



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Nannette Larsen, Senior Planner, 385-386-2761 or nannette.larsen@slcgov.com

Date: October 13, 2021

Re: PLNPCM2021-00169; PLNPCM2021-00168 – Bumper House Design Review & Planned Development

BUMPER HOUSE – DESIGN REVIEW & PLANNED DEVELOPMENT

Property Address: 1050 South Washington Street
Parcel IDs: 15-12-406-016; 15-12-406-007; 15-12-406-015; 15-12-406-018
Zoning District: CG (General Commercial)
Master Plan: Central Community

REQUEST: Bumper House Design Review & Planned Development at approximately 1050 S Washington Street – George Hauser with SMH Builders, representing the property owner, is requesting Design Review and Planned Development approval to build a 287-unit multifamily residential building on the properties located at approximately 1050 S Washington Street. Specifically, the applicant is requesting an increase in the allowable building height from 60 feet to 79 feet through the Design Review and balcony encroachments into the required front yard through the Planned Development.

PROJECT OVERVIEW

	building entrances, parking lot
Design Standards Met	lighting
Design Standards Modified	building height
Ground Floor Uses	parking/amenities
Upper Floor Uses	parking/residential
Building Height Proposed	79'
Building Height by Right	60'
Planned Development Modification	Balconies projecting into front and rear setbacks
Req. Front/Rear Yard Setback	10'
Proposed Front/Rear Yard Setback	6'

RECOMMENDATION: It is Planning Staff's opinion that, overall, the project meets the intent of the zoning district, the Design Review standards, and the Planned Development standards with the recommended conditions of approval listed in this report. Planning Staff recommends that the Planning Commission approve the Design Review and Planned Development subject to the following conditions of approval:

1. A lot consolidation is approved and recorded with the county prior to the issuance of the building permit.

2. Street trees will be provided at a rate of 1 tree per 30' of frontage along all property lines bordering a public right-of-way.
3. A separate review is required for the proposed transformer located in the front yard area of the development.

ATTACHMENTS:

- A. [Applicant Submittal and Information](#)
- B. [Site Plan](#)
- C. [Building Elevations](#)
- D. [Site Photos](#)
- E. [CG Zoning District Standards](#)
- F. [Design Review Standards](#)
- G. [Planned Development Standards](#)
- H. [Department Comments](#)
- I. [Public Process and Comments](#)

PROJECT DESCRIPTION & SITE CONTEXT:

Salt Lake City has received a request from George Hauser with SMH Builders, for approval of additional building height through a Design Review and a reduction in front and rear yard setbacks that are required in the CG (General Commercial) zoning district through a Planned Development. The request is to facilitate a redevelopment of the site and to construct a new residential development that consists of a 7-story structure that will house 287 multifamily units. The requested modifications on the site through a Planned Development and Design Review include:

- Additional building height to a maximum height of 79'. The underlying zoning district allows a building height of 60'.
- Allowance of balconies on the second through seventh floors to project into the front and rear yard setbacks.

The first floor of the proposed structure will be occupied mostly by parking for the residential units housed within the structure, it will also consist of a lobby, an office, and other amenities for the residences. The second floor will also mostly consist of parking with a few residential units on the floor as well. The remaining third to seventh floor will consist of residential housing units with studio, one-, and two-bedroom units.

The subject site is situated in a unique location. There is a single frontage on a public street, Washington Street, however this site also fronts on a public alley to the north and a rail line to the west. The alley to the north is a public alley that was dedicated to the City when the adjoining subdivision was recorded

in 1889. This public alley is presently unimproved and inaccessible. The rail line to the west of the site is owned by UTA.



FIGURE 1: Bumper House Location

The current use of the site is heavily industrial as warehouse and outdoor storage. The surrounding sites are similar in heavy industrial as well, to the west and south of the subject site is a laundry industrial service, to the west is a food preparation use. The rail line located to the west of the site is owned by UTA and is included in all proposed scenarios as a possible light rail expansion in Salt Lake City. Because of this expected expansion it is anticipated that the surrounding sites will also redevelop to accommodate additional commercial, business, and residential uses.

The proposed development will be built close to the front, interior sides, and rear yard. However, the development will provide for pedestrian access to these landscaped spaces and will open the public alley to the north to pedestrians. Along the west façade will also be landscaping with murals that increase interest in the building along what has been planned as a light rail line by UTA. A number of murals will also be placed along the Washington Street façade on the first and second floors. The upper floor facades will include balconies that project approximately 4' from the front façade of the building and will be constructed of galvanized metal and glass. The building will be finished with the same material along all four sides, which will consist of a cement stucco, a hardy plank fiber board, exposed concrete, and a mesh covering. Some sections of the façade on the east and west faces will also include artistic mesh to distinguish sections of balcony and break up the expanse of the cement and stucco finish.

The south-east corner of the building is the location of the structure's lobby. This lobby area on the first floor will be open to the second floor and will almost entirely be enclosed with glass. An awning will be included to provide a sense of human scale to this area.

Because this site is located with the CG (General Commercial) zoning district there are fewer design standards and overall zoning standards than other districts in the City. This is because the CG district

is a district that provides for an environment for a larger variety of commercial uses, overall, it is a commercial district that also permits multi-family residential units. The only design standards required in the CG district are:

- At least one operable building entrance on the ground floor per street facing façade.
- If a parking lot/structure is adjacent to a residential zoning district or land use, any poles for the parking lot/structure security lighting are limited to 16' in height.

The proposed project meets both of these standards.

The extent of the modifications the applicant is requesting necessitates review by the Planning Commission. In making a decision for the Design Review and Planned Development the Planning Commission should consider whether the proposal meets the standards in Section 21A.59.050 and 21A.55.050 of the zoning code; the standards of review may be found in this Staff Report as Attachment E and F.

KEY CONSIDERATIONS:

The key considerations listed below have been identified through the analysis of the project, neighbor and community input, and department review comments.

1. Consistency with Applicable Master Plan Policies
2. Consistency with the Zoning District and Modifications to Setbacks
3. Modification to Building Height

Consideration 1 – Consistency with Applicable Master Plan Policies

The subject properties are located within the Central Community Master Plan. Within this plan the sites are designated as Regional Commercial/Industrial on the future land use map. This future land use map is consistent with the current CG zoning designation. The proposed Bumper House project meets the goals of the larger Central Community Master Plan of, *“Protect and improve the quality of life for everyone living in the community, regardless of age or ability”* and to *“Encourage specific types of growth in designated parts of the community”*. This is done by providing a development that encourages walkability as this area continues to develop with other multi-family residences and as preparation for a light rail extension continues.

The subject sites are also within the People’s Freeway Neighborhood planning area. The People’s Freeway Neighborhood addresses goals of, *“Transitioning the northern portion of the neighborhood from the historic character of low-density residential development to one of transit-oriented”*. It is also stated that within this neighborhood planning area another goal is to, *“improve...landscaping of commercial and industrial areas”*. The proposed Bumper House project also meets this goal as the layout of the site is more transit oriented than what the standards of the General Commercial (CG) district encourage and increases residential units in areas that are within a half-mile of a light rail station – a half-mile is considered to be walkable.

Plan Salt Lake is a citywide plan that was adopted in 2015; it is a 25-year plan that establishes a citywide vision to guide future growth to meet the needs of its residents and businesses. Plan Salt Lake encourages redevelopment where public infrastructure is available and where it supports a mix of land uses. The Bumper House project meets this initiative as it is located in proximity to open space, future and current transit lines, and infrastructure to meet the demands of a more dense type of development. Plan Salt Lake also encourages the promotion of, *“infill and redevelopment of underutilized land”*. The

Bumper House project is a redevelopment project in an area that is equipped for redevelopment and which has existing infrastructure to support the type and density of the proposed use.

Consideration 2 – Consistency with the Zoning District and Modifications to Setbacks

The Bumper House project requires a Planned Development as a request for a reduction in setbacks in the CG zone is proposed as well. The CG district requires a front yard setback of 10' and a 10' rear yard. There is no building setback requirement for an interior side yard. The project, as a way to enhance the building's appearance from the street and future rail line, will have balconies that project 4' from the building and into the required building setback areas. The structure of the building will be setback to the required standards on the interior side yard and the front and rear yards. The only projections into the setback area will be from the overhead balconies. The balconies placed on the east and west facades of the building do not project into the public right-of-way nor over any required walkway, the balconies will be located over landscaped area. The proposed balconies that project into the required rear and front yard setbacks are located on the third to seventh floors of the building.

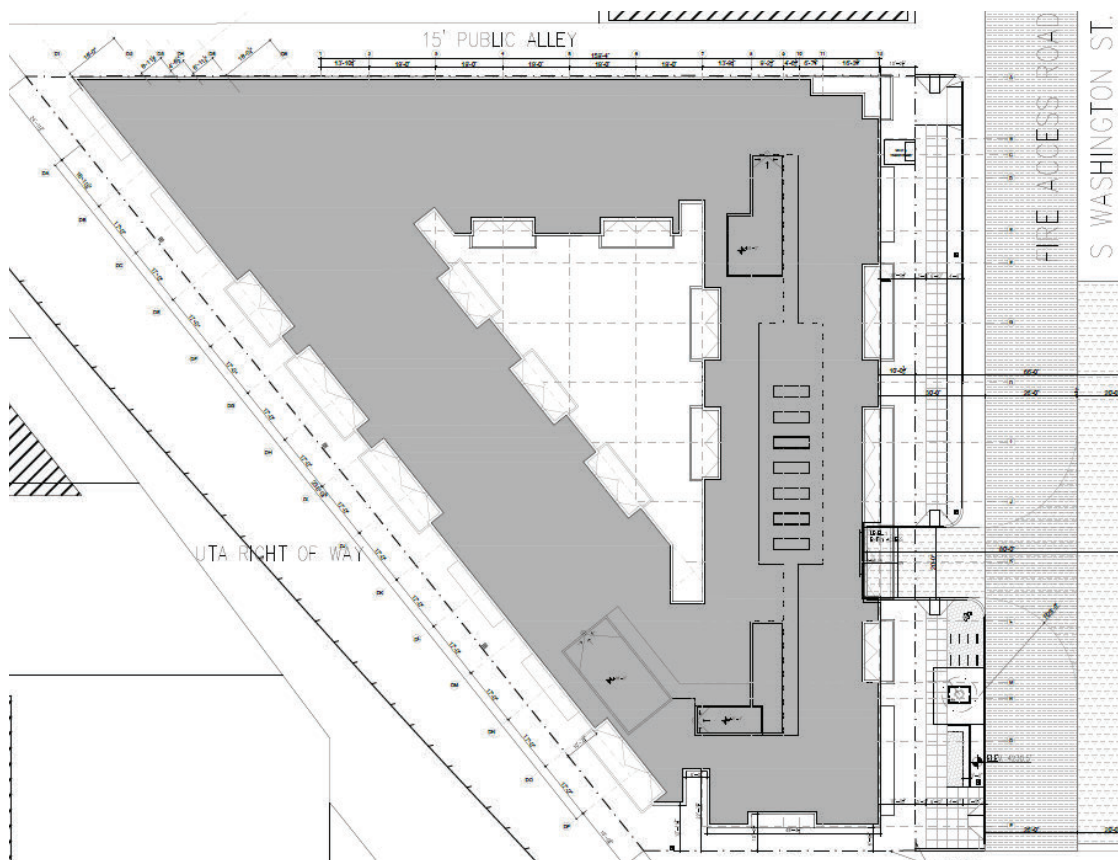


FIGURE 2: Bumper House Site Plan

The purpose of the front and rear setbacks in the CG district is to ensure landscaping in this district and to separate a more heavily commercial or business use from the public right-of-way. Generally heavier commercial districts do not provide landscaping unless it is through a required setback area with a percentage of that area required to be living landscape material. The intent of the setbacks in the CG district is being met as the proposed use is less impactful to the right-of-way than a heavy commercial use, the scale of the Bumper House building is appropriate to its proximity to the right-of-

way, finally, the same percentage of landscaped area is proposed on this site if the setbacks were enforced.

Further, its proposed that on the facades where balconies will project into the required setback area on the front and rear facades of the structure that several murals will be placed. These murals will be on the first two floors as a way to improve the building's interaction with the pedestrians on the sidewalk. This artwork that is visible from the public right-of-way and the future light rail line to the west will further satisfy the intent of the CG setback standards.

All other zoning standards are being met and no further modification to the site plan is being proposed through a Planned Development review.

It is staff's opinion that the purpose of the General Commercial (CG) zoning district is being maintained and that the standards for Planned Development are being met per further review in attachment F of this report.

Consideration 3 – Modifications to Building Height

The second modification requested for the Bumper House project is a Design Review modification requested for additional building height. The CG zoning district allows a maximum height of 60', through a Design Review additional building height up to 30 additional feet is possible. Approval of additional building height must meet additional standards in the CG zone, which includes:

- The increase in building height will result in improved site layout and amenities.
- And, if additional floors are approved, increased landscaping shall be provided in the amount of 10% of the area of the additional floors. This additional landscaping may include landscape yards, landscape buffer yards, interior landscaping.

The additional 10% of the 7th floor requires approximately 2,600 square feet of landscaping on the site. This additional landscaping is provided on the interior side yard to the south, a pedestrian plaza towards the south-east of the building, and an increased setback from the sidewalk to the property line along the front of the building. These areas are both landscaped and provide pavers and seating areas for these spaces. The pedestrian paths proposed on the west, south, and east sides of the building take into consideration the future redevelopment of the area including an extension of the light rail line to the west of the site and an improved park near Jefferson street to the east. A mid-block walkway is not required by any master plan or neighborhood plan, the proposed pedestrian path is an additional design element that improves the site layout and it's amenability with the future redevelopment of the neighborhood.

The pedestrian path along the west and south facades, which constitute this additional 10% landscaping, will be constructed of concrete pavers with landscaping on either side of the path, separating the path from the building and the property to the south. This path allows access to three facades of the building and to a plaza area next to the south east side of the site.



FIGURE 3: West Elevation Bumper House



FIGURE 4: East Elevation Bumper House

While additional height on the site is proposed the overall design and layout of the site is improved beyond the design criteria required in CG district. As described in the project description section of this report there are only two design standards in this district. This consists of one at least one building entrance on a street facing façade, and a lighted parking lot or structure. The Bumper House project meets this standard in addition to providing additional site layout and design elements that are generally not seen in the CG district. The building elements consist of residential balconies that are visible from the street and improve interaction with the street, parking enclosed by a structure, pedestrian friendly elements such as landscaping beyond standard requirements, pedestrian paths to the building and lobby area, a plaza area, and mural on the first two floors that are visible from the street.

Because of these additional elements described above, it is Staff's opinion that the intent of the CG zoning district, the Design Standards, and provisions of additional building height are being met. The purpose of Design Review is to ensure the effect of any modifications to the permitted building height are mitigated and the orientation of the building is toward the human scale and interacts appropriately to the street. The integration of these elements appears to meet this standard.

DISCUSSION:

The proposed Bumper House project will meet the intent of the CG (General Commercial) zoning district and other applicable master plans by providing additional housing in the City that is serviced by a number of public transportation lines and supporting the redevelopment of a neighborhood that is currently undergoing a significant redevelopment. The overall layout of the site and design of the building is responsive to the surrounding area and its potential redevelopment. The Bumper House project meets and exceeds the design standards in the CG district and the requested modifications to the setbacks are sufficiently mitigated through other design elements proposed. Overall, the proposed Bumper House project is a much-improved building design and site layout with the requested modification than if the Zoning Code were strictly enforced.

NEXT STEPS:

Design Review and Planned Development Approval

If the design review is approved, the applicant may proceed with the project after meeting all standards and conditions required by all City Departments and the Planning Commission to obtain all necessary building permits. A Preliminary Subdivision to consolidate the properties included in the project area and a Special Exception approval for the ground mounted utility box is needed prior to the building permit being issued to begin construction on the site.

Design Review and Planned Development Denial

If the design review is denied, the applicant cannot proceed with the project as designed and will be required to meet the building height and setbacks of the underlying zoning ordinance in order to develop the property.

ATTACHMENT A: APPLICANT SUBMITTAL AND INFORMATION



Design Review

SALT LAKE CITY PLANNING

OFFICE USE ONLY

Project #:	Received By:	Date Received:	Zoning:
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Project Name:
Bumper House

PLEASE PROVIDE THE FOLLOWING INFORMATION

Request:
Increase building height to 66'-10"

Address of Subject Property:
1050 S Washington

Name of Applicant: SMH Builders	Phone: [REDACTED]
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Address of Applicant:
313 Eureka Street, San Francisco, CA 94114

E-mail of Applicant: [REDACTED]	Cell/Fax: [REDACTED]
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Applicant's Interest in Subject Property:

Owner ☒ Contractor Architect Other:

Name of Property Owner (if different from applicant):
1050 S Washington LLC

E-mail of Property Owner: [REDACTED]	Phone: [REDACTED]
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➔ **Please note** that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

AVAILABLE CONSULTATION

➔ Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

WHERE TO FILE THE COMPLETE APPLICATION

<i>Mailing Address:</i>	Planning Counter PO Box 145471 Salt Lake City, UT 84114	<i>In Person:</i>	Planning Counter 451 South State Street, Room 215 Telephone: (801) 535-7700
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REQUIRED FEE

➔ Filing fee of **\$776** plus **\$121** per acre in excess of (1) acre.
➔ Plus additional fee for required public notices.

SIGNATURE

➔ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent:	Date: Feb 10, 2021
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Updated 4/2/19

SUBMITTAL REQUIREMENTS

Staff Review

1. Project Description (please attach additional sheet)

- | | | |
|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Written description of your proposal. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Type of construction and list the primary exterior construction materials. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Number, size, and type of dwelling units in each building, and the overall dwelling unit density. |

2. Minimum Plan Requirements

- | | | |
|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | A digital (PDF) copy of each plan and elevation drawing. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | One 11 x 17 inch reduced copy of each plan and elevation drawing. |

3. Site Plan

- | | | |
|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Site plan (see Site Plan Requirements flyer for further details). |
|--------------------------|-------------------------------------|---|

4. Elevation Drawing

- | | | |
|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Detailed elevation, sections and profile drawings with dimensions drawn to scale. |
|--------------------------|-------------------------------------|---|

5. Additional Requirements

- | | | |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | All of the application information required for site plan review as identified in Section 21A.58 of this title. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Photos showing the facades of adjacent development, trees on the site, general streetscape character, and views to and from the site. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Demonstration of compliance with the purpose of the individual zoning district in written narrative and graphic images. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Demonstration of compliance with the purpose of the applicable design standards of the individual zoning district in written narrative, graphic images, and relevant calculations. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Demonstration of compliance with the applicable design review objectives (Section 21A.59.050) in written narrative, graphics, images, and relevant calculations. |

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

_____ I acknowledge that Salt Lake City requires the items above to be submitted before my application can be processed. I understand that Planning will not accept my application unless all of the following items are included in the submittal package.



Planned Development

SALT LAKE CITY PLANNING

OFFICE USE ONLY

Project #:	Received By:	Date Received:	Zoning:
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Project Name:
Bumper House

PLEASE PROVIDE THE FOLLOWING INFORMATION

Request:

Approval for balconies to encroach front yard

Address of Subject Property:
1050 S Washington St

Name of Applicant:
1050 S Washington LLC

Phone:

Address of Applicant:
313 Eureka Street San Francisco CA 94114

E-mail of Applicant:

Cell/Fax:

Applicant's Interest in Subject Property:

☐ Owner ☐ Contractor ☒ Architect ☐ Other:

Name of Property Owner (if different from applicant):
Xpensive Enterprises I LP

E-mail of Property Owner:

Phone:

☐ Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

AVAILABLE CONSULTATION

☐ Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

WHERE TO FILE THE COMPLETE APPLICATION

Mailing Address: Planning Counter
PO Box 145471
Salt Lake City, UT 84114

In Person: Planning Counter
451 South State Street, Room 215
Telephone: (801) 535-7700

REQUIRED FEE

☐ Filing fee of \$793 plus \$121 per acre in excess of (1) acre.
☐ Plus additional fee for required public notices.

SIGNATURE

☐ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent:

George F. Hauser

Date:

Feb 15, 2021

SUBMITTAL REQUIREMENTS

Staff Review

☐
☒

1. Project Description

Description of your proposed use and existing use (please attach additional sheet/s)

☐
☒

2. Planned Development Information.

Provide the following written and graphic information (please attach additional sheet/s):

- a. Demonstrate how your project meets the purpose and objectives of a planned development as stated in 21A.55.010 of the Planned Development ordinance;
- b. Demonstrate how your project meets the Standards for Planned Developments as stated in 21A.55.050 of the Planned Development ordinance; and
- c. Describe the plan for long term maintenance of all private infrastructure as stated in 21A.55.110 of the Planned Development ordinance.

3. Minimum Plan Requirements

☐
☐

One paper copy (24" x 36") of each plan and elevation drawing

☐
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A digital (PDF) copy of the each plan and elevation drawing

☐
☐

One 11 x 17 inch reduced copy of each plan and elevation drawing

4. Site Plan

☐
☒

Site plan (see *Site Plan Requirements* flyer for further details)

5. Elevation Drawing (if applicable)

☐
☒

Detailed elevation, sections and profile drawings with dimensions drawn to scale

☐
☒

Type of construction and list the primary exterior construction materials

☐
☒

Number, size, and type of dwelling units in each building, and the overall dwelling unit density

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

I acknowledge that Salt Lake City requires the items above to be submitted before my application can be processed. I understand that Planning will not accept my application unless all of the following items are included in the submittal package.

SMH
BUILDERS

3578 S 1950 W
UNIT #7,
WEST VALLEY CITY
UTAH 84119
415-519-5398
FAX 415-889-6026



1050 S WASHINGTON ST.
SALT LAKE CITY, UT 84101

RELEASED AND
NO. PREVIOUS DATE

These drawings and
specifications and the
concepts embodied in
them are the original
unpublished work of
SMH BUILDERS Inc and
may not be disclosed or
duplicated without
written consent of SMH
BUILDERS Inc whether
the project for which they
were made is executed
or not unless otherwise
agreed by contract.

SHEET TITLE:

SITE PLAN

PROJECT NO:
DRAWN BY:
DATE: 08/30/21
SCALE:
DRAWING NO:
A0.01

269 BROOKLYN
PROPOSED 8 STORY BUILDING

1026 S WASHINGTON

1024 S 200 W

1050 S 200 W

1051 S 300 W

1057 S 300 W

1065 S 300 W

1065 S 300 W

15' PUBLIC ALLEY

UTA RIGHT OF WAY

FIRE ACCESS ROAD
S WASHINGTON ST.

PROPOSED HAMMERHEAD FIRE
APPARATUS ACCESS ROAD
TURNAROUND COMPLIES WITH FIGURE
D103.1 "DEAD-END FIRE APPARATUS
ACCESS ROAD TURNAROUND",
SECTION D103, IFC 2018

EXISTING BUILDING
PROPOSED BUILDING

SITE PLAN

SC: 1/16"=1'-0"

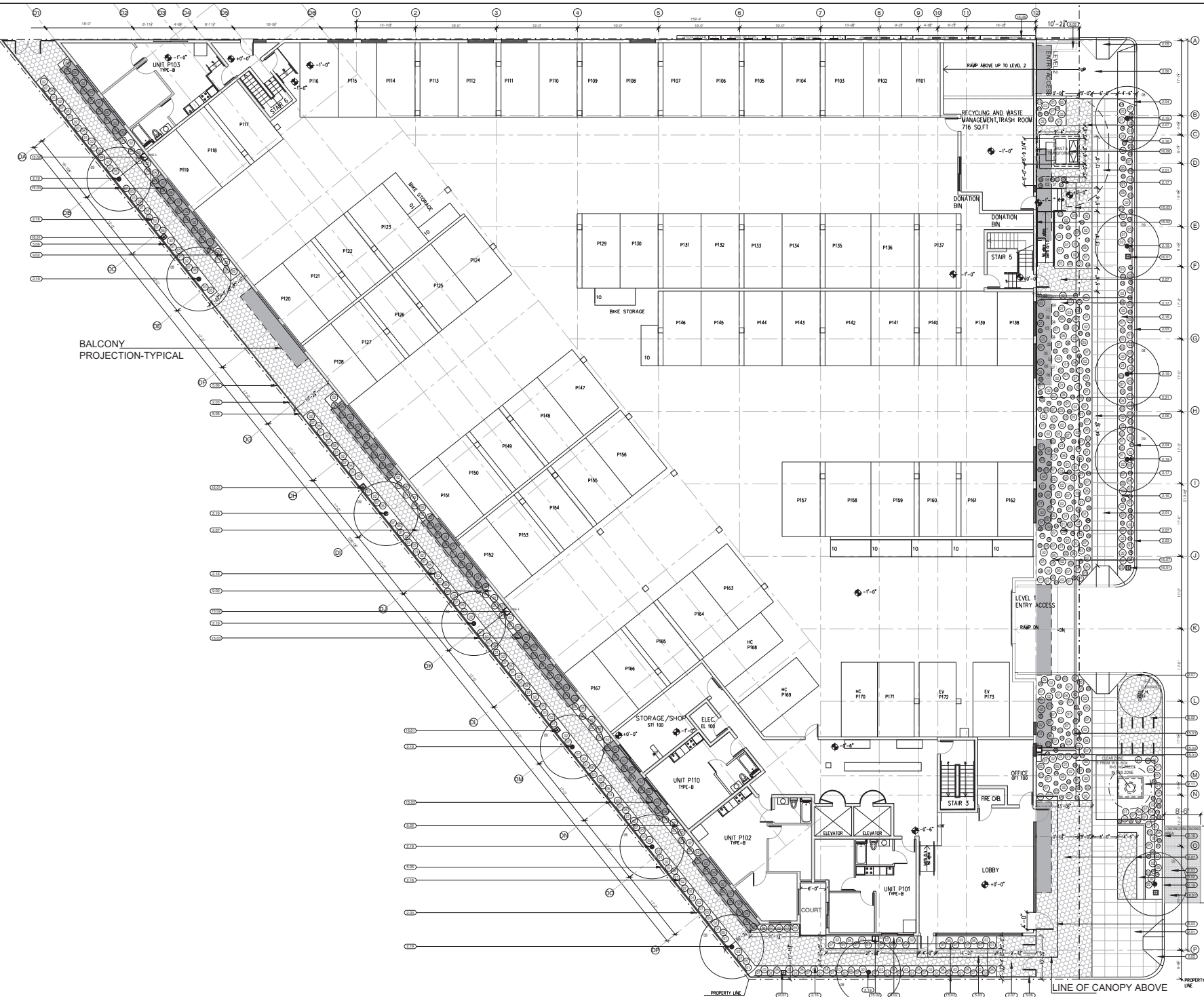
2/A0.01

GENERAL NOTE

1/A0.01

1. FOR FRONT, REAR & SIDE YARDS AND
S WASHINGTON ST ROW IMPROVEMENT, SEE 2/A0.2.
2. FOR LANDSCAPING PLAN, SEE L0.1 AND L0.2.
3. FOR CODE ANALYSIS, SEE A0.5.

- DIVISION 1 SITE CONSTRUCTION**
- (101) CONCRETE PAVEMENT S.C.D.
 - (102) ASPHALTIC PAVEMENT S.C.D.
 - (103) CONCRETE CURB S.C.D.
 - (104) DRIVEWAY CURB CUT S.C.D.
 - (105) ACCESSIBLE CURB RAMP S.C.D.
 - (106) PROVIDE CONTRASTING TEXTURE AT
 - (107) CONCRETE PAVING SEE C.S.3/A.1.
 - (108) JCI PAVING
 - (109) CATCH BASIN S.C.D.
 - (110) STORM DRAIN MANHOLE S.C.D.
 - (111) WATER METER BOX S.C.D.
 - (112) CONCRETE STROP, FLUSH WITH INTERIOR LANDING S.C.D.
 - (113) 2" DISCOMPOSED GRANITE SURFACE BETWEEN THE (E) PAVING AND BUILDING CURB OUTLET S.C.D.
 - (114) EXTERIOR EXIT STAIRWAY SEE 1/A.4.4
 - (115) LANDSCAPED PAIR STRIP SEE 1/A.1.1 FOR QTY. OF PLANTS
 - (116) PLANTING BED SEE 1/L.1 PLANTING SCHEDULE FOR QTY. OF PLANTS
 - (117) TREE SEE 1/L.1 PLANTING SCHEDULE FOR QTY. OF TREES
 - (118) TRENCH DRAIN
- DIVISION 2 CONCRETE**
- (201) NOT USED
 - (202) CONCRETE BENCH SEE A.0.3
- DIVISION 3 METALS**
- (301) METAL PARK BENCH
 - (302) METAL BICYCLE RACK SEE A.0.3/B
 - (303) METAL ANCHOR SEE 1/A.4.4
 - (304) 2" DIA. GALVANIZED IRON BALLARD FILLED W/ CONCRETE
 - (305) CHAIR RAILING SEE 1/A.4.4
 - (306) METAL FENCE
- DIVISION 4 FINISHES**
- (401) SIDEWALK STRIPES S.L.D.
 - (402) FLUSH PLANTER S.L.D.
- DIVISION 5 MECHANICAL**
- (501) IRRIGATION SYSTEM ZONE CABINET WITH COATED LOCK CONTAINING 1/4" WATER LINE, HOSE BIB, 110 DUPLEX OUTLET AND CONTROLS, SEE IRRIGATION SYSTEM DESIGN MANUAL
 - (502) IRRIGATION SYSTEM PIPING, SEE IRRIGATION SYSTEM DESIGN MANUAL FOR SPEC.
- DIVISION 16 ELECTRICAL**
- (1601) HAMILTON ALUMINUM POLE WASHINGTON POST/LITE ENHANCED LED 2 (WSE) SEE 3/A.3
 - (1602) SERVICE DISCONNECT &
 - (1603) ELECTRICAL METER
 - (1604) UTILITY POLE TO BE RELOCATED BY RMP
 - (1605) UTILITY POLE W/ 600VRA HEAD LIGHT FIXTURE
 - (1606) TRANSFORMER, 3 X 5
 - (1607) UNDERGROUND VAULT, 7' X 9'
 - (1608) ELECTRICAL METERS AND SERVICE





These drawings and specifications and the concepts embodied in them are the original unpublished work of SMH BUILDERS Inc and may not be disclosed or duplicated without written consent of SMH BUILDERS Inc whether the project for which they were made is executed or not unless otherwise agreed by contract.

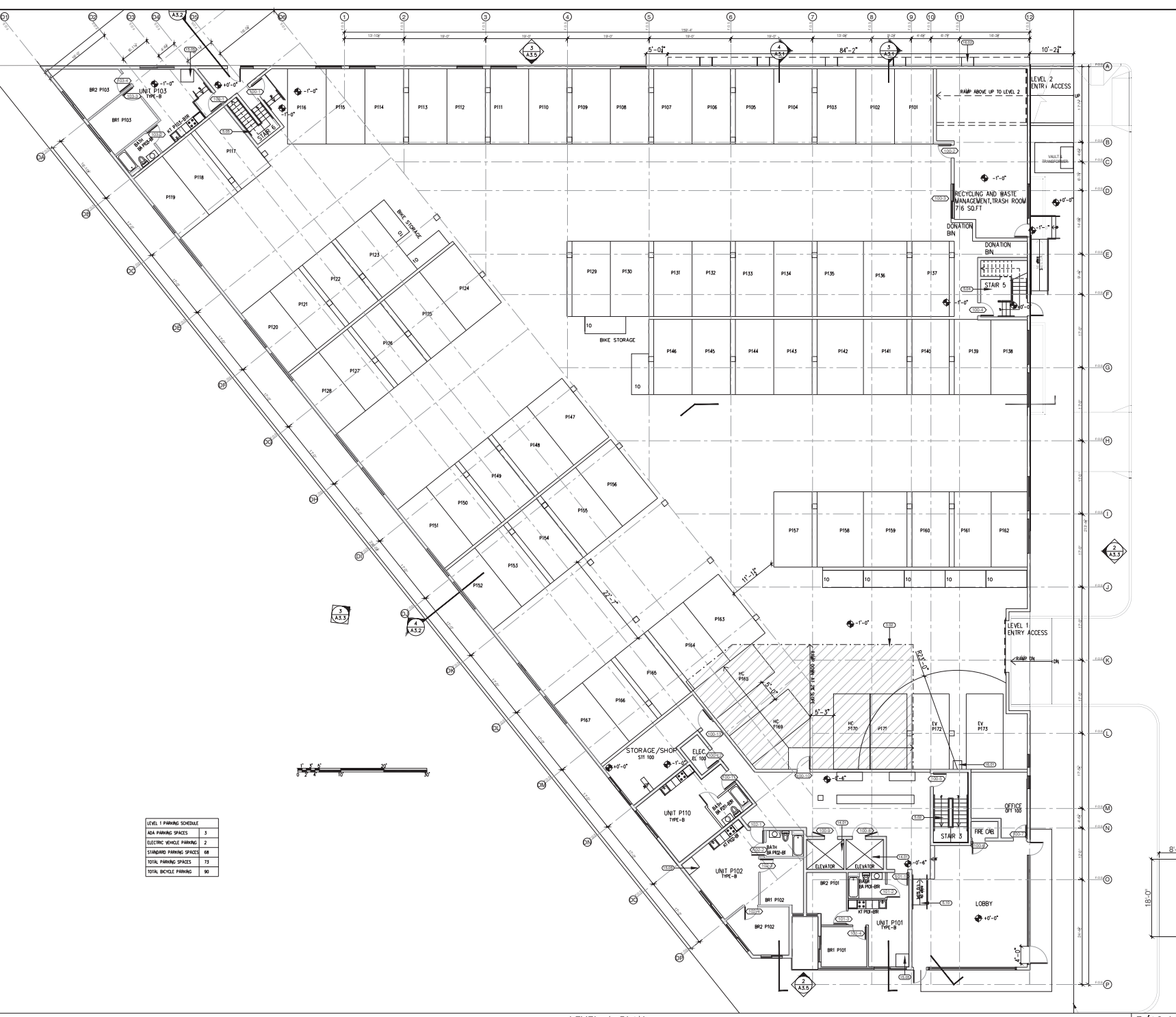


DIVISION 2 SITE CONSTRUCTION
DIVISION 3 CONCRETE
 (1) SAWCUT CONCRETE CONTROL JOINTS, PROVIDE @ ALL DOOR THRESHOLDS
 (2) LEVEL LINE @ ELEVATION: -1'-0" ON LEVEL 1, -1'-0" ON LEVEL 2
DIVISION 5 METALS
 (1) INTERIOR EXIT STAIRWAY #1 & 2, SEE 1, 3 & 10A.1
 (2) INTERIOR EXIT STAIRWAY #3, SEE 6, 7 & 10A.1
 (3) INTERIOR EXIT STAIRWAY #4, SEE 1, 3 & 10A.1
 (4) INTERIOR EXIT STAIRWAY #5, SEE 6, 7 & 10A.1
 (5) INTERIOR EXIT STAIRWAY #6, SEE 6, 7 & 10A.1
 (6) 1-1/2" DIA. STEEL HANDRAIL @ 2'-0" A.F.F., SEE 10A.1
 (7) METAL GUARDRAIL, SEE DETAIL REFERENCED IN NOTE
 (8) GALV. METAL AND GLASS RAMPING, SEE 17-10A.1
 (9) GALV. METAL LADDERS
 (10) LOBBY RAMP, SEE 15 & 10A.1
DIVISION 6 WOOD AND PLASTICS
 (1) DROP CEILING @ COMMON HALLWAY @ 8'-0" A.F.F., SEE 5A.2
 (2) DROP CEILING @ UNIT HALLWAY @ 8'-0" A.F.F., SEE 5A.2
 (3) DROP CEILING @ UNIT BATHROOM @ 7'-0" A.F.F., SEE 5A.2
 (4) VERTICAL AIR DUCT FOR CONSTRUCTION, SEE 5A.2
 (5) HORIZONTAL AIR DUCT FOR CONSTRUCTION, SEE 5A.2
 (6) FLYWOOD CORNER TO SLUPE TO DRAIN @ 1/4"=1'-0" MIN, SEE WR1 & 2A.1
DIVISION 7 THERMAL AND MOISTURE PROTECTION
 (1) BELOW GRADE WATERPROOF SHEET MEMBRANE AND DRAIN MAT, SEE 11A.1
 (2) CEMENT STUCCO, SEE WALL ASBY SHEET A1.1
 (3) FIBER REINFORCED CEMENT SIDING, SEE WALL ASBY SHEET A1.1
 (4) GPM PARAPET CAP FLASHING, SEE 17-10A.4
 (5) GALV. METAL OVERLOW SCUPPER, SEE 10A.1
 (6) GALV. METAL SCUPPER AND DOWNSPOUT TO DAYLIGHT TO ROOF, SEE 15-10A.1
 (7) FOUNDATION DRAIN W/ CLEAN OUT @ EA. CORNER, SEE 11A.1
 (8) FUELED BARRICADE 1/4" SHIP LAP SIDING, TWO EDGES MATCHED
 (9) CORTEN STEEL SIDING-FLAT PROFILE 22 GA. 16" WIDE PANELS W/ 1" RISER
 (10) CORTEN STEEL PARAPET CAP FLASHING, SEE 17-10A.4
 (11) PROVIDE MEMBRANE UNDER CONCRETE TOPPING SLAB WITH WATERPROOF CONNECTION TO FLOOR FRAM, EXTEND MEMBRANE UP WALL 4" ABOVE FLOOR
DIVISION 8 DOORS AND WINDOWS
 (1) FIRE RATED WINDOW, PROVIDE W/ SPRINKLER HEAD, S.F.D.
 (2) 2'-0" HIGH 5/8" TEMPERED GLASS GUARDRAIL MOUNTED ON 5/8" STAYOFF
 (3) 5/8" TEMPERED GLASS FRAMELESS DOOR AND SIDE PANEL
 (4) 5/8" TEMPERED GLASS FRAMELESS PARTITION
DIVISION 9 FINISHES
DIVISION 10 SPECIALTIES
 (1) FIRE EXTINGUISHER CABINET W/ 2A-10-BC FIRE EXTINGUISHER, MOUNT CENTER OF CABINET DOOR HANDLE @ 4'-0" A.F.F., SEE 10A.1
DIVISION 11 FURNISHINGS
 (1) TYPICAL KITCHEN W/ BASE AND UPPER CABINETS, SEE 4A.1
 (2) TYPICAL KITCHEN MIRROR W/ BASE AND UPPER CABINETS, SEE 4A.1
 (3) MINIMUM 5% OF THE BEDS IN THE ACCESSIBLE UNITS SHALL BE ACCESSIBLE WITH A CLEAR FLOOR SPACE ON EACH SIDE OF THE BED. ACCESSIBLE BEDS ARE REQUIRED TO BE OPEN FRAM
DIVISION 12 SPECIAL CONSTRUCTION
DIVISION 13 CONVEYERS
 (1) TRACTION ELEVATOR, SEE SHEET A2.2, SEE SPECS.
DIVISION 14 MECHANICAL
 (1) SERVICE SINK
 (2) ACCESSIBLE SINK AND WORK SURFACE, SEE 5A.3
 (3) WALL MOUNT @ LEVEL ACCESSIBLE WATER FOUNTAIN, SEE 5A.3
 (4) TERRACE DRAIN DAY LIGHT @ 4" FROM FACE OF TERRACE
 (5) VTAI UNIT
DIVISION 15 ELECTRICAL
 (1) DUAL FEEDS, WITH CMK, 20'-0" CABLE
 (2) ELECTRIC METERS FOR 20' UNITS

KEYED NOTES 2/A2.1A

1. PROVIDE CONTROL JOINTS ON CONCRETE TOPPING SLAB. PROVIDE @ ALL DOOR THRESHOLDS. SEE 2/A2.1A FOR TYPICAL LAYOUT.
2. PROVIDE 2X LVL CONTIGUES PLATE AT TOP & BOTTOM OF CHASES W/ FIRE CAULKING AT AIR DUCT VERTICAL PENETRATION. SEE MECHANICAL DRAWINGS AND 10A.2
3. FOR LOCATIONS OF OPTIMUM BOARD LOST JOST CHANNELS FOR MECHANICAL DUCTS SEE MECHANICAL DRAWINGS AND 10A.2
4. THE SURROUNDING CONTEXT OUTSIDE OF THE BUILDING PERIMETER IS ON GRADE LEVEL. SEE A2.3

WIDEN SCHEDULE	DETAIL LOCATION	WIDEN SCHEDULE	DETAIL LOCATION
KT-B1	5/A.1	B1	5/A.2
KT-B1 MIRROR	4/A.1	B1 MIRROR	4/A.2
KT-B2	5/A.1	B2	5/A.2
KT-B2 MIRROR	4/A.1	B2 MIRROR	4/A.2
KT-A1	7/A.1	B3	7/A.2
KT-A1 MIRROR	6/A.1	B3 MIRROR	6/A.2
KT-A2	5/A.1	B4	5/A.2
KT-A2 MIRROR	4/A.1	B4 MIRROR	4/A.2
		B5	5/A.3
		B5 MIRROR	4/A.3
		AC1	5/A.3
		AC1 MIRROR	4/A.3
		AC2	7/A.3
		AC2 MIRROR	6/A.3
		AC3	5/A.3
		AC3 MIRROR	4/A.3



LEVEL 1 PARKING SCHEDULE

ADA PARKING SPACES	5
ELECTRIC VEHICLE PARKING	2
STANDARD PARKING SPACES	68
TOTAL PARKING SPACES	75
TOTAL BICYCLE PARKING	90

LEVEL 1 PLAN



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DIVISION 2: SITE CONSTRUCTION
DIVISION 3: CONCRETE
DIVISION 5: METALS
DIVISION 6: WOOD AND PLASTICS
DIVISION 7: THERMAL AND MOISTURE PROTECTION
DIVISION 8: DOORS AND WINDOWS
DIVISION 9: FINISHES
DIVISION 10: SPECIALTIES
DIVISION 11: FURNISHINGS
DIVISION 12: SPECIAL CONSTRUCTION
DIVISION 13: CONVEYANCE
DIVISION 14: MECHANICAL
DIVISION 15: ELECTRICAL

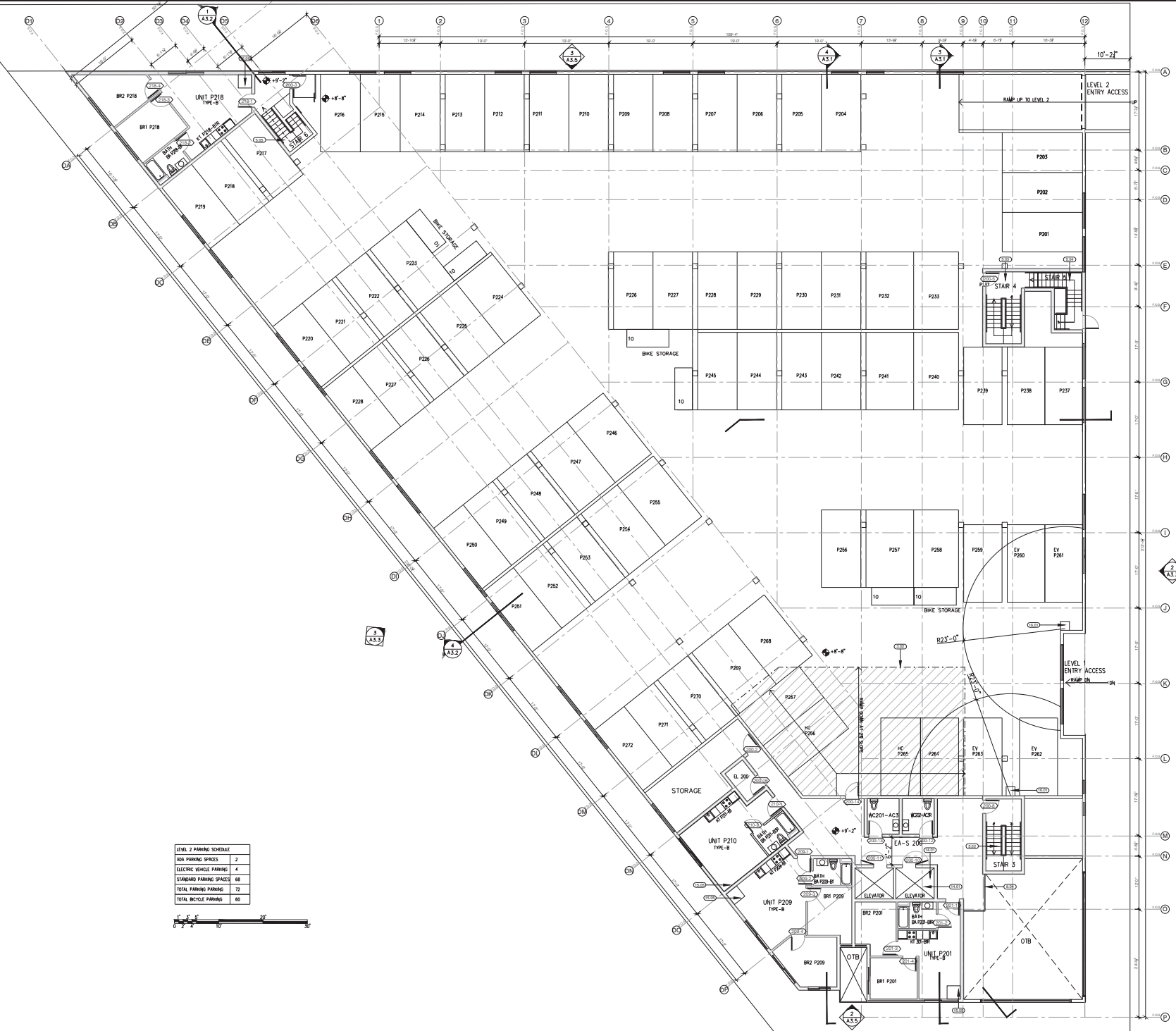
1. PROVIDE CONTROL JOINTS ON CONCRETE TOPPING SLAB. PROVIDE @ ALL DOOR THRESHOLDS. SEE 3.0.1.4 FOR TYPICAL LAYOUT.
 2. PROVIDE 2X LVL CONTINUOUS PLATE AT TOP & BOTTOM OF CHASES W/ FIRE CAULKING AT AIR DUCT VERTICAL PENETRATION. SEE MECHANICAL DRAWINGS AND 11.0.2.2.
 3. FOR LOCATIONS OF OPTIMUM BOARD LINED JOIST CHANNELS FOR MECHANICAL DUCTS SEE MECHANICAL DRAWINGS AND 11.0.2.2.
 4. THE SURROUNDING CONTEXT OUTSIDE OF THE BUILDING PERIMETER IS ON GRADE LEVEL. SEE A3.5.

KEYED NOTES 2/A2.2A

WINDOW TYPE	DETAIL LOCATION	WINDOW TYPE	DETAIL LOCATION
W1-B1	5/A3.1	W1	5/A3.2
W1-B1 MIRRORED	4/A3.1	W2	5/A3.2
W1-B2	5/A3.1	W3	5/A3.2
W1-B2 MIRRORED	6/A3.1	W4	5/A3.2
W1-AC1	7/A3.1	W5	7/A3.2
W1-AC1 MIRRORED	8/A3.1	W6	7/A3.2
W1-AC2	9/A3.1	W7	7/A3.2
W1-AC2 MIRRORED	10/A3.1	W8	7/A3.2
		W9	7/A3.1
		W10	7/A3.1
		W11	7/A3.1
		W12	7/A3.1
		W13	7/A3.1
		W14	7/A3.1
		W15	7/A3.1
		W16	7/A3.1
		W17	7/A3.1
		W18	7/A3.1
		W19	7/A3.1
		W20	7/A3.1
		W21	7/A3.1
		W22	7/A3.1
		W23	7/A3.1
		W24	7/A3.1
		W25	7/A3.1
		W26	7/A3.1
		W27	7/A3.1
		W28	7/A3.1
		W29	7/A3.1
		W30	7/A3.1
		W31	7/A3.1
		W32	7/A3.1
		W33	7/A3.1
		W34	7/A3.1
		W35	7/A3.1
		W36	7/A3.1
		W37	7/A3.1
		W38	7/A3.1
		W39	7/A3.1
		W40	7/A3.1
		W41	7/A3.1
		W42	7/A3.1
		W43	7/A3.1
		W44	7/A3.1
		W45	7/A3.1
		W46	7/A3.1
		W47	7/A3.1
		W48	7/A3.1
		W49	7/A3.1
		W50	7/A3.1
		W51	7/A3.1
		W52	7/A3.1
		W53	7/A3.1
		W54	7/A3.1
		W55	7/A3.1
		W56	7/A3.1
		W57	7/A3.1
		W58	7/A3.1
		W59	7/A3.1
		W60	7/A3.1
		W61	7/A3.1
		W62	7/A3.1
		W63	7/A3.1
		W64	7/A3.1
		W65	7/A3.1
		W66	7/A3.1
		W67	7/A3.1
		W68	7/A3.1
		W69	7/A3.1
		W70	7/A3.1
		W71	7/A3.1
		W72	7/A3.1
		W73	7/A3.1
		W74	7/A3.1
		W75	7/A3.1
		W76	7/A3.1
		W77	7/A3.1
		W78	7/A3.1
		W79	7/A3.1
		W80	7/A3.1
		W81	7/A3.1
		W82	7/A3.1
		W83	7/A3.1
		W84	7/A3.1
		W85	7/A3.1
		W86	7/A3.1
		W87	7/A3.1
		W88	7/A3.1
		W89	7/A3.1
		W90	7/A3.1
		W91	7/A3.1
		W92	7/A3.1
		W93	7/A3.1
		W94	7/A3.1
		W95	7/A3.1
		W96	7/A3.1
		W97	7/A3.1
		W98	7/A3.1
		W99	7/A3.1
		W100	7/A3.1

LEVEL 2 PARKING SCHEDULE

ADA PARKING SPACES	2
ELECTRIC VEHICLE PARKING	4
STANDARD PARKING SPACES	68
TOTAL PARKING SPACES	72
TOTAL BICYCLE PARKING	60



LEVEL 2 PLAN

3/A2.2A GENERAL NOTES 1/A2.2A



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- DIVISION 2 SITE CONSTRUCTION**
- DIVISION 3 CONCRETE**
- 3000 SAWCUT CONCRETE CONTROL JOINTS PROVIDED @ ALL DOOR THRESHOLDS
- 3005 LEVEL LINE @ ELEVATION: 1'-0" ON LEVEL 1, 1'-0" ON LEVEL 2
- DIVISION 5 METALS**
- 5000 INTERIOR EXIST STAIRWAY #1 & 2, SEE 1, 2, 3 & 4, A4.1
- 5005 INTERIOR EXIST STAIRWAY #3, SEE 6, 7, 8 & 9, A4.1
- 5010 INTERIOR EXIST STAIRWAY #4, SEE 10, 11 & 12, A4.1
- 5015 INTERIOR EXIST STAIRWAY #5, SEE 13, 14 & 15, A4.1
- 5020 1/4" DIA. STEEL HANDRAIL @ 2' O.C. A.F.F., SEE 16 & 17, A4.1
- 5025 METAL GUARDRAIL, SEE DETAIL REFERENCED IN NOTE
- 5030 GALV. METAL AND GLASS RAILING, SEE 17 & 18, A4.1
- 5035 GALV. METAL LADDERS
- 5040 LOBBY RAMP, SEE 15 & 16, A4.1
- DIVISION 6 WOOD AND PLASTICS**
- 6000 DROP CEILING @ COMMON HALLWAY #1 & 2, SEE 1, 2, 3 & 4, A4.2
- 6005 DROP CEILING @ UNIT HALLWAY @ 2' O.C. A.F.F.
- 6010 DROP CEILING @ UNIT BATHROOM @ 7' O.C. A.F.F.
- 6015 VERTICAL AIR DUCT FUR CONSTRUCTION SEE 56 & 57, A5.5
- 6020 HORIZONTAL AIR DUCT FUR CONSTRUCTION SEE 58 & 59, A5.5
- 6025 TV WOOD CRINET TO SUITE TO DRINK @ 1' 4" O.C. 1" MIN. SEE WR1 A2.6.1
- DIVISION 7 THERMAL AND MOISTURE PROTECTION**
- 7000 BELOW GRADE WATERPROOF SHEET MEMBRANE AND DRAIN MAT, SEE 11 & 12, A5.5
- 7005 CEMENT STUCCO, SEE WALL ASBY SHEET A1.1
- 7010 FIBER REINFORCED CEMENT SIDING, SEE WALL ASBY SHEET A1.1
- 7015 GPM PARAPET CAP FLASHING, SEE 17 & 18, A4.4
- 7020 GALV. METAL OVERLAP, SEE 19 & 20, A4.4
- 7025 GALV. METAL SCUPPER AND DOWNSPUT TO DAYLIGHT TO ROOF, SEE 15 & 16, A4.4
- 7030 FOUNDATION DRAIN W/ CLEAN OUT @ EA. CORNER, SEE 11 & 12, A5.5
- 7035 FUSED BARRIER 1/4" SHIP UP SIDING, TWO EDGES MATCHED
- 7040 CORTEN STEEL SIDING PLATE PROFILE 22 GA. 16" WIDE PANELS W/ 1" FIBER REINFT
- 7045 CORTEN STEEL PARAPET CAP FLASHING, SEE 17 & 18, A4.4
- 7050 PROVIDE RETRO MEMBRANE UNDER CONCRETE TOPPING SLAB, WITH WATERPROOF CONNECTION TO FLOOR FRAM, EXTEND MEMBRANE UP WALLS UP ABOVE FLOOR
- DIVISION 8 DOORS AND WINDOWS**
- 8000 FIRE RATED WINDOW, PROVIDE W/ 15-16" FIRE SPRINKLER HEAD, S.F.D.
- 8005 2' 6" HIGH 5/8" TEMPERED GLASS GUARDRAIL MOUNTED ON 2" S.F. STAYOFF
- 8010 5/8" TEMPERED GLASS FRAMELESS DOOR AND SIDE PANEL
- 8015 5/8" TEMPERED GLASS FRAMELESS PARTITION
- DIVISION 9 FINISHES**
- DIVISION 10 SPECIALTIES**
- 1000 FIRE EXTINGUISHER CABINET W/ 2A-10-BC FIRE EXTINGUISHER, MOUNT CENTER OF CABINET DOOR HANDLE @ 4' 0" A.F.F., SEE 18 & 19, A5.7
- DIVISION 11 FURNISHINGS**
- 1100 TYPICAL KITCHEN W/ BASE AND UPPER CABINETS, SEE 4 & 5, A4.1
- 1105 TYPICAL KITCHEN MIRROR W/ BASE AND UPPER CABINETS, SEE 4 & 5, A4.1
- 1110 MINIMUM 5% OF THE BEDS IN THE ACCESSIBLE UNITS SHALL BE ACCESSIBLE WITH A CLEAR FLOOR SPACE ON EACH SIDE OF THE BED. ACCESSIBLE BEDS ARE REQUIRED TO BE OPEN FRAM
- DIVISION 12 SPECIAL CONSTRUCTION**
- DIVISION 13 CONVEYERS**
- 1300 TRACTION ELEVATOR, SEE SHEET A4.2, SEE SPECS.
- DIVISION 14 MECHANICAL**
- 1400 SERVICE SINK
- 1405 ACCESSIBLE SINK AND WORK SURFACE, SEE 5 & 6, A5.3
- 1410 WALL MOUNT B-LABEL ACCESSIBLE WATER FOUNTAIN, SEE 5 & 6, A5.3
- 1415 TERRACE DRAIN DAY LIGHT @ 4" FROM FACE OF TERRACE
- 1420 VTAI UNIT
- DIVISION 15 ELECTRICAL**
- 1500 DUAL FEEDS, WITH CMM, 20' 0" CABLE
- 1505 ELECTRIC METER FOR 30' UNITS

KEYED NOTES 2/A2.3A

1. PROVIDE CONTROL JOINTS ON CONCRETE TOPPING SLAB. PROVIDE @ ALL DOOR THRESHOLDS. SEE 2/A2.3A FOR TYPICAL LAYOUT.
2. PROVIDE 2X LVL CONTINUES PLATE AT TOP & BOTTOM OF CHASES W/ FIRE CAULKING AT AIR DUCT VERTICAL PENETRATION. SEE MECHANICAL DRAWINGS AND 11 & 12, A5.2
3. FOR LOCATIONS OF OPTIMUM BOARD LINED JOIST CHANNELS FOR MECHANICAL DUCTS SEE MECHANICAL DRAWINGS AND 11 & 12, A5.2

WINDOW SCHEDULE	WINDOW TYPE	DETAIL LOCATION
W1-B1	5/A5.1	1/A5.1
W1-B2	4/A5.1	4/A5.2
W1-B3	5/A5.1	5/A5.2
W1-B4	6/A5.1	6/A5.2
W1-B5	7/A5.1	7/A5.2
W1-B6	8/A5.1	8/A5.2
W1-B7	9/A5.1	9/A5.2
W1-B8	10/A5.1	10/A5.2
W1-B9	11/A5.1	11/A5.2
W1-B10	12/A5.1	12/A5.2
W1-B11	13/A5.1	13/A5.2
W1-B12	14/A5.1	14/A5.2
W1-B13	15/A5.1	15/A5.2
W1-B14	16/A5.1	16/A5.2
W1-B15	17/A5.1	17/A5.2
W1-B16	18/A5.1	18/A5.2
W1-B17	19/A5.1	19/A5.2
W1-B18	20/A5.1	20/A5.2
W1-B19	21/A5.1	21/A5.2
W1-B20	22/A5.1	22/A5.2
W1-B21	23/A5.1	23/A5.2
W1-B22	24/A5.1	24/A5.2
W1-B23	25/A5.1	25/A5.2
W1-B24	26/A5.1	26/A5.2
W1-B25	27/A5.1	27/A5.2
W1-B26	28/A5.1	28/A5.2
W1-B27	29/A5.1	29/A5.2
W1-B28	30/A5.1	30/A5.2
W1-B29	31/A5.1	31/A5.2
W1-B30	32/A5.1	32/A5.2
W1-B31	33/A5.1	33/A5.2
W1-B32	34/A5.1	34/A5.2
W1-B33	35/A5.1	35/A5.2
W1-B34	36/A5.1	36/A5.2
W1-B35	37/A5.1	37/A5.2
W1-B36	38/A5.1	38/A5.2
W1-B37	39/A5.1	39/A5.2
W1-B38	40/A5.1	40/A5.2
W1-B39	41/A5.1	41/A5.2
W1-B40	42/A5.1	42/A5.2
W1-B41	43/A5.1	43/A5.2
W1-B42	44/A5.1	44/A5.2
W1-B43	45/A5.1	45/A5.2
W1-B44	46/A5.1	46/A5.2
W1-B45	47/A5.1	47/A5.2
W1-B46	48/A5.1	48/A5.2
W1-B47	49/A5.1	49/A5.2
W1-B48	50/A5.1	50/A5.2
W1-B49	51/A5.1	51/A5.2
W1-B50	52/A5.1	52/A5.2
W1-B51	53/A5.1	53/A5.2
W1-B52	54/A5.1	54/A5.2
W1-B53	55/A5.1	55/A5.2
W1-B54	56/A5.1	56/A5.2
W1-B55	57/A5.1	57/A5.2
W1-B56	58/A5.1	58/A5.2
W1-B57	59/A5.1	59/A5.2
W1-B58	60/A5.1	60/A5.2
W1-B59	61/A5.1	61/A5.2
W1-B60	62/A5.1	62/A5.2
W1-B61	63/A5.1	63/A5.2
W1-B62	64/A5.1	64/A5.2
W1-B63	65/A5.1	65/A5.2
W1-B64	66/A5.1	66/A5.2
W1-B65	67/A5.1	67/A5.2
W1-B66	68/A5.1	68/A5.2
W1-B67	69/A5.1	69/A5.2
W1-B68	70/A5.1	70/A5.2
W1-B69	71/A5.1	71/A5.2
W1-B70	72/A5.1	72/A5.2
W1-B71	73/A5.1	73/A5.2
W1-B72	74/A5.1	74/A5.2
W1-B73	75/A5.1	75/A5.2
W1-B74	76/A5.1	76/A5.2
W1-B75	77/A5.1	77/A5.2
W1-B76	78/A5.1	78/A5.2
W1-B77	79/A5.1	79/A5.2
W1-B78	80/A5.1	80/A5.2
W1-B79	81/A5.1	81/A5.2
W1-B80	82/A5.1	82/A5.2
W1-B81	83/A5.1	83/A5.2
W1-B82	84/A5.1	84/A5.2
W1-B83	85/A5.1	85/A5.2
W1-B84	86/A5.1	86/A5.2
W1-B85	87/A5.1	87/A5.2
W1-B86	88/A5.1	88/A5.2
W1-B87	89/A5.1	89/A5.2
W1-B88	90/A5.1	90/A5.2
W1-B89	91/A5.1	91/A5.2
W1-B90	92/A5.1	92/A5.2
W1-B91	93/A5.1	93/A5.2
W1-B92	94/A5.1	94/A5.2
W1-B93	95/A5.1	95/A5.2
W1-B94	96/A5.1	96/A5.2
W1-B95	97/A5.1	97/A5.2
W1-B96	98/A5.1	98/A5.2
W1-B97	99/A5.1	99/A5.2
W1-B98	100/A5.1	100/A5.2
W1-B99	101/A5.1	101/A5.2
W1-B100	102/A5.1	102/A5.2
W1-B101	103/A5.1	103/A5.2
W1-B102	104/A5.1	104/A5.2
W1-B103	105/A5.1	105/A5.2
W1-B104	106/A5.1	106/A5.2
W1-B105	107/A5.1	107/A5.2
W1-B106	108/A5.1	108/A5.2
W1-B107	109/A5.1	109/A5.2
W1-B108	110/A5.1	110/A5.2
W1-B109	111/A5.1	111/A5.2
W1-B110	112/A5.1	112/A5.2
W1-B111	113/A5.1	113/A5.2
W1-B112	114/A5.1	114/A5.2
W1-B113	115/A5.1	115/A5.2
W1-B114	116/A5.1	116/A5.2
W1-B115	117/A5.1	117/A5.2
W1-B116	118/A5.1	118/A5.2
W1-B117	119/A5.1	119/A5.2
W1-B118	120/A5.1	120/A5.2
W1-B119	121/A5.1	121/A5.2
W1-B120	122/A5.1	122/A5.2
W1-B121	123/A5.1	123/A5.2
W1-B122	124/A5.1	124/A5.2
W1-B123	125/A5.1	125/A5.2
W1-B124	126/A5.1	126/A5.2
W1-B125	127/A5.1	127/A5.2
W1-B126	128/A5.1	128/A5.2
W1-B127	129/A5.1	129/A5.2
W1-B128	130/A5.1	130/A5.2
W1-B129	131/A5.1	131/A5.2
W1-B130	132/A5.1	132/A5.2
W1-B131	133/A5.1	133/A5.2
W1-B132	134/A5.1	134/A5.2
W1-B133	135/A5.1	135/A5.2
W1-B134	136/A5.1	136/A5.2
W1-B135	137/A5.1	137/A5.2
W1-B136	138/A5.1	138/A5.2
W1-B137	139/A5.1	139/A5.2
W1-B138	140/A5.1	140/A5.2
W1-B139	141/A5.1	141/A5.2
W1-B140	142/A5.1	142/A5.2
W1-B141	143/A5.1	143/A5.2
W1-B142	144/A5.1	144/A5.2
W1-B143	145/A5.1	145/A5.2
W1-B144	146/A5.1	146/A5.2
W1-B145	147/A5.1	147/A5.2
W1-B146	148/A5.1	148/A5.2
W1-B147	149/A5.1	149/A5.2
W1-B148	150/A5.1	150/A5.2
W1-B149	151/A5.1	151/A5.2
W1-B150	152/A5.1	152/A5.2
W1-B151	153/A5.1	153/A5.2
W1-B152	154/A5.1	154/A5.2
W1-B153	155/A5.1	155/A5.2
W1-B154	156/A5.1	156/A5.2
W1-B155	157/A5.1	157/A5.2
W1-B156	158/A5.1	158/A5.2
W1-B157	159/A5.1	159/A5.2
W1-B158	160/A5.1	160/A5.2
W1-B159	161/A5.1	161/A5.2
W1-B160	162/A5.1	162/A5.2
W1-B161	163/A5.1	163/A5.2
W1-B162	164/A5.1	164/A5.2
W1-B163	165/A5.1	165/A5.2
W1-B164	166/A5.1	166/A5.2
W1-B165	167/A5.1	167/A5.2
W1-B166	168/A5.1	168/A5.2
W1-B167	169/A5.1	169/A5.2
W1-B168	170/A5.1	170/A5.2
W1-B169	171/A5.1	171/A5.2
W1-B170	172/A5.1	172/A5.2
W1-B171	173/A5.1	173/A5.2
W1-B172	174/A5.1	174/A5.2
W1-B173	175/A5.1	175/A5.2
W1-B174	176/A5.1	176/A5.2
W1-B175	177/A5.1	177/A5.2
W1-B176	178/A5.1	178/A5.2
W1-B177	179/A5.1	179/A5.2
W1-B178	180/A5.1	180/A5.2
W1-B179	181/A5.1	181/A5.2
W1-B180	182/A5.1	182/A5.2
W1-B181	183/A5.1	183/A5.2
W1-B182	184/A5.1	184/A5.2
W1-B183	185/A5.1	185/A5.2
W1-B184	186/A5.1	186/A5.2
W1-B185	187/A5.1	187/A5.2
W1-B186	188/A5.1	188/A5.2
W1-B187	189/A5.1	189/A5.2
W1-B188	190/A5.1	190/A5.2
W1-B189	191/A5.1	191/A5.2
W1-B190	192/A5.1	192/A5.2
W1-B191	193/A5.1	193/A5.2
W1-B192	194/A5.1	194/A5.2
W1-B193	195/A5.1	195/A5.2
W1-B194	196/A5.1	196/A5.2
W1-B195	197/A5.1	197/A5.2
W1-B196	198/A5.1	198/A5.2
W1-B197	199/A5.1	199/A5.2
W1-B198	200/A5.1	200/A5.2
W1-B199	201/A5.1	201/A5.2
W1-B200	202/A5.1	202/A5.2
W1-B201	203/A5.1	203/A5.2
W1-B202	204/A5.1	204/A5.2
W1-B203	205/A5.1	205/A5.2
W1-B204	206/A5.1	206/A5.2
W1-B205	207/A5.1	207/A5.2
W1-B206	208/A5.1	208/A5.2
W1-B207	209/A5.1	209/A5.2
W1-B208	210/A5.1	210/A5.2
W1-B209	211/A5.1	211/A5.2
W1-B210	212/A5.1	212/A5.2
W1-B211	213/A5.1	213/A5.2
W1-B212	214/A5.1	214/A5.2
W1-B213	215/A5.1	215/A5.2
W1-B214	216/A5.1	216/A5.2
W1-B215	217/A5.1	217/A5.2
W1-B216	218/A5.1	218/A5.2
W1-B217	219/A5.1	219/A5.2
W1-B218	220/A5.1	220/A5.2
W1-B219	221/A5.1	221/A5.2
W1-B220	222/A5.1	222/A5.2
W1-B221	223/A5.1	223/A5.2
W1-B222	224/A5.1	224/A5.2
W1-B223	225/A5.1	225/A5.2
W1-B224	226/A5.1	226/A5.2
W1-B225	227/A5.1	227/A5.2
W1-B226	228/A5.1	228/A5.2
W1-B227	229/A5.1	229/A5.2
W1-B228	230/A5.1	230/A5.2
W1-B229	231/A5.1	231/A5.2
W1-B230	232/A5.1	232/A5.2
W1-B231	233/A5.1	233/A5.2
W1-B232	234/A5.1	234/A5.2
W1-B233	235/A5.1	235/A5.2
W1-B234	236/A5.1	236/A5.2
W1-B235	237/A5.1	237/A5.2
W1-B236	238/A5.1	238/A5.2
W1-B237	239/A5.1	239/A5.2
W1-B238	240/A5.1	240/A5.2
W1-B239	241/A5.1	241/A5.2
W1-B240	242/A5.1	242/A5.2
W1-B241	243/A5.1	243/A5.2
W1-B242	244/A5.1	244/A5.2
W1-B243	245/A5.1	245/A



DIVISION 2 SITE CONSTRUCTION
DIVISION 3 CONCRETE
 1. PROVIDE CONTROL JOINTS ON CONCRETE TOPPING SLAB.
 2. PROVIDE 2X 1/4" CONTINUOUS PLATE AT TOP & BOTTOM OF CHASES W/ FIRE CAULKING AT AIR DUCT VERTICAL PENETRATION. SEE MECHANICAL DRAWINGS AND 10A.2.2.
 3. FOR LOCATIONS OF OPTIMUM BOARD LINED JOIST CHANNELS FOR MECHANICAL DUCTS SEE MECHANICAL DRAWINGS AND 10A.2.2.
 4. UNIT XXX IS COMMON TO LEVEL 4, 5 AND 6.

DIVISION 3 METALS
 1. INTERIOR EXIST STAIRWAY #1 & 2 SEE 1, 2 & 3 A.1-A.4.
 2. INTERIOR EXIST STAIRWAY #3 SEE 2, 3 & 4 A.1-A.4.
 3. INTERIOR EXIST STAIRWAY #4 SEE 2, 3 & 4 A.1-A.4.
 4. INTERIOR EXIST STAIRWAY #5 SEE 2, 3 & 4 A.1-A.4.
 5. 1/4" DIA. STEEL HANDRAIL @ 2' O.C. SEE 10A.3.
 6. METAL GUARDRAIL SEE DETAIL REFERENCED IN NOTE.
 7. GALV. METAL AND GLASS RAILING SEE 17-10A.4B.
 8. GALV. METAL LADDERS
 9. LOBBY RAMP SEE 15 & 17 A.1-A.4.

DIVISION 3 WOOD AND PLASTICS
 1. DROP CEILING @ COMMON HALLWAY #1 & 2 @ 8'-0" O.C. SEE 5A.2.2.
 2. DROP CEILING @ UNIT HALLWAY @ 8'-0" O.C. SEE 5A.2.2.
 3. VERTICAL AIR DUCT FUR CONSTRUCTION SEE 5A.6 A.5.
 4. HORIZONTAL AIR DUCT FUR CONSTRUCTION SEE 7A.6 A.5.
 5. 1/4" WOOD CRACKED TO SUITE TO DRINK @ 1'-0" O.C. MAX. SEE 10A.2.1.

DIVISION 7 THERMAL AND MOISTURE PROTECTION
 1. BELOW GRADE WATERPROOF SHEET MEMBRANE AND DRAIN MAT. SEE 10A.2.1 TO 10A.2.4.
 2. 1/2" DIA. METAL OVERLAP SCUPPER. SEE 10A.4.
 3. GALV. METAL SCUPPER AND DOWNSPUT TO DAYLIGHT TO ROOF. SEE 10A.4.
 4. FOUNDATION DRAIN W/ CLEAN OUT @ EA. CORNER. SEE 11A.6.
 5. FLUED BENCHMARK 1/4" DIA. UP BOWING. TWO EDGE MATCHED.
 6. CORTEN STEEL SLOPED FLAT PROFILE 22 GA. 16" WIDE PANELS W/ 1" RIBS.
 7. CORTEN STEEL PARAPET CAP FLASHING. SEE 17-10A.4.
 8. PROVIDE KERO MEMBRANE UNDER CONCRETE TOPPING SLAB WITH WATERPROOF CONNECTION TO FLOOR FRAM. EXTEND MEMBRANE UP WALL 4" ABOVE FLOOR.

DIVISION 8 DOORS AND WINDOWS
 1. FIRE RATED WINDOW PROVIDES 180 SPRINKLER HEAD, S.F.D.
 2. 2'-0" HIGH 5/8" TEMPERED GLASS GUARDRAIL MOUNTED ON 2" X 4" STUDS.
 3. 5/8" TEMPERED GLASS FRAMELESS DOOR AND SIDE PANEL.
 4. 5/8" TEMPERED GLASS FRAMELESS PARTITION.

DIVISION 9 FINISHES
DIVISION 10 SPECIALTIES
 1. FIRE EXTINGUISHER CABINET W/ 2A-10-BC FIRE EXTINGUISHER. MOUNT CENTER OF CABINET DOOR HANDLE @ 4'-0" A.F.F. SEE 10A.2.2.

DIVISION 11 FURNISHINGS
 1. TYPICAL KITCHEN W/ BASE AND UPPER CABINETS. SEE 4A.1.
 2. TYPICAL KITCHEN W/ BASE AND UPPER CABINETS. SEE 4A.1.
 3. MINIMUM 5% OF THE BEDS IN THE ACCESSIBLE UNITS SHALL BE ACCESSIBLE WITH A CLEAR FLOOR SPACE ON EACH SIDE OF THE BED. ACCESSIBLE BEDS ARE REQUIRED TO BE OPEN FRAM.

DIVISION 12 SPECIAL CONSTRUCTION

DIVISION 13 CONVEYORS
 1. TRACTION ELEVATOR SEE SHEET A4.2. SEE SPECS.

DIVISION 14 MECHANICAL
 1. SERVICE SINK
 2. ACCESSIBLE SINK AND WORK SURFACE. SEE 5A.5 S.1.
 3. WALL MOUNT B-LEVEL ACCESSIBLE WATER FOUNTAIN. SEE 5A.5.1.D.
 4. TERRACE DRAIN DAY LIGHT @ 4" FROM FACE OF TERRACE.
 5. VAC UNIT.

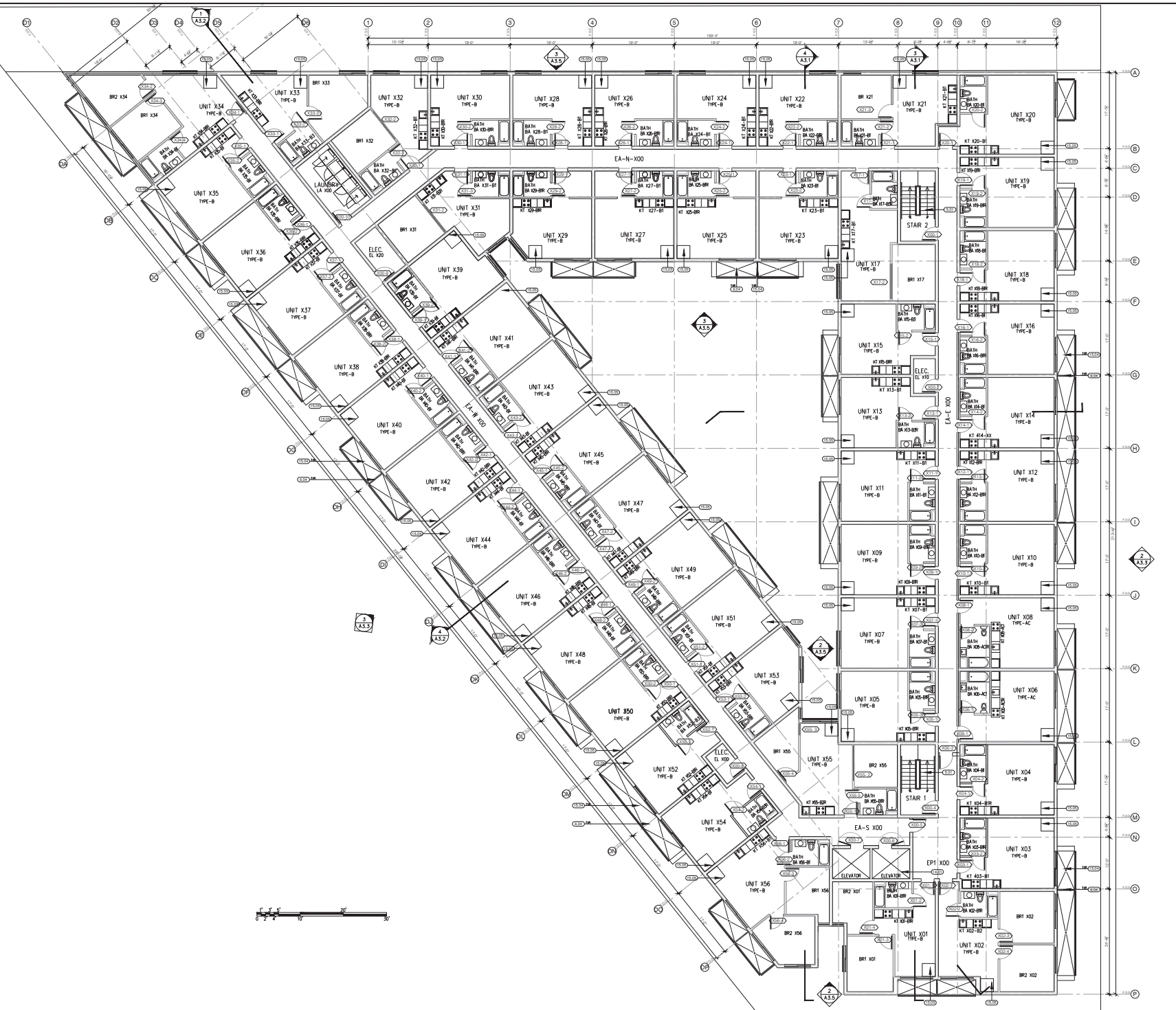
DIVISION 15 ELECTRICAL
 1. DUAL FEEDBACK WITH CMC 20'-0" CABLE.
 2. ELECTRIC METER FOR CBM UNITS.

KEYED NOTES 2/A2.4A

1. PROVIDE CONTROL JOINTS ON CONCRETE TOPPING SLAB. PROVIDE @ ALL DOOR THRESHOLDS. SEE 5A.2.1A FOR TYPICAL LAYOUT.
2. PROVIDE 2X 1/4" CONTINUOUS PLATE AT TOP & BOTTOM OF CHASES W/ FIRE CAULKING AT AIR DUCT VERTICAL PENETRATION. SEE MECHANICAL DRAWINGS AND 10A.2.2.
3. FOR LOCATIONS OF OPTIMUM BOARD LINED JOIST CHANNELS FOR MECHANICAL DUCTS SEE MECHANICAL DRAWINGS AND 10A.2.2.
4. UNIT XXX IS COMMON TO LEVEL 4, 5 AND 6.

WATERWORK SCHEDULE	DETAIL LOCATION	WATERWORK SCHEDULE	DETAIL LOCATION
KT-B1	5/A.1	B1	5/A.2
KT-B1 MIRRORED	4/A.1	B1 MIRRORED	4/A.2
KT-B2	5/A.1	B2	5/A.2
KT-B2 MIRRORED	4/A.1	B2 MIRRORED	4/A.2
KT-B3	7/A.1	B3	7/A.2
KT-B3 MIRRORED	6/A.1	B3 MIRRORED	6/A.2
KT-B4	5/A.1	B4	5/A.2
KT-B4 MIRRORED	4/A.1	B4 MIRRORED	4/A.2
KT-B5	5/A.1	B5	5/A.2
KT-B5 MIRRORED	4/A.1	B5 MIRRORED	4/A.2
KT-B6	5/A.1	B6	5/A.2
KT-B6 MIRRORED	4/A.1	B6 MIRRORED	4/A.2
KT-B7	5/A.1	B7	5/A.2
KT-B7 MIRRORED	4/A.1	B7 MIRRORED	4/A.2
KT-B8	5/A.1	B8	5/A.2
KT-B8 MIRRORED	4/A.1	B8 MIRRORED	4/A.2
KT-B9	5/A.1	B9	5/A.2
KT-B9 MIRRORED	4/A.1	B9 MIRRORED	4/A.2
KT-B10	5/A.1	B10	5/A.2
KT-B10 MIRRORED	4/A.1	B10 MIRRORED	4/A.2
KT-B11	5/A.1	B11	5/A.2
KT-B11 MIRRORED	4/A.1	B11 MIRRORED	4/A.2
KT-B12	5/A.1	B12	5/A.2
KT-B12 MIRRORED	4/A.1	B12 MIRRORED	4/A.2
KT-B13	5/A.1	B13	5/A.2
KT-B13 MIRRORED	4/A.1	B13 MIRRORED	4/A.2
KT-B14	5/A.1	B14	5/A.2
KT-B14 MIRRORED	4/A.1	B14 MIRRORED	4/A.2
KT-B15	5/A.1	B15	5/A.2
KT-B15 MIRRORED	4/A.1	B15 MIRRORED	4/A.2
KT-B16	5/A.1	B16	5/A.2
KT-B16 MIRRORED	4/A.1	B16 MIRRORED	4/A.2
KT-B17	5/A.1	B17	5/A.2
KT-B17 MIRRORED	4/A.1	B17 MIRRORED	4/A.2
KT-B18	5/A.1	B18	5/A.2
KT-B18 MIRRORED	4/A.1	B18 MIRRORED	4/A.2
KT-B19	5/A.1	B19	5/A.2
KT-B19 MIRRORED	4/A.1	B19 MIRRORED	4/A.2
KT-B20	5/A.1	B20	5/A.2
KT-B20 MIRRORED	4/A.1	B20 MIRRORED	4/A.2
KT-B21	5/A.1	B21	5/A.2
KT-B21 MIRRORED	4/A.1	B21 MIRRORED	4/A.2
KT-B22	5/A.1	B22	5/A.2
KT-B22 MIRRORED	4/A.1	B22 MIRRORED	4/A.2
KT-B23	5/A.1	B23	5/A.2
KT-B23 MIRRORED	4/A.1	B23 MIRRORED	4/A.2
KT-B24	5/A.1	B24	5/A.2
KT-B24 MIRRORED	4/A.1	B24 MIRRORED	4/A.2
KT-B25	5/A.1	B25	5/A.2
KT-B25 MIRRORED	4/A.1	B25 MIRRORED	4/A.2
KT-B26	5/A.1	B26	5/A.2
KT-B26 MIRRORED	4/A.1	B26 MIRRORED	4/A.2
KT-B27	5/A.1	B27	5/A.2
KT-B27 MIRRORED	4/A.1	B27 MIRRORED	4/A.2
KT-B28	5/A.1	B28	5/A.2
KT-B28 MIRRORED	4/A.1	B28 MIRRORED	4/A.2
KT-B29	5/A.1	B29	5/A.2
KT-B29 MIRRORED	4/A.1	B29 MIRRORED	4/A.2
KT-B30	5/A.1	B30	5/A.2
KT-B30 MIRRORED	4/A.1	B30 MIRRORED	4/A.2
KT-B31	5/A.1	B31	5/A.2
KT-B31 MIRRORED	4/A.1	B31 MIRRORED	4/A.2
KT-B32	5/A.1	B32	5/A.2
KT-B32 MIRRORED	4/A.1	B32 MIRRORED	4/A.2
KT-B33	5/A.1	B33	5/A.2
KT-B33 MIRRORED	4/A.1	B33 MIRRORED	4/A.2
KT-B34	5/A.1	B34	5/A.2
KT-B34 MIRRORED	4/A.1	B34 MIRRORED	4/A.2
KT-B35	5/A.1	B35	5/A.2
KT-B35 MIRRORED	4/A.1	B35 MIRRORED	4/A.2
KT-B36	5/A.1	B36	5/A.2
KT-B36 MIRRORED	4/A.1	B36 MIRRORED	4/A.2
KT-B37	5/A.1	B37	5/A.2
KT-B37 MIRRORED	4/A.1	B37 MIRRORED	4/A.2
KT-B38	5/A.1	B38	5/A.2
KT-B38 MIRRORED	4/A.1	B38 MIRRORED	4/A.2
KT-B39	5/A.1	B39	5/A.2
KT-B39 MIRRORED	4/A.1	B39 MIRRORED	4/A.2
KT-B40	5/A.1	B40	5/A.2
KT-B40 MIRRORED	4/A.1	B40 MIRRORED	4/A.2
KT-B41	5/A.1	B41	5/A.2
KT-B41 MIRRORED	4/A.1	B41 MIRRORED	4/A.2
KT-B42	5/A.1	B42	5/A.2
KT-B42 MIRRORED	4/A.1	B42 MIRRORED	4/A.2
KT-B43	5/A.1	B43	5/A.2
KT-B43 MIRRORED	4/A.1	B43 MIRRORED	4/A.2
KT-B44	5/A.1	B44	5/A.2
KT-B44 MIRRORED	4/A.1	B44 MIRRORED	4/A.2
KT-B45	5/A.1	B45	5/A.2
KT-B45 MIRRORED	4/A.1	B45 MIRRORED	4/A.2
KT-B46	5/A.1	B46	5/A.2
KT-B46 MIRRORED	4/A.1	B46 MIRRORED	4/A.2
KT-B47	5/A.1	B47	5/A.2
KT-B47 MIRRORED	4/A.1	B47 MIRRORED	4/A.2
KT-B48	5/A.1	B48	5/A.2
KT-B48 MIRRORED	4/A.1	B48 MIRRORED	4/A.2
KT-B49	5/A.1	B49	5/A.2
KT-B49 MIRRORED	4/A.1	B49 MIRRORED	4/A.2
KT-B50	5/A.1	B50	5/A.2
KT-B50 MIRRORED	4/A.1	B50 MIRRORED	4/A.2
KT-B51	5/A.1	B51	5/A.2
KT-B51 MIRRORED	4/A.1	B51 MIRRORED	4/A.2
KT-B52	5/A.1	B52	5/A.2
KT-B52 MIRRORED	4/A.1	B52 MIRRORED	4/A.2
KT-B53	5/A.1	B53	5/A.2
KT-B53 MIRRORED	4/A.1	B53 MIRRORED	4/A.2
KT-B54	5/A.1	B54	5/A.2
KT-B54 MIRRORED	4/A.1	B54 MIRRORED	4/A.2
KT-B55	5/A.1	B55	5/A.2
KT-B55 MIRRORED	4/A.1	B55 MIRRORED	4/A.2
KT-B56	5/A.1	B56	5/A.2
KT-B56 MIRRORED	4/A.1	B56 MIRRORED	4/A.2
KT-B57	5/A.1	B57	5/A.2
KT-B57 MIRRORED	4/A.1	B57 MIRRORED	4/A.2
KT-B58	5/A.1	B58	5/A.2
KT-B58 MIRRORED	4/A.1	B58 MIRRORED	4/A.2
KT-B59	5/A.1	B59	5/A.2
KT-B59 MIRRORED	4/A.1	B59 MIRRORED	4/A.2
KT-B60	5/A.1	B60	5/A.2
KT-B60 MIRRORED	4/A.1	B60 MIRRORED	4/A.2
KT-B61	5/A.1	B61	5/A.2
KT-B61 MIRRORED	4/A.1	B61 MIRRORED	4/A.2
KT-B62	5/A.1	B62	5/A.2
KT-B62 MIRRORED	4/A.1	B62 MIRRORED	4/A.2
KT-B63	5/A.1	B63	5/A.2
KT-B63 MIRRORED	4/A.1	B63 MIRRORED	4/A.2
KT-B64	5/A.1	B64	5/A.2
KT-B64 MIRRORED	4/A.1	B64 MIRRORED	4/A.2
KT-B65	5/A.1	B65	5/A.2
KT-B65 MIRRORED	4/A.1	B65 MIRRORED	4/A.2
KT-B66	5/A.1	B66	5/A.2
KT-B66 MIRRORED	4/A.1	B66 MIRRORED	4/A.2
KT-B67	5/A.1	B67	5/A.2
KT-B67 MIRRORED	4/A.1	B67 MIRRORED	4/A.2
KT-B68	5/A.1	B68	5/A.2
KT-B68 MIRRORED	4/A.1	B68 MIRRORED	4/A.2
KT-B69	5/A.1	B69	5/A.2
KT-B69 MIRRORED	4/A.1	B69 MIRRORED	4/A.2
KT-B70	5/A.1	B70	5/A.2
KT-B70 MIRRORED	4/A.1	B70 MIRRORED	4/A.2
KT-B71	5/A.1	B71	5/A.2
KT-B71 MIRRORED	4/A.1	B71 MIRRORED	4/A.2
KT-B72	5/A.1	B72	5/A.2
KT-B72 MIRRORED	4/A.1	B72 MIRRORED	4/A.2
KT-B73	5/A.1	B73	5/A.2
KT-B73 MIRRORED	4/A.1	B73 MIRRORED	4/A.2
KT-B74	5/A.1	B74	5/A.2
KT-B74 MIRRORED	4/A.1	B74 MIRRORED	4/A.2
KT-B75	5/A.1	B75	5/A.2
KT-B75 MIRRORED	4/A.1	B75 MIRRORED	4/A.2
KT-B76	5/A.1	B76	5/A.2
KT-B76 MIRRORED	4/A.1	B76 MIRRORED	4/A.2
KT-B77	5/A.1	B77	5/A.2
KT-B77 MIRRORED	4/A.1	B77 MIRRORED	4/A.2
KT-B78	5/A.1	B78	5/A.2
KT-B78 MIRRORED	4/A.1	B78 MIRRORED	4/A.2
KT-B79	5/A.1	B79	5/A.2
KT-B79 MIRRORED	4/A.1	B79 MIRRORED	4/A.2
KT-B80	5/A.1	B80	5/A.2
KT-B80 MIRRORED	4/A.1	B80 MIRRORED	4/A.2
KT-B81	5/A.1	B81	5/A.2
KT-B81 MIRRORED	4/A.1	B81 MIRRORED	4/A.2
KT-B82	5/A.1	B82	5/A.2
KT-B82 MIRRORED	4/A.1	B82 MIRRORED	4/A.2
KT-B83	5/A.1	B83	5/A.2
KT-B83 MIRRORED	4/A.1	B83 MIRRORED	4/A.2
KT-B84	5/A.1	B84	5/A.2
KT-B84 MIRRORED	4/A.1	B84 MIRRORED	4/A.2
KT-B85	5/A.1	B85	5/A.2
KT-B85 MIRRORED	4/A.1	B85 MIRRORED	4/A.2
KT-B86	5/A.1	B86	5/A.2
KT-B86 MIRRORED	4/A.1	B86 MIRRORED	4/A.2
KT-B87	5/A.1	B87	5/A.2
KT-B87 MIRRORED	4/A.1	B87 MIRRORED	4/A.2
KT-B88	5/A.1	B88	5/A.2
KT-B88 MIRRORED	4/A.1	B88 MIRRORED	4/A.2
KT-B89	5/A.1	B89	5/A.2
KT-B89 MIRRORED	4/A.1	B89 MIRRORED	4/A.2
KT-B90	5/A.1	B90	5/A.2
KT-B90 MIRRORED	4/A.1	B90 MIRRORED	4/A.2
KT-B91	5/A.1	B91	5/A.2
KT-B91 MIRRORED	4/A.1	B91 MIRRORED	4/A.2
KT-B92	5/A.1	B92	5/A.2
KT-B92 MIRRORED	4/A.1	B92 MIRRORED	4/A.2
KT-B93	5/A.1	B93	5/A.2
KT-B93 MIRRORED	4/A.1	B93 MIRRORED	4/A.2
KT-B94	5/A.1	B94	5/A.2
KT-B94 MIRRORED	4/A.1	B94 MIRRORED	4/A.2
KT-B95	5/A.1	B95	5/A.2
KT-B95 MIRRORED	4/A.1	B95 MIRRORED	4/A.2
KT-B96	5/A.1	B96	5/A.2
KT-B96 MIRRORED	4/A.1	B96 MIRRORED	4/A.2
KT-B97	5/A.1	B97	5/A.2
KT-B97 MIRRORED	4/A.1	B97 MIRRORED	4/A.2
KT-B98	5/A.1	B98	5/A.2
KT-B98 MIRRORED	4/A.1	B98 MIRRORED	4/A.2
KT-B99	5/A.1	B99	5/A.2
KT-B99 MIRRORED	4/A.1	B99 MIRRORED	4/A.2
KT-B100	5/A.1	B100	5/A.2
KT-B100 MIRRORED	4/A.1	B100 MIRRORED	4/A.2

FLOOR ELEVATION SCHEDULE	FLOOR	ELEVATION
LEVEL 4	4	+28'-4"
LEVEL 5	5	+37'-0"
LEVEL 6	6	+47'-4"





DIVISION 2: SITE CONSTRUCTION
DIVISION 3: CONCRETE
 1. PROVIDE CONTROL JOINTS ON CONCRETE TOPPING SLAB.
 2. PROVIDE 2X 1/4" CONTINUOUS PLATE AT TOP & BOTTOM OF CHASES W/ FLOOR CAULKING AT AIR DUCT VERTICAL PENETRATION. SEE MECHANICAL DRAWINGS AND 10A.2.2.
 3. FOR LOCATIONS OF OPTIMUM BOARD LINED JOIST CHANNELS FOR MECHANICAL DUCTS SEE MECHANICAL DRAWINGS AND 10A.2.2.
 4. UNIT XXX IS COMMON TO LEVEL 4, 5 AND 6.

DIVISION 3: METALS
 1. INTERIOR EXIT STAIRWAY #1 & 2, SEE 1, 2, 3 & 10A.1.
 2. INTERIOR EXIT STAIRWAY #3, SEE 2, 3 & 10A.1.
 3. INTERIOR EXIT STAIRWAY #4, SEE 3 & 10A.1.
 4. INTERIOR EXIT STAIRWAY #5, SEE 6, 10, 12 & 10A.1.
 5. 1/4" DIA. STEEL HANDRAIL @ 2' O.C. SEE 10A.1.
 6. METAL GUARDRAIL, SEE DETAIL REFERENCED IN NOTE.
 7. GALV. METAL AND GLASS RAILING, SEE 17-10A.4B.
 8. GALV. METAL LADDERS.
 9. LOBBY RAMP, SEE 15 & 10A.1.

DIVISION 3: WOOD AND PLASTICS
 1. DROP CEILING @ COMMON HALLWAY @ 8'-0" A.F.F. SEE 5A.2.2.
 2. DROP CEILING @ UNIT HALLWAY @ 8'-0" A.F.F.
 3. VERTICAL AIR DUCT FUR CONSTRUCTION SEE 5A.6A.5.
 4. HORIZONTAL AIR DUCT FUR CONSTRUCTION SEE 7A.6A.5.
 5. 1/4" WOOD CRACKED TO SUITE TO DRAIN @ 1'-0" O.C. SEE 10A.2.1.

DIVISION 7: THERMAL AND MOISTURE PROTECTION
 1. BELOW GRADE WATERPROOF SHEET MEMBRANE AND DRAIN MAT, SEE 10A.2.1 TO 10A.2.4.
 2. 1/2" CONCRETE ON METAL DECKING, SEE 10A.2.1.
 3. 1/2" FIBER REINFORCED CEMENT SIDING, SEE WALL ASBY SHEET A1.
 4. 1/2" GPM PARAPET CAP FLASHING, SEE 17-10A.4A.
 5. GALV. METAL OVERLAP SCUPPER, SEE 10A.2.1.
 6. GALV. METAL SCUPPER AND DOWNSPUT TO DAYLIGHT TO ROOF, SEE 10A.2.1.
 7. FOUNDATION DRAIN W/ CLEAN OUT @ EA CORNER, SEE 11A.6A.5.
 8. FLUED BRANCHED 1/4" SHUT-UP RISERS, TWO EGGS MATCHED.
 9. CORTEN STEEL SIDING FLAT PROFILE 22 GA. 16" WIDE PANELS W/ 1" HSB REIN.
 10. CORTEN STEEL PARAPET CAP FLASHING, SEE 17-10A.4A.
 11. PROVIDE RETRO MEMBRANE UNDER CONCRETE TOPPING SLAB WITH WATERPROOF CONNECTION TO FLOOR FRAM. EXTEND MEMBRANE UP WALL @ ABOVE FLOOR.

DIVISION 8: DOORS AND WINDOWS
 1. FIRE RATED WINDOW PROVIDES 160 SPRINKLER HEAD, S.F.D.
 2. 2'-0" HIGH 5/8" TEMPERED GLASS GUARDRAIL MOUNTED ON 5/8" STANCHION.
 3. 5/8" TEMPERED GLASS FRAMELESS DOOR AND SIDE PANEL.
 4. 5/8" TEMPERED GLASS FRAMELESS PARTITION.

DIVISION 9: FINISHES

DIVISION 10: SPECIALTIES
 1. FIRE EXTINGUISHER CABINET W/ 2A:10-BC FIRE EXTINGUISHER, MOUNT CENTER OF CABINET DOOR HANDLE @ 4'-0" A.F.F. SEE 10A.2.1.

DIVISION 11: FURNISHINGS
 1. TYPICAL KITCHEN W/ BASE AND UPPER CABINETS, SEE 4A.1.1.
 2. TYPICAL KITCHEN W/ BASE AND UPPER CABINETS, SEE 4A.1.1.
 3. MINIMUM 5% OF THE BEDS IN THE ACCESSIBLE UNITS SHALL BE ACCESSIBLE WITH A CLEAR FLOOR SPACE ON EACH SIDE OF THE BED. ACCESSIBLE BEDS ARE REQUIRED TO BE OPEN FRAM.

DIVISION 13: SPECIAL CONSTRUCTION

DIVISION 14: CONVEYORS
 1. TRACTION ELEVATOR, SEE SHEET A4.2, SEE SPECS.

DIVISION 15: MECHANICAL
 1. SERVICE SINK.
 2. ACCESSIBLE SINK AND WORK SURFACE, SEE 5A.5.3.
 3. WALL MOUNT B-L LEVEL ACCESSIBLE WATER FOUNTAIN, SEE 5A.6A.1D.
 4. TERRACE DRAIN DAY LIGHT @ 4" FROM FACE OF TERRACE.
 5. VAC UNIT.

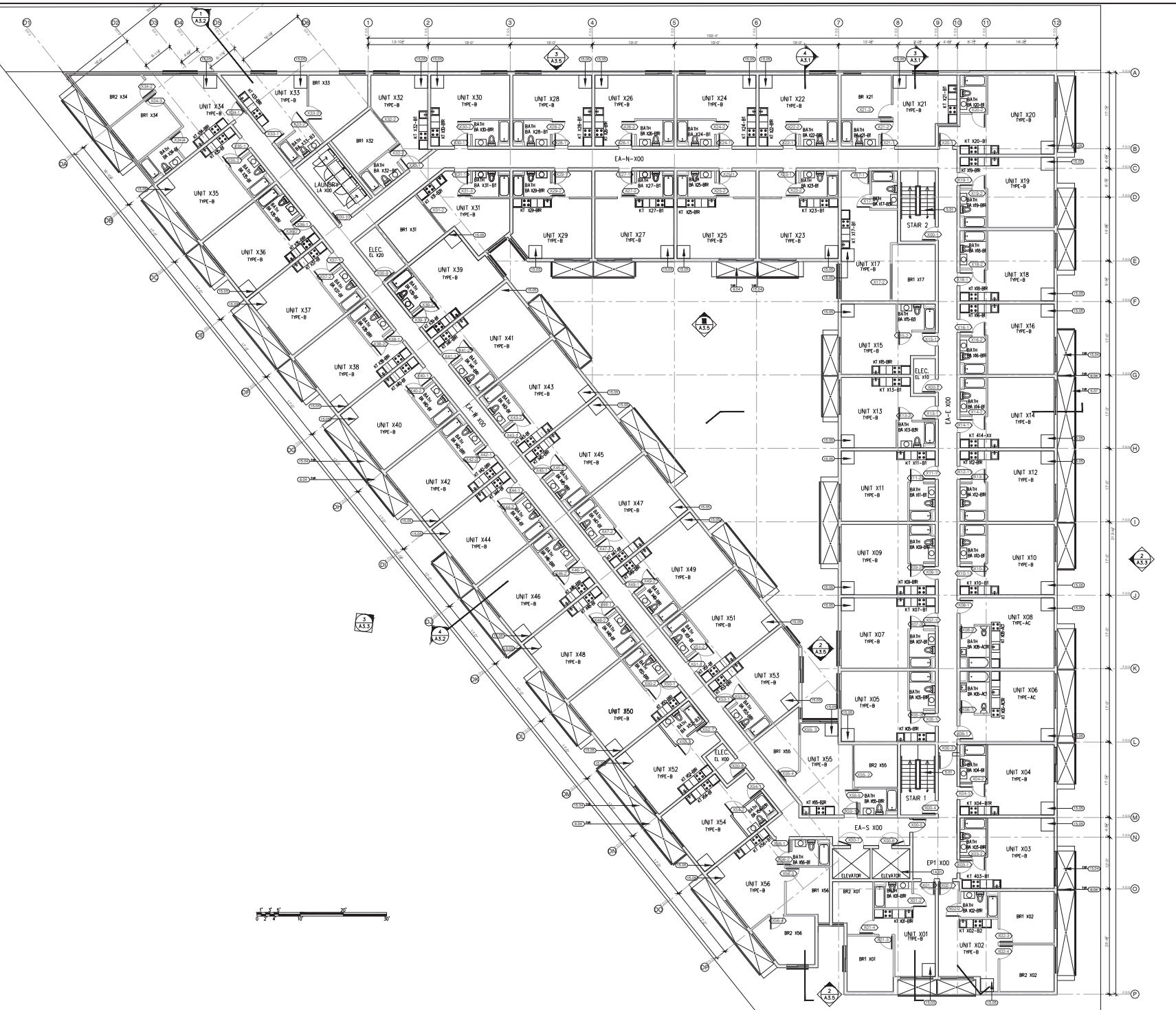
DIVISION 16: ELECTRICAL
 1. DUAL FEEDLITE WITH CEM. 20'-0" CABLE.
 2. ELECTRIC METER FOR 200 AMP.

KEYED NOTES 2/A2.5A

1. PROVIDE CONTROL JOINTS ON CONCRETE TOPPING SLAB. PROVIDE @ ALL DOOR THRESHOLDS. SEE 2A.1A FOR TYPICAL LAYOUT.
2. PROVIDE 2X 1/4" CONTINUOUS PLATE AT TOP & BOTTOM OF CHASES W/ FLOOR CAULKING AT AIR DUCT VERTICAL PENETRATION. SEE MECHANICAL DRAWINGS AND 10A.2.2.
3. FOR LOCATIONS OF OPTIMUM BOARD LINED JOIST CHANNELS FOR MECHANICAL DUCTS SEE MECHANICAL DRAWINGS AND 10A.2.2.
4. UNIT XXX IS COMMON TO LEVEL 4, 5 AND 6.

WINDOW SCHEDULE	DETAIL LOCATION	WINDOW SCHEDULE	DETAIL LOCATION
WT-B1	5/A.1	WT-B1	5/A.2
WT-B1 MIRRORED	4/A.1	WT-B2	5/A.2
WT-B2	5/A.1	WT-B3	6/A.2
WT-B2 MIRRORED	6/A.1	WT-B4	6/A.2
WT-B3	7/A.1	WT-B5	7/A.2
WT-B3 MIRRORED	8/A.1	WT-B6	8/A.2
WT-B4	9/A.1	WT-B7	9/A.2
WT-B4 MIRRORED	10/A.1	WT-B8	10/A.2
WT-B5	11/A.1	WT-B9	11/A.2
WT-B5 MIRRORED	12/A.1	WT-B10	12/A.2
WT-B6	13/A.1	WT-B11	13/A.2
WT-B6 MIRRORED	14/A.1	WT-B12	14/A.2
WT-B7	15/A.1	WT-B13	15/A.2
WT-B7 MIRRORED	16/A.1	WT-B14	16/A.2
WT-B8	17/A.1	WT-B15	17/A.2
WT-B8 MIRRORED	18/A.1	WT-B16	18/A.2
WT-B9	19/A.1	WT-B17	19/A.2
WT-B9 MIRRORED	20/A.1	WT-B18	20/A.2
WT-B10	21/A.1	WT-B19	21/A.2
WT-B10 MIRRORED	22/A.1	WT-B20	22/A.2
WT-B11	23/A.1	WT-B21	23/A.2
WT-B11 MIRRORED	24/A.1	WT-B22	24/A.2
WT-B12	25/A.1	WT-B23	25/A.2
WT-B12 MIRRORED	26/A.1	WT-B24	26/A.2
WT-B13	27/A.1	WT-B25	27/A.2
WT-B13 MIRRORED	28/A.1	WT-B26	28/A.2
WT-B14	29/A.1	WT-B27	29/A.2
WT-B14 MIRRORED	30/A.1	WT-B28	30/A.2
WT-B15	31/A.1	WT-B29	31/A.2
WT-B15 MIRRORED	32/A.1	WT-B30	32/A.2
WT-B16	33/A.1	WT-B31	33/A.2
WT-B16 MIRRORED	34/A.1	WT-B32	34/A.2
WT-B17	35/A.1	WT-B33	35/A.2
WT-B17 MIRRORED	36/A.1	WT-B34	36/A.2
WT-B18	37/A.1	WT-B35	37/A.2
WT-B18 MIRRORED	38/A.1	WT-B36	38/A.2
WT-B19	39/A.1	WT-B37	39/A.2
WT-B19 MIRRORED	40/A.1	WT-B38	40/A.2
WT-B20	41/A.1	WT-B39	41/A.2
WT-B20 MIRRORED	42/A.1	WT-B40	42/A.2
WT-B21	43/A.1	WT-B41	43/A.2
WT-B21 MIRRORED	44/A.1	WT-B42	44/A.2
WT-B22	45/A.1	WT-B43	45/A.2
WT-B22 MIRRORED	46/A.1	WT-B44	46/A.2
WT-B23	47/A.1	WT-B45	47/A.2
WT-B23 MIRRORED	48/A.1	WT-B46	48/A.2
WT-B24	49/A.1	WT-B47	49/A.2
WT-B24 MIRRORED	50/A.1	WT-B48	50/A.2
WT-B25	51/A.1	WT-B49	51/A.2
WT-B25 MIRRORED	52/A.1	WT-B50	52/A.2
WT-B26	53/A.1	WT-B51	53/A.2
WT-B26 MIRRORED	54/A.1	WT-B52	54/A.2
WT-B27	55/A.1	WT-B53	55/A.2
WT-B27 MIRRORED	56/A.1	WT-B54	56/A.2
WT-B28	57/A.1	WT-B55	57/A.2
WT-B28 MIRRORED	58/A.1	WT-B56	58/A.2
WT-B29	59/A.1	WT-B57	59/A.2
WT-B29 MIRRORED	60/A.1	WT-B58	60/A.2
WT-B30	61/A.1	WT-B59	61/A.2
WT-B30 MIRRORED	62/A.1	WT-B60	62/A.2
WT-B31	63/A.1	WT-B61	63/A.2
WT-B31 MIRRORED	64/A.1	WT-B62	64/A.2
WT-B32	65/A.1	WT-B63	65/A.2
WT-B32 MIRRORED	66/A.1	WT-B64	66/A.2
WT-B33	67/A.1	WT-B65	67/A.2
WT-B33 MIRRORED	68/A.1	WT-B66	68/A.2
WT-B34	69/A.1	WT-B67	69/A.2
WT-B34 MIRRORED	70/A.1	WT-B68	70/A.2
WT-B35	71/A.1	WT-B69	71/A.2
WT-B35 MIRRORED	72/A.1	WT-B70	72/A.2
WT-B36	73/A.1	WT-B71	73/A.2
WT-B36 MIRRORED	74/A.1	WT-B72	74/A.2
WT-B37	75/A.1	WT-B73	75/A.2
WT-B37 MIRRORED	76/A.1	WT-B74	76/A.2
WT-B38	77/A.1	WT-B75	77/A.2
WT-B38 MIRRORED	78/A.1	WT-B76	78/A.2
WT-B39	79/A.1	WT-B77	79/A.2
WT-B39 MIRRORED	80/A.1	WT-B78	80/A.2
WT-B40	81/A.1	WT-B79	81/A.2
WT-B40 MIRRORED	82/A.1	WT-B80	82/A.2
WT-B41	83/A.1	WT-B81	83/A.2
WT-B41 MIRRORED	84/A.1	WT-B82	84/A.2
WT-B42	85/A.1	WT-B83	85/A.2
WT-B42 MIRRORED	86/A.1	WT-B84	86/A.2
WT-B43	87/A.1	WT-B85	87/A.2
WT-B43 MIRRORED	88/A.1	WT-B86	88/A.2
WT-B44	89/A.1	WT-B87	89/A.2
WT-B44 MIRRORED	90/A.1	WT-B88	90/A.2
WT-B45	91/A.1	WT-B89	91/A.2
WT-B45 MIRRORED	92/A.1	WT-B90	92/A.2
WT-B46	93/A.1	WT-B91	93/A.2
WT-B46 MIRRORED	94/A.1	WT-B92	94/A.2
WT-B47	95/A.1	WT-B93	95/A.2
WT-B47 MIRRORED	96/A.1	WT-B94	96/A.2
WT-B48	97/A.1	WT-B95	97/A.2
WT-B48 MIRRORED	98/A.1	WT-B96	98/A.2
WT-B49	99/A.1	WT-B97	99/A.2
WT-B49 MIRRORED	100/A.1	WT-B98	100/A.2
WT-B50	101/A.1	WT-B99	101/A.2
WT-B50 MIRRORED	102/A.1	WT-B100	102/A.2

FLOOR ELEVATION SCHEDULE	FLOOR	ELEVATION
1	LEVEL 4	+28'-4"
2	LEVEL 5	+37'-10"
3	LEVEL 6	+47'-4"





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DIVISION 2: SITE CONSTRUCTION
DIVISION 3: CONCRETE
 1. PROVIDE CONTROL JOINTS ON CONCRETE TOPPING SLAB.
 2. PROVIDE 2X LVL CONTINUOUS PLATE AT TOP & BOTTOM OF CHASES W/ FLOOR CAULKING AT AIR DUCT VERTICAL PENETRATION. SEE MECHANICAL DRAWINGS AND 10A.2.2.
 3. FOR LOCATIONS OF OPTIMUM BOARD LINED JOIST CHANNELS FOR MECHANICAL DUCTS SEE MECHANICAL DRAWINGS AND 10A.2.2.
 4. UNIT XXX IS COMMON TO LEVEL 4, 5 AND 6.

DIVISION 3: METALS
 1. INTERIOR EXIST STAIRWAY #1 & 2, SEE 1, 2, 3 & 4 A.1.
 2. INTERIOR EXIST STAIRWAY #3, SEE 2, 3 & 4 A.1.
 3. INTERIOR EXIST STAIRWAY #4, SEE 2, 3 & 4 A.1.
 4. INTERIOR EXIST STAIRWAY #5, SEE 2, 3 & 4 A.1.
 5. 1/4" DIA. STEEL HANGING @ 2' O.C. SEE 10A.3.
 6. METAL GUARDRAIL, SEE DETAIL REFERENCED IN NOTE.
 7. GALV. METAL AND GLASS RAILING, SEE 17-10A.4B.
 8. GALV. METAL LADDERS.
 9. LOBBY RAMP, SEE 15 & 17 A.1.

DIVISION 3: WOOD AND PLASTICS
 1. DROP CEILING @ COMMON HALLWAY @ 8'-0" A.F.F. SEE 5A.2.
 2. DROP CEILING @ UNIT HALLWAY @ 8'-0" A.F.F. SEE 5A.2.
 3. VERTICAL AIR DUCT FUR CONSTRUCTION SEE 5A.5 A.5.
 4. HORIZONTAL AIR DUCT FUR CONSTRUCTION SEE 5A.5 A.5.
 5. WOOD CRACKED TO SUITE TO DRAIN @ 1/4" X 1/2" MIN. SEE 10A.2.1.

DIVISION 7: THERMAL AND MOISTURE PROTECTION
 1. BELOW GRADE WATERPROOF SHEET MEMBRANE AND DRAIN MAT. SEE 10A.2.1.2. WITH DRAIN, SEE 10A.2.1.2.1.
 2. CEMENT STUCCO, SEE WALL ASBY SHEET A.1.
 3. FIBER REINFORCED CEMENT SIDING, SEE WALL ASBY SHEET A.1.
 4. GPM PARAPET CAP FLASHING, SEE 17-10A.4A.
 5. GALV. METAL OVERLAP SCUPPER, SEE 10A.4.
 6. GALV. METAL SCUPPER AND DOWNSPOUT TO DAYLIGHT TO ROOF, SEE 10A.4.
 7. FOUNDATION DRAIN W/ CLEAN OUT @ EA CORNER, SEE 11A.6.
 8. FLUED BENCHMARK 1/4" SHIP UP BOND, TWO EDGE MATCHED.
 9. CORTEN STEEL SIDING FLAT PROFILE 22 GA. 16" WIDE PANELS W/ 1" RIB BED.
 10. CORTEN STEEL PARAPET CAP FLASHING, SEE 17-10A.4A.
 11. PROVIDE KERO MEMBRANE UNDER CONCRETE TOPPING SLAB WITH WATERPROOF CONNECTION TO FLOOR FRAM. EXTEND MEMBRANE UP WALL @ ABOVE FLOOR.

DIVISION 8: DOORS AND WINDOWS
 1. FIRE RATED WINDOW PROVIDE 80 SPRINKLER HEAD, S.F.D.
 2. 2'-0" HIGH 5/8" TEMPERED GLASS GUARDRAIL MOUNTED ON 5/8" STANCHION.
 3. 5/8" TEMPERED GLASS FRAMELESS DOOR AND SIDE PANEL.
 4. 5/8" TEMPERED GLASS FRAMELESS PARTITION.

DIVISION 9: FINISHES
DIVISION 10: SPECIALTIES
 1. FIRE EXTINGUISHER CABINET W/ 2A-10-BC FIRE EXTINGUISHER. MOUNT CENTER OF CABINET DOOR HANDLE @ 4'-0" A.F.F. SEE 10A.2.1.
 2. TYPICAL KITCHEN W/ BASE AND UPPER CABINETS, SEE 4A.1.
 3. TYPICAL KITCHEN W/ BASE AND UPPER CABINETS, SEE 4A.1.
 4. MINIMUM 5% OF THE BEDS IN THE ACCESSIBLE UNITS SHALL BE ACCESSIBLE WITH A CLEAR FLOOR SPACE ON EACH SIDE OF THE BED. ACCESSIBLE BEDS ARE REQUIRED TO BE OPEN FRAM.

DIVISION 10: SPECIAL CONSTRUCTION
DIVISION 14: CONVEYORS
 1. TRACTION ELEVATOR, SEE SHEET A4.2, SEE SPECS.

DIVISION 15: MECHANICAL
 1. SERVICE SINK.
 2. ACCESSIBLE SINK AND WORK SURFACE, SEE 5A.5 S.1.
 3. WALL MOUNT B-L-LEVEL ACCESSIBLE WATER FOUNTAIN, SEE 5A.5.1.5.
 4. TERRACE DRAIN DAY LIGHT @ 4" FROM FACE OF TERRACE.
 5. VAC UNIT.
DIVISION 16: ELECTRICAL
 1. DUAL FEEDER, WITH CMM, 20'-0" CABLE.
 2. ELECTRIC METER FOR 20' UNIT.

KEYED NOTES 2/A2.6A

1. PROVIDE CONTROL JOINTS ON CONCRETE TOPPING SLAB. PROVIDE @ ALL DOOR THRESHOLDS. SEE 5A.2.1A FOR TYPICAL LAYOUT.
2. PROVIDE 2X LVL CONTINUOUS PLATE AT TOP & BOTTOM OF CHASES W/ FLOOR CAULKING AT AIR DUCT VERTICAL PENETRATION. SEE MECHANICAL DRAWINGS AND 10A.2.2.
3. FOR LOCATIONS OF OPTIMUM BOARD LINED JOIST CHANNELS FOR MECHANICAL DUCTS SEE MECHANICAL DRAWINGS AND 10A.2.2.
4. UNIT XXX IS COMMON TO LEVEL 4, 5 AND 6.

WATER SCHEDULE	WATER TYPE	DETAIL LOCATION	WATER SCHEDULE	WATER TYPE	DETAIL LOCATION
KT-B1	5/AS.1		B1	5/AS.2	
KT-B1 MIRRORED	4/AS.1		B1 MIRRORED	4/AS.2	
KT-B2	5/AS.1		B2	5/AS.2	
KT-B2 MIRRORED	4/AS.1		B2 MIRRORED	4/AS.2	
KT-B3	7/AS.1		B3	7/AS.2	
KT-B3 MIRRORED	6/AS.1		B3 MIRRORED	6/AS.2	
KT-B4	5/AS.1		B4	5/AS.2	
KT-B4 MIRRORED	4/AS.1		B4 MIRRORED	4/AS.2	
KT-B5	5/AS.1		B5	5/AS.2	
KT-B5 MIRRORED	4/AS.1		B5 MIRRORED	4/AS.2	
KT-B6	5/AS.1		B6	5/AS.2	
KT-B6 MIRRORED	4/AS.1		B6 MIRRORED	4/AS.2	
KT-B7	5/AS.1		B7	5/AS.2	
KT-B7 MIRRORED	4/AS.1		B7 MIRRORED	4/AS.2	
KT-B8	5/AS.1		B8	5/AS.2	
KT-B8 MIRRORED	4/AS.1		B8 MIRRORED	4/AS.2	
KT-B9	5/AS.1		B9	5/AS.2	
KT-B9 MIRRORED	4/AS.1		B9 MIRRORED	4/AS.2	
KT-B10	5/AS.1		B10	5/AS.2	
KT-B10 MIRRORED	4/AS.1		B10 MIRRORED	4/AS.2	
KT-B11	5/AS.1		B11	5/AS.2	
KT-B11 MIRRORED	4/AS.1		B11 MIRRORED	4/AS.2	
KT-B12	5/AS.1		B12	5/AS.2	
KT-B12 MIRRORED	4/AS.1		B12 MIRRORED	4/AS.2	
KT-B13	5/AS.1		B13	5/AS.2	
KT-B13 MIRRORED	4/AS.1		B13 MIRRORED	4/AS.2	
KT-B14	5/AS.1		B14	5/AS.2	
KT-B14 MIRRORED	4/AS.1		B14 MIRRORED	4/AS.2	
KT-B15	5/AS.1		B15	5/AS.2	
KT-B15 MIRRORED	4/AS.1		B15 MIRRORED	4/AS.2	
KT-B16	5/AS.1		B16	5/AS.2	
KT-B16 MIRRORED	4/AS.1		B16 MIRRORED	4/AS.2	
KT-B17	5/AS.1		B17	5/AS.2	
KT-B17 MIRRORED	4/AS.1		B17 MIRRORED	4/AS.2	
KT-B18	5/AS.1		B18	5/AS.2	
KT-B18 MIRRORED	4/AS.1		B18 MIRRORED	4/AS.2	
KT-B19	5/AS.1		B19	5/AS.2	
KT-B19 MIRRORED	4/AS.1		B19 MIRRORED	4/AS.2	
KT-B20	5/AS.1		B20	5/AS.2	
KT-B20 MIRRORED	4/AS.1		B20 MIRRORED	4/AS.2	
KT-B21	5/AS.1		B21	5/AS.2	
KT-B21 MIRRORED	4/AS.1		B21 MIRRORED	4/AS.2	
KT-B22	5/AS.1		B22	5/AS.2	
KT-B22 MIRRORED	4/AS.1		B22 MIRRORED	4/AS.2	
KT-B23	5/AS.1		B23	5/AS.2	
KT-B23 MIRRORED	4/AS.1		B23 MIRRORED	4/AS.2	
KT-B24	5/AS.1		B24	5/AS.2	
KT-B24 MIRRORED	4/AS.1		B24 MIRRORED	4/AS.2	
KT-B25	5/AS.1		B25	5/AS.2	
KT-B25 MIRRORED	4/AS.1		B25 MIRRORED	4/AS.2	
KT-B26	5/AS.1		B26	5/AS.2	
KT-B26 MIRRORED	4/AS.1		B26 MIRRORED	4/AS.2	
KT-B27	5/AS.1		B27	5/AS.2	
KT-B27 MIRRORED	4/AS.1		B27 MIRRORED	4/AS.2	
KT-B28	5/AS.1		B28	5/AS.2	
KT-B28 MIRRORED	4/AS.1		B28 MIRRORED	4/AS.2	
KT-B29	5/AS.1		B29	5/AS.2	
KT-B29 MIRRORED	4/AS.1		B29 MIRRORED	4/AS.2	
KT-B30	5/AS.1		B30	5/AS.2	
KT-B30 MIRRORED	4/AS.1		B30 MIRRORED	4/AS.2	
KT-B31	5/AS.1		B31	5/AS.2	
KT-B31 MIRRORED	4/AS.1		B31 MIRRORED	4/AS.2	
KT-B32	5/AS.1		B32	5/AS.2	
KT-B32 MIRRORED	4/AS.1		B32 MIRRORED	4/AS.2	
KT-B33	5/AS.1		B33	5/AS.2	
KT-B33 MIRRORED	4/AS.1		B33 MIRRORED	4/AS.2	
KT-B34	5/AS.1		B34	5/AS.2	
KT-B34 MIRRORED	4/AS.1		B34 MIRRORED	4/AS.2	
KT-B35	5/AS.1		B35	5/AS.2	
KT-B35 MIRRORED	4/AS.1		B35 MIRRORED	4/AS.2	
KT-B36	5/AS.1		B36	5/AS.2	
KT-B36 MIRRORED	4/AS.1		B36 MIRRORED	4/AS.2	
KT-B37	5/AS.1		B37	5/AS.2	
KT-B37 MIRRORED	4/AS.1		B37 MIRRORED	4/AS.2	
KT-B38	5/AS.1		B38	5/AS.2	
KT-B38 MIRRORED	4/AS.1		B38 MIRRORED	4/AS.2	
KT-B39	5/AS.1		B39	5/AS.2	
KT-B39 MIRRORED	4/AS.1		B39 MIRRORED	4/AS.2	
KT-B40	5/AS.1		B40	5/AS.2	
KT-B40 MIRRORED	4/AS.1		B40 MIRRORED	4/AS.2	
KT-B41	5/AS.1		B41	5/AS.2	
KT-B41 MIRRORED	4/AS.1		B41 MIRRORED	4/AS.2	
KT-B42	5/AS.1		B42	5/AS.2	
KT-B42 MIRRORED	4/AS.1		B42 MIRRORED	4/AS.2	
KT-B43	5/AS.1		B43	5/AS.2	
KT-B43 MIRRORED	4/AS.1		B43 MIRRORED	4/AS.2	
KT-B44	5/AS.1		B44	5/AS.2	
KT-B44 MIRRORED	4/AS.1		B44 MIRRORED	4/AS.2	
KT-B45	5/AS.1		B45	5/AS.2	
KT-B45 MIRRORED	4/AS.1		B45 MIRRORED	4/AS.2	
KT-B46	5/AS.1		B46	5/AS.2	
KT-B46 MIRRORED	4/AS.1		B46 MIRRORED	4/AS.2	
KT-B47	5/AS.1		B47	5/AS.2	
KT-B47 MIRRORED	4/AS.1		B47 MIRRORED	4/AS.2	
KT-B48	5/AS.1		B48	5/AS.2	
KT-B48 MIRRORED	4/AS.1		B48 MIRRORED	4/AS.2	
KT-B49	5/AS.1		B49	5/AS.2	
KT-B49 MIRRORED	4/AS.1		B49 MIRRORED	4/AS.2	
KT-B50	5/AS.1		B50	5/AS.2	
KT-B50 MIRRORED	4/AS.1		B50 MIRRORED	4/AS.2	
KT-B51	5/AS.1		B51	5/AS.2	
KT-B51 MIRRORED	4/AS.1		B51 MIRRORED	4/AS.2	
KT-B52	5/AS.1		B52	5/AS.2	
KT-B52 MIRRORED	4/AS.1		B52 MIRRORED	4/AS.2	
KT-B53	5/AS.1		B53	5/AS.2	
KT-B53 MIRRORED	4/AS.1		B53 MIRRORED	4/AS.2	
KT-B54	5/AS.1		B54	5/AS.2	
KT-B54 MIRRORED	4/AS.1		B54 MIRRORED	4/AS.2	
KT-B55	5/AS.1		B55	5/AS.2	
KT-B55 MIRRORED	4/AS.1		B55 MIRRORED	4/AS.2	
KT-B56	5/AS.1		B56	5/AS.2	
KT-B56 MIRRORED	4/AS.1		B56 MIRRORED	4/AS.2	
KT-B57	5/AS.1		B57	5/AS.2	
KT-B57 MIRRORED	4/AS.1		B57 MIRRORED	4/AS.2	
KT-B58	5/AS.1		B58	5/AS.2	
KT-B58 MIRRORED	4/AS.1		B58 MIRRORED	4/AS.2	
KT-B59	5/AS.1		B59	5/AS.2	
KT-B59 MIRRORED	4/AS.1		B59 MIRRORED	4/AS.2	
KT-B60	5/AS.1		B60	5/AS.2	
KT-B60 MIRRORED	4/AS.1		B60 MIRRORED	4/AS.2	
KT-B61	5/AS.1		B61	5/AS.2	
KT-B61 MIRRORED	4/AS.1		B61 MIRRORED	4/AS.2	
KT-B62	5/AS.1		B62	5/AS.2	
KT-B62 MIRRORED	4/AS.1		B62 MIRRORED	4/AS.2	
KT-B63	5/AS.1		B63	5/AS.2	
KT-B63 MIRRORED	4/AS.1		B63 MIRRORED	4/AS.2	
KT-B64	5/AS.1		B64	5/AS.2	
KT-B64 MIRRORED	4/AS.1		B64 MIRRORED	4/AS.2	
KT-B65	5/AS.1		B65	5/AS.2	
KT-B65 MIRRORED	4/AS.1		B65 MIRRORED	4/AS.2	
KT-B66	5/AS.1		B66	5/AS.2	
KT-B66 MIRRORED	4/AS.1		B66 MIRRORED	4/AS.2	
KT-B67	5/AS.1		B67	5/AS.2	
KT-B67 MIRRORED	4/AS.1		B67 MIRRORED	4/AS.2	
KT-B68	5/AS.1		B68	5/AS.2	
KT-B68 MIRRORED	4/AS.1		B68 MIRRORED	4/AS.2	
KT-B69	5/AS.1		B69	5/AS.2	
KT-B69 MIRRORED	4/AS.1		B69 MIRRORED	4/AS.2	
KT-B70	5/AS.1		B70	5/AS.2	
KT-B70 MIRRORED	4/AS.1		B70 MIRRORED	4/AS.2	
KT-B71	5/AS.1		B71	5/AS.2	
KT-B71 MIRRORED	4/AS.1		B71 MIRRORED	4/AS.2	
KT-B72	5/AS.1		B72	5/AS.2	
KT-B72 MIRRORED	4/AS.1		B72 MIRRORED	4/AS.2	
KT-B73	5/AS.1		B73	5/AS.2	
KT-B73 MIRRORED	4/AS.1		B73 MIRRORED	4/AS.2	
KT-B74	5/AS.1		B74	5/AS.2	
KT-B74 MIRRORED	4/AS.1		B74 MIRRORED	4/AS.2	
KT-B75	5/AS.1		B75	5/AS.2	
KT-B75 MIRRORED	4/AS.1		B75 MIRRORED	4/AS.2	
KT-B76	5/AS.1		B76	5/AS.2	
KT-B76 MIRRORED	4/AS.1		B76 MIRRORED	4/AS.2	
KT-B77	5/AS.1		B77	5/AS.2	
KT-B77 MIRRORED	4/AS.1		B77 MIRRORED	4/AS.2	
KT-B78	5/AS.1		B78	5/AS.2	
KT-B78 MIRRORED	4/AS.1		B78 MIRRORED	4/AS.2	
KT-B79	5/AS.1		B79	5/AS.2	
KT-B79 MIRRORED	4/AS.1		B79 MIRRORED	4/AS.2	
KT-B80	5/AS.1		B80	5/AS.2	
KT-B80 MIRRORED	4/AS.1		B80 MIRRORED	4/AS.2	
KT-B81	5/AS.1		B81	5/AS.2	
KT-B81 MIRRORED	4/AS.1		B81 MIRRORED	4/AS.2	
KT-B82	5/AS.1		B82	5/AS.2	
KT-B82 MIRRORED	4/AS.1		B82 MIRRORED	4/AS.2	
KT-B83	5/AS.1		B83	5/AS.2	
KT-B83 MIRRORED	4/AS.1		B83 MIRRORED	4/AS.2	
KT-B84	5/AS.1		B84	5/AS.2	
KT-B84 MIRRORED	4/AS.1		B84 MIRRORED	4/AS.2	
KT-B85	5/AS.1		B85	5/AS.2	
KT-B85 MIRRORED	4/AS.1		B85 MIRRORED	4/AS.2	
KT-B86	5/AS.1		B86	5/AS.2	
KT-B86 MIRRORED	4/AS.1		B86 MIRRORED	4/AS.2	
KT-B87	5/AS.1		B87	5/AS.2	
KT-B87 MIRRORED	4/AS.1		B87 MIRRORED	4/AS.2	
KT-B88	5/AS.1		B88	5/AS.2	
KT-B88 MIRRORED	4/AS.1		B88 MIRRORED	4/AS.2	
KT-B89	5/AS.1		B89	5/AS.2	
KT-B89 MIRRORED	4/AS.1		B89 MIRRORED	4/AS.2	
KT-B90	5/AS.1		B90	5/AS.2	
KT-B90 MIRRORED	4/AS.1		B90 MIRRORED	4/AS.2	
KT-B91	5/AS.1		B91	5/AS.2	



DIVISION 2 SITE CONSTRUCTION
DIVISION 2 CONCRETE
 2.01 SAWCUT CONCRETE CONTROL JOINTS PROVIDED @ ALL DOOR THRESHOLDS
 2.02 LEVEL LINE @ ELEVATION 1'-0" ON LEVEL 1, 1'-0" ON LEVEL 2
DIVISION 2 METALS
 2.03 INTERIOR EXIST STAIRWAY #1 & 2 SEE 1, 2, 3 & 4 A.1
 2.04 INTERIOR EXIST STAIRWAY #3 SEE 2, 3 & 4 A.1
 2.05 INTERIOR EXIST STAIRWAY #4 SEE 2, 3 & 4 A.1
 2.06 INTERIOR EXIST STAIRWAY #5 SEE 2, 3 & 4 A.1
 2.07 1/2" DIA. STEEL HANDRAIL @ 2' O.C. SEE 18.04.1
 2.08 METAL GUARDRAIL SEE DETAIL REFERENCED IN NOTE
 2.09 GALV. METAL AND GLASS RAILING SEE 17-10.04.08
 2.10 LOBBY RAMP SEE 15 & 17.04.1

DIVISION 2 WOOD AND PLASTICS
 2.01 DROP CEILING @ COMMON HALLWAY @ 8'-0" A.F.F. SEE 5.02.2
 2.02 DROP CEILING @ UNIT HALLWAY @ 8'-0" A.F.F.
 2.03 DROP CEILING @ UNIT BATHROOM @ 7'-0" A.F.F.
 2.04 VERTICAL AIR DUCT FUR CONSTRUCTION SEE 5.04.05
 2.05 HORIZONTAL AIR DUCT FUR CONSTRUCTION SEE 7.04.05
 2.06 1/2" WOOD CRACKED TO SUITE TO DRAIN @ 1'-0" O.C. SEE 17.04.05

DIVISION 2 THERMAL AND MOISTURE PROTECTION
 2.01 BELOW GRADE WATERPROOF SHEET MEMBRANE AND DRAIN MAT SEE 17.04.05 TO 17.04.08
 2.02 1/2" CEMENT STUCCO SEE WALL ASBY SHEET A.1
 2.03 FIBER REINFORCED CEMENT SIDING SEE WALL ASBY SHEET A.1
 2.04 GPM PARAPET CAP FLASHING SEE 17-10.04.4
 2.05 GALV. METAL OVERLAP SCUPPER SEE 17-10.04.4
 2.06 GALV. METAL SCUPPER AND DOWNSPOUT TO DAYLIGHT TO ROOF SEE 17-10.04.4
 2.07 FOUNDATION DRAIN W/ CLEAN OUT @ EA CORNER SEE 17-10.04.4
 2.08 FLUED BARRICADE 1/2" SHIP LAP SIDING TWO EDGES MATCHED
 2.09 CORTEN STEEL SIDING FLAT PROFILE 22 GA. 16" WIDE PANELS W/ 1" HSB REIN
 2.10 CORTEN STEEL PARAPET CAP FLASHING SEE 17-10.04.4
 2.11 PROVIDE RETRO MEMBRANE UNDER CONCRETE TOPPING SLAB WITH WATERPROOF CONNECTION TO FLOOR FRAM. EXTEND MEMBRANE UP WALL @ ABOVE FLOOR.

DIVISION 2 DOORS AND WINDOWS
 2.01 FIRE RATED WINDOW PROVIDE W/ SPARKLER HEAD, S.F.D.
 2.02 2'-0" HIGH 5/8" TEMPERED GLASS GUARDRAIL MOUNTED ON 5/8" STAYDOWN
 2.03 5/8" TEMPERED GLASS FRAMELESS DOOR AND SIDE PANEL
 2.04 5/8" TEMPERED GLASS FRAMELESS PARTITION

DIVISION 2 FINISHES
 2.01 FIRE EXTINGUISHER CABINET W/ 2A-10-BC FIRE EXTINGUISHER. MOUNT CENTER OF CABINET DOOR HANDLE @ 4'-0" A.F.F. SEE 18.01.2

DIVISION 2 SPECIALTIES
 2.01 TYPICAL KITCHEN W/ BASE AND UPPER CABINETS. SEE 4.04.1
 2.02 TYPICAL KITCHEN W/ BASE AND UPPER CABINETS. SEE 4.04.1
 2.03 MINIMUM 5% OF THE BEDS IN THE ACCESSIBLE UNITS SHALL BE ACCESSIBLE WITH A CLEAR FLOOR SPACE ON EACH SIDE OF THE BED. ACCESSIBLE BEDS ARE REQUIRED TO BE OPEN FRAM

DIVISION 2 SPECIAL CONSTRUCTION
 2.01 TRACTION ELEVATOR SEE SHEET A2.2. SEE SPECS.

DIVISION 2 MECHANICAL
 2.01 SERVICE SINK
 2.02 ACCESSIBLE SINK AND WORK SURFACE. SEE 5.04.5
 2.03 WALL MOUNT B-L LEVEL ACCESSIBLE WATER FOUNTAIN. SEE 5.04.5.10
 2.04 TERRACE DRAIN DAY LIGHT @ 4" FROM FACE OF TERRACE
 2.05 VAC UNIT

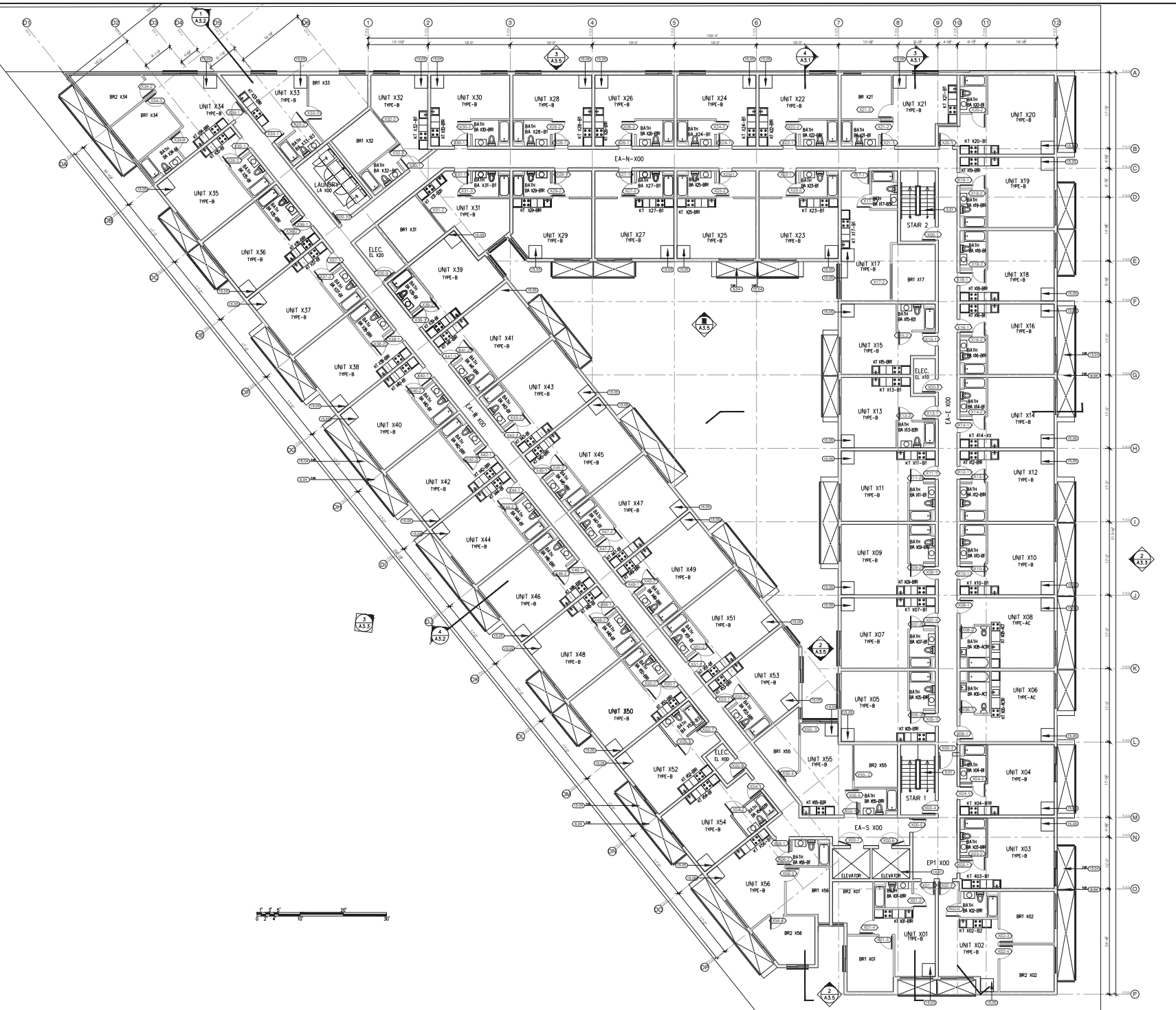
DIVISION 2 ELECTRICAL
 2.01 DUAL FEEDBACK WITH CMM. 20'-0" CABLE
 2.02 ELECTRIC METER FOR CMM UNIT

KEYED NOTES 2/A2.4A

1. PROVIDE CONTROL JOINTS ON CONCRETE TOPPING SLAB. PROVIDE @ ALL DOOR THRESHOLDS. SEE 2.01.04 FOR TYPICAL LAYOUT.
2. PROVIDE 2X LVL CONTINUES PLATE AT TOP @ BOTH OF CHASES W/ FIRE CAULKING AT AIR DUCT VERTICAL PENETRATION. SEE MECHANICAL DRAWINGS AND 17.04.2
3. FOR LOCATIONS OF OPTIMUM BOARD LINED JOST CHANNELS FOR MECHANICAL DUCTS SEE MECHANICAL DRAWINGS AND 17.04.2
4. UNIT XXX IS COMMON TO LEVEL 4, 5 AND 6

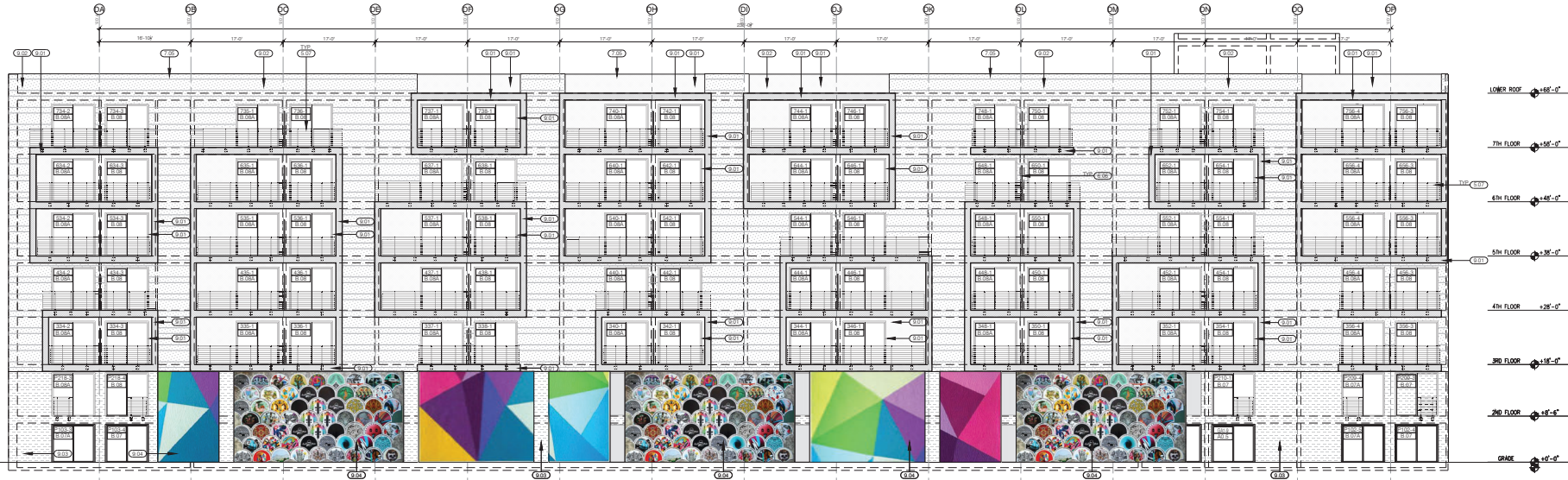
WATER SCHEDULE	WATER TYPE	DETAIL LOCATION	WATER SCHEDULE	WATER TYPE	DETAIL LOCATION
KT-B1	5/AS.1		B1	5/AS.2	
KT-B1 W/ROOF	4/AS.1		B2	5/AS.2	
KT-B2 W/ROOF	5/AS.1		AC3	5/AS.2	
KT-B2 W/ROOF	6/AS.1		B3	7/AS.2	
KT-AC1	7/AS.1		B3 W/ROOF	8/AS.2	
KT-AC1 W/ROOF	8/AS.1		B4	9/AS.2	
KT-AC2	9/AS.1		B4 W/ROOF	10/AS.2	
KT-AC2 W/ROOF	10/AS.1		B5	11/AS.2	
			B5 W/ROOF	12/AS.2	
			AC1	13/AS.2	
			AC1 W/ROOF	14/AS.2	
			AC2	15/AS.2	
			AC2 W/ROOF	16/AS.2	
			AC3	17/AS.2	
			AC3 W/ROOF	18/AS.2	

FLOOR ELEVATION SCHEDULE	FLOOR	ELEVATION
	LEVEL 4	+28'-4"
	LEVEL 5	+37'-10"
	LEVEL 6	+47'-4"





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WEST ELEVATION

sc: 1/8"=1'-0" 3/A3.3



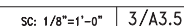
EAST ELEVATION

sc: 1/8"=1'-0" 2/A3.3

- DIVISION 1 SITE CONSTRUCTION**
- 1.01 SAWCUT CONC. CONTROL JOINT. PROVIDE @ ALL DOOR THRESHOLDS
- DIVISION 2 CONCRETE**
- 2.01 TYPICAL UNIT STAIR. SEE 6/A4.3
 - 2.02 STAIR UNIT 115. SEE 1/A4.2
 - 2.03 INTERIOR EXT. STAIRWAY #1 & 2. SEE 1/A4.1
 - 2.04 INTERIOR EXT. STAIRWAY #3. SEE 1/A4.2
 - 2.05 INTERIOR EXT. STAIRWAY #4. SEE 1/A4.2
 - 2.06 3/4" DIA. STEEL HANDRAIL @ 3'-0" A.F.F. SEE 1/A4.3
 - 2.07 METAL GUARDRAIL. SEE 6/A4.2
 - 2.08 GALV. METAL AND GLASS AWNING. SEE 17-18/A4.5
 - 2.09 GALV. METAL LADDER
- DIVISION 3 WOOD AND PLASTICS**
- 3.01 DROP CEILING @ COMMON HALLWAY @ 8'-0" A.F.F. SEE 6/A4.2
 - 3.02 DROP CEILING @ UNIT BATHROOM @ 7'-0" A.F.F.
 - 3.03 VERTICAL AIR DUCT FUR CONSTRUCTION SEE 8/A4.6
 - 3.04 HORIZONTAL AIR DUCT FUR CONSTRUCTION SEE 7/A4.6
 - 3.05 3/4" WOOD CRICKET TO ROOF TO DRAIN @ 1'-4" MIN. SEE 17-18/A4.5
 - 3.06 CORRUGATED CLEAR POLYCARBONATE PARTITION SEE 4/A4.5
- DIVISION 4 THERMAL AND MOISTURE PROTECTION**
- 4.01 BELOW GRADE WATERPROOF SHEET MEMBRANE AND DRAIN MAT. SEE 11/A4.5
 - 4.02 3/8" CORRUGATED METAL SIDING. SEE WALL ASBY. SHEET A4.1
 - 4.03 CEMENT STUCCO. SEE WALL ASBY. SHEET A4.1
 - 4.04 FIBER REINFORCED CEMENT SIDING. SEE WALL ASBY. SHEET A4.1
 - 4.05 1/2" CONCRETE CEMENT PLASTER. SEE 17-18/A4.5
 - 4.06 GALV. METAL OVERLAP SCUPPER. SEE 9/A4.4
 - 4.07 GALV. METAL SCUPPER AND DOWNSPUT TO DAYLIGHT TO ROOF. SEE 10-11/A4.4
 - 4.08 FOUNDATION DRAIN W/ CLEAN OUT @ EA. CORNER. SEE 11/A4.5
 - 4.09 FUSED RIMMED 1/4" SHIP-LAP SIDING. TAGS MATCHED
 - 4.10 CORTEN STEEL SIDING-FLAT PROFILE 22 GA. 16" WIDE PANELS W/ 1" RIB HEIGHT
 - 4.11 CORTEN STEEL. PAINTED CARBON FLAKING. SEE 17-18/A4.5
- DIVISION 5 DOORS AND WINDOWS**
- 5.01 FIRE RATED WINDOW. PROVIDE W/ SPRINKLER HEAD, S.F.S.D.
 - 5.02 3'-0" HIGH 5/8" TEMPERED GLASS GUARDRAIL MOUNTED ON S.S. STANDOFF.
 - 5.03 5/8" TEMPERED GLASS FRAMES DOOR AND USE PANEL.
 - 5.04 5/8" TEMPERED GLASS FRAMELESS PARTITION
- DIVISION 6 FINISHES**
- 6.01 CEMENT STUCCO
 - 6.02 HARDY PLANK MINERAL FIBER
 - 6.03 EXPOSED CONCRETE
 - 6.04 ART MESH COVERINGS
- DIVISION 7 SPECIAL TIES**
- 7.01 FIRE EXTINGUISHER CABINET W/ 3A-180-BC FIRE EXTINGUISHER. MOUNT CENTER OF CABINET DOOR HANDLE @ 4'-0" A.F.F. SEE 6/A4.2
- DIVISION 8 FURNISHINGS**
- 8.01 TYPICAL KITCHEN W/ BASE AND UPPER CABINETS. SEE 4/A4.1
 - 8.02 TYPICAL KITCHEN MIRROR W/ BASE AND UPPER CABINETS. SEE 4/A4.1
 - 8.03 MINIMUM 6" ON TOP OF THE BED IN THE ACCESSIBLE E. WITH A CLEAR FLOOR SPACE ON EACH SIDE OF THE BED. ACCESSIBLE BEDS ARE REQUIRED TO BE OPEN FRAME.
- DIVISION 9 SPECIAL CONSTRUCTION**
- 9.01 TRACTION ELEVATOR SEE SHEET A4.4. SEE SPECS.
- DIVISION 10 CONCRETE**
- 10.01 TYPICAL KITCHEN W/ BASE AND UPPER CABINETS. SEE 4/A4.1
 - 10.02 TYPICAL KITCHEN MIRROR W/ BASE AND UPPER CABINETS. SEE 4/A4.1
 - 10.03 MINIMUM 6" ON TOP OF THE BED IN THE ACCESSIBLE E. WITH A CLEAR FLOOR SPACE ON EACH SIDE OF THE BED. ACCESSIBLE BEDS ARE REQUIRED TO BE OPEN FRAME.
- DIVISION 11 ELECTRICAL**
- 11.01 TYPICAL KITCHEN W/ BASE AND UPPER CABINETS. SEE 4/A4.1
 - 11.02 TYPICAL KITCHEN MIRROR W/ BASE AND UPPER CABINETS. SEE 4/A4.1
 - 11.03 MINIMUM 6" ON TOP OF THE BED IN THE ACCESSIBLE E. WITH A CLEAR FLOOR SPACE ON EACH SIDE OF THE BED. ACCESSIBLE BEDS ARE REQUIRED TO BE OPEN FRAME.

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A3.4



PROJECT NO:
DRAWN BY:
DATE: 08/30/21
SCALE: 1/8"=1'-0"
DRAWING NO. A3.5

ATTACHMENT B: SITE PLAN

SMH
BUILDERS

3578 S 1950 W
UNIT #7,
WEST VALLEY CITY
UTAH 84119
415-519-5398
FAX 415-889-6026



1050 S WASHINGTON ST.

SALT LAKE CITY, UT 84101

RELEASED AND
NO. REVISIONS DATE

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SHEET TITLE:

SITE PLAN

PROJECT NO:
DRAWN BY:
DATE: 08/23/21
SCALE:
DRAWING NO:
A0.01

269 BROOKLYN
PROPOSED 8 STORY BUILDING

1026 S WASHINGTON

1024 S 200 W

1050 S 200 W

1051 S 300 W

1057 S 300 W

1065 S 300 W

1065 S 300 W

15' PUBLIC ALLEY

UTA RIGHT OF WAY

FIRE ACCESS ROAD
S WASHINGTON ST.

PROPOSED HAMMERHEAD FIRE
APPARATUS ACCESS ROAD
TURNAROUND COMPLIES WITH FIGURE
D103.1 "DEAD-END FIRE APPARATUS
ACCESS ROAD TURNAROUND",
SECTION D103, IFC 2018

EXISTING BUILDING
PROPOSED BUILDING

SITE PLAN

SC: 1/16"=1'-0"

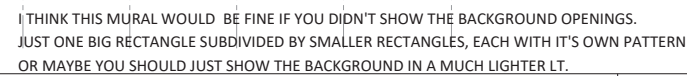
2/A0.01

GENERAL NOTE

1/A0.01

1. FOR FRONT, REAR & SIDE YARDS AND S WASHINGTON ST ROW IMPROVEMENT, SEE 2/A0.2.
2. FOR LANDSCAPING PLAN, SEE L0.1 AND L0.2.
3. FOR CODE ANALYSIS, SEE A0.5.

ATTACHMENT C: BUILDING ELEVATIONS



SC: 1/8"=1'-0"	3/A3.3
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LIKE THIS PATTERN OF BALCONIES. USE THE SAME THICKNESS FOR THE HORIZONTAL AND VERTICALS OF THE BOX.

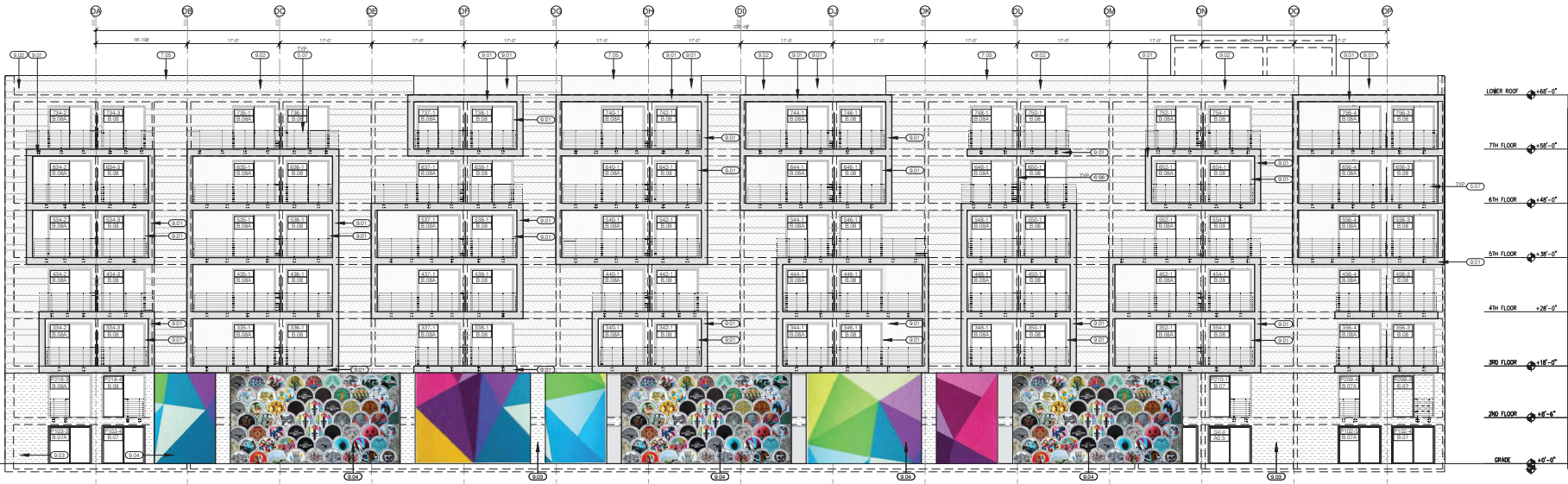


SC: $1/8"=1'-0"$	2/A3.3
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DO ANOTHER BIG, RECTANGULAR MURAL HERE SIMILAR TO WEST MURAL. BUT USE DIFFERENT PATTERNS

1/A3.3

PROJECT NO:
DRAWN BY:
DATE: 08/25/21
SCALE: 1/8" = 1'-0"
DRAWING NO. A3.3



WEST ELEVATION

SC: 1/8"=1'-0" 3/A3.3



EAST ELEVATION

SC: 1/8"=1'-0" 2/A3.3

DIVISION 1 SITE CONSTRUCTION

DIVISION 2 CONCRETE
(1) SAWCUT CONC. CONTROL JOINT. PROVIDE @ ALL DOOR THRESHOLDS

DIVISION 3 METALS

(1) TYPICAL UNIT STAIR, SEE 8/A4.3
(2) STAIR UNIT 115, SEE 1/A4.2
(3) INTERIOR EXT. STAIRWAY #1 & 2, SEE 1/A4.1
(4) INTERIOR EXT. STAIRWAY #3, SEE 1/A4.2
(5) INTERIOR EXT. STAIRWAY #4, SEE 1/A4.2
(6) 1-1/2" DIA. STEEL HANDRAIL @ 3'-0" A.F.F., SEE 1/A4.3
(7) METAL GUARDRAIL, SEE 8/A4.2
(8) GALV. METAL AND GLASS AWNING, SEE 17-18/A4.5
(9) GALV. METAL LADDER

DIVISION 4 WOOD AND PLASTICS

(1) DROP CEILING @ COMMON HALLWAY @ 8'-0" A.F.F., SEE 8/A4.2
(2) DROP CEILING @ UNIT BATHROOM @ 7'-0" A.F.F.
(3) VERTICAL AIR DUCT FUR CONSTRUCTION SEE 8/A4.5
(4) HORIZONTAL AIR DUCT FUR CONSTRUCTION SEE 7/A4.5
(5) 3/4" WOOD CRICKET TO SLOPE TO DRAIN @ 1'-4" WBS, SEE 17-18/A4.5
(6) CORRUGATED CLEAR POLYCARBONATE PARTITION SEE 4/A4.5

DIVISION 5 THERMAL AND MOISTURE PROTECTION

(1) BELOW GRADE WATERPROOF SHEET MEMBRANE AND DRAIN MAT, SEE 11/A4.5
(2) 3/8" CORRUGATED METAL SIDING, SEE WALL ASBY. SHEET A4.1
(3) CEMENT STUCCO, SEE WALL ASBY. SHEET A4.1
(4) FIBER REINFORCED CEMENT SIDING, SEE WALL ASBY. SHEET A4.1
(5) 2" WOOD PARAPET CAP FLASHING, SEE 17-18/A4.5
(6) GALV. METAL OVERLAP SCUPPER, SEE 9/A4.4
(7) GALV. METAL SCUPPER AND DOWNSPUT TO DAYLIGHT TO ROOF, SEE 10-11/A4.4
(8) FOUNDATION DRAIN W/ CLEAN OUT @ EA. CORNER, SEE 11/A4.5
(9) FUSED RIMMED 1/4" SHIP-LAP SIDING, TAGS MATCHED
(10) CORNERS STEEL SIDING-FLAT PROFILE @ 2" GA. 1/2" WIDE PANELS W/ 1" RIB HEIGHT
(11) CORNER STEEL PARAPET CAP FLASHING, SEE 17-18/A4.5

DIVISION 6 DOORS AND WINDOWS

(1) FIRE RATED WINDOW, PROVIDE W/ SPRINKLER HEAD, S.F.S.D.
(2) 3'-0" HIGH 5/8" TEMPERED GLASS GUARDRAIL MOUNTED ON S.S. STANDOFF.
(3) 5/8" TEMPERED GLASS FRAMES DOOR AND USE PANEL.
(4) 5/8" TEMPERED GLASS FRAMELESS PARTITION

DIVISION 7 FINISHES

(1) ART MESH COVERING
(2) FIRE EXTINGUISHER CABINET W/ 3A-10-BC FIRE EXTINGUISHER, MOUNT CENTER OF CABINET DOOR HANDLE @ 4'-0" A.F.F., SEE 8/A4.2

DIVISION 8 SPECIAL USES

(1) TYPICAL KITCHEN W/ BASE AND UPPER CABINETS, SEE 4/A4.1
(2) TYPICAL KITCHEN MIRROR W/ BASE AND UPPER CABINETS, SEE 4/A4.1
(3) MINIMUM 5% OF THE 10% IN THE ACCESSIBLE BEDS SHALL BE ACCESSIBLE WITH A CLEAR FLOOR SPACE ON EACH SIDE OF THE BED. ACCESSIBLE BEDS ARE REQUIRED TO BE OPEN FRAME.

DIVISION 9 SPECIAL CONSTRUCTION

(1) TRACTION ELEVATOR SEE SHEET A4.4, SEE SPECS.

DIVISION 10 CONCRETE

(1) TYPICAL KITCHEN W/ BASE AND UPPER CABINETS, SEE 4/A4.1
(2) TYPICAL KITCHEN MIRROR W/ BASE AND UPPER CABINETS, SEE 4/A4.1
(3) MINIMUM 5% OF THE 10% IN THE ACCESSIBLE BEDS SHALL BE ACCESSIBLE WITH A CLEAR FLOOR SPACE ON EACH SIDE OF THE BED. ACCESSIBLE BEDS ARE REQUIRED TO BE OPEN FRAME.

DIVISION 11 ELECTRICAL

(1) TYPICAL KITCHEN W/ BASE AND UPPER CABINETS, SEE 4/A4.1
(2) TYPICAL KITCHEN MIRROR W/ BASE AND UPPER CABINETS, SEE 4/A4.1
(3) MINIMUM 5% OF THE 10% IN THE ACCESSIBLE BEDS SHALL BE ACCESSIBLE WITH A CLEAR FLOOR SPACE ON EACH SIDE OF THE BED. ACCESSIBLE BEDS ARE REQUIRED TO BE OPEN FRAME.

DIVISION 12 MECHANICAL

(1) TYPICAL KITCHEN W/ BASE AND UPPER CABINETS, SEE 4/A4.1
(2) TYPICAL KITCHEN MIRROR W/ BASE AND UPPER CABINETS, SEE 4/A4.1
(3) MINIMUM 5% OF THE 10% IN THE ACCESSIBLE BEDS SHALL BE ACCESSIBLE WITH A CLEAR FLOOR SPACE ON EACH SIDE OF THE BED. ACCESSIBLE BEDS ARE REQUIRED TO BE OPEN FRAME.

REVISIONS

NO.	REVISIONS	DATE

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SHEET TITLE

BUILDING ELEVATION EAST & WEST WITH ART MURALS

PROJECT NO.:

DRAWN BY:

DATE: 08/30/21

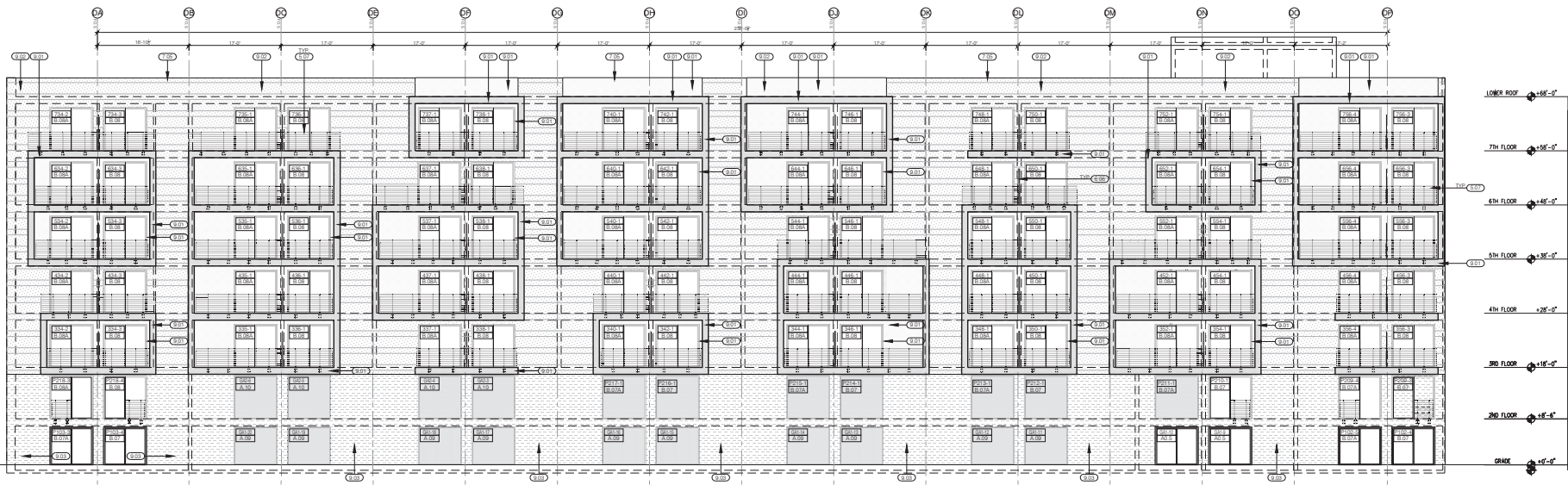
SCALE: 1/8"=1'-0"

DRAWN BY:

A3.3

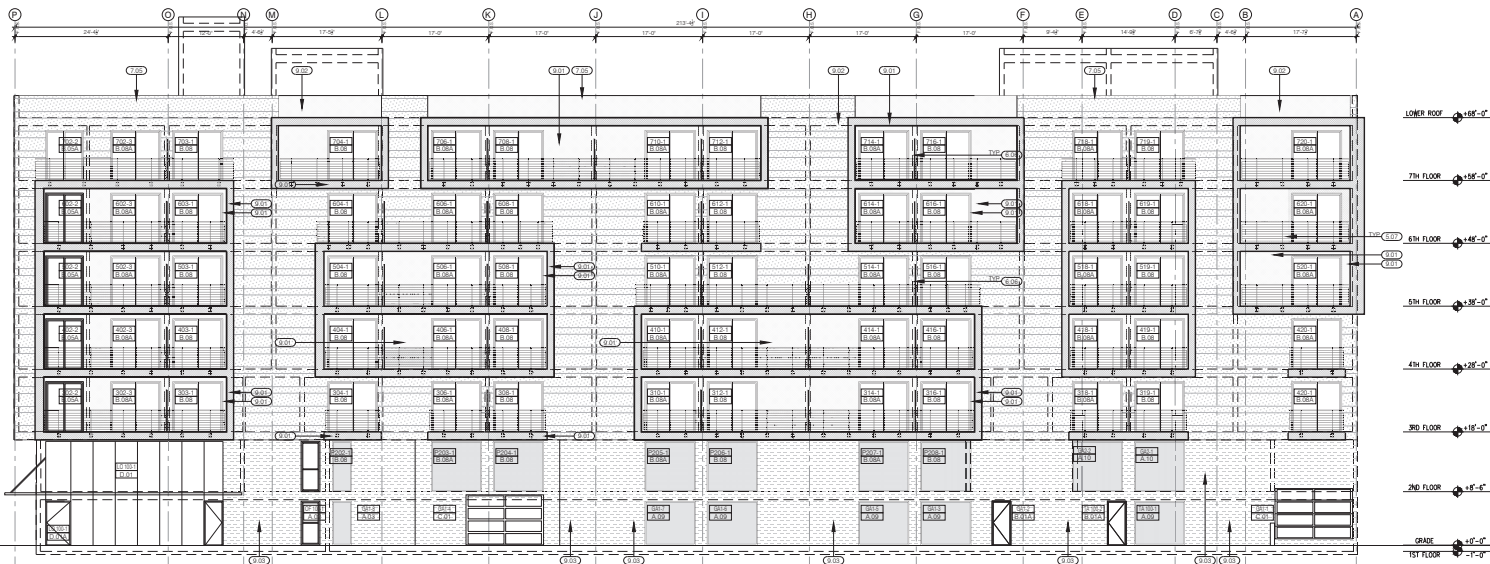
KEYED NOTES

1/A3.3



WEST ELEVATION

SC: 1/8"=1'-0" 3/A3.4



EAST ELEVATION

SC: 1/8"=1'-0" 2/A3.4

KEYED NOTES

1/A3.4

DIVISION 1 SITE CONSTRUCTION

DIVISION 2 CONCRETE

(1) SARCOUT CONC. CONTROL JOINT. PROVIDE @ ALL DOOR THRESHOLDS

DIVISION 3 METALS

- (1) TYPICAL UNIT STAIR, SEE 6/A3.3
- (2) STAIR UNIT 115, SEE 1/A3.2
- (3) INTERIOR EXT. STAIRWAY #1 & 2, SEE 1/A3.1
- (4) INTERIOR EXT. STAIRWAY #3, SEE 1/A3.2
- (5) INTERIOR EXT. STAIRWAY #4, SEE 1/A3.2
- (6) 1/4" DIA. STEEL HANDRAIL @ 3'-0" A.F.F., SEE 1/A3.3
- (7) METAL GUARDRAIL, SEE 6/A3.2
- (8) 1/4" DIA. STEEL AWNING, SEE 17-18/A3.5
- (9) 1/4" DIA. METAL LADDER

DIVISION 4 WOOD AND PLASTICS

- (1) DROP CEILING @ COMMON HALLWAY @ 8'-0" A.F.F., SEE 5/A3.2
- (2) DROP CEILING @ UNIT HALLWAY @ 8'-0" A.F.F.
- (3) DROP CEILING @ UNIT BATHROOM @ 7'-0" A.F.F.
- (4) VERTICAL AIR DUCT FUR CONSTRUCTION SEE 8/A3.5
- (5) HORIZONTAL AIR DUCT FUR CONSTRUCTION SEE 7/A3.5
- (6) 2X12 WOOD CRICKET TO ROOF TO DRAIN @ 1'-0" O.C., SEE 17-18/A3.5
- (7) CORRUGATED CLEAR POLYCARBONATE PARTITION SEE 4/A3.5

DIVISION 5 THERMAL AND MOISTURE PROTECTION

- (1) BELOW GRADE WATERPROOF SHEET MEMBRANE AND DRAIN MAT, SEE 11/A3.5
- (2) 3/8" DIA. CORRUGATED METAL SIDING, SEE WALL ASSY. SHEET A3.1
- (3) CEMENT STUCCO, SEE WALL ASSY. SHEET A3.1
- (4) FIBER REINFORCED CEMENT SIDING, SEE WALL ASSY. SHEET A3.1
- (5) 1/2" DIA. PARAPET CAP FLASHING, SEE 17-18/A3.1
- (6) 1/4" DIA. METAL OVERFLOW SCUPPER, SEE 9/A3.4
- (7) 1/4" DIA. METAL SCUPPER AND DOWNSPOUT TO DRAINLIGHT TO ROOF, SEE 10-11/A3.4
- (8) FOUNDATION DRAIN W/ CLEAN OUT @ EA. CORNER, SEE 11/A3.5
- (9) FUSED RIMMED 1/4" SHIP-LAP SIDING, TWO EDGES MATCHED
- (10) CORTEN STEEL SIDING-FLAT PROFILE 22 GA. 16" WIDE PANELS W/ 1" RIB HEIGHT
- (11) CORTEN STEEL PARAPET CAP FLASHING, SEE 17-18/A3.5

DIVISION 6 DOORS AND WINDOWS

- (1) FIRE RATED WINDOW, PROVIDE W/ SPRINKLER HEAD, S.F.S.D.
- (2) 3'-0" HIGH 5/8" TEMPERED GLASS GUARDRAIL MOUNTED ON S.S. STANDOFF.
- (3) 5/8" TEMPERED GLASS FRAMELESS DOOR AND SIDE PANEL.
- (4) 5/8" TEMPERED GLASS FRAMELESS PARTITION

DIVISION 7 FINISHES

- (1) ...
- (2) ...
- (3) ART. MURAL COVERING

DIVISION 8 SPECIAL USE

- (1) FIRE EXTINGUISHER CABINET W/ 3A-10-BC FIRE EXTINGUISHER, MOUNT CENTER OF CABINET DOOR HANDLE @ 4'-0" A.F.F., SEE 6/A3.2

DIVISION 9 FURNISHINGS

- (1) TYPICAL KITCHEN W/ BASE AND UPPER CABINETS, SEE 4/A3.1
- (2) TYPICAL KITCHEN MIRROR W/ BASE AND UPPER CABINETS, SEE 4/A3.1
- (3) MINIMUM 5% OF THE BED IN THE ACCESSIBLE SHALL BE ACCESSIBLE WITH A CLEAR FLOOR SPACE ON EACH SIDE OF THE BED. ACCESSIBLE BEDS ARE REQUIRED TO BE OPEN FRAME.

DIVISION 10 SPECIAL CONSTRUCTION

- (1) TRACTION ELEVATOR SEE SHEET A4.4, SEE SPECS.

DIVISION 11 MECHANICAL

- (1) ...

NO. REVISIONS AND DATE

NO.	REVISIONS AND DATE

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SHEET TITLE

BUILDING ELEVATION EAST & WEST

PROJECT NO.

08/30/21

DATE

SCALE: 1/8"=1'-0"

DRAWN BY

A3.4

ATTACHMENT D: SITE PHOTOS



View of Site, from Washington St. South/West Perspective

View of Site, North/East Perspective from State Street



View of Unimproved Alley, West Perspective from Washington St.



View South From Washington St.

ATTACHMENT E: CG ZONING STANDARDS ANALYSIS

CG (General Commercial)

Purpose Statement: The purpose of the CG General Commercial District is to provide an environment for a variety of commercial uses, some of which involve the outdoor display/storage of merchandise or materials. This district provides economic development opportunities through a mix of land uses, including retail sales and services, entertainment, office, residential, heavy commercial and low intensities of manufacturing and warehouse uses. This district is appropriate in locations where supported by applicable master plans and along major arterials. Safe, convenient and inviting connections that provide access to businesses from public sidewalks, bike paths and streets are necessary. Access should follow a hierarchy that places the pedestrian first, bicycle second and automobile third. The standards are intended to create a safe and aesthetically pleasing commercial environment for all users.

Zoning Ordinance Standards for CG zone (21A.26.070)			
Standard	Requirement	Proposed	Finding
Minimum Lot Size	10,000 sq ft	33,400 sq t	Complies
Minimum Lot Width	60'	223'	Complies
Front Yard Setback	10'	6'	Requested Modification
Corner Side yard Setback	10'	N/A	Complies
Interior Side Yard Setback	0'	0'	Complies
Rear Yard Setback	10'	6'	Requested Modification
Buffer Yards	N/A	Buffer yards are not required as the surrounding properties and within the same zoning district.	Complies
Landscape Yard Req.	Landscape yard of 10' in the front and corner yard area.	Landscaping withing the required setback areas is provided.	Complies
Maximum Building Height	60' an additional 30' is possible through a Design Review in accordance with the provision of: the increased height will result in improved site layout and amenities. And, if additional floors are approved, increased landscaping shall be provided over and above that which is normally required for landscape yards, landscape buffer yards, and parking lot perimeter and interior landscaping. The amount of increased landscaping shall be equal to ten percent (10%) of the area of the additional floors.	Additional building height is requested. As reviewed and discussed in Key Consideration 3, the proposed redevelopment of the site will result in an improved site layout and building design. The proposed Bumper House development will far exceed the building design standards required in the CG district. And the resulting increase in building height will increase landscaping on site an additional 10% of the proposed additional floor.	Complies

ATTACHMENT F: DESIGN REVIEW STANDARDS ANALYSIS

21A.59.050: Standards for Design Review: In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

Standard	Rationale	Finding
<p>A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.</p>	<p>The property is in the General Commercial zoning district. The CG zone encourages a mix of uses that range from residential to heavy commercial. The proposed use is compatible with the district as it creates a mix of uses. It is also compatible with the master plans in this area, as reviewed in Key Consideration 1. This includes the Central Community master plan by furthering the goals of the community that includes goals such as, <i>"Encourage specific types of growth in designated parts of the community"</i>. By encouraging residential uses in this neighborhood supports local transit and residential uses within walking distance to grocery and other retail stores in the area. The redevelopment also furthers the People's Freeway Neighborhood goals of, <i>"Transitioning the northern portion of the neighborhood from the historic character of low-density residential development to one of transit-oriented"</i>. The proposed Bumper House project meets this standard as increases the residential density in the neighborhood which is within walking distance to transit.</p> <p>The minimal design standards in the CG district are being met and even exceeded. The proposed Bumper House project will encourage redevelopment of the neighborhood to a more transit oriented walkable neighborhood.</p>	Complies
<p>B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.</p> <p>1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot).</p> <p>2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood.</p> <p>3. Parking shall be located within, behind, or to the side of buildings.</p>	<p>Parking for the site will be enclosed in the building and not readily visible from the street. There will be multiple entrances accessible from Washington Street to the east. The structure will be setback 10' on the first and second floors of the structure from the front property line, as the CG district requires. Increased street interaction from the front façade will be provided by balconies that encroach into the front setback as well.</p>	Complies

<p>C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.</p> <ol style="list-style-type: none"> 1. Locate active ground floor uses at or near the public sidewalk. 2. Maximize transparency of ground floor facades. 3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions. 4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces. 	<p>The main building entrance and the location of the residential structure's lobby will be located toward the south on the front façade of the Bumper House project. This entrance will have a number of windows that allows for visibility from the street and onto the street. Further, balconies on the upper floors will also increase visibility to the street creating an environment that is perceived as safer.</p> <p>Outside the ground floor lobby will be a proposed plaza with differing pavers than the public sidewalk. This plaza will be generally surrounded by landscaping giving the area a feeling of enclosure and greater visibility from the street.</p>	<p>Complies</p>
<p>D. Large building masses shall be divided into heights and sizes that relate to human scale.</p> <ol style="list-style-type: none"> 1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis. 2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height. 3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals. 4. Reflect the scale and solid to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan. 	<p>The maximum height that is allowed by right in the CG district is 60'. The proposed additional height is 79'. The additional livable space request is 69', the other 10' allows for mechanical room screening. The additional building height is mitigated by the murals proposed on the street facing facades as well as the differing building materials to emphasize design elements and balconies on the upper floors.</p> <p>The solid to void ratio is an improvement to the existing built environment. The surrounding structures along Washington Street are industrial in nature, adding a greater void to solid ratio improves safety of the area by created the perception on eyes on the street throughout the day.</p>	<p>Complies</p>
<p>E. Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include:</p> <ol style="list-style-type: none"> 1. Changes in vertical plane (breaks in façade); 2. Material changes; and 3. Massing changes. 	<p>While the CG district does not have a street facing façade length maximum because the Bumper House project requires a Design Review approval for additional building height this standard also applies. The Bumper House project is proposed to have a street facing façade that exceeds 200'. The proposed approximately 213' façade includes mitigating features such as building material changes on the upper floors, the use of projecting balconies that reduce the perceived massing of the</p>	<p>Complies</p>

	structure. On each corner of the building, on the south and north corners, will be additional building step backs from the front yard. This also assists with reducing the perceived massing while improving pedestrian interaction.	
<p>F. If provided, privately owned public spaces shall include at least three (3) of the six (6) following elements:</p> <ol style="list-style-type: none"> 1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16”) in height and thirty inches (30”) in width. Ledge benches shall have a minimum depth of thirty inches (30”); 2. A mixture of areas that provide seasonal shade; 3. Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2”) caliper when planted; 4. Water features or public art; 5. Outdoor dining areas; and 6. Other amenities not listed above that provide a public benefit. 	<p>Plaza space is not a required design element of the site in the CG district. The applicant is proposing plaza space near the front lobby in the front yard area. However, this plaza space does not need to comply to this standard.</p>	Not Applicable
<p>G. Building height shall be modified to relate to human scale and minimize negative impacts. In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive city skyline.</p> <ol style="list-style-type: none"> 1. Human scale: <ol style="list-style-type: none"> a. Utilize stepbacks to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans. b. For buildings more than three stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height. 2. Negative impacts: <ol style="list-style-type: none"> a. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors. b. Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. 	<p>Only one additional story will be achieved through the Design Review. To mitigate the effects of this additional height balconies on the upper floors are proposed as well as a plaza and lobby that is nearly composed of entirely glass. Also, differing building materials will be used to emphasize different design elements and balconies on the east and west facades.</p> <p>The impacts the additional building height will have on the public right-of-way and shadows isn't in staff's opinion much of a concern. While to the north of the project site is a public alley, presently the public alley is unimproved and blocked by outdoor storage. The future development of the site will improve the public alley and will develop a pathway to the south of the structure. This pathway along the south allows access to the west façade of the building which has access to the north and the recently approved Chromeworks project to the north.</p>	Complies

<p>Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height.</p> <p>c. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.</p> <p>3. Cornices and rooflines:</p> <p>a. Shape and define rooflines to be cohesive with the building's overall form and composition.</p> <p>b. Include roof forms that complement the rooflines of surrounding buildings.</p> <p>c. Green roof and roof deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.</p>		
<p>H. Parking and on-site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway.</p>	<p>The internal parking structure will have two accesses, one to the north and one further to the south on the building façade. These accesses will be separated from the sidewalk with landscaping and a 10' setback from the front property line. This setback allows for greater pedestrian visibility for those accessing the garage.</p>	<p>Complies</p>
<p>I. Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure.</p>	<p>All mechanical equipment, storage areas, service bays, and refuse containers will be located within the building and completely screened from the street.</p>	<p>Complies</p>
<p>J. Signage shall emphasize the pedestrian/mass transit orientation.</p> <p>1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building.</p>	<p>The majority of the proposed signage on the building is located on the first floor and is directed to the pedestrian. All of the signage on the first floor is also placed near an entrance to the building.</p>	<p>Complies</p>

2. Coordinate signage locations with appropriate lighting, awnings, and other projections.
3. Coordinate sign location with landscaping to avoid conflicts.

K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals.

1. Provide street lights as indicated in the Salt Lake City Lighting Master Plan.
2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky.
3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.

Street lights will be provided along the sidewalk in the right-of-way. Lighting on the site is sufficient to provide a safe and well-lit environment and to allow for visibility for vehicles accessing and existing the parking structure.

Complies

There are not specific standards in the CG district that requires the building to include lighting to emphasize design elements.

Uplighting on the site will be avoided.

L. Streetscape improvements shall be provided as follows:

1. One street tree chosen from the street tree list consistent with the city's urban forestry guidelines and with the approval of the city's urban forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the city's urban forester.
2. Hardscape (paving material) shall be utilized to differentiate privately owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards:
 - a. Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur.
 - b. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table.

While the landscaping plan doesn't currently show the required number of trees along the street facing facade, a condition of approval is included in Staff's recommendation to Planning Commission. This condition of approval will ensure this landscaping standard is met prior to building permit issuance.

Complies

The paving materials will be differentiated between privately owned areas, including the proposed plaza, and the public right-of-way. The private paved areas will be concrete pavers with a neutral color. These pavers are considered durable and permeable. The proposed landscape updates are overall new to the previous exclusively heavily commercialized area. The Bumper House landscaping plan will be a good example to other projects in this area as redevelopment occurs.

c. Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar-Reflective Index (SRI).

d. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City.

e. Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities.

f. Asphalt shall be limited to vehicle drive aisles.

ATTACHMENT G: PLANNED DEVELOPMENT STANDARDS

21A.55.050: Standards for Planned Developments: The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

Standard	Rationale	Finding
A. Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (Section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development. The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development. The planning commission should consider the relationship between the proposed modifications to the zoning regulations and the purpose of a planned development, and determine if the project will result in a more enhanced product than would be achievable through strict application of the land use regulations.	<p>The Bumper House project meets the purpose statement of the Planned Development by complying with objective B in regard to Master Plan compatibility and objective G that the existing and planned utilities will adequately serve the development and not detrimentally effect on the surrounding area.</p> <p>Objective F of the Planned Development objectives states that the project is be complies with the master plan and assists in the master plan implementation.</p> <p>This objective is reviewed closely in the Key Consideration 1 of this report. The subject site is within the Central Community Master Plan, within this plan are the goals of, <i>“Transitioning the northern portion of the neighborhood from the historic character of low-density residential development to one of transit-oriented”</i> and to, <i>“improve...landscaping of commercial and industrial areas”</i>. The Bumper House project meets the goals of the Central Community master plan and furthers the intent of this master plan as it helps transition an area that is planned to be impacted by a light rail extension in all proposed scenarios by UTA. The proposed project will also improve the landscaping of commercial and what is presently an industrial area as it provides landscaping that is visible from the street. Presently there is no landscaping visible on the site and the entire site is consumed by outdoor storage.</p>	Complies
B. The proposed planned development is generally consistent with adopted policies set forth in the citywide, community, and/or small area master plan that is applicable to the site where the planned development will be located.	As discussed in the Key Consideration 1 of this Staff Report it has been found that the proposed Bumper House development will meet the master plans which are applicable to the site, this includes the Central Community Master Plan and the citywide Plan Salt Lake.	Complies
C. Design and Compatibility: The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the planning commission should consider:	The only projection in the required front and rear setbacks is for balconies that will enhance the visual appearance of the building and improve the building’s interaction with the public street. If the front and rear yard setbacks were enforced the balconies would be removed and the design of the building would be negatively impacted.	Complies

C1	<p>Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable master plan related to building and site design;</p>	<p>The Bumper House project is located within a more heavily commercial district and the surrounding property are heavily commercial or industrial. The location of the site has seen redevelopment recently from more industrial or heavy commercial uses to retail and residential. The proposed project will improve the built environment and will further the neighborhood's compliance with the adopted master plans related to building and site design.</p>	
C2	<p>Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable master plan related to building and site design;</p>	<p>Because the subject sites are in a currently heavily commercialized neighborhood which is prime for redevelopment, the built environment is oriented to commercial types of building materials. The proposed Bumper House project will use different materials than currently exists in the neighborhood. The proposed materials are consistent with the Chromeworks project that was approved earlier this year. The building materials will be an improvement to what is existing in the area.</p>	
C3	<p>Whether building setbacks along the perimeter of the development:</p> <ul style="list-style-type: none"> a. Maintain the visual character of the neighborhood or the character described in the applicable master plan. b. Provide sufficient space for private amenities. c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise. d. Provide adequate sight lines to streets, driveways and sidewalks. e. Provide sufficient space for maintenance. 	<p>The setback modifications are addressed in Key Consideration 2. The setbacks for the addition have been found to be appropriate to the character of the neighborhood and will not impact the required setbacks of the ground floor of the building.</p>	
C4	<p>Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;</p>	<p>The primary elevations provide ground floor transparency and architectural detailing. The southwest corner of the building, where active uses are located, have sufficient transparency to highlight that portion of the building. The remaining of the façade is proposed with metal mesh screens that add color and interest to the façade.</p>	
C5	<p>Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;</p>	<p>The lighting will be directed towards the interior of the development.</p>	

C6	Whether dumpsters, loading docks and/or service areas are appropriately screened; and	Dumpsters will be fully screened with durable materials and will be located on the interior of the building.	
C7	Whether parking areas are appropriately buffered from adjacent uses.	Parking will be located within the building. The landscaped front yard and mesh screens will screen the parking from public view.	
D. Landscaping: The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the planning commission should consider:		The existing site does not have any maintained landscaping. The entire site is occupied by a structure and outdoor storage.	Complying
D1	Whether mature native trees located along the periphery of the property and along the street are preserved and maintained;	There are no mature trees located on the site nor along the periphery of the property.	
D2	Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved;	There is no existing landscaping on the site.	
D3	Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development; and	The proposed reduction in setbacks in the front and rear yard areas will be partially moderated by the landscaping proposed in these areas. Both yard areas will include pedestrian walkways and both will be improved with landscaping design that exceeds the standards of the CG district.	
D4	Whether proposed landscaping is appropriate for the scale of the development.	New street trees will be planted along Washington Street and certain species of landscaping and its placement will separate the ground floor parking from the pedestrians on the street.	
E. Mobility: The proposed planned development supports citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the planning commission should consider:		The proposed Bumper House project meets the transportation goals of Salt Lake as the residential use will support a light rail extension that is proposed along the rail line to the west of the site. The transit station will be located within a walkable distance to the north of the site. The existing infrastructure also supports an increase in density in this area as the surrounding arterial and collector street support an increase in population in this area.	Complies
E1	Whether drive access to local streets will negatively impact the safety, purpose and character of the street;	Vehicle access to the site has been reviewed by both the Transportation and Fire Departments and the proposed access to the local street meets their standards.	
E2	Whether the site design considers safe circulation for a range of transportation options including:	Pedestrian access and the site's interaction with pedestrian paths and surrounding potential pedestrian paths and access to transit, green open space, and minimizing potential conflicts between different transportation modes has been priority. It	

	a. Safe and accommodating pedestrian environment and pedestrian oriented design; b. bicycle facilities and connections where appropriate, and orientation to transit where available; and c. Minimizing conflicts between different transportation modes;	appears that because this and surrounding sites have been used as industrial for some type there have been no sidewalks or walkways in this neighborhood for some time. The proposed walkways are new to the area and improve the function of the street. Pedestrian walkways are proposed along all three sides of the building, these paths create spaces to connect with other redevelopment projects.	
E3	Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities;	The layout of the site will allow vehicle access to the public street, it also will open the site to connect to other properties will pedestrian paths on the west and south sides of the structure.	
E4	Whether the proposed design provides adequate emergency vehicle access; and	There is sufficient access around the periphery of the building to facility emergency vehicle access.	
E5	Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.	Loading and services areas are adequate for the site, it is not expected that the loading and service areas will impact the surrounding sites.	
F. Existing Site Features: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.		The ground floor and the second floor of the Bumper House project will comply with the setback standards in the CG district. The modifications are for balcony projections in the upper floors. Because it is the balconies that will project into the front and rear yard setbacks staff has found that the character of the CG district and the neighborhood will be maintained.	Complies
G. Utilities: Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area.		The Public Utilities Department has reviewed the project and finds that they are able to provide all necessary services for this proposed project.	Complies

ATTACHMENT H: DEPARTMENT COMMENTS

Transportation Review: (Michael Barry, Michael.barry@slcgov.com)

- Parking is sufficient based on a fifty percent reduction in parking because the development is within one quarter mile of a fixed transit station.

Building Review: (Bryan Romney, bryan.romney@slcgov.com)

- I have no comments regarding the two application documents.

Engineering Review: (Scott Weiler, scott.weiler@slcgov.com)

- No staircases, RMP equipment, retaining walls, footings, foundations, permanent soldier piles, or permanent soil nails permitted in the public right of way.
- The standard material for public sidewalk in this area of the city is concrete.

Public Utilities Review: (Jason Draper, Jason.draper@slcgov.com)

- Public Utility permit, connection, survey, and inspection fees will apply.
- The existing water mains are inadequate for the proposed development and will likely need to be upgraded. Water and sewer demands will need to be provided to determine if additional offsite improvements are required.
- The property is in a shaded zone x flood hazard area. This is a 0.2% flood hazard area and subject to ponding up to 1 foot.
- All unused water and sewer services must be capped at the main.
- All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.
- All utilities must meet horizontal and vertical clearance requirements. Water and sewer lines require 10 ft minimum horizontal separation and 18" minimum vertical separation. Sewer must maintain 5 ft minimum horizontal separation and 12" vertical separation from any non-water utilities. Water must maintain 3 ft minimum horizontal separation and 12" vertical separation from any non-sewer utilities.
- Utilities cannot cross property lines without appropriate easements and agreements between property owners.
- Site utility and grading plans will be required for building permit review. Other plans such as erosion control plans and plumbing plans may also be required, depending on the scope of work. Submit supporting documents and calculations along with the plans.
- One culinary water meter is permitted per parcel. If the parcel is larger than 0.5 acres, a separate irrigation meter is also permitted. Fire services are permitted, as required. Each service must have a separate tap to the main.
- A minimum of one sewer lateral is required per building.
- Site stormwater must be collected on site and routed to the public storm drain system. Stormwater cannot discharge across property lines or public sidewalks without agreement between property owners.

Zoning Review: (*Anika Stonick, anika.stonick@slcgov.com*)

- An address certificate is required at the time plans are logged in for a building permit.
- Demolition permits will be required for each parcel to remove the existing buildings.
- A subdivision/lot consolidation shall be completed with the planning division prior to issuance of the building permit.

Fire Review: (*Ted Itchon, ted.itchon@slcgov.com*)

- PLNPCM2021-00168 & PLNPCM2021-00169 Fire department access is questionable since Washington Street is a dead end without a turn around. (resolved)

ATTACHMENT I: PUBLIC PROCESS AND COMMENTS

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project:

PUBLIC PROCESS AND INPUT

Timeline

- The applications were submitted on February 23rd, 2021.
- Notice of the proposal, and request for input, was provided to the Ball Park and Central 9th Community Councils on May 3rd, 2021.
 - No comments were received from either Community Council and there were no requests by the notified Community Councils to meet with Planning Staff or the applicant to discuss the applications.
- Early Notification mailings were sent out on May 3rd, 2021 to property owners and residents within 300' of all four corners of the project site.
 - No comments were received from the neighboring property owners or residents.
- An online open house was held May 3rd through June 17th. Mailings were sent out May 3rd, 2021 notifying property owners and residents within 300' of all four corners of the project site.
- Public notice of the Planning Commission hearing was mailed October 1st, 2021 to property owners and residents within 300' of the subject site.
- A public notice sign was posted on both frontages of the subject site on October 1st, 2021. No further public comments were received before this report was finalized.