



Staff Report

PLANNING DIVISION
DEPARTMENT *of* COMMUNITY *and* NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Amy Thompson, Senior Planner, amy.thompson@slcgov.com or 385-226-9001

Date: August 25, 2021

Re: Conditional Use (PLNPCM2021-00264) – Church at 1612-1624 S 1000 W

Conditional Use

PROPERTY ADDRESS: 1612-1624 S 1000 W
PARCEL ID: 15-14-252-013-0000 & 15-14-252-014-0000
MASTER PLAN: Westside
ZONING DISTRICT: RMF-35 (Residential Multi-Family)

REQUEST: Jeffery Gardner, the architect representing the Samoan Independent 7th Day Adventist Church, is requesting Conditional Use approval to construct a new building that will be used as a Place of Worship/Church at approximately 1612-1624 S 1000 W. The property is located in the RMF-35 (Residential Multi-Family) zoning district and a church is a Conditional Use in that zone.

RECOMMENDATION: Planning Staff finds the project generally meets the applicable standards of approval and therefore recommends the Planning Commission approve the Conditional Use for the church.

ATTACHMENTS:

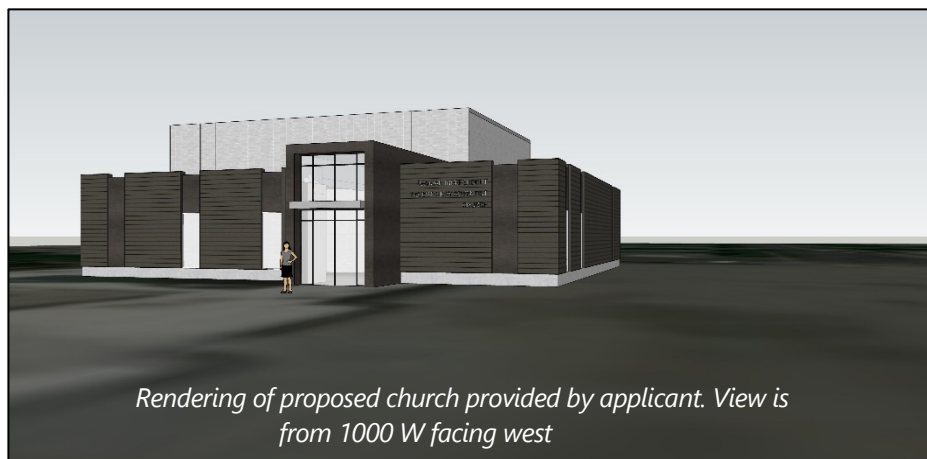
- A. [Vicinity Map](#)
- B. [Plans Submitted by Applicant](#)
- C. [Property and Vicinity Photos](#)
- D. [RMF-35 Zoning Standards](#)
- E. [Conditional Use Standards](#)
- F. [Public Process & Comments](#)
- G. [Department Review Comments](#)

PROJECT DESCRIPTION:

Jeffery Gardner, of Architectural Nexus, representing the Samoan Independent 7th Day Adventist Church, is requesting conditional use approval for a new church building to be located at 1612-1624 South 1000 West in the RMF-35 –Residential Multi-Family zoning district. The proposed new church building includes a multi-function gym space which will also double as a chapel and sanctuary space. The project will also include two classrooms, a small kitchen and support spaces. Surface parking is provided for the project on the north portion of the parcel and is accessed from 1000 W.



Churches/Places of Worship in the RMF-35 zoning district require conditional use approval from the Planning Commission.



BACKGROUND:

The Planning Commission granted conditional use approval for the Samoan Independent 7th Day Adventist Church at this same location on August 8, 2018. The previous proposal was the same as the new proposal apart from the design of the new building, which has been revised. Conditional Use approvals are only valid for a year unless a building permit has been issued or complete building plans have been submitted. The Planning Commission can grant extensions on Conditional Use approvals; however, an extension was not requested prior to expiration of the approval and therefore a new Conditional Use application is required.

The project site is currently vacant; however, it was formerly occupied by this same proposed use - Samoan Independent 7th Day Adventist Church. The new upgraded building will better meet the needs of the congregation and the desired programming in that space. The former church building was demolished under building permit BLD2018-04639. The former church building was laid out on the

site in a similar fashion to the current proposal with the church on the south portion of the site and the parking on the north portion of the site.

KEY CONSIDERATIONS:

The key considerations and concerns below have been identified through the analysis of the project, and neighbor and community input.

1. [Lot Consolidation](#)
2. [Neighborhood Compatibility and Impact](#)

Consideration 1: Lot Consolidation

The RMF-35 zoning district requires a minimum lot width of 140 FT for a church use. The subject property consists of two adjacent parcels – 1612 S and 1624 S 1000 W. The parcel at 1612 S is approximately 50 FT wide and the parcel at 1624 S is approximately 137.7 FT wide. Consolidation of the parcels is required to meet the 140 FT lot width requirement in this zone for a church use. The applicants have submitted a lot consolidation application (petition PLNSUB2021-00553) that is currently being processed. This is an administrative application that can be approved by staff and does not require Planning Commission approval. Staff has noted this requirement in the next steps section of the staff report.

Consideration 2: Neighborhood Compatibility and Impact

The most recent use on the property was for a place of worship (church). The previous church building was demolished so it could be replaced by an upgraded building that would better meet the needs of the congregation and the desired programming in that space. The proposed use of the property as a church and anticipated impacts of the church use would not be significantly changing from what previously existed and was established on the site. The new facility is expected to continue to work compatibly within the context of its location.

NEXT STEPS:

Approval of Conditional Use

If the conditional use is approved, the applicant will be required to comply with all other department/division requirements and obtain all necessary building permits for the project.

In order to meet the 140 FT lot width requirement for a place of worship in the RMF-35 zone, a lot consolidation is required for the subject properties (1612 S 1000 W and 1624 S 1000 W) before the use can be established on the site.

Denial of Conditional Use

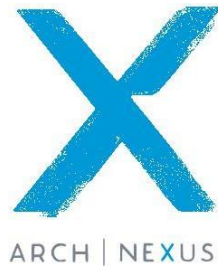
State and City code require that a Conditional Use be approved if reasonable conditions can be imposed on the use to mitigate any reasonably anticipated detrimental effects of the use. A conditional use can only be denied if the Planning Commission finds that reasonably anticipated detrimental effects cannot be mitigated with the imposition of reasonable conditions.

If the Planning requests are denied, the applicant would not be able to use the new building for a church. A new building could still be constructed but would have to be used for one of the permitted uses listed in 21A.33.020 of the zoning ordinance.

ATTACHMENT A – VICINITY MAP



ATTACHMENT B – PLANS SUBMITTED BY APPLICANT



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Samoan Independent Seventh Day Adventist Church

The original Samoan Independent Seventh Day Adventist Church (SISDAC) was located on the site referenced in this proposal at 1624 South 1000 West, Salt Lake City, UT 84104. The original building was not designed for the needs of this congregation and had outlived its useful life. Therefore, SISDAC was allowed under the previous building permit to demo the building with expectation that it would be replaced with new construction and a similar program. The demolition work was authorized by the city and completed prior to the project going on hold and the building permit expiration. Places of worship are accommodated in an RMF-35 Moderate Density Multi-Family Residential District as conditional uses, which is the purpose of this application.

The proposed project is a single story church building. It includes, a post- function/gym space which will double as a chapel/sanctuary space. The project will also include two classrooms, a small kitchen and support spaces. It is the intention of SISDAC to also construct a dedicated sanctuary space to the east as some undetermined time, under a separate building permit. The sanctuary work was originally proposed under the previous building permit and later removed. The sanctuary will remain outside the scope of the current project and all city applications.

The service and operation of the building will be the same as the original building.

The site to the north is occupied by another church, the Serbian Orthodox Church. The site to the west is occupied by a multi-family residential building. The sites to the south and east (across the street) are occupied by single /two family residential buildings.

There will not be any shift workers in the new building, and there will likely be 3-4 employees in the building at any one time.

The calculated occupancy load of the post-function / sanctuary space is 323 occupants with a total building occupancy of 342 occupants.

All the required setbacks and landscape buffers required are being met.

Site plans, building plans and elevations are attached

Zoning Map:

Site location



Existing Conditions: (Original building demolished under building permit: BLD2018-08342)





SAMOAN INDEPENDENT
SEVENTH-DAY ADVENTIST
CHURCH

Please see Architectural Nexus' comments below in blue which address how the project, The Samoan Independent Seventh Day Adventist Church (SISDAC) meets each of the required Conditional Use Standards, the City Wide Master Plan, and the Neighborhood Master Plan (The Westside Master Plan) of the area where the project is located.

21A.54.080: STANDARDS FOR CONDITIONAL USES:


A conditional use shall be approved if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards set forth in this section. If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal of the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use shall be denied.

A. **Approval Standards:** A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title;
Architectural Nexus 21.3.18: Places of worship fall under the conditional use category for the RMF-35 zone in which the proposed building is located. See response to question #3 and provided figures for additional information.
2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;
Architectural Nexus 21.3.18: The proposed SISDAC project will be constructed on an existing church site in place of a recently demolished church building. The previous building was removed with city approval per building permit BLD 2018-08342. The adjacent site to the north also has a church of similar sq. ft., height, and foot print. These two churches of different denominations serve the surrounding residents and provide a place for religious gatherings. The neighborhood is accustomed to having a church on the site and it is our intention to continue using the site for the same use.
3. The use is consistent with applicable adopted city planning policies, documents, and master plans;
Architectural Nexus 21.3.18: The proposed site (1612 and 1624 below) is in the RMF-35 zone which allows church buildings within the zone as a conditional use. The proposed SISDAC building is a single level building that's max height is under the maximum height limit of 35'.

RMF-35

Moderate Density Multifamily Residential. The purpose of the RMF-35 moderate density multi-family residential district is to provide an environment suitable for a variety of moderate density housing types, including single-family, two-family, and multi-family dwellings with a maximum height of thirty five feet (35').



Use	Permitted And Conditional Uses By District											
	FR-1/ 43,560	FR-2/ 21,780	FR-3/ 12,000	R-1/ 12,000	R-1/ 7,000	R-1/ 5,000	SR-1	SR-2	SR-3	R-2	RMF-30	RMF-35
Place of worship on lots less than 4 acres in size	C	C	C	C	C	C	C	C	C	C	C	C

4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions;

Architectural Nexus 21.3.18: We do not anticipate any detrimental effects linked to the proposed SISDAC project. The project is replacing an existing place of worship and will have typical hours of operation and use associated with a building of this nature. The project is also adjacent to another church building.

- B. **Detrimental effects determination:** In analyzing the anticipated detrimental effects of a proposed use, the planning commission, or in the case of administrative conditional uses, the planning director or designee, shall determine compliance with each of the following:

1. This title specifically authorizes the use where it is located;

Architectural Nexus 21.3.18: The proposed site (1612 and 1624) is in the RMF-35 zone which allows church buildings within the zone as a conditional use. See response to question #3 and provided figures for additional information.

2. The use is consistent with applicable policies set forth in adopted city wide, community and small area master plans and future land use maps.

Architectural Nexus 21.3.18: The following summarizes how the SISDAC project meets and supports the SLC City Wide Master Plan.

The addition of the proposed SISDAC project to the community fabric will provide for a diverse mix of uses in the area, which is an underlying principle of the SLC City Wide masterplan. The proposed building will continue the site's legacy of being a place of worship for those in the community. The project supports the stated vision of the master plan in that it introduces and allows for a new religious denomination with an emphasis on a minority community. A quote from the SLC City Wide Master Plan states, "We expect to have true choices about how we live our

lives, from what kinds of home we live in, to how we travel to work, shop, worship, or recreate.” The master plan lists several initiatives which we have integrated into the design of the proposed SISDAC project:

Compatibility – We have endeavored to provide the community with a project that will integrate into the surrounding context in terms of scale and character. The proposed building is of a similar foot print and height to the surrounding buildings. The rectilinear forms used integrate into the surrounding context. The material pallet of CMU and painted cement siding are visually compatible with the neighborhood. See question four for additional information and rendering.

Neighborhoods – It is our belief that places of worship can help build strong neighborhoods. The project will seek to create stability, provide a conveniently located place of worship, build diversity and encourage social interaction. This project will be the first Seventh Day Adventist Church in the area and the only church focused on the Samoan community. The project supports The Westside Master Plan in providing diverse places of worship distributed throughout the neighborhoods.

Growth – The SISDAC project will support the mixed use goal, infill a now otherwise empty lot, and contribute to the healthy lifestyles of those in the community.

Transportation and mobility – As previously stated, SISDAC is the only denomination of its type in the area and the only church focused on the Samoan community. This project will reduce travel out of the community to find a Seventh Day Adventist Church while possibly bringing new people and families into the area. Bringing new people into the area could help support the proposed nearby Westside Master Plan regional node at 900 west and 1700 south.

Beautiful City - Places of worship are naturally people focused. The proposed SISDAC project has been designed to be people oriented. The design is conscious of the surrounding environment and as such the design does not drastically alter the site. Parking and entrances have been kept in the same locations to mitigate disturbances. The building has been pulled back from the road to provide a larger landscaped buffer zone. The building is designed using high building standards, which call for the use of long lasting materials that are complementary to the surrounding building stock.

Arts and Culture – The SISDAC denomination associated with the proposed project will provide a place for the Samoan minority community. The introduction of this proposed project into the community will bring with it opportunities for diversity and the appreciation for new cultures.

This project supports the 3rd largest minority population in the Westside according to The Westside Master Plan.

Equity – As stated previously, the new project will allow the community to welcome a new denomination to the area and provide equal access to a more diverse choice of forms of worship.

3. The use is well suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area;

Architectural Nexus 21.3.18: The proposed site is adjacent to another church building to the North (Right) and a residence to the south (Left) as shown below. The project is well suited to the character of the site and relative to the intensity, size, and scale of the use compared to the existing surrounding uses. The building steps down in size as it approaches the street in order to create a better transition to the surrounding neighborhood and human scale.

See the illustration below which shows the proposed building on the site in relation to the surrounding buildings.



4. The mass, scale, style, design and architectural detailing of the surrounding structures as they relate to the proposed have been considered;

Architectural Nexus 21.3.18: The mass and scale have been considered relative to the surrounding building. The materials used on the main taller portion of the building is CMU with the lower portion of the building being painted fiber cement board paneling and fiber cement board. The style design and architectural detailing are intended to create a distinct building identity while still blending in with the surrounding structures.



5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets and not impede traffic flows;
Architectural Nexus 21.3.18: Existing driveways are utilized for vehicular access to the new project. The parking area for the most part has been maintained in the same location. There should be minimal regrading associated with the new project. Vehicular traffic and parking will remain in the same configuration as the previous church building and parking. The existing driveways and access points will be used and will not impede traffic flow. The existing driveways and access points will continue to direct traffic onto major streets.
6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic;
Architectural Nexus 21.3.18: The proposed project design has maintained many of the past site element locations such as parking and drive isles. We do not expect to see any adverse impacts regarding parking or pedestrian and vehicular traffic flow.
7. The site is designed to enable access and circulation for pedestrian and bicycles;
Architectural Nexus 21.3.18: The proposed SISDAC project facilitates pedestrian and bicycle access with a separate access point protecting them from vehicular obstacles. Bicycle racks have also been provided on site and adjacent to the building.
8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street;
Architectural Nexus 21.3.18: The site's layout and use have remained largely unchanged and will not impact the service level of any abutting or adjacent street.

9. The location and design of off street parking complies with applicable standards of this code;

Architectural Nexus 21.3.18: Off street parking has been provided in accordance with applicable requirements. See the excerpt for sheet AS101 from the provided drawings. See the provided drawings for additional information.

PARKING DATA:

REQUIRED PARKING CALCULATIONS	
• GYM (3 stalls / 1,000 sf @ 2,542 sf):	8
• ALL OTHER AREAS (3 stalls / 1000 sf @ 2,324 sf):	7
• REQUIRED ADA STALLS (1 ada / 25 stalls):	1
TOTAL REQUIRED STALLS	16
PROPOSED PARKING	
• EXISTING STALLS	0
• NEW STANDARD STALLS	21
• NEW ADA STALLS	2
TOTAL PROVIDED PARKING	23

10. Utility capacity is sufficient to support the use at normal service levels;

Architectural Nexus 21.3.18: The uses and size of the building are similar to what it was previously and the utility capacity is sufficient to support the use at normal service levels.

11. The use is appropriately screened, buffered, or separated for adjoining dissimilar uses to mitigate potential use conflicts;

Architectural Nexus 21.3.18: The proposed project building respects the required building setbacks. The project also includes a decorative security fencing as well a dumpster enclosure to secure and screen the dumpsters. See the included drawings for additional information.

12. The use meets city sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke;

Architectural Nexus 21.3.18: The project will not significantly impact the air, water or encroach into a river or stream. Likewise the project will not introduce any hazardous environmental damage to any adjacent properties. The project provide value to the community and its residents.

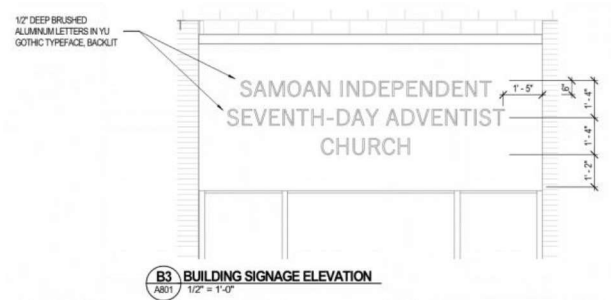
13. The hours of operation and delivery of the use are compatible with surrounding uses;

Architectural Nexus 21.3.18: The proposed project will not have hours of operation outside of that which is typical for a place of worship. There will be no shift work associated with the project.

14. Signs and lighting are compatible with, and do not negatively impact surrounding uses; and

Architectural Nexus 21.3.18: The lighting and signage are minimal. Most signage is kept to the building and at a reasonable size, with no monument signs. The majority of signage is code related. Lighting is mostly kept to the

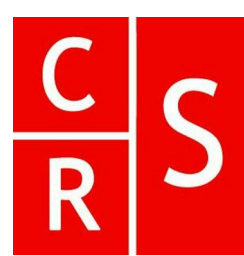
parking lot and building entrances to provide safety and security for those accessing the site. See the included drawings for additional information.



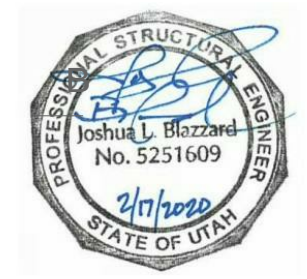
15. The proposed use does not undermine preservation of historic resources and structures.

Architectural Nexus 21.3.18: The proposed building does not undermine preservation of historic resources or structures and will be built on an empty site. The original building was recently demolished with the consent of the governing body per the listed building permit, BLD 2018-08342.

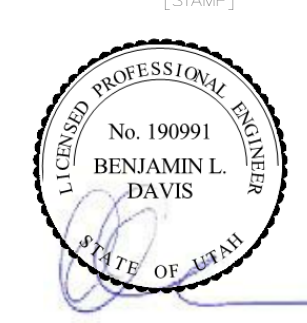
- C. **Conditions Imposed:** The planning commission, or in the case of administrative conditional uses, the planning director or the director's designee, may impose on a conditional use any conditions necessary to address the foregoing factors which may include, but are not limited to:
1. Conditions on the scope of the use: its character, location, hours and methods of operation, architecture, signage, construction, landscaping, access, loading and parking, sanitization, drainage and utility, fencing and screening, and setbacks; and
 2. Conditions needed to mitigate any natural hazard; assure public safety; address environmental impacts; and mitigate dust, fumes, smoke, odor, noise vibrations; chemicals, toxins, pathogens, gases, heat, light and radiation.
- D. **Denial of Conditional Use:** A proposed conditional use shall be denied if:
1. The proposed use is unlawful; or
 2. The reasonably anticipation detrimental effects of the proposed conditional use cannot be substantially mitigated as proposed in the conditional use application or by the imposition of reasonable conditions to achieve compliance with applicable standards set forth in this section.
- E. **Notice of Decision:** The planning commission, or in the case of administrative conditional use, the planning director or designee, shall provide written notice of the decision, including all conditions imposed to the applicant and local community council within (10) days of the final action. If the conditional use is approved, this notice shall be recorded against the property by the city recorder. (Ord. 14-12, 2012)



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SAMOAN INDEPENDENT SEVENTH-DAY ADVENTIST CHURCH

SISDAC UTAH

1624 S 1000 W
SALT LAKE CITY, UT 84104

Nexus Project #: 18030.1 Owner Project #:

02/17/20

PERMIT SET

APPROVALS

Signer 1 _____ Date _____

Signer 3 _____ Date _____

Signer 2 _____ Date _____

Signer 4 _____ Date _____

Date Revision



PERMIT SET

NEXUS PROJECT #: 18030.1
CHECKED BY: AA
DRAWN BY: RS
DATE: 02/17/20

COVER SHEET

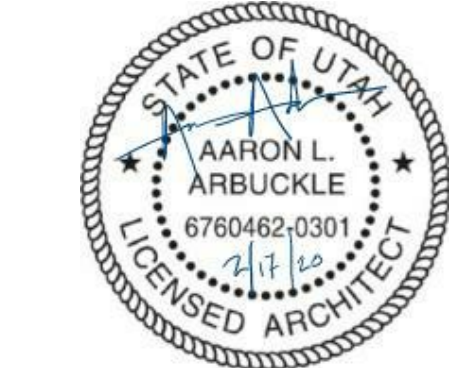
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Original drawings remain the property of the Architect and as such the Architect retains total ownership and control. The design represented by these drawings is sold to the client for a one time use, unless otherwise agreed upon in writing by the Architect.
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SAMOAN INDEPENDENT SEVENTH-DAY ADVENTIST CHURCH
SISDAC UTAH
1624 S 1000 W
SALT LAKE CITY, UT 84104

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LOCATION



DESIGN CRITERIA

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ACCESSIBILITY CODE	ICC/ANSI A117.1-2009	INTERNATION FUEL GAS CODE	2015 EDITION
INTERNATIONAL BUILDING CODE	2018 EDITION		
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ZONING ORDINANCE: . . . Enter City . . .	Zoning Ordinance		

DEFERRED SUBMITTAL LIST TO INCLUDE:
WATER MAINS (PRIVATE & PUBLIC), WATER LATERALS, STAND PIPES, FIRE HYDRANTS, AUTOMATIC FIRE SPRINKLER SYSTEMS, AND FIRE ALARM SYSTEMS. THE AUTOMATIC SMOKE DETECTION SYSTEMS IS PART OF THE FIRE ALARM SYSTEM. FIRE PERMITS SHALL BE IN ACCORDANCE WITH IFC SECTION 105.1.1 THROUGH 105.7.16.

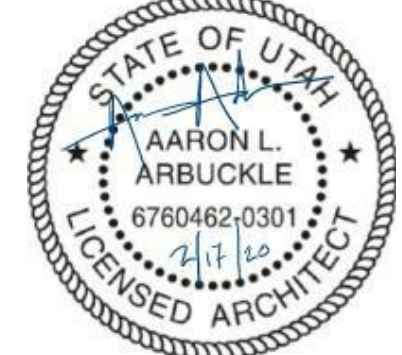
OTHER DEFERRED SUBMITTALS INCLUDE:
OPEN WEB JOISTS & GIRDERS
PRE-MANUFACTURED WOOD TRUSSES,BLOCKING, BRIDGING, BRIDGING CONNECTIONS, TRUSS HANGERS, AND RELATED COMPONENTS
COLD FORMED STEEL STUDS / JOISTS / HEADERS / JAMBS / TRUSSES
SEISMIC BRACING OF ALL ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS WHERE REQUIRED BY ASCE 7-10 AND THE PROJECT CONTRACT DOCUMENTS
DISPLACEMENT RAMMED AGGREGATE PIERS.



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SAMOAN INDEPENDENT SEVENTH-DAY
ADVENTIST CHURCH
SISDAC UTAH
1624 S 1000 W
SALT LAKE CITY, UT 84104

Date Revision

PERMIT SET

NEXUS PROJECT #: 18030.1
CHECKED BY: Checker
DRAWN BY: Author
DATE: 02/17/20

GENERAL
INFORMATION

G002

A		
A/C	AIR	CONDITIONING
AD	AREA	DRAIN
AFC	ABOVE FINISHED	CEILING
AFF	ABOVE FINISHED	FLOOR
AHU	AIR	HANDLING UNIT
ALUM	ALUMINUM	
ANOD	ANODIZED	
ARCH	ARCHITECT	
@	AT	
B		
BD	BOARD	
BLDG	BUILDING	
BO	BOTTOM OF	
C		
C	CELSIUS	
CH	COAT	HOOK
CFCI	CONTRACTOR FURNISHED,	
	CONTRACTOR INSTALLED	
CG	CORNER	GUARD
CI	CONTINUOUS INSULATION	
CJ	CONTROL JOINT	
CL	CENTERLINE	
CLG	CEILING	
CLO	CLOSET	
CLR	CLEAR	
CMU	CONCRETE MASONRY UNIT	
COL	COLUMN	
CONC	CONCRETE	
CONT	CONTINUOUS	
CORR	CORRIDOR	
CT	CERAMIC TILE	
CTJ	CONSTRUCTION JOINT	
CUH	CABINET UNIT HEATER	
D		
D	DEEP	
DEG	DEGREE	
DEMO	DEMOLITION	
DF	DRINKING FOUNTAIN	
DIA	DIAMETER	
DIM	DIMENSION	
DN	DOWN	
DS	DOWNSPOUT	
DWGS	DRAWINGS	
E		
EA	EACH	
EJ	EXPANSION JOINT	
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	
EL	ELEVATION	
ELEC	ELECTRICAL	
ELEV	ELEVATOR	
EOS	EDGE OF SLAB	
ERD	EXISTING ROOF DRAIN	
EQ	EQUAL	
EQUIP	EQUIPMENT	
EW	ELECTRIC WATER COOLER	
EXIST	EXISTING	
EXP	EXPOSED	
EXT	EXTERIOR	
F		
F	FAHRENHEIT	
FA	FIRE ALARM	
FACP	FIRE ALARM CONTROL PANEL	
FDC	FIRE DEPARTMENT CONNECTION	
FD	FLOOR DRAIN	
FEC	FIRE EXTINGUISHER CABINET	
FE	FIRE EXTINGUISHER	
FG	FINISH GRADE	
FHC	FIRE HOSE CABINET	
FIN	FINISH	
FLR	FLOOR	
FND	FOUNDATION	
FO	FINISHED OPENING	
FOC	FACE OF CONCRETE	
FOM	FACE OF MASONRY	
FOS	FACE OF STUD	
FW	FACE OF WALL	
FRG	FIBER REINFORCED GYPSUM	
FSP	FIRE STANDPIPE	
FT	FEET	
FV	FIELD VERIFY	
G		
GA	GAUGE	
GALV	GALVANIZED	
GFRG	GLASS-FIBER-REINFORCED CONCRETE	
	GLASS-FIBER-REINFORCED GYPSUM	
GL	GLASS	
GMB	GYPSUM WALL BOARD	
GYP	GYPSUM	
H		
H	HIGH	
HB	HOSE BIBB	
HDR	HEADER	
HM	HOLLOW METAL	
HPT	HIGH POINT	
HR	HOUR	
HT	HEIGHT	
I		
ID	INSIDE DIAMETER; INSIDE DIMENSION	
IN	INCH	
INFO	INFORMATION	
INT	INTERIOR	
J		
JAN	JANITOR	
K		
	(NOT USED)	
L		
LAB	LABORATORY	
LAV	LAVATORY	
LBS	POUNDS	
LLH	LONG LEG HORIZONTAL	
LLV	LONG LEG VERTICAL	
LPT	LOW POINT	
M		
MACH RM	MACHINE ROOM	
MAX	MAXIMUM	
MFR	MANUFACTURER	
MECH	MECHANICAL	
MEZZ	MEZZANINE	
MIN	MINIMUM	
MO	MASONRY OPENING	
N		
N/A	NOT APPLICABLE	
NIC	NOT IN CONTRACT	
NOM	NOMINAL	
NTS	NOT TO SCALE	
O		
OC	ON CENTER	
OD	OUTSIDE DIAMETER; OUTSIDE DIMENSION	
OFD	OVERFLOW DRAIN	
OH DR	OVER-HEAD DOOR	
OPH	OPPOSITE HAND	
OPP	OPPOSITE	
ORIG	ORIGINAL	
P		
P LAM	PLASTIC LAMINATE	
PLAS	PLASTER	
PLUMB	PLUMBING	
PR	PAIR	
PSI	POUNDS PER SQUARE INCH	
PSF	POUNDS PER SQUARE FOOT	
PVC	POLYVINYL CHLORIDE	
Q		
QT	QUARRY TILE	

THE PRECEDING LIST OF ABBREVIATIONS IS PRESENTED AS A GENERAL GUIDE AND DOES NOT NECESSARILY SHOW ALL ABBREVIATIONS USED. OTHER GENERALLY ACCEPTED ABBREVIATIONS MAY BE FOUND AMONG THE DRAWINGS - SOME ABBREVIATIONS SHOWN ABOVE MAY NOT BE USED WITHIN THIS DRAWING SET.

R	
R	RISER OR RADIUS
RAD	RADIUS
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFRIDGERATOR
REQD	REQUIRED
REV	REVISION
RH	RELATIVE HUMIDITY
RM	ROOM
RO	ROUGH OPENING
RTU	ROOF TOP UNIT
RWL	RAIN WATER LEADER
S	
S	SMOKE DETECTOR
SAM	SELF ADHESIVE MEMBRANE
SCHED	SCHEDULE
SECT	SECTION
SIM	SIMILAR
SPEC	SPECIFICATION
SS	STAINLESS STEEL
STD	STANDARD
STRUCT	STRUCTURAL
T	
T	TREAD
TEL	TELEPHONE
TEMP	TEMPORARY
THK	THICK
TOC	TOP OF CONCRETE
TOM	TOP OF MASONRY
TOP	TOP OF PARAPET
TOS	TOP OF SLAB; TOP OF STEEL
TOW	TOP OF WALL
TYP	TYPICAL
TO	TOP OF
U	
UL	UNDERWRITER'S LABORATORIES
UNO	UNLESS NOTED OTHERWISE
V	
VCT	VINYL COMPOSITE TILE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
W	
W	WITH
W/O	WITHOUT
WD	WOOD
WH	WALL HYDRANT
WP	WORKING POINT
WRB	WEATHER RESISTIVE BARRIER
X,Y,Z	
	(NOT USED)

NOTE: HATCHING ANGLES MAY VARY DUE TO ANGLE OF WALL DRAWN, WHILE HATCHING PATTERN REMAINS SIMILAR.

	CAST-IN-PLACE CONCRETE		CONTINUOUS MATERIAL
	CONCRETE MASONRY UNIT		NON CONTINUOUS MATERIAL (BLOCKING)
	PRECAST CONCRETE / GLASS FIBER REINFORCED CONCRETE (GFRG)		GYPSUM BOARD
	STEEL STUDS		PLYWOOD
	WOOD STUDS		EXTERIOR SHEATHING
	BRICK VENEER		GRAVEL
	RIGID INSULATION		UNDISTURBED EARTH
	BATT INSULATION		BACKFILL OR FILL

HATCH LEGEND

DRAWING SYMBOL LEGEND

	INTERIOR ELEVATIONS		MATCH LINE
A2	SHEET NUMBER	SEE A2222	
A1	DETAIL NUMBER		MATCH LINE TAG
DETAIL REFERENCE			
	DETAIL NUMBER		
A501	SHEET NUMBER		EXISTING WALL TO REMAIN
EXTERIOR ELEVATION REFERENCE			
	DETAIL NUMBER		
A201	SHEET NUMBER		WALL TO BE DEMOLISHED
WALL SECTION REFERENCE			
	DETAIL NUMBER		
A302	SHEET NUMBER		NEW WALL
BUILDING SECTION REFERENCE			
	DETAIL NUMBER		
A301	SHEET NUMBER		CENTER LINE SYMBOL
DETAIL REFERENCE			
	DETAIL NUMBER		
A1	SHEET NUMBER		BREAK LINE
A301			ROUND BREAK LINE
ROOM DESIGNATION (FLOOR PLAN)			
ROOM	ROOM NAME		NORTH ARROW
####	ROOM NUMBER		PLAN NORTH
ROOM DESIGNATION (REFLECTED CEILING PLAN)			
XX000X	ROOM NUMBER		
00'-00"	CEILING HEIGHT ABOVE FINISH FLOOR		
ELEVATION SYMBOL			
	ELEVATION DESCRIPTION		
100'-0"	ELEVATION ABOVE DATUM		
WALL TYPE DESIGNATION			
XXX	WALL TYPE		CASEWORK TYPE DESIGNATION
DOOR DESIGNATION			
101	DOOR NUMBER		AWS STANDARD CDS NUMBERING SYSTEM
WINDOW DESIGNATION			
A	WINDOW TYPE		CDS NUMBER (M DENOTES MODIFICATION - SEE SHEET A551 FOR MODIFIED MILLWORK ELEVATIONS AND DETAILS)
KEYED NOTE DESIGNATION			
03,CJ1	KEY NOTE NUMBER		
EQUIPMENT DESIGNATION			
00001	EQUIPMENT NUMBER		
GLASS TYPE DESIGNATION			
1	GLASS TYPE		MATERIAL TYPE DESIGNATION
			SEE A601 FINISH LEGEND
SLOPE INDICATION			
	RISE		
1/2	RUN		
12"			
1/2" / 12"			
REVISION DESIGNATION			
1	REVISION NUMBER		
GRAPHIC SCALES			



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1624 S 1000 W
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Date Revision

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GENERAL INFORMATION

G003

2/17/2020 5:46:42 PM

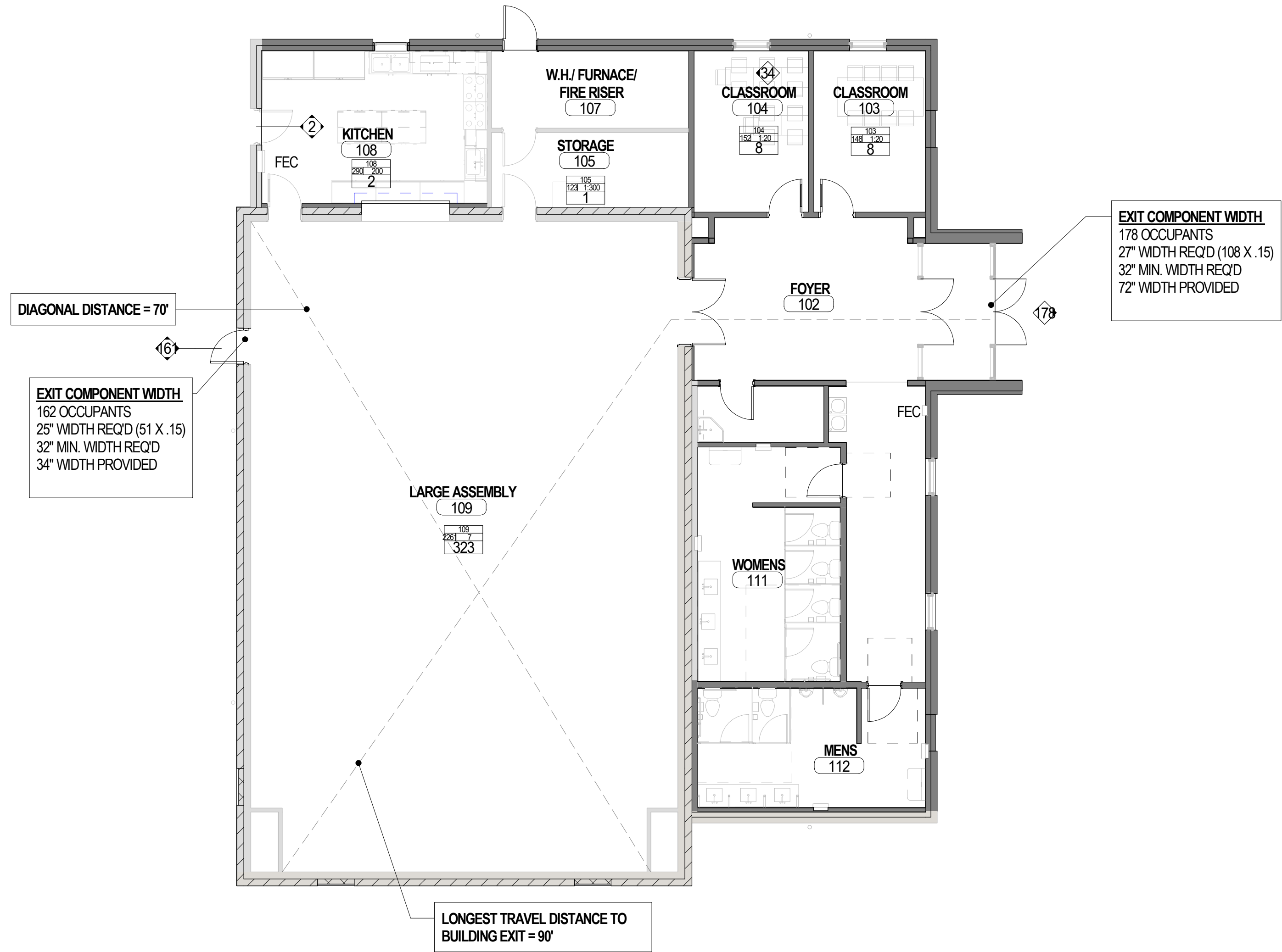
A

B

C

D

A1 LEVEL 01 - EXITING AND OCCUPANCY
G101 1/8" = 1'-0"



EXITING AND OCCUPANCY LEGEND	
FLOOR	
	NO FIRE RATING
	1 HOUR RATING
	2 HOUR RATING
ROOF	
	NO FIRE RATING
	1 HOUR RATING
	2 HOUR RATING
WALL	
	NO FIRE RATING
	1 HOUR RATING
	2 HOUR RATING
	SOLID CONCRETE

PERMIT SET

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**EXITING AND
OCCUPANCY
PLANS**

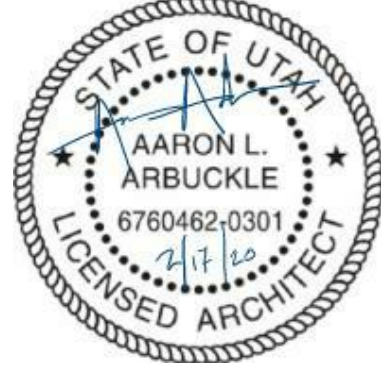
G101

**GENERAL NOTE -
REGULATORY PLAN**

- A. SEE WALL TYPES ON FLOOR PLANS AND RATED WALL ASSEMBLIES ON SHEET G004a FOR SPECIFIC WALL CONSTRUCTION TO ACHIEVE THE RATINGS SHOWN ON THIS PLAN.
- B. REQUIRED MEANS OF EGRESS AND FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED DURING CONSTRUCTION AND DEMOLITION OF THE BUILDING.
- C. PER IFC CHAPTER 33, DURING CONSTRUCTION, ALTERATIONS, OR DEMOLITION, EXTINGUISHERS SHALL BE PROVIDED AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED, IN EVERY STORAGE AND CONSTRUCTION SHED, AND WHERE SPECIAL HAZARDS EXIST INCLUDING, BUT NOT LIMITED TO, THE STORAGE AND USE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS.

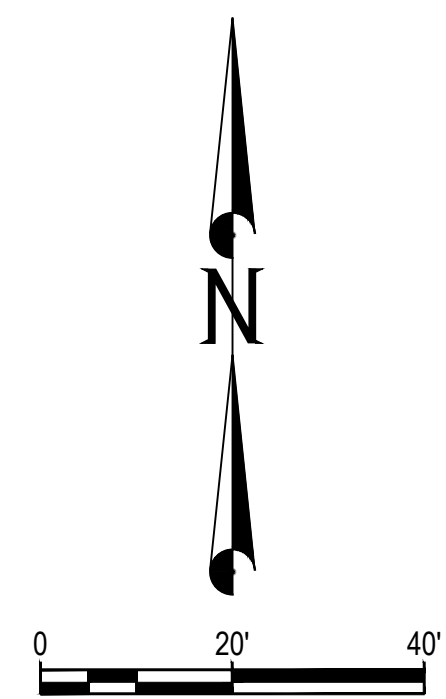
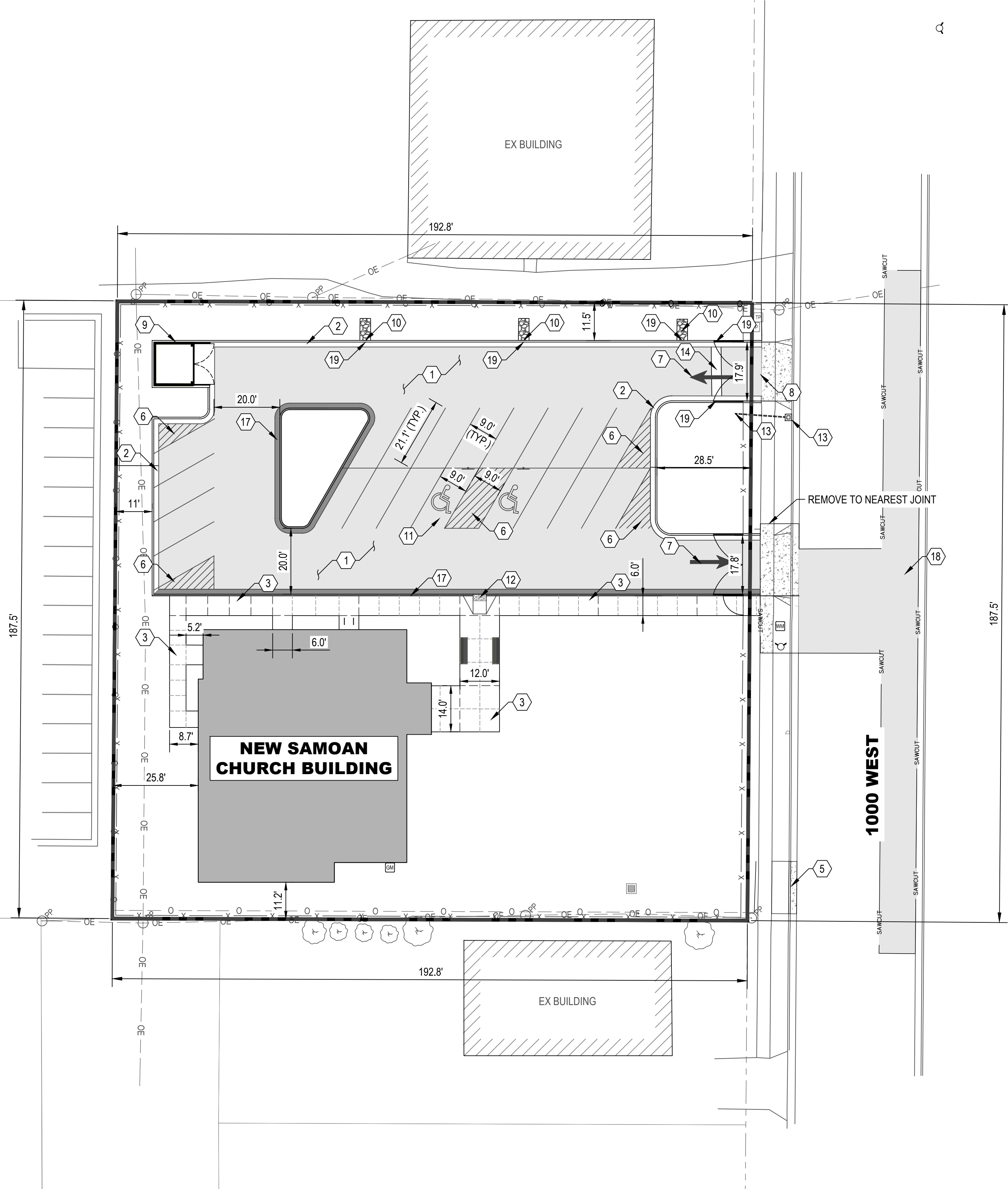
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**SAMOAN INDEPENDENT SEVENTH-DAY
ADVENTIST CHURCH
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1624 S 1000 W
SALT LAKE CITY, UT 84104

File Path: P:\18065C Arch Nexus-Samoan Church\Drawings\SHEETS\CP101-SITE PLAN.dwg Aug 16, 2021 - 10:34am



LEGEND

- EXPANSION JOINT
- CONTRACTION JOINT
- EDGE OF CONCRETE
- ORNAMENTAL FENCE
- PARKING STRIPING
- TYPE "E" CURB AND GUTTER
- TYPE "B" SHEDDING CURB AND GUTTER
- TRUNCATED DOME
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- NEW BUILDING
- BMP SWALE

SITE KEYED NOTES

- 1 ASPHALT PAVEMENT PER DETAIL 3/CP501
- 2 TYPE "E" CURB AND GUTTER AS PER DETAIL 1/CP501
- 3 THICKENED EDGE CONCRETE SIDEWALK PER DETAIL 5/CP501. JOINT DETAIL 4/CP501
- 4 NOT USED
- 5 REPLACE CURB AND GUTTER PER APWA STD. PLAN 205A WHERE DRIVE APPROACH WAS REMOVED
- 6 PAINTED NO PARKING STRIPING 4" WIDTH AND 3' O.C. COLOR WHITE
- 7 WHITE PAVEMENT MARKING
- 8 REPLACE CRACKED SIDEWALK AND DRIVE APPROACH PANELS PER APWA STD. PLAN 231 AND 221
- 9 TRASH ENCLOSURE CONCRETE PAD AS PER DETAIL 6/CP501
- 10 BMP SWALE INLET AS PER DETAIL 3/CP502
- 11 ADA PARKING STALL
- 12 ADA RAMP W/ TRUNCATED DOME PER APWA PLAN 236.3
- 13 2' X 2' AREA DRAIN PER APWA STD. PLAN 372. USE AN R-3262 STORM WATER CURB OPENING BY NEENAH
- 14 36" WATERWAY AS PER DETAIL 5/CP502
- 15 NOT USED
- 16 NOT USED
- 17 TYPE "B" SHEDDING CURB AND GUTTER AS PER DETAIL 2/CP501
- 18 SAWCUT APPROXIMATELY SHOWN, INSTALL ASPHALT T-PATCH PER APWA PLAN 255
- 19 CUT CURB TO ALLOW FOR DRAINAGE PER DETAIL 6/CP501

GENERAL NOTES

- 1. THE ENGINEER HAS MADE AN EXTENSIVE EFFORT TO LOCATE ALL EXISTING UTILITY LINES FROM RECORDS PROVIDED BY OTHERS AND EVIDENCE IN THE FIELD. CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO COMMENCING WORK.
- 2. PUBLIC RIGHT OF WAY PERMIT OBTAINED FROM THE SALT LAKE CITY ENGINEERING OFFICE (801.535.6396) IS REQUIRED FOR WORK ON CURB, GUTTER, PARK STRIP, ROADWAY, OR ANYWHERE IN PUBLIC WAY. OBSTRUCTION OF SIDEWALKS AND ROADWAYS ALSO REQUIRE A PERMIT. THIS IS A SEPARATE PERMIT FROM THOSE ISSUED BY OTHER MUNICIPAL ENTITIES SUCH AS BUILDING SERVICES, PUBLIC UTILITIES, ECT. IT MUST BE OBTAINED BY A CONTRACTOR WHO HAS BOND, INSURANCE, AND LICENSE ON FILE WITH THE ENGINEERING OFFICE.

RECORD OF REVISIONS			
20	APR02	ADDENDUM 1	

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PRINCIPAL D. EYRE
PROJECT MANAGER G. NELSON, PE
CHECKED BY O. SORENSON
DRAWN BY K. BAILEY
DRAWING SCALE 1" = 20'
ISSUE DATE FEBRUARY 17, 2020

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SISDAC UTAH

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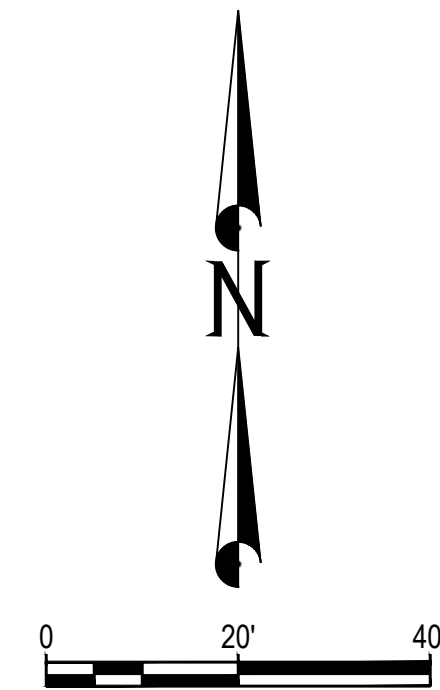
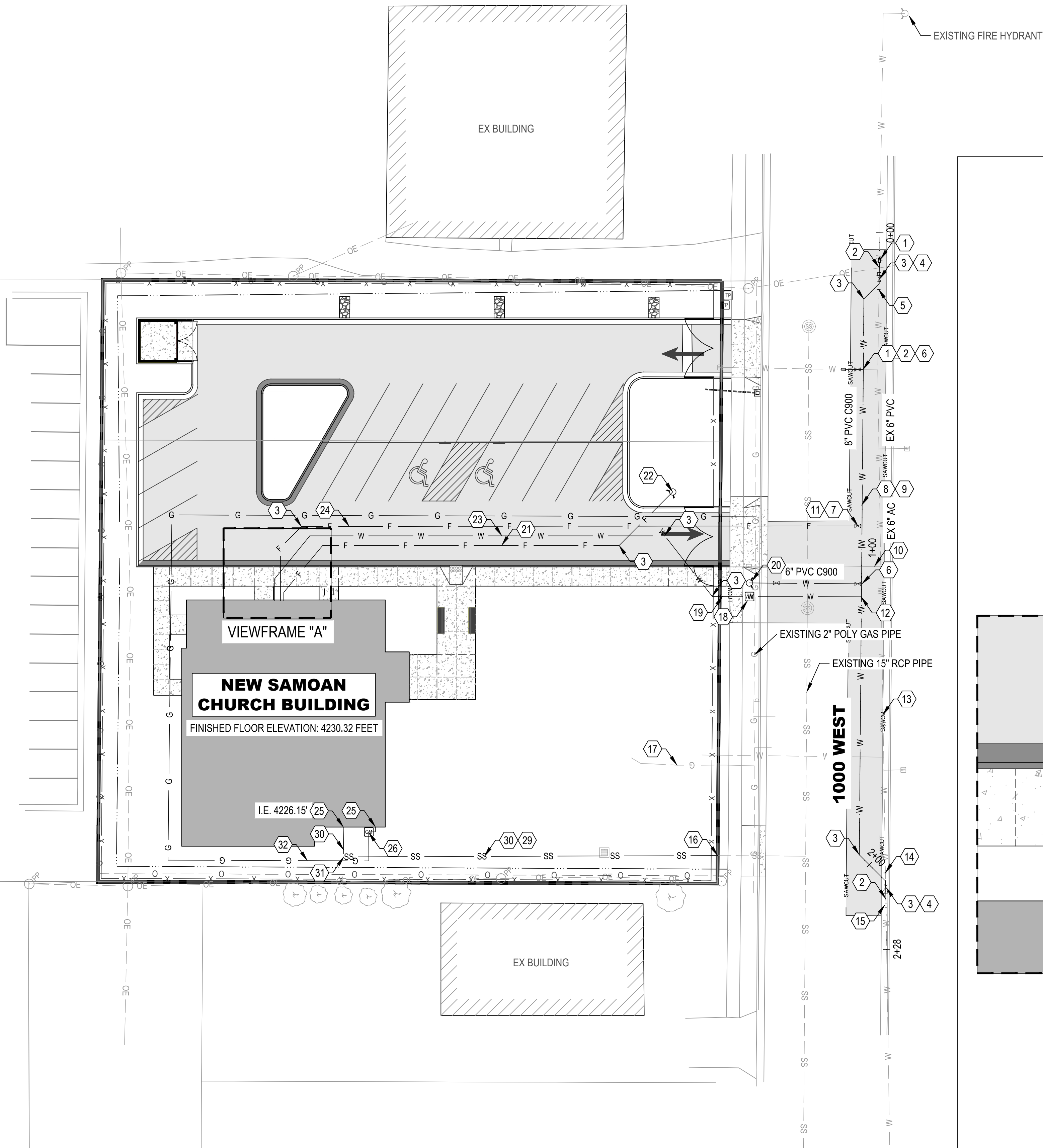
SITE PLAN

1624 S 1000 W

SALT LAKE CITY, UTAH



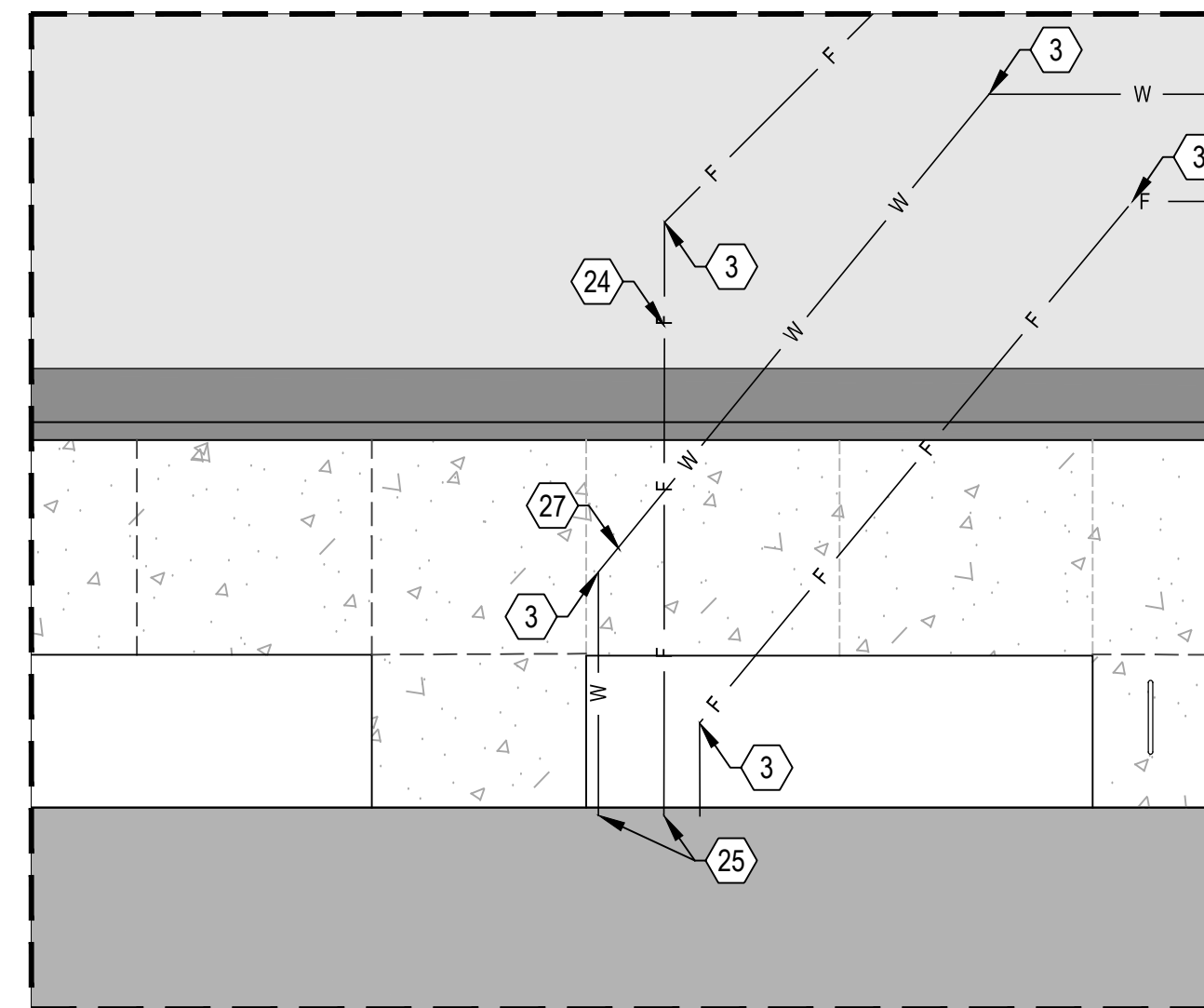
PROJECT NUMBER	
18065C	
SHEET	OF
5	13
SHEET NUMBER	
CP101	



LEGEND

W	CULINARY WATER
SS	SANITARY SEWER
F	FIRE LINE
G	GAS LINE
W	EX CULINARY WATER
G	EX GAS LINE
SS	EX SANITARY SEWER
CO	EX SEWER CLEANOUT

NOTE:
CONTRACTOR TO
ORGANIZE ROAD
CLOSURE IN 1000 WEST
FOR UTILITY
INSTALLATION



VIEWFRAME "A"
SCALE: 1" = 5'

SITE AND UTILITY KEYED NOTES

- 6" MJ LONG SLEEVE
- 6" PVC C900 SPOOL (PE)
- 45° BEND (MJxFL) w/THRUST BLOCK PER DETAIL 7/CP502 (SEE PLAN FOR PIPE SIZE)
- 8" GATE VALVE (FL) AND 8"x6" REDUCER (FLxMJ)
- CAP EXISTING 6" PVC WATERLINE
- 8"x6" TEE (MJxMJxFL) w/THRUST BLOCK PER DETAIL 7/CP502 AND 6" GATE VALVE (FLxMJ)
- 8"x4" TEE (MJxMJxFL) w/THRUST BLOCK PER DETAIL 7/CP502 AND 4" GATE VALVE (FLxMJ)
- 8" PVC C900 DR14
- RECONNECT (5) RESIDENTIAL WATER LATERALS SERVICING PROPERTIES ON EAST SIDE OF 1000 WEST TO NEW 8" WATER MAIN
- DISCONTINUED WATER SERVICE LATERAL CAP AT WATER MAIN PER SLCPU STANDARDS
- INSTALL 4" PVC C900 DR14 FIRELINE
- INSTALL 2" TYPE K COPPER LATERAL 4' MIN. BELOW FINISH GRADE PER DETAIL 2/CP502 & CONNECT TO NEW 8" WATER MAIN PER APWA PLAN 551
- EXISTING 6" A.C. CULINARY WATERLINE TO BE ABANDONED UPON CONSTRUCTION AND COMMISSIONING OF NEW 8" WATER MAIN
- CAP EXISTING 6" AC WATERLINE
- 6" TRANSITION COUPLING FOR PVC PIPE TO AC PIPE CONNECTION
- FIELD LOCATE AND CONNECT TO EXISTING LATERAL
- ABANDON EXISTING 3/4" GAS LATERAL
- 2" WATER METER
- CHANGE TO 2-1/2" PVC PIPE 3FT BEYOND WATER METER
- NEW FIRE HYDRANT (MJ) WITH ADDITIONAL 6" GATE VALVE (MJ) 7' EAST OF HYDRANT PER DETAIL 6/CP502
- 4" PVC C900 DR14 SLOPE TO DRAIN @ BALL DRIP VALVE
- REMOTE FDC PER NFLPA 13. SEE DETAIL 4/CP502
- 2-1/2" PVC C900 DR14 CULINARY WATER 4'(MIN.) BELOW SURFACE PER DETAIL 2/CP502
- 4" PVC C900 DR14 FIRE LINE 4' (MIN.) BELOW SURFACE PER DETAIL 2/CP502
- SEE MECHANICAL PLANS FOR CONTINUATION
- GAS METER INSTALLED BY GAS COMPANY
- 2" PVC CULINARY WATER 4' (MIN.) BELOW SURFACE PER DETAIL 2/CP502
- NOT USED
- SEWER CLEANOUT PER DETAIL 1/CP502
- 4" SDR35 PVC @ APPROXIMATELY 2%
- 4'-90° SANITARY SEWER BEND WITH CLEANOUT PER DETAIL 1/CP502
- 2-1/2" GAS LINE

GENERAL NOTES

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- SAWCUT ASPHALT PAVEMENT IN 1000 WEST FULL DEPTH TO INSTALL PROJECT UTILITIES. RESTORE ASPHALT PAVEMENT IN 1000 WEST PER 2012 EDITION OF THE APWA STD. PLAN 255.
- SAWCUT AND REMOVE CURBS, GUTTER, SIDEWALK AS REQUIRED TO INSTALL PROJECT UTILITIES. RECONSTRUCT CURBS, GUTTER, SIDEWALK IN ACCORDANCE WITH SALT LAKE CITY ENGINEERING STANDARD PLANS AND SPECIFICATIONS.
- COORDINATE WATER LINE SHUT DOWN WITH SALT LAKE CITY PUBLIC UTILITIES PRIOR TO WATERLINE CONSTRUCTION.
- TEST AND DISINFECT NEW WATERLINE IN ACCORDANCE WITH SALT LAKE CITY PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS.
- INSTALL CONCRETE COLLAR AROUND ALL GATE VALVES PER APWA STANDARD PLAN 574.
- A PUBLIC RIGHT OF WAY PERMIT OBTAINED FROM THE SALT LAKE CITY ENGINEERING OFFICE (801.535.6396) IS REQUIRED FOR WORK ON CURB, GUTTER, PARK STRIP, ROADWAY, OR ANYWHERE IN PUBLIC WAY. OBSTRUCTION OF SIDEWALKS AND ROADWAYS ALSO REQUIRE A PERMIT. THIS IS A SEPARATE PERMIT FROM THOSE ISSUED BY OTHER MUNICIPAL ENTITIES SUCH AS BUILDING SERVICES, PUBLIC UTILITIES, ETC. IT MUST BE OBTAINED BY A CONTRACTOR WHO HAS BOND, INSURANCE, AND LICENSE ON FILE WITH THE ENGINEERING OFFICE.

RECORD OF REVISIONS			
1	20APR02	ADDENDUM 1	

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PRINCIPAL D. EYRE
PROJECT MANAGER G. NELSON
CHECKED BY O. SORENSON
DRAWN BY K. BAILEY
DRAWING SCALE 1" = 20'
ISSUE DATE FEBRUARY 17, 2020

C

R

S

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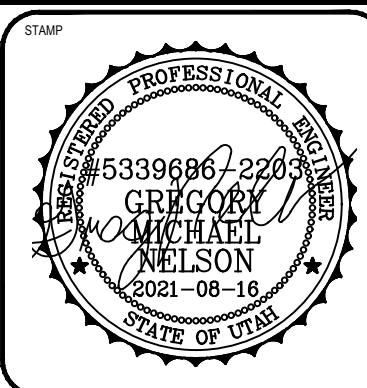
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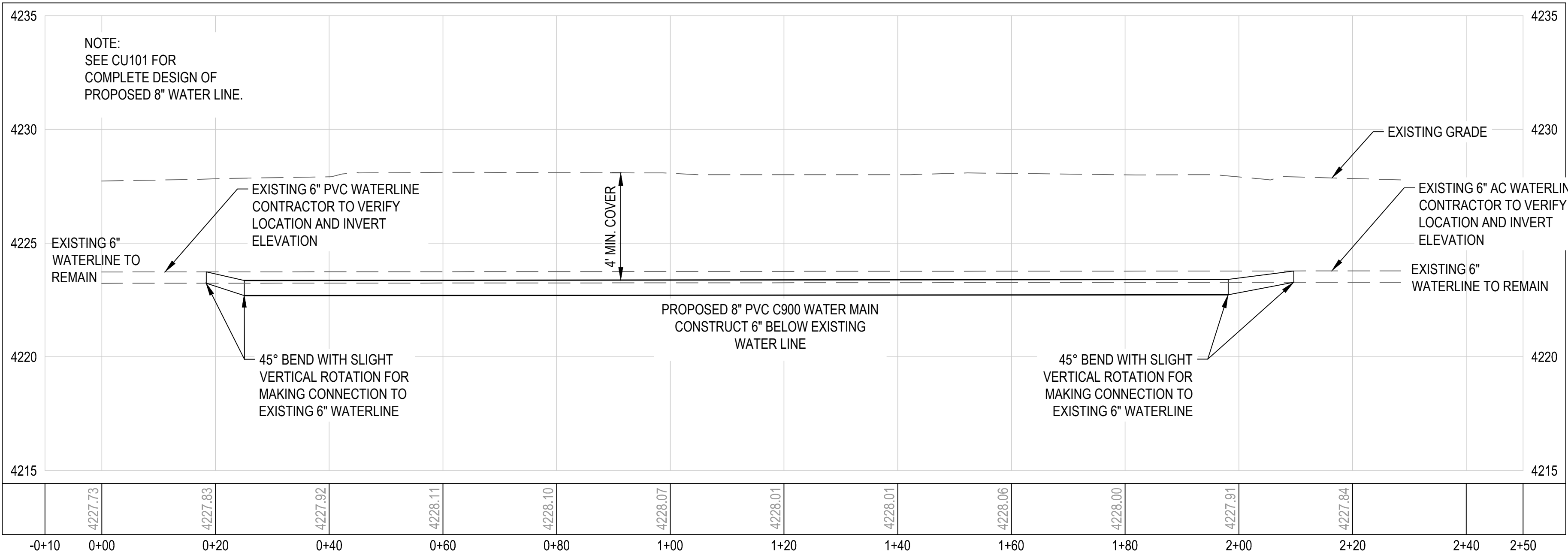
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ARCH NEXUS-SAMOAN CHURCH
UTILITY PLAN

1624 S 1000 W

SALT LAKE CITY, UTAH



PROJECT NUMBER 18065C	
SHEET 6	OF 13
SHEET NUMBER CU101	



1 **PROPOSED 8" PVC WATER MAIN**
CU301 / SCALE: NONE

RECORD OF REVISIONS			

0 1 2

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PRINCIPAL
D. EYRE

PROJECT MANAGER
G. NELSON

CHECKED BY
O. SORENSON

DRAWN BY
K. BAILEY

DRAWING SCALE
1" = 20'

ISSUE DATE
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ARCH NEXUS-SAMOAN CHURCH
WATERLINE PROFILE

1624 S 1000 W

SALT LAKE CITY, UTAH

STAMP

5339686-2203
GREGORY
MICHAEL
NELSON
2021-08-16
STATE OF UTAH

PROJECT NUMBER
18065C

SHEET 7	OF 13
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SHEET NUMBER
CU301

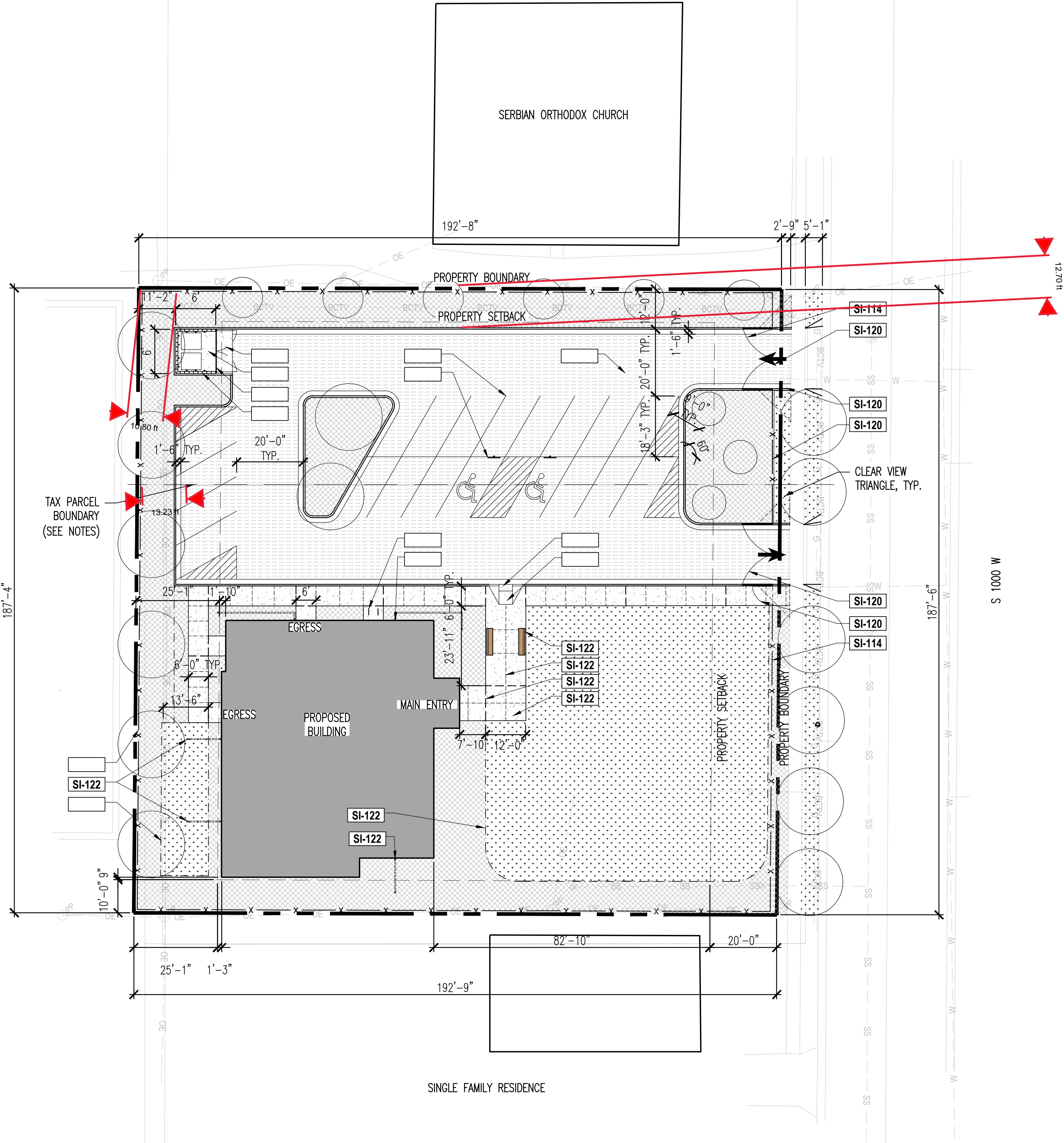
KEY NOTES

SYMBOL	DESCRIPTION
SI-101	ASPHALT PAVING, SEE CIVIL DWGS
SI-102	ASPHALT STRIPING, SEE CIVIL DWGS
SI-103	4" CONCRETE PAVING, SEE CIVIL DWGS
SI-104	6" REINFORCED CONCRETE PAVING, SEE CIVIL DWGS
SI-105	8" REINFORCED CONCRETE PAVING, SEE CIVIL DWGS
SI-106	SAW CUT CONTROL JOINT
SI-107	EXPANSION JOINT
SI-108	CONCRETE CURB AND GUTTER, SEE CIVIL DWGS
SI-109	ADA SIGN, SEE CIVIL DWGS
SI-110	ADA RAMP, SEE CIVIL DWGS
SI-111	TRUNCATED DOME, SEE CIVIL DWGS
SI-112	THE RAMBLER WIDE BIKE RACK
SI-113	6" FENCE, BY OWNER
SI-114	6' DOUBLE SWING GATE, BY OWNER
SI-115	6' SINGLE SWING GATE, BY OWNER
SI-116	TRASH/RECYCLING ENCLOSURE CMU WALL
SI-117	TRASH/RECYCLING ENCLOSURE DECORATIVE GATE
SI-118	ALUMINUM LANDSCAPE EDGING
SI-119	BENCH, BY OWNER
SI-120	DIRECTIONAL ARROW, BY OWNER
SI-122	DOWNSPOUT POP-UP

LEGEND:

	ASPHALT (11,345 SF)
	CONCRETE PAVING (2,045 SF)
	TURF (7,025 SF)
	PLANTER BED (10,500 SF)
	PAVING CONTROL JOINT (TOOL)
	PAVING EXPANSION JOINT
	PRIVACY FENCE (SEE AS702)
	BENCH (2 QTY)
	BIKE PARKING (2 QTY)
	SHADE TREE (SEE PLANTING PLAN)

MULTI-FAMILY PARKING LOT



SITE TABULATIONS:

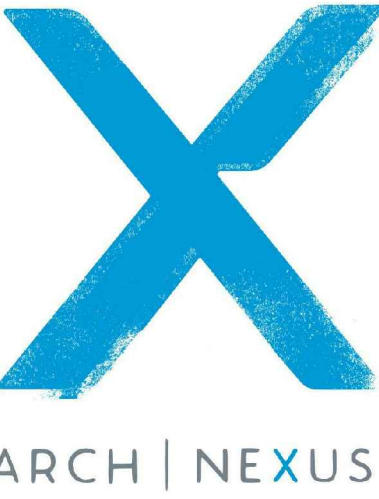
• TOTAL SITE AREA:	36,128 sf (100.0%)	A. TAX PARCEL #15-14-252-013-0000. LEGAL
• BUILDING FOOTPRINT:	4,866 sf (13%)	DESCRIPTION: BEG E 12 RDS & N 455.395 FT FR SW
• OFFSTREET PARKING AREA:	14,086 sf (40%)	COR OF NE 1/4 SEC 14, T 1S, R 1W, SLM: N 0°11'15" E
• IRRIGATED LANDSCAPE AREA:	15,298 sf (42%)	50 FT; S 89°55'53" W 192.78 FT; S 0°11'15" W 50 FT; N
• HARDSCAPE PAVING AREA:	1,878 sf (5%)	89°55'53" E 192.78 FT TO BEG. 0.22 AC 7100-749
*EXCLUDES PUBLIC RIGHT-OF-WAY IMPROVEMENTS		9321-542 9875-6308
• PARK STRIP: 1000 WEST	187.33 LF	B. TAX PARCEL #15-14-252-014-0000. LEGAL
• TREES REQUIRED (1/30 ft):	6.2	DESCRIPTION: BEG E 198 FT & N 317.895 FT FR CEN
• TREES PROVIDED:	6	SEC 14, T 1S, R 1W, S L MN 0°11'15" E 137.7 FT; S
• FRONT YARD: 1000 WEST	187.33 LF	89°55'53" W 192.78 FT; S 0°11'15" W137.7 FT M OR L; N
• TREES REQUIRED (1/50 ft):	3.7	89°55'53" E 192.78 FT TO BEG. 0.81 AC M OR L
• TREES PROVIDED:	9	4917-0787 6469-1281 6592-1987 7100-0751 7452-2348
• SHRUBS REQUIRED (1/3 ft - 100%):	62.3	8595-6349 9875-6308
• SHRUBS PROVIDED:	91	C. OFF-STREET PARKING IS TO COMPLY WITH SALT
• INTERIOR YARD NORTH:	192.75 LF	LAKE CITY ORDINANCE (21A.44.020) AND RELATED
• TREES REQUIRED (1/30 ft):	6.4	SECTIONS.
• TREES PROVIDED:	6	D. LANDSCAPE REQUIREMENTS INCLUDING, BUT NOT
• SHRUBS REQUIRED (1/3 ft -50%):	32	LIMITED TO. LANDSCAPE BUFFERS ARE TO COMPLY
• SHRUBS PROVIDED:	67	WITH SALT LAKE CITY ORDINANCE (21A.48) AND
• INTERIOR YARD SOUTH:	192.75 LF	RELATED SECTIONS.
• TREES REQUIRED (1/30 ft):	6.4	E. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR
• TREES PROVIDED:	N/A	COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO
• SHRUBS REQUIRED (1/3 ft - 50%):	32	THE COMMENCEMENT OF WORK. COORDINATE
• SHRUBS PROVIDED:	33	DISCREPANCIES WITH ARCHITECT.
• REAR YARD:	187.0 LF	F. DO NOT SCALE DRAWINGS.
• TREES REQUIRED (1/30 ft):	6.2	G. PROVIDE ADA PARKING SIGN AT EACH DESIGNATED
• TREES PROVIDED:	6.0	ADA PARKING STALL.
• SHRUBS REQUIRED (1/3 ft - 50%):	31.2	H. COORDINATE ALL UTILITY CROSSING INCLUDING;
• SHRUBS PROVIDED:	55	STORM DRAINS, WATER, AND GAS LINES.

PARKING DATA:

REQUIRED PARKING CALCULATIONS	
• PLACE OF WORSHIP (1 stall / 1,000 sf @ 2,542 sf):	3
• ALL OTHER AREAS (3 stalls / 1000 sf @ 2,324 sf):	7
• REQUIRED ADA STALLS (1 ada / 25 stalls):	1
TOTAL REQUIRED STALLS	11
PROPOSED PARKING	
• EXISTING STALLS	0
• NEW STANDARD STALLS	18
• NEW ADA STALLS	2
TOTAL PROVIDED PARKING	20
INTERIOR PARKING LOT LANDSCAPE	
• TOTAL PARKING LOT AREA:	11,343 sf
• LANDSCAPE AREA REQUIRED (5%):	567.2 sf
• LANDSCAPE AREA PROVIDED:	628 sf
• REQUIRED TREES (1/120 sf):	5
• PROVIDED TREES:	5
PARKING LOT PERIMETER PLANTING	
• NORTH PERIMETER:	184.5 lf
• TREES REQUIRED (1/30 ft):	6
• TREES PROVIDED:	6
• SHRUBS REQUIRED (1/3 ft -100%):	62
• SHRUBS PROVIDED:	67
• WEST PERIMETER:	76.5 lf
• TREES REQUIRED (1/30 ft):	3
• TREES PROVIDED:	3
• SHRUBS REQUIRED (1/3 ft -100%):	26
• SHRUBS PROVIDED:	25
REQUIRED BIKE PARKING	
• 5% OF PROVIDED VEHICULAR PARKING (24) =	1
TOTAL PROVIDED BIKE PARKING	2

GENERAL NOTES:

A. TAX PARCEL #15-14-252-013-0000. LEGAL	DESCRIPTION: BEG E 12 RDS & N 455.395 FT FR SW
B. TAX PARCEL #15-14-252-014-0000. LEGAL	DESCRIPTION: BEG E 198 FT & N 317.895 FT FR CEN
C. OFF-STREET PARKING IS TO COMPLY WITH SALT LAKE CITY ORDINANCE (21A.44.020) AND RELATED SECTIONS.	
D. LANDSCAPE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO. LANDSCAPE BUFFERS ARE TO COMPLY WITH SALT LAKE CITY ORDINANCE (21A.48) AND RELATED SECTIONS.	
E. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE DISCREPANCIES WITH ARCHITECT.	
F. DO NOT SCALE DRAWINGS.	
G. PROVIDE ADA PARKING SIGN AT EACH DESIGNATED ADA PARKING STALL.	
H. COORDINATE ALL UTILITY CROSSING INCLUDING; STORM DRAINS, WATER, AND GAS LINES. COORDINATE DEMO WORK AND SCHEDULING WITH CIVIL AND LANDSCAPING. PROVIDE BLOCK OUTS FOR UTILITY TO PASS THRU FOUNDATION WALLS. SEE TYPICAL DETAILS IN CIVIL, LANDSCAPE AND STRUCTURAL.	
I. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE EXISTING SITE CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO BEGINNING WORK AND TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OF STATED VERSUS ACTUAL SITE CONDITIONS. SHOULD DISCREPANCIES EXIST THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING WRITTEN NOTICE OF SUCH DISCREPANCIES DELIVERED TO THE ARCHITECT ON CONTRACTOR COMPANY LETTERHEAD PRIOR TO BEGINNING WORK. IN THE EVENT THE CONTRACTOR FAILS TO VERIFY AND CONFIRM THE STATED VERSUS ACTUAL SITE CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO BEGINNING WORK AND DISCREPANCIES DO IN FACT EXIST, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL MODIFICATIONS TO CONSTRUCTION WORK AS DIRECTED BY THE ARCHITECT INCLUDING REPLACEMENT OF HARDSCAPE ITEMS, FIXTURES AND SITE IMPROVEMENTS AT NO ADDITIONAL COST TO THE OWNER.	
J. SEE LANDSCAPE, ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.	



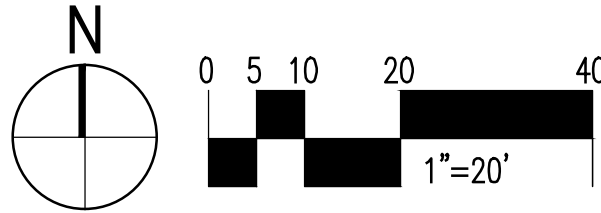
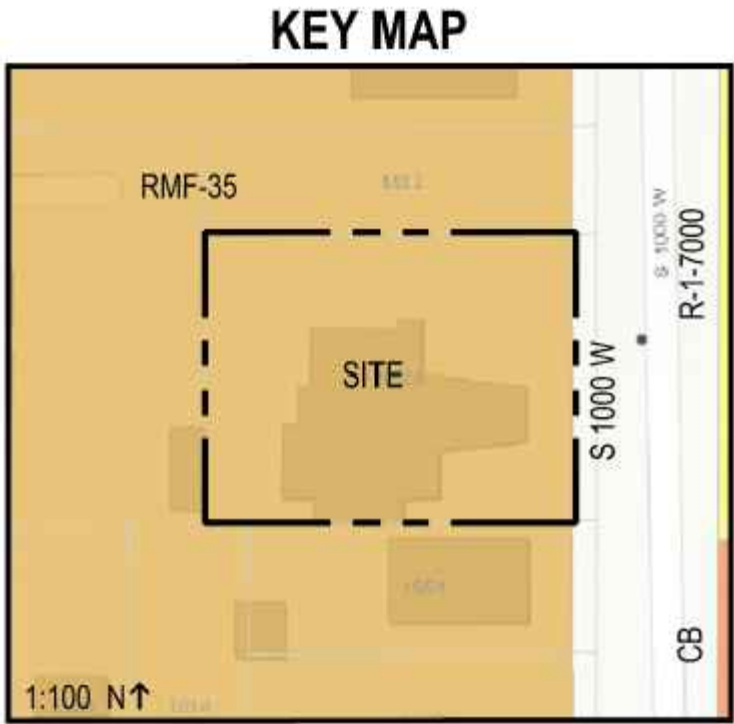
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SAMOAN INDEPENDENT SEVENTH-DAY ADVENTIST CHURCH
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#	Date	Revision
1	05/03/21	City Comments



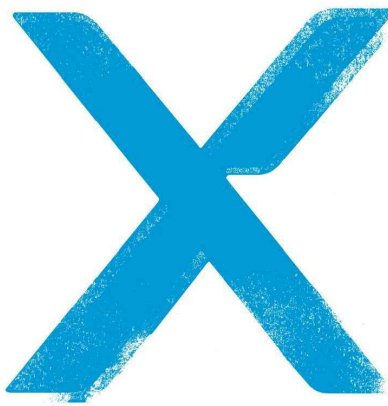
CONSTRUCTION DOCUMENTS

NEXUS PROJECT #: 18030
CHECKED BY: CS
DRAWN BY: TS
DATE: 02.14.20

SITE IMPROVEMENTS PLAN

AS101

SYMBOL	DESCRIPTION	QTY	DETAIL
SI-101	ASPHALT PAVING	11,345 sf	(SEE CIVIL)
SI-102	ASPHALT STRIPING COLOR: WHITE	NA	A4, B4 AS701
SI-103	4" CONCRETE PAVING MEDIUM BROOM FINISH, STANDARD GRAY COLOR	2,045 sf	(SEE CIVIL)
SI-104	6" REINFORCED CONCRETE PAVING MEDIUM BROOM FINISH, STANDARD GRAY COLOR	160 sf	(SEE CIVIL)
SI-105	8" REINFORCED CONCRETE PAVING MEDIUM BROOM FINISH, STANDARD GRAY COLOR	66.5 sf	(SEE CIVIL)
SI-106	SAW CUT CONTROL JOINT	NA	A5 AS701
SI-107	EXPANSION JOINT	NA	B5 AS701
SI-108	CONCRETE CURB AND GUTTER MEDIUM BROOM FINISH, STANDARD GRAY COLOR	NA	(SEE CIVIL)
SI-109	ADA SIGN, AS APPROVED	2	C4 AS701
SI-110	ADA RAMP	2	C5 AS701
SI-111	TRUNCATED DOME STRONGGO INDUSTRIES, TEKWAY DOME PAVER	1	D5 AS701
SI-112	THE RAMBLER WIDE BIKE RACK TYPE: 5/8" x 2 1/2" STEEL FLAT BAR, SIZE: 16"w x 36"h, EMBED MOUNT, COLOR: MATTE BLACK BK-08	2	C1, D1 AS702
SI-113	6' FENCE AMERISTAR MONTAGE II GENESIS LINE, 3 RAIL PANEL, PERMACOAT FINISH, COLOR: BLACK,	711 lf	C4 AS702
SI-114	6' DOUBLE SWING GATE AMERISTAR MONTAGE II GATE, GENESIS LINE, 3 RAIL, PERMACOAT FINISH, COLOR: BLACK	2	A1, A2 AS702
SI-115	6' SINGLE SWING GATE AMERISTAR MONTAGE II GATE, GENESIS LINE, 3 RAIL, PERMACOAT FINISH, COLOR: BLACK	1	C2 AS702
SI-116	TRASH/RECYCLING ENCLOSURE CMU WALL STRUCTURAL MASONRY STYLE	1	A1, B2, D2 AS701
SI-117	TRASH/RECYCLING ENCLOSURE SOLID STEEL GATE PRIMER: SHERWIN WILLIAMS PRO INDUSTRIAL PROCRYL UNIVERSAL PRIMER, FINISH: SHERWIN WILLIAMS SHER-CRY SAFETY BLACK	1	A1, B2, D2 AS701
SI-118	ALUMINUM LANDSCAPE EDGING PERMALOC, CLEANLINE, MILL FINISH, 1/8"x4", INSTALL PER MANUFACTURER'S SPECIFICATIONS	365 lf	D3 AS701
SI-119	LANDSCAPE FORMS PAL-72-S, BY OWNER PALISADE 72 SURFACE MOUNT, BACKLESS BENCH	3	A2 AS701
SI-120	DIRECTIONAL ARROW, BY OWNER COLOR: WHITE	2	SEE PLAN
SI-122	DOWNSPOUT POP-UP NDS 4 IN. PLASTIC POP-UP DRAINAGE EMITTER WITH 4" COREX DRAIN PIPE PERFORATED WITH SOCK		



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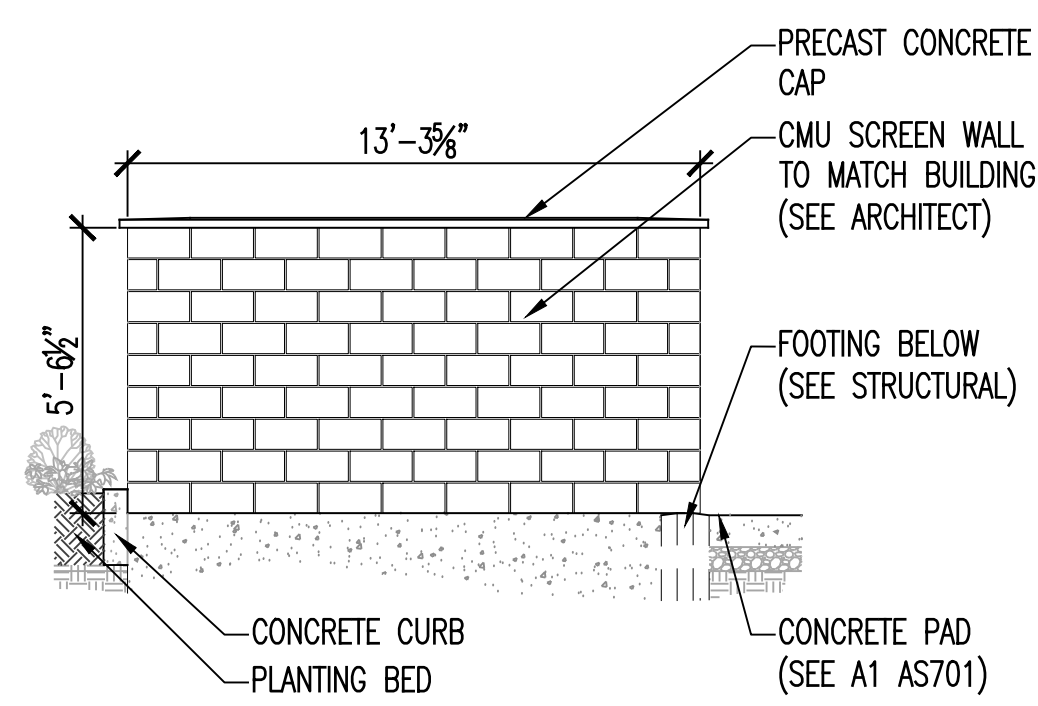
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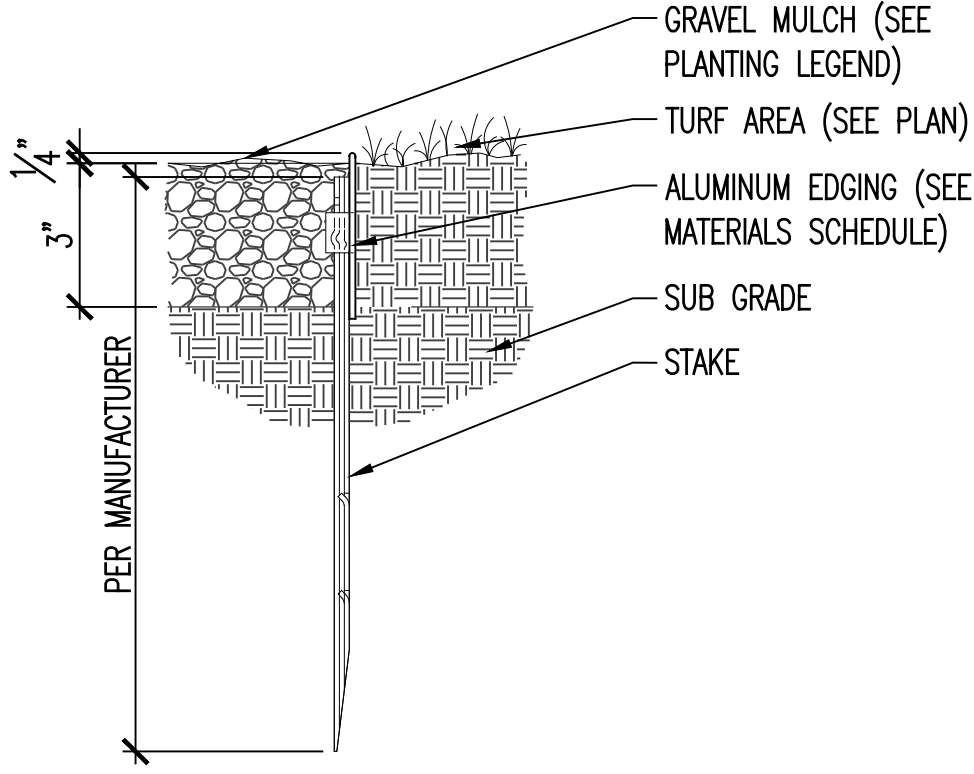
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CHECKED BY: CS
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DATE: 02.14.20

SITE IMPROVEMENT
MATERIALS AND
FINISHES SCHEDULE

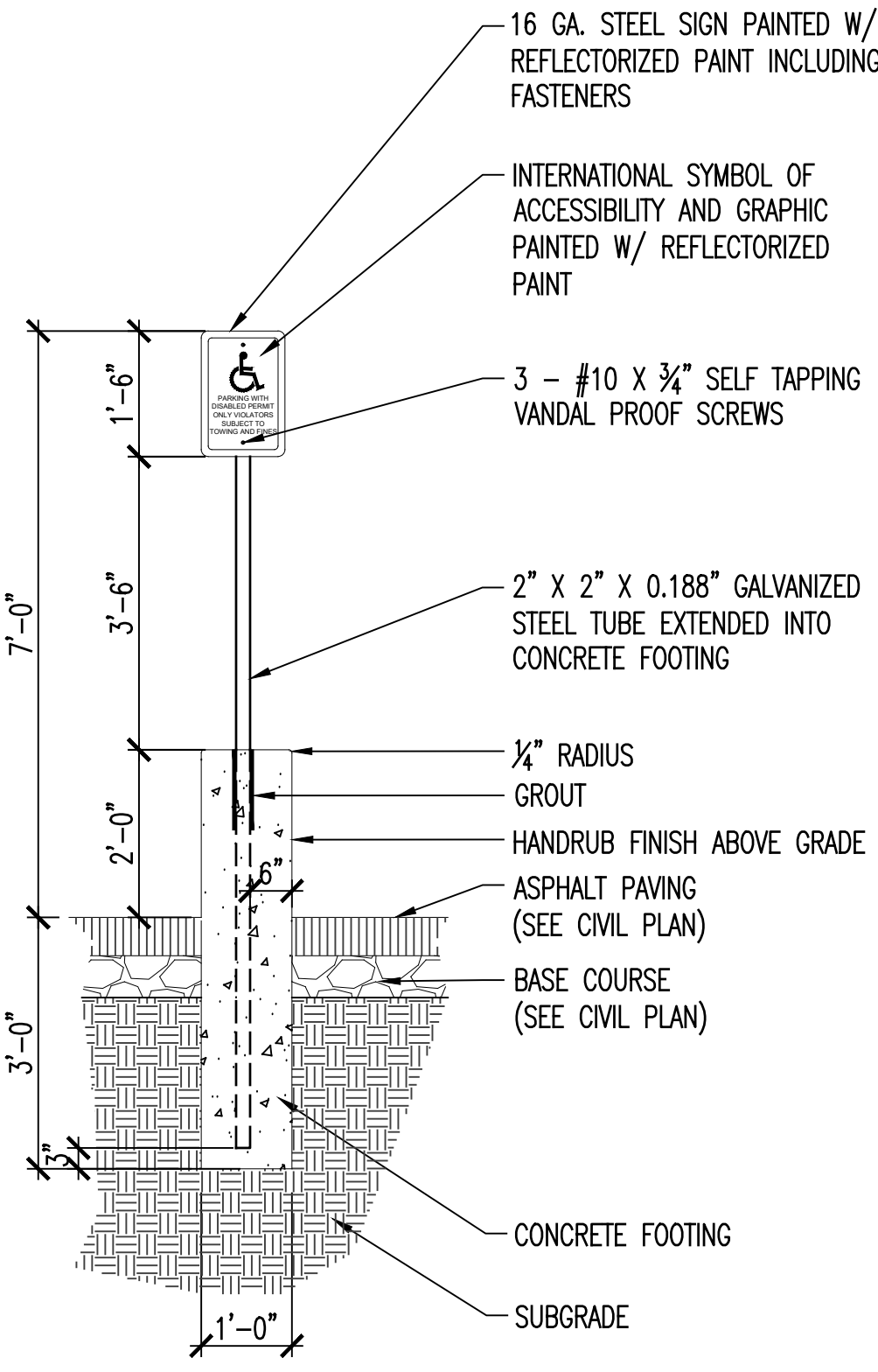
AS601



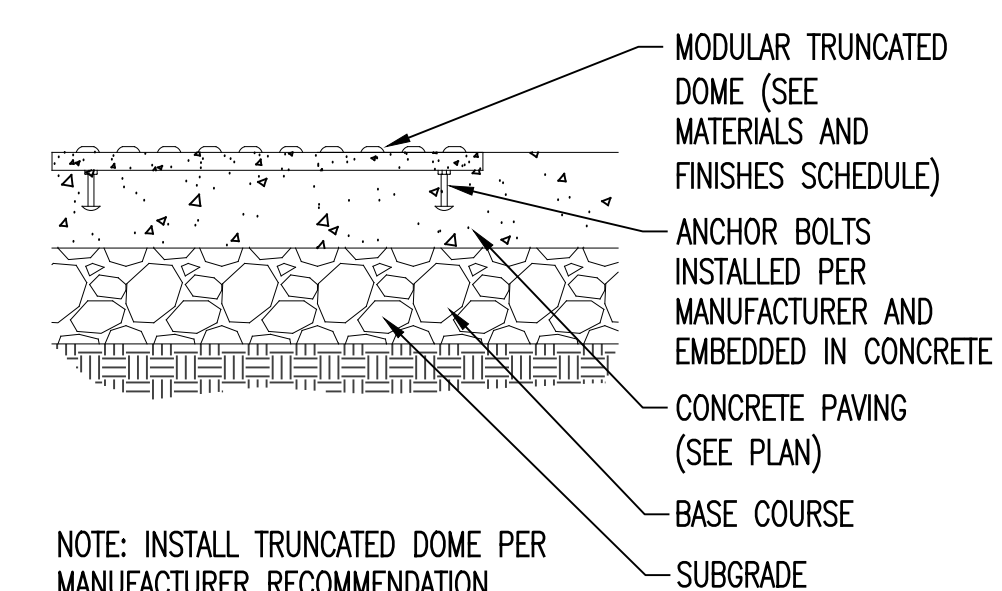
D2 TRASH/RECYCLING ENCLOSURE CMU WALL
AS701 SCALE: NTS



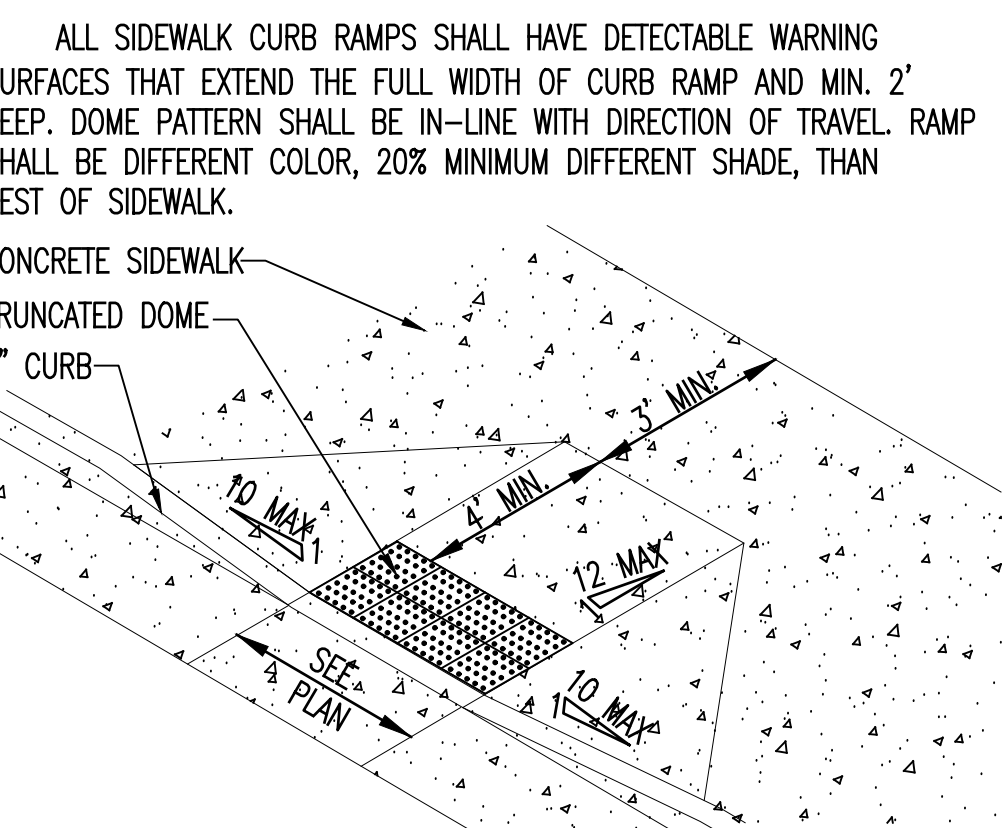
D3 ALUMINUM EDGING
AS701 SCALE: 3\"/>



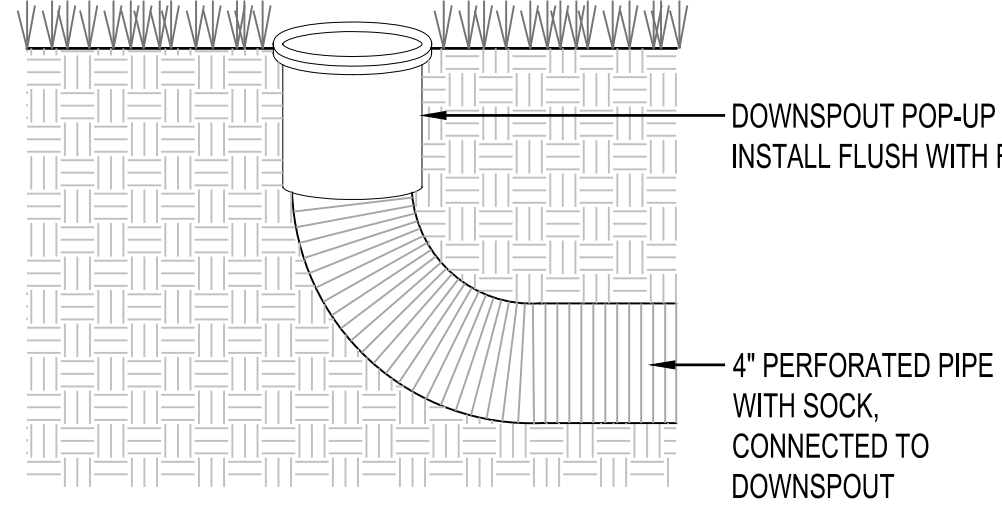
C4 PARKING SIGN IN ASPHALT PAVING
AS701 SCALE: 1/2\"/>



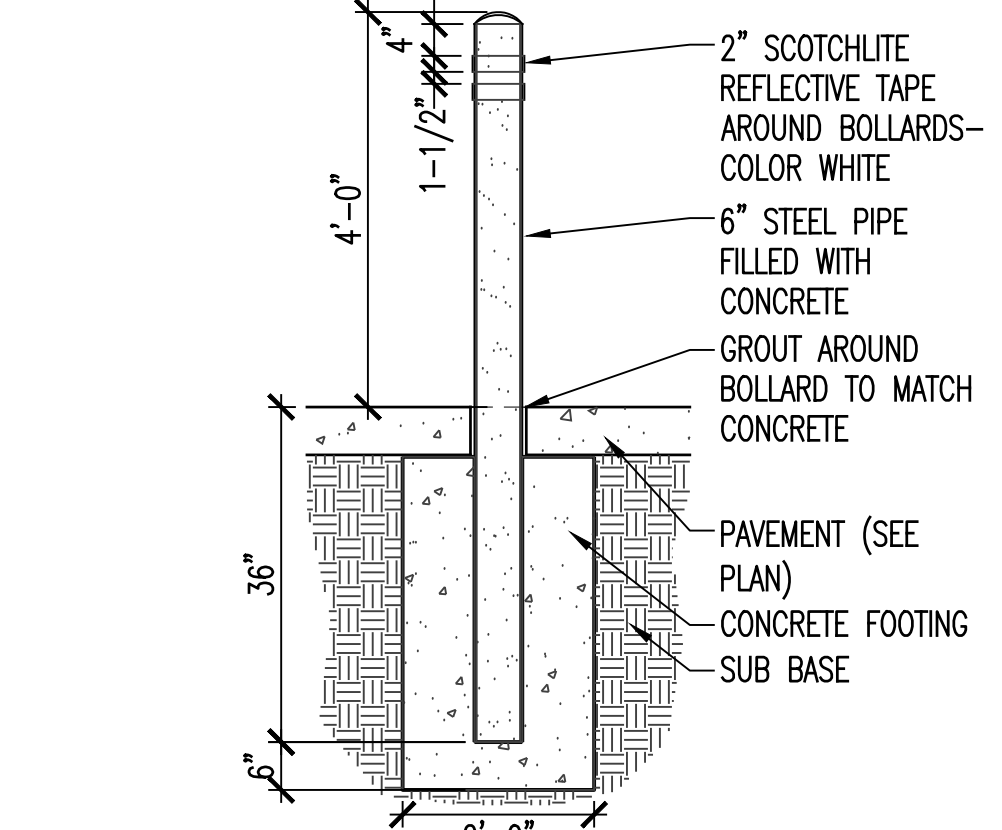
D5 TACTILE WARNING TILES
AS701 SCALE: 1 1/2\"/>



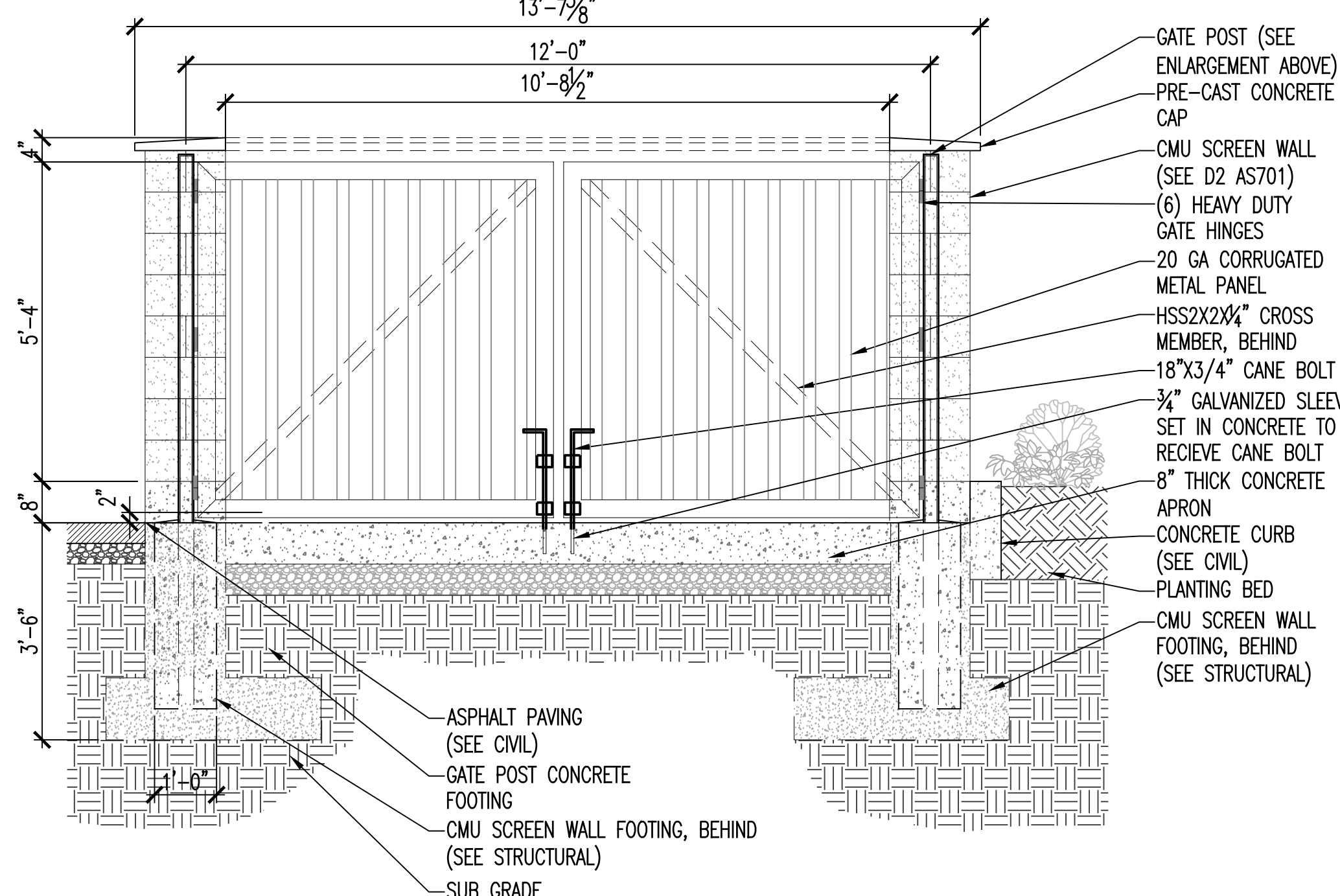
C5 ACCESSIBLE RAMP DETAIL
AS701 NTS



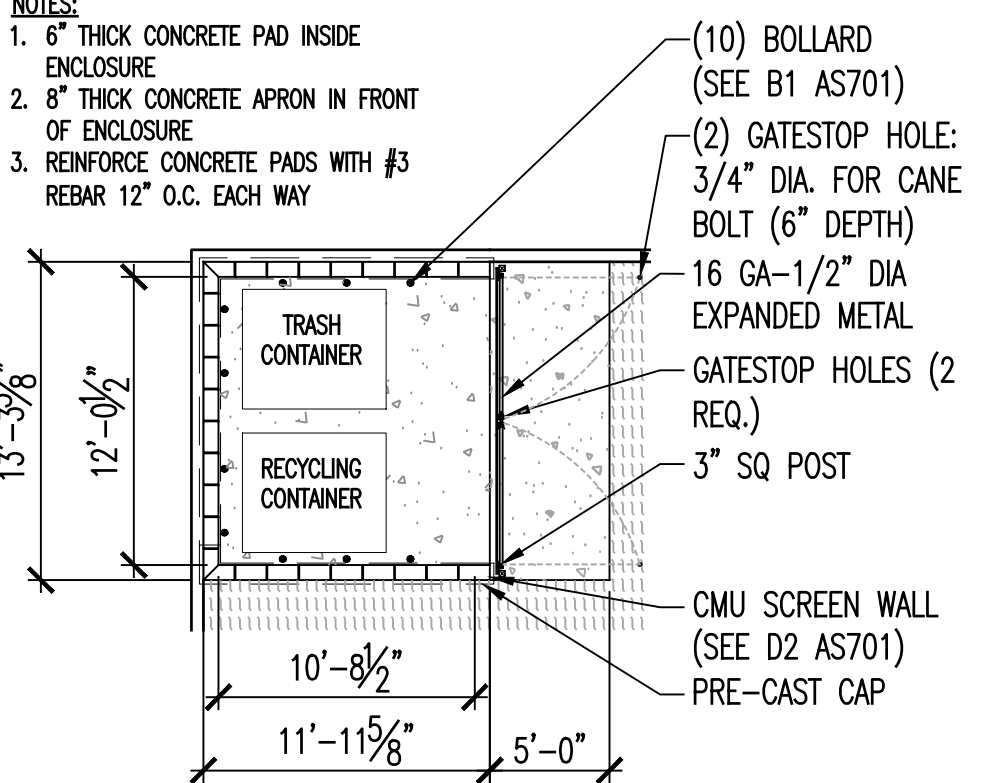
C1 DOWNSPOUT POP-UP
AS701 1 1/2\"/>



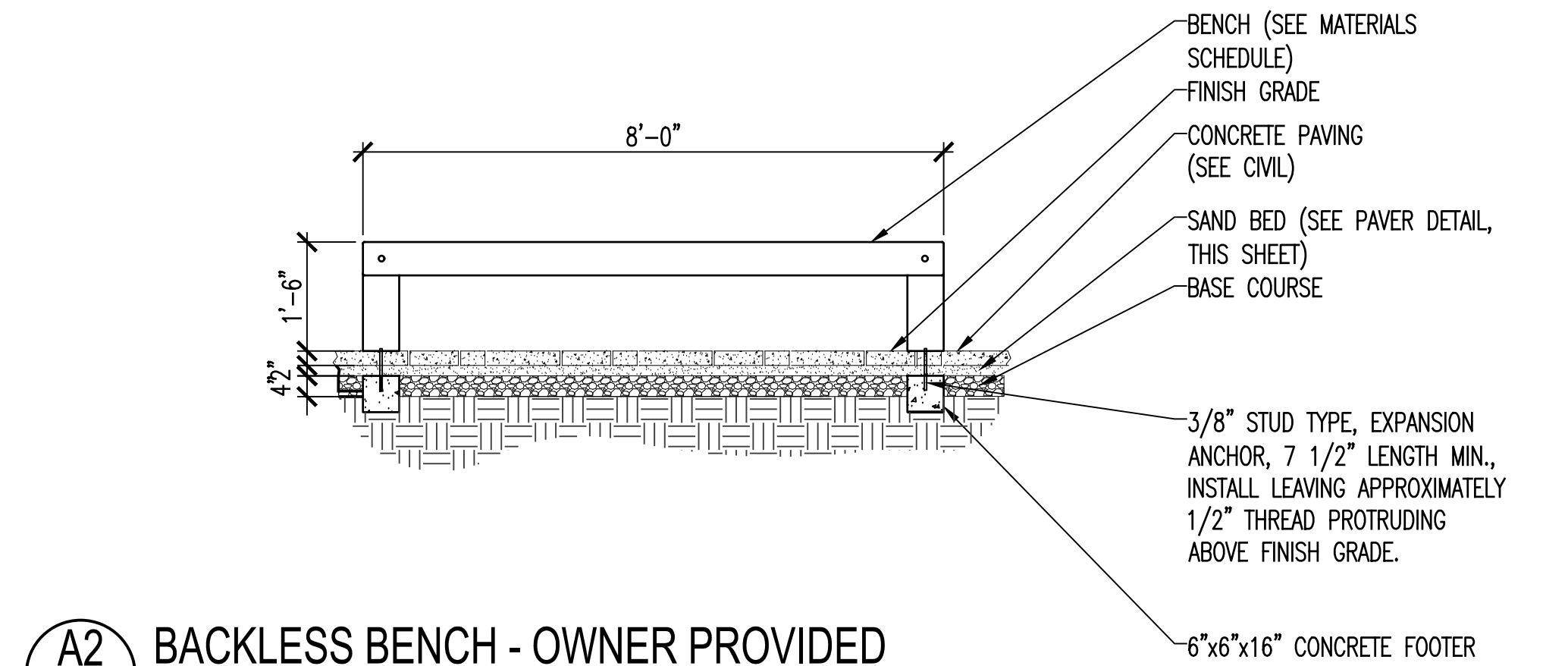
B1 BOLLARD AT TRASH/RECYCLING ENCLOSURE
AS701 SCALE: 1/2\"/>



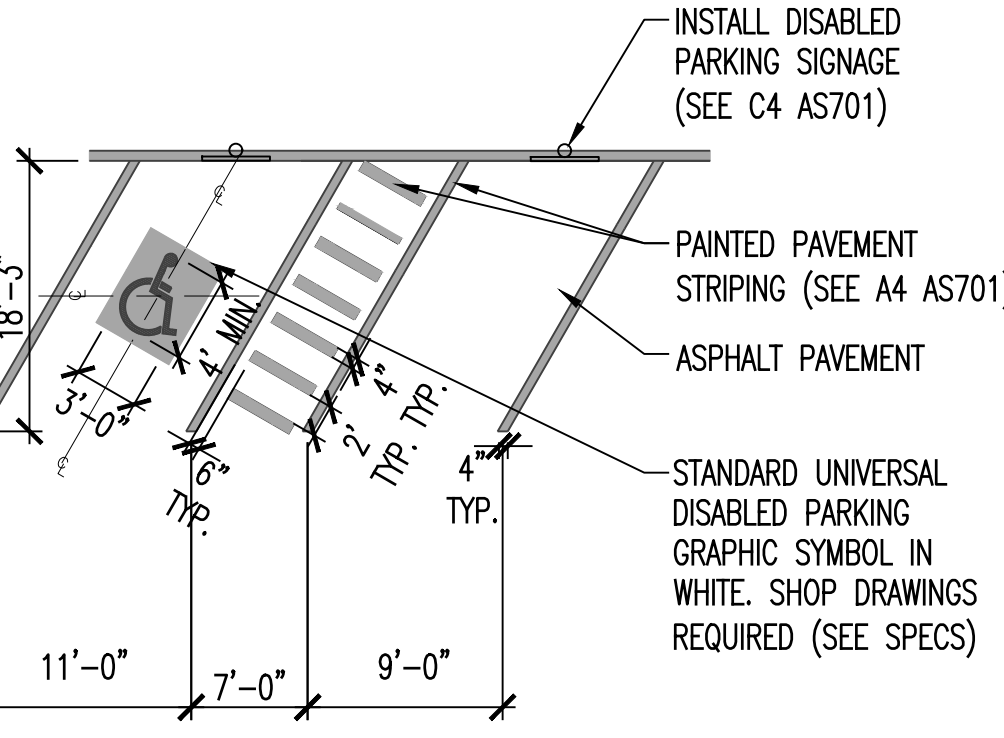
B2 TRASH/RECYCLING ENCLOSURE W/ DECORATIVE GATE
AS701 SCALE: 1/2\"/>



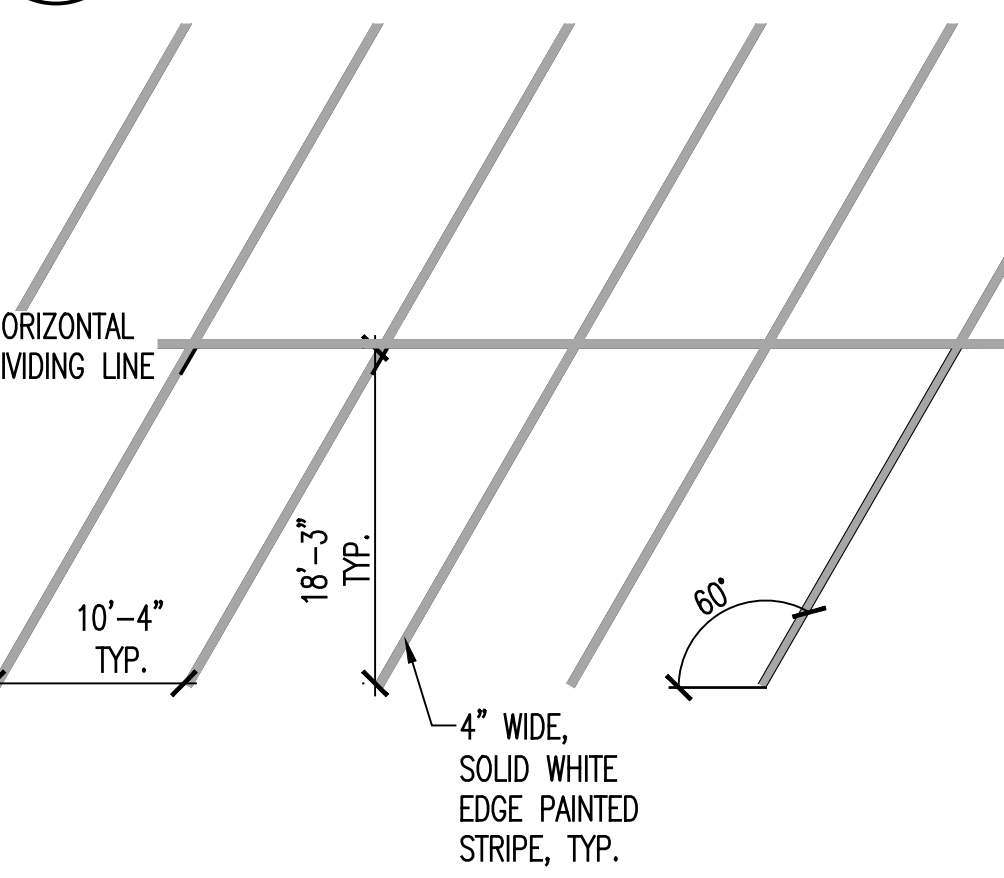
A1 TRASH/RECYCLING ENCLOSURE
AS701 SCALE: 1/8\"/>



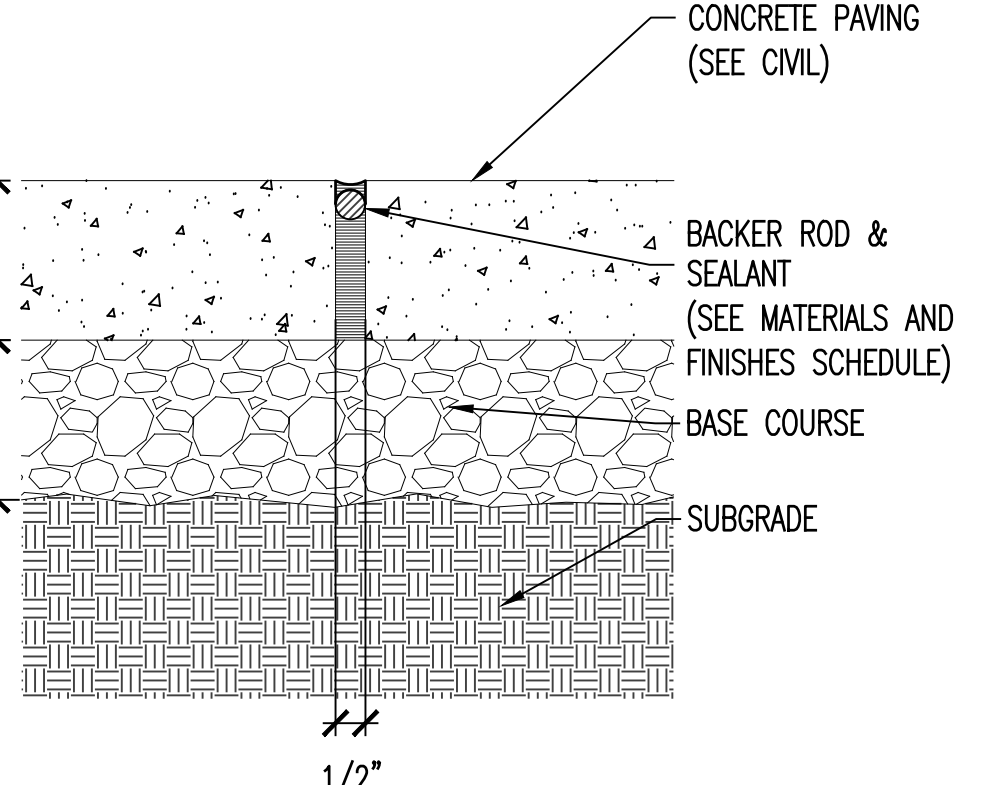
A2 BACKLESS BENCH - OWNER PROVIDED
AS701 SCALE: 1/2\"/>



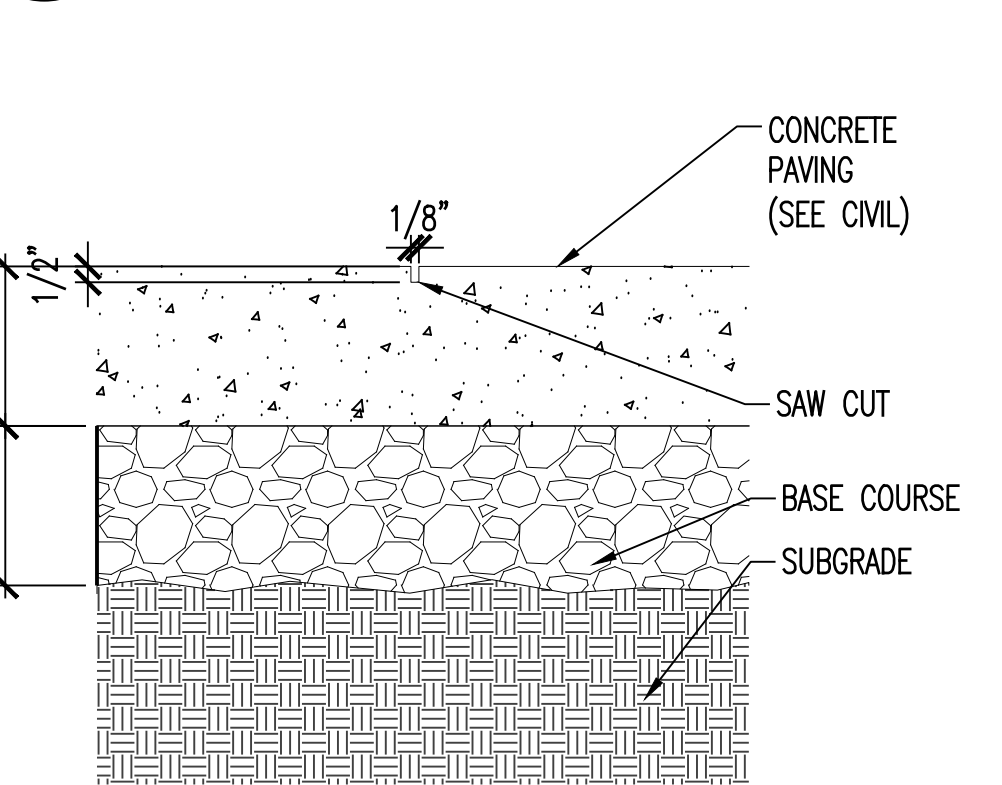
B4 ADA UNIVERSAL STRIPING
AS701 NTS 60 DEGREE



A4 60 DEGREE STRIPING PLAN
AS701 NTS



B5 EXPANSION JOINT
AS701 SCALE: 2\"/>



A5 SAW CUT JOINT
AS701 SCALE: 2\"/>



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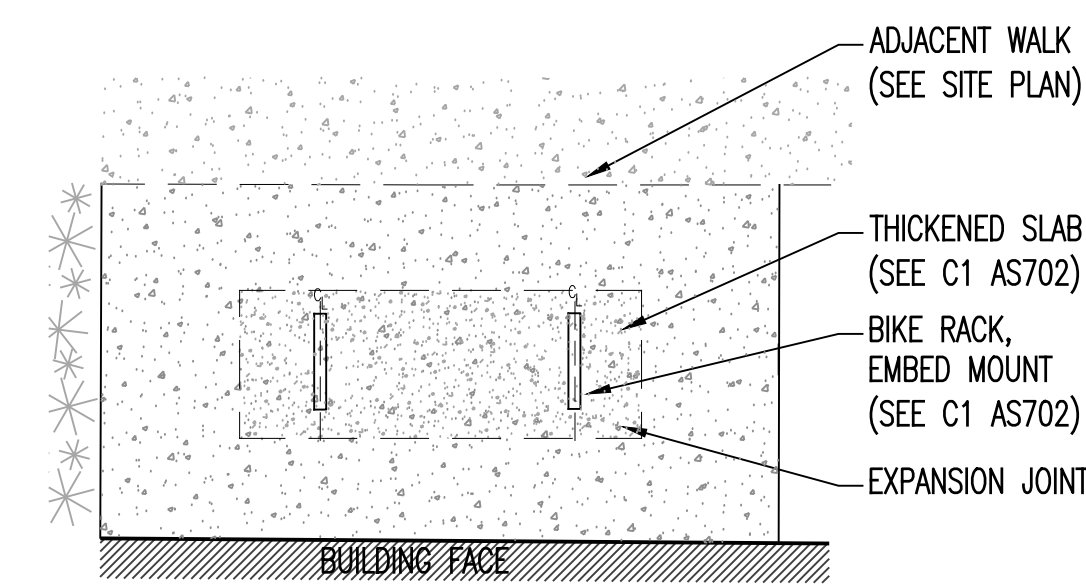
#	Date	Revision
△	10.19.2018	BW POST BID ADDENDUM A
△	04.01.2019	ZY CCD #01

CONSTRUCTION DOCUMENTS

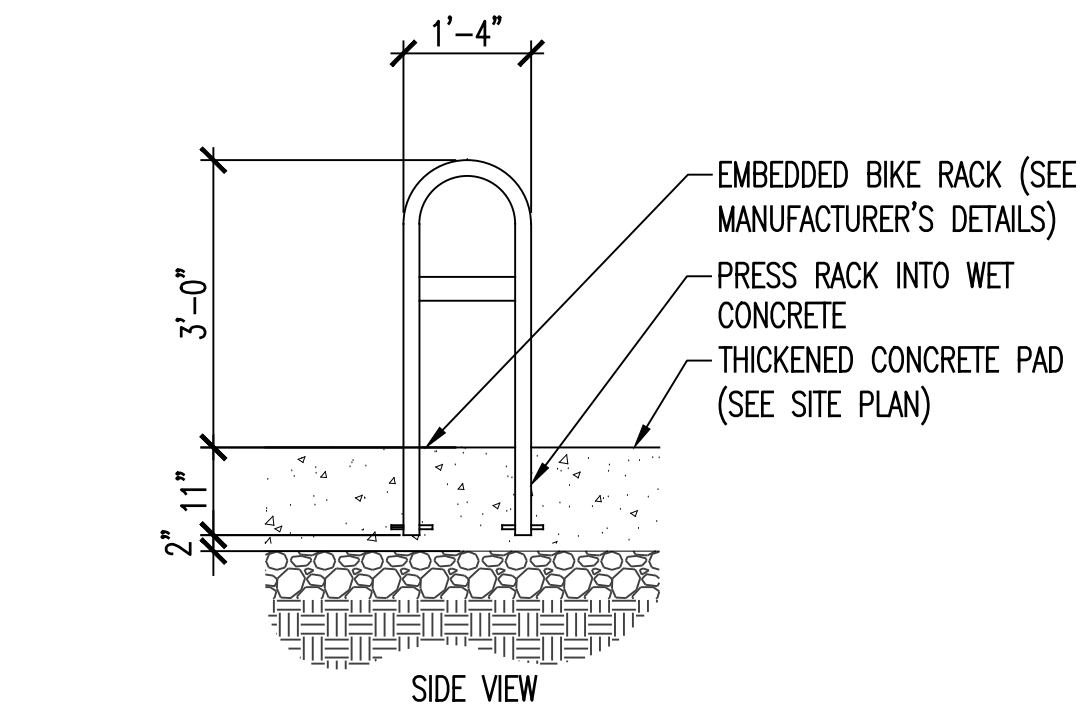
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CHECKED BY: CS
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DATE: 02.14.20

SITE IMPROVEMENT DETAILS

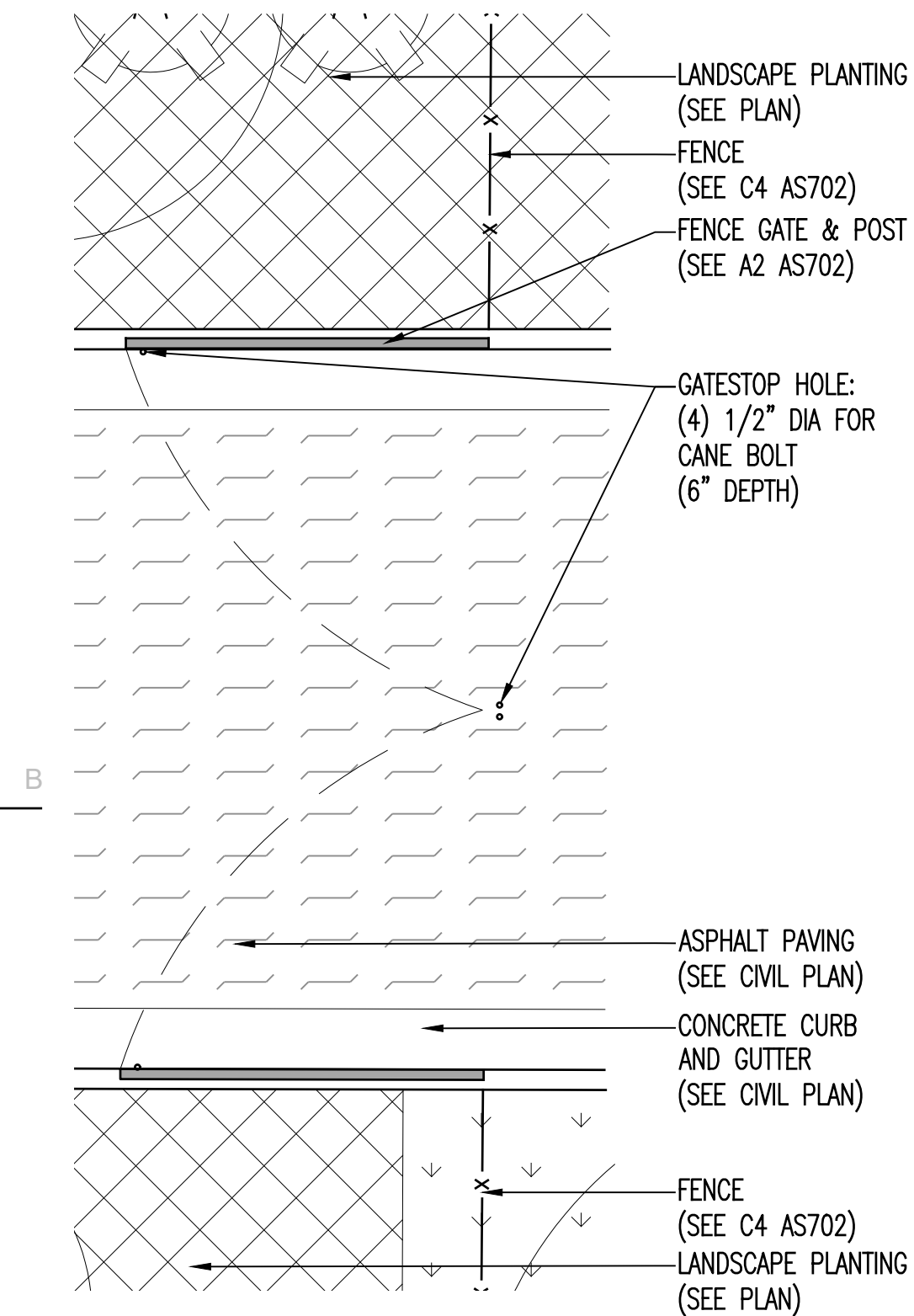
AS701



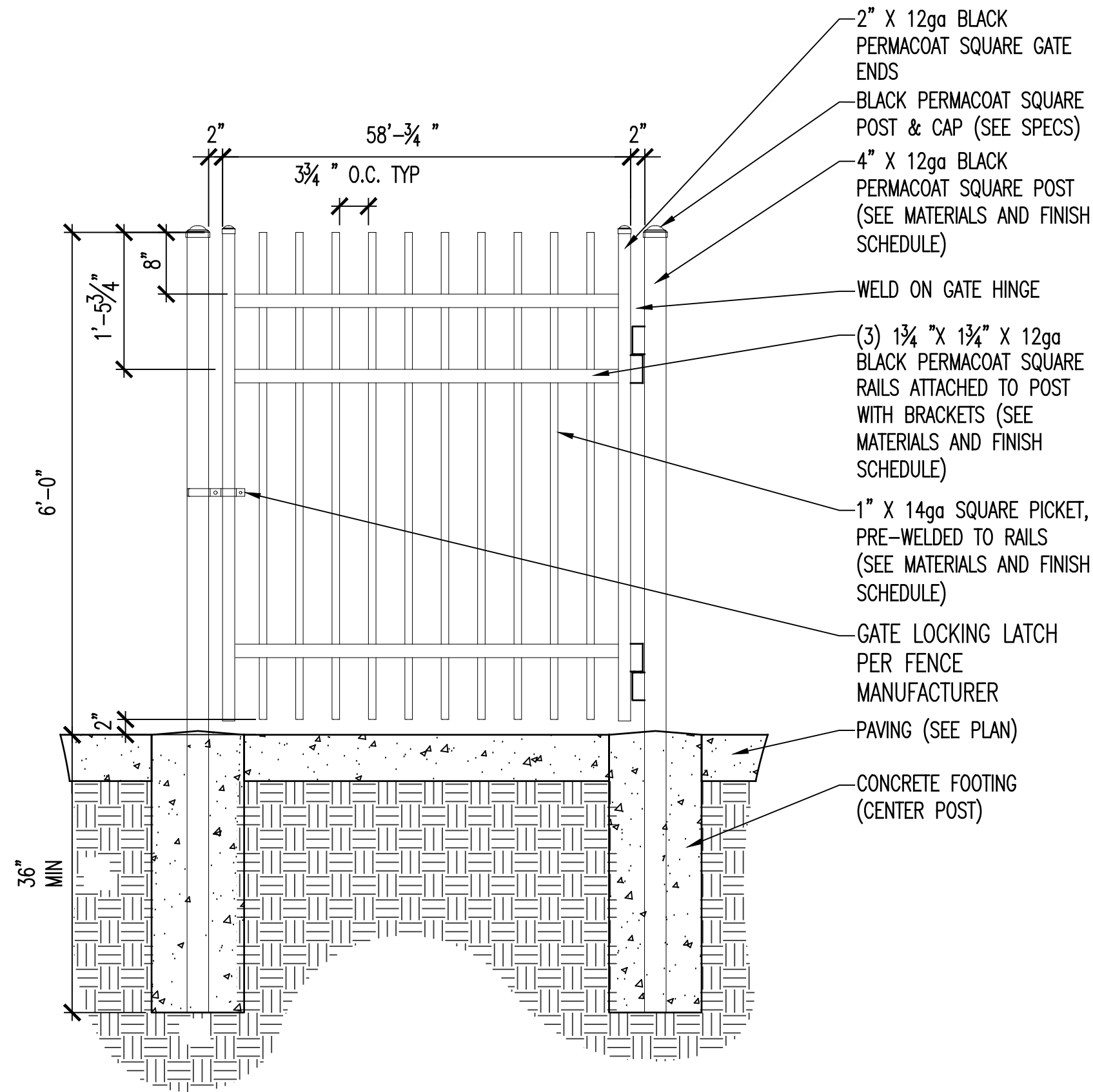
D1 BIKE RACK LAYOUT
AS702 SCALE: 3/8" = 1'-0"



C1 BIKE RACK
AS702 SCALE: 1/2" = 1'-0"

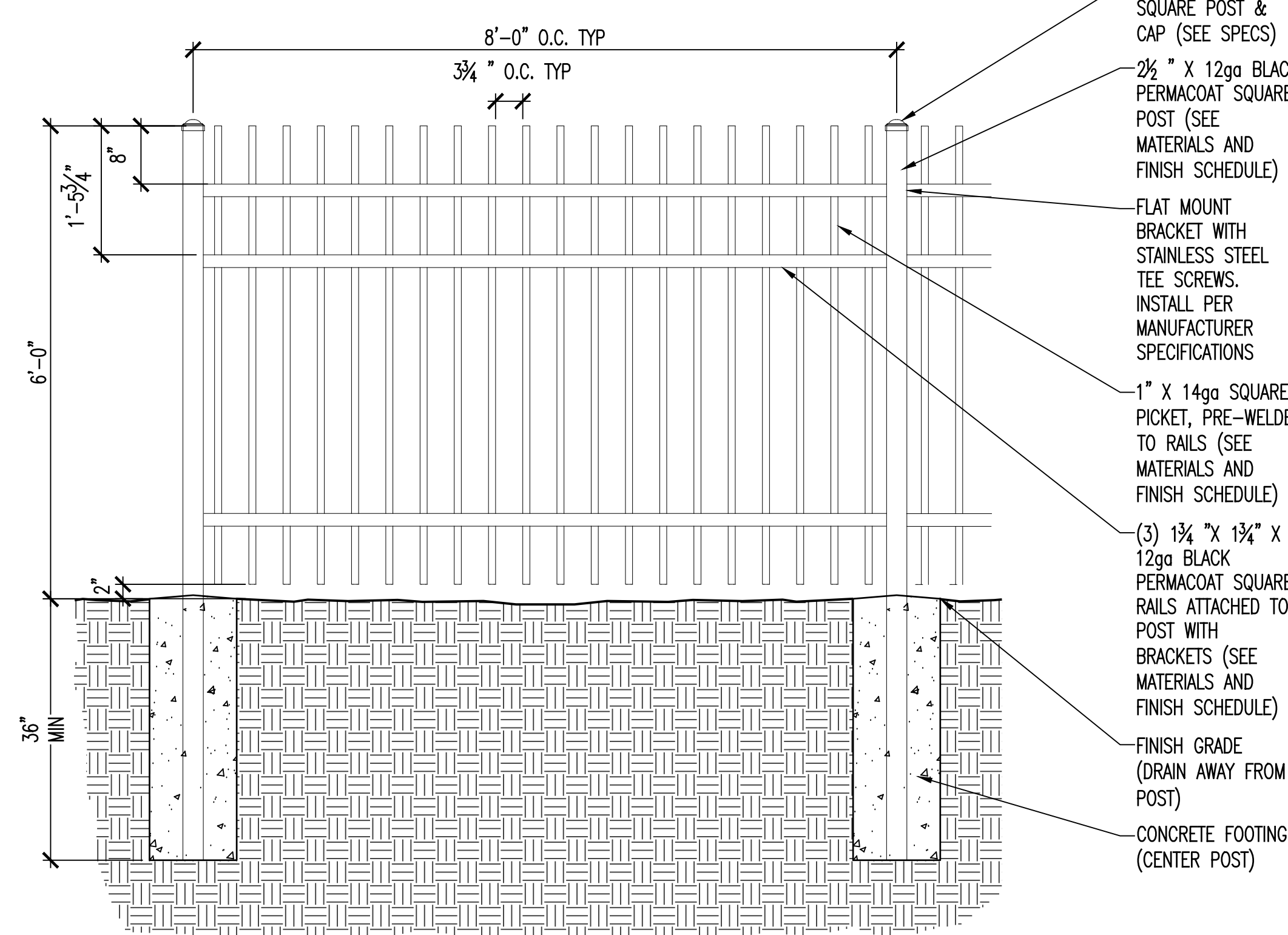


A1 CANTILEVER GATE - PLAN VIEW
AS702 SCALE: 1/2" = 1'-0"



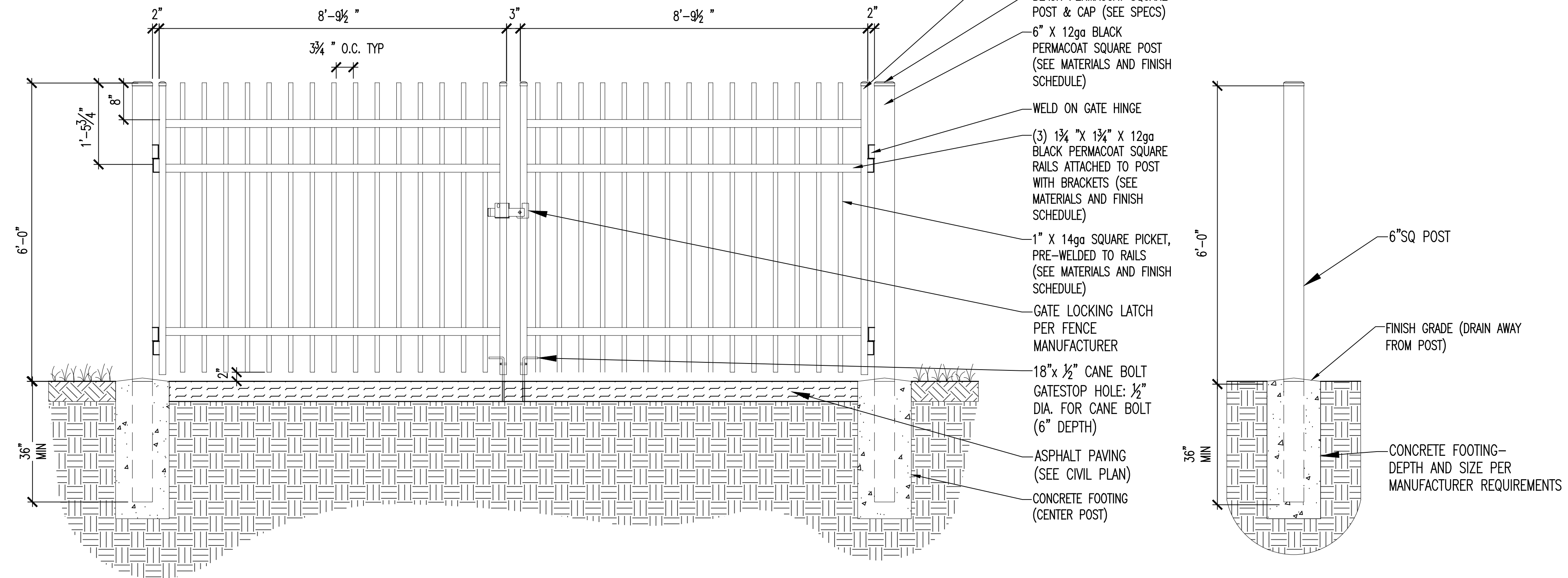
C2 PEDESTRIAN GATE
AS702 SCALE: 3/4" = 1'-0"

NOTE: INSTALL PER MANUFACTURERS STANDARD



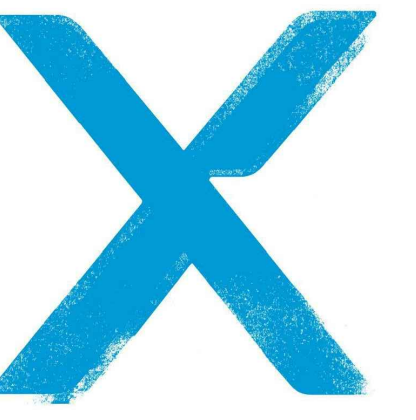
C4 FENCE
AS702 SCALE: 3/4" = 1'-0"

NOTE: INSTALL PER MANUFACTURERS STANDARD



A2 VEHICULAR TRAFFIC GATE
AS702 SCALE: NTS

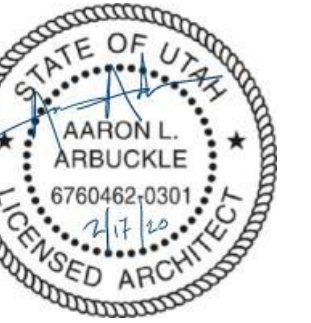
NOTE: INSTALL PER MANUFACTURERS STANDARD



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Date Revision

CONSTRUCTION DOCUMENTS

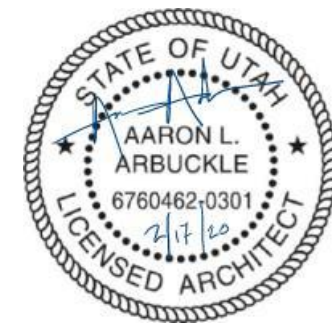
NEXUS PROJECT #: 18030
CHECKED BY: CS
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SITE IMPROVEMENT DETAILS

AS702

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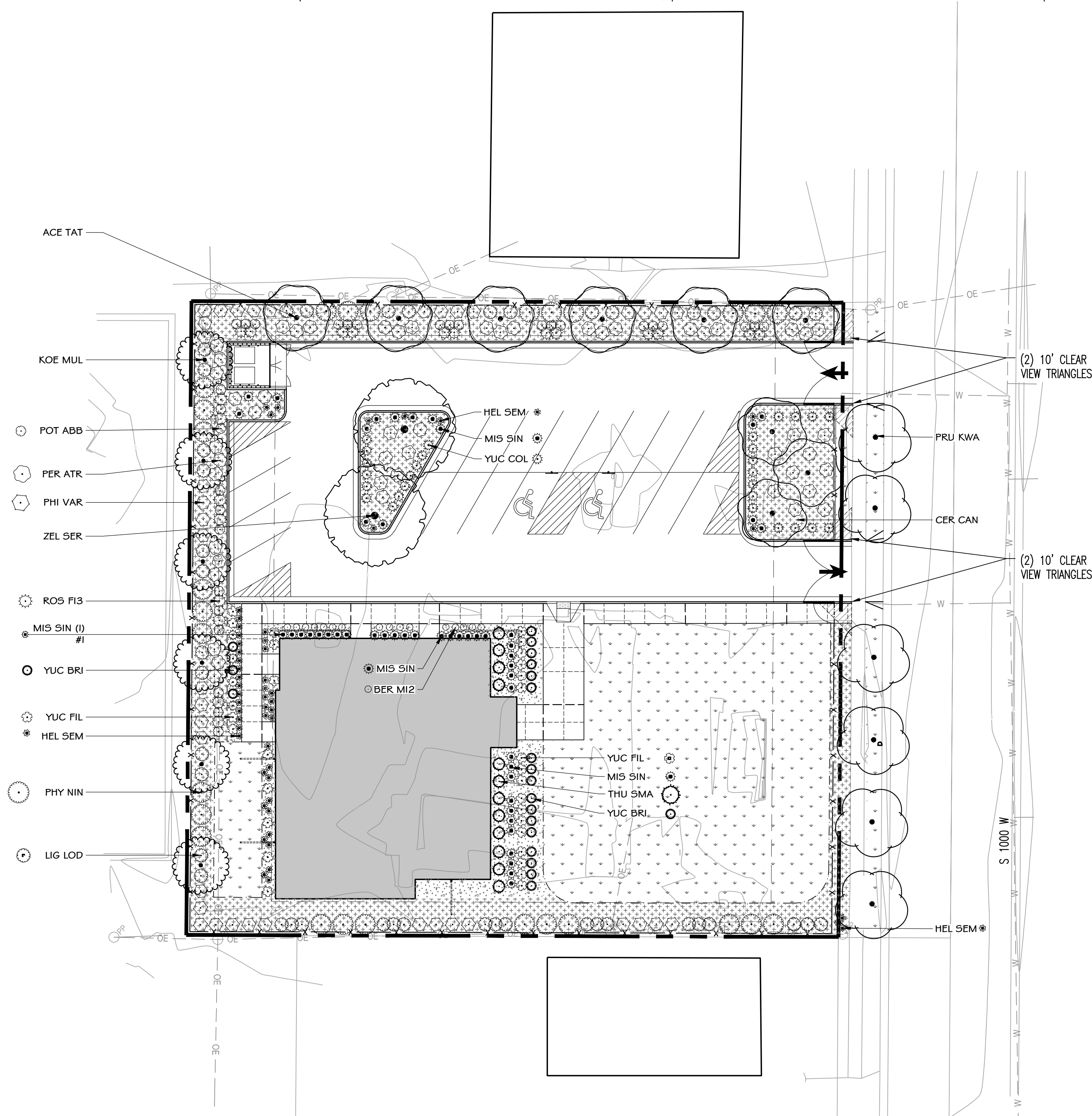
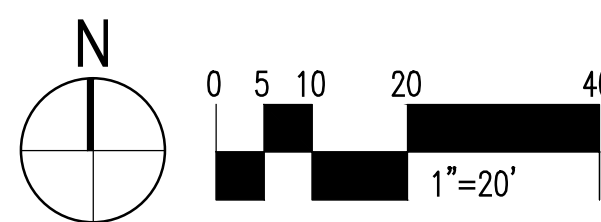


#	Date	Revision
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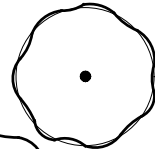
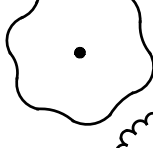
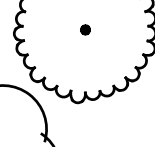
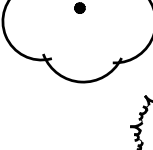

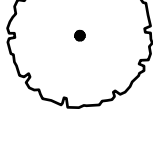












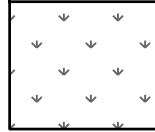
NEXUS PROJECT #: 1803
CHECKED BY: CS
DRAWN BY: TS
DATE: 02.14.2018

PLANTING PLAN

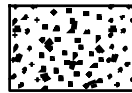

LP101

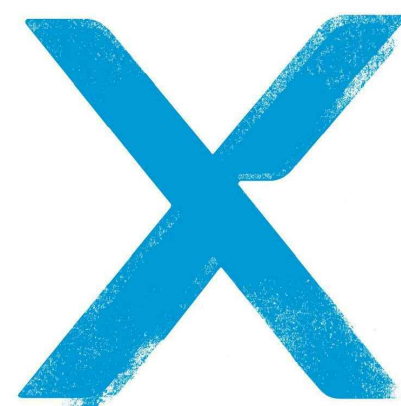


PLANTING SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	MATURE SIZE (HXW)	QTY
	ACE TAT	ACER TATARICUM	TATARIAN MAPLE	2" CAL.	25'X20'	6
	CER CAN	CERCIS CANADENSIS	EASTERN REDBUD	2" CAL.	20'X20'	3
	KOE MUL	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	2" CAL.	25'X20'	6
	PRU KWA	PRUNUS SERRULATA 'KWANZAN'	FLOWERING CHERRY	2" CAL.	25'X20'	6
	THU SMA	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	5'—6'	15'X4'	12
	ZEL SER	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2" CAL.	50'X40'	2
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	MATURE SIZE (HXW)	QTY
	BER MI2	BERBERIS THUNBERGII 'MIMI' TM	SUNJOY MINI SALSA BARBERRY	#2	2'X2'	16
	LIG LOD	LIGUSTRUM VULGARE 'LODENSE'	LODENSE PRIVET	#5	4'X4'	42
	PER ATR	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#5	4'X4'	46
	PHI VAR	PHILADELPHUS X 'BUCKLEY'S QUILL'	BUCKLEY'S QUILL MOCKORANGE	5 GAL.	6'X4'	38
	PHY NIN	PHYSOCARPUS OPULIFOLIUS 'SUMMER WINE'	SUMMER WINE NINEBARK	5 GAL.	6'X6'	27
	POT ABB	POTENTILLA FRUTICOSA 'ABBOTSWOOD'	ABBOTSWOOD POTENTILLA	5 GAL.	3'X3'	30
	ROS FI3	ROSA MEIDILAND SERIES 'FIRE'	FIRE MEIDILAND ROSE	5 GAL.	2'X4'	20
PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	MATURE SIZE (HXW)	QTY
	YUC FIL	YUCCA FILAMENTOSA	ADAM'S NEEDLE	3 GAL.	3'X3'	29
	YUC BRI	YUCCA FILAMENTOSA 'BRIGHT EDGE'	ADAM'S NEEDLE	3 GAL.	3'X3'	20
	YUC COL	YUCCA FILAMENTOSA 'COLOR GUARD'	ADAM'S NEEDLE	3 GAL.	3'X3'	30
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	MATURE SIZE (HXW)	QTY
	HEL SEM	HELICTOTRICHON SEMPERVIRENS 'BLUE OATS'	BLUE OAT GRASS	1 GAL.	36"X24"	50
	MIS SIN	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO MAIDEN GRASS	#1	3'X3'	49
SOD/SEED	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	MATURE SIZE (HXW)	QTY
	POA PRA	SOD BIONATIVE FROM BIOGRASS, OR EQUAL	BLUEGRASS	SOD		1,543 SF

MATERIALS

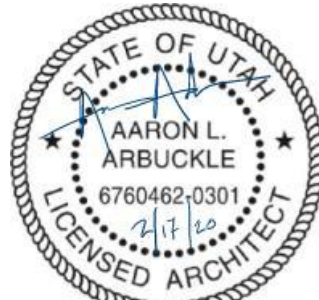
SYMBOL	DESCRIPTION	QTY	DETAIL
	CALICO COBBLE ROCK MULCH STAKER PARSONS, 1"—2" IN SIZE, MULTI-COLORED DECORATIVE ROCK (LOCATED @ BUILDING APRON)	15 cy	C4 LP701
	BARK MULCH, STAKER PARSONS, COLOR: BLACK	60 cy	C2 LP701
	WEED BARRIER FABRIC, DeWITT, 6'x250',COLOR: BLACK, 5 oz. WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC, APPLICATION FOR PLANTING BEDS WITH CALICO COBBLE	1,900 sf	C4 LP701



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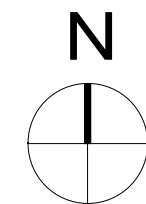
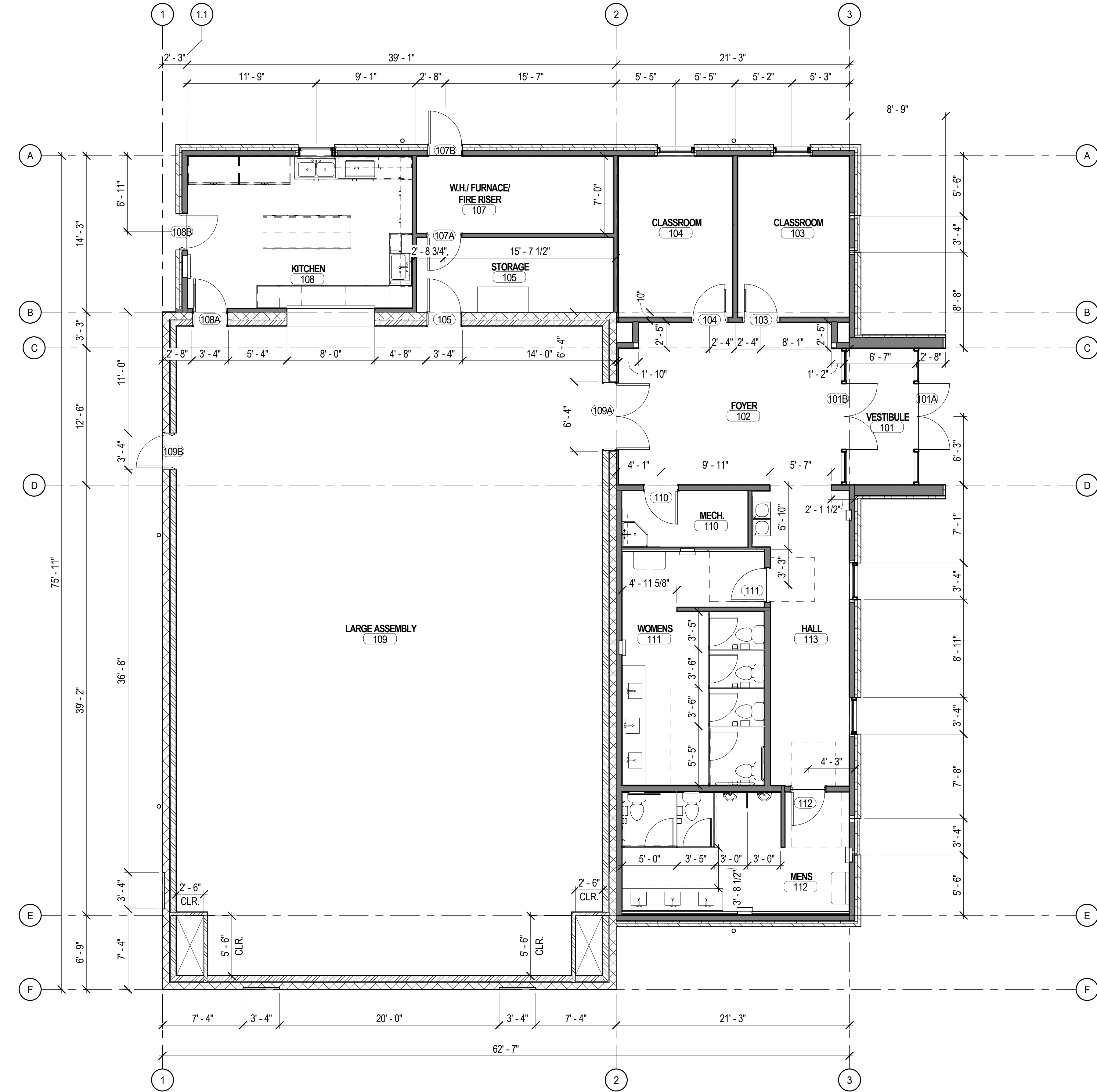
Date Revision

CONSTRUCTION DOCUMENTS

NEXUS PROJECT #: 18030
CHECKED BY: CS
DRAWN BY: TS
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PLANTING LEGEND

LP601



A1 LEVEL 01 - DIMENSIONED
A101A 3/16" = 1'-0"

GENERAL NOTE - FLOOR PLAN

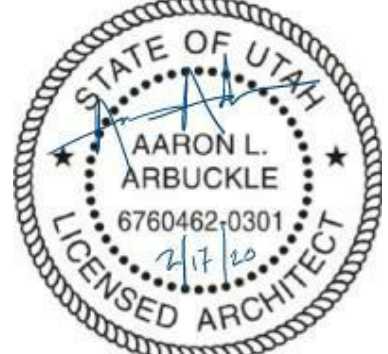
- A. PLAN WALL DIMENSIONS ARE TO GRID LINE OR FACE OF WALL STRUCTURE. "CLEAR" DIMENSIONS ARE TO FACE OF WALL FINISH.
- B. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE DISCREPANCIES WITH ARCHITECT.
- C. DO NOT SCALE DRAWINGS.
- D. SEE CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- E. SEE G SERIES SHEETS FOR WALL TYPES AND TYPICAL ACCESSIBILITY CLEARANCE AND COMPLIANCE REQUIREMENTS.
- F. PROVIDE BACKING BEHIND ALL SURFACE MOUNTED EQUIPMENT AND/OR FIXTURES.
- G. LOCATE ALL DOORS PER MINIMUM CLEARANCES. 4" CLEAR BETWEEN WALL AND DOOR FRAME, HINGE SIDE. UNLESS OTHERWISE NOTED, 12" CLEAR PUSH SIDE 18" CLEAR PULL SIDE ON LATCH SIDE OF DOOR.



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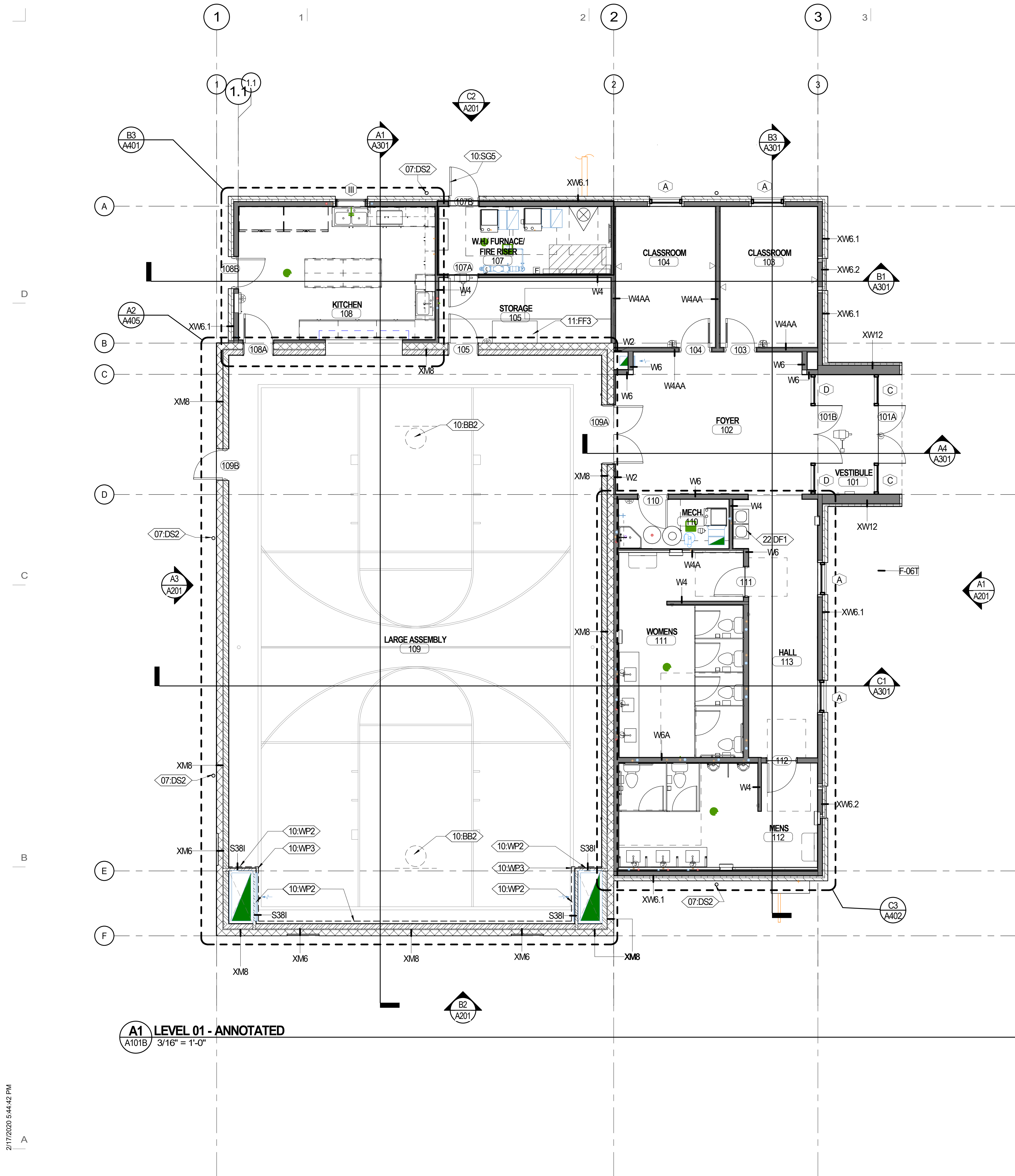
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DATE: 02/17/20

**FLOOR
PLAN-
LEVEL 01 -
DIMENSIONED**

A101A



A1 LEVEL 01 - ANNOTATED
A101B 3/16" = 1'-0"

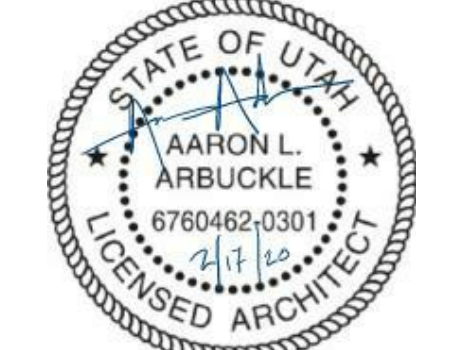
KEYNOTE LEGEND	
Key Value	Keynote Text
07:DS2	DOWNSPOUT HANGER
10:BB2	WALL MOUNTED BASKETBALL STANDARD; MOUNT PER MFR REQUIREMENTS
10:SG5	SIGNAGE MOUNTED ON DOOR PANEL; SEE B2/A801
10:WP2	WALL PADDING, 6' TALL
10:WP3	CORNER WALL PADDING, 6' TALL
11:FF3	CHEST FREEZER, OFCI
22:DF1	DRINKING FOUNTAIN W/ INTEGRATED BACKSPLASH; SEE PLUMBING

- GENERAL NOTE - FLOOR PLAN**
- A. PLAN WALL DIMENSIONS ARE TO GRID LINE OR FACE OF WALL STRUCTURE. "CLEAR" DIMENSIONS ARE TO FACE OF WALL FINISH.
 - B. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE DISCREPANCIES WITH ARCHITECT.
 - C. DO NOT SCALE DRAWINGS.
 - D. SEE CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
 - E. SEE G SERIES SHEETS FOR WALL TYPES AND TYPICAL ACCESSIBILITY CLEARANCE AND COMPLIANCE REQUIREMENTS.
 - F. PROVIDE BACKING BEHIND ALL SURFACE MOUNTED EQUIPMENT AND/OR FIXTURES.
 - G. LOCATE ALL DOORS PER MINIMUM CLEARANCES. 4" CLEAR BETWEEN WALL AND DOOR FRAME, HINGE SIDE. UNLESS OTHERWISE NOTED. 12" CLEAR PUSH SIDE 18" CLEAR PULL SIDE ON LATCH SIDE OF DOOR.



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#	Date	Revision
1	2/12/19	CCD 01

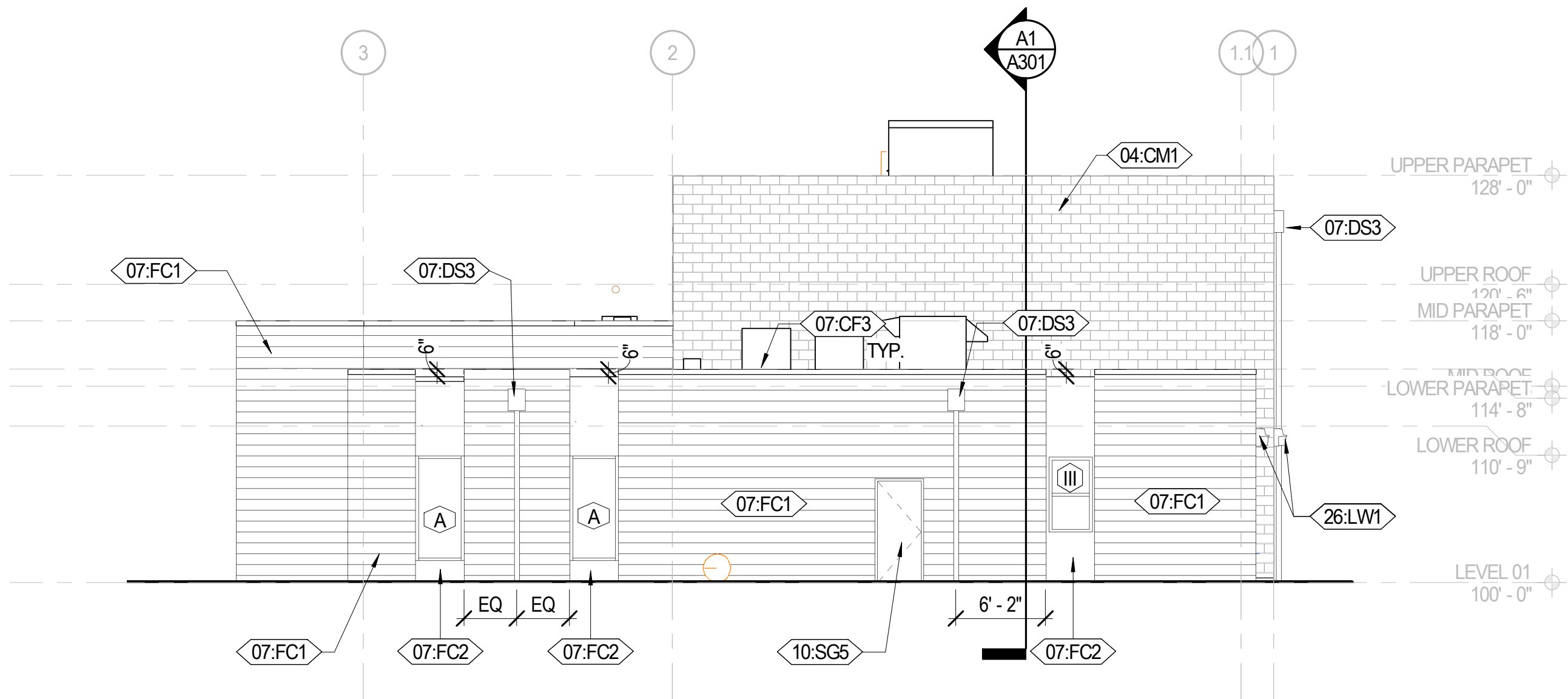
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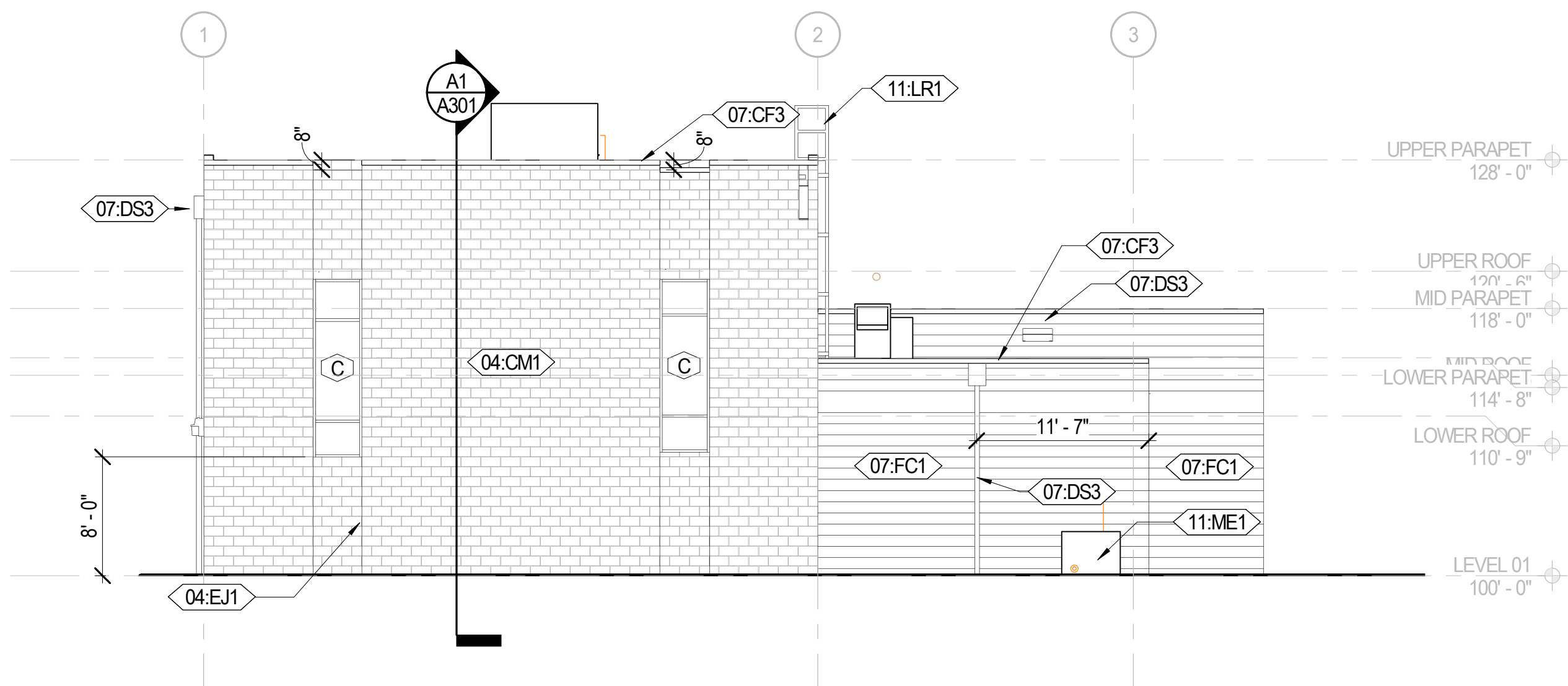
FLOOR PLAN - LEVEL 01 - ANNOTATED

A101B

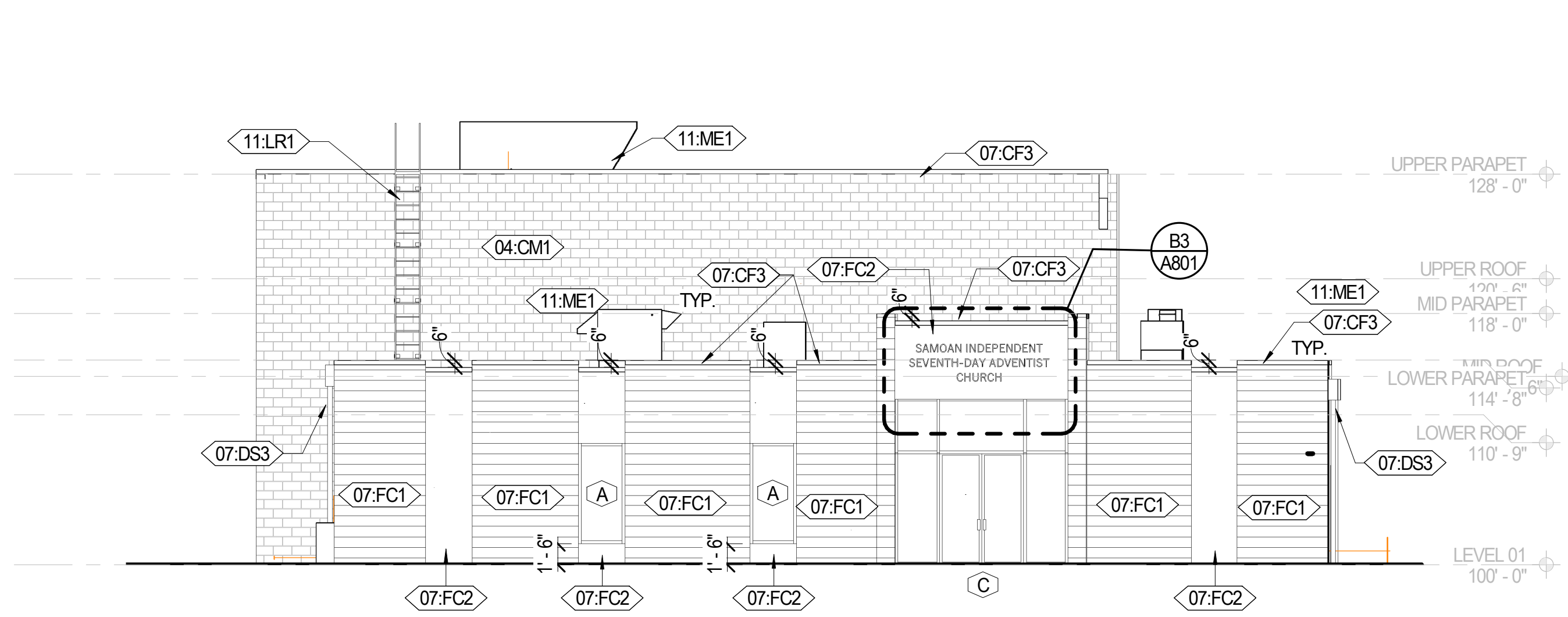
1
2
3
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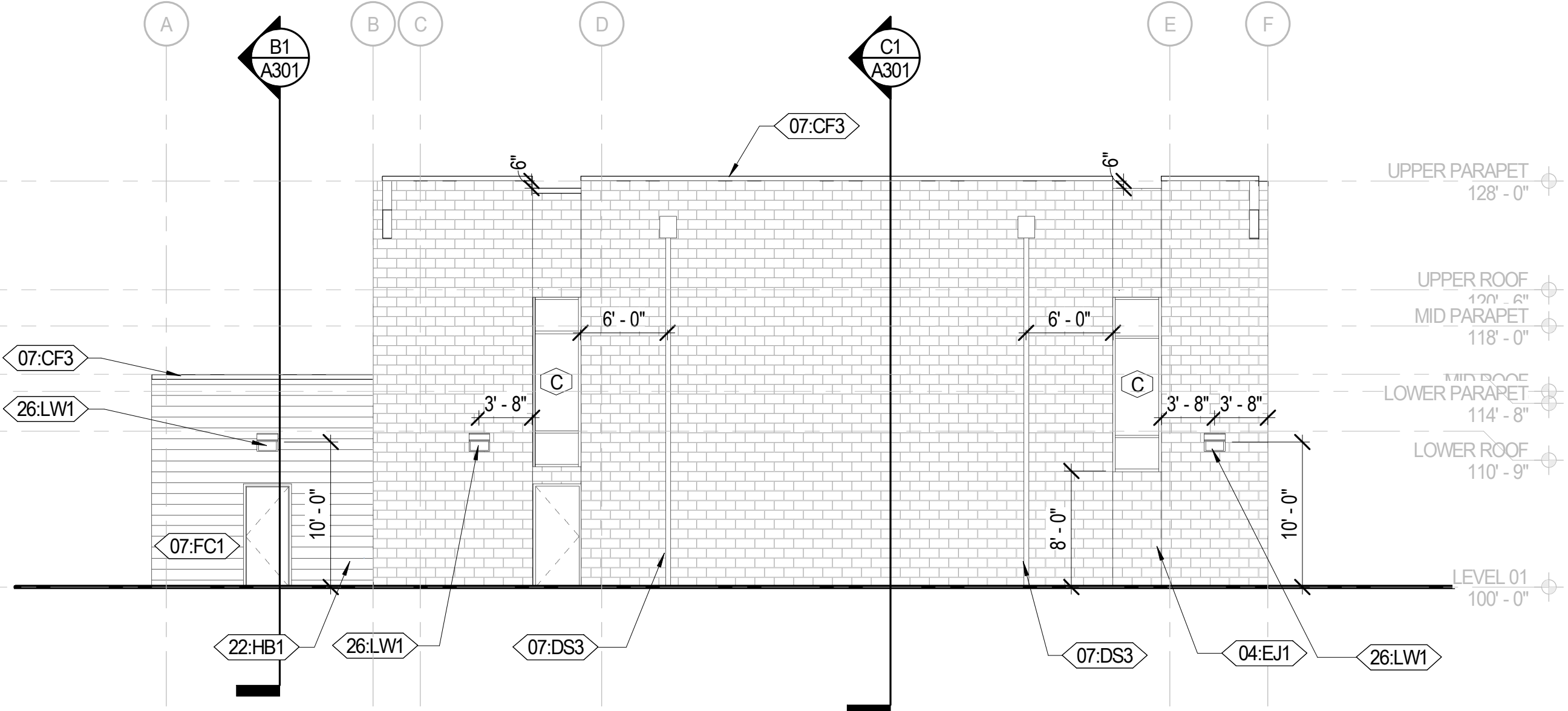
C2 NORTH ELEVATION
A201 1/8" = 1'-0"



B2 SOUTH ELEVATION
A201 1/8" = 1'-0"



A1 EAST ELEVATION
A201 1/8" = 1'-0"



A3 WEST ELEVATION
A201 1/8" = 1'-0"

**GENERAL NOTE -
BUILDING ELEVATION**

- A. COORDINATE GRADING SHOWN ON ELEVATIONS w/ CIVIL
- B. PROVIDE GUTTERS AND DOWN SPOUTS w/ HEAT CABLE, SNOW FENCES, AND SNOW CLIPS - SEE ROOF PLAN
- C. FOR TYPICAL WALL ASSEMBLY INCLUDING MATERIAL DESIGNATIONS AND DETAILING APPROACH, SEE A360 SERIES

KEYNOTE LEGEND	
Key Value	Keynote Text
04:CM1	CONCRETE MASONRY UNIT, STYLE 1. SEE STRUCTURAL FOR SIZE
04:EJ1	MASONRY EXPANSION JOINT; TYP. AT ALL WINDOWS IN MASONRY WALLS
07:CF3	PRE-FINISHED PARAPET CAP FLASHING
07:DS3	THRU-WALL SCUPPER WITH PRE-FINISHED CONDUCTOR, HEAD AND DOWNSPOUT. COLOR TO MATCH PAINT COLOR FOR SIDING.
07:FC1	FIBER CEMENT BOARD LAP SIDING; PAINTED.
07:FC2	FIBER CEMENT PANEL; PAINTED.SEE SPECIFICATIONS FOR COLOR
10:SG5	SIGNAGE MOUNTED ON DOOR PANEL; SEE B2/A801
11:LR1	ROOF TOP LADDER PAINTED TO MATCH EXTERIOR SIDING
11:ME1	MECH. EQUIPMENT, SEE MECH.
22:HB1	HOSE BIBB. SEE PLUMBING
26:LW1	WALL MOUNTED LIGHT FIXTURE; SEE ELECTRICAL



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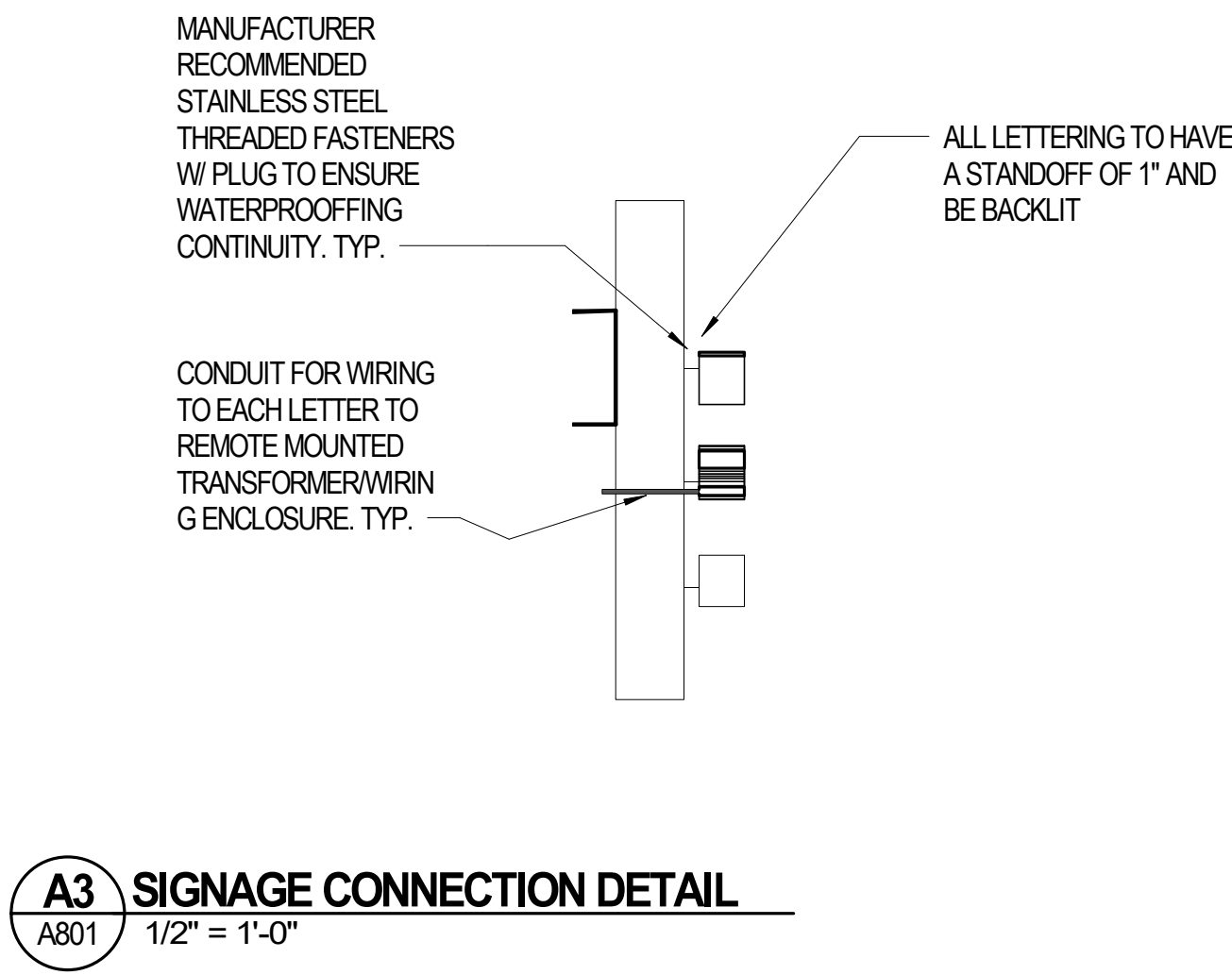
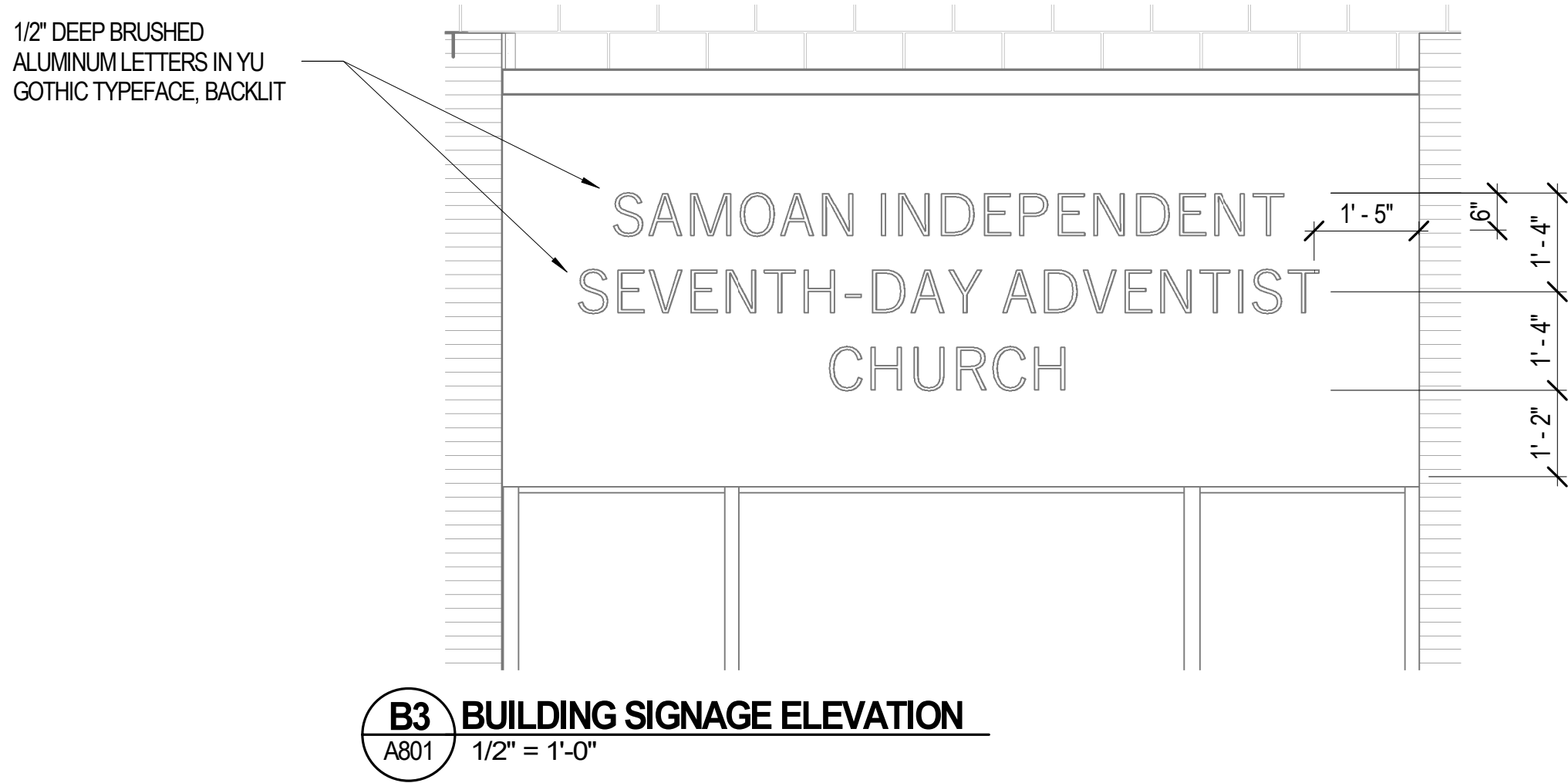
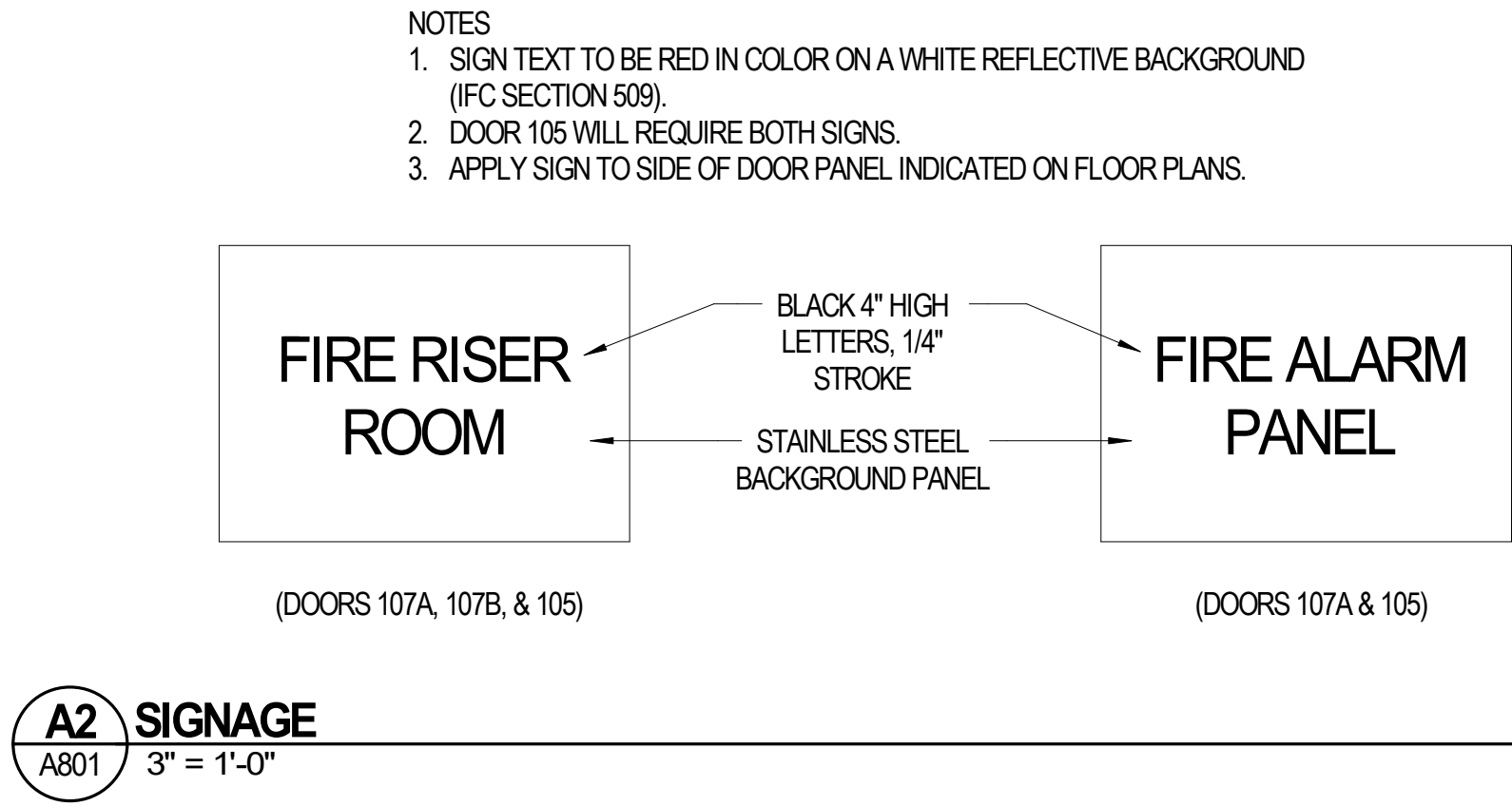
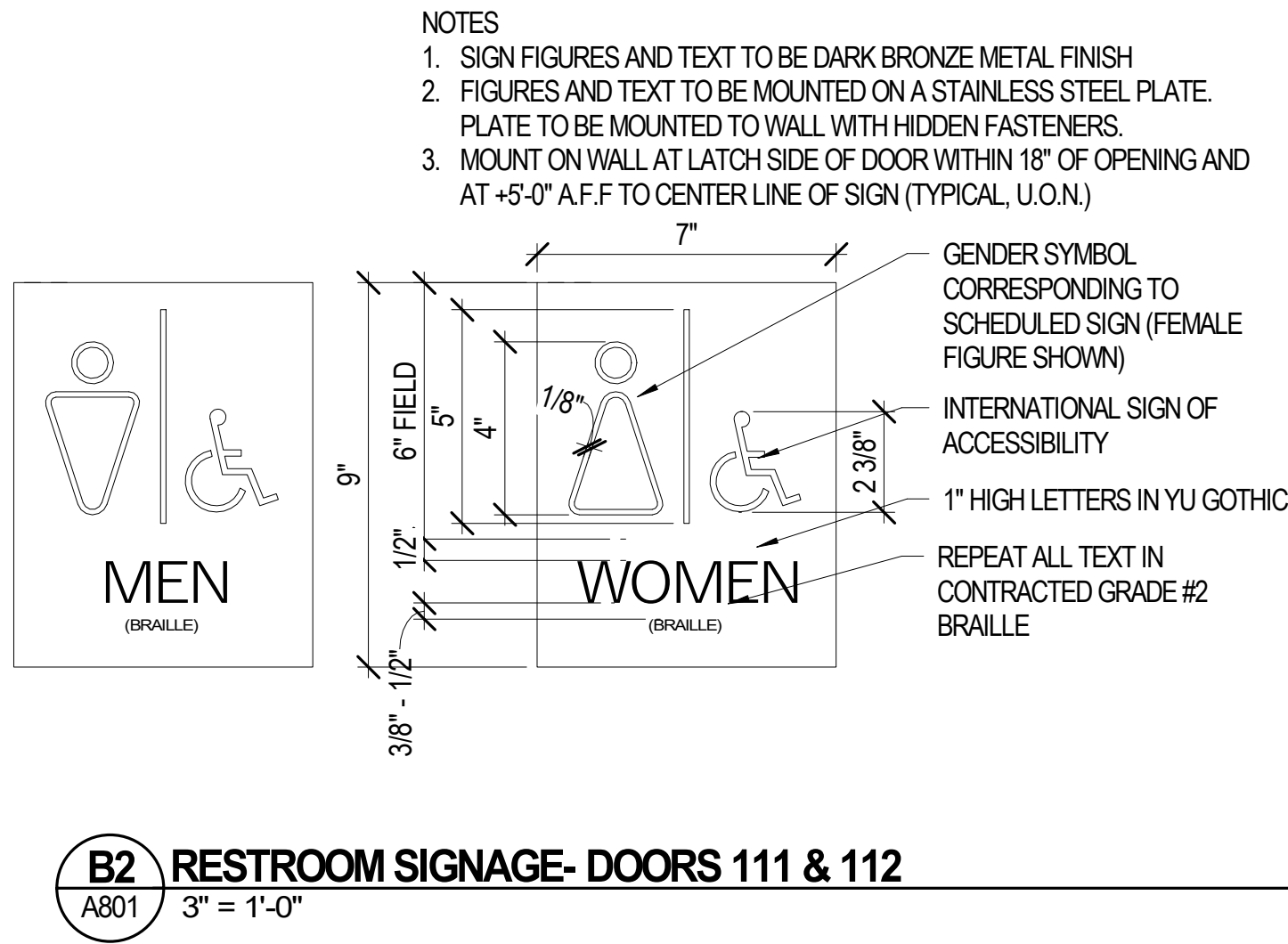
#	Date	Revision
1	2/12/19	CCD 01

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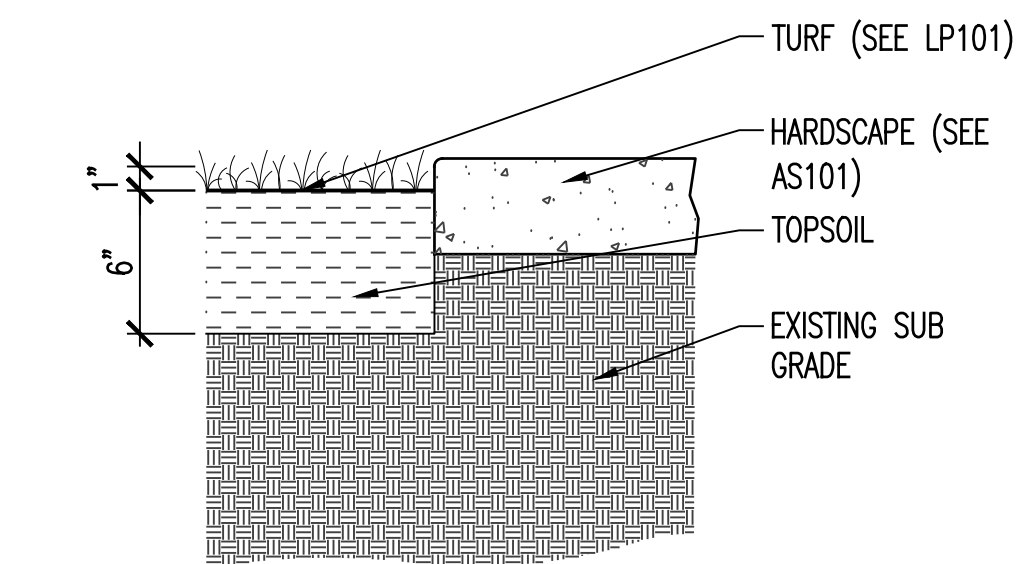
NEXUS PROJECT #: 18030.1
CHECKED BY: Checker
DRAWN BY: CM
DATE: 02/17/20

**BUILDING
ELEVATIONS**

A201

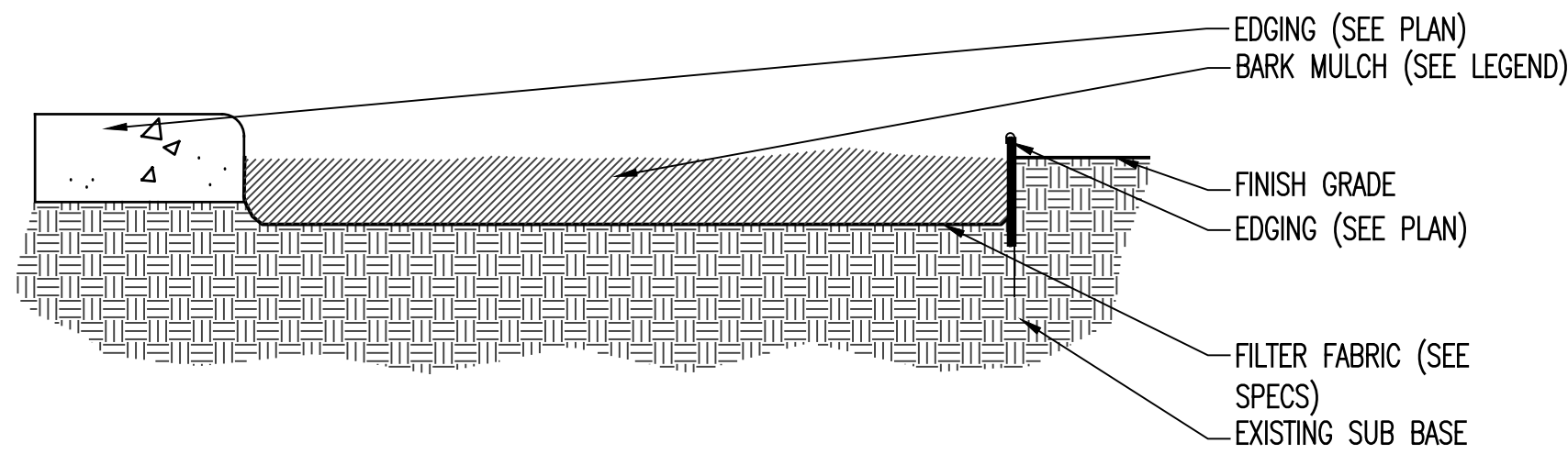


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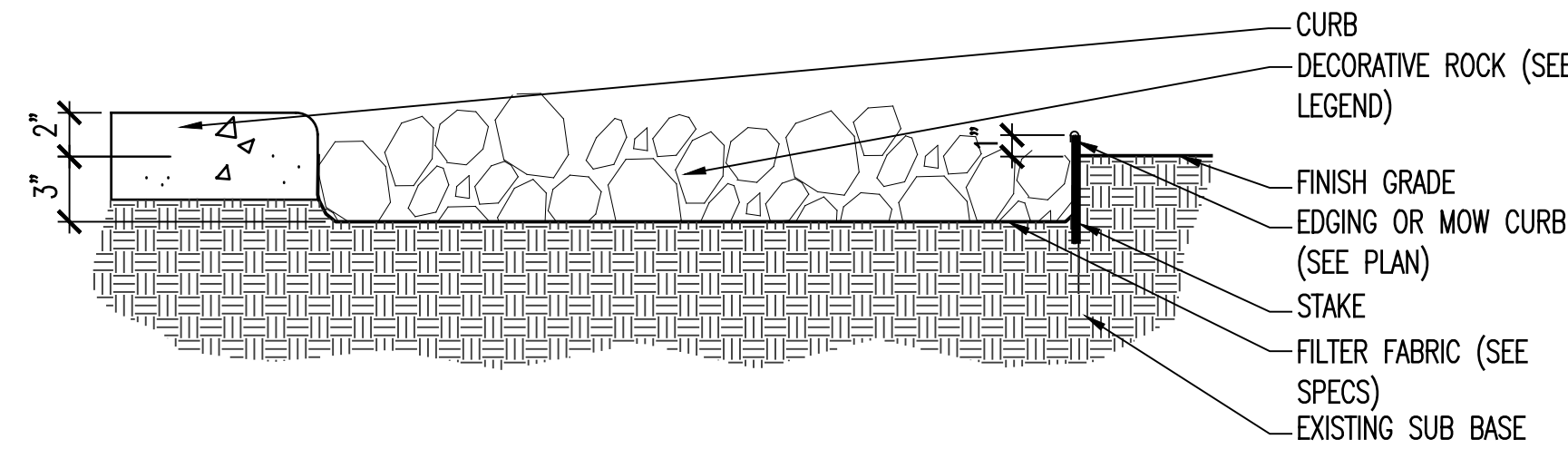
C1 TOPSOIL DEPTH - TURF

LP701 SCALE: 1-1/2" = 1'-0"



C2 BARK MULCH

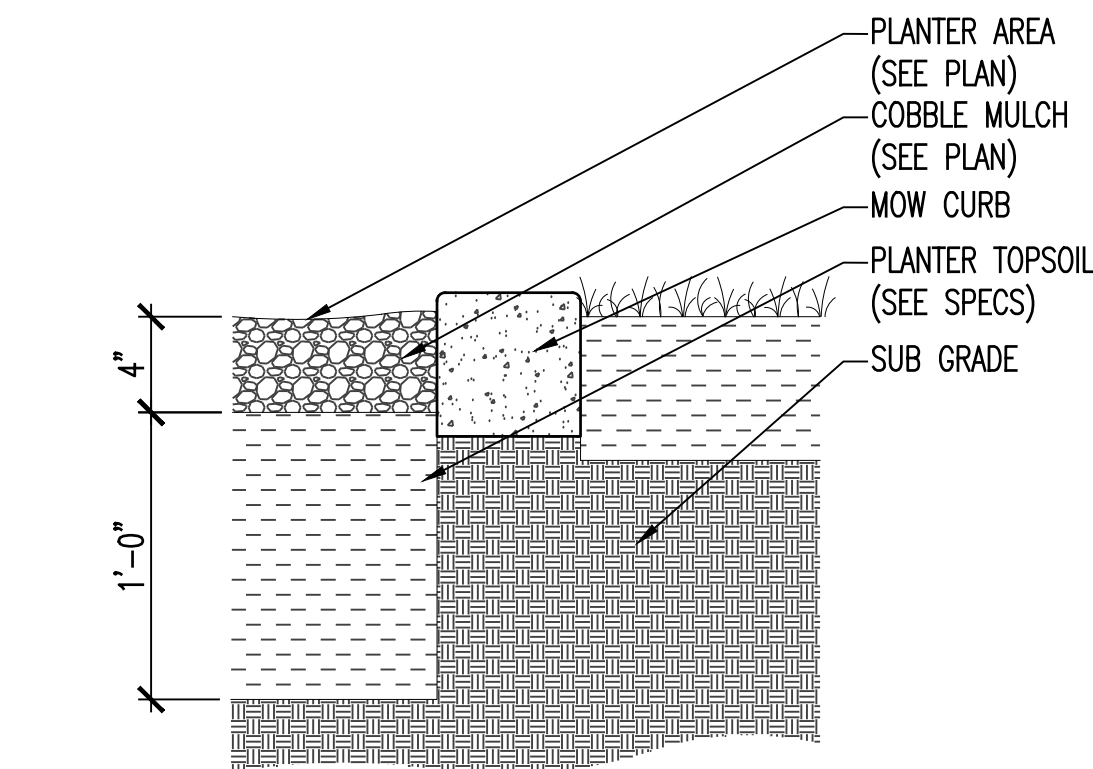
LP701 SCALE: 1 1/2" = 1'-0"



C4 COBBLE ROCK

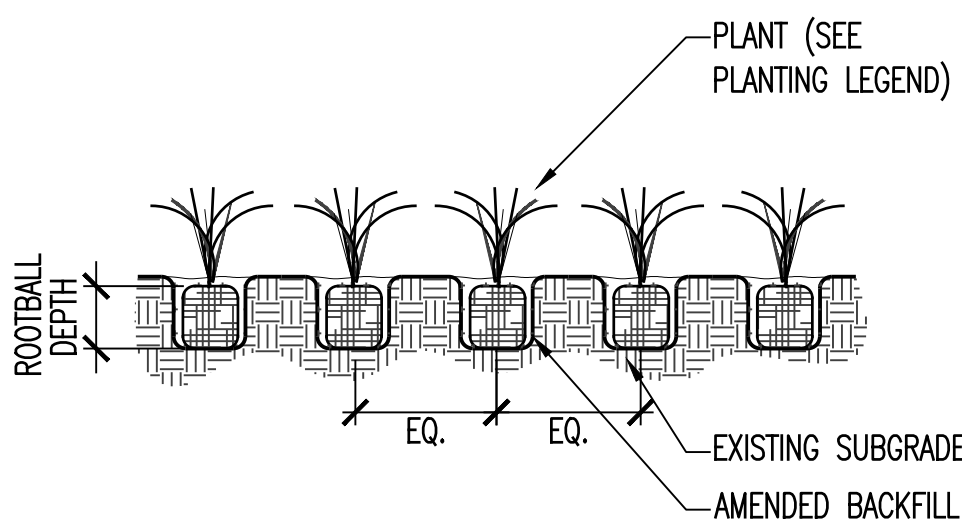
LP701 SCALE: 1 1/2" = 1'-0"

C



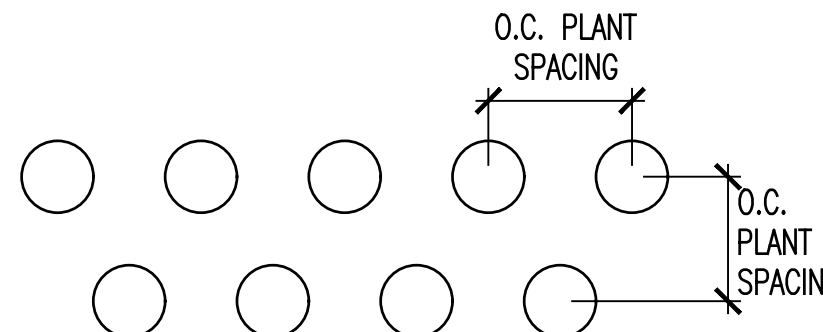
B1 TOPSOIL DEPTH - PLANTER

LP701 SCALE: 1-1/2" = 1'-0"



B2 PLANT SPACING

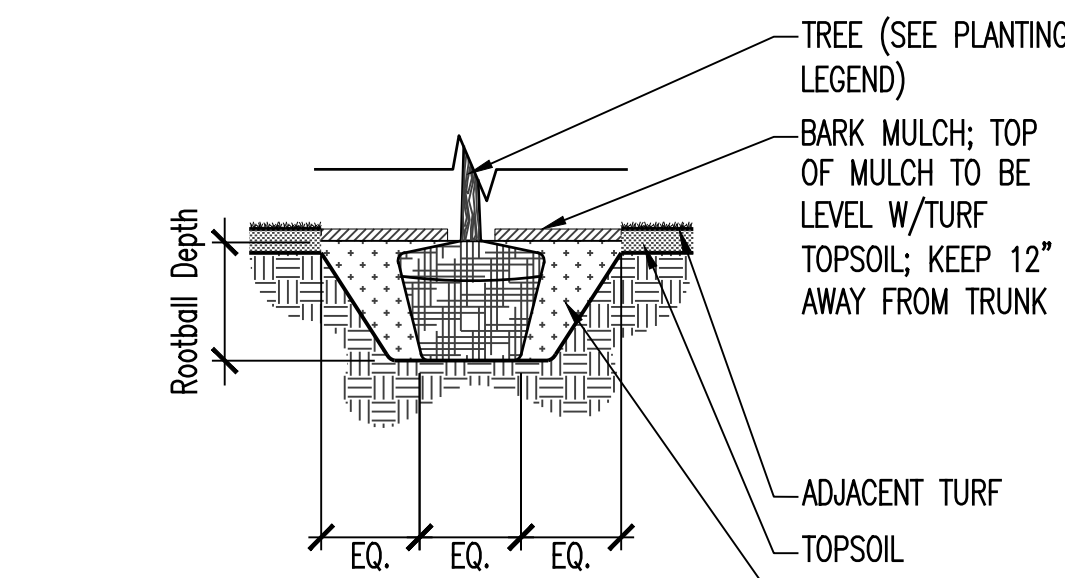
LP701 SCALE: 1-1/2" = 1'-0"



B3 PLANT SPACING

LP701 SCALE: 1-1/2" = 1'-0"

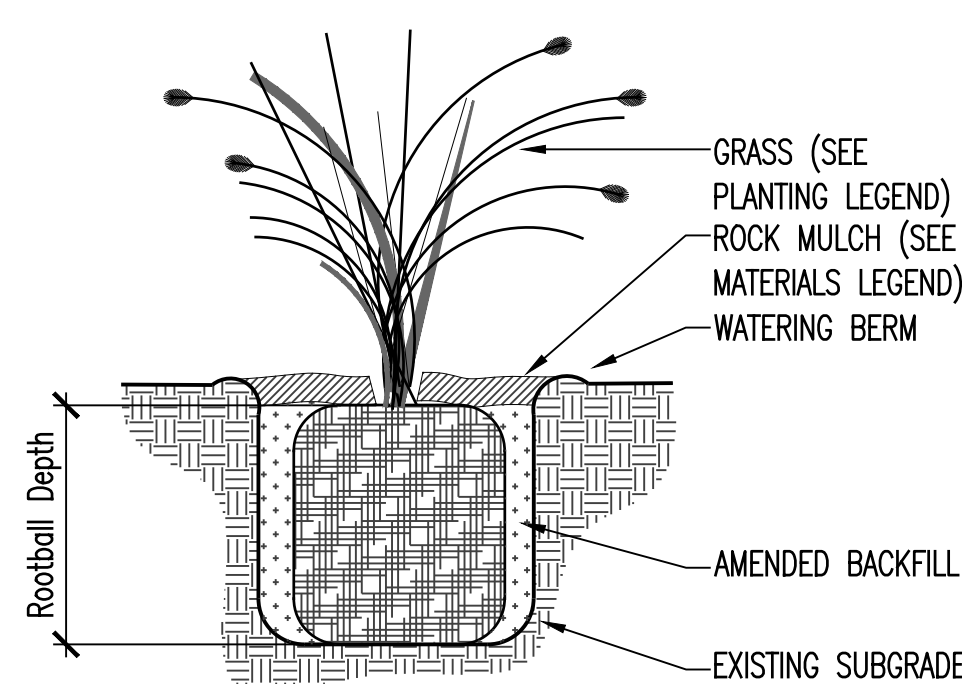
B



- FOLLOW ALL TREE PLANTING REQUIREMENTS IN DETAILS AND SPECS.

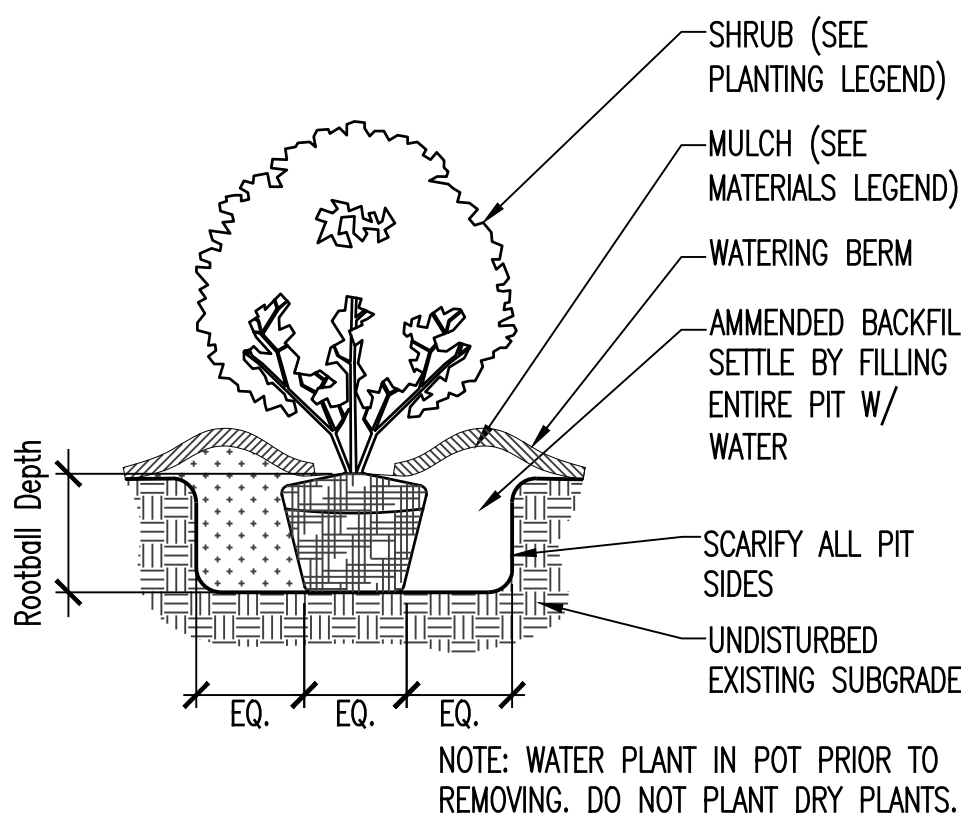
A1 TREE PLANTING IN TURF AREA

LP701 SCALE: 1/4" = 1'-0"



A2 ORNAMENTAL GRASSES

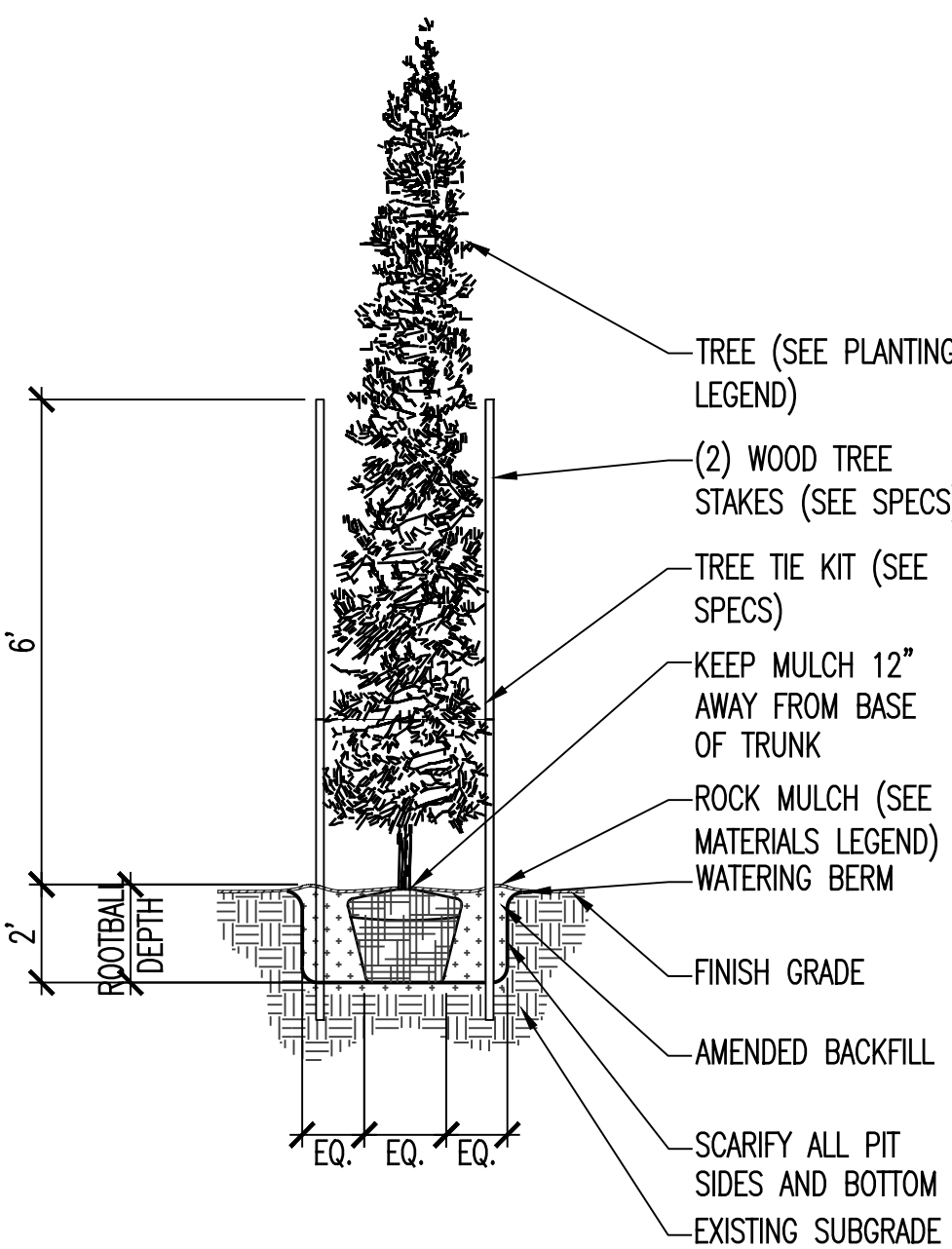
LP701 SCALE: 1" = 1'-0"



A3 SHRUB ON GRADE

LP701 SCALE: 1/2" = 1'-0"

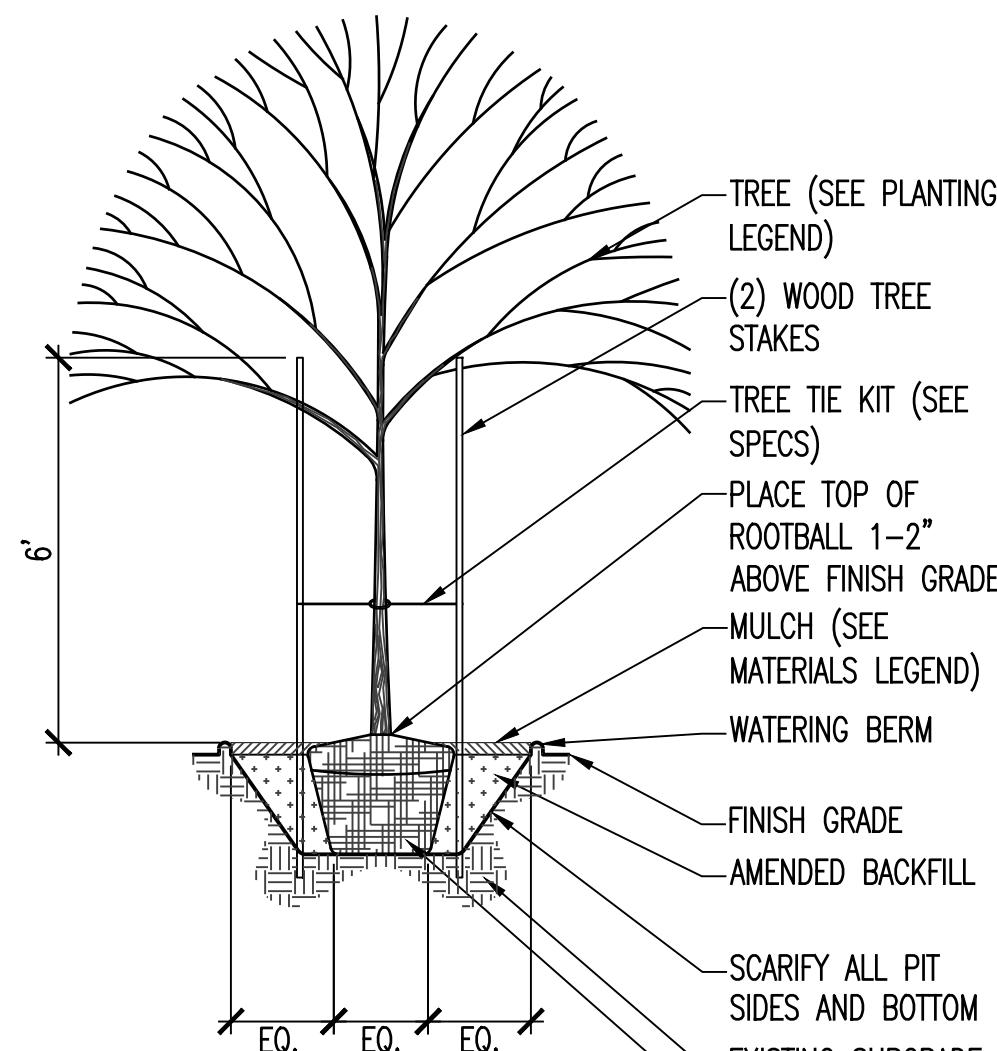
NOTE: WATER PLANT IN POT PRIOR TO REMOVING. DO NOT PLANT DRY PLANTS.



- LOCATE TREE STAKES ON OPPOSITES SIDES OF TREE PERPENDICULAR TO PREVAILING WIND.

A4 UPRIGHT EVERGREEN W/ STAKING

LP701 SCALE: 1/4" = 1'-0"

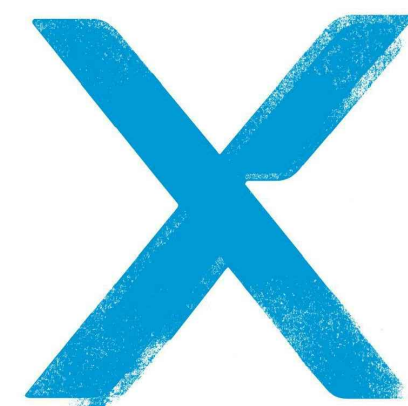


- LOCATE TREE STAKES ON OPPOSITE SIDES OF TREE PERPENDICULAR TO PREVAILING WIND.

A5 TREE WITH STAKING

LP701 SCALE: 1/4" = 1'-0"

A



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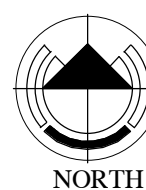
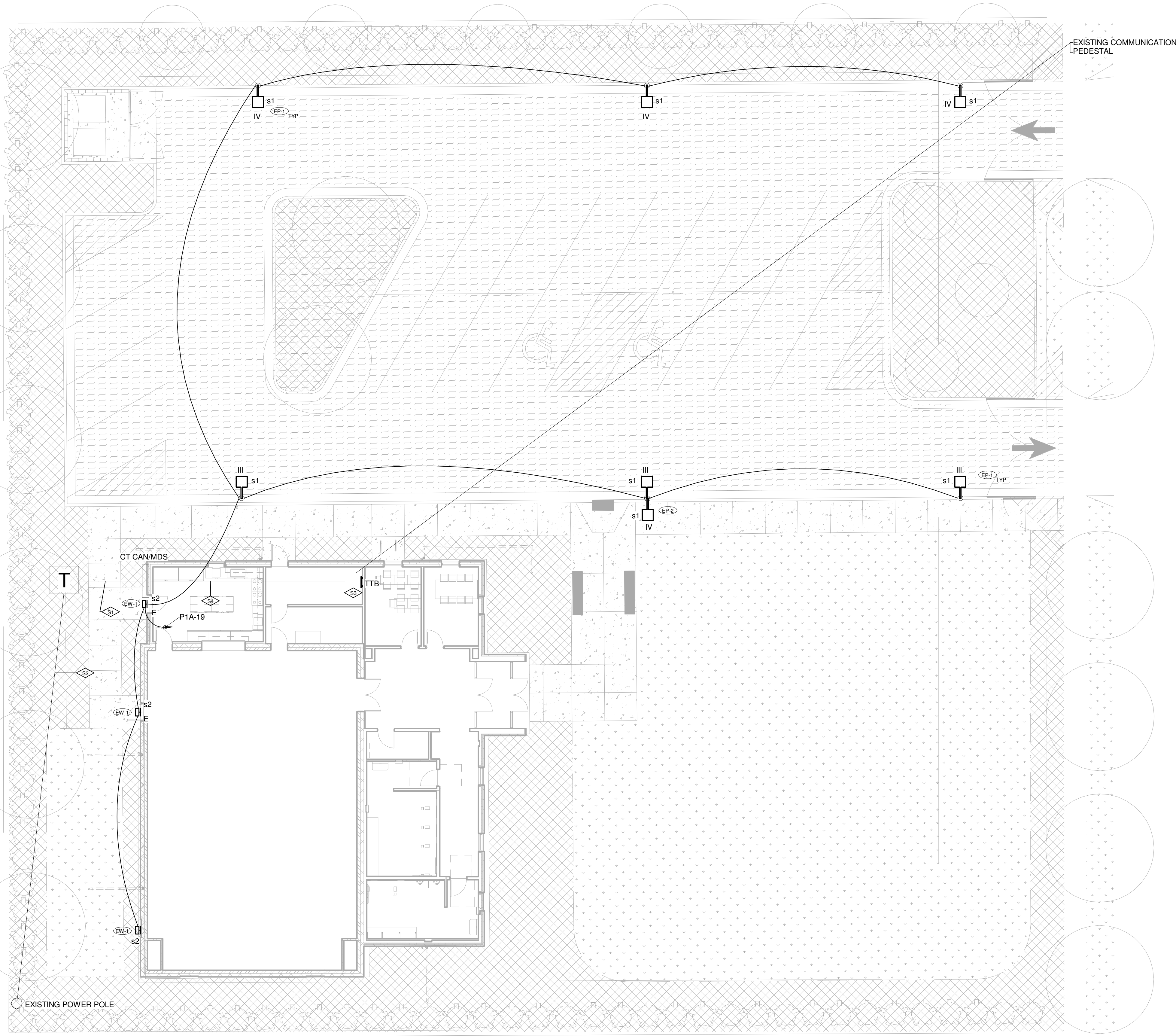
Date Revision

CONSTRUCTION DOCUMENTS

NEXUS PROJECT #: 18030
CHECKED BY: CS
DRAWN BY: TS
DATE: 02.14.20

LANDSCAPE DETAILS

LP701



SITE PLAN - ELECTRICAL

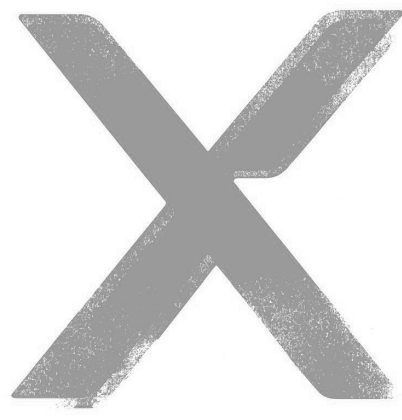
3/32" = 1'-0"

REFERENCE NOTES

- S1> RUN (3) 4" PVC CONDUITS WITH PULL STRING 48" BFG (BELOW FINISHED GRADE) FROM THE CT CAN TO THE TRANSFORMER. PROVIDE TRENCHING AND BACK FILLING. FIELD VERIFY EXACT LOCATION. CONTRACTOR SHALL COORDINATE WITH LOCAL POWER COMPANY PRIOR TO ROUGH-IN TO ENSURE THAT THE LOCATIONS OF THE TRANSFORMER, CT CAN, ETC. MEET LATEST POWER COMPANY REQUIREMENTS. UTILIZE GALVANIZED RIGID ELBOWS. PROVIDE NEW TRANSFORMER PAD TO MEET LOCAL POWER COMPANY'S REQUIREMENTS. REFER TO POWER SINGLE LINE DIAGRAM.
- S2> FURNISH AND INSTALL 4" SCHEDULE 40 PVC CONDUIT WITH PULLSTRING 48" BFG (BELOW FINISHED GRADE) FROM THE TRANSFORMER TO THE EXISTING POWER POLE FOR PRIMARY SERVICE CONDUCTORS. STUB UP CONDUIT SHALL HAVE AN 8" SET BACK FROM EXISTING POWER POLE. PROVIDE TRENCHING AND BACK FILLING. UTILIZE FIBER GLASS LONG SWEEP ELBOWS. COORDINATE THIS WORK WITH LOCAL POWER COMPANY.
- S3> FURNISH AND INSTALL A 4" PVC CONDUIT 36" BFG (BELOW FINISHED GRADE) FROM THE APPROXIMATE LOCATION SHOWN OF TTB TO THE EXISTING COMMUNICATION PEDESTAL. IN ADDITION RUN A 2" CONDUIT WITH PULLSTRING FROM TTB TO COMMUNICATION PEDESTAL FOR CABLE TV. PROVIDE PULLSTRINGS. COORDINATE THIS WORK WITH THE LOCAL COMMUNICATION COMPANY PRIOR TO TRENCHING. PROVIDE TRENCHING AND BACK FILLING.
- S4> RUN A SPARE 4" CONDUIT WITH PULL STRING FROM THE MDS TO THE ELECTRICAL ROOM FOR FUTURE PANEL. CAP AND LABEL BOTH SIDES.

SHEET NOTE - SITE

1	TIE ALL FIXTURES INDICATED WITH A LOWER CASE LETTER TO ITS CORRESPONDING SWITCH(ES). PROVIDE CONDUITS, CONDUCTORS, LIGHTING CONTACTORS, ETC. FOR A COMPLETE INSTALLATION.
2	EMERGENCY LIGHT FIXTURES INDICATED WITH THE LETTER "E" (4' SECTION OF LINEAR LIGHT) SHALL BE TIED TO THE EMERGENCY INVERTER AND TURN ON WHEN THE COMMERCIAL POWER FAILS REGARDLESS OF THE POSITION OF THE CONTROL SWITCH. THE FIXTURE SHALL BE CONTROLLED BY THE INDICATED SWITCH. PROVIDE CONDUITS , CONDUCTORS, ETC. FOR A COMPLETE INSTALLATION. RUN THE EMERGENCY CIRCUIT IN A SEPARETE RACEWAY. PROVIDE RELAY EQUAL TO BODINE GTD.
4	CONTRACTOR IS TO REFER TO THE LIGHTING RELAY SCHEDULES AND PROVIDE PROPER DIMMING WIRES AS REQUIRED (EITHER 0-10 VOLT OR OTHER PROTOCOL SHOWN), DIMMING WIRES SHALL BE RUN IN CONDUIT. COORDINATE WITH THE LIGHTING AND LIGHTING CONTROL SYSTEM SUPPLIER PRIOR TO ROUGH IN TO ENSURE DIMMING MODULES ARE COMPATIBLE WITH THE FIXTURE TYPE



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#688
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ELECTRICAL ENGINEERING & LIGHTING DESIGN
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CHECKED BY: Checker
DRAWN BY: Author
DATE: 08/16/21

SITE PLAN -
ELECTRICAL

ES-101

ATTACHMENT C – PROPERTY AND VICINITY PHOTOS



Subject property – View looking west from 1000 W



Existing development adjacent to the subject property to the north



Existing development adjacent to the subject property to the south



Existing development across the street from the subject property



Existing development across the street from the subject property

ATTACHMENT D – RMF-35 ZONING STANDARDS

ADJACENT LAND USES and ZONING

The land use and zoning surrounding the site include the following:

- **North:** RMF-35 – contains the Serbian Orthodox Church. Further north is R-2 – developed for a variety of residential uses, both single and two-family.
- **South:** RMF-35 – residential uses on the same side of the street. On the opposite side of 1000 West to the south zoning changes to CB and across 1700 South the zoning is CG. Along this corridor the uses are more industrial in nature.
- **East:** R-1/7000 – single family residential uses
- **West:** RMF-35 – multi-family residential use

SALT LAKE CITY ZONING ORDINANCE PROVISIONS

21A.24.130: RMF-35 MODERATE DENSITY MULTI-FAMILY RESIDENTIAL DISTRICT:

- A. Purpose Statement: The purpose of the RMF-35 Moderate Density Multi-Family Residential District is to provide an environment suitable for a variety of moderate density housing types, including single-family, two-family, and multi-family dwellings with a maximum height of thirty five feet (35'). This district is appropriate in areas where the applicable Master Plan policies recommend a density of less than thirty (30) dwelling units per acre. This district includes other uses that are typically found in a multi-family residential neighborhood of this density for the purpose of serving the neighborhood. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

Current Zoning Requirements – RMF-35 – Moderate Density Multi-Family Residential District

Zoning Standard	Required	Proposed	Status
Min Lot Area	12,000 SF	1612 S 1000 W- ≈9,583 SF 1624 S 1000 W- ≈26,571 SF Total - ≈36,154 SF	Complies
Min Lot width	140 FT	1612 S 1000 W- 50 FT 1624 S 1000 W- 137.7 FT Total - 187.5 FT	Does not comply – consolidation of the parcels is required before the use can be established. This requirement is noted in the next steps section of the staff report.
Maximum Building Height	35 FT	28 FT	Complies
Front Yard Setback	20 FT	95 FT	Complies

Interior Side Yard	10 FT	10 FT 9 IN on one side and over 95 FT on the other	Complies
Rear Yard	25% of lot depth but not less than 20' and need not exceed 25 FT	25 FT	Complies
Landscape yard required - front	20 FT	95 FT	Complies
Landscape yard required – interior side	10 FT	10 FT	Complies
Maximum building coverage	60% of lot area	Approximately 13%	Complies
Parking Spaces	Minimum 14 standard spaces and 2 ADA spaces Maximum 18 standard spaces and 2 ADA spaces	18 standard spaces and 2 ADA spaces	Complies
Interior Parking Lot Landscaping	5% of the interior of the parking lot shall be landscaped in accordance with section 21A.48.070. Total Parking Area is 11,343 SF 5% = 567 SF of interior parking lot landscaping required	628 SF	Complies
Perimeter Parking Lot Landscaping	Landscaped area with at least 7 FT in width. Planting requirements in accordance with 21A.48.070.G.	10 FT wide buffer provided on west side of parking lot and 12 FT wide buffer provided on north side of parking lot	Complies

ATTACHMENT E – CONDITIONAL USE STANDARDS

21A.54.080 Standards for Conditional Use

Approval Standards: A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title;

Analysis: The proposed use is located in the RMF-35 (Medium Density Multi Family Residential) zoning district. Per Section 21A.33.020 – Table of Permitted and Conditional Uses for Residential Districts of the Zoning Ordinance, all places of worship in the RMF-35 zone require conditional use approval.

Finding: The proposal complies with the applicable provisions of the Salt Lake City Zoning Ordinance. It is allowed in the zone through the conditional use process and complies with all City requirements for such a facility.

2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;

Analysis: Surrounding uses include another place of worship as well as residential uses, both single and multi-family in nature. The proposed use is replacing an established use on the property with the same use but in an upgraded facility. The new facility is expected to continue to work compatibly within the context of its location and the size and scale fit in with the existing development.

Finding: Staff finds that the use and the scale and intensity of development will be compatible with surrounding uses.

3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and

Analysis: The maps in the Westside Master Plan (2014) show that the subject property is located within close proximity to what is envisioned as a smaller regional node near the intersection of 900 West and 1700 South. This node is envisioned to support educational and professional office uses along with supporting commercial retail and services which would act as a transition between residential uses to the north and industrial uses to the south. Up until 2018 when the former church building was demolished, the use was established within the neighborhood. The proposed place of worship is in concert with the Master Plan and the anticipated character of the area over time.

Finding: The use is consistent with applicable adopted city planning policies, documents, and master plans.

4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions (refer to Detrimental Impacts Chart below for details).

21a.54.080B Detrimental Effects Determination

In analyzing the anticipated detrimental effects of a proposed use, the planning commission shall determine compliance with each of the following:

Criteria	Finding	Rationale
1. This title specifically authorizes the use where it is located	Complies	A place of worship such as a church is allowed as a conditional use in the RMF-35 zoning district.
2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps	Complies	The Westside Master Plan recognizes that places of worship across many faiths are distributed throughout neighborhood areas and are part of the assets and resources of the community. The proposed use is in concert with the Master Plan.
3. The use is well-suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area	Complies	The surrounding area includes a mix of multi and single-family residential uses as well as another church immediately to the north of the subject property. The mass and scale is compatible with what could be potentially built by right in the RMF-35 zoning district.
4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered	Complies	As discussed above, the scale of the proposal is compatible with surrounding structures. The proposed church is approximately 30-feet tall, which is less than the maximum height allowed in the zoning district. The proposed design does not maximize the allowable height or maximize the site coverage. As such, it will fit in with the existing development in the area in terms of mass and scale.
5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows	Complies	There are 3 existing access drives onto 1000 West from the property. The 3 rd access drive is located to the south of the church and is unused. It will be abandoned and the curb cut will be replaced with curb and gutter and landscaping. The access points and driveway will not impede traffic flows.
6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic	Complies	The internal site circulation includes an entrance and exit driveway which will allow traffic to flow through the parking area smoothly. There are no anticipated detrimental impacts on adjacent properties from the internal circulation on this site.
7. The site is designed to enable access and circulation for pedestrian and bicycles	Complies	There is existing sidewalk on 1000 W, part of which will be replaced with this project that will provide pedestrian access to the site. In addition, the Transportation Division has indicated that one bicycle rack will be required on the site. The site will enable access for both pedestrians and bicycles.

8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street	Complies	The proposed use is anticipated to be low volume in nature and will not impact the service levels on 1000 West. On the subject property, it is recommended by Engineering that the property owner replace the public sidewalk along 1000 West which is in poor condition.
9. The location and design of off-street parking complies with applicable standards of this code	Complies	The proposed parking consists of 18 standard parking stalls and 2 ADA accessible spaces. Based on the building floor area for congregation space, offices space and gym, a minimum of 14 parking spaces and 2 ADA accessible spaces would be required. The RMF-35 zoning district would allow for parking that is 25% greater than the minimum. The parking meets the maximum parking allowed in the zone. Additionally, the parking lot interior and perimeter parking lot landscaping exceeds the requirements of the 21A.48.070.
10. Utility capacity is sufficient to support the use at normal service levels	Complies	The site is within a developed area with all utility infrastructure in place. The site currently has both water and sewer service. Salt Lake City Public Utilities has been involved in the review process and will work through the building permit process to ensure that the utility infrastructure is adequate for the proposed facility. A utility plan will need to be submitted for review and compliance will be ensured during the building permitting process.
11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts	Complies	The proposed landscaping buffers meet the requirements of the RMF-35 zoning district and the parking lot landscaping requirements in 21A.48.070.
12. The use meets City sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke	Complies	There is no indication that the proposed project will introduce any environmental damage to the surrounding area.
13. The hours of operation and delivery of the use are compatible with surrounding uses	Complies	Aside from Sunday service hours, the church will host activities throughout the week as part of their programming for congregation members. The anticipated hours of normal operation will be compatible with surrounding uses.
14. Signs and lighting are compatible with, and do not negatively impact surrounding uses	Complies	Any signs and lighting will be confined to that necessary to provide safety on the site including for adequate security while being minimized in order to not impact adjacent properties.

15. The proposed use does not undermine preservation of historic resources and structures	Complies	The property is not located within a Local Historic District and the proposal does not involve removal or any historic resources or structures.
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Finding: In analyzing the anticipated detrimental effects of the proposed use, Staff finds the request complies with the criteria listed above.

ATTACHMENT F – PUBLIC PROCESS & COMMENTS

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- **Recognized Organization Notification - June 1, 2021** – Notice of the project was provided to the Glendale Community Council. The 45-day noticing period to request the project be presented at a Community Council meeting expired July 16, 2021. As of the publication of the staff report, no comments from the community council have been received.
- **Early Notification - June 3, 2021** – Early notification of the project was provided to property owners and residents within 300 FT of the proposed conditional use. As of the publication of the staff report, no comments from property owners or residents within 300 FT of the proposal have been received.
- **City Open House – June 14, 2021** – Staff hosted an online Open House to solicit public comments on the proposal. The Online Open House period started on June 14, 2021 and ended on July 16, 2021.

Notice of the public hearing for the proposal included:

Public hearing notice mailed on August 12, 2021

Public hearing notice posted on August 13, 2021

Public notice Planning Division list serve on August 12, 2021

Public Input:

As of the publication of the staff report, no public comments or inquiries have been received in regard to the proposed conditional use.

If any comments are received after publication of the Staff Report, they will be forwarded to the Commission and included in the public record.

ATTACHMENT H – DEPARTMENT REVIEW COMMENTS

Engineering: (Scott Weiler at scott.weiler@slcgov.com or 801-535-6159)

No objections to Conditional Use. It is recommended that the badly cracked public sidewalk in 1000 West be replaced as part of this project. Any work performed in the public right of way would require a contractor who is licensed, bonded, and insured and has the documentation on file with Salt Lake City Engineering to obtain a permit to work in the public right of way from the SLC Engineer's office.

Transportation: (Michael Barry at michael.barry@slcgov.com or 801-535-7147)

The minimum parking requirement for places of worship is 1 space per 1,000 sf. The parking calculations are shown on sheet 9, 25 and 30. On sheets 9 and 30, they use 3 spaces per 1,000 sf and on sheet 25, they use 1 space per 1,000 sf; this discrepancy needs to be resolved. The discrepancy may be because the assembly room doubles as a gym. I would go with the use that requires the most parking to be conservative which puts the minimum at 16 stalls. The maximum parking allowance is 25% more than the required minimum (therefore 20 stalls) and in this case the number of spaces provided (23 stalls) exceeds the maximum allowance. The maximum allowance can be increased by 21A.44.050.C.3 Transportation Demand Management Parking Incentives. The parking layout is acceptable; the driveways, since they were existing, are acceptable even though they are not separated by 100 feet.

Public Utilities: (Jason Draper at jason.draper@slcgov.com)

- Utilities to the neighboring property go through this property. Easements and protection of these utilities is required.
- Minimum separation requirements must be met. 10' between water and sewer. 5' from sewer to all other utilities and buildings and property lines. 3' from water to all other utilities. 5' from water to buildings and property lines. Water meters must have 5' clearance around the meter.
- Utilities cannot cross property lines without appropriate easements and agreements.
- All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.

Fire: (Ted Itchon 801-535-6636 or ted.itchon@slcgov.com)

No comments provided.