers	KnoxTile	Interstyle GlassHues	TBD	N/A	6-1/4"x6-14"	N/A	Stacked Bond	Ref. Details/Specs	Donna McClendon 214.761.5669	Yes	Yes	Yes	Back-printed script 4" HT., position script toward top of tile
SP-5	Pool Plaster	SGM	DiamondBrite	French Grey	N/A	N/A	N/A	N/A	Ref. Details/Specs	800.641.9247	No	No	No	
SP-6	Pool Stone Tile	Delta Stone	Quartzite	Blue Stone	Sandblast	12"x24"	2 CM	Stacked Bond	Ref. Details/Specs	435.654.3336	Yes	Yes	Yes	radial cut
SP-7	ADA Pool Lift	TBD	TBD	N/A	Stainless Steel	N/A	N/A	N/A	Ref. Details/Specs	TBD	No	No	No	Coordinate with electrical requirements
SP-8	Pool Planter Stone Tile	Delta Stone	Quartzite	Blue Stone	Sandblast	6" x 24"	1 CM	Stacked Bond	Ref. Details/Specs	435.654.3336	Yes	Yes	Yes	radial cut
AMENITIES														
CALLOUT	TYPE	SUPPLIER / MANUFACTURER	MODEL / STYLE	COLOR	FINISH	SIZE	OPTION	OPTION COLOR	INSTALLATION	CONTACT	MOCK-UP	SHOP DRAWINGS	SAMPLES	NOTES
A-1	Bike Rack	Landscape Forms	Emerson	Bronze	Powdercoated	4" x 30" x 20"	N/A	N/A	Surface Mount	Lara Moffat 972.740.3373	No	No	No	Provide Cutsheet
A-2	Litter/Recycling Receptacle	mmcite	PRX 315	Black	Powdercoated	36 gallon, split stream	Tropical Hardwood	N/A	Surface Mount	LightSpek (214.519.1064)	No	No	No	Provide Cutsheet
A-3	Outdoor Grill	AEI	PGS T: S 36T	N/A	Stainless Steel	39"	N/A	N/A	Ref. Manufacturer's Install Instructions	949.474.3070	No	No	No	Accessories: MDS L39-PGS Legacy 39" S.S. Doors
A-4	Fire Dish	Ore Designs	Fire Dish: 4019	TBD	Powdercoated	47" Dia., 12" Ht., 27" Base Dia.	Fire Glass	TBD	Ref. Manufacturer's Install Instructions	801.936.0499	No	No	No	Provide Electronic Pilotless Ignition System. Controls are to be min. 15" AFF to within 48" AFF, and not require tight grasping, pinching, or twisting of wrist to operate.
A-5	Fire Pit	Ore Designs	Linear Fire Pit: 4020	TBD	Powdercoated	59" Length, 22" Width, 17" Ht.	Fire Glass	TBD	Ref. Manufacturer's Install Instructions	801.936.0499	No	No	No	Provide Electronic Pilotless Ignition System. Controls are to be min. 15" AFF to within 48" AFF, and not require tight grasping, pinching, or twisting of wrist to operate.
A-6	NOT USED													
A-7	Pet Station	Aluminum Dogi-Pot Pet Station	#1003-L	Black	Painted	Per Model #	N/A	N/A	Ref. Manufacturer's Install Instructions	800.364.7681	No	No	No	Provide Cutsheet
A-8	Outdoor Drinking Fountain	Most Dependable Fountains	440 SMFA & SMSSFA	Black	Painted	Per Model #	N/A	N/A	Ref. Manufacturer's Install Instructions	901.867.0039	No	No	No	ADA & HI/LO w/ Pet Fountain. Fountain controls are to be min. 15" AFF to within 48" AFF, and not require tight grasping, pinching, or twisting of wrist to operate
A-9	Bollard	Landscape Forms	Hawthorne	Bronze	Powdercoated	11" x 11" x 37" Ht.	N/A	N/A	Ref. Manufacturer's Install Instructions	Lara Moffat 972.740.3373	No	No	No	Provide Cutsheet
A-10	Planter Pots	Ore Designs	Box 1030	Black	N/A	Per Model	TBD	TBD	Ref. Manufacturer's Install Instructions	Ore Designs	TBD	TBD	TBD	
A-11	S.S. Access Door	AE1	MDSL39	NA	NA	Per Model	NA	NA	Ref. Manufacturer's Install Instructions	TBD	No	Yes	No	MDS L39-PGS Legacy 39" S.S. Doors, Provide Cutsheet
A-12	Bench	mmcite	VLA 151	Black	Tropical Hardwood	Per Model	NA	NA	Ref. Manufacturer's Install Instructions	LightSpek (214.519.1064)	No	No	No	
A-13	Streetscape Litter/Recyling Rectacle	Landscape Forms	Poe	Bronze	Powdercoated	29" x 44" x 34 Gal.	Side Opening	NA	Ref. Manufacturer's Install Instructions	Lara Moffat 972.740.3373	No	No	No	Provide Cutsheet
LIGHTING														
CALLOUT	TYPE	MANUFACTURER	NOTES											
L-1	TREE UPLIGHT IN GRATE	TBD	See Sheet E501 for specific model & spec information.											
L-2	MONUMENT WALL UPLIGHT	BK LIGHTING	See Sheet E501 for specific model & spec information.											
L-3	LED SUBMERSIBLE LINEAR	QTRAN	See Sheet E501 for specific model & spec information.											
L-4	SCULPTURE ACCENT	BK LIGHTING	See Sheet E501 for specific model & spec information.											
L-5	BOLLARD	HESS	See Sheet E501 for specific model & spec information.											
L-6	TREE UPLIGHT ABOVE GRADE	BK LIGHTING	See Sheet E501 for specific model & spec information.											
L-7	CUTOFF FIXTURE	HESS AMERICA	See Sheet E501 for specific model & spec information.											
L-7P	BEAM POLE	STRUCTURA	See Sheet E501 for specific model & spec information.											
L-8	SHADE STRUCTURE LINEAR	LUMINII	See Sheet E501 for specific model & spec information.											
L-9	UNDER BENCH LIGHTING	LUMINII	See Sheet E501 for specific model & spec information.											
L-10	STRINGLIGHT	AMERICAN LTG	See Sheet E501 for specific model & spec information.											
L-10	LED LAMP	ARCHIPELAGO	See Sheet E501 for specific model & spec information.											
L-11	PEDESTRIAN LIGHT	LANDSCAPE FORMS	See Sheet E501 for specific model & spec information.											
L-12	FOUNTAIN UPLIGHT	PENTAIR	See Sheet E501 for specific model & spec information.											

Architecture
Interior Design
Landscape Architecture
Engineering

1412 Main Street
Adolphus Tower
Suite 700
Dallas, TX
75202
972.898.2841

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CONSULTANTS

studioOutside
824 Exposition Avenue, Ste. 5
Dallas, Texas 75208
©214.954.7180
©214.954.7182

PROJECT TITLE

SUGAR HOUSE - NORTH BUILDING
1121 E. Ashton Ave, Salt Lake City, UT

ISSUE #	DATE	DESCRIPTION
	06/25/2021	DESIGN DEVELOPMENT
	09/17/2021	ISSUED FOR PERMIT

CERTIFICATION



DRAWN BY	EH / AD
CHECKED BY	BH / EH
COMMISSION NUMBER	2387.04

SHEET TITLE

MATERIALS
LEGEND -
CONTINUED

SHEET NUMBER

L0.02



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Adolphus Tower
Suite 700
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972.898.2841

www.bkvgroup.com

CONSULTANTS

studioOutside

824 Exposition Avenue, Ste. 5
Dallas, Texas 75208
972.454.7185
972.454.7182

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	09/17/2021	ISSUED FOR PERMIT

CERTIFICATION

State of Utah
ANDREW
DUGGAN
10489955
Landscape Architect

DRAWN BY
CHECKED BY
COMMISSION NUMBER

EH / AD
BH / EH
2387.04

SHEET TITLE

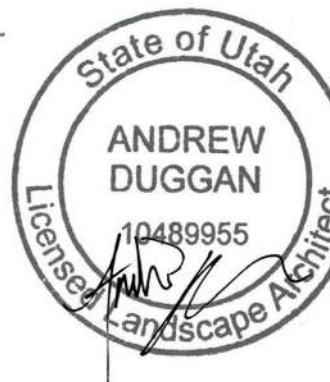
HARDSCAPE
PLAN - LEVEL 1

SHEET NUMBER

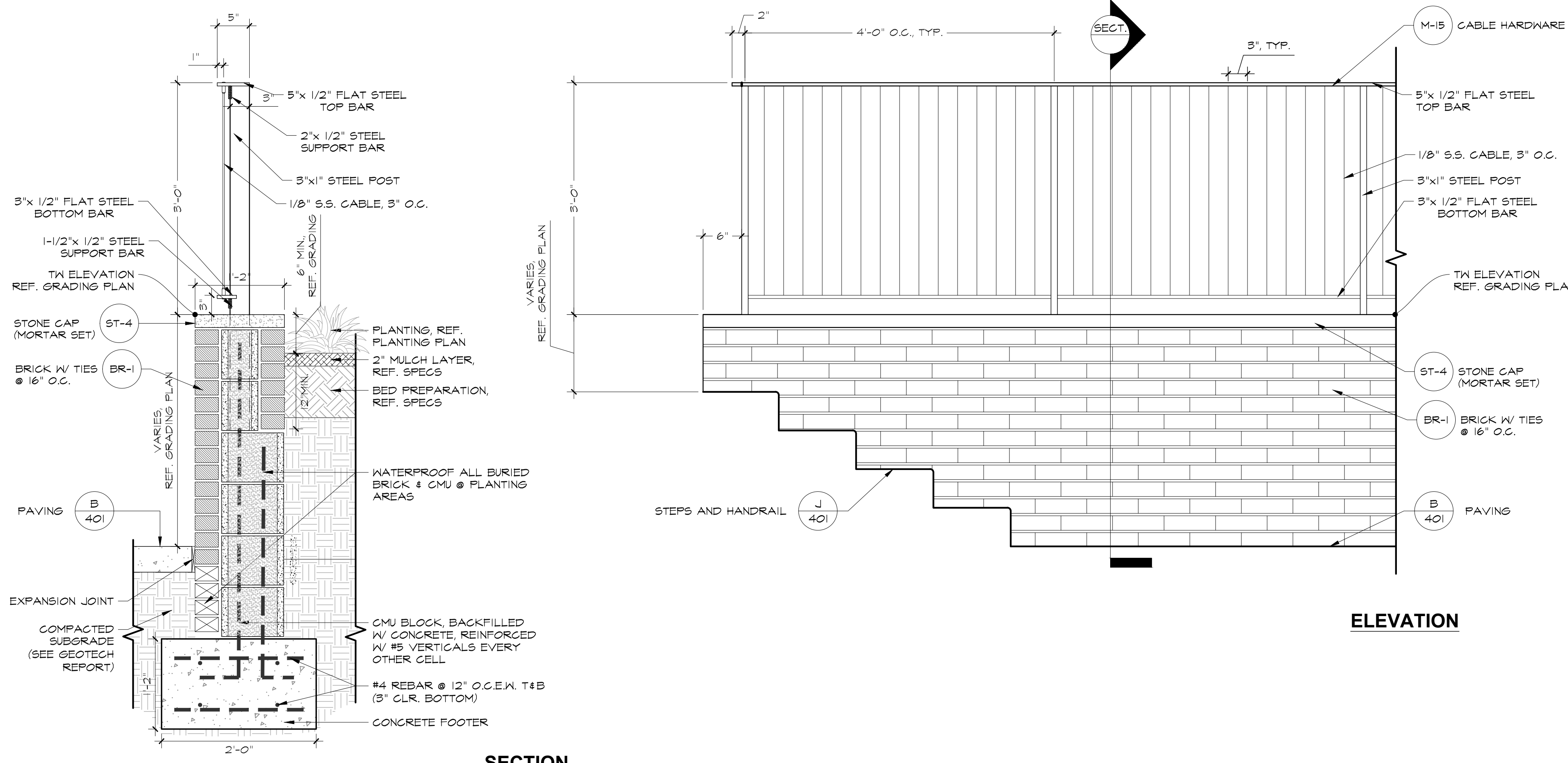
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ISSUE #	DATE	DESCRIPTION
	06/25/2021	DESIGN DEVELOPMENT
	09/17/2021	ISSUED FOR PERMIT

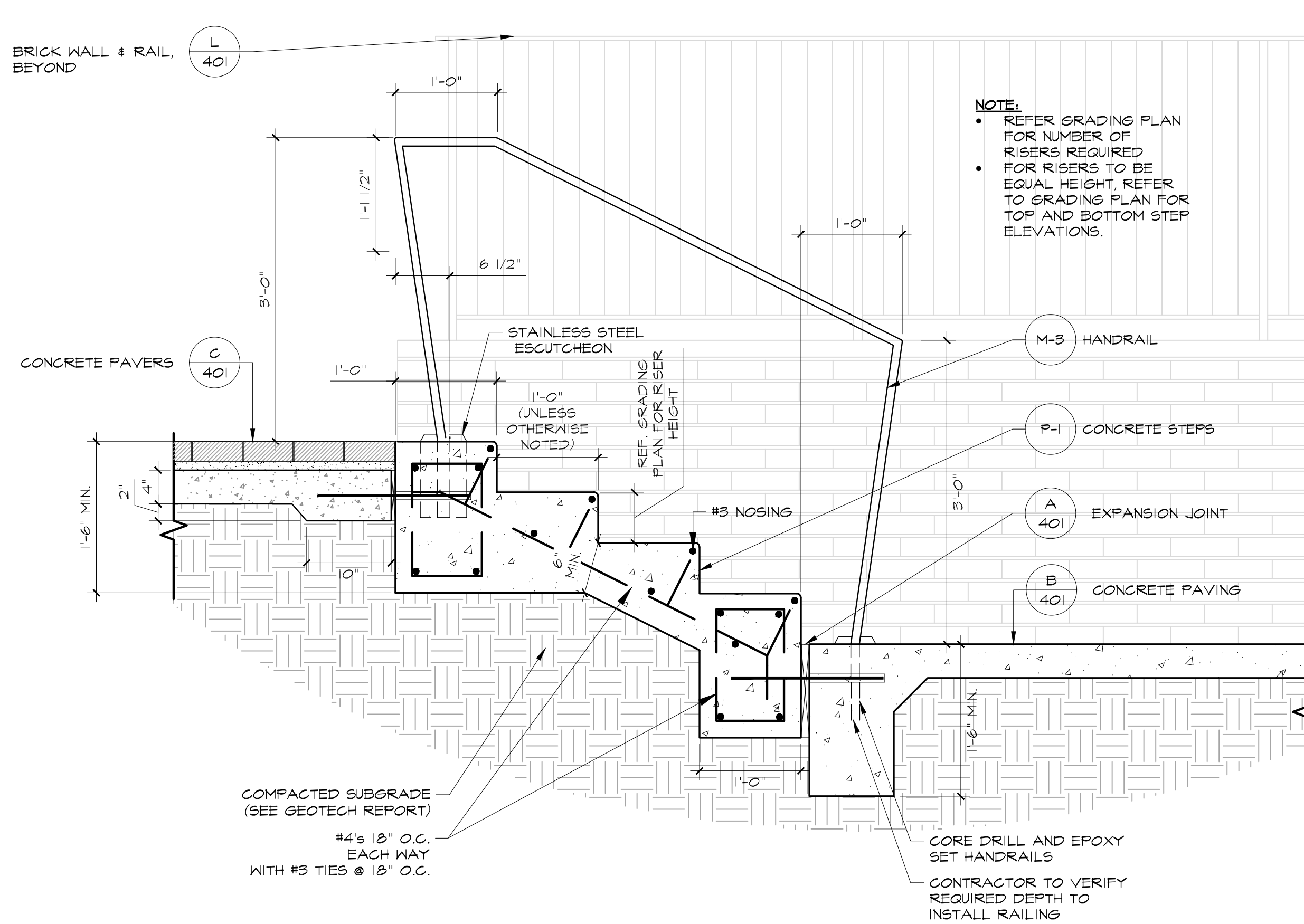


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COMMISSION NUMBER	2387.04



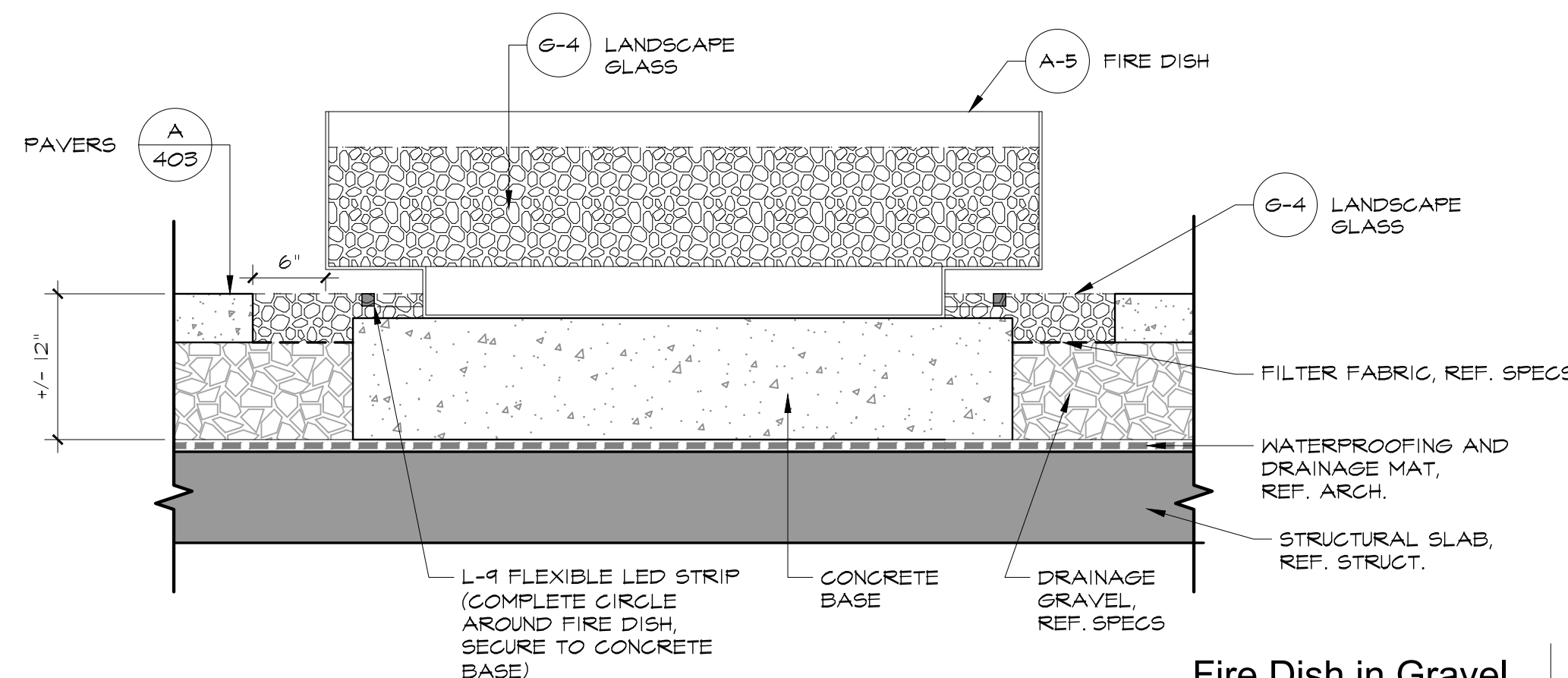
Brick Retaining Wall with Guardrail

Scale: 1" = 1'-0" L4.02



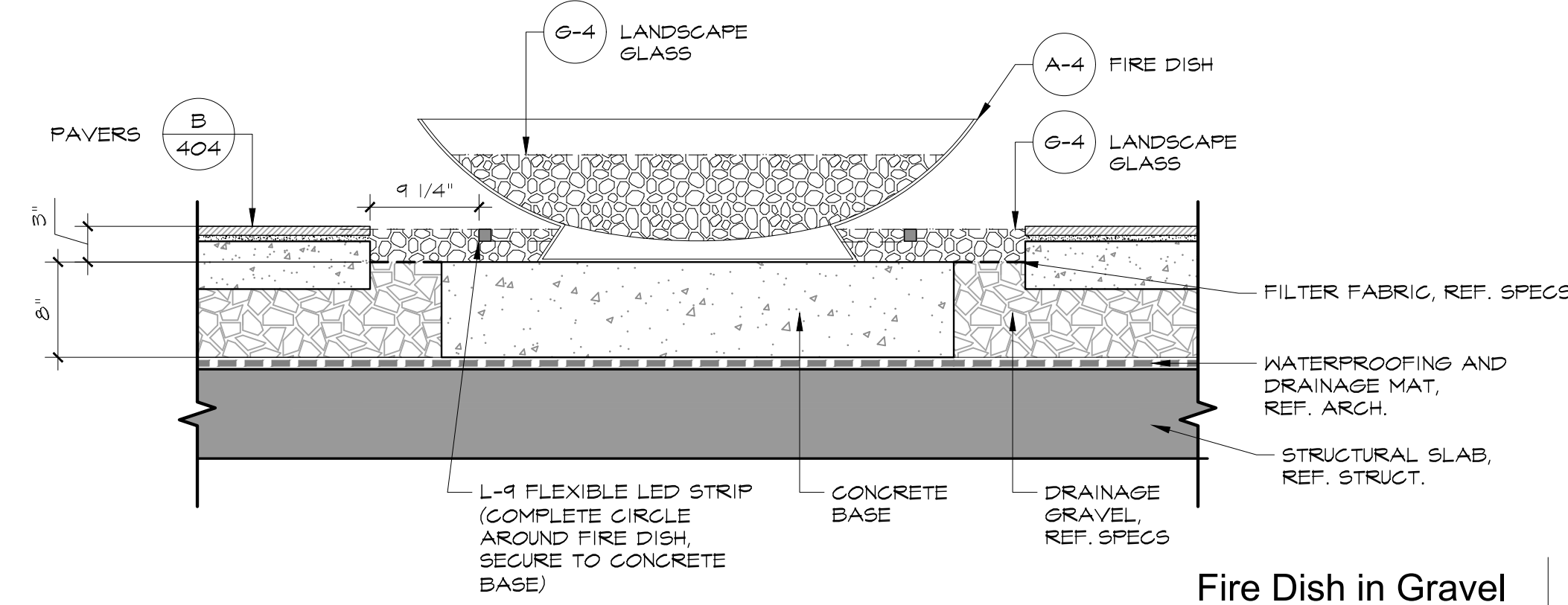
Concrete Steps, Typ.

Scale: 1" = 1'-0" L4.02



Fire Dish in Gravel

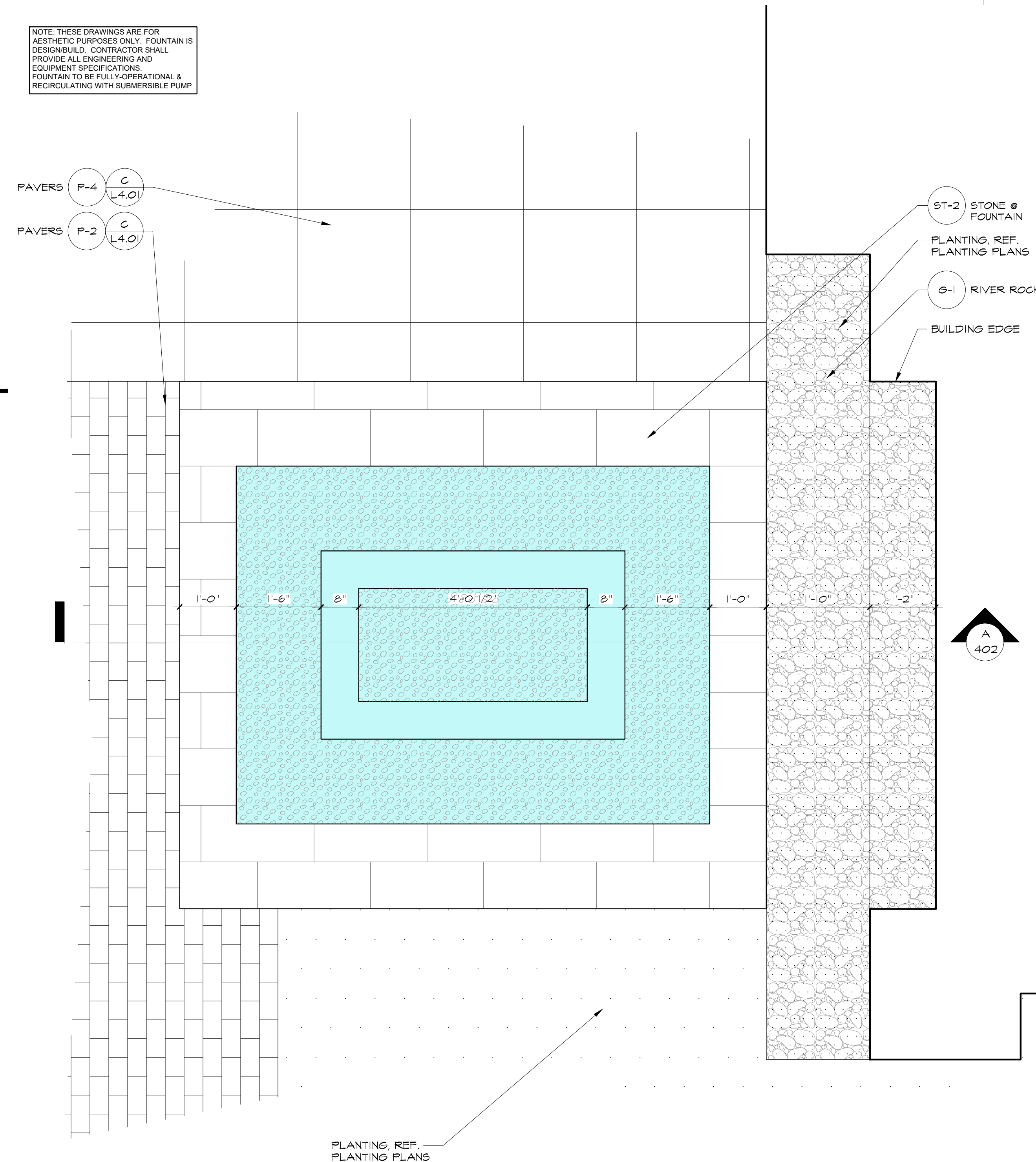
Scale: 1" = 1'-0" L4.02



Fire Dish in Gravel

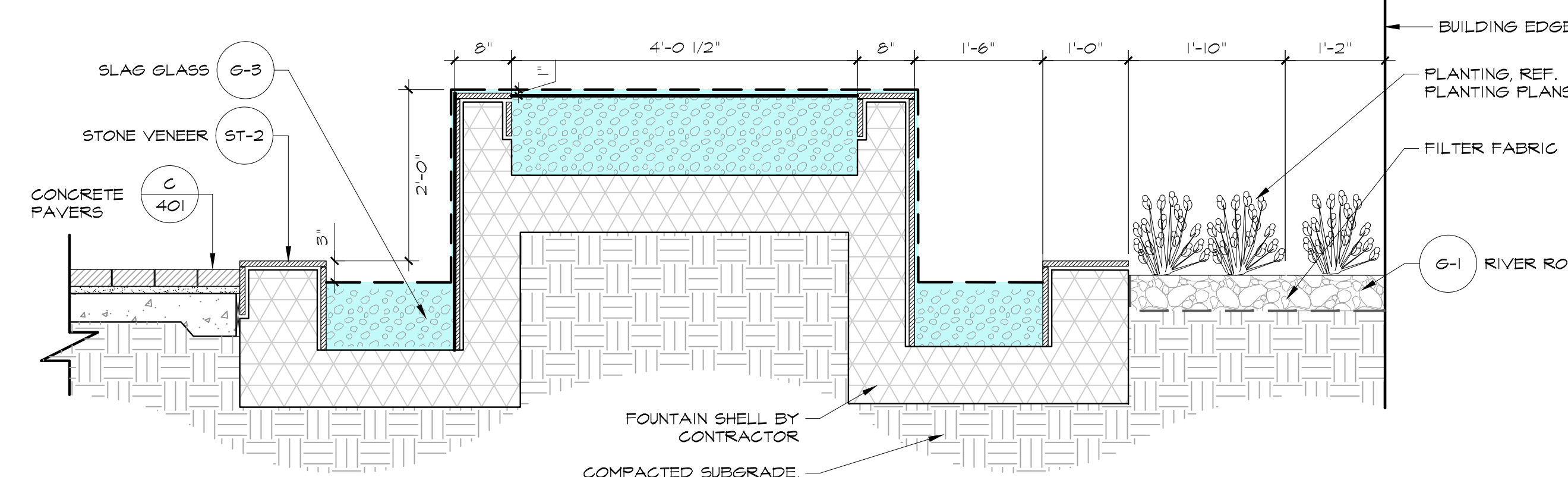
Scale: 1" = 1'-0" L4.02

NOTE: THESE DRAWINGS ARE FOR AESTHETIC PURPOSES ONLY. FOUNTAIN IS DESIGN-BUILD. CONTRACTOR SHALL PROVIDE ALL ENGINEERING AND EQUIPMENT SPECIFICATIONS. FOUNTAIN TO BE FULLY-OPERATIONAL & RECIRCULATING WITH SUBMERSIBLE PUMP.



Runnel Fountain @ Bar Countertop

Scale: 3/4" = 1'-0" L4.02



Raised Water Feature @ Entry

Scale: 3/4" = 1'-0" L4.02

CONSULTANTS

studioOutside

824 Exposition Avenue, Ste. 5
Dallas, Texas 75203
o214.954.7160
e214.954.7162

PROJECT TITLE

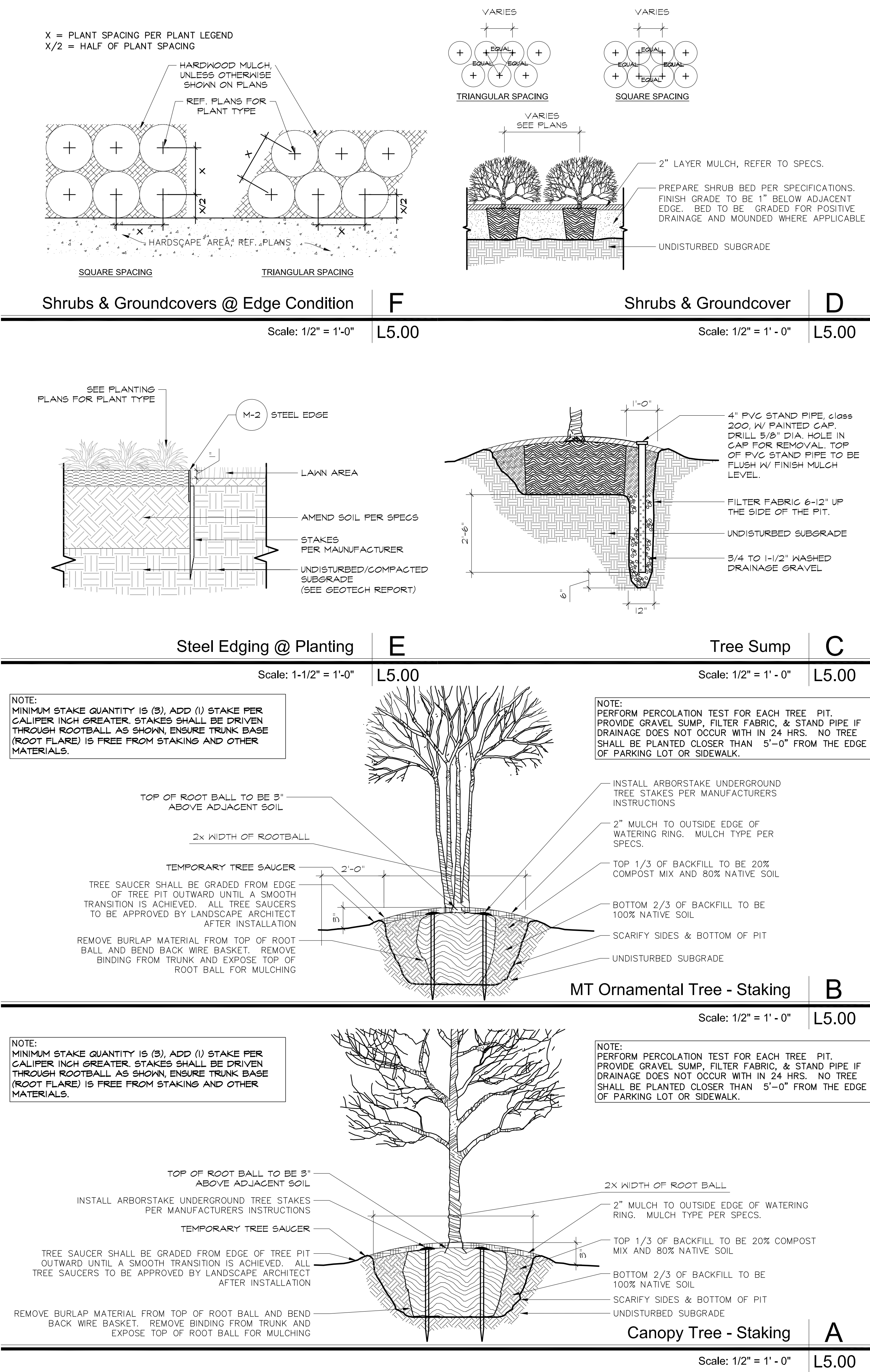
SUGAR HOUSE -
NORTH BUILDING

1121 E. Ashton Ave, Salt Lake City, UT

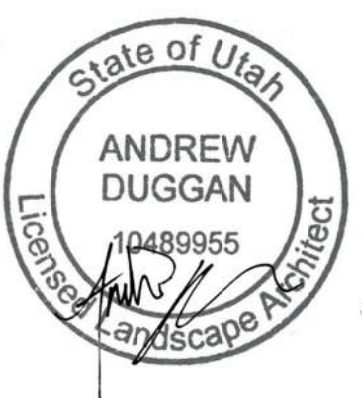
ISSUE #	DATE	DESCRIPTION
	06/25/2021	DESIGN DEVELOPMENT
	09/17/2021	ISSUED FOR PERMIT

PLANT LEGEND: NORTH BUILDING

PLANT ABBR.	Botanical name COMMON NAME	MINIMUM SIZE	MINIMUM HEIGHT	MINIMUM SPREAD	MINIMUM SPACING	COMMENTS
TREES						
AS	Acer grandidentatum 'Rocky Mountain Glow' ROCKY MOUNTAIN GLOW BIGTOOTH MAPLE	4" GAL.	18'	6'		NURSERY GROWN, STANDARD, MATCHED, FULL, WELL BRANCHED STRONG CENTRAL LEADER
BO	Betula occidentalis WATER BIRCH	4S GAL.				NURSERY GROWN, STANDARD, MATCHED, FULL, WELL BRANCHED MULTI-TRUNK (MIN. OF 3)
UP	Ulmus parvifolia ALLEE ELM EMER II	4" CAL.	16'	16'		NURSERY GROWN, STANDARD, MATCHED, FULL, WELL BRANCHED STRONG CENTRAL LEADER
ORNAMENTAL TREES						
AP	Acer palmatum var. atropurpureum 'Bloodgood' BLOODGOOD JAPANESE MAPLE	4S GAL.	10'	4'		NURSERY GROWN, STANDARD, MATCHED, FULL, WELL BRANCHED STRONG CENTRAL LEADER
AU	Amelanchier utahensis Koehne UTAH SERVICE BERRY	30 GAL.	8'	4'		NURSERY GROWN, STANDARD, MATCHED, FULL, WELL BRANCHED MULTI-TRUNK (MIN. OF 3)
CS	Cornus sericea 'Cardinal' CARDINAL RED OSIER DOGWOOD	15 GAL.	6'	5'		NURSERY GROWN, STANDARD, MATCHED, FULL, WELL BRANCHED MULTI-TRUNK (MIN. OF 3)
JB	Juniperus scopulorum 'Blue Arrow' BLUE ARROW JUNIPER	30 GAL.	8'	2'		NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN, STRONG CENTRAL LEADER
JS	Juniperus scopulorum 'Nichita Blue' NICHITA BLUE JUNIPER	30 GAL.	10'	4'		NURSERY GROWN, STANDARD, MATCHED, FULL, WELL BRANCHED STRONG CENTRAL LEADER
MA	Malus 'Radiant' RADIANT GRABAPPLE	4S GAL.	8'	5'		NURSERY GROWN, STANDARD, MATCHED, FULL, WELL BRANCHED MULTI-TRUNK (MIN. OF 3)
FR	Prunus virginiana 'Canada Red Select' CANADA RED SELECT CHOKECHERRY	4S GAL.	10'	5'		NURSERY GROWN, STANDARD, MATCHED, FULL, WELL BRANCHED STRONG CENTRAL LEADER
SHRUBS						
AH	Agave havardiana HARVARD AGAVE	24" BOX	24"	24"		NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN, PLANT AS SHOWN
GH	Cephalotaxus harringtonia 'Plania' YUKONIA PLUM YEW	5 GAL.	24"	24"		NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN, PLANT AS SHOWN
HP	Hesperaloe x 'Pink Parade' PINK PARADE RED YUCCA	5 GAL.	30"	24"		NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN, PLANT AS SHOWN
LC	Loropetalum chinense 'Shang-hi' PURPLE DIAMOND LOROPETALUM	5 GAL.	24"	24"		NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN, PLANT AS SHOWN
MC	Mahonia aquifolium 'Compacta' COMPACT OREGON GRAPE HOLLY	5 GAL.	24"	24"		NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN, PLANT AS SHOWN
MR	Mahonia repens CREEPING OREGON GRAPE	5 GAL.	24"	24"		NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN, PLANT AS SHOWN
PA	Polystichum acrostichoides CHRISTMAS FERN	3 GAL.	18"	18"		NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN, PLANT AS SHOWN
PE	Penstemon eatonii FIRECRACKER PENSTEMON	1 GAL.	12"	8"		NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN, PLANT AS SHOWN
SU	Salvia 'Ultra Violet' ULTRA VIOLET SAGE	3 GAL.	18"	18"		NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN, PLANT AS SHOWN
TM	Taxus x media 'Hicksii' HICKS YEW	15 GAL.	6'	2'		NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN, PLANT AS SHOWN
GROUNDCOVERS						
AC	Aquilegia chrysantha GOLDEN COLUMBINE	1 GAL.	10"	10"	15" O.C.	NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN.
AE	Aspidistra elatior CAST IRON PLANT	1 GAL.	18"	8"	12" O.C.	NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN.
GL	Chasmanthium latifolium INLAND SEA OATS	1 GAL.	15"	8"	18" O.C.	NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN.
CO	Carex oshimensis 'EverColor® Everest' EVERCOLOR EVEREST VARIEGATED SEDGE	1 GAL.	10"	10"	15" O.C.	NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN.
CT	Carex tumulicola BERKELEY SEDGE	1 GAL.	10"	12"	15" O.C.	NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN.
EH	Equisetum hyemale HORSETAIL REED	1 GAL.	12"	6"	12" O.C.	NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN.
EU	Eriogonum umbellatum v. aureum Kannah Creek KANNAH CREEK SULPHUR BUCKWHEAT	1 GAL.	8"	8"	12" O.C.	NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN.
FI	Festuca idahoensis Siskiyou Blue SISKIYOU BLUE IDAHO FESCUE GRASS	1 GAL.	12"	10"	12" O.C.	NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN.
IPBS	Iris pallida 'Variegata' VARIEGATED SHEET IRIS	1 GAL.	15"	12"	9" O.C.	NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN. 50/50 MIX ALTERNATE SPECIES
PC	Carex tumulicola BERKELEY SEDGE	1 BULB	10"	12"	9" O.C.	NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN.
PH	Paxistima canbyi CANBY'S MOUNTAIN-LOVER	1 GAL.	6"	10"	12" O.C.	NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN.
PH	Phloxis casmeriana KASHMIRE SAGE	1 GAL.	15"	10"	18" O.C.	NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN.
PV	Panicum virgatum Shenandoah SHENANDOAH SWITCHGRASS	5 GAL.	30"	24"	30" O.C.	NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN.
SHAH	Sporobolus heterolepis PSALMIE DROPSEED	1 GAL.	10"	12"	9" O.C.	NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN. 50/50 MIX ALTERNATE SPECIES
ZA	Allium hollandium PURPLE SEVENTHORN ALLIUM	1 BULB	NA	NA	9" O.C.	NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN.
ZS	Zauschneria garrettii Orange Carpet® ORANGE CARPET HUMMINGBIRD TRUMPET	1 GAL.	6"	10"	12" O.C.	NURSERY GROWN, MATCHED 4 WELL ROOTED, CONTAINER GROWN.



CERTIFICATION

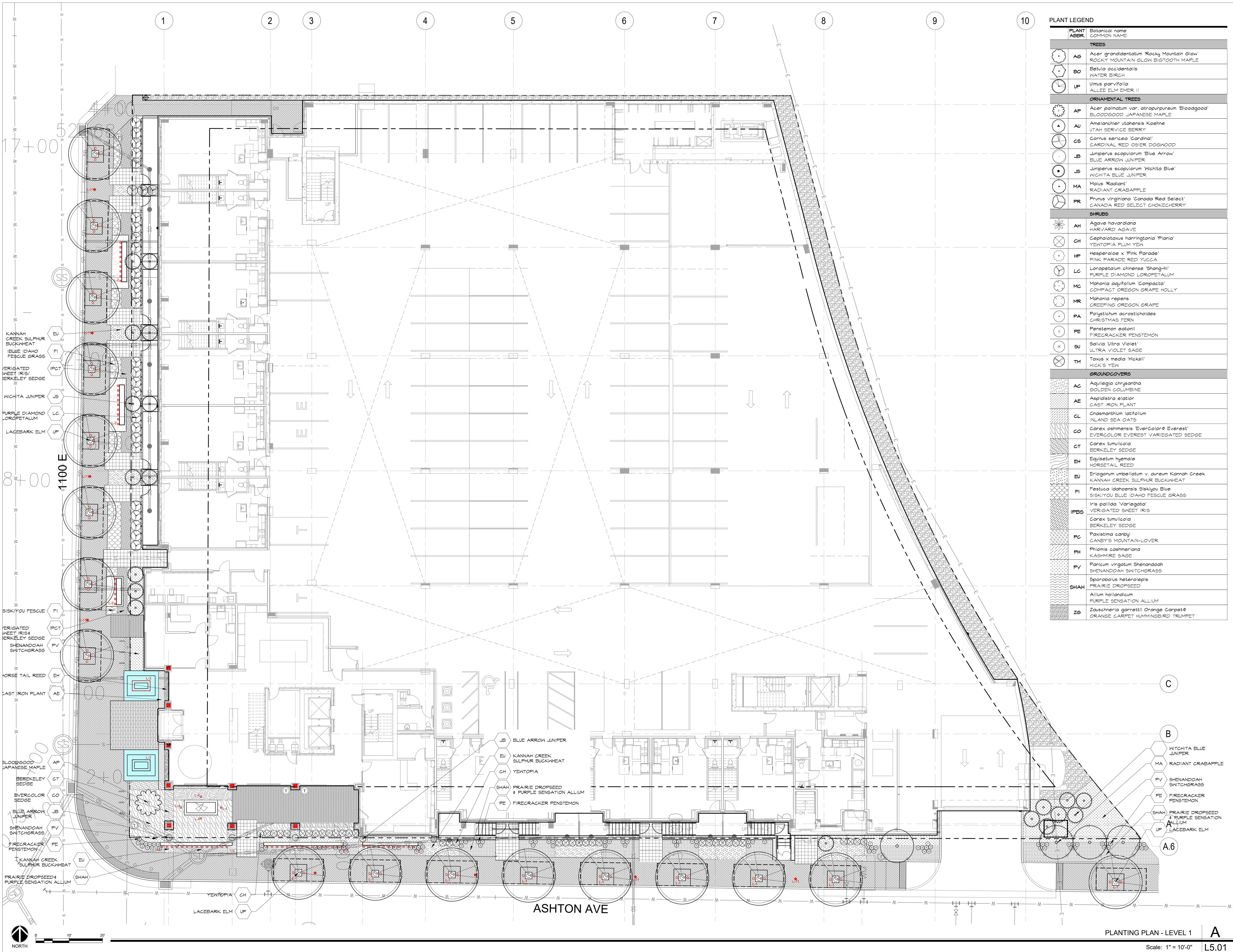


DRAWN BY: EH/AD
CHECKED BY: BH/EH
COMMISSION NUMBER: 2387.04
SHEET TITLE

PLANTING
LEGEND &
DETAILS

SHEET NUMBER

L5.00



PLANT LEGEND		
PLANT ABBR.	Botanical name	COMMON NAME
TREES		
AS	Acer grandidentatum	Rocky Mountain Elm
BO	Betula occidentalis	Water Birch
UP	Ulmus parvifolia	Allee Elm Emer II
ORNAMENTAL TREES		
AP	Acer palmatum var. atropurpureum	Bloodgood Japanese Maple
AU	Amelanchier utahensis	Koehne Utah Service Berry
CS	Cornus sericea 'Cardinal'	Cardinal Red Osier Dogwood
JB	Juniperus scopulorum	Blue Arrow Juniper
JS	Juniperus scopulorum	Wichita Blue Juniper
MA	Malus 'Radiant'	Radiant Crabapple
FR	Prunus virginiana 'Canada Red Select'	Canada Red Select Chokecherry
SHRUBS		
AH	Agave havardiana	Harvard Agave
CH	Cephalotaxus harringtonia	Plania Yextopia Elm Yew
HP	Hesperaloe x 'Pink Parade'	Pink Parade Red Yucca
LC	Loropetalum chinense 'Shang-hi'	Purple Diamond Loropetalum
MC	Mahonia aquifolium 'Compacta'	Compact Oregon Grape Holly
MR	Mahonia repens	Creeping Oregon Grape
PA	Polystichum acrostichoides	Christmas Fern
PE	Penstemon eatonii	Firecracker Penstemon
SU	Salvia 'Ultra Violet'	Ultra Violet Sage
TM	Taxus x media 'Hicksii'	Hicks Yew
GRANDCOVERS		
AC	Aquilegia chrysantha	Golden Columbine
AE	Aspidistra platensis	Cast Iron Plant
CL	Chasmodon latifolium	Inland Sea Oats
CO	Carex oshimensis 'EverColor Everest'	EverColor Everest Variegated Sedge
CT	Carex tumulosa	Berkeley Sedge
EH	Equisetum hyemale	Horsetail Reed
EU	Eriogonum umbellatum v. aureum	Kannah Creek Sulphur Buckwheat
FI	Festuca idahoensis	Siskiyou Blue Idaho Fescue Grass
IPBS	Iris pallida 'Variegata'	Variegated Sweet Iris
PC	Carex tumulosa	Berkeley Sedge
PH	Panicum canbyi	Canby's Mountain-Lover
PV	Phlox cashmeriana	Kashmir Sage
PV	Panicum virgatum	Shenandoah Switchgrass
SHAH	Sporobolus heterolepis	Prairie Dropseed
SHAH	Allium hollandicum	Purple Sensation Allium
ZG	Zauschneria garrettii	Orange Carpet Hummingbird Trumpet

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PROJECT TITLE

SUGAR HOUSE - NORTH BUILDING

1121 E. Ashton Ave, Salt Lake City, UT

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	09/17/2021	ISSUED FOR PERMIT

CERTIFICATION

State of Utah
ANDREW DUGGAN
10489955
Landscape Architect

DRAWN BY	EH / AD
CHECKED BY	BH / EH
COMMISSION NUMBER	2367.04

SHEET TITLE

PLANTING PLAN - LEVEL 1

SHEET NUMBER

A

L5.01

Scale: 1" = 10'-0"

L5.01

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811

Know what's below.
Call before you dig.

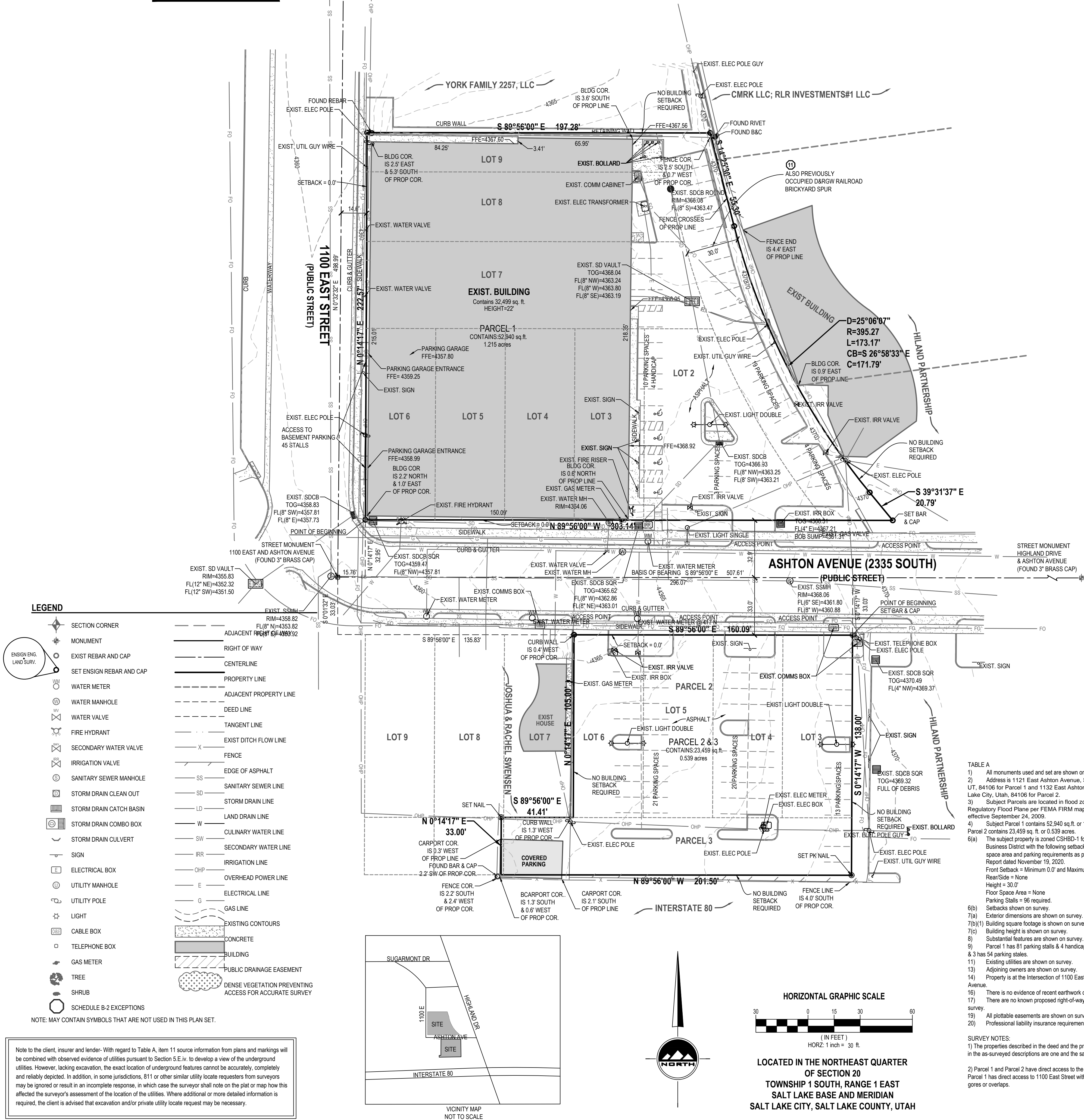
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

ELEV = 4358.43'

BENCHMARK

STREET MONUMENT
1100 EAST AND ASHTON AVENUE
(FOUND 3" BRASS CAP)

ELEV = 4358.43'



SURVEYOR'S NARRATIVE

I, Patrick M. Harris do hereby state that I am a Professional Land Surveyor and that I hold certificate no. 286882 as prescribed by the laws of the State of Utah and represent that I have made a survey of the following described property. The Purpose of this survey is to provide an ALTANSPS Land Title Survey for use by the client. The Basis of Bearing is the line between a Street Monument at the Intersection of Ashton Avenue and 1100 East Street and a Street Monument at the Intersection of Ashton Avenue and Highland Drive measuring South 89°56'00" East 507.61 feet.

COMMITMENT DESCRIPTIONS

PARCEL 1:
LOTS 2, 3, 4, 5, 6, 7, 8 AND THE SOUTH 22.5 FEET OF LOT 9, IN BLOCK 2, OF GRANITE SUBDIVISION, PLAT 'A', ACCORDING TO THE OFFICIAL PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SALT LAKE COUNTY, UTAH.

ALSO, INCLUDING ALL THAT TRACT OF LAND BEING 30 FEET IN WIDTH PREVIOUSLY OCCUPIED BY THE D & RGW RAILROAD KNOWN AS THE BRICKYARD SPUR WHERE IT ADJOINS THE PROPERTY DESCRIBED ABOVE IN BLOCK 2, OF GRANITE SUBDIVISION, PLAT 'A', EXTENDING FROM THE NORTH LINE OF ASHTON AVENUE TO A LINE PARALLEL WITH ASHTON AVENUE 22.5 FEET NORTH OF ASHTON AVENUE WHICH LINE IS AN EXTENSION OF THE LINE 22.5 FEET NORTH OF THE SOUTH LINE OF LOT 3, IN BLOCK 2, GRANITE SUBDIVISION, PLAT 'A'.

PARCEL 2:
LOTS 3, 4, 5 AND 6, IN BLOCK 1, OF GRANITE SUBDIVISION, PLAT 'A', ACCORDING TO THE OFFICIAL PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SALT LAKE COUNTY, UTAH.

ALSO INCLUDING THE FOLLOWING:
COMMENCING 78.5 FEET EAST OF THE SOUTHWEST CORNER OF LOT 9, IN BLOCK 1, OF GRANITE SUBDIVISION, PLAT 'A'; AND RUNNING THENCE EAST 201.5 FEET; THENCE SOUTH 33 FEET; THENCE WEST 201.5 FEET; THENCE NORTH 33 FEET TO THE POINT OF COMMENCEMENT.

PARCEL 2 IS ALSO DESCRIBED AS FOLLOWS PURSUANT TO THAT QUIT CLAIM DEED RECORDED DECEMBER 30, 1999, AS ENTRY No. 7545320, IN BOOK 8333, AT PAGE 2314 OF OFFICIAL RECORDS, TO WIT:

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 6, IN BLOCK 1 OF GRANITE SUBDIVISION, PLAT 'A', ACCORDING TO THE OFFICIAL PLAT RECORDED IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER, SAID NORTHWEST CORNER BEING SOUTH 00°01'32" EAST ALONG THE MONUMENT LINE 33.03 FEET AND SOUTH 89°56'00" EAST ALONG SAID RIGHT-OF-WAY LINE OF ASHTON AVENUE FROM THE BRASS CAP MONUMENT FOUND AT THE INTERSECTION OF ASHTON AVENUE AND 1100 EAST STREET, AND RUNNING THENCE SOUTH 89°56'00" EAST ALONG SAID RIGHT OF WAY LINE 160.09 FEET; THENCE SOUTH 00°14'17" WEST 138.00 FEET; THENCE NORTH 89°56'00" WEST 201.50 FEET; THENCE NORTH 00°14'17" EAST 33.00 FEET TO A POINT ON THE SOUTH BOUNDARY LINE OF SAID GRANITE SUBDIVISION; THENCE SOUTH 89°56'00" EAST ALONG SAID SOUTH LINE 41.41 FEET TO THE SOUTHWEST CORNER OF SAID LOT 6; THENCE NORTH 00°14'17" EAST ALONG THE WEST LINE OF SAID LOT 6 A DISTANCE OF 105.00 FEET TO THE POINT OF BEGINNING.

AS-SURVEYED DESCRIPTION

PARCEL 1
Beginning at the southwest corner of Lot 6, Block 2, Granite Subdivision, Plat A, said point also being South 89°56'00" East 15.76 feet along the center line of Ashton Avenue and North 00°14'17" East 32.95 feet from a Street Monument at the Intersection of 1100 East Street and Ashton Avenue and running:

thence North 00°14'17" East 222.57 feet along the west line of said Block 2, Granite Subdivision, Plat A;
thence South 89°56'00" East 197.28 feet to the Northwest Corner Lot 2 of said Block 2, Granite Subdivision, Plat A;
thence South 14°25'30" East 55.30 feet along the west line of said Lot 2;
thence Southeast 173.17 feet along the arc of a 395.27 foot radius curve to the left (center bears North 75°34'30" East and the chord bears South 26°58'33" East 171.79 feet with a central angle of 25°06'07") along said west line of said Lot 2;
thence South 39°31'37" East 20.79 feet along said west line to the Southwest Corner of said Lot 2;
thence North 89°56'00" West 303.14 feet along the south line of said Block 2, Granite Subdivision, Plat A to the point of beginning.

Contains 52,940 square feet or 1.215 acres.

PARCELS 2 & 3
Beginning at the northeast corner of Lot 3, Block 1, Granite Subdivision, Plat A, said point also being South 89°56'00" East 296.07 feet along the center line of Ashton Avenue and South 00°14'17" West 33.03 feet from a Street Monument at the Intersection of 1100 East Street and Ashton Avenue and running:

thence South 00°14'17" West 138.00 feet along and beyond the east line of said Lot 3 to a point on the north line of Interstate 80;
thence North 89°56'00" West 201.50 feet along said north line of Interstate 80;
thence North 00°14'17" East 33.00 feet to a point on the south line of said Block 1, Granite Subdivision, Plat A;
thence South 89°56'00" East 41.41 feet along said south line to the southwest corner of Lot 6 of said Block 1, Granite Subdivision, Plat A;
thence North 00°14'17" East 105.00 feet along the west line of said Lot 6 to a point on the north line of said Block 1, Granite Subdivision, Plat A;
thence South 89°56'00" East 160.09 feet along said north line of Block 1, Granite Subdivision, Plat A to the point of beginning.

Contains 23,459 square feet or 0.539 acres.

Said property is also known by the street address of: Parcel 1: 1121 East Ashton Avenue, Salt Lake City, UT 84106 Parcel 2: 1132 East Ashton Avenue, Salt Lake City, UT 84106

To: Slopeside Capital, LLC, a Delaware limited liability company, Salt Lake City Properties 1, LLC, a Delaware limited liability company, FIT (UT) QRS 14-92, Inc., a Delaware corporation, First American Title Insurance Company and First American Title Insurance Company National.

This is to certify that this map or plat and the survey on which it is based were made in accordance with 2016 Minimum Standard Detail Requirements for ALTANSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16, 17, 19 and 20 of Table A hereof.

The field work was completed on February 18, 2021

Date of Plat or Map: February 19, 2021

3/2/21
Date Patrick M. Harris License No. 286882

Note: For conditions of record not shown hereon as well as specific references to items in the title report, please refer to a title report supplied by First American Title Insurance Company National, of New York City, New York under Commitment No. 3020-1039347, dated effective November 2, 2020.

Schedule B-2 Exceptions:

(The following affects Parcel 2)

9. General property taxes for the year 2020 have been assessed in the amount of \$3,624.08, and are now due and payable, but will not become delinquent until November 30, Tax Parcel No. 16-29-254-009-0000. (non survey related)

10. Any charge upon the Land by reason of its inclusion in Salt Lake City.

11. Easements, notes and restrictions as shown on Granite Subdivision Plat A recorded May 04, 1915 as Entry No. 341090 in Book G of Plats at Page 35. (shown on survey)

(The following affects Parcel 2)

12. Access is limited to those openings permitted by the State of Utah as evidenced by that certain Quit Claim Deed (Controlled Access) recorded June 06, 1998 as Entry No. 1594638 in Book 1510 at Page 310 of Official Records. (non survey related)

13. Notice of Adoption of Redevelopment Plan Entitled "Sugar House Neighborhood Development Plan" and dated September 19, 1986 recorded November 10, 1986 as Entry No. 4346572 in Book 5638 at Page 887 of Official Records. (blanket in nature)

14. "The Salt Lake City Ordinance No. 19 executed by the City Council of Salt Lake Adopting the City Wide Transportation Master Plan of 1996" recorded July 17, 1996 as Entry No. 6408191 in Book 7445 at Page 1854 of Official Records. (non survey related)

(The following affects Parcel 1)

15. Terms and conditions of Abstract of Findings and Order recorded October 06, 1999 as Entry No. 7483323 in Book 8314 at Page 3822 of Official Records.

16. Terms and conditions as disclosed by Declaration and Grant of Parking Easement dated December 29, 1999 executed by TCC-BTS SLC Fitness, Inc., a Delaware corporation recorded December 30, 1999 as Entry No. 7545318 in Book 8333 at Page 2304 of Official Records. (blanket in nature)

17. An unrecorded Lease executed by FIT (UT) QRS 14-92, Inc., a Delaware corporation, as Lessor, and 24 Hour Fitness USA, Inc., a California corporation, as Lessee, as disclosed by Memorandum of Lease recorded December 30, 1999 as Entry No. 7545321 in Book 8333 at Page 2317 of Official Records. (non survey related)

Subordination, Non-Disturbance and Attornment Agreement wherein 24 Hour Fitness USA, Inc., a California corporation subordinates its leasehold interest in the land pursuant to a Lease, dated August 06, 1999, to that certain Deed of Trust executed by FIT (UT) QRS 14-92, Inc., a Delaware corporation as Trustor, in favor of Zions First National Bank, a national banking association as Beneficiary in the amount of \$3,400,000.00, and subject to the terms and provisions of the Subordination, Non-Disturbance and Attornment Agreement recorded October 20, 2011 as Entry No. 11264205 in Book 9959 at Page 4948 of Official Records. (non survey related)

Release of Subordination, Non-Disturbance and Attornment Agreement and Estoppel Certificate recorded May 20, 2019 as Entry No. 12991266 in Book 10782 at Page 4136 of Official Records. (non survey related)

Defects, liens, encumbrances or other matters affecting the leasehold estate, whether or not shown by the public records are not shown herein.

18. Term Loan Trust Deed, Assignment of Rents, Security Agreement and Fixture Filing dated August 10, 2011 by and between FIT (UT) QRS 14-92, Inc., a Delaware corporation as Trustor in favor of Zions First National Bank, a national banking association as Beneficiary and Zions First National Bank, a national banking association as Beneficiary, to secure an original indebtedness of \$3,400,000.00 and any other amounts or obligations secured thereby, recorded August 10, 2011 as Entry No. 11225641 in Book 9942 at Page 2906 of Official Records. (non survey related)

Full Reconveyance recorded May 20, 2019 as Entry No. 12991264 in Book 10782 at Page 4134 of Official Records.

Note: The Company will require satisfactory proof of full payment of the debt secured by said mortgage or deed of trust prior to removing this exception or insuring the contemplated transaction.

19. An Assignment of Leases recorded August 10, 2011 as Entry No. 11225642 in Book 9942 at Page 2935 of Official Records, wherein FIT (UT) QRS 14-92, Inc., a Delaware corporation assigns all rents, leases, income and profits accruing from the land to Zions First National Bank, a national banking association. (non survey related)

20. Our search of the Public Records finds no outstanding Mortgages affecting the Land. (non survey related)

21. Any claim to (a) ownership of or rights to minerals and similar substances, including but not limited to ores, metals, coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel located on, on, or under the Land or produced from the Land, whether such ownership or rights arise by lease, grant, gift, conveyance, reservation, or otherwise; and (b) any rights, privileges, immunities, rights of way, and easements associated therewith or appurtenant thereto, whether or not the interests or rights excepted in (a) or (b) appear in the Public Records or are shown in Schedule B. (blanket in nature)

22. The State Construction Registry discloses the following Preliminary Notice(s): (None within the last 12 months) (non survey related)

ENSIGN

THE STANDARD IN ENGINEERING

SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
ALTA TERRA REAL ESTATE
3100 PINEBROOK ROAD, SUITE 1250-C
PARK CITY, UTAH, 84098
CONTACT:
MICHAEL AUGUSTINE
PHONE: 435-604-0840

SUGAR HOUSE

ALTANSPS LAND TITLE AND TOPOGRAPHY SURVEY

1121 EAST ASHTON AVENUE

SALT LAKE CITY, UTAH, 84106

PROFESSIONAL LAND SURVEYOR

3/2/21
No. 286882
PATRICK M. HARRIS

STATE OF UTAH

ALTANSPS
LAND TITLE &
TOPOGRAPHY SURVEY

PROJECT NUMBER
10322
PRINT DATE
2/19/21
DRAWN BY
B. GREENLEAF
CHECKED BY
P. HARRIS
PROJECT MANAGER
P. HARRIS

1 OF 1

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Notes:

1. Surface reflectances: Vertical/Horizontal - 50/20.

2. Calculation values are at height indicated in summary table.

3. Mounting heights are designated on drawing with "MH."

4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.

5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.

6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.

7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

PROJECT: SUGAR HOUSE
SALESPERSON: BILL GALVIN
SCALE: 1" = 20'-0"
CALC BY: AC
FILE: 211011_SUGAR HOUSE_LVL 01_V1

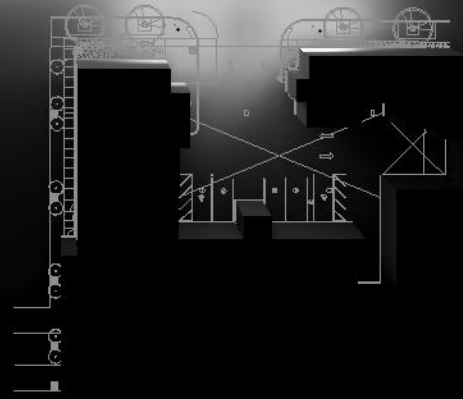
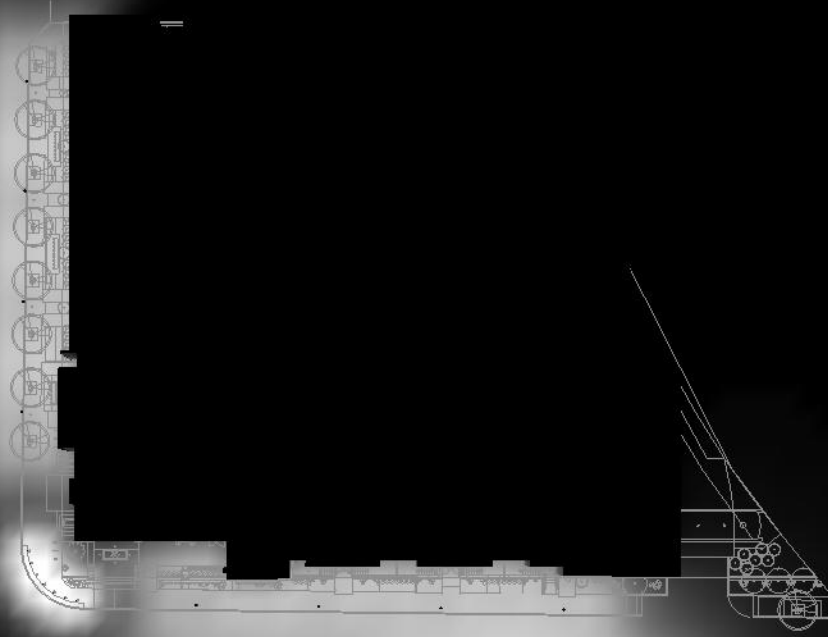
2021-10-11

Architectural Lighting Alliance

101 Turtle Creek Blvd. Dallas TX 75207
O 214-658-9000 | F 214-658-9002

www.alatx.com





ATTACHMENT C – PROPERTY AND VICINITY PHOTOS



Birdseye view of property



View of subject property looking north from Aston Avenue



View of Subject property looking southeast from 1100 East



Properties to the south (across Ashton Avenue)



Fairmont Park to the west of property (across 1100 East)

ATTACHMENT D –MASTER PLAN POLICIES

Plan Salt Lake:

Neighborhoods:

- Support neighborhoods and districts in carrying out the City's collective vision
- Create a safe and convenient place for people to carry out their daily lives
- Support policies that provide people a choice to stay in their home and neighborhood as they grow older and household demographics change
- Encourage and support local businesses and neighborhood business districts
- Provide opportunities for and promotion of social interaction

Commentary: The vision for the neighborhood and district is best outline in the Sugar House Master Plan. The proposed building is within keeping of that vision and is explained further below. It provides an excellent opportunity for people to live and carry out their daily lives due to the proximity to services, businesses, transit, jobs, and recreation. The tenants of the building will help support area businesses. The building will include amenity space such as a theater, gym, pool area, lobby, and other spaces that provide opportunity for social interaction.

Growth:

- Encourage a mix of land uses
- Promote infill and redevelopment of underutilized land
- Accommodate and promote an increase in the City's population
- Provide access to opportunities for a healthy lifestyle (including parks, trails, recreation, and healthy foods)

Commentary: The proposed building includes residential units and small-scale commercial uses. The property was previously a fitness center but did not maximize building potential on the site. The building will add 228 dwelling units and have access to parks and trails.

Housing:

- Encouraging housing options that accommodate aging in place
- Direct new growth towards areas with existing infrastructure and services that have the potential to be people-oriented
- Promote high density residential in areas served by transit

Commentary: The building includes units ranging from studio to 3-bedroom. The diversity of unit types provides opportunities for residents to stay in the same building through different life stages. The project includes amenities amenable to a wide range of ages and family types. The area includes existing infrastructure and is people-oriented with a good mix of uses and access to parks and transit.

Transportation and Mobility:

- Encourage transit-oriented development

Air Quality:

- Reduce greenhouse gas emissions

Commentary: The project is within walking distance to the S-Line. The neighborhood includes parks, employment opportunities, shopping, recreation, and many other services that are accessible without a car.

Beautiful City:

- Use art to create and reinforce a sense of place, including embedded art in infrastructure of all sizes
- Create opportunities to connect with nature in urban areas

Commentary: The proposal includes space for murals on both the north and east sides of the building. The property has direct connectivity to Fairmont Park.

Economy:

- Support the growth of small businesses, entrepreneurship, and neighborhood business nodes

Commentary: The proposed building includes a maker space that could encourage entrepreneurship. It also includes space for a coffee shop or other small business.

Sugar House Master Plan:**Future Land Use Plan:**

Commentary: The future land use map designates this area as Business District Mixed Use- Town Center Scale. The high-density residential use with neighborhood scale commercial is appropriate for that designation. It provides patrons for local businesses and add vibrancy to the area. The proximity to transit and density of the development ensures a pedestrian oriented focus.

Mobility, Access, and the Pedestrian Experience:

Commentary: The building is designed to enhance the pedestrian experience through the use of high-quality materials, extensive glass, and a scale that relates to the pedestrian. The building has been stepped back above the 3rd level to better relate to the human scale. The site uses pavers, benches, water features, and landscaping to enhance the pedestrian experience. The project is in close proximity to mass transit options, businesses and services that are needed for everyday living, and recreational opportunities.

Urban Design Element:

Commentary: The quality of the architecture and site layout are harmonious with the area and add to the pedestrian focus desired by the master plan. Most of the design guidelines in the Sugar House Master Plan are echoed by the Design Review guidelines in the zoning ordinance. An analysis of those standards has been provided in [Attachment F](#) of this report.

ATTACHMENT E –ANALYSIS OF ZONING STANDARDS

21A.26.060: This section of the City’s ordinances governs the zoning requirements of the CSHBD1 and 2 Zoning Districts. A table with an analysis of these standards is provided below:

Standard	Finding	Rationale
Purpose Statement: The purpose of the CSHBD Sugar House Business District is to promote a walkable community with a transit oriented, mixed use town center that can support a twenty four (24) hour population. The CSHBD provides for residential, commercial and office use opportunities, with incentives for high density residential land use in a manner compatible with the existing form and function of the Sugar House master plan and the Sugar House Business District.	Complies	The development is oriented to the street, incorporates pedestrian friendly design, and provides an appropriate density of housing to help support a mixed-use town center. The proposal is compatible with applicable master plans.
Uses: Uses in the CSHBD Sugar House Business District as specified in section 21A.33.030 , "Table Of Permitted And Conditional Uses For Commercial Districts", of this title are permitted, subject to the general provisions set forth in section 21A.26.010 of this chapter and this section.	Complies	The proposed multi-family residential development is a permitted use in the CSHBD-1 district.
Conformance With Adopted Business District Design Guideline Handbook: All new construction of principal buildings and additions that increase the off street parking requirement shall be subject to and shall conform with the adopted Business District design guidelines handbook located as an appendix section in the Sugar House master plan	Complies	The site and architecture of the proposed building is generally aligned with adopted design guidelines. Additional analysis can be found in Attachment D of this report.
Design Review: All new construction of principal buildings that exceed fifty feet (50') in height in the CSHBD1 District or thirty feet (30') in height in the CSHBD2 District or twenty thousand (20,000) square feet in size in either district shall be subject to design review. The Planning Commission has the authority to approve projects through the design review process. Design review shall be approved in conformance with the Business District Design Guideline Handbook and the provisions of chapter 21A.59 of this title.	Complies: subject to Planning Commission approval	Design review compliance to be determined by the Planning Commission.

Minimum Lot Size: None Required	Not Applicable	No minimum lot size is required.
<p>Minimum Yard Requirements:</p> <ol style="list-style-type: none"> 1. Front and Corner Side Yards: No minimum yard is required. 2. Maximum Setback: The maximum setback is fifteen feet (15') 3. Interior Side Yards: None Required. 4. Rear Yards: No minimum rear yard is required. 5. Buffer Yards: All lots abutting a lot in a Residential District shall conform to the buffer yards and landscape requirements of chapter 21A.48 of this title. 	Complies	<ol style="list-style-type: none"> 1. No minimum is required; the Applicant has set the building back from the front property line by zero feet (0') to four feet eight inches (4'8"). It should be noted that the current version of the plans show one minor encroachment by a portion of a stairwell into the right-of-way along Ashton Avenue. That will need to be removed as part of the building permit approval and should not alter other portions of the site plan or building elevations. 2. The majority of the frontage along 1100 East is setback 4', with a maximum of 12'. The majority of façade along Ashton is setback 5' with a maximum of 15'. 3. The building proposes a 1' 6" side yard setback. 4. The building has a 6' rear yard setback. 5. Not applicable.
<p>Maximum Height:</p> <ol style="list-style-type: none"> 1. CSHBD1: <ol style="list-style-type: none"> a. The maximum height in the CSHBD1 Zone shall not exceed thirty feet (30') for those buildings used exclusively for nonresidential purposes. b. Additional building square footage may be obtained up to a maximum building height of one hundred five feet (105'); however, for each additional floor of nonresidential use above thirty feet (30'), one floor of residential use is required. c. The residential component may be transferred off site to another property within the CSHBD Zoning District in accordance with subsection I of this section. If the required residential component is transferred off site, the maximum nonresidential building height allowed shall be seventy five feet (75') shall be subject to the 	Complies	<ol style="list-style-type: none"> 1. The proposed building is 102' 6" in height from grade to the highest point of the roof and approximately 108' from grade to the top of the tallest parapet.

<p>requirements of subsection G1d of this section.</p> <p>d. Maximum building height may be obtained to one hundred five feet (105') for any building subject to at least ninety percent (90%) of all parking for said building being provided as structured parking, and in the case of a nonresidential building, the developer shall provide off site residential development that is equal to or greater than the square footage of the nonresidential building that exceeds thirty feet (30') in height.</p>		
<p>First Floor/Street Level Requirements: The first floor or street level space of all buildings within this area shall be required to provide uses consisting of residential, retail goods establishments, retail service establishments, public service portions of businesses, restaurants, taverns/brewpubs, bar establishments, art galleries, theaters or performing art facilities.</p>	Complies	<p>The ground floor of the proposed building consists of 12 residential units, a lobby, and leasing office.</p>
<p>Residential Requirement for Mixed Use Developments: For those mixed use developments requiring a residential component, the residential portion of the development shall be as follows:</p> <ol style="list-style-type: none"> 1. Located in the same building as noted in subsection G of this section, or 2. May be located on a different property in the area zoned CSHBD. For such off site residential configuration, the amount of residential development required is equal to the total amount of square footage obtained for the nonresidential floors rising in excess of thirty feet (30'), less any square footage of the required fifteen foot (15') step back noted in subsection G of this section. In addition, prior to the issuance of a building permit for the nonresidential structure, the applicant must identify specifically where the residential structure will 	Complies	<p>The primary use of the proposed building is residential.</p>

<p>be located in the area zoned CSHBD and enter into a development agreement with the City to ensure the construction of the residential structure in a timely manner. In such cases where the residential use is built off site, one of the following shall apply:</p> <ul style="list-style-type: none"> a. Construction of the off site residential use must be progressing beyond the footings and foundation stage, prior to the nonresidential portion of the development obtaining a certificate of occupancy, or b. A financial assurance that construction of the off site residential use will commence within two (2) yeas of receiving a certificate of occupancy for the nonresidential component of the development. The financial assurance shall be in an amount equal to fifty percent (50%) of the construction valuation for the residential component of the development by the building official. The City shall call the financial assurance and deposit the proceeds in the City's Housing Trust Fund if construction has not commenced within two (2) years of the issuance of the certificate of occupancy for the nonresidential component of the development. 		
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ATTACHMENT F – ANALYSIS OF DESIGN REVIEW STANDARDS

21A.37.050 General Design Standards

Standard	Finding	Rationale
<p>C. Glass:</p> <ol style="list-style-type: none"> 1. Ground Floor Glass: The ground floor building elevation of all new buildings facing a street, and all new ground floor additions facing a street, shall have a minimum amount of glass, or within a specified percentage range, between tree feet (3') and eight feet (8') above grade according to section 21A.37.060, table 21A.37.060 of this chapter. All ground floor glass shall allow unhampered and unobstructed visibility into the building for a depth of at least five feet (5'), excluding any glass etching and window signs when installed and permitted in accordance with chapter 21A.46, "Signs", of this title. The Planning Director may approve a modification to ground floor glass requirements if the Planning Director finds: <ol style="list-style-type: none"> e. The requirement would negatively affect the historic character of an existing building; f. The requirement would negatively affect the structural stability of an existing building; or g. The ground level of the building is occupied by residential uses that face the street, in which case the specified minimum glass requirement may be reduced by fifteen percent (15%). 2. Upper Floor Glass: Above the first floor of any multi-story building, the surface area of the façade of each floor facing a street must contain a minimum amount of glass according to section 21A.37.060, table 21A.37.060 of this chapter. 	Complies	<p>Ground Floor Glass: Table 21A.37.060 requires 40% of the area along the street-facing façade between three feet 3' and eight feet 8' to be glass. The proposal provides 50% facing Ashton Avenue and 51% facing 1100 E.</p> <p>Upper Floor Glass: Table 21A.37.060 does not require a minimum percentage of glass for upper floors in the CSHBD-1 zoning district.</p>
<p>D. Building Entrances: At least one operable building entrance on the ground floor is required for every street facing façade. Additional operable building entrances shall be required, at a minimum, at each specified length of street facing building façade according to section 21A.37.060, table 21A.37.060 of this chapter. The center of each additional entrance shall be located within six feet (6') either direction</p>	Complies	<p>Both street-facing facades include numerous building entrances into either common building gathering spaces or into one of the 12 townhome style residential units.</p>

of the specified location. Each ground floor nonresidential leasable space facing a street shall have an operable entrance facing that street and a walkway to the nearest sidewalk. Corner entrances, when facing a street and located at approximately a forty five degree (45°) angle to the two (2) adjacent building facades (chamfered corner), may count as an entrance for both of the adjacent facades.		
E. Maximum Length of Blank Wall: The maximum length of any blank wall uninterrupted by windows, doors, art or architectural detailing at the ground floor level along any street facing façade shall be as specified according to section 21A.37.060, table 21A.37.060 of this chapter. Changes in plane, texture, materials, scale of materials, patterns, art, or other architectural detailing are acceptable methods to create variety and scale. This shall include architectural features such as bay windows, recessed or projected entrances or windows, balconies, cornices, columns, or other similar architectural features. The architectural feature shall be either recessed a minimum of twelve inches (12”) or projected a minimum of twelve inches (12”).	Complies	Maximum Length of Blank Wall: The maximum length of a blank wall in the CSHBD-1 zone is 15’. The longest segment of blank wall along the street-facing façade is 6’. The building includes changes in material, windows, and doors to break up blank walls.
G. Upper Floor Step Back: 1. For street facing facades the first full floor, and all additional floors, above thirty feet (30’) in height from average finished grade shall be stepped back a minimum horizontal distance from the front line of building, according to section 21A.37.060, table 21A.37.060 of this chapter. An alternative to this street facing façade step back requirement may be utilized for buildings limited to forty five feet (45’) or less in height by the zoning ordinance: those buildings may provide a four foot (4’) minimum depth canopy, roof structure, or balcony that extends from the face of the building toward the street at a height of between twelve feet (12’) and fifteen feet (15’) above the adjacent sidewalk. Such extension(s) shall extend horizontally parallel to the street for a minimum of fifty percent (50%) of the face of the building and may encroach into a setback as permitted per section 21A.36.020, table 21A.36.020B,	Complies	<ol style="list-style-type: none"> 1. The proposed building includes a 15’ step back for the first full floor over 30’ along both the 1100 East and Ashton Avenue facing facades. 2. Met.

<p>“Obstructions in Required Yards”, of this title.</p> <p>2. For facades facing single- or two- family residential districts a public trail or public open space the first full floor, and all additional floors, above thirty feet (30’) in height from average finished grade shall be stepped back a minimum horizontal distance from the corresponding required yard setback (building line) according to section 21A.37.060, table 21A.37.060 of this chapter.</p>		
H. Exterior: All exterior lighting shall be shielded and directed down to prevent light trespass onto adjacent properties. Exterior lighting shall not strobe, flash or flicker.	Complies	The building lighting has been designed to be shielded and directed downwards without casting onto adjacent properties. A lighting and photometric plan has been provided in <u>Attachment B</u> of this report.
I. Parking Lot Lighting: If a parking lot/structure is adjacent to a residential zoning district or land use, any poles for the parking lot/structure security lighting are limited to sixteen feet (16’) in height and the globe must be shielded and the lighting directed down to minimize light encroachment onto adjacent residential properties or into upper level residential units in multi-story buildings. Lightproof fencing is required adjacent to residential properties.	Complies	Lighting for the parking lot is fully enclosed within the structure.
J. Screening of Mechanical Equipment: All mechanical equipment for a building shall be screened from public view and sited to minimize their visibility and impact. Examples of siting include on the roof, enclosed or otherwise integrated into the architectural design of the building, or in a rear or side yard area subject to yard location restrictions found in section 21A.36.020, table 21A.36.020B, “Obstructions in Required Yards”, of this title.	Complies	Mechanical systems are fully enclosed within the proposed structure or are behind parapet walls.

21A.59.050: Standards for Design Review: The following standards apply to all applications for design review in response to buildings over 50’ or 20,000 square feet in the CSHBD-1 zone:

Standard	Finding	Rationale
A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and	Complies	The proposed high-density residential development is directly aligned with the purpose statement for the CSHBD-1 zone. The project addresses the need for additional housing, high-quality urban development near transit, and many of the objectives of the Sugar House Master Plan.

adopted master plan policies and design guidelines governing the specific area of the proposed development.		
<p>B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.</p> <ol style="list-style-type: none"> 1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot). 2. Building(s) shall be sited close to the public sidewalk, following, and responding to the desired development patterns of the neighborhood. 3. Parking shall be located within, behind, or to the side of buildings. 		<ol style="list-style-type: none"> 1. The primary entrances to the building face Ashton Avenue and 1100 East. 2. The front facades of the building are situated within the designated setback area and have direct pedestrian connection to the sidewalk. The proposal replaces a former rear building façade that had no pedestrian connection or interaction with the sidewalk. 3. All parking for the project is located interior to the building or underground.
<p>C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.</p> <ol style="list-style-type: none"> 1. Locate active ground floor uses at or near the public sidewalk. 2. Maximize transparency of ground floor facades. 3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions. 4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces. 		<ol style="list-style-type: none"> 1. The ground floor includes 12 townhome style residential units with direct connection to the public sidewalk. It also includes a leasing office, coffee shop, and lobby. 2. The ground floor street-facing facades exceed the required 40% glass requirement and provide 50% and 51% glass respectively. 3. The building incorporates glazing, articulation, and material detail at a pedestrian scale to create the feel of traditional storefront elements. 4. The design features a recessed primary entrance facing Ashton Avenue and incorporates a plaza space with outdoor seating.
<p>D. Large building masses shall be divided into heights and sizes that relate to human scale.</p> <ol style="list-style-type: none"> 1. Relate building scale and massing to the size and scale of existing and anticipated 	<p>Complies</p>	<ol style="list-style-type: none"> 1. The building massing has been articulated to include multiple step backs. The primary step back at 36' provides a pedestrian scaled experience at the public sidewalk. 2. In addition to the primary step back, there are secondary step backs and horizontal

<p>buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis.</p> <ol style="list-style-type: none"> 2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height. 3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals. 4. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan. 		<p>breaks in the building massing that reduce the visual height and width of the building.</p> <ol style="list-style-type: none"> 3. The building features balconies and material transitions to give visual interest beyond the primary massing. 4. The spacing of the residential unit windows provide a human-scaled rhythm along both Ashton Avenue and 1100 East.
<p>E. Building facades that exceed a combined contiguous building length of 200 feet shall include:</p> <ol style="list-style-type: none"> 1. Changes in vertical plane (breaks in facade). 2. Material changes; and 3. Massing changes. 	Complies	<ol style="list-style-type: none"> 1. The building uses considerable amounts of glass and features breaks in plane and materials to reduce the visual length and size of the building and for it to relate to the human scale. 2. The building uses multiple colors of brick and stone on different planes to give variety and interest to the building while reducing the visual mass. 3. The primary step back helps the façade closest to the street have a smaller scale that is appropriate for the pedestrian experience.
<p>F. If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements:</p> <ol style="list-style-type: none"> 1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30"). 	Complies	<p>The project does not include privately-owned public space, other than the plaza like area included near the main building entrance. That space will feature a water feature, trees, and outdoor tables and chairs for public use.</p>

<ol style="list-style-type: none"> 2. A mixture of areas that provide seasonal shade. 3. Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two-inch (2") caliper when planted. 4. Water features or public art. 5. Outdoor dining areas; and 6. Other amenities not listed above that provide a public benefit. 		
<p>G. Building height shall be modified to relate to human scale and minimize negative impacts:</p> <ol style="list-style-type: none"> 1. Human scale: <ol style="list-style-type: none"> a. Utilize step backs to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans. b. For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height. 2. Negative impacts: <ol style="list-style-type: none"> a. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors. b. Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are 	<p>Complies</p>	<ol style="list-style-type: none"> 1. The building massing has been articulated to include multiple step backs. This creates a more human scale experience along the public sidewalk. The main step back creates a distinct base. Material changes and color help define the middle and top sections of the building. 2. The building has been appropriately modulated so that the street level experience is pedestrian scale and so that it steps back from neighboring buildings. The building is consistent with the potential height of buildings on neighboring properties. 3. The rooflines reflect the massing of the building in a cohesive manner. The rectilinear roof form is consistent with surrounding commercial structures. The variation gives visual interest. Level 4 of the building includes a large (12,350 square feet) rooftop courtyard with landscaping, a pool, and shared outdoor space.

<p>subject to the request for additional height.</p> <p>c. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.</p> <p>3. Cornices and rooflines:</p> <p>a. Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition.</p> <p>b. Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings.</p> <p>c. Green Roof And Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.</p>		
<p>H. Parking and on-site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway.</p>	<p>Complies</p>	<p>Parking for the project is located interior to the project and will feature one access point to reduce auto-pedestrian interaction.</p>
<p>I. Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (See subsection 21A.37.050K of this title.)</p>	<p>Complies</p>	<p>All waste and recycling containers will be stored interior to the building and will be fully screened from public view.</p>

<p>J. Signage shall emphasize the pedestrian/mass transit orientation.</p> <ol style="list-style-type: none"> 1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building. 2. Coordinate signage locations with appropriate lighting, awnings, and other projections. 3. Coordinate sign location with landscaping to avoid conflicts. 	<p>Complies with Staff recommendation</p>	<p>Signage for the building has not been finalized. The signage shown on renderings is conceptual only. When proposed, it will need to meet these standards. Staff is recommending approval for signage be delegated to staff.</p>
<p>K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals.</p> <ol style="list-style-type: none"> 1. Provide streetlights as indicated in the Salt Lake City Lighting Master Plan. 2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and up lighting directly to the sky. 3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety. 	<p>Complies</p>	<ol style="list-style-type: none"> 1. Streetlights are shown according the Salt Lake City Lighting Master Plan. 2. Lighting fixtures have been directed downwards or shielded to avoid light trespass on neighboring properties. 3. Building lighting will highlight architectural features of the building and be add to the pedestrian experience at the ground level.
<p>L. Streetscape improvements shall be provided as follows:</p> <ol style="list-style-type: none"> 1. One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the 	<p>Complies</p>	<ol style="list-style-type: none"> 1. Approved street tree species are shown on the plans to be no more than 30' on-center. 2. The plan features a mix of high-quality, durable, pavers used for the public sidewalk, at building entrances, and in the plaza area. The pavers for

<p>approval of the City's Urban Forester shall be placed for each 30 feet of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester.</p> <p>2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards:</p> <ul style="list-style-type: none"> a. Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur. b. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table. c. Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar-Reflective Index (SRI). d. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City. e. Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access 		<p>the public sidewalk are a 4" x 8" concrete paver. The primary building entrances and the plaza area feature 1 of 2 varieties of porcelain pavers. Secondary entrances use a 12" x 12" concrete paver. A hardscape plan has been included as sheet L2.01 of the plan set.</p>
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and comfort for people of all abilities.		
f. Asphalt shall be limited to vehicle drive aisles.		

ATTACHMENT G – DEPARTMENT REVIEW COMMENTS

The comments below were in response to the first review of the proposed project. Since that review, revisions have been made and plans updated. One minor encroachment remains from a single stairwell and will need to be removed. All departments, including Rocky Mountain Power, have indicated the Design Review can move forward and any additional corrections would be minor and could be resolved through the building permit process.

PLANNING DIVISION COMMENTS

Comments by: Eric Daems

Email: eric.daems@slcgov.com

Phone: 801-535-7236

Status: Make Corrections

Items to be addressed prior to public hearing:

- 21A.36.020.B- Obstructions in the Required Yard
 - The lower level entrances along the south side of the building are not permitted obstructions. An encroachment would be needed. Please see comments from other review departments about possible encroachment.
- 31A.37.050.H
 - Exterior lighting is to be directed downward. For the public hearing, at a minimum, I need acknowledgement of this. A photometric plan and lighting details can otherwise be provided for building permits.
- 21A.44.020.E.2.a
 - Parking spaces located adjacent to walls or columns need to be 1' wider than others for clearance and maneuverability purposes. This did not appear to be taken into consideration. If not, please recalculate provided parking spaces.
- 21A.58
 - Please show additional detail on proposed height as measured from finished grade. Identify and show heights of any elevator shafts, parapets screening mechanical equipment, or any other portions extending above the exterior roof.
- Sugar House Circulation & Streetscape Amenities
(<http://www.slcdocs.com/Planning/MasterPlansMaps/SHCP.pdf>)
 - Please use street furnishings, hardscape, and landscape designs from manual

Items that will need to be addressed prior to building permits, but not for the public hearing:

- 31A.37.050.H
 - Exterior lighting is to be directed downward. For the public hearing, at a minimum, I need acknowledgement of this. A photometric plan and lighting details can otherwise be provided for building permits.
 - You'll also want to look at the Design Guidelines for Lighting in the Sugar House Master Plan
- 21A.46
 - If signage is proposed for final project, please meet the listed requirements. This can also be done as a separate permit later.
- 21A.48.030.B

- Please provide additional details for landscape plans (on-site) and in park strip) including location, quantity, size, and name of all proposed plants and trees and other details such as total landscaped area (percentage and square feet)
- Indicate height and materials of feature/screening walls and raised water basins
- You'll also want to look at the Design Guidelines for Landscaping in the Sugar House Master Plan
- 21A.58
 - Please add street address, tax parcel number, and legal descriptions on page G101B or suitable location
 - Please add zoning classification, zoning district boundaries, and preset use of property on page A010 or suitable location

PUBLIC UTILITIES DIVISION COMMENTS

Comments by: Jason Draper

Email: Jason.draper@slcgov.com

Phone: 801-483-6751

Status: Make Corrections

- Design Review does not provide utility permits or a review of the building permit.
- Offsite utility improvements will be required as part of this building permit.
- Water and sewer demands need to be submitted to determine the scope of the offsite improvements.
- There is storm drain and sewer manhole in the proposed paver areas. These facilities should not be in a paver area but in standard concrete or asphalt paving.
- Encroachment into the public way along Ashton will not be approved by public utilities. Distance to sewer main and other utilities must be maintained as well as future right of way corridor protection. There is also a lack of public benefit for this encroachment.

ENGINEERING DIVISION COMMENTS

Comments by: Scott Weiler

Email: scott.weiler@slcgov.com

Phone: 801-535-6159

Status: Make Corrections

- SLC will review project specifics when plans for a building permit are submitted but encroachments for private purposes are not allowed in the public way.
- Where vehicles are anticipated to travel, pavers are not allowed, even in a crosswalk.
- Public way improvements must meet APWA Standards.

TRANSPORTATION DIVISION COMMENTS

Comments by: Michael Barry

Email: Michael.barry@slcgov.com

Phone: 801-535-7147

Status: Make Corrections

1. The applicant needs to provide specific detail on the parking calculations which are based on the number and types of dwelling units (studio, 1-bedroom, 2+- bedroom). On sheet G101B it is

noted that 306 parking spaces are required but I don't know how they arrived at that number. The plans note that with a reduction (50%) in the minimum parking requirement for "Parking Exemptions For Proximity To Mass Transit" (21A.44.040.B.7), the minimum parking requirement is reduced to 187 parking spaces and the numbers just don't add up. From my calculations, the minimum parking requirement is satisfied with the number of parking spaces shown, but the documentation is needed.

2. I discussed the issue of encroachments (stairwells) with Transportation staff and we do not approve of the proposed encroachments. All private improvements should be constructed on private property unless there is a hardship involved or a compelling reason to do so.
3. In regard to the expansion of sidewalk on 1100 E, Transportation is generally in favor of this, though it is not apparent how this will be achieved (moving the curb?). More detail is also needed on the sidewalk design because it is also mentioned that the proposed 8' sidewalk will include 5'x5' tree wells which reduces the clear pedestrian pathway to 3'. In commercial districts such as the CSHBD-1, the clear pedestrian pathway should be at least 6'. We are certainly in favor of street trees, too, so hopefully we can work this out.
4. The intersection at 1100 E and Ashton Ave with the brick pavers is not typical and could present a maintenance issue in the future. Transportation is not opposed to this intersection treatment, but it is worth noting. I recommend that the developer set up a consultation with SLC Transportation staff.
5. The plans show a 12' green bike lane adjacent to their development which currently does not exist. If the developer wants to pursue installing the bike lane, they should contact/coordinate with SLC Transportation (801-535-6630).

Staff Response: At present, street improvements, including pavers and bike lanes, have been removed from the proposed plans. The developer will work directly with City Engineering and Transportation departments at a future date on any additional improvements to the right-of way.

ROCKY MOUNTAIN POWER COMMENTS

Comments by: Michael Lange

Email: Michael.lange@rockymountainpower.net

Phone: 801-499-7961

Status: Make Corrections

There does not appear to be sufficient space for the equipment required for RMP to provide requested service for this development. If they can obtain easements for equipment on the neighboring property for the south building it may be feasible, but the north building does not seem to have any viable options for accommodating the space required without reworking their existing design.

Staff Response: A follow up letter dated November 16, 2021 was provided by Rocky Mountain Power indicating that sufficient power is available within near proximity and the project could be served and that all electrical installations would be provided according to adopted standards.

ATTACHMENT H – PUBLIC PROCESS & COMMENTS

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- July 7, 2021 – 45-day notice of the project was provided to the Sugar House Community Council, other recognized community organizations, as well as property owners and residents within 300 feet of the proposal.
- July 7, 2021 – The Chair of the Sugar House Community Council reached out to let me know they had met with the applicant numerous times and were well versed with the project and would not likely have them come to another open house.

Notice of the public hearing for the proposal included:

- Public hearing notice mailed on January 14, 2022
- Public notice posted on City and State websites and Planning Division list serve on January 14, 2022
- Public hearing notice sign posted on the property January 10, 2022

Public Input:

- At the time of this staff report, no public comments had been received in regard to the proposal.