



Staff Report

PLANNING DIVISION
DEPARTMENT *of* COMMUNITY *and* NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Amy Thompson, Planning Manager, amy.thompson@slcgov.com or 385-226-9001

Date: October 13, 2021

Re: Conditional Use (PLNPCM2021-00682) – Bar Establishment at 1508 S 1500 East

Conditional Use

PROPERTY ADDRESS: 1508 S 1500 East
PARCEL ID: 16-16-110-028-0000
MASTER PLAN: East Bench
ZONING DISTRICT: CN (Neighborhood Commercial)

REQUEST: Salt Lake City has received an application from Scott Evans, the tenant leasing the property at approximately 1508 S 1500 East, for a Conditional Use for a bar establishment. The applicant intends to use the building for a wine bar and workspace. The property is located in the CN (Neighborhood Commercial) zoning district which requires a conditional use approval for a bar establishment 2,500 SF or less in floor area. The Planning Commission has the final decision-making authority for this type of conditional use request.

RECOMMENDATION: Planning Staff finds the project generally meets the applicable standards of approval and therefore recommends the Planning Commission approve the Conditional Use for the bar establishment with the following condition:

1. *The applicant shall record a copy of the approved Security and Operations Plan with the Salt Lake City Recorder's office as required for alcohol related uses.*

ATTACHMENTS:

- A. [Vicinity Maps](#)
- B. [Plans Submitted by Applicant](#)
- C. [Property and Vicinity Photos](#)
- D. [Master Plan Policies](#)
- E. [Zoning Standards](#)
- F. [Conditional Use Standards](#)
- G. [Public Process & Comments](#)
- H. [Department Review Comments](#)

PROJECT DESCRIPTION:

The applicant, Scott Evans, is proposing to operate a wine bar in an existing building located at 1508 S 1500 E. The proposed project includes 1397 SF of interior space and 189 SF of exterior patio space in front of the building adjacent to 1500 E.

The site includes a total of 6 on-site parking spaces. There are 4 parallel spaces along the south side of the building and two spaces to the rear of the building, including one accessible space. Additionally, a bike rack will be added in the rear area.

The projected hours of operation are from 5:00 PM to 12:00 AM, 7 days a week. The business anticipates having 3 employees during peak hours. The proposed bar has a total of approximately 47 seats – 30 interior seats (20 bar area and 10 shared bar area/office area) and 17 seats on the outdoor patio. Neighboring uses include Tulie Bakery, Caputos, and Einstein Bagels to the south, The Lounge and La Trattoria to the north, single family residential to the west, and across the street to the east, Kings English Bookshop, Mazza, Sweetaly Gelato, and Finca—a restaurant owned by the same applicant as this conditional use request.



Existing view of subject site. Proposed bar space is outlined in orange.



Rendering of proposed bar provided by applicant.

KEY CONSIDERATIONS:

The key considerations and concerns below have been identified through the analysis of the project, and neighbor and community input.

Consideration 1: Master Plan Policies & Standards of Approval

The East Bench Master Plan and Plan Salt Lake both support strengthening neighborhood business districts as part of the neighborhood fabric and look to these areas as an integral component of a neighborhood's identity as discussed in Attachment D. The proposed use will add to the existing mix of uses and contribute to the walkable nature of the neighborhood and provide additional opportunity for social interaction. The proposed use complies with the zoning standards specific to alcohol-related uses found in [Attachment E](#) and the Standards of Review for a Conditional Use found in [Attachment F](#).

Consideration 2: Neighborhood Compatibility and Impact

The existing building has been used as a retail service establishment in the past and is located within the 15th and 15th Neighborhood Business District. The building and the proposed use are compatible with the surrounding neighborhood and the business district as the area already contains many locally owned restaurants and shops. The 15th and 15th Business District serves many of the surrounding residential zoning districts. Many of the businesses in the area operate six to seven days a week.

The applicant's Security and Operations Plan addresses complaint and response with any neighbors or community council to resolve any neighborhood concerns. The Security Plan also addresses the occurrence of live music and states that due to the small size of the proposed bar, live music will be relegated to a small area and will be largely acoustic. In the instance where amplified music will be used, it will occur exclusively inside of the building and at a volume not to be disruptive of the residences west of the use and within approved guidelines set forth in chapter 9.28 of Salt Lake City zoning code.

The mix of uses found in the area creates an active neighborhood where there is movement of people at different hours of the day. The proposed bar establishment may increase some movement during evening and night hours, but it will be consistent with similar uses and restaurants in the area. The proposed outdoor patio area is located in front of the bar space (to the east) and this location is optimal in terms of proximity to the residential uses to the west, which are separated from the outdoor patio by the building, rear parking area and alley. All of the existing restaurant/bakery type uses in the 15th and 15th area have front patios and the proposed patio is consistent with the established pedestrian oriented neighborhood character.

Given the locational context, the proposed use is found to be compatible with the neighborhood mix and should not create negative impacts to existing uses.

NEXT STEPS:

Approval of Conditional Use

If the conditional use is approved, the applicant will be required to comply with all other department/division requirements and obtain all necessary building permits for the project.

Denial of Conditional Use

State and City code require that a Conditional Use be approved if reasonable conditions can be imposed on the use to mitigate any reasonably anticipated detrimental effects of the use. A conditional use can only be denied if the Planning Commission finds that reasonably anticipated detrimental effects cannot be mitigated with the imposition of reasonable conditions.

If the Conditional Use request is denied, the applicant would not be able to use the building for a bar establishment.

ATTACHMENT A – VICINITY MAPS



Zoning Map



Salt Lake City Planning Division 10/1/2021

ADJACENT LAND USES and ZONING

The land use and zoning surrounding the site include the following:

- **North:** CN – restaurant uses (The Lounge/La Trattoria)
- **South:** CN – restaurant uses (Tulie Bakery, Caputos, Einstein Bagels)
- **East:** CN – restaurant and retail uses across the street to the east (Kings English Bookshop, 15th Street Gallery, Mazza, Sweetaly Gelato, and Finca)
- **West:** R-1/5000 – single family residential uses

ATTACHMENT B – PLANS SUBMITTED BY APPLICANT

Casot Conditional Use

1508 S. 1500 E. SLC 84105

A Wine Bar and workspace is proposed for the 15th and 15th business district. The space is located in a CN District, and its proposed use is a bar establishment (2,500 square feet or less in floor area). Per Salt Lake City Zoning Ordinance 21A.33.030: TABLE OF PERMITTED AND CONDITIONAL USES FOR COMMERCIAL DISTRICTS, a Conditional Use Permit is required, and the space is subject to qualifying provisions:

10. The space will conform with the provisions in section [21A.36.300](#), "Alcohol Related Establishments", of the zoning ordinance.
 - A security and operations plan will be prepared and approved by the Salt Lake City Police Department and the Building Officials, and filed with the City Recorder's Office.
 - Review and approval of the site and floor plan proposed for the premises by the Salt Lake City Police Department.
 - Landscaping shall be located, and be of a type, that cannot be used as a hiding place.
 - The exterior of the premises shall be maintained free of graffiti.
11. In CN and CB Zoning Districts, the total square footage, including patio space, shall not exceed 2,200 square feet in total. Total square footage will include a maximum 1,750 square feet of floor space within a business and a maximum of 450 square feet in an outdoor patio area. This project includes 1397 SF of interior space and 189 SF of patio space.

Casot Conditional Use Information

1508 S. 1500 E. SLC 84105

1. Anticipated operating & delivery hours:
 - a. Operating: 5pm-12am — 7days.
 - b. Delivery: 9am-5pm. Monday-Saturday
2. Land uses adjacent to property:
 - a. South: Bakery (Tulie Bakery)
 - b. North: Restaurant (The Lounge/La Trattoria)
 - c. East, across street: Retail (The King' s English Bookshop), Restaurant (Finca — *same ownership as Casot*)
3. Employees working on site during highest shift: 3
4. Seats provided: Approximately 47 (30 @ indoor seating, 17 @ outdoor seating)
5. Responses from neighbors regarding discussion of project: The neighbors we have spoken to are very excited to have a quality wine bar in the neighborhood.

CASOT - Security and Operations Plan

1508 s. 1500 e. SLC, Utah 84105

Contact: Scott Evans, Co-owner, cell phone - 801-641-2328, scott@pagoslc.com

Hours of operation: Monday – Sunday: 5pm-12am

Code of conduct: A sign is posted upon entering and exiting the bar that states: “Please be respectful of our neighbors and keep the noise to a minimum when exiting and entering”

Complaint and response: Upon request, an CASOT owner will meet with the neighbors and community council to resolve any neighborhood complaints regarding the operations on the premises.

Sound Levels: Due to the small size of CASOT live music will be relegated to a small area of the restaurant (if/when it does occur) and will be largely acoustic. In the instance where amplified music will be used, it will occur exclusively inside the restaurant and at a volume not to be disruptive of the residences west of CASOT and within approved guidelines set forth in [chapter 9.28](#) of Salt Lake City zoning code for this district.

Smoking: CASOT will provide a smoking area in the parking area near our trash receptacle. It is more than 25 feet from any entrances or exits.

Graffiti Removal: All exterior walls, railings and other structures will be free of graffiti within 48 hours of the incident (weather permitting).

Bouncer: Due to the limited size of the bar area no bouncer is expected at this point. We will have a host/hostess at the entrance and several staff members and an MOD on hand to address any issues that may arise. If a bouncer is needed, we will immediately bring that position on. The primary business of CASOT is as a restaurant with a small tavern area.

Trash Management:

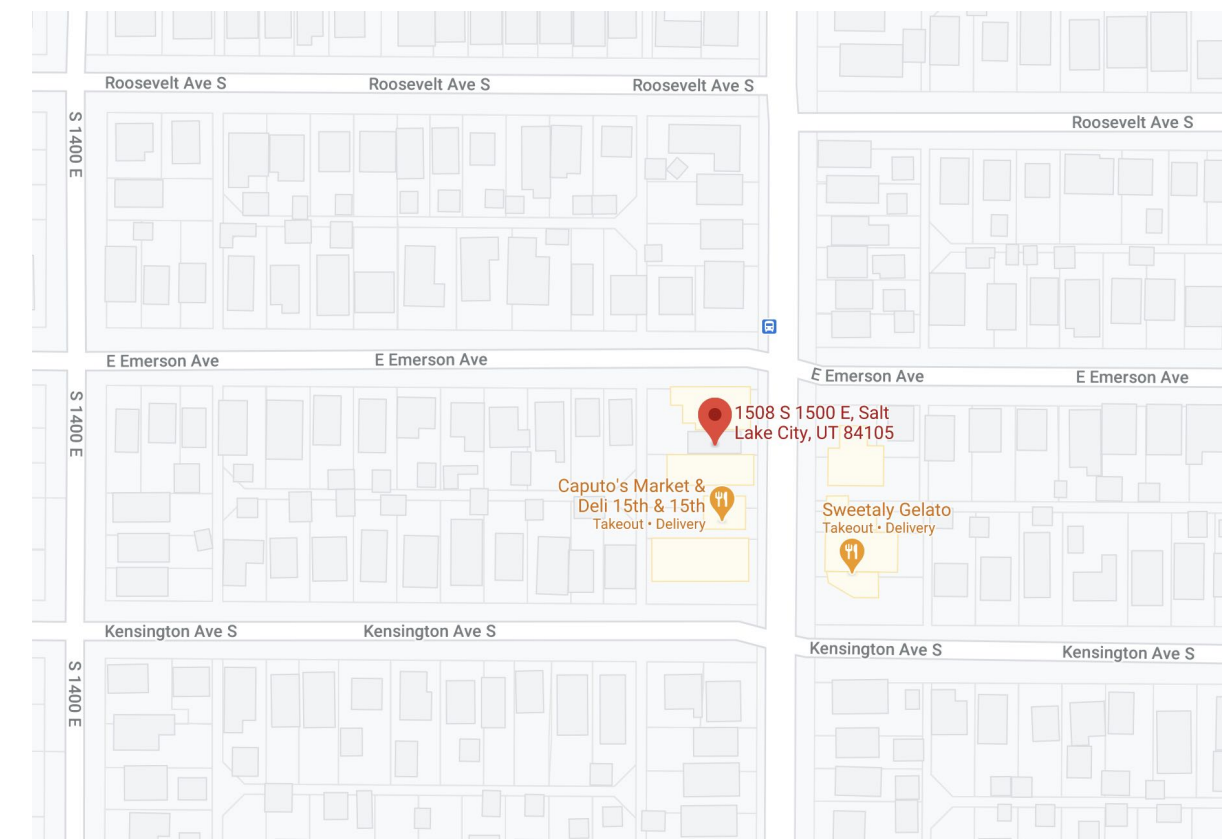
To maintain cleanliness, trash inside (portable trash receptacles) CASOT is emptied 2 times daily and the exterior trash bin (automated trash receptacle) is emptied 3 times weekly. The exterior trash bin will be emptied no earlier than 7am. In order to reduce noise complaints, trash will not be emptied between 10pm and 7am. Trash will be picked up by staff members each shift (10am & 10pm) and more specifically, trash will be removed each day prior to 8am of the following day/shift. The exterior trash enclosure is approved and required by Salt Lake City Corp and will be built to required specifications. The grounds surrounding CASOT will be maintained daily by staff. This includes cleaning entryways, park strips, the parking lot and all areas of cigarette butts and all other debris.

Parking Management Plan:

Existing off street parking for CASOT consists of 8 spaces shared by both tenant spaces on the lot (CASOT and Tuile). 4 spaces at the rear are currently not compliant with the City Zoning Ordinance, and no spaces are currently designated as accessible. Other existing parking includes a shared parking area on the block for Caputo's, Tuile and Casot, and nondesignated on-street parking on 1500 East and neighboring streets.

Parking requirements per Ordinance were verified, and 6 off-street spaces are required for the two tenant spaces. 4 parallel spaces along the building are compliant and will remain as-is. The rear area will be restriped for 1 space, and 1 accessible space with aisle. Additionally, a bike rack will be added in the rear area.

Distribution of plan: A copy of this plan is to be distributed to the Fire Dept., Police Dept., city records office, city building official, and the Community Council.



VICINITY MAP

NTS

ABBREVIATIONS

ABV	ABOVE	HDR	HEADER
AC	AIR CONDITIONING	HVAC	HEATING VENTILATION AND AIR CONDITIONING
ADJ	ADJUSTABLE		
A.F.F.	ABOVE FINISHED FLOOR	HW	HOT WATER
ARCH	ARCHITECT(URAL)	HWH	HOT WATER HEATER
AVG	AVERAGE	HWS	HOT WATER SUPPLY
BDRM	BEDROOM	INFO	INFORMATION
BM	BEAM	INSUL	INSULATION
BRG	BEARING	INT ELEV	INTERIOR ELEVATION
BSMT	BASEMENT	J-BOX	JUNCTION BOX
CAB	CABINET	LAV	LAVATORY
CL	CENTERLINE	MAINT	MAINTENANCE
CLG	CEILING	MECH	MECHANICAL
CLR	CLEAR	MFR	MANUFACTURER
COL	COLUMN	MIN	MINIMUM
COMB	COMBINATION, COMBUSTION	MTD	MOUNTED
CONC	CONCRETE	MTL	MATERIAL
COND	CONDENSER, CONDUIT	NAT	NATURAL
CONT	CONTINUOUS	N.T.S.	NOT TO SCALE
CONST	CONSTRUCTION	O.A.	OVERALL
CNR	CORNER	O.C.	ON CENTER
DEMO	DEMOLITION	PKG	PARKING
DIA	DIAMETER	PLUMB	PLUMBING
DIAG	DIAGONAL	PLYWD	PLYWOOD
DIH	DIMENSION	QTY	QUANTITY
DN	DOWN	REF CLG	REFLECTED CEILING
DTL	DETAIL	REQ'D	REQUIRED
DWG	DRAWING	ROW	RIGHT OF WAY
ELEC	ELECTRICAL	R&S	ROD AND SHELF
ELEV	ELEVATION	RS	ROUGH SAWN
ENG	ENGINEER	SALV	SALVAGE
EQ	EQUAL	SCHED	SCHEDULES
EXT ELEV	EXTERIOR ELEVATION	SECT	SECTION
FD	FLOOR DRAIN	SHT	SHEET
FFE	FINISH FLOOR ELEVATION	SPECS	SPECIFICATIONS
FIN	FINISHED	SQ.FT.	SQUARE FEET
FIN SCHED	FINISH SCHEDULE	STL	STEEL
FLR	FLOOR	STRUCT	STRUCTURAL
FLR PLAN	FLOOR PLAN	TEMP	TEMPERED
FP	FIREPLACE	T&G	TONGUE AND GROOVE
FTG	FOOTING	TO	TOP OF
FUR	FURRED	T.O.S.	TOP OF SLAB
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	TYP	TYPICAL
		UNFIN	UNFINISHED
GL	GLASS	U.N.O	UNLESS NOTED OTHERWISE
GL BLK	GLASS BLOCK	VERT	VERTICAL
GYP	GYPSUM	V.I.F.	VERIFY IN FIELD
GYP BD	GYPSUM BOARD	WD	WOOD
HB	HOSE BIB	WP	WATERPROOF

MATERIAL DESIGNATION

EARTH	STONE	GRAVEL / AGGREGATE	SAND	CONCRETE PLAN	CONCRETE ELEVATION
CONCRETE BLOCK	BRICK	ALUMINUM	STEEL	LOOSE INSULATION	RIGID INSULATION
SHEATHING	GLASS	WOODEND	GYP. BOARD/ PLASTER	DEMOLITION	

SYMBOLS

DETAIL NUMBER	DETAIL NUMBER	AREA DETAILED	AREA DETAILED	AREA DETAILED
ELEVATION	SECTION	SECTION DETAIL	PLAN DETAIL	INT. ELEVATION
REVISION SYMBOL	WINDOW MARKER	DOOR MARKER	ASSEMBLY MARKER	

ZONING INFORMATION

ADDRESS: 1508 SOUTH, 1500 EAST, SLC UT
PARCEL NO.: 16-16-110-028-0000
LEGAL DESCRIPTION: LOTS 52 53 & N 12.65 FT OF LOT 54 BLK 4 EMERSON HEIGHTS ADD.5145-599
ZONING: CN
MIN. LOT SIZE: 7763 SF
MAX. LOT SIZE: 16,500 SF
MIN. LOT WIDTH: NONE
ACTUAL LOT WIDTH: 60.85 FT
REQ. FRONT YARD: 15 FT
ACTUAL FRONT YARD: 10.4 FT (EXISTING TO REMAIN AS-IS)
REAR YARD: 10 FT
INTERIOR SIDE YARDS: 0 FT
PARKING SETBACK: 30' LANDSCAPED SETBACK OR BEHIND PRIMARY STRUCTURE
LANDSCAPE REQ: FRONT YARD SHALL BE MAINTAINED AS LANDSCAPED YARDS; SUBJECT TO SITE PLAN REVIEW APPROVAL, PART OR ALL OF THE LANDSCAPED YARD MAY BE PATIO OR PLAZA, IN CONFORMANCE WITH SECTION 21A.48.090

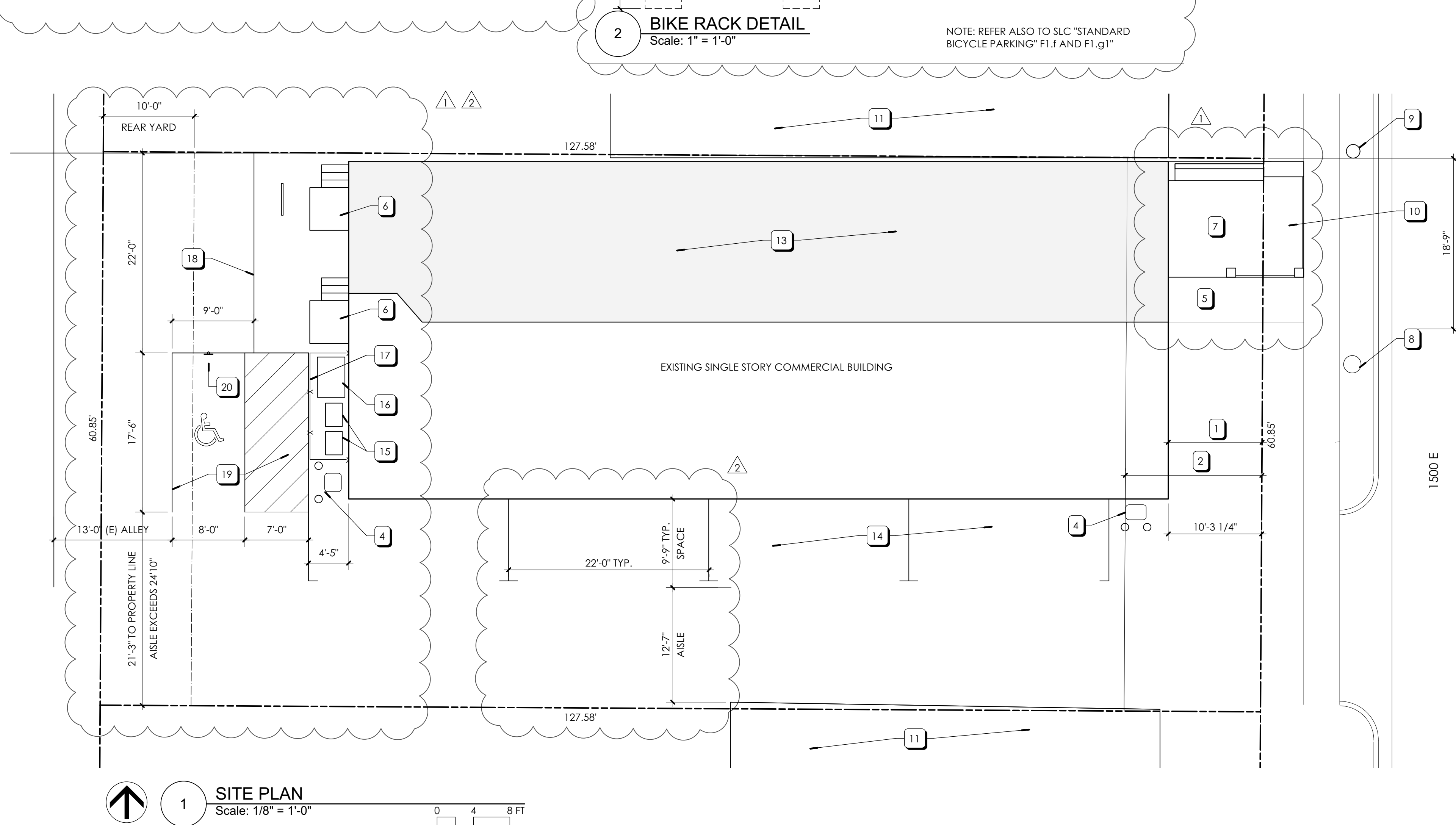
MAX. BUILDING HEIGHT: 25'
EXIST. BUILDING HEIGHT: 16'

REQUIRED PARKING: 6 SPACES (APPROX. 3048 SF @ 2 SPACES PER 1000 FT OF USABLE FLOOR AREA)
PARKING PROVIDED: 8 SPACES; (E) PARKING TO REMAIN AS-IS
REQ ACCESSIBLE PARKING: 1 SPACE (PER 25)

TAVERN REQUIREMENTS: NO TAVERN SHALL BE ESTABLISHED, OPERATED, OR MAINTAINED WITHIN THE CITY WITHOUT VALID LICENSE ISSUED BY THE UTAH STATE DIVISION OF LICENSING, AND WITHOUT A VALID BUSINESS LICENSE ISSUED BY THE CITY.

PARKING ANALYSIS

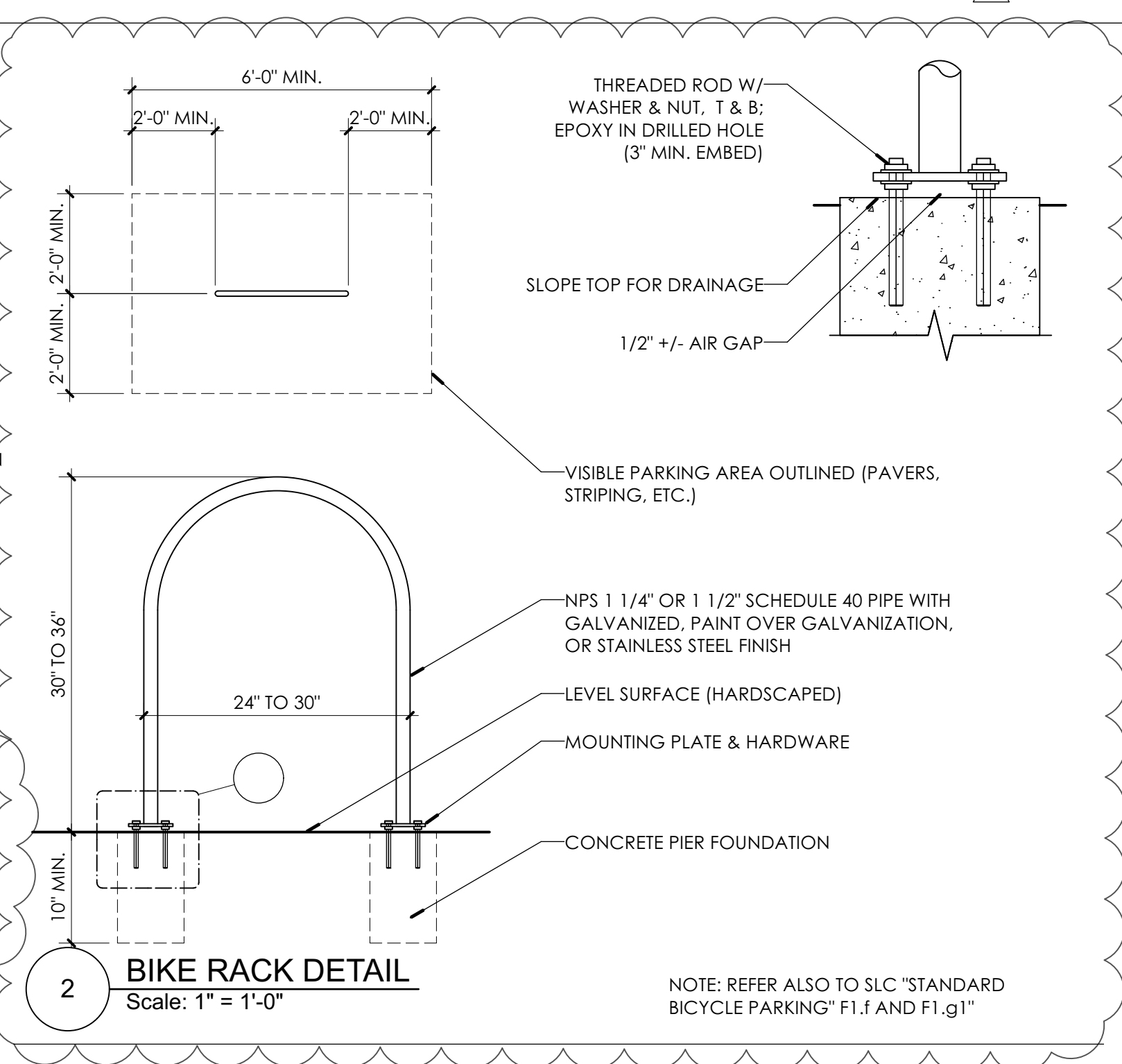
USE OF SPACE: (2) TENANT SPACES- RETAIL SERVICE ESTABLISHMENT, ARTISAN FOOD PRODUCTION
USABLE FLOOR AREA: 2997 SF
PARKING REQUIRED: 6 SPACES (2997 SF / 1000 X 2 = 5.99)
PARKING PROVIDED: 6 SPACES (NOTE: 4 EXISTING NONCOMPLIANT SPACES AT REAR TO BE RESTRIPTED)
ACCESSIBLE PARKING PROVIDED: 1 SPACE (VAN ACCESSIBLE)
ACCESSIBLE PARKING REQUIRED: 1 SPACE (8' SPACE + 7' AISLE WIDTH DUE TO EXISTING PHYSICAL SITE CONSTRAINTS)



1 SITE PLAN
Scale: 1/8" = 1'-0"

0 4 8 FT

2



2 BIKE RACK DETAIL
Scale: 1" = 1'-0"

NOTE: REFER ALSO TO SLC "STANDARD BICYCLE PARKING" F1.f AND F1.g1"

SITE PLAN KEYED NOTES

- 10'-4" (E) SETBACK
- 15' SETBACK PER ZONING
- N/A
- (E) GAS METER & BOLLARDS
- (E) CONCRETE WALK TO REMAIN AS-IS
- (E) STAIR & LANDING
- OUTDOOR PATIO PER FLOOR PLAN
- (E) WATER SERVICE & METER
- (E) UTILITY POLE
- OUTDOOR PATIO IN PUBLIC RIGHT OF WAY PER CITY ROW PERMIT
- (E) BUILDING ON ADJACENT LOT
- N/A
- PROJECT AREA
- (E) PARALLEL PARKING STRIPING TO REMAIN AS-IS
- (E) RECYCLING BIN
- (E) DUMPSTER
- 6' HIGH SOLID FENCING TO BE ADDED PER PERMIT BLD2021-04584
- RESTRIPED PARKING FOR PARALLEL SPACE
- RESTRIPED PARKING FOR ACCESSIBLE SPACE & LOADING AISLE
- ACCESSIBLE PARKING SIGNAGE @ + 60" ON METAL POST

INDEX OF DRAWINGS

ARCHITECTURAL	
G0.0	TITLE SHEET & SITE PLAN
G0.1	ACCESSIBILITY REQUIREMENTS
G0.2	CODE ANALYSIS & EGRESS PLAN
SP1.0	SITE SURVEY
D1.1	EXISTING & DEMOLITION DRAWINGS
A1.0	NEW FLOOR PLAN
A2.0	EXTERIOR ELEVATIONS AND BLDG SECTIONS
A3.0	DOOR SCHEDULE AND DETAILS
A4.0	INTERIOR ELEVATIONS AND ENLARGED RR

STRUCTURAL

S1	STRUCTURAL PLAN
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MECHANICAL & ELECTRICAL

MP1.0	PLUMBING AND REFLECTED CEILING PLANS
EL1.0	ELECTRICAL & LIGHTING PLANS

APPLICABLE CODES

INTERNATIONAL BUILDING CODE 2018
INTERNATIONAL EXISTING BUILDING CODE 2018
INTERNATIONAL FIRE CODE 2018
NATIONAL ELECTRICAL CODE 2017
INTERNATIONAL PLUMBING CODE 2018
INTERNATIONAL MECHANICAL CODE 2018
INTERNATIONAL ENERGY CONSERVATION CODE 2018
INTERNATIONAL FUEL GAS CODE 2018
AMERICANS WITH DISABILITIES ACT OF 2009
ICC/ANSI A117.1-2009
SALT LAKE CITY TITLE 21 ZONING ORDINANCE

SCOPE OF WORK

TENANT IMPROVEMENT IN 1500 SF COMMERCIAL SPACE FOR NEW WINE BAR AND CO-WORK OFFICE SPACE, INCLUDING RESTROOMS, STORAGE AND ASSOCIATED MECHANICAL, PLUMBING AND FINISHES.

PROJECT DIRECTORY

ARCHITECT
AMD ARCHITECTURE
1324 SOUTH 1100 EAST
SALT LAKE CITY, UT 84105
Ph: (801) 322-3053

ENGINEER

JOSH WEIGHT
YORK ENGINEERING
801-876-3501

OWNERS

DAN COLANGELO

CONTRACTOR

BRIAN JONES
KICKER CONSTRUCTION

SPECIAL INSPECTIONS:

NONE

SHOP DRAWINGS:

REQUIRED FOR REVIEW BY CONTRACTOR AND ARCHITECT PRIOR TO MANUFACTURE:

1. WINDOW AND DOORS
2. CUSTOM OFF SITE FABRICATIONS
3. MILLWORK
4. HARDWARE

BUILDING ADDRESS

PROVIDE AN ADDRESS ON THE BUILDING WHICH IS ASSIGNED BY THE CITY ENGINEERING DEPARTMENT. NUMBERS AND LETTERS SHALL BE VISIBLE FROM THE STREET AND BE A MINIMUM 6 INCHES HIGH AND A STROKE OF 1/2 INCH. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. THIS ADDRESS SHALL BE CONTRASTING COLOR OF THE BACKGROUND.

PUBLIC WAY PERMIT

A PERMIT TO WORK IN THE PUBLIC WAY MUST BE OBTAINED FROM SLC ENGINEERING BY A LICENSED CONTRACTOR WHO HAS A BOND AND INSURANCE ON FILE WITH SLC ENGINEERING PRIOR TO PERFORMING WORK IN THE PUBLIC WAY.



Know what's below.
Call 811 before you dig.



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Casot Coffee Bar and Workspace

1508 SOUTH 1500 EAST
SALT LAKE CITY, UTAH

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THE DRAWING, THE DESIGN INDICATED, THE FORMAT AND THE ARRANGEMENTS ARE THE PROPERTY OF AMD ARCHITECTURE. ANY USE OR REUSE OF ORIGINAL OR ALTERED DESIGN MATERIALS BY THE CLIENT, AGENTS OF THE CLIENT OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE DESIGN PROFESSIONAL SHALL BE AT THE SOLE RISK OF THE OTHERS.

THE GENERAL CONTRACTOR AND/OR ALL SUB CONTRACTORS WORKING FROM THESE PLANS AND SPECIFICATIONS ARE NOT TO SCALE SUCH INFORMATION BUT TO CONTACT THE ARCHITECT OR HER REPRESENTATIVE REGARDING. ANY CHANGES OR MODIFICATIONS TO THESE PLANS DO NOT APPEAR CORRECT. ADD UP PROJECTS OF SCALE CORRECTLY TO THE INDICATED SIZE.

DATE

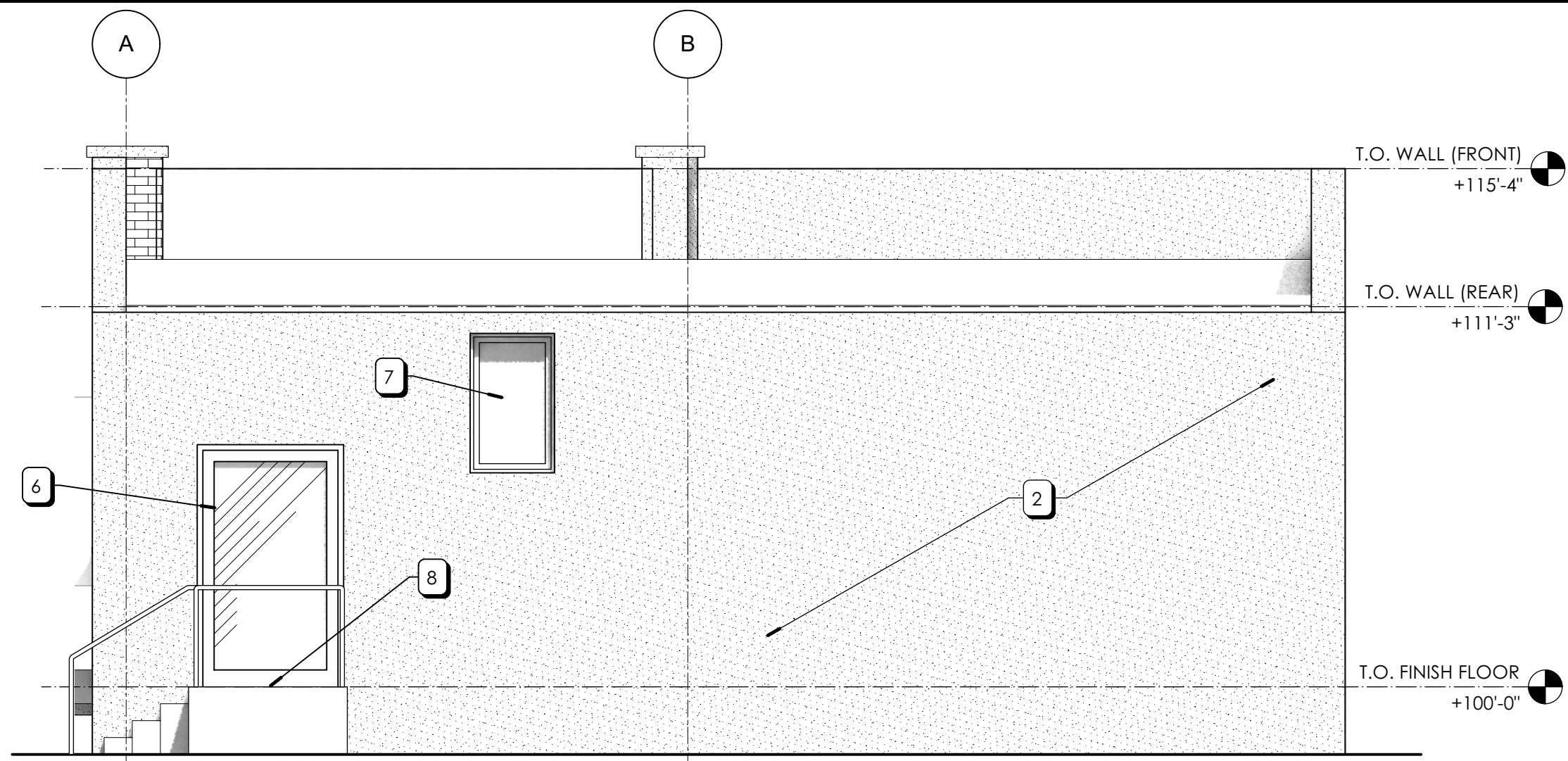
05.19.21

REVISIONS

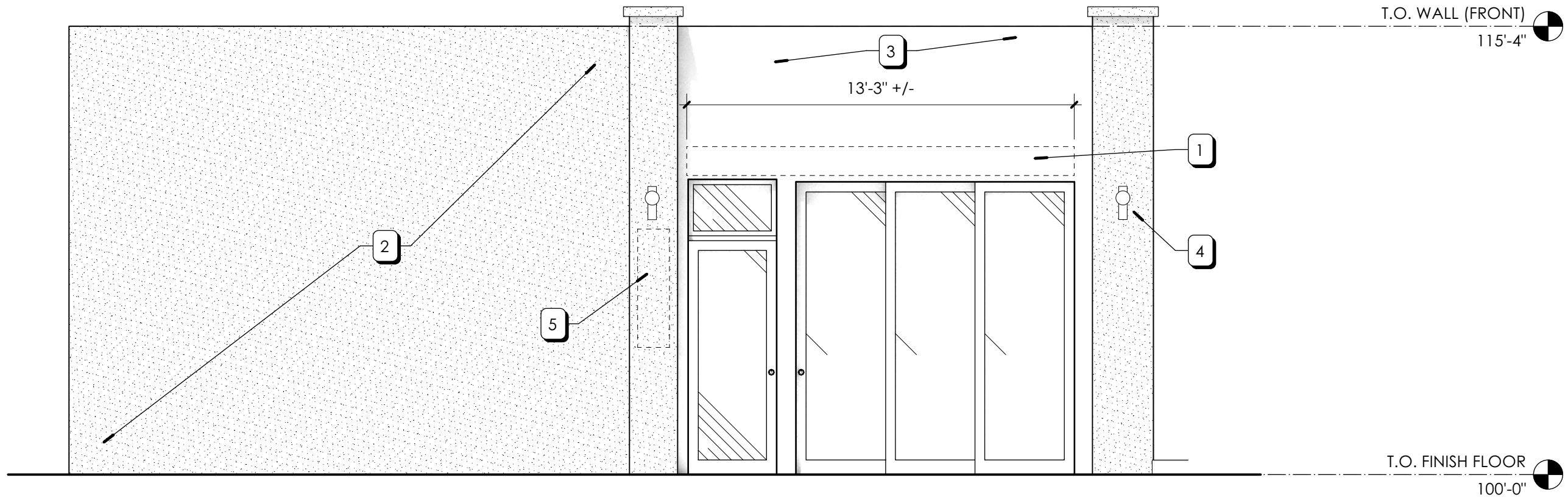
	PLAN REVIEW
	07/02/21
	CU REVIEW
	07/02/21

TITLE SHEET & SITE PLAN

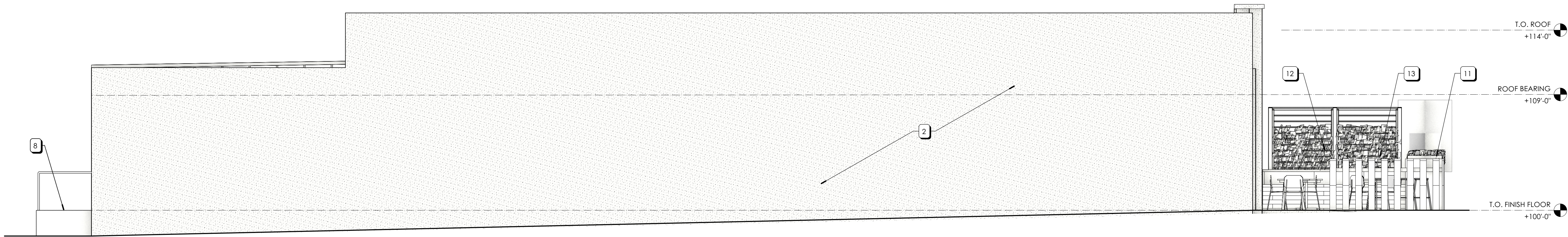
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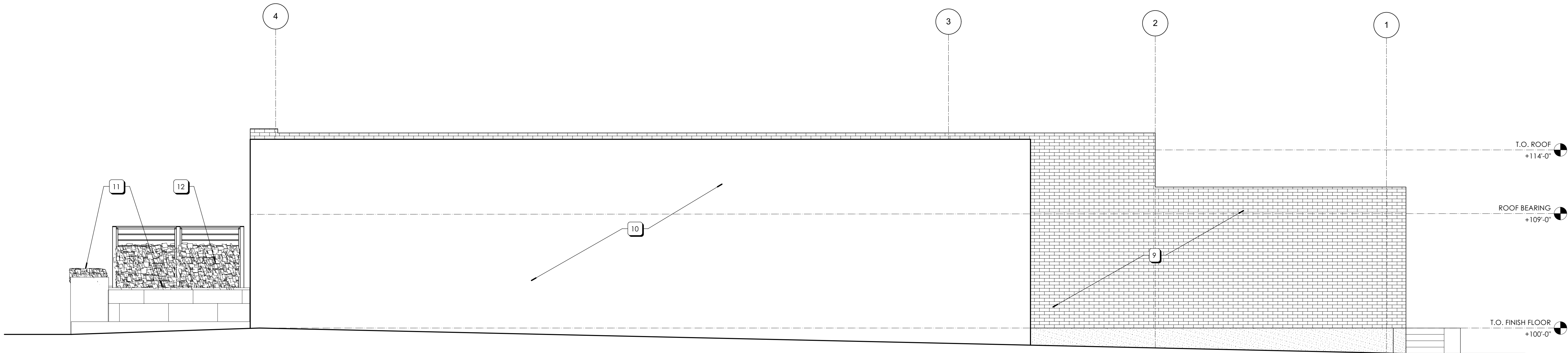
3 **NEW WEST ELEVATION**
Scale: 1/4" = 1'-0"



4 **NEW EAST ELEVATION**
Scale: 1/4" = 1'-0"



2 **SOUTH ELEVATION**
Scale: 1/4" = 1'-0"



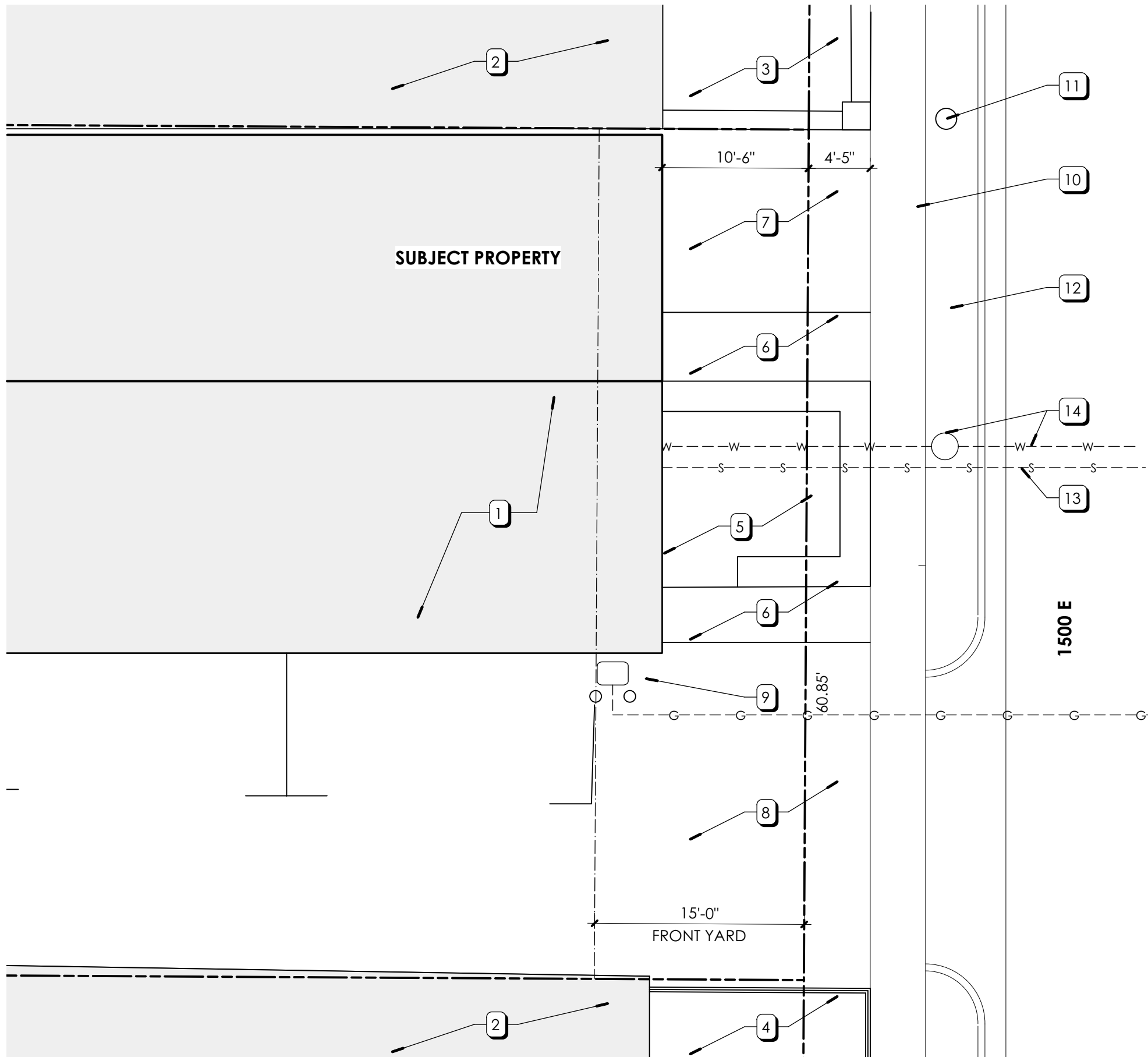
1 **NORTH ELEVATION**
Scale: 1/4" = 1'-0"

EXTERIOR ELEVATION KEYED NOTES

1. HEADER SPAN W/ MAX 3/16 DEFLECTION
2. ADJACENT TENANT NOT INCLUDED IN SCOPE
3. BUILDING SIGNAGE BY OTHERS (IN CONFORMANCE WITH CITY SIGN ORDINANCE AND CITY REAL ESTATE SERVICES). EXTERIOR SIGNAGE PERMITS SHALL BE OBTAINED BY A LICENSED SIGN CONTRACTOR UNDER SEPARATE SIGN APPLICATION, COORD. POWER REQUIREMENTS
4. WALL SCONCE PER ELEC.
5. BUILDING ADDRESS (6" HIGH MIN. W/1/2" STROKE, ARIAL FONT OR SIMILAR, AND VISIBLE FROM STREET.)
6. DOOR PER SCHEDULE IN (E) OPENING
7. WINDOW PER SCHEDULE IN (E) OPENING
8. (E) STAIR AND RAILINGS TO REMAIN AS-IS
9. (E) PAINTED BRICK TO REMAIN AS-IS
10. BUILDING @ ADJACENT PROPERTY
11. RAISED PLANTER
12. TRELLIS WITH PLANTING
13. BUILT IN RAISED SEATING

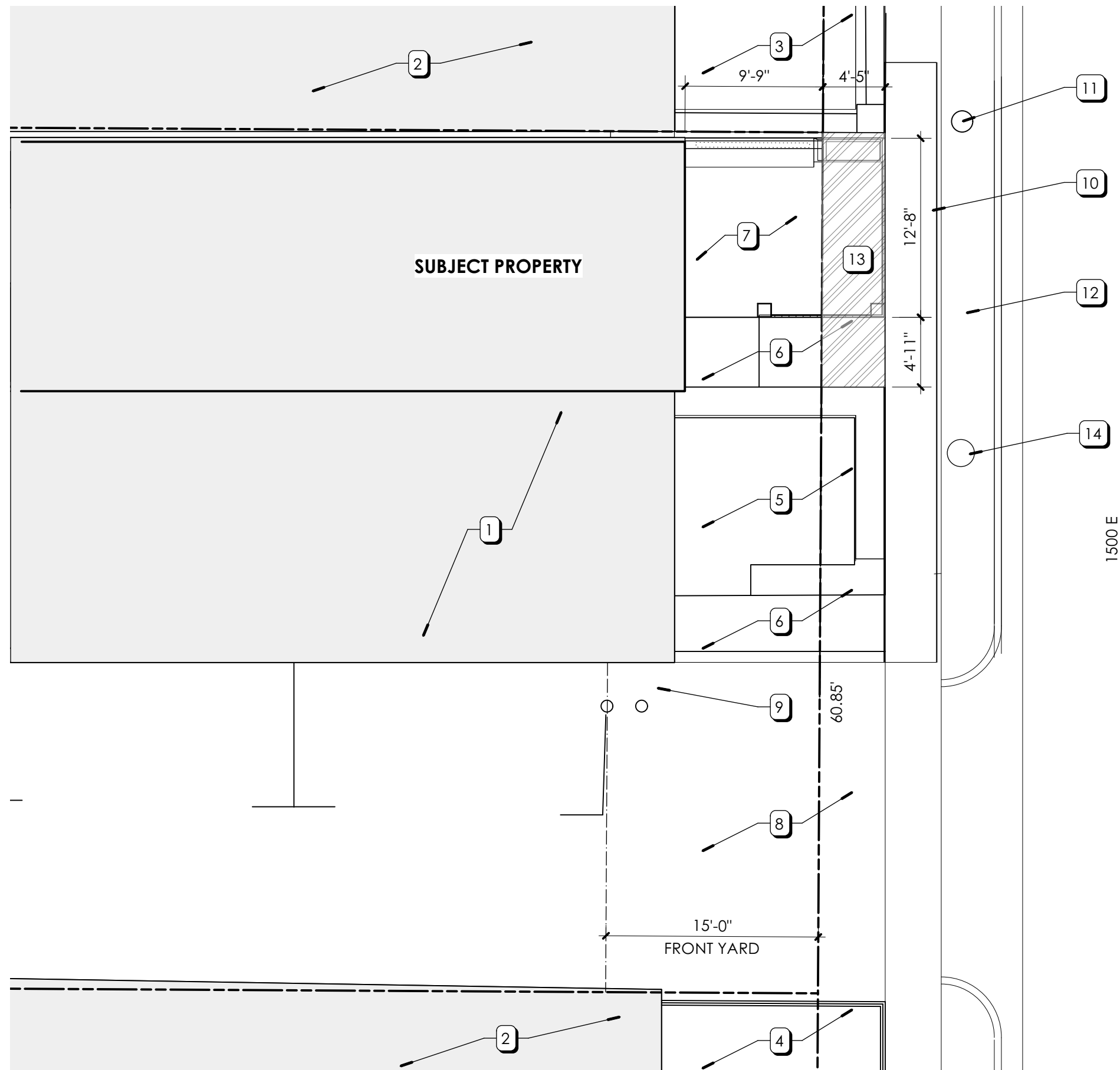
EXTERIOR BUILDING SIGNAGE NOTES

1. MAXIMUM WALL/FLAT SIGN AREA SHALL BE 1SF PER 1 LINEAR FOOT OF STORE FRONTAGE.
2. FLAT SIGNS MAY EXTEND A MAXIMUM OF TWO FEET (2') ABOVE THE ROOF LINE. WALL SIGNS MAY EXTEND TO THE TOP OF THE VERTICAL BUILDING WALL
3. FLAT SIGNS WITH NO COPY VISIBLE FROM THE SIDES, MAY EXTEND A MAXIMUM OF TWO FEET (2') FROM THE FACE IF THE BUILDING, EVEN WHEN THE EXTENSION EXTENDS OVER THE PUBLIC RIGHT OF WAY, SUBJECT TO SALT LAKE CITY RIGHT OF WAY ENCROACHMENT POLICY.
4. NO SPOTLIGHT, FLOODLIGHT OR LIGHTED SIGN SHALL BE INSTALLED IN ANY WAY WHICH WILL PERMIT THE RAYS OF SUCH SIGN'S LIGHT PENETRATE BEYOND THE PROPERTY ON WHICH SUCH LIGHT OR LIGHTED SIGN IS LOCATED IN SUCH A MANNER AS TO CONSTITUTE A NUISANCE.
5. EXTERIOR SIGNAGE SHALL BE SUBMITTED FOR SEPERATE ZONING APPROVAL AND SIGNAGE PERMITTING



SITE PLAN KEYED NOTES

1. (E) ADJACENT TENANT
2. (E) BUILDING ON ADJACENT PROPERTY
3. PATIO WITH PLANTER @ ADJACENT PROPERTY WITH PUBLIC WAY ENCROACHMENT
4. PATIO WITH METAL RAIL @ ADJACENT PROPERTY WITH PUBLIC WAY ENCROACHMENT
5. PATIO WITH PLANTER @ ADJACENT TENANT SPACE WITH PUBLIC WAY ENCROACHMENT
6. (E) CONCRETE WALK TO BUILDING ENTRY
7. (E) SOD/DIRT LANDSCAPING
8. (E) PAVED DRIVEWAY AND PARKING
9. (E) GAS METER & BOLLARDS
10. (E) CITY SIDEWALK
11. (E) LIGHT POLE
12. (E) SOD LANDSCAPING @ PARK STRIP
13. (E) SEWER LATERAL TO REMAIN UNDISTURBED
14. (E) WATER SERVICE & METER TO REMAIN UNDISTURBED



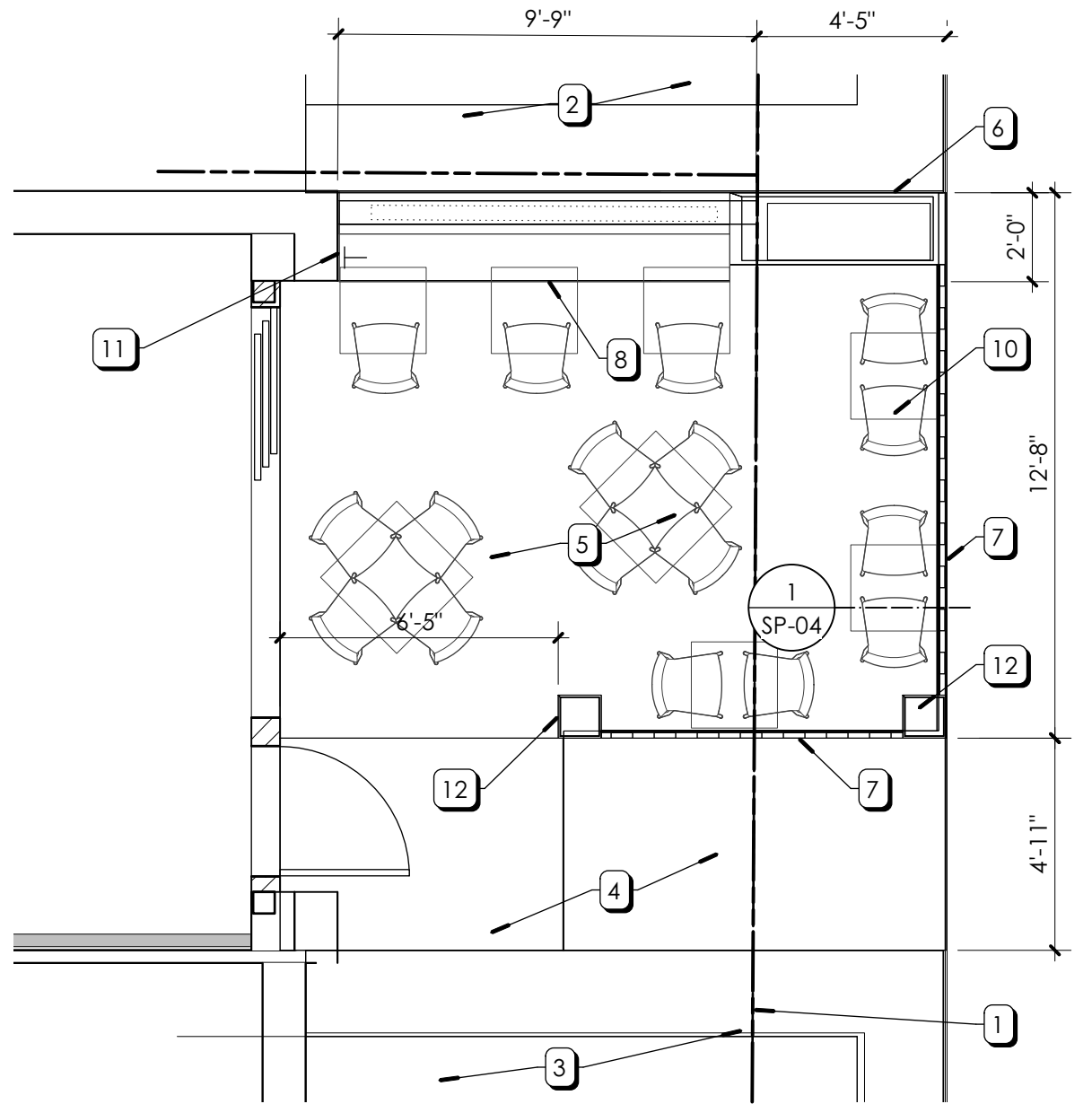
SITE PLAN KEYED NOTES

1. (E) ADJACENT TENANT
2. (E) BUILDING ON ADJACENT PROPERTY
3. PATIO WITH PLANTER @ ADJACENT PROPERTY WITH PUBLIC WAY ENCROACHMENT
4. PATIO WITH METAL RAIL @ ADJACENT PROPERTY WITH PUBLIC WAY ENCROACHMENT
5. PATIO WITH PLANTER @ ADJACENT TENANT SPACE WITH PUBLIC WAY ENCROACHMENT
6. (E) CONCRETE WALK TO BUILDING ENTRY TO REMAIN AS-IS
7. PAVED PATIO WITH REMOVABLE PLANTER & FENCE
8. (E) PAVED DRIVEWAY AND PARKING
9. (E) GAS METER & BOLLARDS
10. (E) CITY SIDEWALK
11. (E) LIGHT POLE
12. (E) SOD LANDSCAPING @ PARK STRIP TO REMAIN AS-IS
13. AREA OF ENCROACHMENT IN PUBLIC WAY (80.2 SF)
14. (E) WATER METER



KEYED NOTES

1. PROPERTY LINE
2. PATIO WITH PLANTER @ ADJACENT PROPERTY WITH PUBLIC WAY ENCROACHMENT
3. PATIO WITH PLANTER @ ADJACENT TENANT SPACE WITH PUBLIC WAY ENCROACHMENT
4. (E) CONCRETE WALK TO BUILDING ENTRY TO REMAIN AS-IS
5. PATIO WITH BRICK PAVING
6. 24" H. FREESTANDING STEEL PLANTER BY ORE DESIGN (SET ON GROUND)
7. 36" METAL SLAT BARRIER, WELDED TO PLANTER (NO GROUND ATTACHMENTS)
8. WOOD BENCH (LOCATED ON LOT)
9. N/A
10. NOM. 18" D. 36" H. REMOVABLE TABLE
11. FROST PROOF HOSE BIBB
12. 40" H. FREESTANDING METAL PLANTER BY ORE DESIGN (SET ON GROUND)

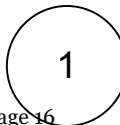


2

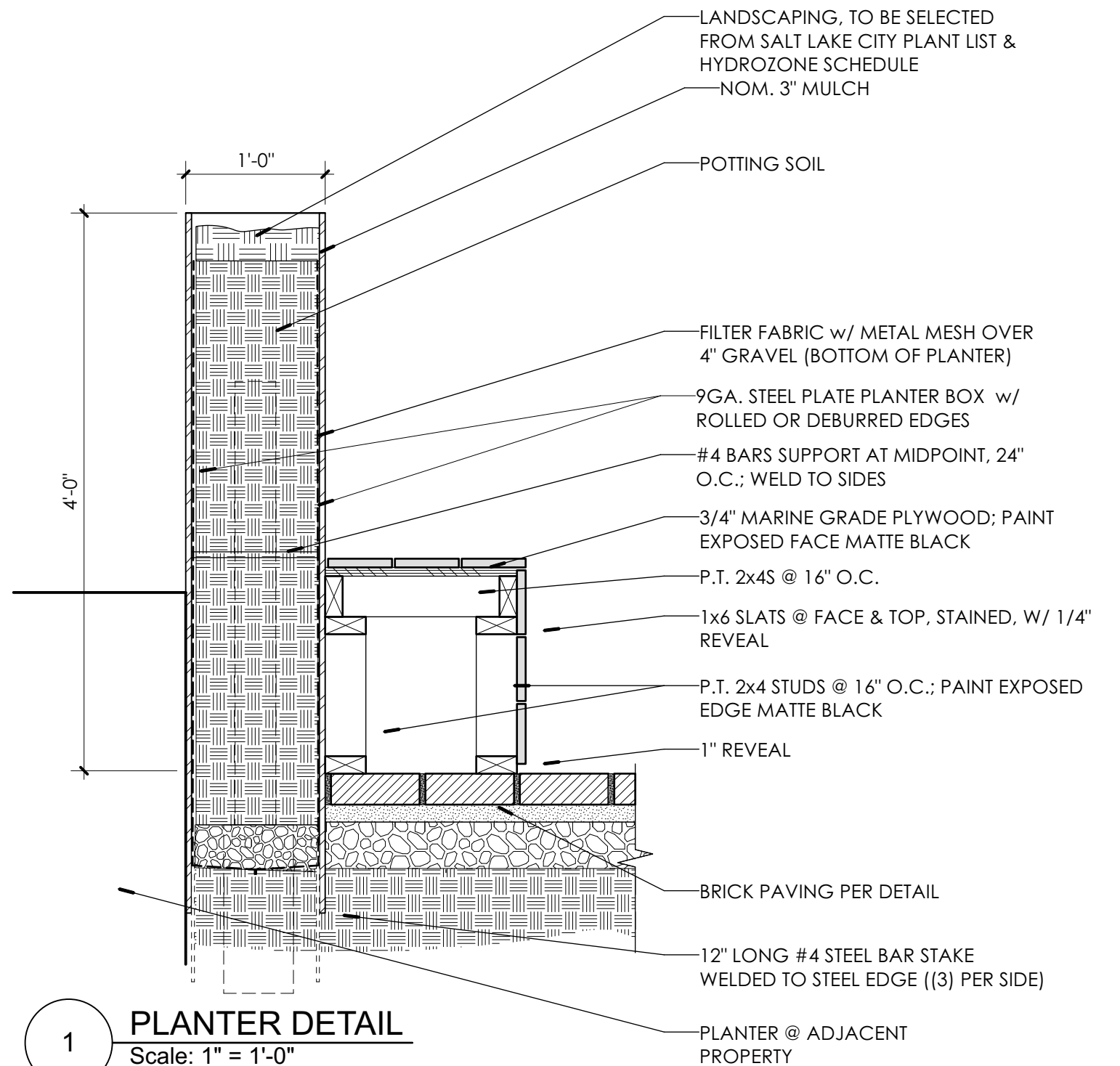
3D VIEW
Scale: NTS

1

PATIO PLAN
Scale: 1/4" = 1'-0"



Scale: 1 1/2" = 1'-0"



ATTACHMENT C – PROPERTY AND VICINITY PHOTOS



Subject lease space looking west from 1500 E



Pedestrian view walking south on 1500 E



Subject lease space looking west from 1500 E. One of the parking access points can be seen to the left (south) of the building



Subject lease space looking west from 1500



4 parallel parking spaces are located to the south of the subject property, accessed from 1500 E



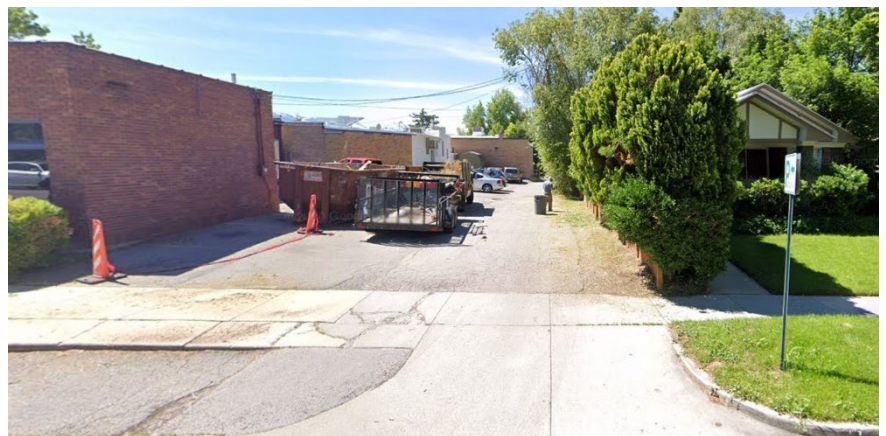
Two parking spaces are located to the rear (west) of the subject property, including one ADA space



***Rear (south - west) corner of the subject property
Looking out at 1500 E***



View from alley located to the rear (west) of the subject property looking out at Emerson Ave.



View of parking access from Emerson Ave. looking south. Single family residential uses are located west of the property and they are separated by parking, an alley, and mature vegetation.



Existing development south of the subject property – view from 1500 E facing west



Existing development north of the subject property on the west side of 1500 E



Existing development across the street (east) of the subject property – view from 1500 E facing east

ATTACHMENT D – MASTER PLAN POLICIES

East Bench Master Plan

The subject property is located within the East Bench Master Plan (adopted February 2017) area and is designated on the future land use map as “Neighborhood Commercial Node”. Neighborhood nodes enhance the livability of the East Bench by providing housing, goods and services, and places for social interaction, worship, and recreation. The neighborhood nodes are designed to serve the neighborhoods they are located in and are compatible in scale to the surrounding residential uses.

The subject property is located in the 15th and 15th Neighborhood Business District – a small intimate district that provides easily accessible dining and shopping opportunities as well as social gathering spaces. This neighborhood node also offers opportunities for locally owned businesses and employment.

The East Bench Master Plan includes the following Guiding Principles related to Neighborhoods -

- Neighborhood Compatibility - Development and infrastructure improvements complement the unique architectural styles and development patterns that define individual neighborhoods.
- Social Interaction - Development and infrastructure improvements create friendly, safe, and welcoming neighborhoods that encourage interaction through all stages of life.
- Activity Nodes - Neighborhood activity nodes enhance the livability of the community by providing goods and services, and places for social interaction, worship, and recreation. They are designed to be compatible with the surrounding neighborhood and create a sense of place.

Staff Discussion: The current zoning of the property is CN – Community Business, which is in agreement with the master plan’s future land use map. The proposed use of the property as a bar establishment is also in line with the vision for this neighborhood commercial district because the use will be compatible with this pocket of small neighborhood businesses offering local services, goods, and social interaction, to the surrounding residential areas while maintaining compatibility and visual harmony.

Plan Salt Lake

This citywide master plan adopted in 2015 provides a vision and policies for the future of Salt Lake City. The goals relevant to this project from Plan Salt Lake are noted below.

Neighborhood Initiatives

- Encourage and support local businesses and neighborhood business districts.
- Provide opportunities for and promotion of social interaction
- Maintain neighborhood stability and character

Transportation & Mobility

- Incorporate pedestrian oriented elements, including street trees, pedestrian scale lighting, signage, and embedded art into our rights of way and transportation networks.

Beautiful City Initiatives

- Reinforce and preserve neighborhood and district character as a strong sense of place.
- Support and encourage architecture, development, and infrastructure that:
 - Is people-focused;
 - Responds to its surrounding context and enhances the public realm;

Economy Initiatives

- Support the growth of small businesses, entrepreneurship and neighborhood business nodes

Staff Discussion: The proposed new use will complement the existing mix of uses found in this neighborhood business district and will help to support the establishment of a local business.

ATTACHMENT E – ZONING STANDARDS

Parking & Site Development

The property contains 6 total parking stalls, one of which is ADA accessible, located on site in the rear of the property. The building on the subject property has two tenant spaces so the parking is calculated using both uses in the building. Bar establishments and artisan food production require 2 parking spaces per 1,000 feet of usable floor area.

21A.44.030 - The parking requirements are provided in the chart below:

Use/Parking Requirement	Square Footage	Stalls Required
Casot Wine Bar/Workspace	1,397	6 stalls
Tulie Bakery	1,600	
Total stalls proposed		6 stalls

21A.36.300: Alcohol Related Establishments:

B. License Required: No tavern, bar establishment, or brewpub shall be established, operated, or maintained within the City without a valid license issued by the Utah State Division of Licensing, and without a valid business license issued by the City.

Staff Analysis: The applicant needs to go through the process with the Utah Department of Alcoholic Beverage Control for the appropriate license. Should the conditional use be approved, the applicant will also need to obtain a business license from the City. If the application is approved, the proposed use will need to meet this portion of the standard. It cannot be met unless the conditional use approval is granted.

D. Taverns, Bar Establishments, And Brewpubs; Authorized As Conditional Uses:

Taverns, bar establishments, and brewpubs may be allowed as conditional uses pursuant to the provisions of chapter 21A.54 of this title, and pursuant to subsection B of this section in zoning districts noted in the tables of permitted and conditional uses provided the following standards are achieved:

1. In approving a conditional use permit for a tavern, bar establishment, or brewpub, the Planning Commission shall:
 - a. Require that a security and operations plan be prepared by the applicant and approved by the Salt Lake City Police Department and the building official, and filed with the City Recorder's Office, which shall include:
 - (1) A complaint-response community relations program; and
 - (2) A provision for a representative of the tavern, bar establishment, or brewpub to meet with neighbors upon request in order to attempt to resolve any neighborhood complaints regarding the operations on the business premises;
 - (3) Design and construction requirements to ensure that any sound level originating within the premises, measured within fifteen feet (15') from an exterior wall or door thereof, does not exceed the maximum permissible sound level set forth for the applicable zoning district in title 9, chapter 9.28 of this Code;

- (4) A provision stating that live entertainment shall only be located within an enclosed building subject to the foregoing sound limit;
- (5) Prohibiting electronically amplified sound in any exterior portion of the premises;
- (6) Designation of a location for smoking tobacco outdoors in conformance with State law;
- (7) A provision stating that any trash strewn on the premises be collected and deposited in a trash receptacle by six o'clock (6:00) A.M. the following day, including any smoking and parking lot areas; and
- (8) A provision stating that portable trash receptacles on the premises be emptied daily and automated receptacles be emptied at least weekly. Automated receptacles shall be located only within a City approved trash storage area; and
- (9) A parking management plan which shall include consideration of the impact of parking on surrounding neighborhoods;

Staff Analysis: The applicant has submitted a Security and Operations plan that has been sent to the Salt Lake City Police Department and the Building Services Division that addresses all the requirements listed above. The Salt Lake City Police Department reviewed and approved the submitted security plan. The plan must be recorded with the City Recorder's Office and this requirement has been noted as a condition of approval.

- b. Require a review and approval of the site and floor plan proposed for the premises by the Salt Lake City Police Department. Such review may require design features for the purpose of reducing alcohol related problems such as consumption by minors, driving under the influence, and public drunkenness;

Staff Analysis: The applicant has provided a site and floor plan that has been sent to the Salt Lake City Police Department. The Salt Lake City Police Department reviewed and approved the plans.

- c. Require buffering where a tavern, bar establishment, or brewpub abuts a residentially zoned parcel. Said buffering shall include vegetative landscaping or walls along any property line or within any required yard area on the lot where the premises are located;

Staff Analysis: The subject property borders on residential property/use to the west separated by an alley. The existing building is built to the side lot lines and a parking area is located between the building and the residential uses. The proposed use will be contained within the existing building with the exception of the front patio. The use meets the buffering intent and requirements.

- d. Require that landscaping be located, and be of a type, that cannot be used as a hiding place; and

Staff Analysis: This is an existing building/developed site and there is minimal to zero landscaping on the property. The front patio area will incorporate some vegetation but is not at a height that would encourage use as a hiding place.

- e. Require that the exterior of the premises be maintained free of graffiti, including the main building, any accessory buildings or structures, and all signs. Graffiti shall be removed from the exterior of the premises within forty eight (48) hours, weather permitting.

Staff Analysis: There is no readily apparent graffiti currently on site. The applicant has stated that any future graffiti will be removed within the required 48 hours, weather permitting as part of their Security and Operations Plan.

- 2. If necessary to meet the standards for approval of a conditional use set forth in section 21A.54.080 of this title, the following conditions may be imposed:

a. Limit the size and kind of signage located on the outside of any building in conformance with chapter 21A.46 of this title;

Staff Analysis: The applicant has not proposed any signage at this time. Any new signage must conform to Chapter 21A.46.

b. Require parking area lighting to produce a minimum foot-candle that provides safe lighting for pedestrians, but does not intrude on residents' enjoyment of their homes; and

Staff Analysis: Existing lighting in the rear will be used to illuminate the rear doors (service entrances) and parking area. The rear property line abuts a residential property, and the lights should minimize their effect on the residential property. The lights should produce a minimum foot candle that provides safe lighting for those accessing the rear doors but does not intrude on the residents.

c. Consider the proposed location of an outdoor smoking area in the security and operations plan and the potential effect on neighboring residences, businesses, and buildings and designating a new area if the potential effects of the area in the security and operations plan appear to adversely affect neighboring residences, businesses, and buildings.

Staff Analysis: The designated smoking area is located outside the bar on the west side of the building. The area is more than 25 feet from the main entrance.

Staff Findings: The proposed bar establishment complies with the applicable zoning regulations for Alcohol Related Establishments as codified in Chapter 21A.36.300.

ATTACHMENT F – CONDITIONAL USE STANDARDS

21A.54.080 Standards for Conditional Use

Approval Standards: A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title;

Analysis: The property is located in the CN – Neighborhood Commercial Zoning District, where an alcohol, bar establishment (2,500 square feet or less in floor area with a maximum of 1,750 SF of interior space and 450 SF in an outdoor patio area) is allowed as a conditional use. The proposed use is part of an existing commercial site with a developed parking lot and building already located on the site. The applicant is not proposing to make any structural exterior additions to the existing building as part of the conditional use requests. Therefore, the minimum standards for lot development have been met since the building already exists. [Attachment E](#) shows that the proposed use generally complies with zoning standards.

Finding: The proposal complies with the applicable provisions of the Salt Lake City Zoning Ordinance. It is allowed in the zone through the conditional use process and complies with all City requirements for such a facility.

2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;

Analysis: The property is located within the 15th and 15th Business District. The parcels along 1500 E between Kensington Ave. and Emerson Ave. on both the east and west sides of the street are all zoned CN – Neighborhood Commercial. In the immediate area, there are several restaurants, a book store, bakery, and an art gallery. Many of the businesses in the area operate six to seven days a week. The subject property is also located in proximity to single family residential zoning (R-1/5000). The proposed use includes a front outdoor patio area which is compatible with the adjacent restaurant/retail goods type uses that also have front door patio areas. The proposed patio and pedestrian scale elements in the front of the proposed use, as well as those already existing along the streetscape, help to create a sense of place and identity for the 15th and 15th business district.

The intersection has been commercially zoned for some time and has been a vibrant neighborhood area. The proposed use of a bar establishment is a conditional use in the zoning district and is similar to other commercial businesses that operate in the area. The area contains many small, locally-owned shops and restaurants. The proposed outdoor patio associated with this use is on the east side of the building which helps to minimize impacts to the adjacent residential uses which are located to the west of the subject site, separated by parking and an alley.

Finding: The proposed bar use is compatible with the surrounding uses and will cater to the surrounding neighborhood.

3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and

Analysis: The East Bench Master Plan designates this property as a Neighborhood Commercial Node. The zoning is compatible with the master plan designation. The proposed use is allowed as a conditional use in the zoning district and the applicable master plans encourage pockets of small

neighborhood businesses that offer local services and goods to the surrounding residential areas while maintaining compatibility and visual harmony as observed in Attachment D.

Finding: The proposed use is consistent with applicable adopted city planning policies, documents, and master plans.

4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions (refer to Detrimental Impacts Chart below for details).

21a.54.080B Detrimental Effects Determination

In analyzing the anticipated detrimental effects of a proposed use, the planning commission shall determine compliance with each of the following:

Criteria	Finding	Rationale
1. This title specifically authorizes the use where it is located	Complies	A bar establishment 2,500 SF of floor area is allowed as a conditional use in the CN zoning district.
2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps	Complies	The proposed use complies with the applicable provisions of the Salt Lake City Zoning Ordinance (Attachment E). As previously discussed in Attachment D , the proposed bar establishment preserves the character of the neighborhood, reinforces the mix of land uses in the 15 th and 15 th neighborhood business district and supports the growth of a small business - which are consistent with goals of the East Bench Master Plan and Plan Salt Lake.
3. The use is well-suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area	Complies	The use is compatible in intensity, size, and scale to existing commercial uses in the area. The proposed use will be located within an existing building and will be similar to a restaurant in size and impact. There are several restaurants in the area. The proposed outdoor patio in front of the bar establishment is also compatible with the adjacent uses in the 15 th and 15 th business district – many of the adjacent uses also have front outdoor patios. The front outdoor patio associated with the proposed use is also situated to have the least impact on the adjacent residential uses, which are located to the west of the subject property separated by the building, parking and an alley.
4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered	Complies	No structural additions will be made to the existing building with this proposal. The existing building fits in context with scale of the buildings along the 15 th and 15 th business district.
5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular	Complies	The access points or driveways have existed for some time. Parking for the property is accessed off of Emerson Avenue and 1500 E.

traffic onto major streets, and not impede traffic flows		
6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic	Complies	Both on-site and on-street parking will remain the same. Although the new use could bring more traffic during evening hours, its operations will be consistent with other commercial uses in the area and significant additional impacts to adjacent properties is not anticipated. The driveway is located in area that provides drivers with clear views of pedestrians and bicycles. Internal circulation has been designed to accommodate proposed use.
7. The site is designed to enable access and circulation for pedestrian and bicycles	Complies	The site is not proposed to be changed. Pedestrian access is from the front of the building off of 1500 East. Bicycle parking is provided near the rear of the building in an area that is illuminated and offers some degree of safety.
8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street	Complies	The City's Transportation Division has reviewed the request and did not indicate any issues with street level of service.
9. The location and design of off-street parking complies with applicable standards of this code	Complies	The proposed off-street parking meets requirements of the zoning ordinance.
10. Utility capacity is sufficient to support the use at normal service levels	Complies	The Public Utilities department reviewed the proposal and provided no objections regarding utility capacity.
11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts	Complies	The use is primarily located within a building but includes some outdoor patio space. The space and walls within the building will operate as the buffer. There are several adjacent uses with front yard patios and the proposed outdoor patio area will fit in well with the active and vibrant 15 th and 15 th area.
12. The use meets City sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke	Complies	The use meets city sustainability plans by encouraging patrons to walk or ride their bikes to the site. There will be no anticipated negative impacts that significantly affect the surrounding environment. A cigarette smoking area has been provided away from the entrances and will be subject to the standards of the Salt Lake County Health Department. There is no indication that the proposed project will introduce any environmental damage to the surrounding area.
13. The hours of operation and delivery of the use are compatible with surrounding uses	Complies	Due to the nature of this proposed use being a bar, hours of operation are regulated by the State of Utah. The proposed use is similar to a restaurant use and there are several restaurants in the area. It is not anticipated that deliveries will have an adverse impact.

14. Signs and lighting are compatible with, and do not negatively impact surrounding uses	Complies	Any lighting will be confined to what is necessary to provide adequate security while being minimized in order to not impact adjacent residential properties. No signs are proposed at this time. Signs will need to meet the requirements of section 21A.46.
15. The proposed use does not undermine preservation of historic resources and structures	Complies	The property is not located within a Local Historic District and the proposal does not involve removal or any historic resources or structures.

Finding: In analyzing the anticipated detrimental effects of the proposed use, Staff finds the request complies with the criteria listed above.

ATTACHMENT G – PUBLIC PROCESS & COMMENTS

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- **Recognized Organization Notification - July 28, 2021** – Notice of the project was provided to the Wasatch Hollow Community Council. The 45-day noticing period to request the project be presented at a Community Council meeting expired September 13, 2021. As of the publication of the staff report, no comments from the community council have been received.
- **Early Notification - June 28, 2021** – Early notification of the project was provided to property owners and residents within 300 FT of the proposed conditional use.
- **City Open House – June 14, 2021** – Staff hosted an online Open House to solicit public comments on the proposal. The Online Open House period started on August 23, 2021 and ended on September 13, 2021.

Notice of the public hearing for the proposal included:

Public hearing notice mailed on October 1, 2021

Public notice Planning Division list serve sent on October 1, 2021

Public hearing notice sign posted on property on October 2, 2021

Public Input:

As of the publication of the staff report, staff has received four emails and one phone call in support of the proposal. One email was also submitted with a number of questions that staff responded to. The comments and questions received via email are included in the following pages of this attachment.

If any comments are received after publication of the staff report, they will be forwarded to the Commission and included in the public record.

From: [Jill Love](#)
To: [Thompson, Amy](#)
Subject: (EXTERNAL) wine bar at 1500 east
Date: Wednesday, August 25, 2021 12:26:56 PM

Amy this would be a terrific addition to the mix of uses in this small business district. We've lived in the neighborhood for almost 25 years, and would love to have a use like this to walk to. thanks Jill

From: [BMark Isaac](#)
To: [Thompson, Amy](#)
Subject: (EXTERNAL) Casot Wine Works 15th & 15th - Citizen comment
Date: Wednesday, August 25, 2021 1:25:42 PM

Good Day Amy:

Thank you for the opportunity to voice our support for an incredibly creative neighborhood amenity. My wife, Holly and I have lived a few blocks away from the 15th & 15th community for 23 years. We are frequent visitors to the amenity diverse 15th community. Breakfast, deli's, pastries, deserts and literature are all part of the driving force keeping our family actively engaged and supporting small businesses in our community. The area is the perfect setting for a creative work space by day, and a celebratory community gathering space in the evenings.

We commend the applicant and encourage the City to support the advancement of our community small business offerings by approving this business endeavor.

Mark & Holly Isaac
Garfield Ave, SLC

Excuses typos & grammar, Sent from my iPad

From: [Scott Evans](#)
To: [Thompson, Amy](#)
Cc: [James Roberts](#)
Subject: (EXTERNAL) Fwd: Wine Bar public comments
Date: Monday, September 20, 2021 9:04:33 AM

Hello Amy,

Here is a letter of support from Ali Sabbah from Mazza.

Thanks,


Scott

----- Forwarded message -----

From: <ali@mazzacafe.com>
Date: Mon, Sep 20, 2021 at 7:57 AM
Subject: Re: Wine Bar public comments
To: Scott Evans <scott@pagoslc.com>

To Whom It May Concern,

My name is Ali Sabbah. I own a small restaurant in the 15&15 neighborhood. I have known Scott Evans for the better part of 20 years now, and have been always very impressed with his personal character and his business acumen. I am very excited about his new project across the the street from us, and looking forwards to that great addition to our little corner of Salt Lake. If anyone can do it right, it would be Scott. Please note mine and many others' support of this endeavor.

Ali Sabbah, Mazza LLC


----- Original Message -----

From:
"Scott Evans" <scott@pagoslc.com>

To:
<ali@mazzacafe.com>

Cc:

Sent:
Tue, 24 Aug 2021 15:28:59 -0600
Subject:
Wine Bar public comments

Hi Ali -

Here is a link to the section where they allow public comments. <https://www.slc.gov/planning/2021/08/23/casot-conditional-use-1508-s-1500-e/>

They request that they be sent to this person: amy.thompson@slcgov.com

Thanks for your support!

Scott

--

Scott Evans

Founder | President



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Scott Evans

Founder | President



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From: [Jim Brannan](#)
To: [Planning Public Comments](#)
Subject: (EXTERNAL) PETITION #PLNPCM2021-00682
Date: Wednesday, October 6, 2021 10:31:02 AM

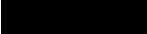
I would like to give my views on the proposed wine bar located at 1508 S 1500E, Salt Lake City.

I think a wine bar would be a nice addition to the neighborhood. Before moving to the 15th and 15th neighborhood I lived in Washington, DC. There are a few wine bars in the city and they became great neighborhood gathering locations.

I never observed anyone drinking more than they should have, and I don't believe that is a problem with wine bars.

In short, I am in favor of this new addition to the neighborhood.

Thanks

Jim Brannan
1455 Sherman Ave, SLC Ut 84105


From: [Thompson, Amy](#)
To: [James Webster](#)
Subject: RE: (EXTERNAL) 1508 S 1500 E
Date: Wednesday, September 8, 2021 4:09:00 PM
Attachments: [Updated Plans - Casot Conditional Use.pdf](#)

James,

I've answered your questions that relate to the conditional use application in your email below in green. In response to question 6 & 7 - The Planning Commission does not have jurisdiction related to jaywalking and DUI's.

Thank you.

AMY THOMPSON

Planning Manager
Planning Division

DEPARTMENT of COMMUNITY and NEIGHBORHOODS
SALT LAKE CITY CORPORATION

TEL 801-535-7281
CELL 385-226-9001
Email amy.thompson@slcgov.com

WWW.SLC.GOV/PLANNING

Disclaimer: The Planning Division strives to give the best customer service possible and to respond to questions as accurately as possible based upon the information provided. However, answers given at the counter and/or prior to application are not binding and they are not a substitute for formal Final Action, which may only occur in response to a complete application to the Planning Division. Those relying on verbal input or preliminary written feedback do so at their own risk and do not vest any property with development rights.

From: James Webster <jwalandscape@gmail.com>
Sent: Tuesday, September 7, 2021 3:53 PM
To: Thompson, Amy <Amy.Thompson@slcgov.com>
Subject: (EXTERNAL) 1508 S 1500 E

1. Will there be outside and/or sidewalk use? – **They are proposing an outdoor patio in front of the building on their property. It can be seen on the plans attached. The outdoor patio does not encroach onto the public sidewalk.**
2. Hours of operation? **The information submitted with the application notes anticipated operating hours from 5pm-12am 7 days a week and delivery hours from 9am-5pm M-Saturday.**
3. Parking duration will be much longer than prior use. How will consequential lack of available parking and impact on adjacent commercial uses be mitigated? **The zoning ordinance requires 6 parking spaces. The applicant is proposing 8 parking spaces.**
4. What is role of Utah Liquor Control Comm? **The applicant will still need to obtain all appropriate alcohol licenses from the State.**
5. Will there be a tasting room? **I don't believe so but I've reached out to the applicant for**

confirmation on that.

6. Jaywalking is likely to increase. Will enforcement continue to be ignored?

7. Will operator also be responsible for DUI damages?

JD Webster



ATTACHMENT H – DEPARTMENT REVIEW COMMENTS

Engineering: (Scott Weiler at scott.weiler@slcgov.com)

No objections to Conditional Use. The proposed front patio encroachments require an encroachment agreement from SLC Real estate Services.

Building Code: (Steven Collett at steven.collett@slcgov.com)

All construction within the corporate limits of Salt Lake City shall be per the State of Utah adopted construction codes and to include any state or local amendments to those codes. RE: Title 15A State Construction and Fire Codes Act. This shall apply to any new construction, repair, alteration, change of occupancy, or addition

Transportation: (Michael Barry at michael.barry@slcgov.com)

There are issues with parking calculations and with the physical parking spaces that need to be clarified or revised.

- The parking calculations should be based on the minimum parking requirement for the whole parcel which includes the two businesses (bakery and bar establishment). The total square footage should be broken down showing the square footage, use (bakery or bar), and parking ratio for each business and then combined to give the total minimum parking requirement for the whole parcel.
- The parking spaces in the rear appear to be existing non-conforming. One of the parking spaces in the rear is called out as an ADA parking space but there are no details showing the requirements for an ADA parking space such as the required adjacent unloading aisle, the parking space and unloading aisle dimensions, or accessible path. All of the parking spaces on site must be striped. The dimensions of all parking spaces must be shown on the plans; “typical” dimensions may be provided for parking spaces with identical dimensions.
- In the “Submitted Information”, page 3, in the paragraph “Parking Management Plan”, it states that there are four on street parking spaces directly in front of Casot; this appears to be incorrect. It appears that there is a maximum of only two on street parking spaces are directly in front of the subject property and one parking appears to have parking restriction sign per Google Street View. Any on street parking that is being used must be shown on the plans with dimensions along with any street signage that would affect the proposed parking spaces. Credit for on street parking must be limited to parking spaces located directly in front of the subject property on the same side of the street as the subject property and must be without time restrictions (21A.44.060.B.6).
- One bike rack is required. Show the location of the bike rack and provide a detail of the standard SLC “Inverted U” bike rack which can be found online at <http://www.slcdocs.com/transportation/design/pdf/F1.f2.pdf>.

***Planning Response to Transportation Comments** – Applicant has revised plans to address the comments provided by transportation. Final compliance will be verified at time of building permit issuance.*

Public Utilities: (Jason Draper at jason.draper@slcgov.com)

The kitchen/bar area will need a grease removal device installed. Plans will need to be submitted to the building department for utility review.

Fire: (Ted Itchon at ted.itchon@slcgov.com)

Fire has no issues

Police: (Lamar Ewell at lamar.ewell@slcgov.com)

The police department reviewed the security and operations plan and replied via email on September 27, 2021 that they have no concerns.