# Staff Report

**PLANNING DIVISION**

**DEPARTMENT of COMMUNITY and NEIGHBORHOODS**

To: Salt Lake City Planning Commission

From: Amanda Roman, Principal Planner
Amanda.Roman@slcgov.com or 385-386-2765 (Cell) / 801-535-7660 (Voicemail)

Date: September 22, 2021

Re: PLNPCM2021-00421 – Jefferson Court Planned Development
PLNSUB2021-00789 – Preliminary Condo Plat

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## PLANNED DEVELOPMENT & PRELIMINARY CONDO PLAT

**PROPERTY ADDRESS**: 850 S Jefferson Street
**PARCEL ID:** 15-12-254-029-0000
**MASTER PLAN:** Downtown
**ZONING DISTRICT:** FB-UN1 (Form Based Urban Neighborhood District)

**REQUEST:** Northstar Builders, represented by Kaia Ragnhildstveit, has submitted a Planned Development petition to redevelop the property located at 850 S Jefferson Street. The proposed "Jefferson Court" Planned Development includes 3 new attached row houses and one new urban house. The existing detached single-family home would be retained and renovated as a part of the proposal. The development is required to receive Planned Development approval to modify the front and rear yard setbacks. The development includes shared parking, sidewalks, and infrastructure and will be recorded as a condominium plat (PLNSUB2021-00789). The standards of preliminary plat review are in Attachment F.

The Planned Development process includes standards related to whether any modifications will result in a better final product, whether it aligns with City policies and goals, and is compatible with the area or the City's master plan development goals for the area. The full list of standards is in Attachment E.

**RECOMMENDATION:** Based on the findings listed in the staff report, Planning Staff recommends that the Planning Commission approve the Planned Development and Preliminary Condo Plat request at 850 S Jefferson Street with the following conditions:

1. Final approval authority shall be delegated to the Planning Director based on the applicant's compliance with the standards and conditions of approval noted in the staff report.

2. The developer shall record the associated document that discloses future private infrastructure costs and capital improvements of all infrastructure for the Planned Development for a period of 60 years and shall reference said document on the plat in compliance with 21a.55.110 Disclosure of Private Infrastructure Costs for Planned Developments.

3. The applicant shall submit a final plat for review within 18 months. In addition to the final plat requirements stated in chapter 20.20 of this title, no condominium shall have final approval, or shall said units be sold, until the plat has been recorded with the Salt Lake County recorder.

4. Signage shall be posted in the alley requiring that the 4 parking stalls are accessed by reverse only. Per section 21A.44.020.E(2)(c), the parking design for [multi-family residential] shall not require backing into an alley or right of way.

## ATTACHMENTS

**A.** Vicinity & Zoning Maps
**B.** Project Narrative & Plans
**C.** Property & Vicinity Photographs
**D.** Master Plan and FB-UN1 Zoning Standards
**E.** Analysis of Standards – Planned Development
**F.** Analysis of Standards – Preliminary Plat
**G.** Public Process & Comments
**H.** Department Review Comments

## PROJECT DESCRIPTION

The applicant is proposing to redevelop the subject property located at 850 S Jefferson Street. The property is located within the FB-UN1 Form Based Urban Neighborhood District and will include 5 dwelling units to be created through a condominium plat. The two new building forms include an urban house with frontage on Jefferson Street, and 3 row houses located behind. The developer is retaining and renovating the existing single-family bungalow.

The lot is approximately .2 acres (8,720 SF) and the minimum lot size required for the proposed building forms is 7,500 square feet. The proposed row houses are considered one building form as are the urban house and existing single-family dwelling. The applicant is requesting to modify the prescribed setbacks in the FB-UN1 zone, which requires Planned Development approval.

The purpose of modifying the setbacks is to create a uniform street presence and provide parking at the rear of the property. The applicant has stated that the proposal meets the historic preservation and housing objectives for a Planned Development, which will be discussed in more detail in Attachment E.

Jefferson Court is designed to complement the existing streetscape by placing the two smaller scaled structures at the front of the property and placing the taller row houses at the rear. The urban house and existing single-family dwelling create a continuous street wall and are reflective of the neighborhoods established housing type. The row houses are a newer housing type that was not historically built in the neighborhood but are indicative of current development patterns. While larger in scale, the building form is compatible with the neighborhood and is a permitted form. The form based zones are intended to regulate building form and be compatible with existing development while anticipating that the overall scale of the area will evolve.

### *Building Form: Urban House*

An "urban house" is described as residential structure with the approximate scale of a single dwelling unit, containing up to two units. The second unit may be arranged vertically or horizontally but the entry to the second unit is from the side, rear, or interior of structure. A third unit may also be located along an alley as a standalone unit or as a dwelling unit located in an accessory building. An urban house is oriented toward the street with one single entry and includes a front porch or stoop, as well as a small front yard. All units are considered one building form and are required to be on a single lot with at least 3,000 square feet.

The proposed two story urban house is approximately 25 feet in height and 1,600 square feet. The building has frontage on Jefferson Street and while it is 4 ½ feet taller than the existing bungalow, the scale and form is compatible. A 3 foot tall fence provides private open space for both the urban house and single-family dwelling.

**Proposed Urban House & Existing Single-Family Dwelling**

### *Building Form: Existing Single-Family Dwelling*

One of the zoning districts design standards is to "rehabilitate and reuse existing residential structures in the Form Based Districts when possible to efficiently use infrastructure and natural resources, and preserve neighborhood character." The reuse of the existing single-family home meets this standard as well as the Planned Development objective that states, "Preservation, restoration, or adaptive reuse of buildings or structures that contribute to the character of the City either architecturally and/or historically, and that contribute to the general welfare of the residents of the City."

The 900 square foot bungalow, which was built in 1910, will be renovated as a part of the planned development proposal. The roof and windows will be replaced, but the character defining front porch will remain.

**Renovated Single-Family Home**

***Building Form: Row Houses***

A "row house" contains either 3 or 4 residential dwelling units that share at least one common wall with an adjacent unit. Each row house building form requires 1,500 square feet of lot area. The FB-UN1 zone requires using the existing alley network for access and emphasizes the importance of appropriately scaled development that enhances the pedestrian experience.

The buildings are approximately 1,760 square feet with 2 ½ stories of living space. They are 30 feet tall measured to the peak of the gable roof, which is the maximum height of each building form in the FB-UN1 zone.

For buildings with a gable roof, a "half story" is considered the portion of the building which contains habitable living space within the roof structure. The interior walls of the row houses are shorter than the exterior, which must accommodate a staircase landing within a small dormer.

**Proposed Row Houses**

The proposed row houses are larger in scale than the buildings fronting Jefferson Street, but their location at the back of the property softens the transition between the single-family dwellings and the FB-UN2 zone to the west, which is separated by a public alley. Four shared off-street parking spaces are accessed via the alleyway and there are no existing or proposed curb cuts onto Jefferson Street. The property is not located in a local historic district, so if the existing single-family home were to be replaced, the lots square footage would allow for additional row house building forms, between 3 and 4 units each.

While not directly adjacent to Jefferson Street, the row houses engage the street through the addition of private balconies and ground level porches that face the public realm. A pedestrian walkway provides direct access from the buildings to the public sidewalk.

## KEY CONSIDERATIONS

The considerations below were identified through the analysis of the project and department review comments.

1. Modification of Front and Rear Yard Setbacks
2. Compatibility with Surrounding Neighborhood

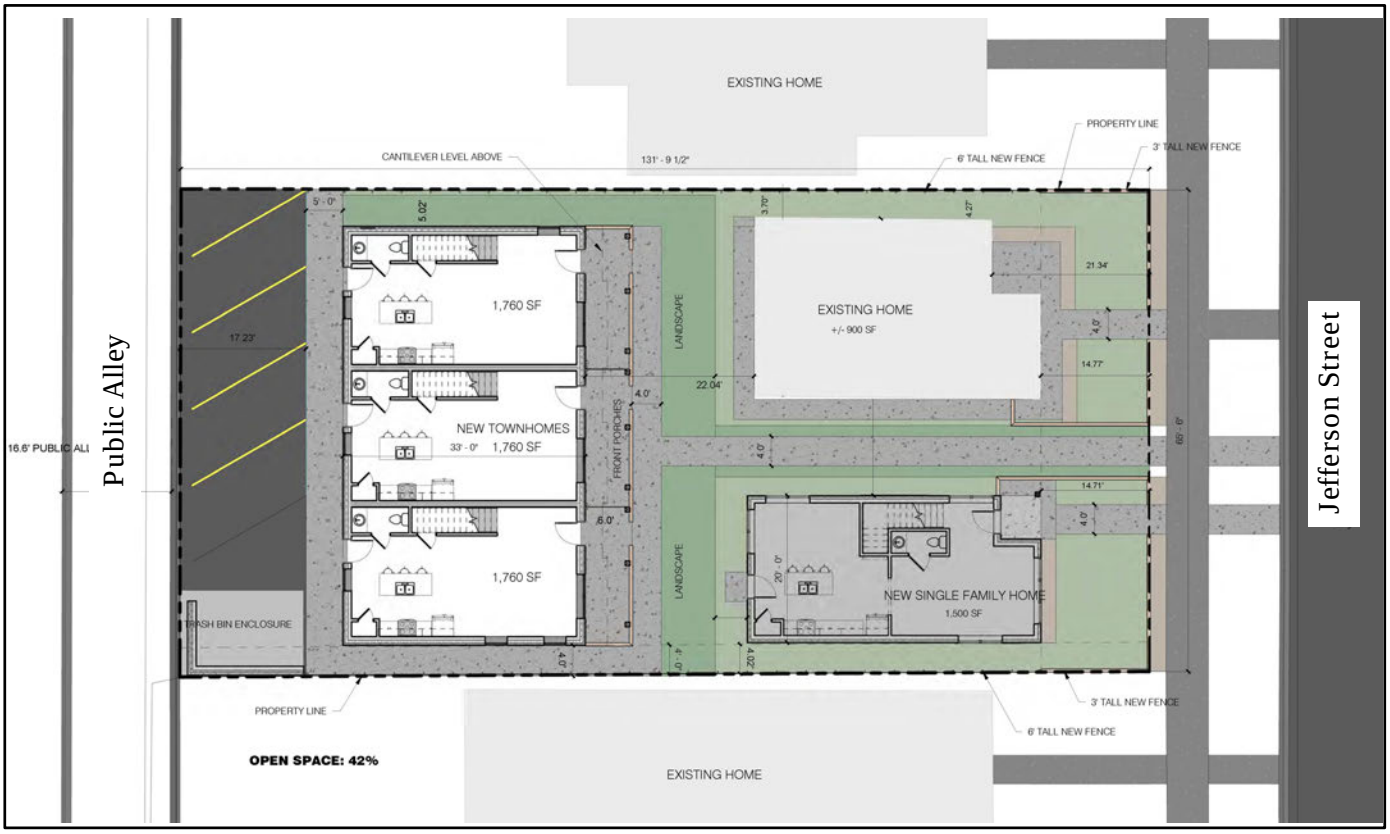
### Consideration 1: Modification of Front and Rear Yard Setbacks

The front yard setback of all building forms in the FB-UN1 zone is equal to the average setback of the block face, where applicable, otherwise it is a minimum of 10 feet and a maximum of 20 feet. A frontage study (Attachment B) was provided by the applicant that shows the average

front yard setback on the western block face is 18 ½ feet. The applicant is requesting a reduced front yard setback of approximately 15 feet, which is equal to the setback of the adjacent single-family home.

Because the property is not located in a local historic district, the existing house could be demolished and rebuilt without Planning approval. The neighborhood has voiced their support for preserving the existing housing stock because the area has had many of its historic homes demolished to make way for new development. The preservation and rehabilitation of existing housing is also an initiative outlined in Plan Salt Lake and should be implemented whenever feasible. Modifying the front yard setback of the urban house will create a more uniform street wall and encourages the preservation of the existing home.

The minimum rear yard setback requirement of both urban houses and row houses in the FB-UN1 zone is 20% of the lot depth, up to 25 feet. The proposed rear yard setback from the row houses to the rear property line is 22 feet, which is 17% of the lot depth. The reduced setback allows for 4 parking spaces off the alley and larger separation between the row houses and the two dwellings with street frontage. The row houses will be separated from the rear property line of the two properties to the west by approximately 38 ½ feet.




**Site Plan**

## Consideration 2: Compatibility with Surrounding Neighborhood

Form based districts emphasize the form, scale, placement, and orientation of buildings. The purpose of form based districts is to create urban neighborhoods that are designed for people and provide a variety of housing types that respect the context and scale of the existing neighborhood. Regulations within the districts place emphasis on the form of the built environment over land use. The FB-UN1 zone is primarily residential, while the other form based zones accommodate a mix of uses.

The FB-UN1 subdistrict includes small scale structures, up to two and a half stories in height placed on smaller sized lots. The number of dwelling units permitted per lot depends on the building form. The zone permits one urban house for every 3,000 square feet of lot area. Row houses are limited to 3-4 dwelling units per building form and one building form per 1,500 square feet of lot area. Staff applied the urban house zoning standards to the single-family dwelling as they are the most compatible building forms. The subject property includes two of the consolidated lots in the original Walker Subdivision, recorded in 1888, resulting in the lot being twice the size of other properties on Jefferson Street. Under the FB-UN1 zoning standards, the existing lot size could support more units, such as a second unit in the urban home or a fourth row house.

While off-street parking is not required in the FB-UN zones, the addition of 4 spaces accessed from the alley provides an amenity to the property owners and reduces the demand for parking on Jefferson Street. Due to the shared amenities, the project is being recorded as a condominium, which is considered a multi-family development. Off-street parking regulations do not permit parking designs that allow vehicles to back into alleyways from the parking stall. As a condition of approval, the developer will be required to add signage in the alleyway directing residents to back into the parking stall so they can exit in a straightforward manner.

The lots along the interior of Jefferson Street are zoned FB-UN1 and the lots on the main streets and corners are zoned FB-UN2. The existing neighborhood has a variety of housing types including original single-family dwellings, new row houses and apartments, as well as a range of small scale commercial buildings. The proposal is smaller in scale and density than recent development in the FB-UN2 zone to the west and south and the arrangement of the urban house and existing bungalow along Jefferson Street provides a transition between the FB-UN1 and FB-UN2 zones. The smaller building forms are compatible with the existing single-family development on Jefferson Street and the taller row houses at the rear of the property reflect the increase in permitted building height in the FB-UN2 zone.

**Development Examples**

## DISCUSSION

The proposal generally meets the Planned Development standards (Attachment E) and complies with the development expectations articulated in the *Downtown Master Plan*. The proposal provides infill housing that is appropriate in scale to the existing community as well as the future expectations for growth in the area. The retention of the single-family dwelling contributes to neighborhood stability and character.

The proposed development and requested modifications to setbacks is representative of recent and existing development patterns within the neighborhood. Thus, staff is recommending approval of the Planned Development and Preliminary Condo Plat with the conditions noted in the staff report.

## NEXT STEPS

If the Planned Development is approved, the applicant will need to need to comply with the conditions of approval, including any of the conditions required by City departments and the Planning Commission. A final plat application will need to be submitted and recorded with Salt Lake County.

If the Planned Development is denied, the applicant can submit a building permit application that complies with the requirements of the FB-UN1 zoning district and proceed with a permitted development.

# ATTACHMENT A:

## Vicinity Map

Salt Lake City Planning Division 8/19/2021

# Zoning Map

Salt Lake City Planning Division 8/19/2021

# ATTACHMENT B:
## Project Narrative & Plans

# Planned Development

SALT LAKE CITY PLANNING

| OFFICE USE ONLY | | | |
|---|---|---|---|
| Project #: | Received By: | Date Received: | Zoning: |

Project Name:
Jefferson Court

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

Request:
Planned Development with FB-UN1 setback and zoning code modifications

Address of Subject Property:
850 S Jefferson St

| Name of Applicant: | Phone: |
|---|---|
| Northstar Builders - Kaia Ragnhildstveit | |

Address of Applicant:
1059 E 900 S Suite 201 SLC, UT 84105

| E-mail of Applicant: | Cell/Fax: |
|---|---|
| | |

Applicant's Interest in Subject Property:

☐ Owner ☑ Contractor ☐ Architect ☐ Other: Contractor

Name of Property Owner (if different from applicant):
Property under contract from Francisco Gomez

| E-mail of Property Owner: | Phone: |
|---|---|
| | |

**Please note** that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

**AVAILABLE CONSULTATION**

Planners are available for consultation prior to submitting this application. Please email zoning@slcgov.com if you have any questions regarding the requirements of this application.

**WHERE TO FILE THE COMPLETE APPLICATION**

Apply online through the **Citizen Access Portal**. There is a **step-by-step guide** to learn how to submit online.

**REQUIRED FEE**

Filing fee of **$775** plus **$121** per acre in excess of (1) acre.
Plus additional fee for required public notices will be assessed after appliction is submitted.

**SIGNATURE**

If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

| Signature of Owner or Agent: | Date: |
|---|---|
| | 8/6/2021 |

## SUBMITTAL REQUIREMENTS

| Staff Review | | |
|---|---|---|
| | | **1. Project Description** |
| ☐ | ✔ | Description of your proposed use and existing use (please attach additional sheet/s) |
| | | **2. Planned Development Information.** |
| ☐ | ✔ | Provide the following written and graphic information (please attach additional sheet/s): |
| | | a. Demonstrate how your project meets the purpose and objectives of a planned development as stated in 21A.55.010 of the Planned Development ordinance; |
| | | b. Demonstrate how your project meets the Standards for Planned Developments as stated in 21A.55.050 of the Planned Development ordinance; and |
| | | c. Describe the plan for long term maintenance of all private infrastructure as stated in 21A.55.110 of the Planned Development ordinance. |
| | | **3. Minimum Plan Requirements** |
| ☐ | ✔ | A digital (PDF) copy of each plan and elevation drawing |
| | | **4. Site Plan** |
| ☐ | ✔ | Site plan (see the *Site Plan Requirements flyer* for further details) |
| | | **5. Elevation Drawing** (if applicable) |
| ☐ | ✔ | Detailed elevation, sections and profile drawings with dimensions drawn to scale |
| ☐ | ✔ | Type of construction and list the primary exterior construction materials |
| ☐ | ✔ | Number, size, and type of dwelling units in each building, and the overall dwelling unit density |

## INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

KR I acknowledge that Salt Lake City requires the items above to be submitted before my application can be processed. I understand that Planning will not accept my application unless all of the following items are included in the submittal package.

NORTHSTAR

BUILDERS INCORPORATED

# Jefferson Court - Planned Development Applicant Narrative

PARCEL ID: 1512254029 850 S Jefferson St SLC, UT 84101

2 .....Applicant Narrative
9 ..... Private Infrastructure Costs
10 ..... PD Preliminary Site Plan
11.....Architectural Site Plan/ Elevations/ Floorplans
20 .....Civil Site Plan/ Utilities
31.....Landscape Plan
33.....Irrigation Plan

The following is a proposal for a residential planned development that has been designed in a unique effort to not only rehabilitate and reuse the existing residential home, but also to implement building forms that are compatible with the City's vision for an increase in differing building scales throughout the form-based district. This planned development is located in the heart of the Central Ninth neighborhood, just steps away from the 9th South Trax station and the 9th South Neighborhood Market. It is also located just two lots south of the Jefferson Walkway cottage development and across the alleyway from both the Central 9 Loft townhomes and the nearly completed TAG 200 W townhomes.

Located within FB-UN1 zoning, this wide 0.2-acre parcel is currently an underutilized lot with one single family dwelling in the northeast corner and a dilapidated shed in the northwest corner of the parcel. The southern half of the parcel remains vacant, used as a yard for some chickens. The site plan concept for this planned development consists of building a new two-story urban home (+/- 1,600 SF) alongside the existing (+/- 900 SF) home, and three (+/-1,760 SF) row houses at the rear for a combined total of five dwelling units requested to be grouped on one lot (through a condo plat). A very similar concept, maintained through a HOA, has been successfully implemented at theRose in Salt Lake at 537 S 500 E.

The FB-UN1 urban neighborhood subdistrict includes small scale structures, up to two and one-half (2.5) stories in height, on relatively small lots with up to four (4) dwelling units per lot depending on building type. Therefore, the decision to move forward with a planned development application has been based on initial communications with the city in reference to the fact that the number of dwelling

units per lot in this section is not a density standard and therefore, the Planning Commission is not limited by the provision in City Code section 21A.55.020. D.

There is no minimum parking requirement in the FB-UN1 district, but in order to help alleviate parking impacts on Jefferson Street, we have added four (4) angled spaces that can be accessed from the alleyway. It is similar in design to the parking for the Jefferson Walkway, and would meet the minimum back-out distance needed for 45-degree angle parking spaces. This also accomplishes the FB-UN1 design guidelines to minimize the visual impacts of parking areas, as they would be accessed from the alleyway and not visible from Jefferson Street.

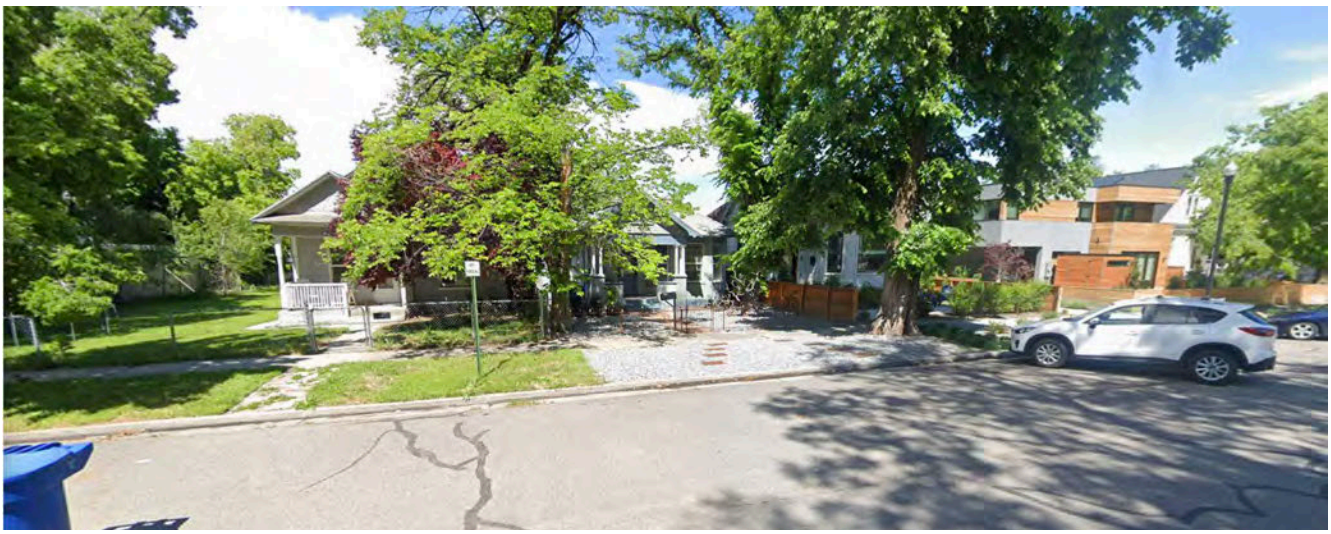
**NEIGHBORHOOD EXHIBITS**

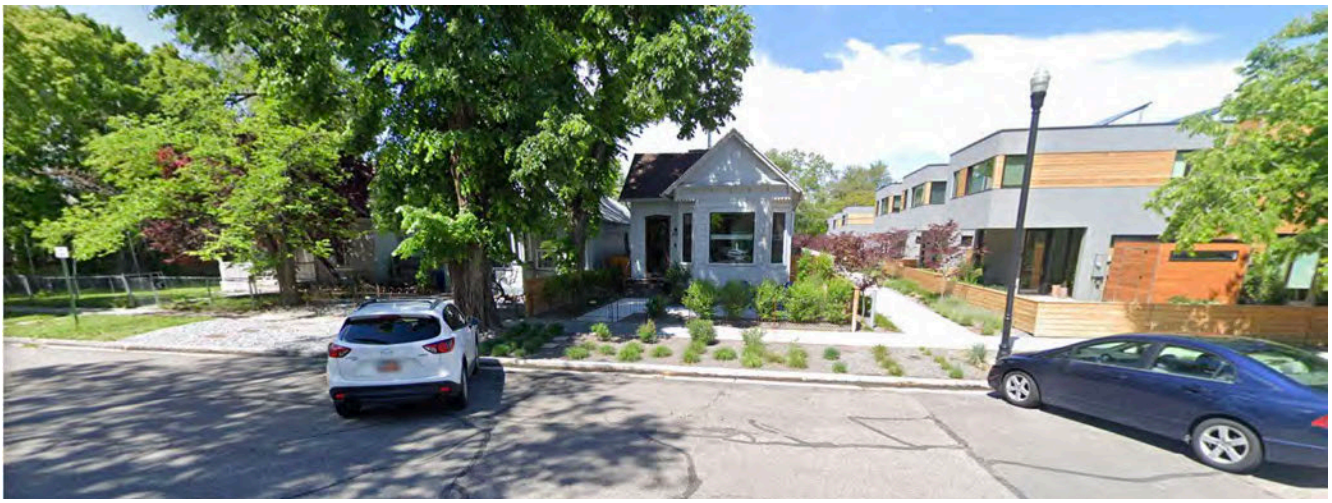
Existing Home 850 S Jefferson St

TAG 200 W Townhomes: West to east perspective 841 S 200 W

838 S Jefferson St

West perspective: 850 – 830 Jefferson Street

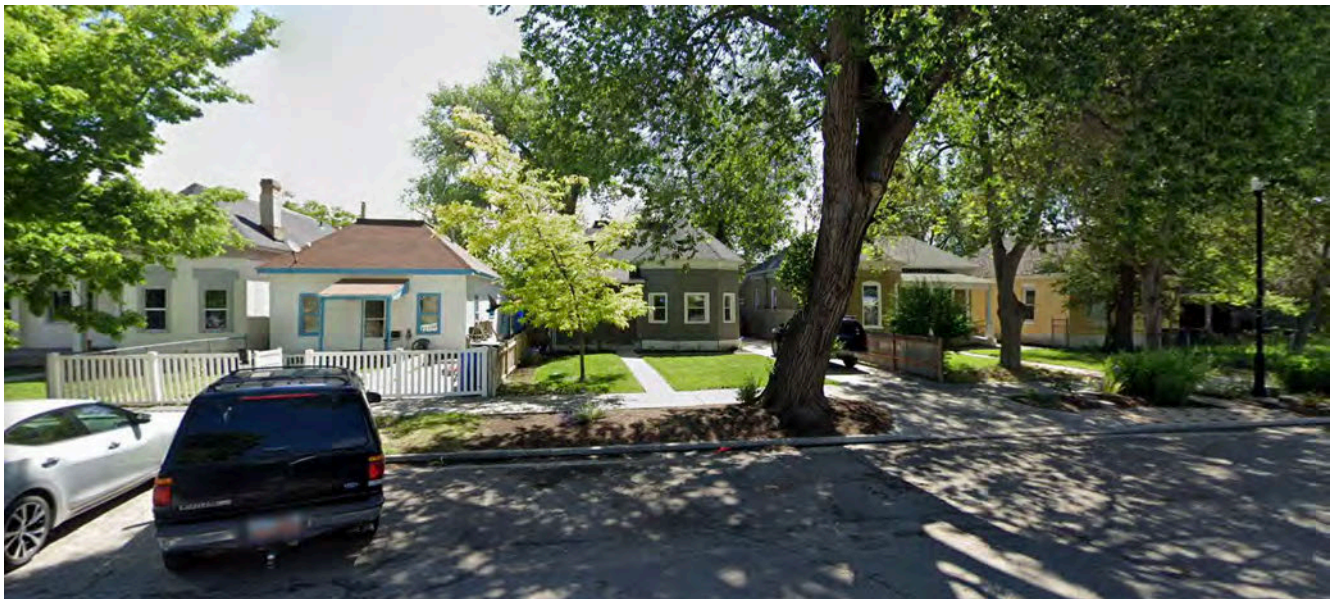




West to East perspective – 200 W Townhomes 841 S 200 W

North perspective – Jefferson St

East perspective: 839 – 855 S Jefferson St



South perspective – Jefferson St

**OBJECTIVES ACHIEVED THROUGH THE PLANNED DEVELOPMENT PROCESS**

B. Historic Preservation

Jefferson Street has a unique blend of historical and contemporary architecture, and the reuse of existing residential structures is strongly encouraged. Therefore, this creative site plan was designed in an effort to keep and renovate the existing home exactly where it currently sits. It would also aid in the elimination of the shed, a blighted structure that is beyond rehabilitation, and the addition on the back of the home that is not structurally sound. Our plan is to completely renovate the interior of the +/- 900 SF residence and to update the exterior without drastic change to its historic charm and appearance. We plan to incorporate cohesive paint colors and new porch/ railing posts, windows, and doors to coordinate with the planned development.

C. Housing

Jefferson Court would provide much needed for-sale (market rate) housing options to encourage increased home ownership in a mostly built out urban area. The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood. Currently underutilized lots will need to be redeveloped to accommodate more units than previously existed on the site in order to absorb the growth of new residents reported to be moving into the city.

**ARCHITECTURAL & SITE DESIGN**

Our goal is to achieve a combination and coordination of architectural styles, while still preserving neighborhood character. We've incorporated the use of fiber cement siding, brick, and long board siding that would resemble a pine or light oak. The two front homes would be fenced (with a 3' tall wood slat fence around the front yards) and the rowhouses would also have a 3' wood slat fence enclosing the front porches (with a taller divider between units). The gable roofs will also help to break up the massing, helping to distinguish individual residences, rather than the appearance of one large building mass.

Although the FB-UN1 zoning allows for 2.5 stories and 30', we have kept the new home to two stories at 24'10" so that it can also serve as a gradual transition in building scale to the rear of the property (rowhomes) as it nears the transit station and neighboring townhome developments in the FB-UN2 subdistrict. The addition of a newly constructed two-story detached home with a gable roof and average block face setback, alongside the renovated home, is also aimed at continuing the existing character of detached homes lining Jefferson Street, while incorporating more contemporary materials as the neighborhood is evolving.

The site plan also depicts an enclosure next to the parking for trash bins. We ideally will have a private dumpster hauler could service the alleyway, but we are anticipating that the rowhouse residents may need to roll SLC waste bins along the sidewalk to Jefferson Street for city collection. The current landscaping design (attached) should reflect the SLC code for the appropriate caliper inches of trees to replace those being removed.

**FB-UN1 ZONING MODIFICATION REQUESTS**

1. Front setback equal to average of block face

Requesting: 14.71' front block face setback for the new home, as the average block face setback is 18'6" (see graphic AS103) and the existing home is already at 14.77'.

2. Street frontage

Requesting: Exception to street frontage requirement for the row houses. The row houses will still be highly visible from Jefferson St. due to the common area pathway leading directly from Jefferson St. to the front entries. Residents would have the option to either enter their residence from Jefferson St., or directly from their parking stall and into their back entrance off of the public alley way. We plan to incorporate 13D fire sprinklers as an alternate means and methods for fire department access to the row houses as required in IFC Section 503.1.1.

3. Rear setback: 20% of lot depth up to 25'

Requesting: 22' rear setback from the west lot line to the rear of the row houses. This is needed in order to maintain 14'11' of aisle width needed to meet the minimum back-out distance into the 16'6" public alley for an 8'3" wide parking space at a 45-degree angle per 21A.44.020. We are not requesting a rear yard setback modification at this point between the row houses and the back of the urban homes since this proposal is for building forms to be grouped onto one lot as part of a condo plat.

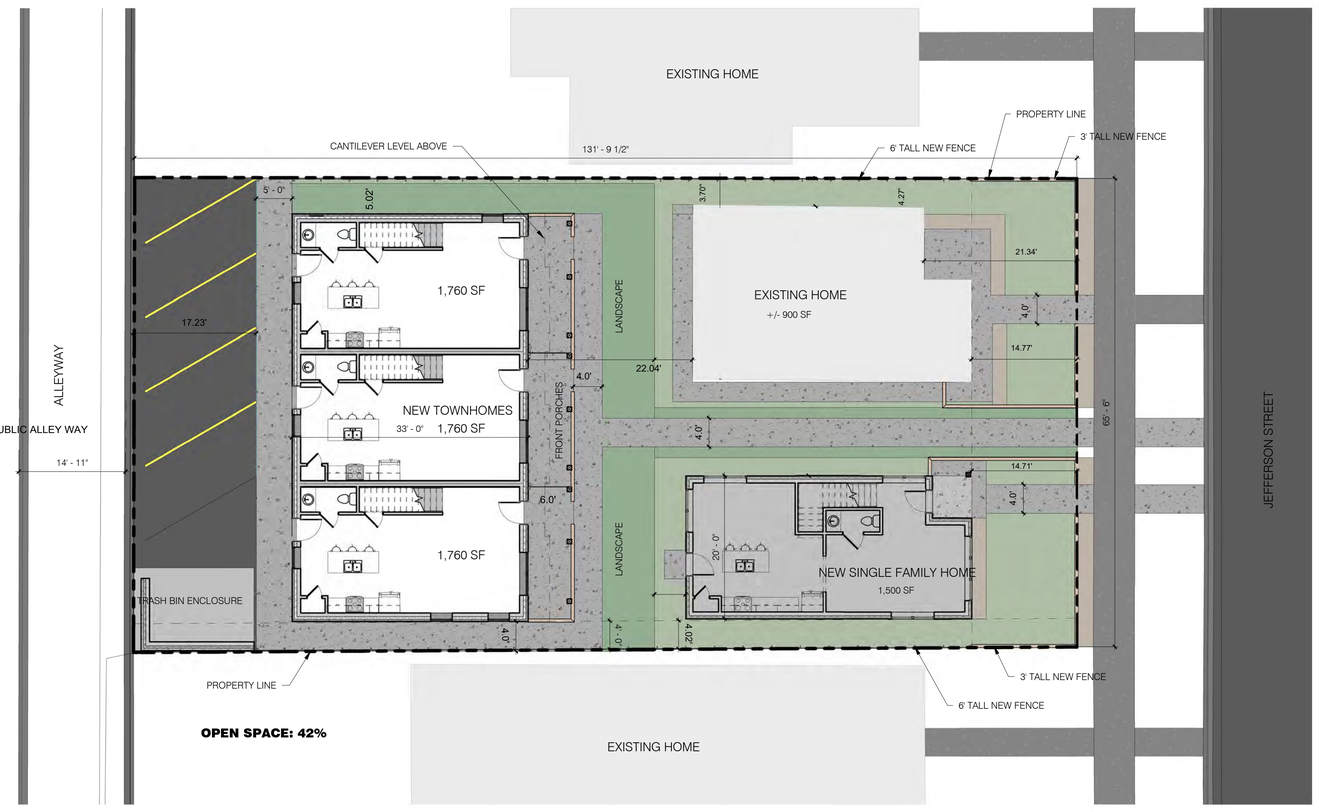
**DISCLOSURE OF PRIVATE INFRASTRUCTURE COSTS FOR PLANNED DEVELOPMENTS**

The common areas, limited common area, and infrastructure of this planned development would be maintained under the creation of a HOA entity. As we can lock down more accurate construction costing, we plan to record on the condo plat a "notice to purchasers" referencing the LF/SF cost estimate for the maintenance and capital improvements necessary for the common area infrastructure and landscaping such as (but not limited to):

- Sidewalk
- Curb and Gutter
- Concrete Pavement
- Fencing
- Concrete Parking Blocks
- 4" PVC SDR 35 Sewer Lateral
- 4" Sewer cleanout
- Water Laterals
- Irrigation Laterals
- Drainage Systems

It will be prepared in 6 increments of 10 years each for a total of 60 years, using GAAP. Upon creation of the Jefferson Court HOA , this estimated cost will also be disclosed under the CC&R's to ensure that owners and future owners have received adequate disclosure of potential private infrastructure maintenance and replacement costs. The Jefferson Court HOA will also be responsible for preparing yearly maintenance reports of expenditures actually incurred.

It's exciting that we have the ability to simultaneously preserve and innovate in order to make this district more efficient for the growth Salt Lake is experiencing and we look forward to continued collaboration on this proposal.



D3
AS102

*ARCHITECTURAL SITE PLAN - NEW*

SCALE: 1" = 10'-0"


**FIVE DEGREES DESIGN**

1457 EAST 840 NORTH
OREM, UTAH 84097
801.960.9381
chris@fivedegreesdesign.com


| | |
|---|---|
| DATE: | 27 JULY 2021 |
| PROJECT #: | 21-016 |
| DRAWN BY: | THM |
| CHECKED BY: | BCH |

REVISIONS

*PROJECT*

**850 JEFFERSON STREET**

ADDRESS:
850 JEFFERSON STREET
SALT LAKE CITY, UTAH 84101

**ARCHITECTURAL**

*ARCHITECTURAL SITE PLAN - NEW*

*AS102*


Y:\5D Projects\2021\21-016 850 Jefferson Street\03 Drawings\02 Revit\850 Jefferson Street V4.rvt
7/30/2021 1:23:29 PM

AVERAGE SETBACK = 18'-6"

D1 AS103 *JEFFERSON AVE. SETBACKS*
SCALE: 1" = 30'-0"


**FIVE DEGREES DESIGN**
1457 EAST 840 NORTH
OREM, UTAH 84097
801.960.9381
chris@fivedegreesdesign.com


| | |
|---|---|
| DATE: | 25 AUGUST 2021 |
| PROJECT #: | 21-016 |
| DRAWN BY: | THM |
| CHECKED BY: | BCH |

REVISIONS

*PROJECT*

**850 JEFFERSON STREET**

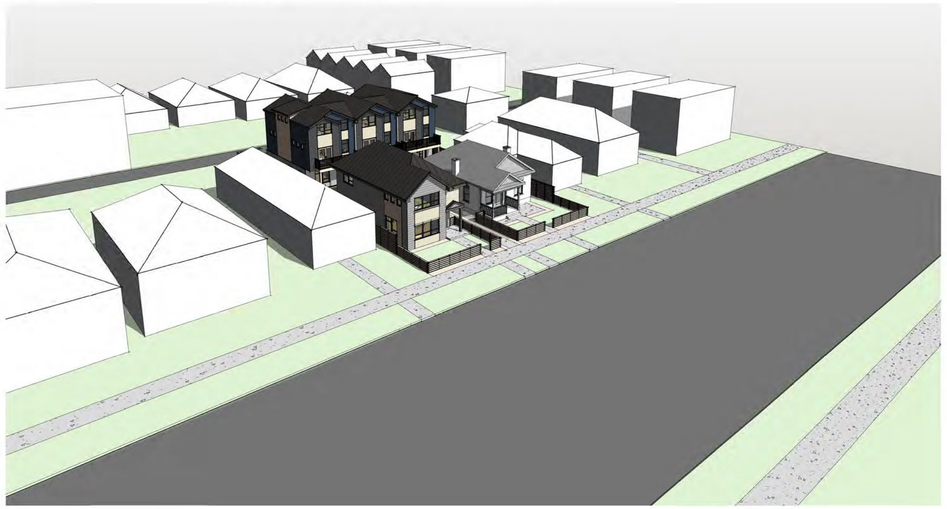
ADDRESS:
850 JEFFERSON STREET
SALT LAKE CITY, UTAH 84101

**ARCHITECTURAL**

*VICINITY MAP & SETBACKS*

*AS103*

8/26/2021 9:47:32 AM Y:\5D Projects\2021\21-016 850 Jefferson Street\03 Drawings\02 Revit\850 Jefferson Street V5.rvt



FIVE DEGREES DESIGN

1457 EAST 840 NORTH
OREM, UTAH 84097
801.960.9381
chris@fivedegreesdesign.com


| | |
|---|---|
| DATE: | 25 AUGUST 2021 |
| PROJECT #: | 21-016 |
| DRAWN BY: | THM |
| CHECKED BY: | BCH |

REVISIONS

*PROJECT*

**850 JEFFERSON STREET**

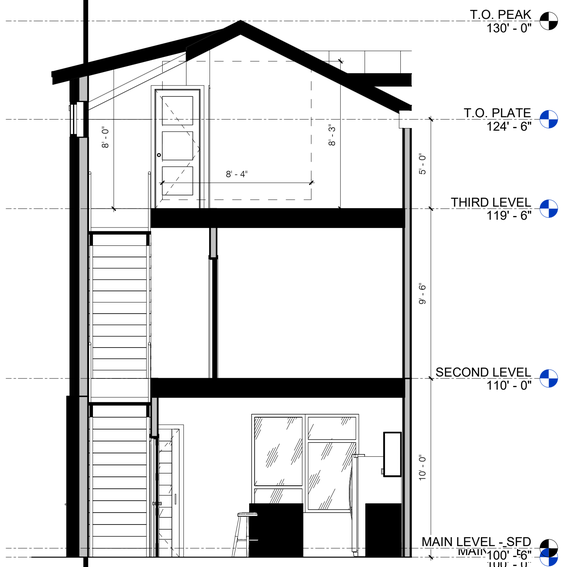
ADDRESS:
850 JEFFERSON STREET
SALT LAKE CITY, UTAH 84101

**ARCHITECTURAL**

*EXTERIOR PERSPECTIVES*

AS104


8/26/2021 9:48:08 AM Y:\5D Projects\2021\21-016 850 Jefferson Street\03 Drawings\02 Revit\850 Jefferson Street V5.rvt




B1 AE101 *SECTION*
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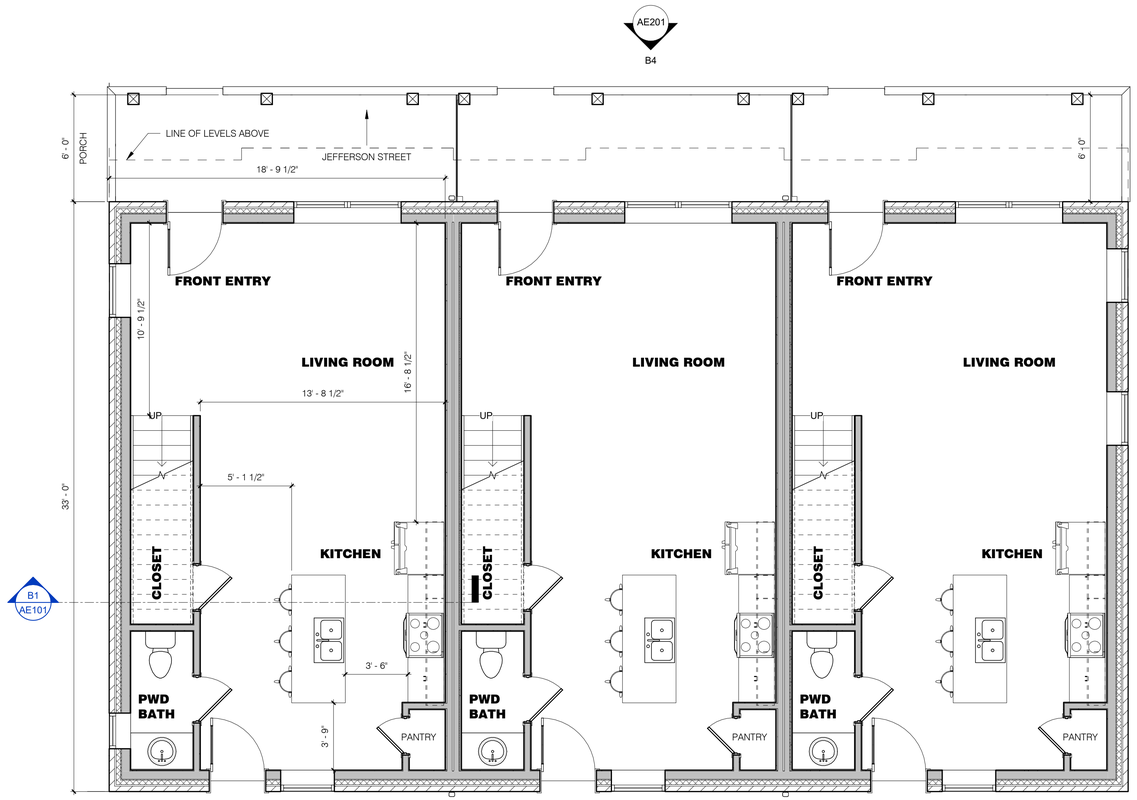



B3 AE101 *MAIN LEVEL FLOOR PLAN*
SCALE: 1/4" = 1'-0"

D2
AE202

D1 AE101 *BACK VIEW*
SCALE:

D3 AE101 *FRONT VIEW*
SCALE:

## KEYNOTES


FIVE DEGREES DESIGN
1457 EAST 840 NORTH
OREM, UTAH 84097
801.960.9381
chris@fivedegreesdesign.com


| | |
|---|---|
| DATE: | 25 AUGUST 2021 |
| PROJECT #: | 21-016 |
| DRAWN BY: | THM |
| CHECKED BY: | BCH |

REVISIONS

*PROJECT*

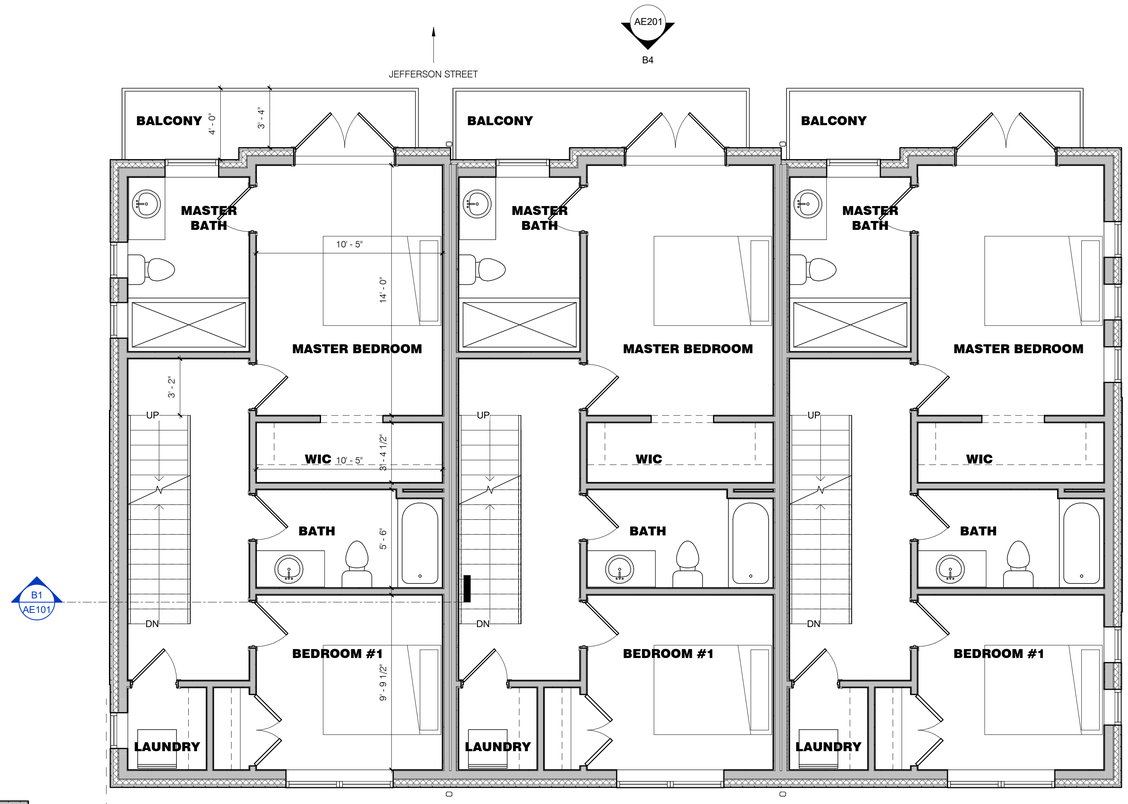
**850 JEFFERSON STREET**

ADDRESS:
850 JEFFERSON STREET
SALT LAKE CITY, UTAH 84101

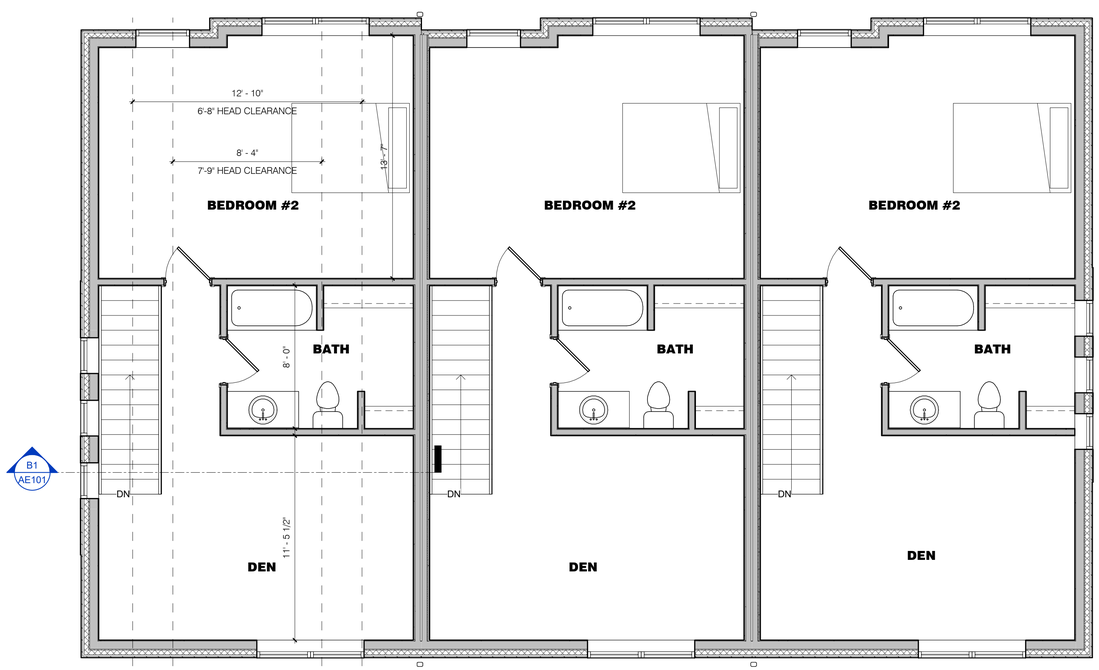
**ARCHITECTURAL**

*SCHEMATIC FLOOR PLANS*

*AE101*




B1 AE102 *SECOND LEVEL FLOOR PLAN*
SCALE: 1/4" = 1'-0"




D1 AE102 *THIRD LEVEL FLOOR PLAN*
SCALE: 1/4" = 1'-0"

D2
AE202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REVISIONS

*PROJECT*

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**ARCHITECTURAL**

*SCHEMATIC FLOOR PLANS*

AE102

Y:\5D Projects\2021\21-016 850 Jefferson Street\03 Drawings\02 Revit\850 Jefferson Street V5.rvt
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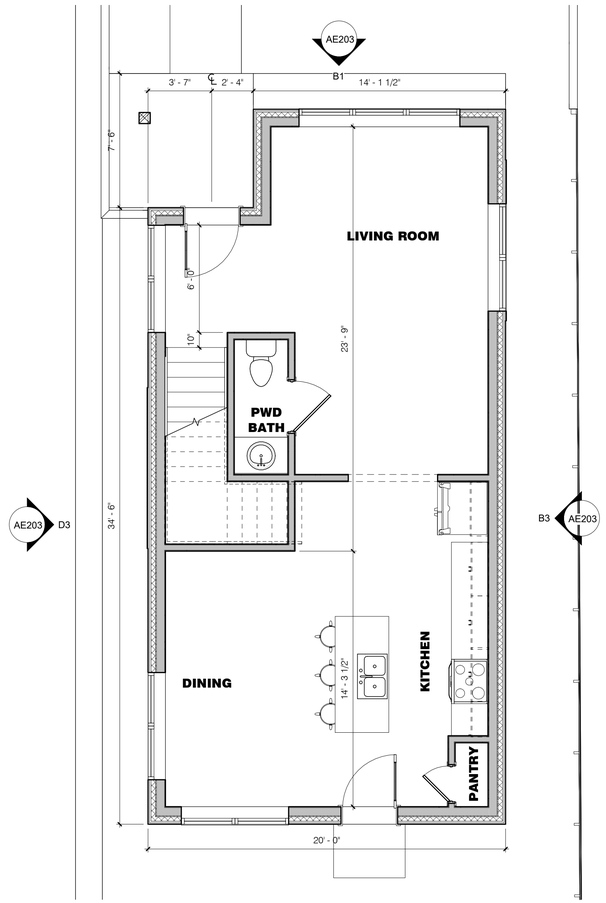
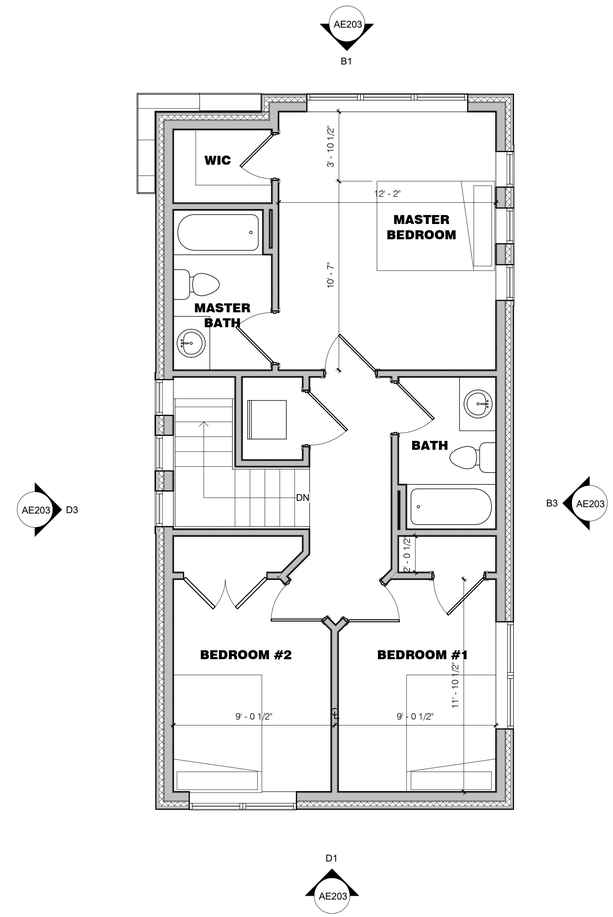



C1 AE103 *MAIN LEVEL FLOOR PLAN NEW SFD*
SCALE: 1/4" = 1'-0"




C3 AE103 *SECOND LEVEL FLOOR PLAN NEW SFD*
SCALE: 1/4" = 1'-0"

D1 AE103 *BACK VIEW -SFD*
SCALE:

D3 AE103 *FRONT VIEW - SFD*
SCALE:

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REVISIONS

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**ARCHITECTURAL**

*SCHEMATIC FLOOR PLANS - SFD*

*AE103*

B4 / AE201 *EAST ELEVATION*
SCALE: 1/4" = 1'-0"

**GROUND FLOOR TRANSPARENCY: 20.5%**

**MATERIAL CALCULATIONS: 100% DURABLE MATERIALS; BRICK, WOOD SIDING & FIBER CEMENT SIDING**

B1 / AE201 *NORTH ELEVATION*
SCALE: 1/4" = 1'-0"


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REVISIONS

*PROJECT*

**850 JEFFERSON STREET**

ADDRESS:
850 JEFFERSON STREET
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**ARCHITECTURAL**

*EXTERIOR ELEVATIONS*

AE201

## KEYNOTES

A2 / AE202 *SOUTH ELEVATION*
SCALE: 1/4" = 1'-0"

D2 / AE202 *WEST ELEVATION*
SCALE: 1/4" = 1'-0"


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REVISIONS

*PROJECT*

**850 JEFFERSON STREET**

ADDRESS:
850 JEFFERSON STREET
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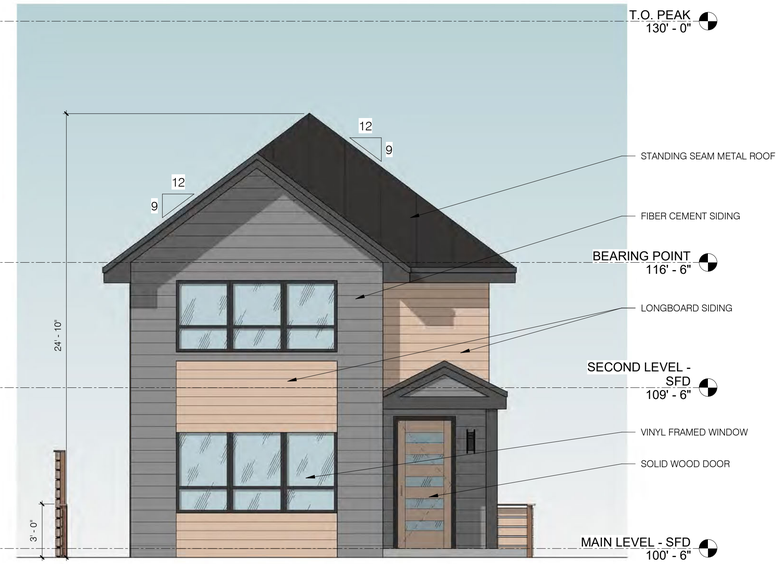
**ARCHITECTURAL**

*EXTERIOR ELEVATIONS*

AE202

## KEYNOTES

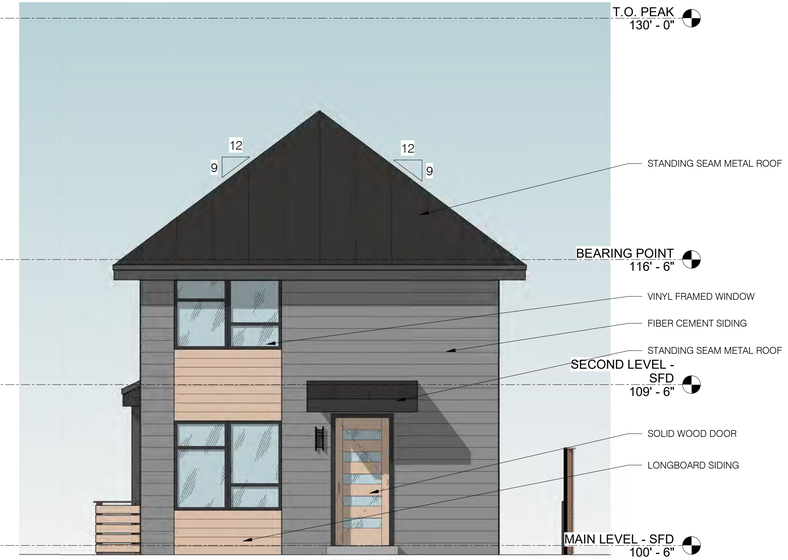



B1 AE203 *EAST ELEVATION SFD*
SCALE: 1/4" = 1'-0"

**GROUND FLOOR TRANSPARENCY: 27%**

**MATERIAL CALCULATIONS: 100% DURABLE MATERIALS; WOOD SIDING & FIBER CEMENT SIDING**

B3 AE203 *SOUTH ELEVATION SFD*
SCALE: 1/4" = 1'-0"




D1 AE203 *WEST ELEVATION SFD*
SCALE: 1/4" = 1'-0"

D3 AE203 *NORTH ELEVATION SFD*
SCALE: 1/4" = 1'-0"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chris@fivedegreesdesign.com


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| DRAWN BY: | THM |
| CHECKED BY: | BCH |

REVISIONS

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SALT LAKE CITY, UTAH 84101

**ARCHITECTURAL**

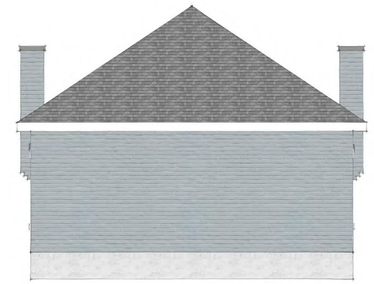
*EXTERIOR ELEVATIONS - SFD*

*AE203*


8/26/2021 9:46:18 AM Y:\5D Projects\2021\21-016 850 Jefferson Street\03 Drawings\02 Revit\850 Jefferson Street V5.rvt

A1 / AE204 *OLD FRONT ELEVATION*
SCALE: 3/16" = 1'-0"

A2 / AE204 *OLD NORTH ELEVATION*
SCALE: 3/16" = 1'-0"

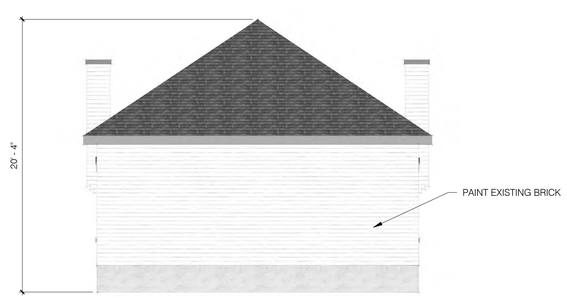


A3 / AE204 *OLD REAR ELEVATION*
SCALE: 3/16" = 1'-0"

A4 / AE204 *OLD SOUTH ELEVATION*
SCALE: 3/16" = 1'-0"

C2 / AE204 *NEW FRONT ELEVATION*
SCALE: 3/16" = 1'-0"

C4 / AE204 *NEW NORTH ELEVATION*
SCALE: 3/16" = 1'-0"




D2 / AE204 *NEW REAR ELEVATION*
SCALE: 3/16" = 1'-0"

D4 / AE204 *NEW SOUTH ELEVATION*
SCALE: 3/16" = 1'-0"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|---|---|
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| PROJECT #: | 21-016 |
| DRAWN BY: | THM |
| CHECKED BY: | BCH |

REVISIONS

*PROJECT*

**850 JEFFERSON STREET**

ADDRESS:
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**ARCHITECTURAL**

*EXTERIOR ELEVATIONS - EXISTING SINGLE-FAMILY DWELLING*

*AE204*


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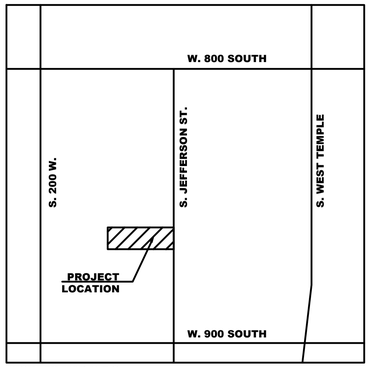
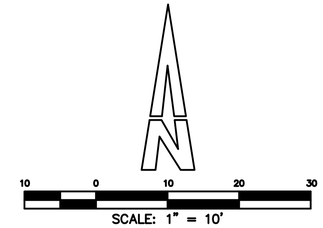


VICINITY MAP N.T.S

# JEFFERSON COURT
## 850 SOUTH JEFFERSON STREET
## SALT LAKE CITY, UTAH

**LOCATED IN THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 1S., RANGE 1E., SALT LAKE BASE & MERIDIAN SALT LAKE CITY, SALT LAKE COUNTY, UTAH**




**SHEET INDEX**


C0-0 COVER
CO-1 GENERAL NOTE
C0-2 DEMO PLAN
C1-0 SITE PLAN
C1-1 SITE PLAN DETAILS
C2-0 GRADING & DRAINAGE PLAN
C3-0 EROSION CONTROL PLAN
C3-1 EROSION CONTROL DETAILS
C4-0 UTILITY PLAN
C4-1 UTILITY DETAILS



**DEVELOPER**
NORTHSTAR BUILDERS
KAIA RAGNHILDSTVEIT
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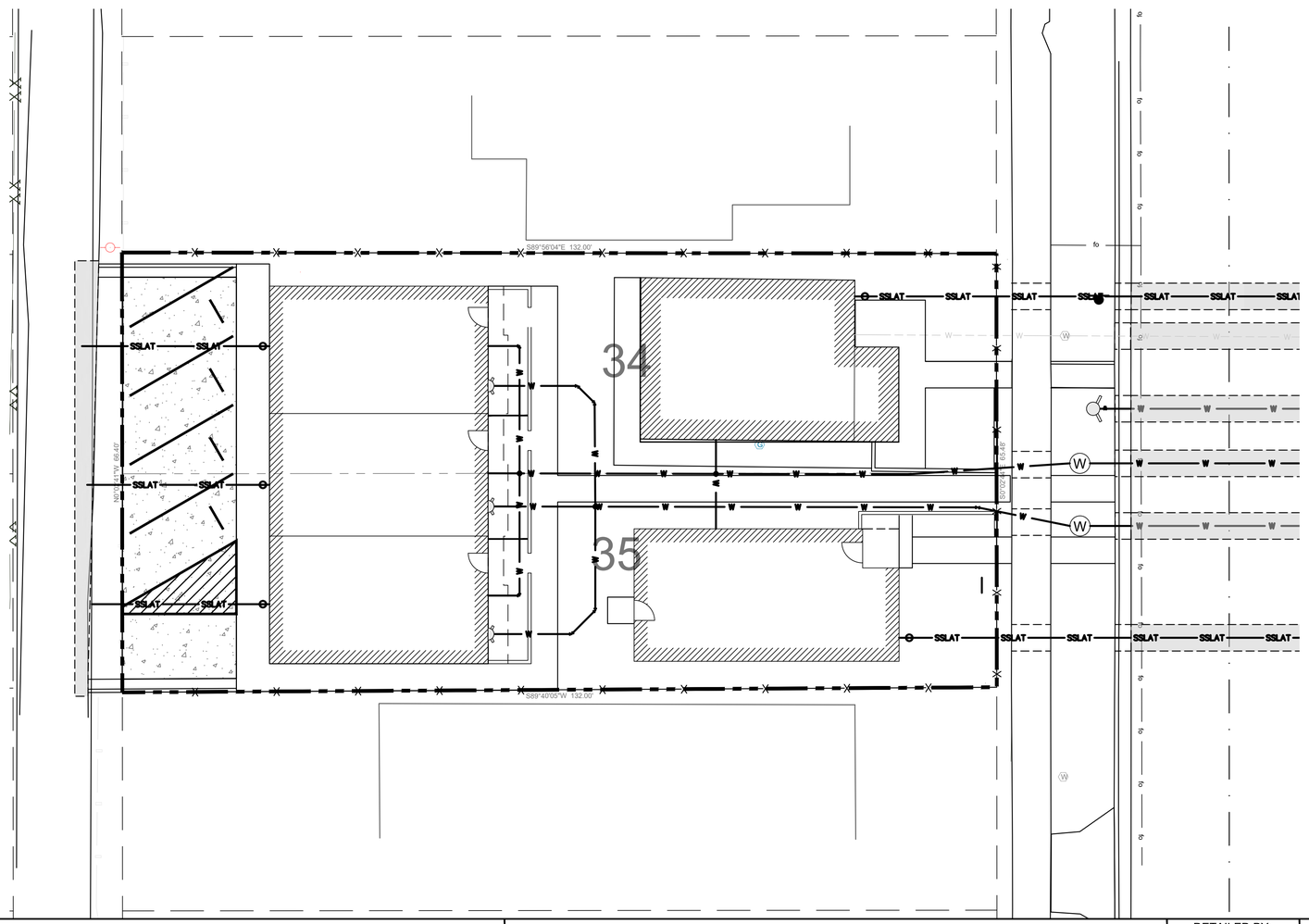
SALT LAKE CITY, UT 84105
PHONE: (801) 485-0535
E-MAIL: KAIA@NORTHSTARBUILDERS.COM

**ENGINEER**
AVAIL ENGINEERS
COLBY CAIN P.E.
ADDRESS: 573 EAST 2700 SOUTH
SALT LAKE CITY, UT. 84106
PHONE: (775) 781-6456
E-MAIL: CCAIN@AVAILENGINEERS.COM
WEB: AVAILENGINEERS.COM

**SURVEYOR**
MATT STONES, PLS
ADDRESS: 842 SOUTH 1150 WEST
CLEARFIELD, UT 84015
PHONE: (801) 201-5966
E-MAIL: MATT.STONES53@GMAIL.COM.COM


AVAIL ENGINEERS
573 EAST 2700 SOUTH
SALT LAKE CITY, UT. 84106

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NORTHSTAR BUILDERS INC

JEFFERSON COURT

850 SOUTH JEFFERSON STREET
SALT LAKE CITY, UTAH

| REV | DATE | DESCRIPTION |
|---|---|---|
| 1 | 4.23.21 | PLANNED DEVELOPMENT SUBMITTAL |
| 2 | 6.9.21 | PLANNING COMMENTS |
| 3 | 8.5.21 | PLANNING UPDATES |
| 4 | 9.1.21 | FIRE LINE ADDITION |

COVER

C0-0

LOCATED IN THE SE 1/4 OF SECTION 28, T.1S., R.1E, S.L.B.&M. SALT LAKE COUNTY

| DETAILED BY: | DETAILED BY: | CHECKED BY: | PROJECT #: |
|---|---|---|---|
| TJB 9.1.2021 | TJB 9.1.2021 | CC 9.1.2021 | 21-004 |

R:\Projects\2021\21-004 Northstar Jefferson Street\100_CAD\4_Site Design\21-004_C0-0_Cover Sheet.dwg

8/6/2021 12:39 PM

# SALT LAKE CITY GENERAL NOTES

## NOTES / REFERENCES

1. ALL CONSTRUCTION AND MATERIAL SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, INCLUDING ALL APPLICABLE SECTIONS OF THE MANUAL OF STANDARD SPECIFICATIONS CURRENT EDITION (INCLUDING AMENDMENTS) AND MANUAL OF STANDARD PLANS CURRENT EDITION PUBLISHED BY THE UTAH CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND THE UTAH CHAPTER OF THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA (AGC). THE SPECIFICATIONS AND THE STANDARD PLANS IN THE PROJECT MANUAL TAKE PRECEDENCE OVER THE MANUAL OF STANDARD SPECIFICATIONS AND STANDARD PLANS CURRENT EDITION. REFERENCE SPECIFICATION SECTIONS ARE GIVEN FOR INFORMATION ONLY AND MAY NOT BE INCLUSIVE OF ALL APPLICABLE SECTIONS.

01 31 13

2. COORDINATION:
CONTRACTOR TO NOTIFY AFFECTED AGENCIES, RESIDENTS, BUSINESSES, SCHOOLS, AND PROPERTY OWNERS 14 DAYS PRIOR TO CONSTRUCTION.

01 32 17

3. SCHEDULE:
CONTRACTOR WILL PROVIDE AND UPDATE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE SPECIFICATIONS AND THE REGULATIONS OF THE GOVERNING AGENCY FOR WORKING IN THE PUBLIC WAY PRIOR TO CONSTRUCTION.

01 45 00
31 05 13
31 23 26
32 11 23
33 05 20

4. SOIL TESTING:
CONTRACTOR TO PROVIDE MARSHALL AND/OR PROCTOR TEST DATA 24 HOURS PRIOR TO USE, CERTIFIED IN WRITING FROM A LAB RECOGNIZED AND ACCEPTED BY SALT LAKE CITY AND THE RIGHT-OF-WAY GOVERNING AGENCY, AS APPLICABLE.

01 31 13
00 72 00 4.3

5. UTILITY LOCATIONS:
   - ALL UTILITY LOCATIONS ARE APPROXIMATE.
   - CONTRACTOR TO VERIFY DEPTHS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF TWO WEEKS TIME OR 300-FEET AHEAD OF PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. IF A CONFLICT ARISES RESULTING FROM THE CONTRACTOR NEGLECTING TO POTHOLE UTILITIES, THE CONTRACTOR IS TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER.
   - CONTRACTOR SHALL POTHOLE CRITICAL LOCATIONS AND OBTAIN ALL EXISTING PIPE O.D. PRIOR TO ORDERING OR OBTAINING MATERIALS REQUIRED FOR CONNECTIONS TO EXISTING PIPING. UTILITY SHUT-DOWNS AND OTHER WORK WILL NOT BE SCHEDULED OR ALLOWED UNTIL THIS IS ACCOMPLISHED AND MATERIALS ARE ON SITE AND APPROVED FOR USE BY THE SALT LAKE CITY PUBLIC UTILITIES REPRESENTATIVE.
   - IRRIGATION PIPELINES MAY NOT BE LOCATED THROUGH THE NORMAL BLUE STAKE PROCESS. CONTACT IRRIGATION COMPANIES AS DETAILED IN SECTION 01 31 13 PRIOR TO CONSTRUCTION.

01 31 13 1.2C
00 72 00 10.1

6. CHANGES:
NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.

00 72 00 6.2A
01 71 23
00 72 00 4.4
01 71 34
00 72 00 13.5

7. SURVEY CONTROL:
   - CONTRACTOR TO PROVIDE ALL CONSTRUCTION SURVEY REQUIRED FOR THE PROJECT.
   - CONTRACTOR SHALL PRESERVE AND PROTECT ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. IF A MONUMENT MUST BE DISTURBED DURING CONSTRUCTION, CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF SECTIONS 00 72 00, 00 71 34 AND 31 05 10.
   - THE CONTRACTOR SHALL NOT BURY ANY FITTINGS, BENDS, CONNECTIONS, OR COUPLINGS UNTIL THE SALT LAKE CITY PUBLIC UTILITIES SURVEYOR HAS COMPLETED THE RECORD SURVEY OF THE PIPELINE INSTALLATION TO HIS SATISFACTION. THE CONTRACTOR SHALL BE REQUIRED TO EXCAVATE AND EXPOSE ALL MATERIALS BURIED WITHOUT PRIOR AUTHORIZATION OF THE PROJECT ENGINEER OR SURVEYOR, AT HIS OWN COST. ALL COST OF RESTORATION OF EXCAVATED AREAS SHALL BE BORNE BY THE CONTRACTOR.

33 05 25

8. ASPHALT GUARANTEE:
THE CONTRACTOR SHALL FURNISH AND PLACE PERMANENT ASPHALT, PER APWA STANDARDS, EQUAL TO THE THICKNESS REQUIREMENTS OF THE GOVERNING AGENCY. THE CONTRACTOR SHALL GUARANTEE ALL ASPHALT INSTALLATIONS FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF THE SUBSTAINTAL COMPLETION OR WHAT IS REQUIRED BY THE PERMIT.

9. TEMPORARY ASPHALT:
IF THE CONTRACTOR CHOOSES TO WORK ON THE PROJECT IN COLD WEATHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL FURNISH AND INSTALL TEMPORARY ASPHALT. WHEN WEATHER PERMITS, THE CONTRACTOR SHALL REMOVE THE TEMPORARY ASPHALT, FURNISH AND INSTALL THE PERMANENT ASPHALT AT NO ADDITIONAL COST TO THE OWNER.

10. CONTRACTOR RESPONSIBILITIES:
   - CONTRACTOR SHALL NOT ALLOW GROUNDWATER OR DEBRIS TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES TO BE COVERED AND SEALED AT THE END OF EACH DAY.
   - CONTRACTOR TO INSTALL INVERT COVERS IN ALL SANITARY SEWER AND STORM DRAIN MANHOLES AFFECTED BY THE PROJECT PRIOR TO STARTING CONSTRUCTION. (01 57 00; 01 74 19)
   - CONTRACTOR WILL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS: WET DOWN DRY MATERIALS AND RUBBISH TO CONTAIN ALL LOOSE MATERIALS.
   - ALTHOUGH SOME SURFACE FEATURES (FENCES, RETAINING WALLS, TREES, ETC.) HAVE BEEN CALLED OUT ON THE DRAWINGS FOR THE CONTRACTOR'S CONVENIENCE, NOT ALL ARE SHOWN OR IDENTIFIED. CONTRACTOR SHALL WALK THROUGH CONSTRUCTION AREA PRIOR TO BIDDING TO IDENTIFY SURFACE FEATURES THAT MUST BE PROTECTED OR REPLACED AS PART OF THE WORK.
   - CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS. ALL IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED AT THE EXPENSE OF THE CONTRACTOR TO ORIGINAL OR BETTER CONDITION TO THE SATISFACTION OF THE OWNER.
   - THE CONTRACTOR SHALL BE REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN ESTABLISHED PUBLIC RIGHT-OF-WAYS, AND TEMPORARY CONSTRUCTION EASEMENTS AS SHOWN, IF ANY. THIS SHALL INCLUDE BUT NOT LIMITED TO VEHICLES AND EQUIPMENT, LIMITS OF TRENCH EXCAVATION, EXCAVATED MATERIAL AND BACKFILL STORAGE. IF THE CONTRACTOR REQUIRES ADDITIONAL CONSTRUCTION EASEMENTS, IT SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THESE EASEMENTS.

11. STORM WATER MANAGEMENT PLAN:
CONTRACTOR TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) OR EROSION SEDIMENT CONTROL PLAN TO GREG ARCHULETA @ (801) 483-6821 FOR REVIEW BEFORE CONSTRUCTION BEGINS.

12. WATER AND SANITARY SEWER SEPARATION: (UTAH DEQ REGULATION R309-550-2)
FOLLOW REQUIREMENTS OF THE DIVISION OF DRINKING WATER OF THE UTAH DEPARTMENT OF ENVIRONMENTAL QUALITY. THE HORIZONTAL DISTANCE BETWEEN PRESSURE WATER MAINS AND SANITARY SEWER LINES SHALL BE AT LEAST TEN FEET. WHERE WATER MAINS AND SEWER LINES CROSS, THE OUTSIDE EDGES OF WATER MAIN SHALL BE AT LEAST 18-INCHES ABOVE THE OUTSIDE EDGES OF SEWER LINE. WATER LINES AND SEWER LINES SHALL NOT BE INSTALLED IN THE SAME TRENCH. EXCEPTIONS TO THESE REQUIREMENTS MUST BE APPROVED BY THE CHIEF ENGINEER.

13. WATER SERVICES:
   - METER BOX IS TO BE PLACED IN THE PARK STRIP WHERE APPLICABLE OR WITHIN THE PUBLIC RIGHT-OF-WAY OUTSIDE ANY HARD SURFACE AREA. THE SERVICE LINE IS TO EXTEND PERPENDICULAR TO THE MAIN.
   - LANDSCAPING, PLANTINGS, CONCRETE, AND/OR ASPHALT TO BE REPLACED THE SAME OR BETTER. ALL SOD TO MATCH EXISTING GRADE AND NOT OVERLAP EXISTING GROUND. CONTRACTORS TO SATURATE SOD AND KEEP MOIST.
   - EXISTING SPRINKLER SYSTEMS AND STOP & WASTE VALVES TO BE PROTECTED. ALL REPAIRS TO BE INSPECTED.

33 31 00

14. SANITARY SEWER LATERALS:
SANITARY SEWER LATERALS SHALL BE PROTECTED IN PLACE OR REMOVED AND REPLACED AS PER SALT LAKE CITY DEPARTMENT OF PUBLIC UTILITIES STANDARD PLANS AND SPECIFICATIONS. IF A SANITARY SEWER IS TUNNELED UNDER AND NOT REPLACED, CONTRACTOR TO PROVIDE VIDEO INSPECTION TO VERIFY THAT THE GRADE AND CONDITION OF PIPE HAS NOT BEEN COMPROMISED.

APWA STD. PLAN NO. 561
APWA STD. PLAN NO. 562

15. THRUST RESTRAINTS: (33 08 00)
   - ALL THRUST BLOCKS SHALL BE PLACED AS DESCRIBED IN THE SPECIFICATIONS AND SHOWN ON THE STANDARD DRAWINGS.
   - ALL MATERIALS USED FOR WATER PROJECTS SHALL BE RATED FOR A MINIMUM 200 PSI WORKING PRESSURE.

16. CORROSION PROTECTION:
   - ALL EXPOSED NUTS AND BOLTS WILL BE COATED WITH CHEVRON FM #1 NON-OXIDE GREASE AND WRAPPED IN 8-MIL POLYETHYLENE WRAP.
   - ALL STEEL, CAST IRON, OR DUCTILE IRON VALVES, FITTINGS, ETC., SHALL BE EPOXY COATED AND TAPE WRAPPED IN ACCORDANCE WITH AWWA C214.

17. PIPELINE STATIONING:
   - STATIONS AND LENGTHS SHOWN ON THE DRAWINGS ARE CENTERLINE OF PIPE FROM CENTER OF FITTING TO CENTER OF FITTING. PROFILE DRAWINGS ARE HORIZONTAL PROJECTIONS OF THE PIPE CENTERLINE, UNLESS OTHERWISE NOTED.
   - WHERE CLEARANCES BETWEEN PIPELINES ARE DESIGNATED IN THE DRAWINGS, THE SPECIFIED DISTANCE SHALL REFER TO THE DISTANCE BETWEEN THE OUTSIDE EDGES OF THE PIPE.

33 11 00 1.3

18. WATER LINE COVER:
UNLESS OTHERWISE NOTED, CONTRACTOR TO PROVIDE A MINIMUM COVER OF 4.5 FEET FROM THE TOP OF THE WATER MAIN TO FINISHED GRADE. PIPING THAT CAN NOT BE PROVIDED THIS MINIMUM COVER WILL REQUIRE A SPECIAL DESIGN BY THE CONTRACTOR FOR REVIEW AND APPROVAL BY SALT LAKE CITY DEPARTMENT OF PUBLIC UTILITIES.

19. WATER SHUT-DOWNS:
   - OPERATION OF ALL EXISTING MAIN LINE VALVES TO BE COORDINATED THROUGH SALT LAKE CITY DEPARTMENT OF PUBLIC UTILITIES 48-72 HOURS IN ADVANCE OF SHUTDOWN. CONNECTIONS TO SOME WATERLINES SERVING COMMERCIAL AREAS MAY REQUIRE NIGHT OR WEEKEND SHUTDOWNS. CONTRACTOR TO PERFORM NIGHT OR WEEKEND WORK IN THESE AREAS AT NO ADDITIONAL COST TO OWNER.
   - SALT LAKE CITY DOES NOT GUARANTEE WATER SHUT-DOWNS. CONTRACTOR TO DEVISE PLANS TO AVOID WORK STOPPAGES IN THE EVENT A SHUT-DOWN DOES NOT GO AS PLANNED
   - CONTRACTOR SHALL SUBMIT FOR REVIEW A SEQUENTIAL PLAN FOR CONNECTION, TESTING, AND FLUSHING OF ALL NEW WATER MAINS.

20. SALVAGE:
ALL SALVAGED HYDRANTS, VALVES OR OTHER MATERIALS TO BE RETURNED TO THE SALT LAKE CITY DEPARTMENT OF PUBLIC UTILITIES SHOP AT 4500 WEST 700 SOUTH, UNLESS NOTED OTHERWISE.

21. TREES: (32 01 91; 32 01 93)
THE CONSTRUCTION AREA MAY CONTAIN SOME LARGE TREES THAT MAY AFFECT CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL PRESERVE AND PROTECT TREES AND COORDINATE WITH CITY FORESTER.

22. TRAFFIC DETECTOR LOOPS: (34 41 13)
FOR TRAFFIC DETECTOR LOOP REPAIR OR REPLACEMENT REFER TO THE CURRENT UDOT STANDARD DRAWINGS TRAFFIC SIGNAL LOOP DETECTOR DETAILS (STD. DWG. NO. SL 9) AND TRAFFIC COUNTING LOOP DETECTOR DETAILS (STD. DWG. NO. SL 10)

23. AERIAL PHOTOS IN DRAWINGS:
THE AERIAL PHOTOS PROVIDED AS BACKGROUND IN THESE DRAWINGS ARE PROVIDED TO HELP CLARIFY THE WORK SITE. HOWEVER, THE PHOTOS DEPICT CONDITIONS AS THEY EXISTED IN 2010. PRESENT DAY CONDITIONS MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. BID SHALL INCLUDE ALL WORK REQUIRED TO COMPLETE THE PROJECT.

24. BLUESTAKES DOES NOT LOCATE ANY UNDERGROUND INFRASTRUCTURE ASSOCIATED WITH STREET LIGHTING. CONTRACTORS SHALL CALL BLACK AND MCDONALD TO GET UNDERGROUND CITY OPERATED STREET LIGHTING INFRASTRUCTURE LOCATED.
CONTACT WADE LONG (801)-381-9654 OR RUSS COLBY (801)-381-9645.

## LEGEND

| Symbol | Description |
|---|---|
| — — — W | EXISTING WATER LINE |
| W | PROPOSED WATER LINE |
| | WATER METER |
| | FIRE HYDRANT |
| — — — SS | EXISTING SEWER LINE |
| SS | PROPOSED SEWER LATERAL |
| SS SS | SEWER MANHOLE |
| — — — SD | EXISTING STORM DRAIN |
| SD | PROPOSED STORM DRAIN |
| SD SD | STORM DRAIN MANHOLE |
| | CATCH BASIN / CLEANOUT |
| | CURB INLET |
| — — — FO | EXISTING FIBER OPTIC |
| FO | PROPOSED FIBER OPTIC |
| — — — GAS | EXISTING NATURAL GAS |
| GAS | PROPOSED NATURAL GAS |
| — — — P | EXISTING POWER |
| P | PROPOSED POWER |
| — — — OHP | EXISTING OVERHEAD POWER |
| OHP | PROPOSED OVERHEAD POWER |
| — — — UGP | EXISTING UNDERGROUND POWER |
| UGP | PROPOSED UNDERGROUND POWER |
| — — — TEL | EXISTING TELEPHONE |
| TEL | PROPOSED TELEPHONE |
| | SECTION CORNER |
| | MONUMENT |
| 30.82 | EXISTING SPOT ELEVATION |
| 30.82 | PROPOSED SPOT ELEVATION |
| GRADE | DOWNWARD GRADE |
| (4258) | EXISTING INDEX CONTOUR |
| | EXISTING MINOR CONTOUR |
| 4258 | PROPOSED CONTOUR |
| | PROPOSED MINOR CONTOUR |
| | LOT OR BOUNDARY LINE |
| | PUBLIC UTILITY EASEMENT |
| | BUILDABLE AREA SETBACK |
| | CENTER LINE OF ROAD |
| — — — X | EXISTING FENCE |
| X | PROPOSED FENCE |
| | EXISTING CURB & GUTTER |
| | PROPOSED CURB & GUTTER |
| | ADA PARKING |
| | STREET LIGHT |
| LIGHT LIGHT | LIGHT POLE |
| PWR PWR | POWER POLE |
| TEL TEL | TELEPHONE POLE |
| UTIL UTIL | UTILITY POLE |
| | STREET SIGN |

## ABBREVIATIONS

| | |
|---|---|
| ⌀ | DIAMETER |
| Δ | DELTA |
| ° | DEGREES |
| ' | MINUTES, FEET |
| " | SECONDS, INCHES |
| AD | ALGEBRAIC DIFFERENCE |
| ADA | AMERICAN DISABILITIES ACT |
| ADS | CORRUGATED BLACK PLASTIC PIPE |
| ARCH | ARCHITECT, ARCHITECTURAL |
| B&C | BAR & CAP |
| BLA | BOUNDARY LINE AGREEMENT |
| BLDG | BUILDING |
| BM | BENCHMARK |
| BND | BOUNDARY |
| BOW | BACK OF WALK |
| BRG | BEARING |
| BV | BUTTERFLY VALVE |
| BVC | BEGIN VERTICAL CURVE |
| BVCE | BEGIN VERTICAL CURVE ELEVATION |
| BVCS | BEGIN VERTICAL CURVE STATION |
| C&G | CURB AND GUTTER |
| CB | CATCH BASIN |
| CH | CHORD |
| CHB | CHORD BEARING |
| CI | CAST IRON |
| CIP | CAST IN PLACE |
| CL | CENTERLINE |
| CMP | CORRUGATED METAL PIPE |
| CO | CLEANOUT |
| COMM | COMMUNICATIONS |
| CONC | CONCRETE |
| CONST | CONSTRUCTION |
| CUL | CULINARY |
| CW | CULINARY WATER |
| CWL | CULINARY WATERLINE |
| DEMO | DEMOLITION |
| DI | DUCTILE IRON |
| DIAM | DIAMETER |
| DIST | DISTANCE |
| E | EAST, ELECTRICITY, ELECTRICAL |
| EASE | EASEMENT |
| EG | EXISTING GRADE |
| EL | ELBOW |
| ELEC | ELECTRICAL |
| ELEV | ELEVATION |
| EOA | EDGE OF ASPHALT |
| EVC | END VERTICAL CURVE |
| EVCE | END VERTICAL CURVE ELEVATION |
| EVCS | END VERTICAL CURVE STATION |
| EX | EXISTING |
| FFE | FINISH FLOOR ELEVATION |
| FG | FINISH GRADE |
| FH | FIRE HYDRANT |
| FL | FLOWLINE |
| FND | FOUNDATION |
| FP | FIRE PROTECTION |
| FTG | FOOTING |
| G | GAS, NATURAL GAS |
| GB | GRADE BREAK |
| GV | GATE VALVE |
| HDPE | HIGH-DENSITY POLYETHYLENE PIPE |
| HP | HIGH POINT |
| HPE | HIGH POINT ELEVATION |
| HPS | HIGH POINT STATION |
| ID | INSIDE DIAMETER |
| IE | INVERT ELEVATION |
| INV | INVERT |
| IRR | IRRIGATION |
| IRRMH | IRRIGATION MANHOLE |
| K | RADIUS OF CURVATURE |
| L | LENGTH |
| LAT | LATERAL SERVICE |
| LD | LAND DRAIN |
| LDMH | LAND DRAIN MANHOLE |
| LF | LINEAL FEET |
| LG | LIP OF GUTTER |
| LP | LOW POINT |
| LPE | LOW POINT ELEVATION |
| LPS | LOW POINT STATION |
| MD | MEASURE DOWN |
| MECH | MECHANICAL |
| MH | MANHOLE |
| MON | MONUMENT |
| N | NORTH |
| NE | NORTHEAST |
| NG | NATURAL GRADE |
| NR | NON-RADIAL |
| NW | NORTHWEST |
| OC | ON CENTER |
| OD | OUTSIDE DIAMETER |
| OHP | OVERHEAD POWER |
| PC | POINT OF CURVATURE |
| PCC | PORTLAND CONCRETE CEMENT |
| PI | POINT OF INFLECTION |
| PL | PROPERTY LINE |
| PROP | PROPERTY |
| PT | POINT OF TANGENCY |
| PUE | PUBLIC UTILTIY EASEMENT |
| PUE&DE | PUBLIC UTILITY EASEMENT & DRAINAGE EASEMENT |
| PVI | POINT OF VERTICAL INFLECTION |
| R | RADIUS |
| RC | REBAR & CAP |
| RCL | ROADWAY CENTERLINE |
| RCP | REINFORCED CONCRETE PIPE |
| ROW | RIGHT OF WAY |
| S | SOUTH |
| SD | STORM DRAIN |
| SDCB | STORM DRAIN CATCH BASIN |
| SDCO | STORM DRAIN CLEANOUT |
| SDMH | STORM DRAIN MANHOLE |
| SE | SOUTHEAST |
| SEC | SECONDARY |
| SEC | SECTION |
| SLB&M | SALT LAKE BASE & MERIDIAN |
| SPEC | SPECIFICATION |
| SPECS | SPECIFICATIONS |
| SPP | STEEL PIPE |
| SS | SANITARY SEWER |
| SSCO | SANITARY SEWER CLEANOUT |
| SSMH | SANITARY SEWER MANHOLE |
| STD | STANDARD |
| STDS | STANDARDS |
| SW | SECONDARY WATER |
| SW | SOUTHWEST |
| SWL | SECONDARY WATERLINE |
| TAN | TANGENT |
| TB | THRUST BLOCK |
| TBC | TOP BACK OF CURB |
| TBW | TOP BACK OF WALK |
| TEL | TELEPHONE |
| TCW | TOP OF CURBWALL |
| TOA | TOP OF ASPHALT |
| TOC | TOP OF CONCRETE |
| TOE | TOE OF SLOPE OR WALL |
| TOG | TOP OF GRATE |
| TOW | TOP OF WALL |
| UTIL | UTILITY |
| UD | UNDERDRAIN |
| UGP | UNDERGROUND POWER |
| VC | VERTICAL CURVE |
| W | WEST, WATER |
| WL | WATERLINE |
| WM | WATER METER |
| WP | WORK POINT |

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| 2 | 6.9.21 | PLANNING COMMENTS |
| 3 | 8.5.21 | PLANNING UPDATES |
| 4 | 9.1.21 | FIRE LINE ADDITION |

GENERAL NOTES

C0-1

LOCATED IN THE SE 1/4 OF SECTION 28, T.1S., R.1E, S.L.B.&M. SALT LAKE COUNTY

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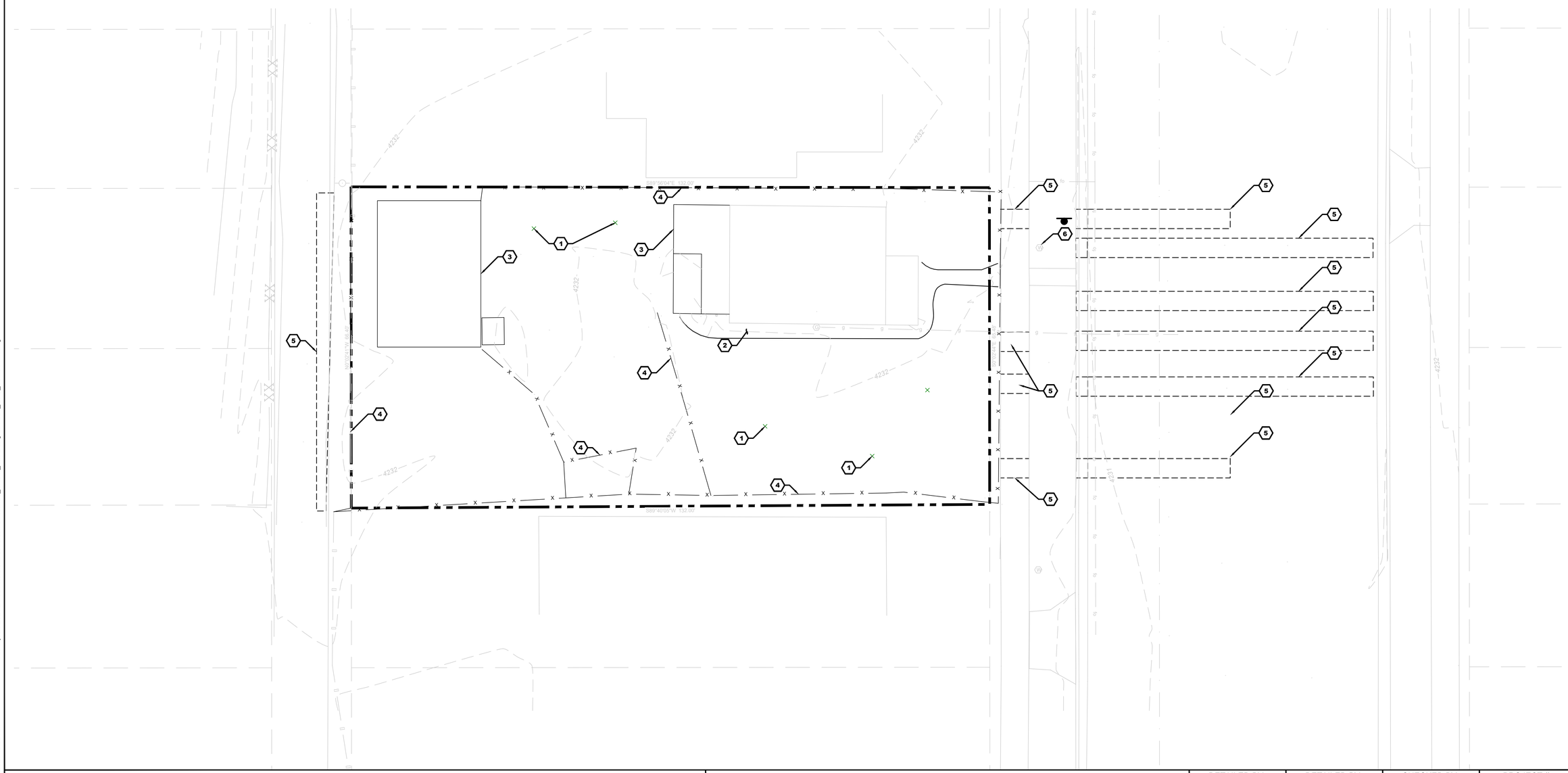
## DEMO PLAN KEY NOTES

1. DEMOLISH AND LEGALLY DISPOSE OF EXISTING TREE
2. DEMOLISH AND LEGALLY DISPOSE OF EXISTING CONCRETE
3. DEMOLISH AND LEGALLY DISPOSE OF STRUCTURE, REFERENCE ARCHITECTURE PLANS FOR DETAILS.
4. DEMOLISH AND LEGALLY DISPOSE OF EXISTING FENCE.
5. SAWCUT AND LEGALLY DISPOSE OF EXISTING ASPHALT/ CONCRETE.
6. EXISTING WATER METER, DEMOLISH AND KILL/END AT MAIN PER SLCPU STANDARDS AND SPECIFICATIONS.

## DEMO PLAN GENERAL NOTES:

1. ALL EXISTING SITE FEATURES ARE TO BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED ON THIS SHEET.
2. REFERENCE SHEET C4-0 FOR EXISTING UTILITY ABANDONMENT.

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DEMO PLAN

C0-2

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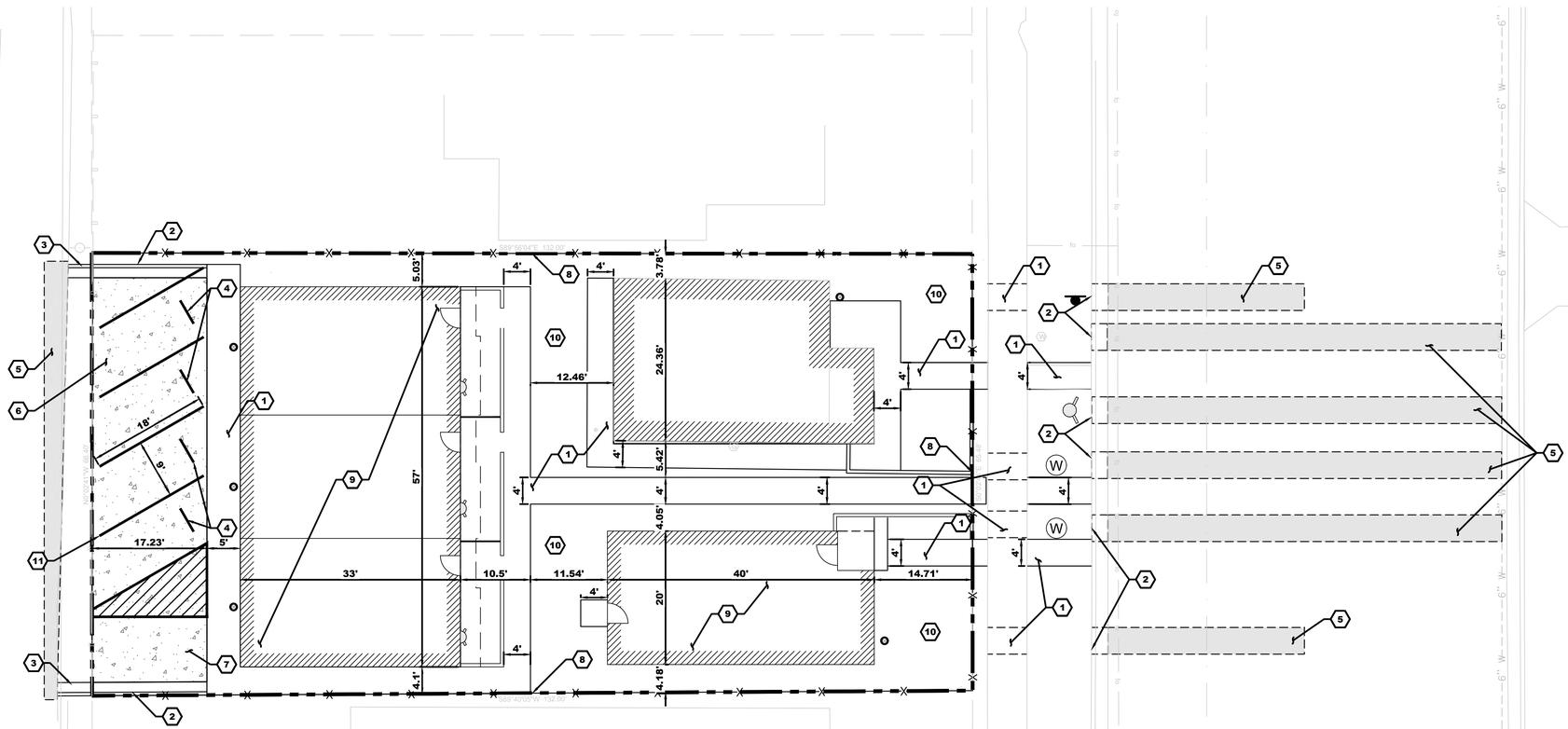
## SITE PLAN KEY NOTES

1. FURNISH AND INSTALL SIDEWALK PER APWA STANDARD PLAN 231. SEE SHEET C1-1.
2. FURNISH AND INSTALL TYPE E CURB AND GUTTER PER APWA STANDARD PLAN 205.2. SEE SHEET C1-1.
3. FURNISH AND INSTALL CURB AND GUTTER TAPER, REFERENCE SHEET C1-1 FOR DETAILS.
4. FURNISH AND INSTALL PARKING BLOCK PER APPROVED MANUFACTURER STANDARDS AND SPECIFICATIONS.
5. FURNISH AND INSTALL ASPHALT PAVEMENT & BASE PER SALT LAKE CITY STANDARDS, SEE C1-1 FOR CROSS SECTION.
6. FURNISH AND INSTALL CONCRETE PAVEMENT & BASE PER SALT LAKE CITY STANDARDS.
7. PROPOSED TRASH BIN STORAGE LOCATION.
8. FURNISH AND INSTALL FENCE; DETAILS BY OTHERS.
9. PROPOSED BUILDING LOCATION, REFERENCE ARCHITECTURAL PLANS FOR DETAILS.
10. PROPOSED LANDSCAPING, REFERENCE LANDSCAPE & IRRIGATION PLANS FOR DETAILS.
11. FURNISH AND INSTALL PAVEMENT MARKING PAINT PER MUTCD STANDARDS AND SPECIFICATIONS.

| SITE STATISTICS TABLE | | | |
|---|---|---|---|
| PROVIDED PARKING | 4 | | |
| AREAS | | | |
| AREAS | SQ.FT | ACRES | % |
| BUILDING | 3933.60 | 0.090 | 45% |
| LANDSCAPE | 2102.80 | 0.048 | 24% |
| HARDSCAPE | 2667.42 | 0.061 | 31% |
| TOTAL AREA | 8703.82 | 0.200 | 100% |

| OPEN SPACE / COMMON AREA (EVERYTHING BUT THE BUILDINGS) | | | |
|---|---|---|---|
| COMMON AREA | 4770.22 | 0.110 | 55% |




10 0 10 20 30
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SITE PLAN

C1-0

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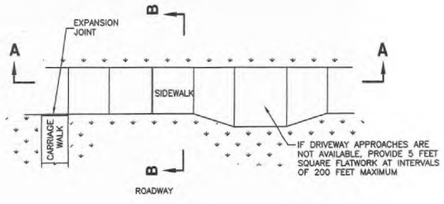
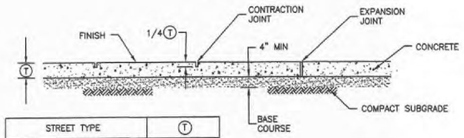


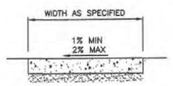

**PLAN**



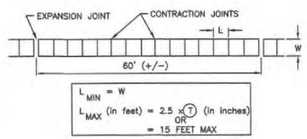

| STREET TYPE | T |
|---|---|
| RESIDENTIAL (WITH PARK STRIP) | 4" |
| RESIDENTIAL (NO PARK STRIP) | 6" |
| OTHER | |
| REPLACING EXISTING SIDEWALK | MATCH EXISTING (4" MIN.) |

SEE DRIVEWAY APPROACH PLANS FOR SIDEWALK THICKNESS AT DRIVEWAYS

**SECTION A-A**

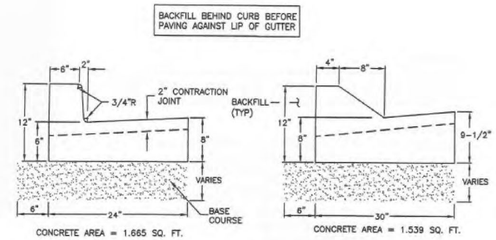



**SECTION B-B**

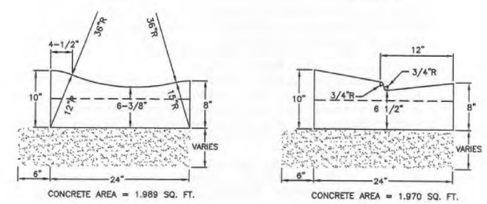



**SIDEWALK JOINT DETAIL**

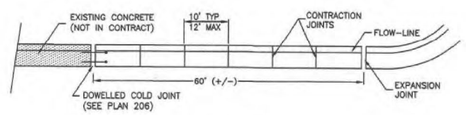
ADWA Utah Chapter — *Sidewalk* — Plan 231 March 2009




**Type E** **Type F**

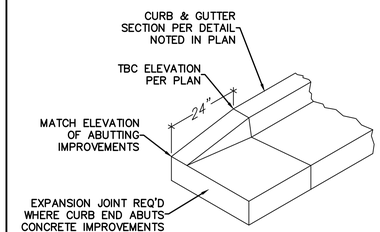



**Type G** **Type H**



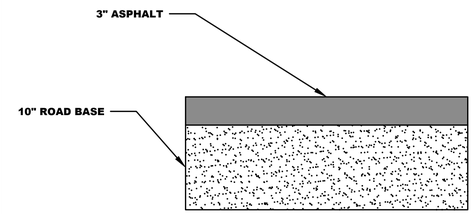

**JOINT DETAIL**

ADWA Utah Chapter — *Curb and gutter* — Plan 205.2 April 2011




**CURB & GUTTER TAPER**

TYPICAL
N.T.S.




**ASPHALT PAVEMENT SECTION**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SITE DETAILS

C1-1

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## GRADING AND DRAINAGE PLAN KEY NOTES

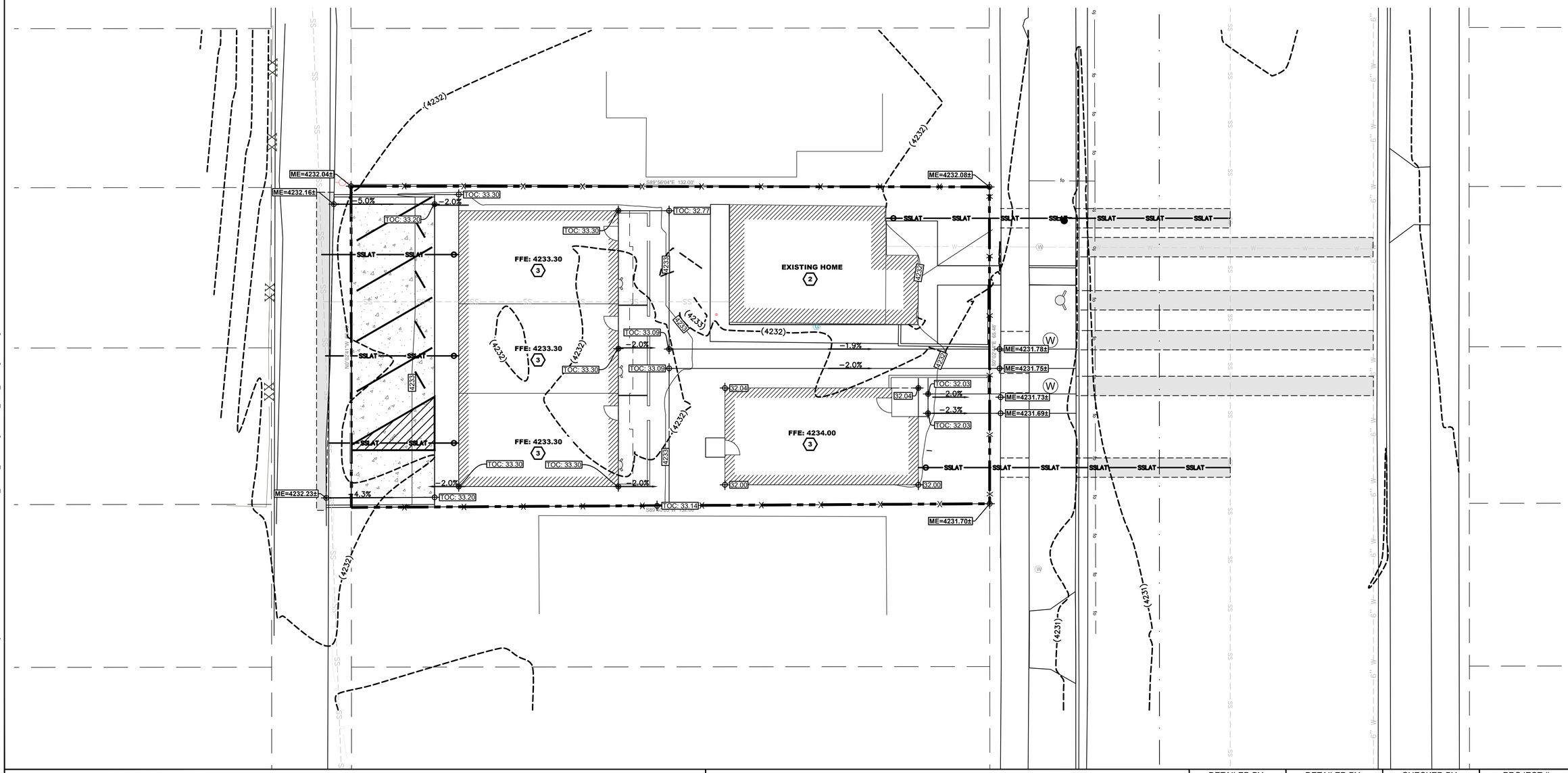
1. FURNISH AND INSTALL 2' WIDE BY 6" DEEP DRAINAGE SWALE PER DETAIL SD-1 SHEET C2-1
2. EXISTING STRUCTURE TO REMAIN
3. PROPOSED STRUCTURE.

PROPOSED CONTOUR 4232

EXISTING CONTOUR LABEL (4232)

GRADING NOTES
1. ALL SPOT ELEVATIONS HAVE BEEN TRUNCATED ALL ELEVATIONS ARE 4200 + THE TRUNCATED ELEVATION SHOWN

SCALE: 1" = 10'

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GRADING AND DRAINAGE PLAN

C2-0

LOCATED IN THE SE 1/4 OF SECTION 28, T.1S., R.1E, S.L.B.&M. SALT LAKE COUNTY

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## EROSION CONTROL PLAN KEY NOTES

1. PROPOSED SILT FENCE PER SLCo STANDARDS AND SPECIFICATIONS.
2. PROPOSED CONCRETE WASHOUT PER SLCo STANDARDS AND SPECIFICATIONS.
3. PROPOSED MATERIAL STORAGE PER SLCo STANDARDS AND SPECIFICATIONS.
4. PROPOSED PORTABLE TOILET PER SLCo STANDARDS AND SPECIFICATIONS.
5. PROPOSED STABILIZED CONSTRUCTION ENTRANCE PER SLCo STANDARDS AND SPECIFICATIONS.

**NOTES:**

1. CONTRACTOR TO INSTALL ALL BMPs PER SALT LAKE COUNTY STANDARD DETAILS. REFERENCE SHEET C3-1 FOR DETAILS.

N

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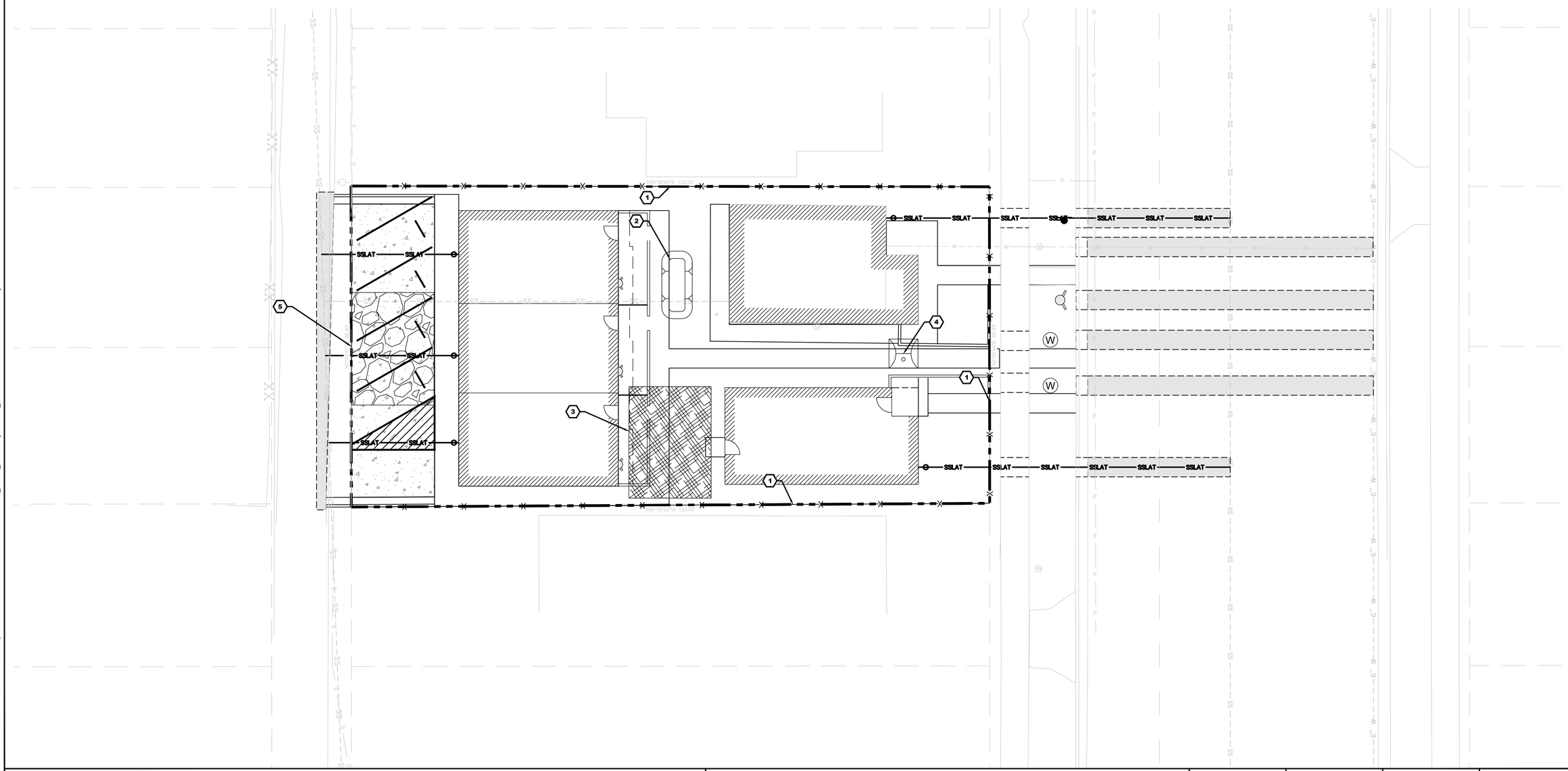
SCALE: 1" = 10'

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LOCATED IN THE SE 1/4 OF SECTION 28, T.1S., R.1E, S.L.B.&M. SALT LAKE COUNTY

| DETAILED BY: | DETAILED BY: | CHECKED BY: | PROJECT #: |
|---|---|---|---|
| TJB 9.1.2021 | TJB 9.1.2021 | CC 9.1.2021 | 21-004 |

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SALT LAKE CITY, UTAH

| REV | DATE | DESCRIPTION |
|---|---|---|
| 1 | 4.23.21 | PLANNED DEVELOPMENT SUBMITTAL |
| 2 | 6.9.21 | PLANNING COMMENTS |
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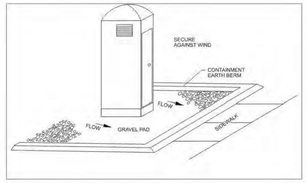
| 4 | 9.1.21 | FIRE LINE ADDITION |

EROSION CONTROL PLAN

C3-0

## BMP: Portable Toilets

**PT**
Construction




DESCRIPTION:
Temporary on-site sanitary facilities for construction personnel.

APPLICATION:
All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

INSTALLATION/APPLICATION CRITERIA:
- Locate portable toilets in convenient locations throughout the site.
- Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
- Construct earth berm perimeter (6" tall by 6" wide), control for spill/protection leak.

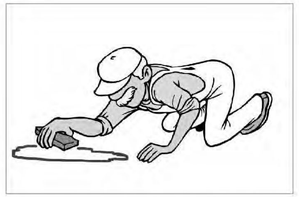
LIMITATIONS:
- No limitations.

MAINTENANCE:
- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- Regular waste collection should be arranged with licensed service.
- All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.

35

## BMP: Spill Clean-Up

**SCU**
Construction



DESCRIPTION:
Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

APPLICATION:
All sites

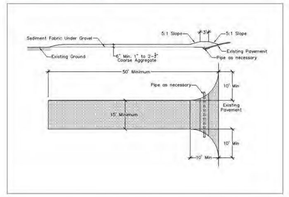
GENERAL:
- Store controlled materials within a storage area.
- Educate personnel on prevention and clean-up techniques.
- Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
- Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

METHODS:
- Clean-up spills/leaks immediately and remediate cause.
- Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.
- Use rags or absorbent material for clean-up. Excavate contaminated soils. Dispose of clean-up material and soil as hazardous waste.
- Document all spills with date, location, substance, volume, actions taken and other pertinent data.
- Contact the Salt Lake County Health Department (313-6700) for any spill of reportable quantity.

42

## BMP: Stabilized Construction Entrance

**SCE**
Construction




DESCRIPTION:
A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to paved surface.

APPLICATION:
At any point of ingress or egress at a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.

INSTALLATION/APPLICATION CRITERIA:
- Clear and grub area and grade to provide maximum slope of 2%.
- Compact subgrade and place filter fabric if desired (recommended for entrances to remain for more than 3 months.
- Place coarse aggregate, 1 to 2-1/2 inches in size, to a minimum depth of 8 inches.

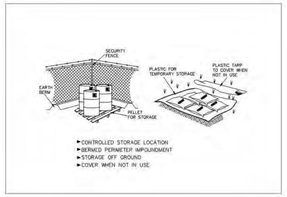
LIMITATIONS:
- Requires periodic top dressing with additional stones.
- Should be used in conjunction with street sweeping on adjacent public right-of-way.

MAINTENANCE:
- Inspect daily for loss of gravel or sediment buildup.
- Inspect adjacent roadway for sediment deposit and clean by sweeping or shoveling.
- Repair entrance and replace gravel as required to maintain control in good working condition.
- Expand stabilized area as required to accommodate traffic and prevent erosion at driveways.

43

## BMP: Material Storage

**MS**
Construction




DESCRIPTION:
Controlled storage of on-site materials.

APPLICATION:
- Storage of hazardous, toxic, and all chemical substances.
- Any construction site with outside storage of materials.

INSTALLATION/APPLICATION CRITERIA:
- Designate a secured area with limited access as the storage location. Ensure no waterways or drainage paths are nearby.
- Construct compacted earthen berm (See Earth Berm Barrier Information Sheet), or similar perimeter containment around storage location for impoundment in the case of spills.
- Ensure all on-site personnel utilize designated storage area. Do not store excessive amounts of material that will not be utilized on site.
- For active use of materials away from the storage area ensure materials are not set directly on the ground and are covered when not in use. Protect storm drainage during use.

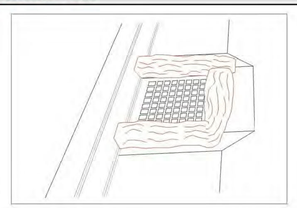
LIMITATIONS:
- Does not prevent contamination due to mishandling of products.
- Spill Prevention and Response Plan still required.
- Only effective if materials are actively stored in controlled location.

MAINTENANCE:
- Inspect daily and repair any damage to perimeter impoundment or security fencing.
- Check materials are being correctly stored (i.e. standing upright, in labeled containers, tightly capped) and that no materials are being stored away from the designated location.

30

## BMP: Inlet Protection – Wattle

**IP-W**
CONSTRUCTION



DESCRIPTION:
Sediment barrier erected around storm drain inlet.

APPLICATION:
Construct at storm drainage inlets located down-gradient of areas to be disturbed by construction.

INSTALLATION/APPLICATION CRITERIA:
- Provide up-gradient sediment controls, such as silt fence during construction of inlet
- When construction of curb and gutter and roadways is complete, install gravel filled wattles around perimeter of inlet

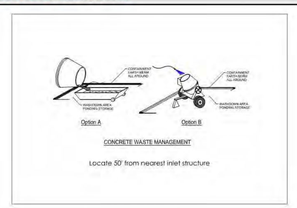
LIMITATIONS:
- Recommended maximum contributing drainage area of one acre
- Requires shallow slopes adjacent to inlet

MAINTENANCE:
- Inspect inlet protection following storm event and at a minimum of once every 14 days.
- Remove accumulated sediment when it reaches 4 inches in depth.
- Look for bypassing or undercutting and repair or realign as needed.

27

## BMP: Concrete Waste Management

**CWM**
Construction




DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

APPLICATION:
This technique is applicable to all types of sites.

INSTALLATION/APPLICATION CRITERIA:
- Store dry materials under cover, away from drainage areas.
- Minimize excess mixing of fresh concrete, mortar or cement on-site.
- Perform washout of concrete trucks off-site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (6" tall by 6" wide).
- Train employees and subcontractors in proper concrete waste management.

LIMITATIONS:
- Off-site washout of concrete wastes may not always be possible.

MAINTENANCE:
- Inspect subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.

8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EROSION CONTROL DETAILS

C3-1

LOCATED IN THE SE 1/4 OF SECTION 28, T.1S., R.1E, S.L.B.&M. SALT LAKE COUNTY

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## UTILITY PLAN KEY NOTES

1. PROPOSED SANITARY SEWER CONNECTION AT BUILDING. REFERENCE MEP AND ARCHITECTURAL PLANS FOR DETAILS.
2. FURNISH AND INSTALL 4" PVC SDR 35 SANITARY SEWER SERVICE LATERAL @ 2% MIN. SLOPE PER SALT LAKE PUBLIC UTILITIES (SLCPU) STANDARDS.
3. FURNISH AND INSTALL 4" SANITARY SEWER CLEANOUT PER SLCPU STANDARDS AND SPECIFICATIONS.
4. EXISTING SEWER LATERAL, ABANDON AND CAP AT MAIN PER SLCPU STANDARDS AND SPECIFICATIONS.
5. FURNISH AND INSTALL 1.5" WATER METER PER SALT LAKE PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS.
6. FURNISH AND INSTALL 1.5" TYPE K COPPER WATER SERVICE LATERAL PER SLCPU STANDARDS AND SPECIFICATIONS.
7. FURNISH AND INSTALL 3/4" POLY WATER SERVICE LATERAL PER SLCPU STANDARDS AND SPECIFICATIONS.
8. EXISTING WATER LATER/ METER, ABANDON AND KILLED AT MAIN PER SLCPU STANDARDS AND SPECIFICATIONS.
9. PROPOSED CULINARY WATER SERVICE CONNECTION AT BUILDING, REFERENCE MEP PLANS FOR DETAILS.
10. FURNISH AND INSTALL 1" IRRIGATION LATERAL, REFERENCE LANDSCAPE & IRRIGATION PLANS FOR DETAILS.
11. EXISTING FIRE HYDRANT.
12. FURNISH AND INSTALL FIRE HYDRANT PER SALT LAKE CITY STANDARDS SEE APWA PLAN 511 FOR DETAILS. WITH 6" GATE VALVES AT CONNECTION POINT AND BASE OF HYDRANT & SIX INCH SPOOL.

## UTILITY PLAN KEY NOTES

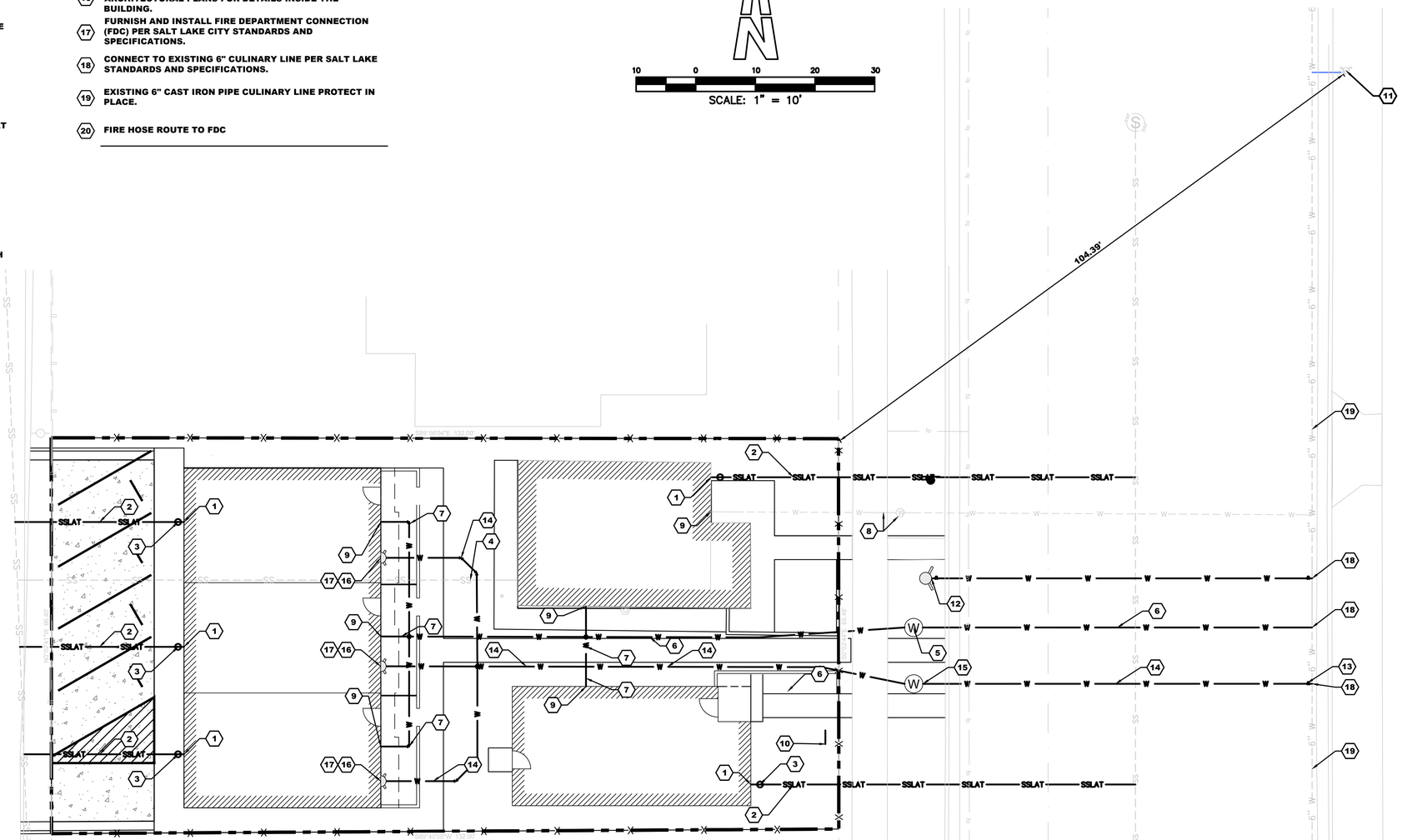
13. FURNISH AND INSTALL 4" GATE VALVE PER SALT LAKE CITY STANDARDS.
14. FURNISH AND INSTALL 4" PVC FIRE LINE PER SALT LAKE CITY STANDARDS AND SPECIFICATION.
15. FURNISH AND INSTALL FIRE DETECTOR CHECK PER SALT LAKE CITY STANDARDS AND SPECIFICATIONS.
16. CONNECTION OF FIRE LINE AT BUILDING REFERENCE ARCHITECTURAL PLANS FOR DETAILS INSIDE THE BUILDING.
17. FURNISH AND INSTALL FIRE DEPARTMENT CONNECTION (FDC) PER SALT LAKE CITY STANDARDS AND SPECIFICATIONS.
18. CONNECT TO EXISTING 6" CULINARY LINE PER SALT LAKE STANDARDS AND SPECIFICATIONS.
19. EXISTING 6" CAST IRON PIPE CULINARY LINE PROTECT IN PLACE.
20. FIRE HOSE ROUTE TO FDC

10 0 10 20 30

SCALE: 1" = 10'

## GENERAL UTILITY PLAN NOTES:

1. ALL UTILITY INSTALLATION SHALL BE TO SALT LAKE CITY PUBLIC UTILITIES & APWA STANDARDS AND SPECIFICATIONS. APPLICABLE SALT LAKE CITY PUBLIC UTILITIES & APWA DETAILS CAN BE FOUND ON SHEET C4-1; HOWEVER, CONTRACTOR RESPONSIBLE FOR ACQUIRING LATEST DETAILS AND SPECIFICATIONS FROM SALT LAKE CITY PUBLIC UTILITIES OR APWA.
2. OWNER/CONTRACTOR TO COORDINATE WITH POWER, GAS AND COMMUNICATION UTILITY PROVIDERS FOR LOCATION AND CONNECTION DETAILS.
3. EXISTING UTILITY LOCATIONS ARE APPROXIMATE, CONTRACTOR TO FIELD VERIFY PRIOR TO CONSTRUCTION; NOTIFY ENGINEER IF EXISTING CONDITIONS ARE DIFFERENT THAN SHOWN ON PLANS.

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UTILITY PLAN

C4-0

LOCATED IN THE SE 1/4 OF SECTION 28, T.1S., R.1E, S.L.B.&M. SALT LAKE COUNTY

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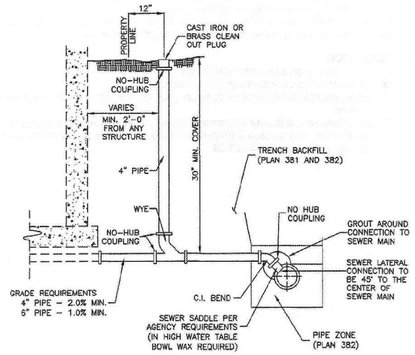
*Sewer lateral connection*

1. **GENERAL**
   A. Before installation, secure acceptance by ENGINEER for all pipe, fittings, and couplings to be used.
   B. Before backfilling, secure inspection of installation by ENGINEER. Give at least 24 hours notice.
   C. Verify if CONTRACTOR or agency is to install the wye.
2. **PRODUCTS**
   A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
   B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
   C. Provide agency approved wye or tee with appropriate donut.
   D. Stainless steel straps required.
3. **EXECUTION**
   A. Tape wrap pipe as required by soil conditions.
   B. Remove core plug from sewer main. Do not break into sewer main to make connection.
   C. Base Course and Backfill Placement: Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.

431




APWA Utah Chapter

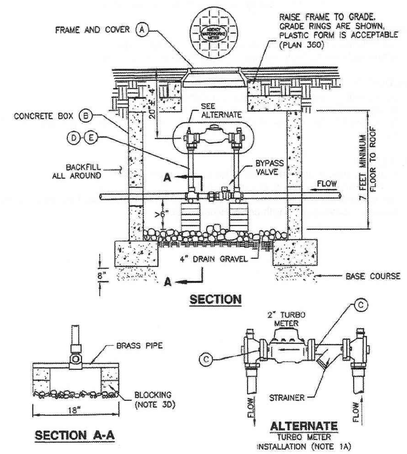
**Sewer lateral connection**

Plan **431** January 2011

*1 1/2" and 2" meter*

1. **GENERAL**
   A. Turbine meters are required on all systems used exclusively for irrigation or fire protection.
   B. Where domestic use is applicable, use a standard meter.
   C. Before backfilling, secure inspection of installation by ENGINEER.
2. **PRODUCTS**
   A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
   B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
   C. Castings: Grey iron class 35 minimum per ASTM A48, coated with asphalt based paint or better.
3. **EXECUTION**
   A. Meter Placement:
      1) All meters are to be installed in the park strip or within 7 feet of the property line (street side).
      2) Do not install meters under driveway approaches, sidewalks, or curb and gutter.
      3) In new construction, install meter at center of lot or per agency requirements.
   B. Meter Box: Set box so grade of the frame and cover matches the grade of the surrounding surface.
   C. Bypass Valve: Lock in off position.
   D. Blocking: Use clay brick or concrete block.
   E. Concrete Box:
      1) Center frame and cover over water meter.
      2) Allow 1-inch clearance around waterline where water line passes through concrete box wall. Seal opening with compressible seal.
   F. Pipe Outside of Right-of-Way: Coordinate with utility agency or adjacent property owner for type of pipe to be used outside of right-of-way.
   G. Base Course and Backfill Placement: Maximum lift thickness before compaction is 8-inches. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.

522




| LEGEND | | | |
|---|---|---|---|
| No. | * | ITEM | DESCRIPTION |
| (A) | | 27" FRAME AND COVER | PLAN 502 |
| (B) | | CONCRETE BOX | PLAN 505 |
| (C) | | STAINLESS STEEL METER BOLTS | 5/8" x 2 3/4" BRASS |
| (D) | | 1 1/2" CUSTOM SETTER WITH BYPASS | |
| (E) | | 2" CUSTOM SETTER WITH BYPASS | |

* FURNISHED BY UTILITY AGENCY

APWA Utah Chapter

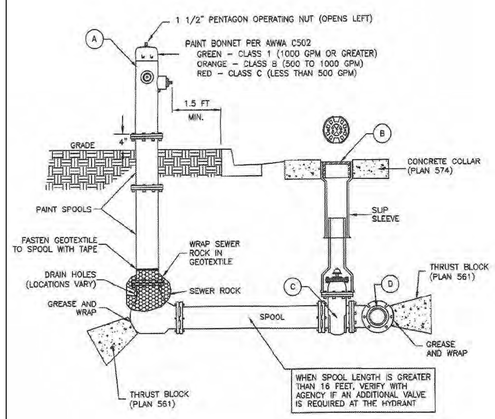
***1 1/2" and 2" meter***

Plan **522** August 2001

*Fire hydrant with valve*

1. **GENERAL**
   A. Before backfilling, secure inspection of installation by ENGINEER.
   B. Additional requirements are specified in APWA Section 33 11 00.
2. **PRODUCTS**
   A. Hydrant: Dry barrel, AWWA C502.
   B. Thrust Blocks: Concrete Class 4000, APWA Section 03 30 04.
   C. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A615.
   D. Backfill: APWA Section 31 05 13. Maximum particle size 2-inches.
      1) Sewer Rock: ASTM Size No. 3 (2" to 1") or larger.
      2) Other Type of Common Fill: CONTRACTOR's choice.
   E. Geotextile: Stabilization-separation fabric, APWA Section 31 05 19.
3. **EXECUTION**
   A. Installation:
      1) Provide at least 1 cubic yard of sewer rock around drain hole at base of hydrant spool. Wrap geotextile around sewer rock and tape geotextile to hydrant spool to prevent silting of sewer rock.
      2) Paint fire hydrant to agency's fire hydrant paint code.
      3) Apply non-oxide grease to all buried metal surfaces. Wrap with polyethylene sheet and tape wrap.
      4) Notify fire department as soon as hydrant is placed in service.
   B. Thrust Blocks:
      1) Before pouring concrete, wrap pipe system with polyethylene sheet to prevent bonding of concrete to pipe system.
      2) Not required for flange or welded pipe systems.
   C. Backfill: Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.

511




| LEGEND | | | |
|---|---|---|---|
| No. | * | ITEM | DESCRIPTION |
| (A) | | FIRE HYDRANT | AWWA C502 |
| (B) | | VALVE BOX WITH LID | 2-PIECE CAST IRON |
| (C) | | GATE VALVE WITH 2" X 2" NUT | AWWA C509 |
| (D) | | TEE WITH 125 # FLANGE | AWWA C110 |

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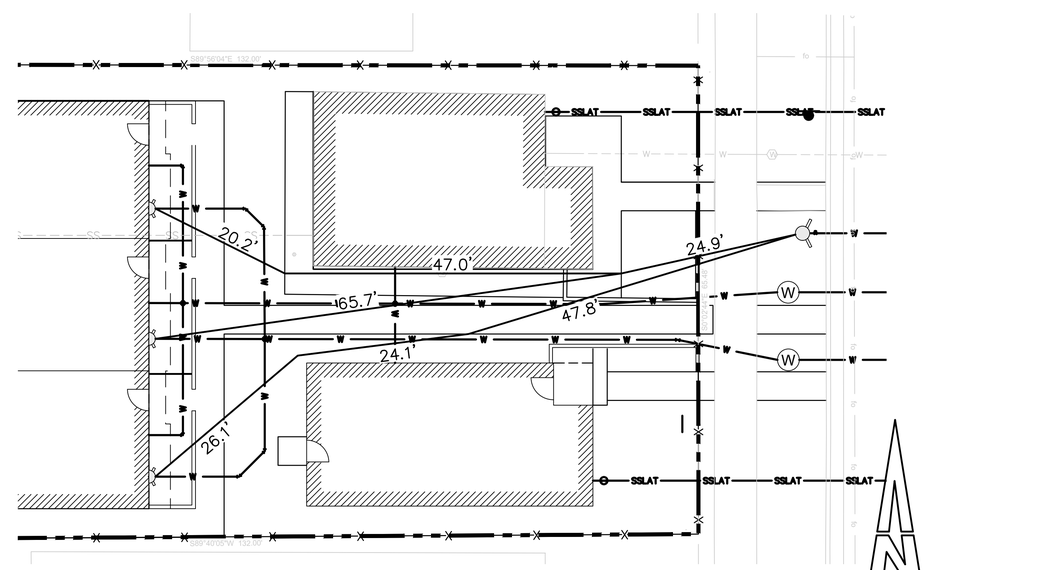
**SECTION**

APWA Utah Chapter

***Fire hydrant with valve***

Plan **511** February 2011




**FIRE HOSE ROUTE EXHIBIT**

10 0 10 20 30

SCALE: 1" = 10'

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UTILITY PLAN DETAILS

C4-1

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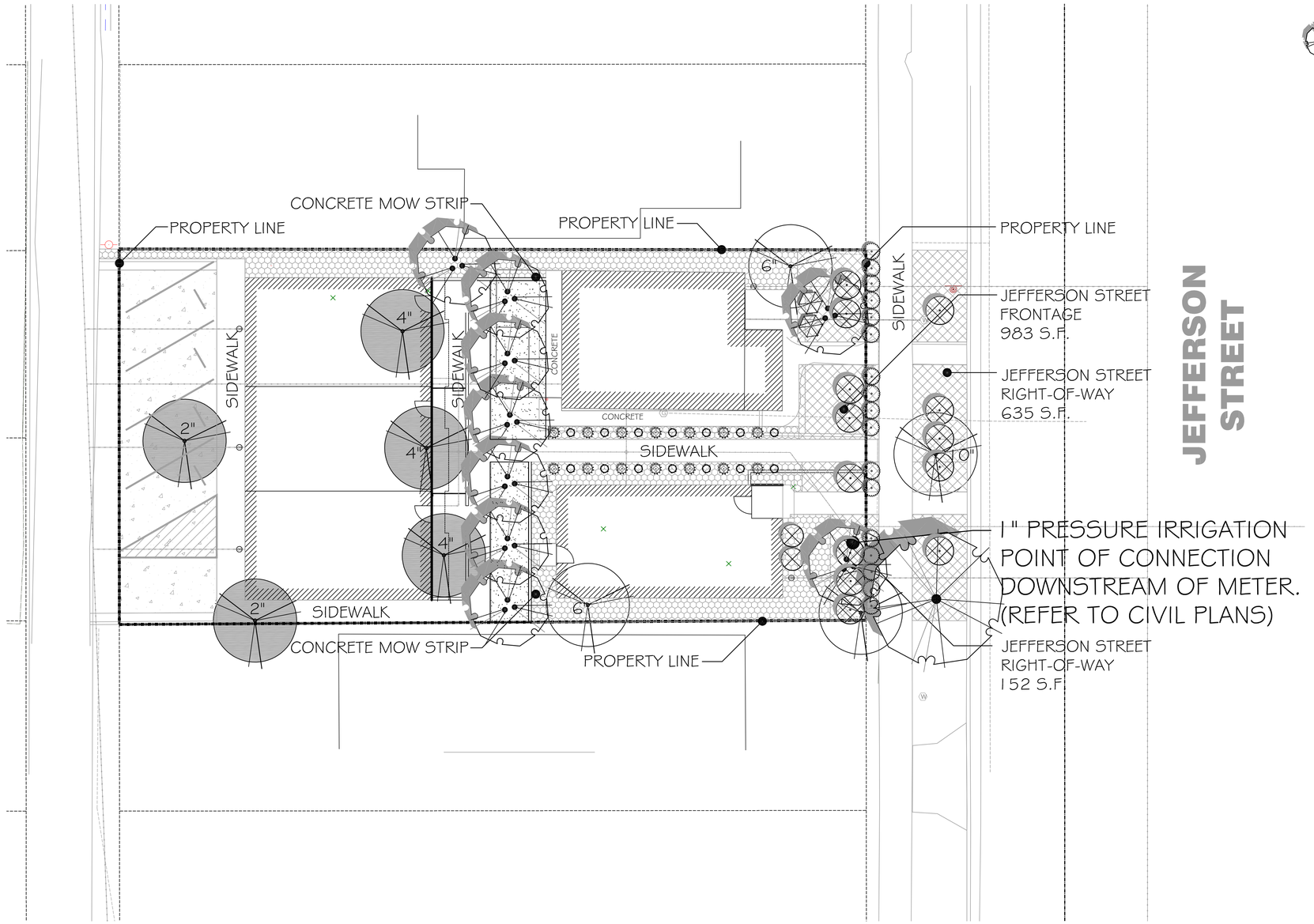


JEFFERSON STREET

## PLANT SCHEDULE PROJECT TOTAL

| TREES | BOTANICAL / COMMON NAME | CONT | CAL | QTY |
|---|---|---|---|---|
| | Acer tatarcum / Tatanan Maple<br>Hydro Zone Td3 | B & B | 2"Cal | 9 |
| | Gleditsia triacanthos inermis `Shademaster` TM / Shademaster Locust<br>SLC Hydro Zone 1 | B & B | 2"Cal | 1 |

| SHRUBS | BOTANICAL / COMMON NAME | CONT | QTY |
|---|---|---|---|
| | Berberis thunbergii `Bagatelle` / Bagatelle Red Barberry<br>Hydro Zone Sd3 | 2 gal | 14 |
| | Berberis thunbergii `Orange Rocket` / Orange Rocket Barberry<br>Hydro Zone Sd3 | 5 gal | 14 |
| | Helictotrichon sempervirens / Blue Oat Grass<br>Hydro Zone Tw1 | 1 gal | 17 |
| | Juniperus horizontalis `Bar Harbor` / Bar Harbor Creeping Juniper<br>Hydo Zone GV1 - Evergreen | 5 gal | 13 |
| | Spiraea japonica `Neon Flash` / Neon Flash Spirea<br>Hyrdo Zone Sd3 | 5 gal | 2 |
| | Spiraea x bumalda `Goldmound` / Gold Mound Spirea<br>Hydro Zone Sd3 | 5 gal | 2 |

EXISTING TREES OF VARIOUS SIZES AND SPECIES LOCATED ON THE PROPERTY, OR WITHIN THE ROAD RIGHT-OF-WAY WHICH ARE TO REMAIN. LOCATION DETERMINED FROM SITE SURVEY, SITE INSPECTION, AND GOOGLE EARTH AERIAL IMAGE. PROTECT ON-SITE EXISTING TREES DURING CONSTRUCTION WITH CONSTRUCTION FENCING AT THE DRIP LINE OF THE TREES.

EXISTING TREES OF VARIOUS SIZES AND SPECIES LOCATED ON THE PROPERTY TO BE REMOVED. LOCATION DETERMINED BY SITE SURVEY, SITE INSPECTION, AND GOOGLE EARTH AERIAL IMAGE. ALL OTHER EXISTING TREES ARE TO BE REMAIN.

| MULCHES / ROCK | | |
|---|---|---|
| | TURF GRASS BLEND - REFER TO NOTES AND DETAILS SHEET | 468 S.F. |
| | 4" DEPTH OF BROWN BARK CHIP MULCH. MULCH SAMPLES TO PROVIDED TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY. | 1,229 S.F. |
| | 4" DEPTH OF 1" TO 2-1/2" OF COLORED CRUSHED ROCK (BROWNS, REDS & GRAYS) OVER DEWITT PRO 5 WEED BARRIER. | 1,211 S.F. |

NOTES:
1. SEE SHEET L-2 FOR LANDSCAPE NOTES AND DETAILS.
2. LANDSCAPE MATERIAL SQUARE FOOTAGES INCLUDE AREAS WITHIN THE PUBLIC RIGHT-OF-WAY.
3. CLEAR VIEW AREA AT STREET INTERSECTIONS IS TO BE MEASURED AS NOTED ON PLAN.
4. TREE REMOVAL OR TREE PLANTING IN THE PUBLIC RIGHT-OF-WAY REQUIRES APPROVAL FROM JULIE FRATTO, SALT LAKE CITY URBAN FORESTRY (801-972-7818) OR SUBMIT PLANS CONTAINING AN URBAN FORESTER APPROVAL SIGNATURE.
5. ALL WORK DONE WITHIN THE PUBLIC WAY SHALL BE DONE BY A LICENSED, BONDED AND INSURED CONTRACTOR WHO SHALL FIRST OBTAIN A PUBLIC WAY PERMIT.
6. IRRIGATION SYSTEM IS EQUIPPED WITH A SMART ET BASED CONTROLLER AND RAIN SENSOR AS PART OF THE SPRINKLER SYSTEM.
7. PLANS ARE DIAGRAMMATIC DUE TO SCALE, THEREFORE, IT IS THE CONTRACTORS RESPONSIBILITY TO VERITY QUANTITIES.
8. SPRINKLER AUDITS ARE TO BE CONDUCTED AND REPORTS SUBMITTED TO THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
9. BACKFLOW PREVENTION DEVICE NEEDS TO BE TESTED AND SUBMITTED TO THE CITY.
10. PLANT MATERIALS ARE GROUPED ON INDIVIDUAL IRRIGATION VALVE CIRCUITS BASED ON THEIR HYDRO ZONE CLASSIFICATION.
11. IF PLANTS OF DIFFERENT HYDRO ZONE CLASSIFICATIONS ARE PLACED ON THE SAME IRRIGATION VALVE, ONLY PLANTS OF TWO HYDRO ZONE CLASSIFICATIONS CAN BE GROUPED TOGETHER, I.E. HYDRO ZONE 1 WITH HYDRO ZONE 2 OR HYDRO ZONE 2 WITH HYDRO ZONE 3 PLANT MATERIAL. THEN, EACH PLANT MATERIAL WITH THE HIGHER HYDRO ZONE VALUE IS TO RECEIVE ONE ADDITIONAL DRIP EMITTER THAN THE LOWER HYDRO ZONE PLANT MATERIAL.
12. ROCK MULCHES AND BOULDERS TO COMPLIMENT & BLEND WITH ARCHITECTURAL MATERIALS AND COLORS. CONTRACTOR TO SUBMIT SAMPLES TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY.
13. CONTRACTOR TO REFER TO CIVIL PLANS FOR GRADING DESIGN. IF SITE GRADING & CONSTRUCTION GENERATE SLOPES STEEPER THAN 2 FT. HORIZONTAL TO 1 FT VERTICAL (2H:1V) NOTIFY LANDSCAPE ARCHITECT.

**8/6/21**

**LANDSCAPE CALCULATIONS SUMMARY**

**ON SITE LANDSCAPE PROVIDED (REFER TO SITE PLANS OR CIVIL PLANS)**
**2,103 S.F.**
**TOTAL PROJECT LANDSCAPING (INCLUDING AREAS IN ROAD R.O.W.)**
**2,796 S.F.**
**TOTAL LANDSCAPE AREA IN TURF GRASS - EXISTING TO REMAIN (INCLUDING ROAD R.O.W.)**
**468 S.F. 16.74% OF LANDSCAPE**
**TOTAL AREA IN DROUGHT TOLERANT LANDSCAPE (INCLUDING R.O.W)**
**2,328 S.F. 83.26% OF LANDSCAPE**
**PERCENT OF LANDSCAPE PLANT MATERIAL AREA VALUE COVERAGE (EXCLUDES TURF GRASS)**
**164.81% BASED ON "WATER-WISE PLANTS FOR SLC", WITH TREES CALC.**
**82.90% BASED ON "WATER-WISE PLANTS FOR SLC", WITHOUT TREES CALC.**
**PERCENT OF DROUGHT TOLERANT PLANTS (EXCLUDES TURF GRASS)**
**100.00% BASED ON CITY WATER CONSERVING PLANT LIST**
**PERCENT OF LANDSCAPE AREA OF LIVE PLANT COVERAGE (INCLUDES ANY TURF GRASS)**
**181.55% WITH TREES CALCULATED**
**99.64% WITHOUT TREES CALCULATED**
**REQUIRED JEFFERSON STREET STREET TREES**
**2.2 TREES 66 FT DIV.BY 30**
**PROVIDED JEFFERSON STREET STREET TREES**
**2 TREES (INCLUDES 1 EXISTING TREE TO REMAIN)**
**JEFFERSON STREET ROAD R.O.W. LANDSCAPE AREA 1**
**635 S.F. & 39.37% PLANT COVERAGE (33% REQUIRED)**
**JEFFERSON STREET ROAD R.O.W. LANDSCAPE AREA 2**
**152 S.F. & 33.55% PLANT COVERAGE (33% REQUIRED)**
**JEFFERSON STREET ROAD TOTAL ROAD R.O.W.**
**787 S.F. & 38.25% PLANT COVERAGE (33% REQUIRED)**
**JEFFERSON STREET FRONTAGE LANDSCAPE**
**983 S.F. & 52.09% PLANT COVERAGE (33% REQUIRED)**

NORTH

0 10 20 30 feet
SCALE: 1" = 10'

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| NO. | REVISIONS | BY | DATE |
|---|---|---|---|
| 1 | UPDATED TO REVISED SITE PLAN | DCM | 8/6/21 |

PROJECT PROFESSIONAL: DCM DESIGNER: DCM


Foresite Design Group, L.C.
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# JEFFERSON COURT LANDSCAPE PLAN

850 SOUTH JEFFERSON STREET SALT LAKE CITY, UTAH

LICENSED LANDSCAPE ARCHITECT DAN C. MATTA No. 106248 8/6/21

SHEET: **L-1**

FILE NAME: FDG-257 SCALE: 1"=10'


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PLANTING NOTES:

1. LANDSCAPE BIDS MUST BE IN A DETAILED UNIT PRICE FORMAT SHOWING COST BREAKDOWN OF ALL LANDSCAPE ELEMENTS. ANY ELEMENT MAY BE ADDED OR DELETED BY THE LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR COMPENSATION WILL BE ADJUSTED ACCORDING TO THE UNIT PRICE BIDS. ANY SUBSTITUTION MUST BE BY LANDSCAPE ARCHITECT APPROVAL. LANDSCAPE ARCHITECT OR OWNER WITHOUT JUSTIFICATION MAY DISALLOW BIDS AND SELECT CONTRACTOR REGARDLESS OF BID FIGURES. THE SELECTED CONTRACTOR MUST CONTACT THE OWNER'S CONSTRUCTION REPRESENTATIVE BEFORE BEGINNING CONSTRUCTION TO SCHEDULE A PRE CONSTRUCTION MEETING. CONTRACTOR OR SUBCONTRACTOR'S PARTICIPATION IN CONSTRUCTION OF THIS PLAN MUST BE LICENSED BY THE STATE OF UTAH FOR THE TYPE OF WORK BEING PERFORMED.

2. CODES, LAWS, REGULATIONS, AND PERMITS BY FEDERAL, STATE, COUNTY AND CITY AGENCIES FOR DESIGN CONCEPT, MATERIALS AND WORKMANSHIP MUST BE RESEARCHED AND SATISFIED BY THE CONTRACTOR. REPORT ANY PROBLEMS OR REQUIREMENTS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST VERIFY THE REGULATIONS FOR AND SECURE ANY PERMITS BEFORE BEGINNING CONSTRUCTION. THE COST FOR THE PERMIT FEES MAY BE SUBMITTED TO THE OWNER FOR REIMBURSEMENT. CALL BLUE STAKES AND REFER TO DRAINAGE AND CIVIL PLANS BEFORE ANY TRENCHING OR EXCAVATION.

3. CONSTRUCTION SAFETY AND CLEANUP MUST MEET OSHA STANDARDS AT ALL TIMES. ALL CONTRACTORS MUST HAVE ADEQUATE LIABILITY, PERSONNEL INJURY AND PROPERTY DAMAGE INSURANCE. CLEAN UP MUST BE PERFORMED DAILY, AND ALL HARDSCAPE ELEMENTS MUST BE WASHED FREE OF DIRT AND MUD ON FINAL CLEAN UP. CONSTRUCTION MUST OCCUR IN A TIMELY MANNER.

4. LANDSCAPE PLANS AND DETAIL DRAWINGS ARE SCHEMATIC ONLY. DISCREPANCIES MAY EXIST, INCLUDING BUT NOT LIMITED TO BUILDING LOCATION, PROPERTY LINES, ANY DIMENSIONS SPECIFIED OR IMPLIED. THE CONTRACTOR WILL BE REQUIRED TO ADJUST PLANS AS NECESSARY TO RETAIN CONCEPT INTEGRITY. CONTACT LANDSCAPE ARCHITECT IF DISCREPANCIES EXIST.

5. PLANT MATERIAL EXCAVATION. CALL BLUE STAKE AND MAKE REFERENCE TO DRAINAGE AND CIVIL PLANS BEFORE EXCAVATION FOR PLANT MATERIAL. ALL HOLES MUST ALLOW FOR A MINIMUM OF TWELVE (12) INCHES OF SPECIFIED PLANTING MIX BACKFILL MATERIAL ON ALL SIDES OF ROOT BALL FOR SHRUBS, AND 3X BALL DIAMETER FOR TREES.

6. EXCEPT FOR TREES, PLANT MATERIAL BACKFILL MUST BE A WELL MIXED COMBINATION OF 1/3 NATIVE SOIL TAKEN FROM EXCAVATED PLANT PIT, 1/3 TOPSOIL, AND 1/3 ORGANIC COMPOSTED MATERIAL. DEEP WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING. ADD BACKFILL MATERIAL TO DEPRESSIONS AS NECESSARY.

7. SOIL AMENDING SHALL INCLUDE COMPOSTED ORGANIC MATERIAL TO BE ADDED AT A RATE OF THREE CUBIC YARDS PER 1000 SQUARE FEET. TILL INTO THE SUBGRADE SOIL PRIOR TO PLACING TOPSOIL. TILL AMENDMENTS IN TO A DEPTH OF 6". ALL SOD AREAS SHALL HAVE THE SOIL AMENDED.

8. TOP SOIL MUST BE A PREMIUM QUALITY DARK SANDY LOAM, FREE OF ROCKS, CLODS, ROOTS, AND PLANT MATTER. THE TOPSOIL SHALL BE EVENLY SPREAD AND SMOOTH GRADED ON A CAREFULLY PREPARED AMENDED SUBGRADE. TOPSOIL SHALL BE SPREAD TO A DEPTH OF FIVE INCHES (5") IN ALL SOD AND SHRUB AREAS.

9. SOD MUST BE PREMIUM QUALITY, ULTRA GREEN, EVENLY CUT, ESTABLISHED, HEALTHY, WEED AND DISEASE FREE, AND FROM AN APPROVED SOURCE. SOD MUST BE DELIVERED AND LAID IMMEDIATELY AFTER CUTTING. SOD MUST BE LAID WITH NO GAPS BETWEEN PIECES ON A CAREFULLY PREPARED TOPSOIL LAYER. THE LAID SOD MUST BE IMMEDIATELY WATERED AFTER INSTALLATION. ANY BURNED AREAS WILL REQUIRE REPLACEMENT. ADJUST SPRINKLER SYSTEM TO ASSURE HEALTHY GREEN SURVIVAL OF THE SOD WITHOUT WATER WASTE. TURF GRASS TO BE "CHANSHARE FARMS IMPERIAL BLUE" (OR EQUIVALENT) WHICH IS A "WATER-WIZE TURF". INSTALL AND MAINTAIN PER GROWER'S SPECIFICATIONS.

10. MULCH OVER DEWITT PRO 5 WEED BARRIER WILL BE REQUIRED IN ALL LANDSCAPE BEDS FOR SHRUBS, PERENNIALS, AND ANNUALS. SEE PLANS FOR MULCH TYPES. MULCH SHALL BE EVENLY SPREAD ON A CAREFULLY PREPARED GRADE TO THE MINIMUM NOTED DEPTH. THE TOP OF ALL AREAS OF MULCH SHALL BE AT THE GRADE OF THE ADJACENT CURB, WALK, OR EDGE OF PAVEMENT.

11. FERTILIZER FOR SOD AREAS SHALL BE PELLETIZED, N-P-K AS APPROVED BY LANDSCAPE ARCHITECT FOR SEASONAL ADJUSTMENT. USE 20 LBS PER 5,000 SQUARE FEET OR AS PER MANUFACTURER'S SPECIFICATIONS. SPREAD EVENLY ON A CAREFULLY PREPARED TOPSOIL LAYER JUST PRIOR TO LAYING SOD.

12. TREE STAKING AND GUYING SHALL BE ON AN AS NEEDED BASIS AND ONLY IF THE ROOT BALL IS UNSTABLE. THE CONTRACTOR SHALL DETERMINE STAKING NEEDS DEPENDENT ON THE SITE CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE GUYING AND STAKING IN A TIMELY MANNER ONCE STAKED TREES HAVE TAKEN ROOT. NO STAKING SHALL REMAIN BEYOND A REASONABLE TIME FOR ROOT PENETRATION AND STABILIZATION.

13. TREE WRAPPING MAY BE USED TO PROTECT YOUNG TREES FROM WINTER DAMAGE. TREE WRAPS SHALL ONLY BE INSTALLED IN THE FALL. IF THE CONTRACTOR INSTALLS WRAPS FOR TREE PROTECTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROMPTLY REMOVE WRAPS THE FOLLOWING SPRING.

14. LANDSCAPE MAINTENANCE MUST BE PERFORMED BY THE LANDSCAPE CONTRACTOR DURING ESTABLISHMENT (30 DAYS AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT). RESPONSIBILITIES INCLUDE WEED CONTROL AND MOWING. NOTIFY OWNER AND CONSTRUCTION REPRESENTATIVE WHEN ESTABLISHMENT PERIOD HAS ENDED TO INSURE ONGOING MAINTENANCE. THE OWNER IS RESPONSIBLE FOR LANDSCAPE MAINTENANCE AND UPKEEP ONCE ESTABLISHMENT PERIOD HAS EXPIRED.

15. ALL PLANT MATERIAL AND LANDSCAPE ELEMENTS WILL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE. ANY ITEMS THAT ARE NOT FIRST CLASS PREMIUM QUALITY WILL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. ANY PLANT MATERIAL THAT IS NOT PREMIUM QUALITY OR APPEARS STRESSED IN ANY WAY DURING THE GUARANTEE PERIOD MAY REQUIRE REPLACEMENT. THE CONTRACTOR MUST SCHEDULE A PRE AND POST GUARANTEE MEETING WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.

16. SUBMITTALS OF ALL LANDSCAPE MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK. PROVIDER INFORMATION AND SAMPLES SHALL BE SUBMITTED OF ANY GRAVEL OR WOOD MULCHES. NURSERY STOCK SUBMITTAL SHALL INCLUDE PROVIDER INFORMATION WITH A LIST OF PLANT MATERIALS BEING PROVIDED BY THE NURSERY.

17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES LISTED ON THE PLANS AND THE AVAILABILITY OF ALL PLANT MATERIALS IN THEIR SPECIFIC SIZES PRIOR TO SUBMITTING A BID. THE CONTRACTOR MUST NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A BID IF THE CONTRACTOR DETERMINES A QUANTITY DEFICIENCY OR AVAILABILITY PROBLEM WITH SPECIFIED MATERIAL.

18. SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION CONSTRUCTION SHALL BE THE 2012 APWA "MANUAL OF STANDARD SPECIFICATIONS".

19. ALL LANDSCAPE MATERIAL SHALL BE FULLY IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM (DESIGN BUILD). IRRIGATION DESIGN SHALL BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

20. TREE REMOVAL OR TREE PLANTING IN THE PUBLIC RIGHT-OF-WAY REQUIRES APPROVAL FROM JULIE FRATTO, SLC URBAN FORESTER (801-972-7818) OR SUBMIT PLANS CONTAINING AN URBAN FORESTER APPROVAL.

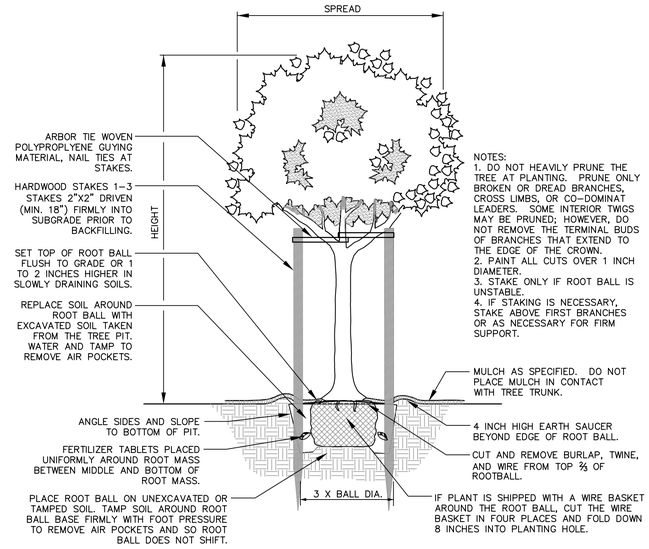
TOPSOIL QUALITY GUIDELINES

| Category | Soluble salts (dS/m or mmho/cm) | pH | Sand (%) | Silt (%) | Clay (%) | Texture class* | Organic Matter (%) | % Coarse fragments (> 2 mm in diameter)** | Sodium Adsorption Ratio (SAR)* |
|---|---|---|---|---|---|---|---|---|---|
| Ideal | < 2 | 5.5 to 7.5 | < 70 | < 70 | < 30 | L, SiL | ≥2.0 | ≤ 2 | < 3 for any texture |
| Acceptable | < 4 | 5.0 to 8.2 | < 70 | < 70 | < 30 | SCL, SL, CL, SiCL | ≥1.0 | 2.1 to 5.0 | 3 to 7 (SiL, SiCL, CL) 3 to 10 (SCL, SL, L) |
| Unacceptable | > 4 | < 5.0 or > 8.2 | > 70 | > 70 | > 30 | LS, SC, SiC, S, Si, C | <1.0 | > 5.0 | > 10 for any texture |

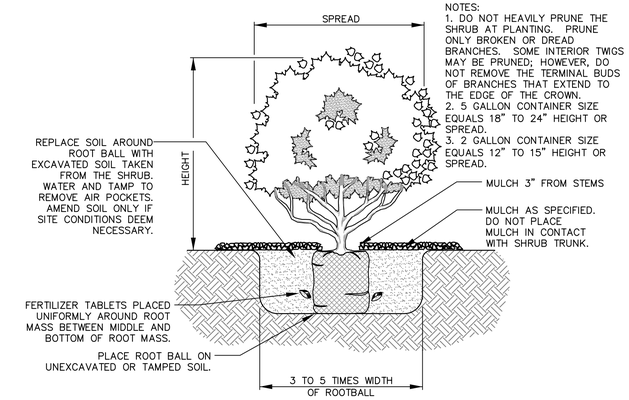
*L = loam; SiL = Silt loam; SCL = sandy clay loam; SL = sandy loam; CL = clay loam; SiCL = silty clay loam; LS - loamy sand; SC = sandy clay; SiC = silty clay; S = sand; Si = silt; C = clay.
**This guideline also includes no fragments larger than 1 ½ inch in diameter.

| Category | Nitrate-nitrogen (ppm or mg N/kg soil) | Phosphorus (ppm or mg P/kg soil) | Potassium (ppm or mg K/kg soil) | Iron (ppm or mg Fe/kg soil) |
|---|---|---|---|---|
| Acceptable | > 20 | > 15 | > 150 | > 10 |

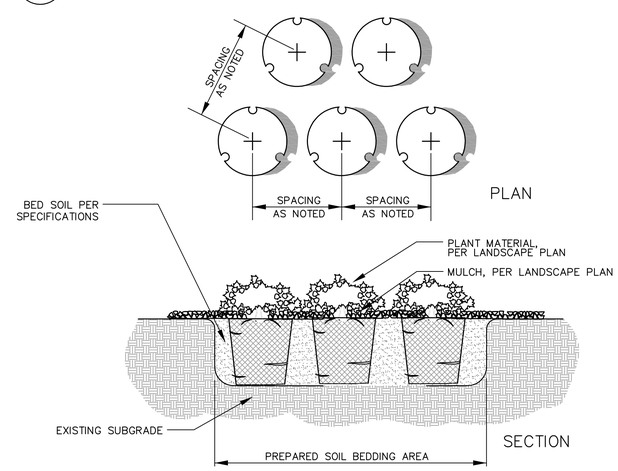
Source: Utah State University, "Topsoil Quality Guidelines for Landscaping", December 2010.




1 TREE PLANTING AND STAKING
N.T.S.




2 SHRUB AND ORNAMENTAL GRASS PLANTING
N.T.S.

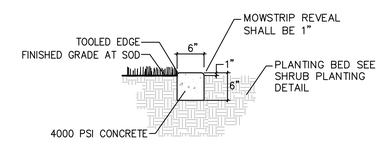



3 GROUNDCOVER, ANNUAL, AND/OR PERENNIAL PLANTINGS
N.T.S.

NOTES:
1. CONTROL JOINTS SHALL BE PLACED AT 5' ON CENTER.

2. EXPANSION JOINTS SHALL BE PLACED AT 20' ON CENTER, AND AT ALL HARD SURFACE ABUTMENTS.

3. MOWSTRIP SHALL BE INSTALLED TO SEPARATE ALL DIFFERING MULCH TYPES AND ALL SOD FROM MULCH AREAS.




4 CONCRETE MOWSTRIP
N.T.S.

| NO. | REVISIONS | BY | DATE |
|---|---|---|---|
| 1 | UPDATED TO REVISED SITE PLAN | DCM | 8/6/21 |

PROJECT PROFESSIONAL: DCM
DESIGNER: DCM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# JEFFERSON COURT
# LANDSCAPE NOTES AND DETAILS
850 SOUTH JEFFERSON STREET SALT LAKE CITY, UTAH

LICENSED LANDSCAPE ARCHITECT
DAN C. MATTA
No. 106248
8/6/21

CALL BEFORE YOU DIG!
IT'S THE LAW
BLUE STAKES 1 800 662 4111

SHEET:
L-2

FILE NAME: FDG-257
SCALE: N.A.

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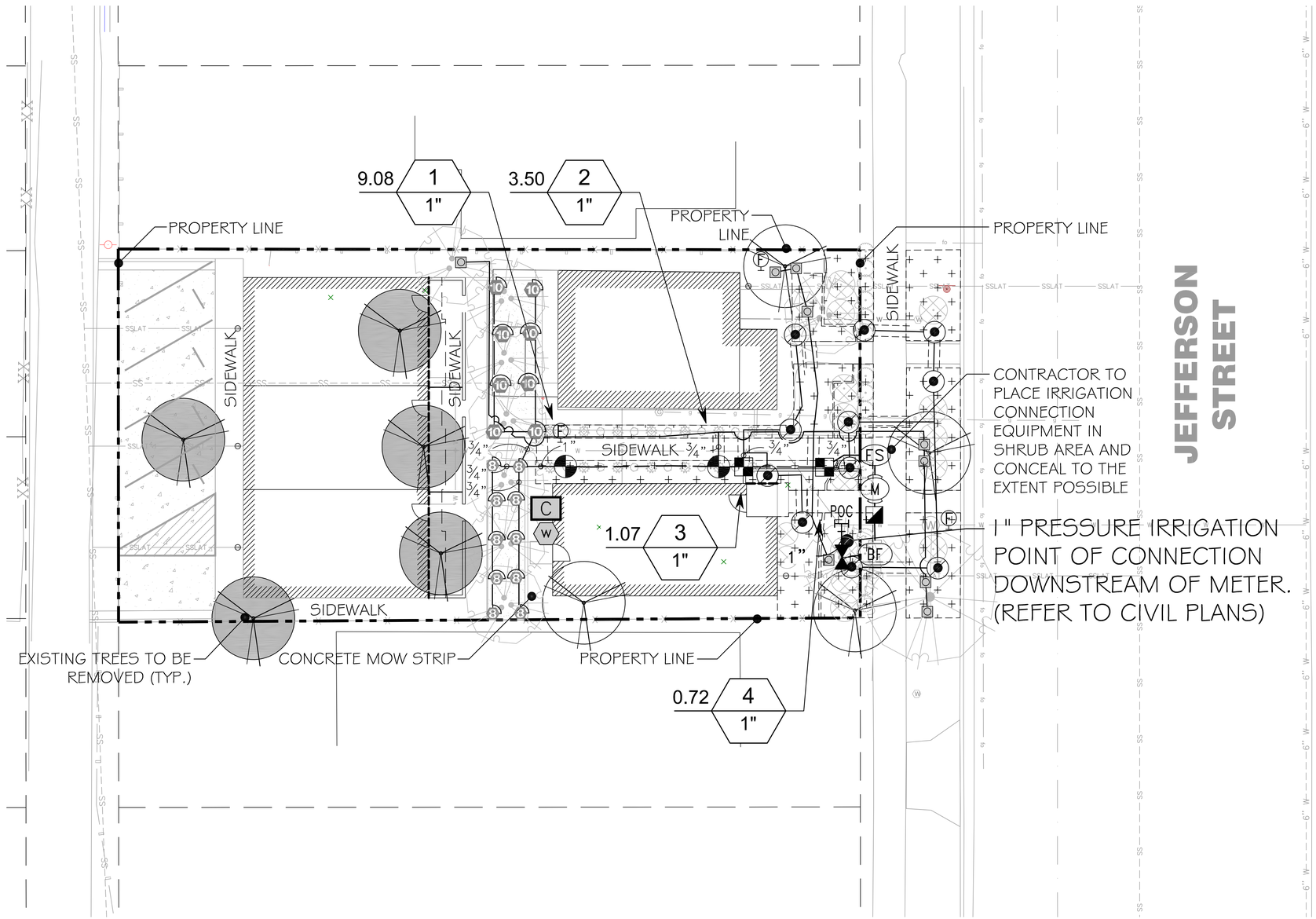


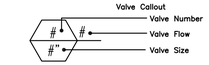

## IRRIGATION SCHEDULE TOTAL PROJECT

| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | QTY | PSI |
|---|---|---|---|
| Q T H F | Rain Bird 1804-U-PRS U8 Series<br>Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. Pressure Regulating. | 10 | 30 |
| Q T H F | Rain Bird 1804-U-PRS U10 Series<br>Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. Pressure Regulating. | 8 | 30 |
| 1401 1402 1404 1408 | Rain Bird 1804-PRS-1400 Flood 1401<br>Flood Bubbler 4.0" popup with pressure regulating device. | 9 | 30 |

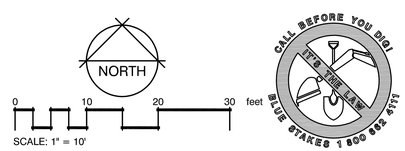
| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | QTY |
|---|---|---|
| | Rain Bird XCZ-LF-100-PRF<br>Low Flow Drip Control Kit, 1" Low Flow Valve, 3/4" Pressure Regulating RBY Filter, and 30psi Pressure Regulator. 0.2gpm-5gpm. | 2 |
| | Pipe Transition Point in Drip Box<br>Pipe transition point from PVC lateral to drip tubing with riser in 6" (150mm) drip box. | 11 |
| | Rain Bird MDCFCAP<br>Dripline Flush Valve cap in compression fitting coupler. | 3 |
| | Area to Receive Drip Emitters<br>Rain Bird XB-PC<br>Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph=blue, 1.0gph=black, and 2.0gph=red. Comes with a self-piercing barb inlet x barb outlet.<br>Emitter Notes:<br>0.5 GPH emitters (2 assigned to each 1 gal plant)<br>1.0 GPH emitters (2 assigned to each 2 gal plant)<br>1.0 GPH emitters (2 assigned to each 5 gal plant) | 1,610 s.f.<br><br><br><br>34<br>28<br>62 |

| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | QTY |
|---|---|---|
| | Rain Bird PEB-PRS-D<br>1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Pressure Regulator Module. | 2 |
| | Rain Bird 44-LRC<br>1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body. | 1 |
| | Stop and Waste Valve<br>Drain to Stop and Waste Valve | 1 |
| M | Rain Bird EFB-CP-PRS-D 1"<br>1", 1-1/4", 1-1/2", 2" Brass Master Valve, that is Contamination Proof w/Self-Flushing Filter Screen. Globe Configuration, Reclaimed Water Compatible, and Purple Handle Cover Designates Non-Potable Water Use. With Pressure Regulator. | 1 |
| | Pressure Reducing Valve | 1 |
| BF | Zurn 975XL 1"<br>Reduced Pressure Backflow device | 1 |
| C | Rain Bird ESP4ME3<br>4 Station, Hybrid Modular Outdoor Controller. For Residential or Light Commercial Use. LNK WiFi Module and Flow Sensor Ready. Contractor to coordinate with owner's representative regarding location. | 1 |
| W | Rain Bird WR2-RFC<br>Wireless Rain and Freeze Sensor Combo, includes 1 receiver and 1 rain/freeze sensor transmitter. Contractor to coordinate with owner's representative regarding location. | 1 |
| FS | Rain Bird FS-100-B<br>1" Flow Sensor for use with Rain Bird Maxicom, SiteControl, and ESP-LXD Central Control Systems. Brass Model. Suggested Operating Range of 2.0 GPM to 40.0 GPM. Sensors should be sized for flow rather than pipe size. | 1 |
| | Irrigation Lateral Line: PVC Schedule 40 | 498.4 l.f. |
| | Irrigation Mainline: PVC Schedule 40 | 85.2 l.f. |
| | Pipe Sleeve: PVC Schedule 40 | 78.9 l.f. |

Valve Callout




IRRIGATION NOTES:
1. SEE SHEET IR-2 FOR NOTES AND DETAILS.
2. IRRIGATION SYSTEM IS EQUIPPED WITH A SMART ET BASED CONTROLLER AND RAIN SENSOR AS PART OF THE SPRINKLER SYSTEM.
3. PLANS ARE DIAGRAMMATIC DUE TO SCALE, THEREFORE, IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY QUANTITIES.
4. SPRINKLER AUDITS ARE TO BE CONDUCTED AND REPORTS SUBMITTED TO THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
5. BACKFLOW PREVENTION DEVISE NEEDS TO BE TESTED AND SUBMITTED TO THE CITY.
6. PLANT MATERIALS ARE GROUPED ON INDIVIDUAL IRRIGATION VALVE CIRCUITS CONSISTING OF PLANTS DESIGNATED AS FOLLOWS:
HYDRO ZONE 1, HYDRO ZONE 2 AND HYDRO ZONE 3
7. IF PLANTS OF DIFFERENT HYDRO ZONE CLASSIFICATIONS ARE PLACED ON THE SAME IRRIGATION VALVE, ONLY PLANTS OF TWO HYDRO ZONE CLASSIFICATIONS CAN BE GROUPED TOGETHER, I.E. HYDRO ZONE 1 WITH HYDRO ZONE 2 OR HYDRO ZONE 2 WITH HYDRO ZONE 3 PLANT MATERIAL. THEN, EACH PLANT MATERIAL WITH THE HIGHER HYDRO ZONE VALUE IS TO RECEIVE ONE ADDITIONAL DRIP EMITTER THAN THE LOWER HYDRO ZONE PLANT MATERIAL OR THE LOWER HYDRO ZONE PLANT MATERIAL ONE LESS DRIP EMITTER.

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DESIGNER: DCM


Foresite Design Group, L.C.
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# JEFFERSON COURT IRRIGATION PLAN

850 SOUTH JEFFERSON STREET SALT LAKE CITY, UTAH

LICENSED LANDSCAPE ARCHITECT
DAN C. MATTA
No. 106248
8/6/21

SHEET:
IR-1

FILE NAME: FDG-257
SCALE: 1"=10'


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## IRRIGATION NOTES

1. THE LANDSCAPE CONTRACTOR SHALL PROVIDE IRRIGATION AS-BUILT DRAWINGS OF THE IRRIGATION SYSTEM TO THE OWNERS CONSTRUCTION REPRESENTATIVE. ALL IRRIGATION COMPONENTS ADDED, DELETED, OR MODIFIED IN THE FIELD SHALL BE NOTED ON THE PLAN. NOTE TAP SIZE, LINE SIZE, AND STATIC PRESSURE AT POINT OF CONNECTION.

2. IRRIGATION SYSTEM COMPONENTS MUST BE PREMIUM QUALITY ONLY AND INSTALLED TO MANUFACTURES REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING STATE AND LOCAL LAWS FOR ALL SPECIFIED MATERIALS AND WORKMANSHIP. SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT. PROVIDE OWNER AND MAINTENANCE PERSONNEL WITH INSTRUCTION MANUAL AND ALL PRODUCTS DATA TO OPERATE, CHECK, WINTERIZE, REPAIR, AND ADJUST SYSTEM. ANY CHANGES MUST BE DOCUMENTED AND SUBMITTED TO LANDSCAPE ARCHITECT IN AN AS BUILT PLAN FORMAT.

3. IRRIGATION SYSTEM GUARANTEE FOR ALL MATERIALS AND WORKMANSHIP SHALL BE ONE YEAR FROM THE TIME OF PROJECT ACCEPTANCE. GUARANTEE WILL INCLUDE, BUT IS NOT LIMITED TO WINTERIZING, SPRING ACTIVATION, REPAIR, TRENCH SETTING, BACKFILLING DEPRESSIONS, AND REPAIRING FREEZE DAMAGE. CONTRACTOR MUST CONTACT OWNER'S REPRESENTATIVE TO SCHEDULE PRE AND POST GUARANTEE INSPECTION MEETINGS. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.

4. IRRIGATION SYSTEM STATIC PRESSURE MUST BE CHECKED BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS. CONTACT LANDSCAPE ARCHITECT IF MEASURED STATIC PRESSURE IS UNDER 70 P.S.I. OR OVER 100 P.S.I.

5. IRRIGATION SYSTEM CHECK MUST BE DONE BEFORE THE SYSTEM IS BACKFILLED. IRRIGATION MAINLINE AND EACH CONTROL VALVE SECTION MUST BE FLUSHED AND PRESSURE CHECKED. ASSURE THE COMPLETE SYSTEM HAS NO DOCUMENTED PROBLEMS AND FULL HEAD TO HEAD COVERAGE WITH ADEQUATE PRESSURE FOR SYSTEM OPERATION. ADJUST SYSTEM TO AVOID SPRAY ON BUILDING, HARDSCAPE, AND ADJACENT PROPERTY. ANY PROBLEMS OR PLAN DISCREPANCIES MUST BE REPORTED TO THE LANDSCAPE ARCHITECT.

6. FIELD VERIFICATION OF ALL IRRIGATION PIPING AND EQUIPMENT NECESSARY TO COMPLETE CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.

7. IRRIGATION LATERALS AND FITTINGS MUST BE SCHEDULE 40 P.V.C. THREE QUARTER (3/4) INCH MINIMUM SIZE. SOLVENT WELD ALL JOINTS AS PER MANUFACTURES SPECIFICATIONS FOR MEASURED STATIC P.S.I. TEFLON TAPE ALL THREADED FITTINGS. THE MINIMUM DEPTH OF LINES SHALL BE TWELVE (12) INCHES. FLOWS IN G.P.M. FOR UN-SIZED LINES OR CHANGES SHALL BE (3/4 INCH-1-8 G.P.M.), (1 INCH-9-12 G.P.M.), (1 1/4 INCH-13-22 G.P.M.),(1-1/2 INCH-23-30 G.P.M.), (2 INCH-31-50 G.P.M.). INSTALL KING DRAINS AT ALL LOW POINTS AND ADAPT SYSTEM TO MANUAL COMPRESSION AIR BLOWOUT. THE OWNER MUST BE INFORMED ON WINTERIZING SCHEDULE FOR BLOWING OUT SYSTEM.

8. IRRIGATION MAIN LINE 3" AND SMALLER SHALL BE SCHEDULE 40 PVC PIPE WITH SCHEDULE 80 FITTINGS. SOLVENT WELD ALL JOINTS AS PER MANUFACTURES SPECIFICATIONS FOR MEASURED STATIC PRESSURE. USE TEFLON TAPE ON ALL THREADED JOINTS. LINE DEPTH MUST BE TWENTY FOUR (24) INCHES MINIMUM.

9. THRUST BLOCKS FOR MAINLINES 2" OR GREATER SHALL BE INSTALLED WITH A MINIMUM OF THREE AND A HALF (3 1/2) CUBIC FOOT OF CONCRETE WHEREVER A CHANGE IN DIRECTION OR A "T" OCCURS.

10. CONTROL WIRE MUST BE UF-UL LISTED, COLOR CODED, COPPER CONDUCTOR, DIRECT BURIAL. USE 14 GAUGE MINIMUM WIRING WITH ALL CONNECTIONS MADE WITH WATERTIGHT RAINBIRD SPLICE-1 WATERPROOF CONNECTORS AND CONTAINED IN VALVE BOXES. PROVIDE 24" OF SLACK WIRE AT EACH REMOTE CONTROL VALVE IN VALVE BOXES AND SLACK AT ALL CHANGES IN DIRECTION. TAPE WIRE TO THE UNDERSIDE OF THE MAINLINE EVERY TWENTY (20) FEET. WIRING SHALL HAVE SEPARATE COLORS FOR COMMON, CONTROL, AND SPARE. PROVIDE ONE SPARE WIRE FOR EVERY 5 REMOTE CONTROL VALVES, WITH SPARE AVAILABLE AT ALL VALVE MANIFOLDS OR CLUSTERS. ALL SPARE WIRE SHALL BE "HOME RUN" TO THE CONTROLLER AND COMMON SHALL BE END RUN.

11. HEAD RISERS FOR SPRAY HEADS MUST BE A "FUNNY PIPE SYSTEM". RISERS FOR GEAR DRIVEN AND IMPACT HEADS MUST BE RAINBIRD TSJ SERIES SWING JOINTS (SIZE TO MATCH INLET SIZE OF HEAD) OR APPROVED EQUAL.

12. SIZE VALVE BOXES ACCORDING TO VALVE NUMBERS FOR EASE OF MAINTENANCE AND REPAIR. INSTALL FOUR (4) CUBIC FEET OF PEA GRAVEL FOR SUMP IN BASE OF BOXES.

13. QUICK COUPLERS SHALL BE A RAINBIRD 44LRC WITH A LASCO 1" UNITIZED SWING JOINT ASSEMBLY AND 1" BRASS INSERT 90° ELL OUTLET, SUPPORT WITH REBAR IN EACH RETAINER LUG. INSTALL WHERE SHOWN ON THE PLANS.

14. IRRIGATION SYSTEM BACKFILL MUST OCCUR ONLY AFTER SYSTEM CHECK IS COMPLETED AS SPECIFIED. USE ONLY ROCK FREE CLEAN FILL AROUND PIPES, VALVES, DRAINS, OR ANY IRRIGATION SYSTEM COMPONENTS. WATER SETTLE ALL TRENCHES AND EXCAVATIONS.

15. ALL IRRIGATION PIPE RUNNING THROUGH WALLS, UNDER SIDEWALK, ASPHALT, OR OTHER HARD SURFACE SHALL BE SLEEVED PRIOR TO PAVING. IT IS THE IRRIGATION CONTRACTORS RESPONSIBILITY TO COORDINATE SLEEVING WITH CONCRETE AND PAVEMENT CONTRACTORS. THE DEPTH FOR MAIN LINE SLEEVES SHALL BE TWENTY FOUR (24) INCHES MINIMUM. DEPTH FOR LATERAL SLEEVES SHALL BE TWELVE (12) INCHES MINIMUM. SLEEVES SHALL BE A MINIMUM OF TWO SIZES LARGER THAN THE PIPE TO BE SLEEVED. ALL VALVE WIRING SHALL BE CONTAINED IN SEPARATE SLEEVING.

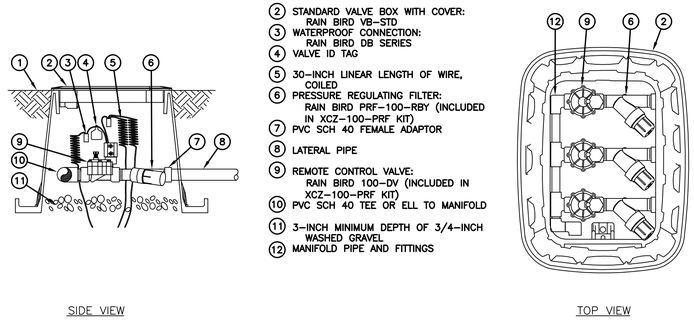
16. PLANS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO SCALE. WHERE POSSIBLE, ALL PIPING IS TO BE INSTALLED WITHIN THE PLANTING AREAS. NO TEES, ELLS, OR CHANGES IN DIRECTION SHALL OCCUR UNDER HARDSCAPE.

17. SPRAY HEADS ADJACENT TO HARDSCAPE PAVING SHALL BE SPACED AWAY 1"-4". SPRAY HEADS ADJACENT TO WALLS, BUILDINGS, FENCES OR STRUCTURES SHALL BE SPACED AWAY A MINIMUM OF 6".

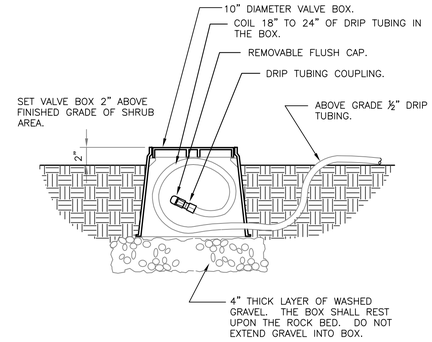
18. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL QUANTITIES BASED UPON THE PLAN PRIOR TO COMPLETION OF A CONSTRUCTION COST ESTIMATE.

19. UPON COMPLETION OF IRRIGATION MODIFICATIONS, THE CONTRACTOR SHALL VISUALLY INSPECT THE IRRIGATION SYSTEM AND VERIFY THAT ALL IRRIGATION ZONES OPERATE PROPERTY. ANY UNDER IRRIGATED OR UNIRRIGATED AREAS SHALL BE IDENTIFIED, AND THE CONTRACTOR SHALL MAKE ADJUSTMENTS OR ADDITIONS TO THE SYSTEM TO CORRECT IRRIGATION DEFICIENCIES.

20. DRIP SYSTEM PIPING SHALL CONSIST OF A RIGID SCHEDULE 40 PVC PIPE DISTRIBUTION SYSTEM CONNECTING DRIP IRRIGATED PLANTER AREAS. POLYTUBING SHALL BE RUN OFF THE RIGID PVC IN EACH PLANTING AREA OR ISLAND WITH A PVC TO POLYTUBING ADAPTER. NO POLYTUBING SHALL RUN UNDER PAVEMENT.

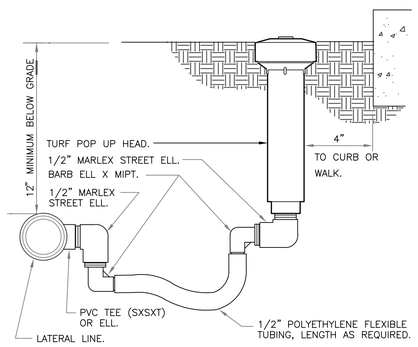



1 XCZ-100-PRF 1" CONTROL ZONE KIT IN SQUARE VALVE BOX — OPTION 1
N.T.S. 1-25-10
XCZ-100-PRF-Option 1.dwg

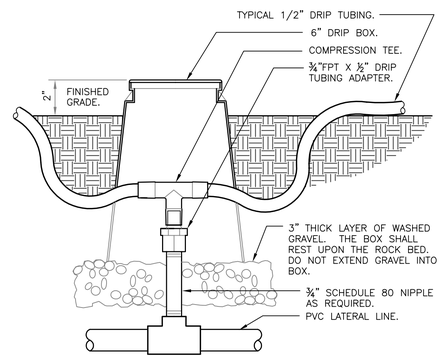



1. LOCATE FLASH CAP ASSEMBLY AT THE END OF EACH DRIP LINE.
2. ENSURE THAT THE COILED DRIP TUBING IS OF SUFFICIENT LENGTH TO COMPLETELY EXTEND OUT OF THE VALVE BOX WHEN FLUSHING.

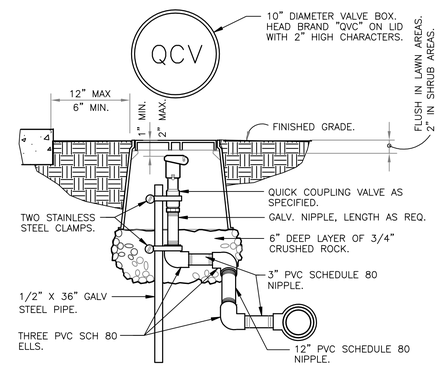
2 DRIP FLUSH CAP ASSEMBLY
1 1/2" = 1'-0" 328413.49-06



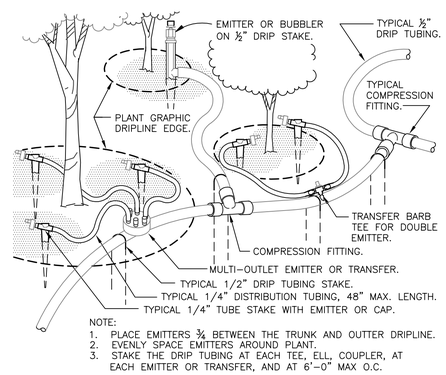

3 TURF SPRAY FLEX ASSEMBLY
3" = 1'-0" 32 8403.13-02




4 ZONE CONTROL
3" = 1'-0" 328413.46-03

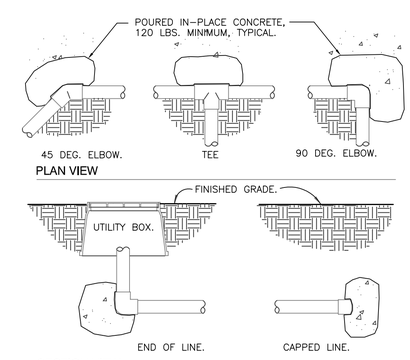



5 QUICK COUPLING VALVE IN BOX
1 1/2" = 1'-0" 32 8406.43-02




NOTE:
1. PLACE EMITTERS ¾ BETWEEN THE TRUNK AND OUTTER DRIPLINE.
2. EVENLY SPACE EMITTERS AROUND PLANT.
3. STAKE THE DRIP TUBING AT EACH TEE, ELL, COUPLER, AT EACH EMITTER OR TRANSFER, AND AT 6'-0" MAX O.C.

6 TYPICAL DRIP TUBING
1 1/2" = 1'-0" 328413.43-01




7 THRUST BLOCKING
3/4" = 1'-0" 32 8409.76-01

CALL BEFORE YOU DIG!
BLUE STAKES 1 800 662 4111

NOTE:
1. SEE SHEET IR-2 & IR-3 FOR ENLARGED PLANS.
2. PLANS ARE DIAGRAMMATIC DUE TO SCALE, THEREFORE, IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY QUANTITIES.

| NO. | REVISIONS | BY | DATE |
|---|---|---|---|
| 1 | UPDATED TO REVISED SITE PLAN | DCM | 8/6/21 |

PROJECT PROFESSIONAL: DCM
DESIGNER: DCM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# JEFFERSON COURT
# IRRIGATION NOTES AND DETAILS
850 SOUTH JEFFERSON STREET SALT LAKE CITY, UTAH

LICENSED LANDSCAPE ARCHITECT
DAN C. MATTA
No. 106248
8/6/21

SHEET:
IR-2

FILE NAME: FDG-257
SCALE: N.A.


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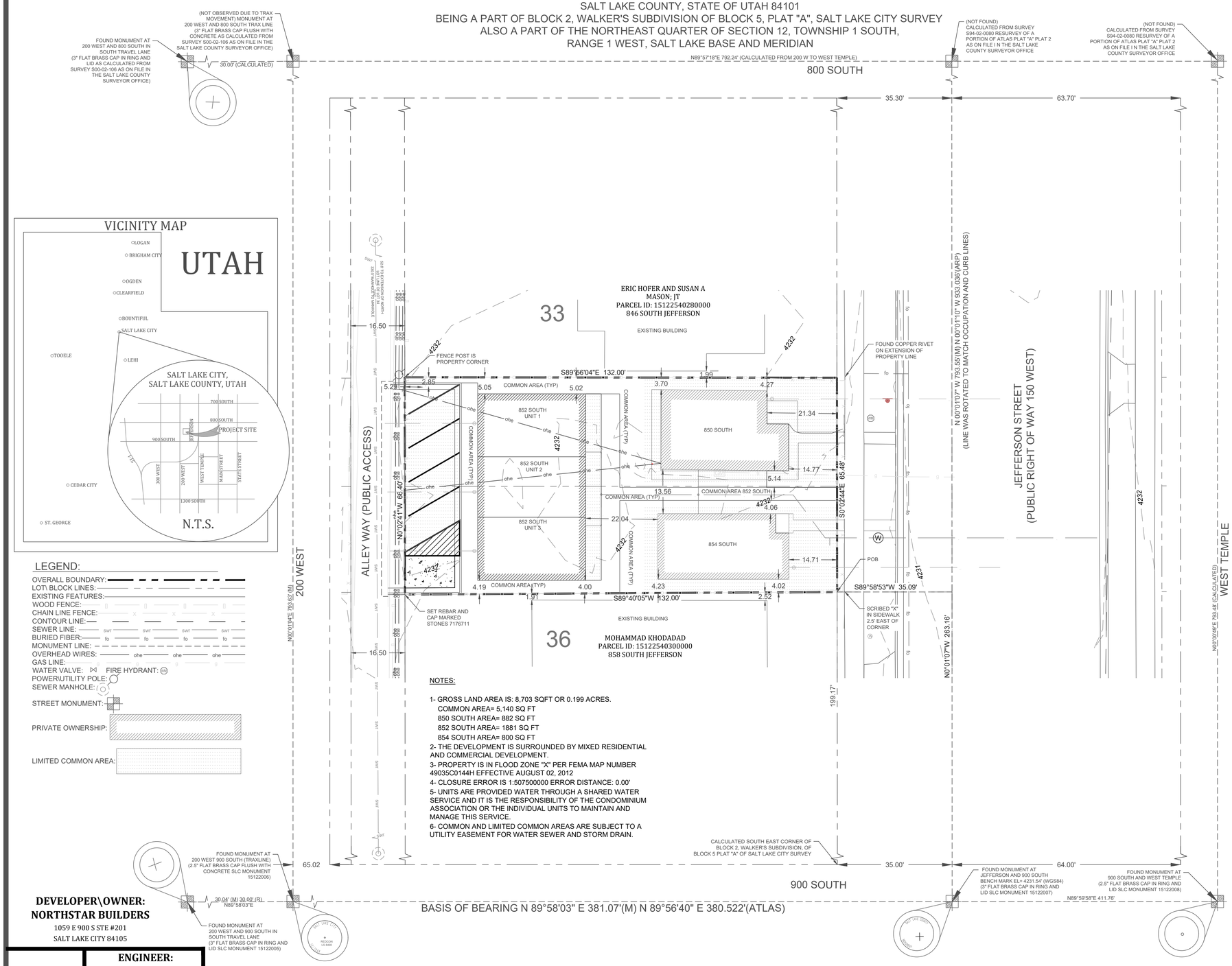
# JEFFERSON COURT CONDOMINIUMS

A CONDOMINIUM PROJECT
850 SOUTH JEFFERSON STREET, SALT LAKE CITY,
SALT LAKE COUNTY, STATE OF UTAH 84101
BEING A PART OF BLOCK 2, WALKER'S SUBDIVISION OF BLOCK 5, PLAT "A", SALT LAKE CITY SURVEY
ALSO A PART OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 1 SOUTH,
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN




NOTES:

1- GROSS LAND AREA IS: 8,703 SQFT OR 0.199 ACRES.
COMMON AREA= 5,140 SQ FT
850 SOUTH AREA= 882 SQ FT
852 SOUTH AREA= 1881 SQ FT
854 SOUTH AREA= 800 SQ FT
2- THE DEVELOPMENT IS SURROUNDED BY MIXED RESIDENTIAL AND COMMERCIAL DEVELOPMENT.
3- PROPERTY IS IN FLOOD ZONE "X" PER FEMA MAP NUMBER 49035C0144H EFFECTIVE AUGUST 02, 2012
4- CLOSURE ERROR IS 1:507500000 ERROR DISTANCE: 0.00'
5- UNITS ARE PROVIDED WATER THROUGH A SHARED WATER SERVICE AND IT IS THE RESPONSIBILITY OF THE CONDOMINIUM ASSOCIATION OR THE INDIVIDUAL UNITS TO MAINTAIN AND MANAGE THIS SERVICE.
6- COMMON AND LIMITED COMMON AREAS ARE SUBJECT TO A UTILITY EASEMENT FOR WATER SEWER AND STORM DRAIN.

**DEVELOPER\OWNER:**
**NORTHSTAR BUILDERS**
1059 E 900 S STE #201
SALT LAKE CITY 84105

**ENGINEER:**
**AVAIL ENGINEERS**
573 EAST 2700 SOUTH
SALT LAKE CITY, UTAH 84106

**SURVEYOR:**
**MATT STONES, PLS.**
842 SOUTH 1150 WEST
CLEARFIELD, UTAH 84015
801-201-5966

NUMBER_____
ACCOUNT_____
SHEET___1___
OF ___5___SHEETS

## CITY PUBLIC UTILITIES DEPT.

APPROVED AS TO SANITARY SEWER AND WATER DETAILS THIS_____DAY OF_____A.D., 2021

_____
SALT LAKE CITY PUBLIC UTILITIES DIRECTOR

## CITY PLANNING DIRECTOR

APPROVED THIS _____DAY OF _____A.D., 2021 BY THE SALT LAKE CITY PLANNING COMMISSION.

_____ _____
SALT LAKE CITY PLANNING DIRECTOR DATE

## SALT LAKE COUNTY HEALTH DEPARTMENT

APPROVED THIS _____DAY OF_____A.D., 2021

_____ _____
SALT LAKE COUNTY HEALTH DEPARTMENT DATE

## CITY ATTORNEY

APPROVED AS TO FORM THIS _____DAY OF _____A.D., 2021 BY THE SALT LAKE CITY ATTORNEY

_____
SALT LAKE CITY ATTORNEY

## CITY ENGINEERING DIVISION

I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE.

_____ _____
CITY ENGINEER DATE

_____ _____
CITY SURVEYOR DATE

SURVEYOR CERTIFICATE:

I, MATTHEW C. STONES DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 7176711 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNER(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND HAVE VERIFIED ALL MEASUREMENTS; THAT THE REFERENCE MONUMENTS SHOWN ON THIS PLAT ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS PLAT; AND IT SHALL HEREAFTER TO BE KNOWN AS:

**JEFFERSON COURT**

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN HEREON.
(TAX ID: 15122540290000)

MATT STONES
UT PLS #7176711

LEGAL DESCRIPTION:

ALL OF LOTS 34 AND 35, BLOCK 2, WALKER'S SUBDIVISION OF BLOCK 5, PLAT "A", SALT LAKE CITY SURVEY, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN BOOK "A" OF PLATS AT PAGE 104, BEING MORE PARTICULARLY DESCRIBED AS:
BEGINNING AT A POINT 263.16 FEET NORTH 00°01'07" WEST AND 35.09 FEET SOUTH 89°58'53" WEST FROM THE STREET MONUMENT IN THE INTERSECTION OF 900 SOUTH STREET AND JEFFERSON (150 WEST) STREET, SAID POINT ALSO BEING 199.17 FEET NORTHERLY ALONG THE BLOCK LINE FROM THE SOUTH EAST CORNER OF BLOCK 2 OF WALKER'S SUBDIVISION, BLOCK 5, PLAT "A" SALT LAKE CITY SURVEY AND RUNNING THENCE SOUTH 89°40'05" WEST 132.00 FEET; THENCE NORTH 00°02'41" WEST 66.40 FEET (66.00' RECORD); THENCE SOUTH 89°56'04" EAST 132.00 FEET, MORE OR LESS, TO THE EAST BLOCK LINE OF SAID BLOCK 2; THENCE ALONG THE BLOCK LINE SOUTH 00°02'44" EAST 65.48 FEET, TO THE POINT OF BEGINNING.

## OWNER'S DEDICATION:

KNOWN ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREAFTER KNOWN AS:

**JEFFERSON COURT**

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL ROADS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED ALSO DO HEREBY CONSENT AND GIVE APPROVAL TO THE RECORDING OF THIS PLAT FOR ALL PURPOSES SHOWN HEREON.

IN WITNESS WHEREOF , I, _____THE _____OF 850 SOUTH JEFFERSON STREET, HAVE HEREUNTO SET MY HAND THIS _____DAY OF _____,2021

BY: TITLE: BY: TITLE:

ACKNOWLEDGMENT:

STATE OF UTAH
COUNTY OF SALT LAKE
ON THIS _____DAY OF _____, 2021, BEFORE ME_____, A NOTARY PUBLIC, PERSONALLY APPEARED _____, THE OWNER OF THE HEREON DESCRIBED PROPERTY, PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS\ARE SUBSCRIBED TO IN THE FOREGOING OWNER'S DEDICATION AND CONSENT REGARDING JEFFERSON COURT AND WAS SIGNED BY HIM\HER AND ACKNOWLEDGED THAT HE\SHE\THEY EXECUTED THE SAME.

MY COMMISSION EXPIRES: _____ COMMISSION NUMBER: _____
DATE:

PRINT NAME (SIGNED) A NOTARY PUBLIC COMMISSIONED IN UTAH

# JEFFERSON COURT CONDOMINIUMS

A CONDOMINIUM PROJECT

850 SOUTH JEFFERSON STREET, SALT LAKE CITY, SALT LAKE COUNTY, UTAH 84101
BEING A PART OF BLOCK 2, WALKER'S SUBDIVISION OF BLOCK 5, PLAT "A",
SALT LAKE CITY SURVEY
ALSO A PART OF THE NORTHEAST QUARTER OF SECTION 12,
TOWNSHIP 1 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

## CITY APPROVAL

PRESENTED TO SALT LAKE CITY THIS_____DAY OF _____A.D., 2021 AND IS HEREBY APPROVED.

_____
SALT LAKE CITY MAYOR

_____
ATTEST: SALT LAKE CITY RECORDER

## SALT LAKE COUNTY RECORDER

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____

RECORD #_____
DATE_____
TIME_____
IN BOOK_____
AT PAGE_____
FEE $_____

_____
SALT LAKE COUNTY RECORDER

NUMBER_____
ACCOUNT_____
SHEET___1___
OF ___5___SHEETS

# ATTACHMENT C:

## Property & Vicinity Photos

**Subject Property**

**Adjacent Property (south)**

**Adjacent Property (north)**

**View of the subject property from across Jefferson St.**

**Properties across the street (east)**

**Midblock walkway connecting Jefferson St. and 200 W**

**Corner of 800 S and Jefferson St.**

**Commercial node – 900 S and Jefferson St.**

# ATTACHMENT D:
# Master Plan & FB-UN1 Zoning District Standards

## Downtown Master Plan (2016)

The development is located in the Central Ninth neighborhood, which consists of older single-family homes clustered on half-size blocks that provide gracious living opportunity in an intimate setting. Housing is both low and mid-rise, with higher densities along the main streets and designed using a form based code that emphasizes building orientation and scale over land use. The proposal meets the vision of the Central Ninth neighborhood and the following neighborhood initiatives:

- *Utilize interior streets and walkways for townhouse development to activate interior of blocks while keeping main streets commercial.*
- *Preserve the scale and low density residential character of interior streets: Montrose, Washington and Jefferson Streets north of 900 South.*

## Citywide Housing Master Plan – Growing SLC (2018-2022)

The *Growing SLC: A Five Year Housing Plan 2018-2022* focuses on ways the City can meet its housing needs in the next five years. The plan includes policies that relate to this development, including:

**Objective 1:** Review and modify land-use and zoning regulations to reflect the affordability needs of a growing, pioneering city

- *Increasing flexibility around dimensional requirements and code definitions will reduce barriers to housing construction that are unnecessary for achieving city goals, such as neighborhood preservation.*
    - *1.1.2 Develop in-fill ordinances that promote a diverse housing stock, increase housing options, create redevelopment opportunities, and allow additional units within existing structures, while minimizing neighborhood impacts.*

**Objective 6:** Increase home ownership opportunities

The planned development process is a zoning tool that provides flexibility in the zoning standards and a way to provide infill development that would normally not be allowed through strict application of the zoning code. The Planned Development process allows for an increase in housing stock and housing options and provides a way to minimize neighborhood impacts through its compatibility standards. The proposed development is utilizing this process to provide infill development on an underutilized lot and add additional housing ownership options in the City to help meet overall housing needs.

## Plan Salt Lake (2015)

The City has an adopted citywide master plan that includes policies related to providing additional housing options. The plan includes policies related to growth and housing in Salt Lake City. Applicable initiatives from the plan are below.

**Growth:**

- *Locate new development in areas with existing infrastructure and amenities, such as transit and transportation corridors.*
- *Promote infill and redevelopment of underutilized land.*
- *Accommodate and promote an increase in the City's population.*

**Housing:**

- *Direct new growth toward areas with existing infrastructure and services that have the potential to be people-oriented.*
- *Increase the number of medium density housing types and options.*
- *Enable moderate density increases within existing neighborhoods where appropriate.*
- *Promote energy efficient housing and rehabilitation of existing housing stock.*

**Staff Discussion:** The proposed development will provide infill housing that is compatible with the character and scale of the existing Central Ninth neighborhood. The preservation of the existing housing stock is referenced throughout neighborhood and citywide plans. The proposal adds growth in a pedestrian friendly area with existing infrastructure and services.

The development is a half block from the 900 South Trax Station and multiple bus routes. Amenities including a local grocery store, restaurants and small-scale commercial businesses that are also a half block away. The proposed development helps to meet the growth and housing goals of the City's Master Plans and aligns with the development expectations of the neighborhood, which is to preserve the scale and character of interior streets while accommodating new housing types.

| FB-UN1<br>Building Form Standards<br>21A.27.050.B | Finding | Rationale |
|---|---|---|
| **Minimum Lot Size:**<br>**Not to be used to calculate density**<br>• Urban House: 3,000 SF<br>• Row House: 1,500 SF | Complies | The total combined square footage of the lot is approximately 8,720 SF. A minimum of 7,500 SF is required. |
| **Number of Building Forms per Lot:**<br>• Urban House: 1 building form permitted for every 3,000 SF of lot area<br>• Row House: 1 building form permitted for every 1,500 SF of lot area | Complies | The proposal complies with this standard. There is one single-family home, one urban house, and three attached row homes on an 8,720 SF lot. |

| | | |
|---|---|---|
| | | The single-family home is most comparable to the urban house, so it is being reviewed as one building form per 3,000 SF. |
| **Dwelling Units per Building Form:**<br>• Urban House: 2 units plus 1 detached accessory unit<br>• Row House: Minimum of 3; maximum of 4 | Complies | There is one urban house proposed and one existing single-family dwelling that will be retained.<br><br>The proposed row house contains 3 units. |
| **Minimum Lot Width:**<br>• Urban House: 30 feet<br>• Row House: 15 feet per unit. Side orientation allowed provided building configuration standards are complied with | Complies | The lot is approximately 65 ½ feet wide. |
| **Height**:<br>2.5 stories, maximum of 30 feet, measured from established grade. | Complies | The height proposed for the 3 row houses is 2 ½ stories/30 feet and the urban house is 2 stories/24'10" |
| **Front and Corner Side Yard Setback:**<br><br>Equal to average setback of block face, where applicable, otherwise minimum of 10 feet and maximum of 20 feet | **Request to modify the front yard setback through the Planned Development process** | The average front yard setback of the block face is approximately 18'6".<br><br>The existing single-family dwelling has a setback of approximately 15 feet. The applicant is proposing the same setback for the new urban house. |
| **Interior Side Yard:**<br>Minimum of 4 feet | Complies | The new urban house and row houses have interior side yard setbacks of between 4-5 feet. The existing single-family dwelling is approximately 3.70 feet from the northern property line. |
| **Rear yard:**<br>Minimum of 20% lot depth up to 25 feet | **Request to modify the rear yard setback through the Planned Development process** | The proposed rear yard setback is approximately 22 feet, which is 17% of the lot depth.<br><br>The applicant is requesting relief from the rear yard setback minimum. |
| **Parking:** | | |
| Surface parking in front and corner side yards – Not Permitted | Complies | No parking is proposed in the front of the property. |
| **Vehicle Access –**<br>If off street parking is provided, vehicle access from an alley is required when property is served by a public or private alley with access rights. Vehicle access from street is only | Complies | The proposal includes 4 angled parking stalls, which are accessed from the public alley to the west.<br><br>Alleyway signage directing residents to back |

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| permitted when no alley access exists. If pull through parking is required by fire or other code, ingress shall be from street and egress onto alley | | into the parking space so they can pull out in a straightforward manner will be required per section 21A.44.020.e(2)(c), which prohibits parking designs that require backing into an alley or right of way. |
| **Parking on Separate Lots –**<br>• Urban House: Not permitted<br>• Row Houses: Parking may be provided on an adjacent lot or in a common area associated with the development | Complies | The 4 parking spaces are located on the same lot as the development. |
| **Attached Garages & Carports –**<br>Attached garages and carports are required to be accessed from the rear yard where the rear yard is accessible by an alley with access rights to the subject property. If there is no access to the rear yard, an attached garage may be accessed from the front or corner side yard provided the garage door (or doors) is no wider than 50% of the front facade of the structure and set back at least 5' from the street facing building facade and at least 20' from the property line. Side loaded garages are permitted | Complies | No attached garages or carports have been proposed. |
| **Building Configuration & Design Standards – Section 21A.27.030**<br><br>Building configuration standards apply to all new buildings and additions when the new construction related to the addition is greater than twenty five percent (25%) of the footprint of the structure or one thousand (1,000) square feet, whichever is less. | **Finding** | **Rationale** |
| **Building Entry:**<br><br>A minimum of one main entry with an entry feature facing a public street or walkway, excluding alleys, is required. The main entry is the primary pedestrian entrance into a building. Two-family dwelling buildings shall have a minimum of one main entry with porch or stoop for at least one of the dwelling units facing a street. The main entry for the second dwelling unit may face the street or side yard, but must also have a porch or stoop entrance. Where required, the building entry must be one of the following:<br><br>a. Front entrance: Door on the same | Complies | All primary building entrances face Jefferson Street and are accessed via pedestrian walkway from the public sidewalk.<br><br>The building entrance and front porch of the urban house compliments the form of the existing single-family dwelling. Adding a porch to the urban house makes the building more human scaled and promotes walkability. It also reflects the character of the existing neighborhood and provides the residents with an outdoor amenity.<br><br>Front porches must be 6 feet in depth but can encroach into the front yard setback. |

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| plane as street facing façade;<br><br>b. Recessed entrance: inset behind the plane of the building no more than ten feet (10'). If inset, then the side walls of the inset must be lined with clear glass. Opaque, smoked, or darkened glass is not permitted; or<br><br>c. Corner entrance: Entry that is angled or an inside corner located at the corner of two (2) intersecting streets.<br><br>d. Number: Every building shall have at least one entry for every seventy five feet (75') of building façade along a public or private street, alley or greenway. | | |
| **Encroachments:**<br><br>A permitted entry feature may encroach into a required yard provided no portion of the porch is closer than five feet (5') to the front property line. | Complies | There are no encroachments provided. |
| **Pedestrian Connections:**<br>Where required, the following pedestrian connection standards apply:<br>a. The connection shall provide direct access from any building entry to the public sidewalk or walkway.<br>b. The connection shall comply with the Americans with disabilities act (ADA) standards for accessibility.<br>c. The connection shall be fully paved and have a minimum width of four feet (4').<br>d. The connection shall be separated from vehicle drive approaches and drive lanes by change in grade and a wheel stop if the walkway is less than eight feet (8') wide.<br>**e.** Pedestrian connections that lead directly from the sidewalk to the primary building entrance may contain wing walls, no taller than two (2') in height for seating landscaping, etc. | Complies | a. Complies. Each residential unit has direct access to the public sidewalk.<br><br>b. Each section of walkway is 4 feet wide. Any other applicable ADA standards must be met.<br><br>c. Complies. The pedestrian walkway is 4 feet wide and will be paved.<br><br>d. Complies. The walkways are not connected to any drive lanes or approaches.<br><br>e. Complies. No wing walls are provided. |
| **Ground Floor Transparency:**<br><br>Where required, the ground floor transparency standards apply:<br><br>a. Minimum of sixty percent (60%) of | Complies | a. The ground floor transparency of the row houses is 20.5% and the ground floor transparency of the urban house is 27%.<br><br>b. N/A – This is not a commercial |

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| street facing facade, located between two feet (2') and eight feet (8') above the grade of the sidewalk, shall be transparent glass.<br><br>*This may be reduced to twenty percent (20%) if the ground floor is within one of the following building types: urban house, two-family, cottage, and row house.*<br><br>b. There must be visual clearance behind the glass for a minimum of six feet (6'). Three-dimensional display windows at least six feet (6') deep are permitted and may be counted toward the sixty percent (60%) glass requirement.<br><br>c. Ground floor windows of commercial uses shall be kept clear at night, free from any window covering, with internal illumination. When ground floor glass conflicts with the internal function of the building, other means shall be used to activate the sidewalk, such as display windows, public art, architectural ornamentation or detailing or other similar treatment.<br><br>d. The first floor elevation facing a street of all new buildings, or buildings in which the property owner is modifying the size of windows on the front facade, shall comply with these standards. | | project. No display windows are proposed.<br><br>c. N/A<br><br>d. Complies – All the buildings face Jefferson Street. The façade of the existing single-family home is not being modified and each of the new buildings comply with the ground floor transparency standards. |
| **Building Materials:**<br>A minimum of seventy percent (70%) of any street facing building facade shall be clad in high quality, durable, natural materials, such as stone, brick, wood lap siding, fiber cement board siding, shingled or panel sided, and glass. Other materials may count up to thirty percent (30%) of the street facing building facade. Exterior insulation and finishing systems (EIFS) is permitted for trim only. | Complies | The new buildings have 100% durable materials on the street facing façade.<br><br>The materials consist of brick, wood and fiber cement siding, vinyl windows, and standing seam metal roofs.<br><br>The existing single-family home will have the existing windows replaced with vinyl and the brick and trim will be repainted. Planning does not regulate paint color. |
| **Open Space Area:**<br>A minimum of ten percent (10%) of the lot area shall be provided for open space area. Open space area may include landscaped yards, patio, dining areas, common balconies, rooftop gardens, and other similar outdoor living | Complies | According to the submitted site plan, 42% of the lot area is open space. |

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| spaces. Private balconies shall not be counted toward the minimum open space area requirement. Required parking lot landscaping or perimeter parking lot landscaping shall also not count toward the minimum open space area requirement. | | |
| **Building Fenestration:**<br>No building wall that faces onto a street shall exceed more than thirty (30') in length without being interrupted by windows, doors, or change of building wall plane that results in an offset of at least twelve inches (12"). | Complies | No street facing building wall exceeds 30 feet in length. |
| **Residential Balconies:**<br>All street facing residential units above the ground floor or level shall contain a usable balcony that is a minimum of four feet (4') in depth. Balconies may overhang any required yard. | Complies | Each of the 3 row houses includes a second story balcony off the master bedroom. The depth of the balcony is 3'4" at the doorway and 4 feet in the corner. |
| **Other Applicable Standards:** | | |
| **Landscaping:**<br>Any applicable standard listed in chapter 21A.48, "Landscaping And Buffers", of this title shall be complied with. | Complies | According to the submitted plans, 24% of the site is landscaped.<br><br>There are 5 existing trees on the property that will be removed during construction. Ten new trees will be planted., including one in the park strip. 83% of the landscaping will be drought tolerant. |

# ATTACHMENT E:
## Analysis of Standards – Planned Development

**STANDARDS FOR PLANNED DEVELOPMENTS**

**21A.55.050:** The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

| Standard | Finding | Rationale |
|---|---|---|
| **A. Planned Development Objectives:**<br>The planned development shall meet the purpose statement for a planned development (section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development. The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development. The Planning Commission should consider the relationship between the proposed modifications to the zoning regulations and the purpose of a planned development and determine if the project will result in a more enhanced product than would be achievable through strict application of the land use regulations.<br><br>The purpose of a Planned Development is to support efficient use of land and resources and to allow flexibility about the specific zoning regulations that apply to a development, while still ensuring that the development complies with the purposes of the zone. As stated in the PD purpose statement, developments should also incorporate characteristics that help achieve City goals. | Complies | The applicant has stated that their proposal meets objectives B and C, which staff agrees with. Only one Objective must be met to go through the Planned Development process.<br><br>**B. Historic Preservation:**<br>*1. Preservation, restoration, or adaptive reuse of buildings or structures that contribute to the character of the City either architecturally and/or historically, and that contribute to the general welfare of the residents of the City.*<br>*2. Preservation of, or enhancement to, historically significant landscapes that contribute to the character of the City and contribute to the general welfare of the City's residents.*<br><br>**Staff Finding:** The proposal is to preserve and restore the existing single-family dwelling on the property and add additional housing through infill development.<br><br>While the property is not located within a local historic district, the retention of the existing single-family home contributes to the architectural and historic character of the neighborhood and preserves existing housing stock, which are both *Plan Salt Lake* initiatives and goals of the *Downtown Master Plan*.<br><br>The applicant has also stated that their proposal meets objective **C.2 Housing:** *Providing affordable housing or types of housing that helps achieve the City's housing goals and policies:*<br><br>*2. The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood.* |

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| | | **Staff Review:** The proposal includes 3 housing types: one existing single-family dwelling, a new urban house, and 3 row houses. Historically, the neighborhood consisted of small single-family dwellings. More recently, infill development and new construction has included other building forms such as row houses, urban dwellings, and commercial buildings.<br><br>The proposal respects the scale and development pattern of the historically low-density residential neighborhood. The proposal adds additional housing through infill development as supported in the *Growing SLC* and *Plan Salt Lake* master planning documents.<br><br>Staff finds that the proposal meets the historic preservation, housing, and master plan implementation objectives. |
| **B. Master Plan Compatibility:** The proposed planned development is generally consistent with adopted policies set forth in the Citywide, community, and/or small area Master Plan that is applicable to the site where the planned development will be located. | Complies with the Downtown Master Plan | The proposed development aligns with the future land use map and policies in the *Downtown Master Plan* by providing housing options through compatible infill development.<br><br>The Central Ninth neighborhood vision is to promote transit-oriented development by using a form-based code that emphasizes building orientation, scale and design over land use. It is described as, "A growing neighborhood with a wide range of housing choices."<br><br>Initiatives include providing a variety of housing choices – both low and mid-rise. The district should utilize interior streets and walkways for townhouse development and preserve the scale and low density residential character of interior streets such as Jefferson Street (p.125). |
| **C. Design and Compatibility:** The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the Planning Commission should consider: | Complies | The proposal is generally compatible with the scale and density of the surrounding area. The interior blocks are zoned FB-UN1 and the main streets and block corners are zoned FB-UN2.<br><br>The acreage and lot width of the existing lot is twice as large as other lots on Jefferson Street.<br><br>The proposed development does not change the scale or character of Jefferson Street. The taller row houses are located at the rear of the lot and the small urban house and single- |

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| | | | family dwelling are fronting the street. While there are more building types on the lot, the development respects the scale and changing development pattern of the neighborhood. |
| **C1** | Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design; | Complies | The scale, mass and intensity of the proposed development is compatible with the existing neighborhood, which contains a mix of single-family homes and row houses. Larger developments and commercial uses are located on corner properties and main streets such as 200/300 West and 900 South.<br><br>The *Downtown Master Plan* future land use map designates the property as a support to the CBD.<br><br>The proposal supports the plan's vision of creating livable communities and neighborhoods by maintaining land use patterns that are compatible with the characteristics of the established neighborhood. |
| **C2** | Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design; | Complies | Each new building will consist of 100% durable materials. The urban house and row houses will be constructed with brick, wood siding, and fiber cement siding. The buildings are oriented towards Jefferson Street and the urban house is of similar scale to the existing single-family home. |
| **C3** | Whether building setbacks along the perimeter of the development:<br>a. Maintain the visual character of the neighborhood or the character described in the applicable master plan.<br>b. Provide sufficient space for private amenities.<br>c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise.<br>d. Provide adequate sight lines to streets, driveways and sidewalks.<br>e. Provide sufficient space for maintenance. | Complies | a. The average front yard setback of the block face is 18 ½ feet. The proposed setback of the new urban house is approximately 15 feet from the sidewalk, which is comparable to the existing single-family dwelling. The visual character of the street wall will not be impacted by the new development.<br><br>The row houses are setback from the rear property line by 22 feet, allowing for 4 parking stalls to be located next to the alley.<br><br>The proposed setbacks are compatible with existing development and the front setback in particular will help to maintain the visual character of the neighborhood.<br><br>b. Each building type has a private porch on the ground floor and the row houses have balconies facing Jefferson Street. The houses abutting Jefferson also have small fenced in front yards. |

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| | | | c. The existing homes on Jefferson have small side yard setbacks, deep rear yards, and are built close to the street. The applicant is proposing a side yard setback of 5 feet to the north and 4 along the south. The existing single-family home has a northern setback of just under 4 feet.<br><br>d. No driveways or curb cuts are existing or proposed. A pedestrian walkway is proposed through the middle of the site, which leads to the row houses. The two homes at the front of the property will have direct access from the public sidewalk.<br><br>e. The trash enclosure is located adjacent to the alley. |
| **C4** | Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction; | Complies | Row Houses: 20.5% ground floor transparency<br><br>Urban House: 27% ground floor transparency – the front porch is a FB-UN1 requirement which will help maintain the street wall and promote interactions |
| **C5** | Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property; | Complies | No additional lighting is proposed. |
| **C6** | Whether dumpsters, loading docks and/or service areas are appropriately screened; and | Complies | The shared dumpster is located at the back of the property. |
| **C7** | Whether parking areas are appropriately buffered from adjacent uses. | Complies | Off-street parking is located at the rear of the property and is accessed via the public alley. The alley is 16 ½ feet wide and abuts single-family dwellings to the west. The properties to the west are zoned FB-UN2. |
| **D. Landscaping:**<br>The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the Planning Commission should consider: | | Complies | |
| **D1** | Whether mature native trees located along the periphery of the property and along the street are preserved and maintained; | Complies | One of the trees in the park strip will be preserved and maintained and a second tree is proposed. The subject property has 5 existing mature trees that will be removed. |
| **D2** | Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved; | Complies | There is one tree abutting the southern property line that will be removed. The landscape plan shows that there will be 10 new trees planted. |

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| **D3** | Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development; and | Complies | Staff believes the new and existing trees will reduce the impact of the development, specifically the row houses where there are to be 7 new maple trees. |
| **D4** | Whether proposed landscaping is appropriate for the scale of the development. | Complies | Tatarian Maples measure between 15-25 feet tall. The trees will be planted in front of the 30 foot tall row houses, which should help reduce the scale of the building. |
| **E. Mobility:**<br>The proposed planned development supports Citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the Planning Commission should consider: | | Complies | |
| **E1** | Whether drive access to local streets will negatively impact the safety, purpose and character of the street; | Complies | There are no existing or proposed curb cuts along Jefferson Street. The public alleyway is accessed from either 800 or 900 South and existing parking is available on Jefferson Street. The character of the street will not be altered. |
| **E2** | Whether the site design considers safe circulation for a range of transportation options including:<br>a. Safe and accommodating pedestrian environment and pedestrian oriented design;<br>b. Bicycle facilities and connections where appropriate, and orientation to transit where available; and<br>c. Minimizing conflicts between different transportation modes; | Complies | a. The interior circulation is designed for pedestrians. Each building entrance is connected to Jefferson Street.<br><br>b. No bicycle parking is proposed. There are bike lanes along 800 South and 900 South.<br><br>c. Conflicts are not anticipated. The existing sidewalk on either side of the street provides convenient access to the 900 South neighborhood commercial node. On street parking is available and only one of the properties on the block face has a curb cut for a driveway. |
| **E3** | Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities; | Complies | The layout of the proposal includes direct access to the public sidewalk to access nearby adjacent uses and amenities.<br><br>900 South has a variety of small-scale neighborhood businesses and new multi-family developments. Businesses include restaurants, bars, and a small grocery store. |
| **E4** | Whether the proposed design provides adequate emergency vehicle access; and | Complies | Emergency vehicles will continue to use Jefferson Street for access. |
| **E5** | Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way. | Complies | Vehicular access to the property is from the abutting alley. The public right-of-way will not be affected. |

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| **F. Existing Site Features**: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment. | Complies | The subject property is not located in a historic district, but the proposal will retain the existing bungalow home that is similar in style to the existing single-family homes on the block.<br><br>The importance of retaining existing housing is referenced across various city and neighborhood plans. Preserving the housing stock helps to maintain neighborhood stability and character and encourages infill development. |
| **G. Utilities:** Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area. | Complies | Public utility connections will be fully evaluated during the building permits review phase of the development, and upgrades may be required by that department to serve the property. |

# ATTACHMENT F:
## Analysis of Standards – Preliminary Plat

**STANDARDS OF APPROVAL FOR PRELIMINARY SUBDIVISION PLATS**

**20.16.100:** All preliminary plats for subdivisions and subdivision amendments shall meet the following standards:

| Criteria | Finding | Rationale |
|---|---|---|
| **A.** The subdivision complies with the general design standards and requirements for subdivisions as established in Section 20.12 | Complies | The applicant is requesting to modify subdivision and zoning standards through the Planned Development process. The following subdivision modification is proposed for this development: |
| **B.** All buildable lots comply with all applicable zoning standards; | Complies | The lot complies with the applicable zoning standards. |
| **C.** All necessary and required dedications are made; | Complies | No dedications of property are required for this development. |
| **D.** Water supply and sewage disposal shall be satisfactory to the Public Utilities Department director; | Complies | The Public Utilities Department has reviewed and approved the proposal.<br><br>• The units are provided water through a shared water service, which is the responsibility of the condominium association or the individual units to maintain and manage this service.<br><br>• There is a note on the plat that the common and limited common areas are subject to a utility easement for water sewer and storm drain. |
| **E.** Provisions for the construction of any required public improvements, per section 20.40.010, are included; | Complies | Engineering has reviewed and approved the preliminary plat. All requirements must be met prior to the recordation of the final plat. |
| **F.** The subdivision otherwise complies with all applicable laws and regulations. | Complies | The proposal complies with all other applicable laws and regulations, except where modified through the Planned Development.<br><br>A preliminary plat approval is valid for twenty four (24) months from the issuance date of approval. If no plat, notice of subdivision approval, or other appropriate instrument has acquired the necessary final approval and been |

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| | | recorded within this time frame, the preliminary plat approval shall be void.<br><br>This project requires a final plat as the recording instrument, the application for final plat must be submitted within eighteen (18) months of preliminary plat approval, per section 20.20.010. |
| **G.** If the proposal is an amendment to an existing subdivision and involves vacating a street, right-of-way, or easement, the amendment does not materially injure the public or any person who owns land within the subdivision or immediately adjacent to it and there is good cause for the amendment. | Not applicable | The proposal does not involve vacating a street, right of way, or easement. |

# ATTACHMENT G:
# Public Process and Comments

## Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project:

- June 21, 2021: The Planning Division provided a 45-day comment period notice to the Ball Park and Central 9th Community Councils but did not receive a request for the proposal to be heard at their meeting.
    - The Central 9th Chair, Paul Johnson, asked the applicant to add a fifth parking space so each unit could have a dedicated spot. The applicant has stated that the site cannot accommodate a fifth space due to the dumpster being located at the rear of the property. Parking is not required in the FB-UN1 zone.
- June 22, 2021: A virtual online open house was held from June 22 – August 6, 2021. The page remained open to the public for comment up until the Planning Commission hearing.
- June 25, 2021: Early notification regarding the project mailed out
    - Notices were mailed to property owners/residents within 300 feet of the proposal

Notice of the public hearing for the proposal included:

- Public hearing sign notice posted on the property on September 10, 2021
- Public hearing notice mailed on September 10, 2021
- Public notice posted on City and State websites and Planning Division list serve on September 10, 2021

**PUBLIC INPUT**

Two public comments were submitted regarding the Planned Development proposal. One resident was in favor of the proposal and one was against. If any additional comments are received after the publication of the Staff Report, they will be forwarded to the Commission and included in the public record.

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| **From:** | Steve Boulay |
| **To:** | Roman, Amanda |
| **Subject:** | (EXTERNAL) 200 West "Long Stay Hotel" |
| **Date:** | Wednesday, June 30, 2021 10:22:41 AM |

I own a house on Jefferson Walkway and have become increasingly concerned about the new, multi-unit projects being approved on our block without seeming to address parking issues. In particular the townhouses at 839 South 200 West that don't even have one unit of parking per condo/apartment and the hotel being built at 827 South 200 West.

How might I find out more about the hotel project, units, expected users, parking. I have not been able to get much information on my own at this point.

Thank you,

Steve Boulay
837 South 200 West
SLC, UT 84101

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| **From:** | Anthony T |
| **To:** | Roman, Amanda |
| **Subject:** | (EXTERNAL) Jefferson Court Planned Development |
| **Date:** | Tuesday, July 6, 2021 12:31:24 AM |

Hi,

I just wanted to say that I think this type of development is exactly what SLC needs more of. I live near here and this is probably the least invasive way to alleviate the housing shortage and I wish the city would do more to promote this. I can't believe they even have to ask permission for increased height and adding units...

Anthony Teramana

**From:** Paul Johnson
**To:** Roman, Amanda; Ballpark; [redacted]
**Cc:** [redacted] Central 9th 1; [redacted]
**Subject:** (EXTERNAL) RE: Recognized Organization Notice - Jefferson Court Planned Development - 850 S Jefferson St.
**Date:** Tuesday, August 3, 2021 2:32:09 PM

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Amanda,

The Central 9th Community Council Board of Directors was able to meet with Kaia Ragnhildstveit, representing the applicant, Northstar Builders, and review the plans for the Jefferson Court Planned Development project to be located at 850 S Jefferson St. The Board supports the project but does have one recommendation. We understand the current plans call for 4 parking spaces off the alley, the board highly recommends trying to include any additional spaces as we know street parking on Jefferson, and throughout the Central 9th in general, is becoming more and more difficult. With so many other projects which include no parking coming into the neighborhood the ability for the future residents of this project to find street parking will be challenging.

We feel this is a quality infill project, appropriate for the FB-UN1 zoned location. We only support allowing five units because of the size of the lot in question. The Central 9th board appreciates the existing single-family home on the property will be retained and renovated helping maintain the history and charm of our neighborhood.

With regards,
Paul Johnson
Chair, Central 9th Community Council

**From:** Roman, Amanda <Amanda.Roman@slcgov.com>
**Sent:** Tuesday, June 22, 2021 1:17 PM
**To:** Ballpark <amy.j.hawkins@gmail.com>; Central 9th 1 <pjslc@yahoo.com>
**Subject:** Recognized Organization Notice - Jefferson Court Planned Development - 850 S Jefferson St.

Hi Amy & Paul –

I hope you are both doing well. I am reaching out to let the Ball Park and Central 9th Community Council's know that the Planning Division has received a Planned Development application for the property located at 850 S Jefferson Street. The applicant, Northstar Builders, is requesting approval to subdivision the property and build three new rowhomes and one new urban dwelling. The existing single-family home will be retained and renovated as a part of the development. They need PD approval because the rowhomes don't have street frontage and exceed the maximum building height of 30 feet by two feet. They haven't submitted a formal subdivision application because they are deciding if they want to keep moving forward with a condo plat or switch to a regular subdivision. Regardless of how they choose to subdivide, the front setbacks for both the rowhomes and urban dwelling will be modified as a part of the development.

I have attached:

- A formal letter requesting your community council's input
- The petitioner's application materials (plans and narrative)

- A link to the Online Open House page - http://bit.ly/slc-openhouse-00421

As a recognized community organization you have 45 days from the date of the letter to provide comments on the proposed petition. The 45 day period ends on **August 6, 2021**. Please let me know if you have any questions regarding this petition.

Thank you,

**Amanda Roman**
Principal Planner
Planning Division
*Pronouns: she/her/hers*

**DEPARTMENT *of* COMMUNITY *and* NEIGHBORHOODS**
SALT LAKE CITY CORPORATION

TEL 801-535-7660
CEL 385-386-2765
EMAIL amanda.roman@slcgov.com

www.SLC.GOV/CAN
www.ourneighborhoodscan.com

*Disclaimer: The Planning Division strives to give the best customer service possible and to respond to questions as accurately as possible based upon the information provided. However, answers given at the counter and/or prior to application are not binding and they are not a substitute for formal Final Action, which may only occur in response to a complete application to the Planning Division. Those relying on verbal input or preliminary written feedback do so at their own risk and do not vest any property with development rights.*

# ATTACHMENT H:
## Department Review Comments

**Public Utilities** (Jason Draper at jason.draper@slcgov.com or 801-483-6751)

Planned Development Comments – Please note that approval of the planned development does not imply approval of any utility services shown on the plans. Building and utilities improvement plans must be permitted separately including applicable agreements, bonds, and fees.

The following comments are provided for information only and do not provide official project review or approval. Comments are provided to assist in design and development by providing guidance for project requirements.

- The water main in Jefferson is 6" main. Depending on fire flow requirements and/or hydrant requirements this main may need to be replaced to provide fire protection of this project.
- All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.
- Utilities cannot cross property lines without appropriate easements and agreements between property owners.
- Other plans such as erosion control plans and plumbing plans may also be required, depending on the scope of work. Submit supporting documents and calculations along with the plans.
- One culinary water meter is permitted per parcel. If the parcel is larger than 0.5 acres, a separate irrigation meter is also permitted. Fire services are permitted, as required. Each service must have a separate tap to the main.
- A minimum of one sewer lateral is required per building.
- Stormwater cannot discharge across property lines without agreement between property owners.

Preliminary Plat Comments – Planned Development review does not provide building or utility development permit. Upon preliminary plat approval the applicant can apply for the final plat. If they can add these comments, I am good moving forward to planning commission.

- Please add a note that these units are provided water through a shared water service and that it is the responsibility of the condominium association or the individual units to maintain and manage this service.
- Either provide a specific water and sewer easement or a note that the common and limited common areas are subject to a utility easement for water sewer and storm drain.

***Planning Response**: The plat was updated and now includes the language above.*

**Engineering** (Scott Weiler at scott.weiler@slcgov.com or 801-535-6159)

Preliminary plat was approved with redlines. There are no objections to the Planned Development.

***Planning Response:*** *The final plat will be reviewed for compliance.*

**Transportation** (Michael Barry at michael.barry@slcgov.com or 801-535-7147)

I don't have any major issues on this PD, but just a few minor comments for clarification.

- There is no minimum parking requirement, but if parking is provided then it must meet design standards. The plan shows four angled parking spaces in the rear. The design standards say that hard surfacing is required (which they have) and that the dimensions of the vehicle projection and aisle width shall be a minimum of 16'10" and 12'6", respectively. The plan shows the vehicle projection as 17.23' and the plat shows the alley as being 16.5'. So we should be good there.
- I'm not sure why they extended the concrete (parking) pad and curbing across the property line and into the alley in the rear. It could be a drainage issue. This seems like this could require an encroachment permit. I know it's pretty minor. Maybe Scott can weigh in.

***Planning Response****: All parking requirements will be met, and signage will be posted in the alley that requires the stalls to be backed into. An encroachment permit will be obtained if required by Engineering. No further comments were submitted regarding the parking pad.*

**Fire** (Douglas Bateman at douglas.bateman@slcgov.com)

If there are more than 2 Group R-3 or U occupancies on the parcel they shall be within 150-feet of all first story exterior portions of fire department access roads (minimum of 20-ffet in clear width and 13-feet 6-inches clear height) or provide fire sprinklers for any structure outside that distance.

***Planning Response:*** *Fire sprinklers were added to the 3 row houses and the proposed building height was reduced. Additional comments may be made with building permit application regarding fire resistance ratings for the structures.*

**Building** (Jason Rogers at jason.rogers@slcgov.com)

Proposed Project to be as R2 Multi-family housing For Building Code Classification. 2018 IBC/ NEC2020 and coordinating Utah Adopted Codes required for Review Submittal. No issues with Property separation at this time.

**Planning** (Amanda Roman at amanda.roman@slcgov.com or (385-386-2765)

- New address certificates must be issued prior to recording the final plat with Salt Lake County.
- Parking signage needs to be in the alleyway directing vehicles to back into the 4 stalls.
- A bicycle rack needs to be provided. Transportation prefers the "U" shaped rack, but the design can be determined by the applicant.