



# Staff Report

PLANNING DIVISION  
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Kelsey Lindquist (385) 226-7227

Date: July 28, 2021

Re: **PLNPCM2021-00313** Zoning Map Amendment  
**PLNPCM2021-00314** Planned Development  
**PLNPCM2021-00315** Design Review

## Zoning Map Amendment, Planned Development and Design Review

**PROPERTY ADDRESS:** 1780 South Campus Drive  
**PARCEL ID:** 16-04-400-011-0000  
**MASTER PLAN:** *East Bench Master Plan (2017)*  
**ZONING DISTRICT:** I (Institutional) and R-MU (Residential/Mixed Use)

**REQUEST:** Project representative for the Clark and Christine Ivory Foundation, Ashely Hadfield, is requesting approval to construct a multiple building student housing development located at 1780 East South Campus Drive. The development consists of 4 buildings, 3 of which have public street frontage on Mario Cappechi Drive and South Campus Drive. Approximately 536 student housing units will be distributed among the 4 buildings. As part of this proposal, the applicant is seeking a zoning map amendment from the I (Institutional) to R-MU (Residential/Mixed Use). Additionally, planned development and design review approval is required for the proposed development.

1. **Zoning Map Amendment:** The associated zoning map amendment is requested to accommodate the proposed student housing development. The existing parcel is currently zoned I (Institutional) zoning district, the applicant is seeking a rezone to R-MU (Residential/Mixed Use) zoning.
2. **Planned Development:** Planned Development approval is required for the buildings without street frontage.
3. **Design Review:** Design Review approval is required to exceed the maximum front yard setback in the R-MU (Residential/Mixed Use) zoning district. The applicant is seeking Design Review approval to exceed the maximum front yard setback to preserve the existing mature landscaping along South Campus Drive and Mario Cappechi Drive, as well as for building C.

**RECOMMENDATION:** Based on the information in this staff report and the factors to consider for zoning map amendments, Planning Staff recommends that the Planning Commission forward a positive recommendation to the City Council regarding this proposal.

Based on the information in this staff report, Planning Staff recommends that the Planning Commission approve the proposed Planned Development and Design Review as proposed with the following condition:

1. The applicant continues to work with Urban Forestry to ensure the appropriate tree preservation measures are taken along Mario Cappechi Drive and South Campus Drive.

The Planned Development and Design Review are conditioned upon approval of the R-MU zoning. Thus, should the City Council not approve the zoning map amendment requested, any approval by the Planning Commission of the Planned Development and Design Review will become null and void.

**ATTACHMENTS:**

- A. Vicinity Map
- B. Zoning Map Amendment Application and Submittal
- C. Planned Development and Design Review Applications and Plans
- D. Additional Applicant Information
- E. Analysis of Map Amendment Standards
- F. Analysis of RMU Standards
- G. Analysis of Design Review Standards
- H. Analysis of Planned Development Standards
- I. Public Process and Comments
- J. Dept. Comments

**ZONING MAP AMENDMENT PROJECT DESCRIPTION**

The applicant is seeking to amend the zoning map for the subject property located at 1780 East South Campus Drive from I (Institutional) to R-MU (Residential/Mixed Use). The zoning map amendment is requested to accommodate a multi-building student housing development. The applicant provided a specific development proposal, which will be addressed later within this staff report.

The subject property was recently subdivided from the larger 30.8 acre parcel to create a parcel approximately 5.4 acres in size. The new parcel is a corner parcel, which faces both Mario Cappechi Drive and South Campus Drive. The map below illustrates the location, approximate size and current zoning of the subject property.



**Site Context**

The existing property currently contains a Church of Latter Day Saints institute building, associated with the University of Utah Campus. The existing institute building will be demolished as part of this project to accommodate the requested development proposal. The subject property has frontage on both Mario Cappechi and South Campus Drive and due to the proximity of the site to these busy thorough fares, the site has relatively low street and pedestrian engagement.

**SITE PHOTOS**

**Photo of Existing Structure**



**Photo of Subject Property Looking South West**





**Photo of Subject Property Looking South West**



**Photo of Subject Property Looking West**



### **Adjacent Land Uses and Zoning**

The subject parcel is currently zoned I (Institutional). The surrounding zoning includes Institutional, Research Park and Open Space. The land use to the east includes Fort Douglas. There are several student housing buildings to the north west of this parcel. Directly to the south west is an LDS parking garage and additional campus land uses. In general, the land uses in this specific area of the city are generally associated or supportive uses for the University of Utah. While there are no additional R-MU zoned parcels within the immediate context, the proposal to rezone the parcel to construct student housing is in-line with the surrounding context and zoning of this section of the University of Utah Campus.

### **Comparison of Existing I (Institutional) and Proposed R-MU (Residential/Mixed Use)**

The subject property is zoned I (Institutional). The purpose of the Institutional zoning district is as follows:

*The purpose of the I Institutional district is to regulate the development of larger public, semipublic and private institutional uses in a manner harmonious with surrounding uses. The uses regulated by this district are generally those having multiple buildings on a campus like setting. Such uses are intended to be compatible with the existing scale and intensity of the neighborhood and to enhance the character of the neighborhood. This district is appropriate in areas of the city where the applicable master plans support this type of land use.*

The applicant has requested that the property be rezoned to R-MU (Residential/Mixed Use). The purpose of the R-MU zoning district is as follows:

*The purpose of the R-MU Residential/Mixed Use District is to reinforce the mixed use character of the area and encourage the development of area as high density residential urban neighborhoods containing retail, service commercial, and small scale office uses. This district is appropriate in areas of the City where the applicable master plans support high density, mixed use development. The standards for the district are intended to facilitate the creation of a walkable urban neighborhood with an emphasis on pedestrian activity while acknowledging the need for transit and automobile access.*

The R-MU zoning district differs from the I zoning district, in regard to the permitted development scale. The applicant has submitted a development proposal, which includes the development of the subject property with 4 multi-family student housing buildings. Even though the applicant has submitted a proposal for review, it should also be noted that the rezone will introduce new uses to this parcel that were not previously permitted in the I zoning district. Permitted and conditional uses in the R-MU are listed below.

### **Permitted uses allowed in the R-MU zoning district include:**

Accessory use, except those that are otherwise specifically regulated elsewhere in this title\*

Adaptive Reuse of a Landmark Site

Animal, veterinary Office

Art gallery\*

Artisan food production

Bed and breakfast inn\*

Bed and breakfast manor\*

Clinic (medical, dental)\*

Commercial food preparation

Community garden\*

Daycare center, adult\*

Daycare center, child\*

Daycare, nonregistered home daycare\*

Daycare, registered home daycare or preschool\*

Dwelling, accessory unit

Dwelling, assisted living facility (large)

Dwelling, assisted living facility (limited capacity)\*

Dwelling, assisted living facility (small)\*

Dwelling, congregate care facility (small)\*

Dwelling, group home (small)  
 Dwelling, manufactured home  
 Dwelling, multi-family  
 Dwelling, residential support (small)  
 Dwelling, rooming (boarding) house  
 Dwelling, single-family (attached)  
 Dwelling, single-family (detached)  
 Dwelling, twin home and two-family  
 Financial institution  
 Funeral home  
 Home occupation\*  
 Laboratory (medical, dental, optical)  
 Mixed use development  
 Mobile food business (operation on private property)  
 Museum\*  
 Nursing care facility\*  
 Office, excluding medical and dental clinic and office  
 Open space on lots less than 4 acres in size\*  
 Park\*  
 Parking, park and ride lot shared with existing use\*  
 Reception center\*  
 Recreation (indoor)\*  
 Restaurant  
 Retail goods establishment  
 Retail goods establishment, plant and garden shop with outdoor retail sales area  
 Retail service establishment  
 School, music conservatory\*  
 School, professional and vocational\*  
 Seasonal farm stand  
 Studio, art  
 Urban farm\*  
 Utility, building or structure\*  
 Utility, transmission wire, line, pipe or pole\*

**Conditional uses allowed in the R-MU zoning district, include:**

Alcohol, bar establishment (2,500 square feet or less in floor area)  
 Alcohol, brewpub (2,500 square feet or less in floor area)  
 Alcohol, tavern (2,500 square feet or less in floor area)  
 Crematorium  
 Dwelling, congregate care facility (large)\*  
 Dwelling, group home (large)  
 Dwelling, residential support (large)  
 Governmental facility\*  
 Library\*  
 Municipal service use, including City utility use and police and fire station  
 Parking, off site (to support nonconforming uses in a residential zone or uses in the CN or CB Zones)  
 Place of worship on lots less than acres in service\*  
 School, seminary and religious institute  
 Temporary use of closed schools and churches  
 Theater, live performance

(\*) Uses that are also allowed in the Institutional zone.

**Comparison of Zoning Ordinance Standards**

The table below compares key standards and uses in the R-MU and the I district.



	<b>Institutional (I) – Existing Zoning</b>	<b>R-MU (Residential/Mixed Use)</b>
<b>Maximum building Height</b>	Maximum Building Height: Building height shall be limited to thirty-five feet (35'). Building heights in excess of thirty five feet (35') but not more than seventy five feet (75') may be approved through the design review process; provided, that for each foot of height over thirty five feet (35'), each required yard shall be increased one foot (1').	Maximum Building Height: The maximum building height shall not exceed seventy-five feet (75'), except that nonresidential buildings and uses shall be limited by subsections F1 and F2 of this section. Buildings taller than seventy five feet (75'), up to a maximum of one hundred twenty five feet (125'), may be authorized through the design review process and provided, that the proposed height is located within the one hundred twenty five foot (125') height zone indicated in the map located in subsection F3 of this section.
<b>General Yard Requirements</b>	Minimum Yard Requirements: <ol style="list-style-type: none"> <li>1. Front Yard: Twenty feet (20').</li> <li>2. Corner Side Yard: Twenty feet (20').</li> <li>3. Interior Side Yard: Twenty feet (20').</li> <li>4. Rear Yard: Twenty-five feet (25').</li> </ol>	Multi-Family Dwellings and Any Other Residential Uses: <ol style="list-style-type: none"> <li>a. Front Yard: No setback is required.</li> <li>b. Corner Side Yard: No setback is required.</li> <li>c. Interior Side Yard: No setback is required.</li> <li>d. Rear Yard: 25% of lot depth but need not exceed thirty feet (30').</li> </ol> Nonresidential Development: <ol style="list-style-type: none"> <li>a. Front Yard: No setback is required.</li> <li>b. Corner Side Yard: No setback required.</li> <li>c. Interior Side Yard: No setback required.</li> <li>d. Rear Yard: 25% of lot depth but need not exceed thirty feet (30').</li> </ol>
<b>Minimum Open Space</b>	Minimum Open Space Area: The minimum open space area for any use shall not be less than forty percent (40%) of the lot area.	Minimum Open Space Area: For residential uses and mixed uses containing residential use, not less than twenty percent (20%) of the lot area shall be maintained as an open space area. This open space area may take the form of landscape yards or plazas and courtyards, subject to site plan review approval.

Comparing the three key development standards, which are listed in the table above, by right building height and setbacks in the R-MU zoning allows for larger scaled buildings than the I zoning district. Additionally, the R-MU permits substantially smaller setbacks for development. The current development proposal, which is discussed in the subsequent section of this staff report, includes a modification for increased front yard setbacks, which would exceed the established setback requirements in the I zoning district. The proposed development plan illustrates a similar scaled and sited building to the I (Institutional) zoning district. The primary difference in the proposed development with the I zoning district and the requested R-MU district, is the requested use. Multi-family residential is not a permitted land use in the I zoning district.

## CITY WIDE MASTER PLAN CONSIDERATIONS

### East Bench Master Plan (2017)

The associated *East Bench Future Land Use Map* identifies the subject property, as well as the entirety of the University of Utah Campus and Research Park, as a Regional Activity Center. Regional Activity Center includes the following description:

The Regional Activity Center is a regional hub for education, research, employment, and entertainment. Future uses support this function and future growth is a coordinated effort between the City, the surrounding neighborhoods, and the activity center facilities that balances State regional needs with the livability of adjacent neighborhoods.

The East Bench Master Plan addresses the **Growth of Regional Destinations**, with the following statement:

The regional destinations within the East Bench are growing and will continue to grow. While this growth is a positive contribution to the region, it can put a strain on existing resources within the community. Creative solutions are needed to accommodate the housing, service, and transportation needs related to the growth of these facilities.

The Regional Activity Center, specifically the University of Utah, is addressed with the following guideline:

The University of Utah is a State of Utah facility and is not required to comply with local (City) plans or ordinances; however, it has a strong influence on the character of the East Bench community. Due to the close proximity of the campus, the East Bench is a prime housing location for students and the majority of traffic along Foothill Drive is traveling to and from the University of Utah and Research Park. There is a strong desire within the East Bench Community to closely integrate future growth of the University with City planning efforts in an effort to manage impacts to the nearby residential neighborhoods.

The following are identified policy statements in support of the requested zoning map amendment and associated student housing development.

**Initiative R-1.1 Support a mix of uses:** The City, in partnership with the regional facilities, should evaluate zoning changes that would allow a mix of land uses that specifically support the Regional Activity Center.

**Initiative R-1.4 Manage growth according to infrastructure demand:** The facilities in the Regional Activity Center will continue to grow. This growth is a positive contribution to the State and Region; however, it can strain City resources and impact the livability of adjacent neighborhoods. Growth of the regional facilities should be managed according to the ability of the transportation and utility infrastructure to meet that growth. When studies and projections related to future projects show that the project will impact the infrastructure level of service, the facilities should work with the City and any other partnering agencies for a solution prior to construction.

**Discussion:** The requested zoning map amendment from I (Institutional) to R-MU (Residential/Mixed Use) is supported by the East Bench Master Plan policy statements and guidelines for Regional Activity Centers. The rezone locates a large student housing project within the University of Utah boundaries, and relieves some traffic pressure for student commuters along Foothill Drive. The location, according to the East Bench Master Plan policies, is preferred due to its proximity to the University of Utah. The proposed rezone would encourage a student housing development where additional student housing is needed, which is on campus. As discussed on page 73 of the East Bench Master Plan discusses the anticipated increase of student enrollment and the associated student housing provided on campus. In 2014, there was approximately 32,000 students enrolled at the University with only 3,300 on campus housing units. This development would relieve the pressure on many of the East Bench neighborhoods, which currently house many University of Utah students. There are no identified conflicts or concerns with the policy statements or guidelines within the East Bench Master Plan with the requested zoning amendment.



## **Plan Salt Lake (2015)**

Plan Salt Lake outlines an overall vision of sustainable growth and development in Salt Lake City. This includes the development of a diverse mix of uses which are essential to accommodate responsible growth. At the same time, compatibility within existing neighborhoods is essential. New development should be sensitive and consistent with the context of the surrounding development.

Guiding Principles from Plan Salt Lake:

*Neighborhoods that provide a safe environment, opportunity for social interaction, and services needed for the wellbeing of the community therein.*

*Growing responsibly while providing people with choices about where they live, how they live, and how they get around.*

*Access to a wide variety of housing types for all income levels throughout the City, providing the basic human need for safety and responding to changing demographics.*

*A beautiful city that is people focused.*

The proposed zoning map amendment and proposed development are aligned with the vision and guiding principles contained within Plan Salt Lake and are supported by the policies and strategies in the adopted document.

### **Zoning Map Amendment Conclusion:**

The requested zoning map amendment supports the identified policy statements and guidelines within the two applicable adopted master planning documents. Refer to Attachment E for the full analysis of the applicable standards.

Contingent upon the approval of the requested rezone, the applicant is also seeking approval for the proposed Planned Development and Design Review.

## **DESIGN REVIEW AND PLANNED DEVELOPMENT**

### **Project Description**

Ashley Hadfield, project representative, in consideration with the previously discussed zoning map amendment, is requesting Planned Development and Design Review approval to construct 4 multi-family structures with a total of 536 student housing units, contingent upon the approval and adoption of the requested zoning map amendment.

**Design Review:** The requested Design Review is required to exceed the maximum front yard setback within the R-MU zoning district. In this district, at least 25% of the front of a multi-family building must be located within 15 feet of the front property line. The proposed development incorporates large front yard setbacks along the street frontages, which ranging from 26'3" - 41'8" in width. The enlarged front yard setback is requested in order to preserve the existing mature landscaping along both Mario Cappechi Drive and South Campus Drive. Additionally, building C exceeds the front yard setback because it is located building A and B.

**Planned Development:** The requested Planned Development is to accommodate multiple buildings on one lot, one of which does not have frontage on a public street. The Zoning Ordinance requires all buildings to have frontage on a public street unless approved through a planned development.

### **Site Context**

The context of the subject property is primarily the outer western edge of the University of Utah Campus. The existing site contains an LDS institute building. The institute building would be demolished as part of this proposal. The property to the south east is Fort Douglas, the Huntsman Center is located to the north west and a parking structure is located directly west. Additionally, there is a student housing building located on the adjacent corner to the north.

### Site Configuration

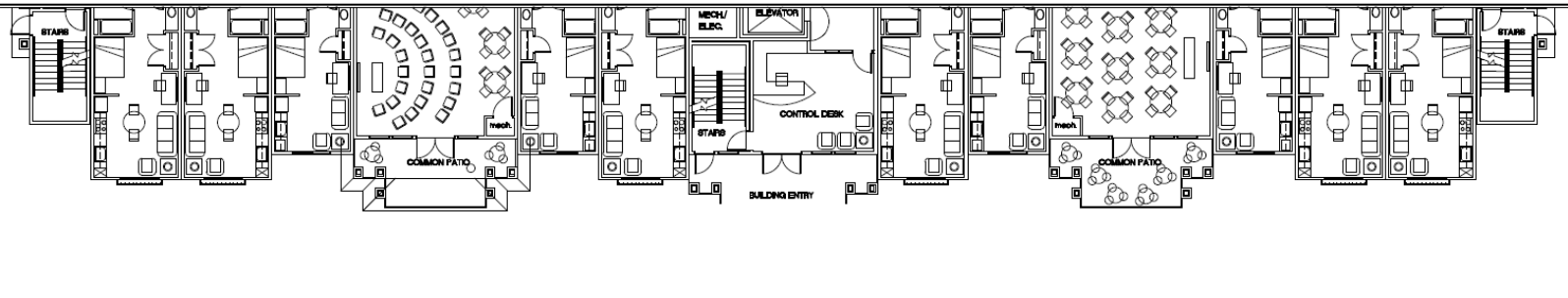
The 5.4 acre site is a corner parcel oriented eastward towards Mario Cappechi Drive. The parcel has the majority of frontage on Mario Cappechi Drive with secondary frontage on South Campus Drive. Three of the buildings are sited to have the primary elevations facing both public frontages. The fourth building is to the west of South Campus Drive, behind Building A. Additionally, the siting creates a large common area to the west for the students living in the proposed units.

### Building Materials and Design

The 4 structures are very similar in design to one another, all of which contain very traditional building design styles and materials. The design and siting of the proposed multi-family structures meet the intent of the requested R-MU (Residential/Mixed Use) zoning district. The purpose of the RM-U zoning district is as followings:

The purpose of the R-MU Residential/Mixed Use District is to reinforce the mixed use character of the area and encourage the development of areas as high density residential urban neighborhoods containing retail, service commercial, and small scale office uses. This district is appropriate in areas of the City where the applicable master plans support high density, mixed use development. The standards for the district are intended to facilitate the creation of a walkable urban neighborhood with an emphasis on pedestrian scale activity while acknowledging the need for transit and automobile access.

The main floor of the primary elevation of each building consists of a high percentage of glass, and durable materials. The durable materials include brick, cementitious lap siding, and accents of standing seam metal roofing. The ground floor transparency of the structure adds significantly to the streetscape and surrounding context. Additionally, the buildings are well articulated. Each façade consists of significant dimensional shifts between building elements. Each primary elevation contains balcony elements to provide outdoor living space and ample solid to void ratios to provide natural light into each unit.

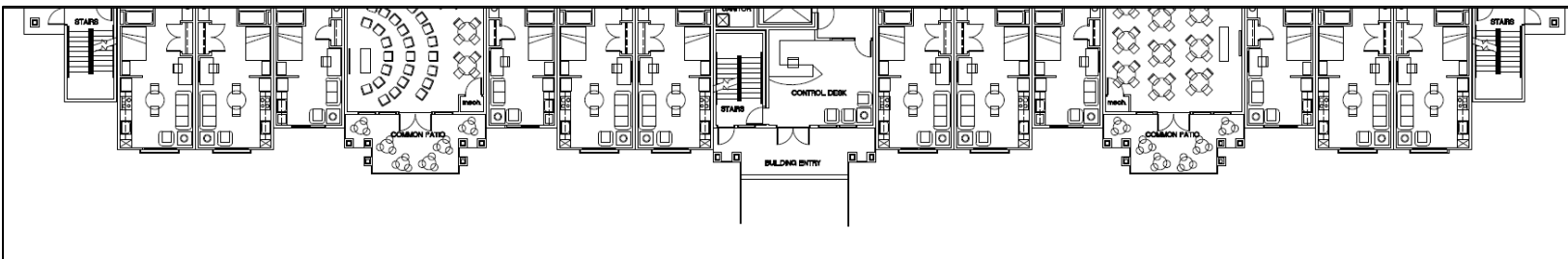


Plan View of the Dimensional Shift along Building A



BLDG. 'A' ELEVATION - FACING SOUTH CAMPUS DRIVE

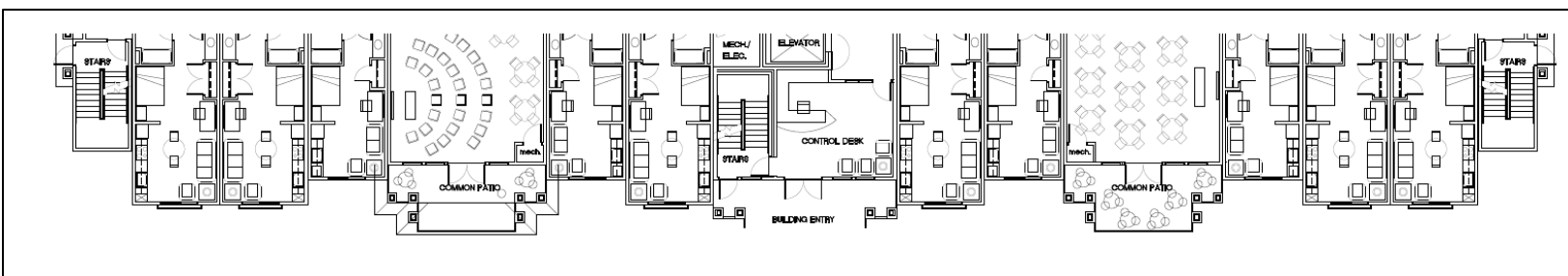




Plan View of the Dimension Shift along Building B



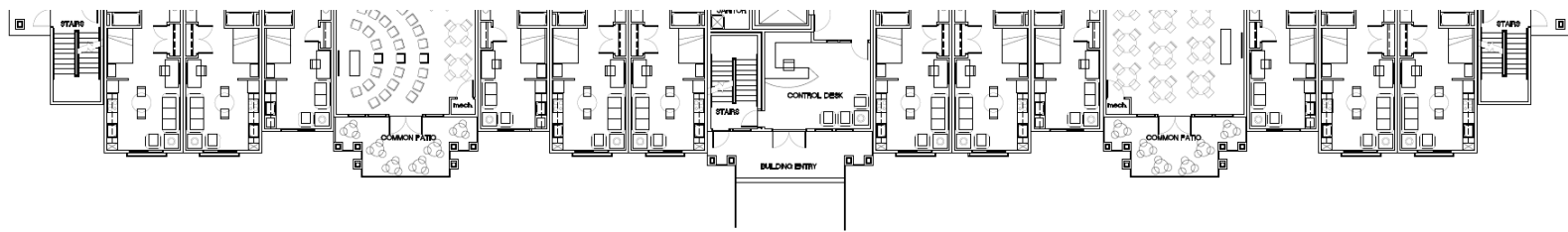
BLDG. 'B' ELEVATION - FACING MARIO CAPECCHI DR.



Plan View of the Dimension Shift along Building C



BLDG. 'C' ELEVATION - FACING SOUTH CAMPUS DRIVE



Plan View of the Dimension Shift along Building D



BLDG. 'D' ELEVATION - FACING MARIO CAPECCHI DR.

As part of the requested Design Review, the buildings sited along public street frontages will have larger front yard setbacks to preserve the existing mature landscaping. The requested increase in the front yard setbacks will enhance the proposed development by incorporating the existing mature vegetation. Additionally, the site will incorporate new sidewalks for pedestrian friendly access to the development and to the rest of the University of Utah campus.



The rest of the site will include additional landscaping and outdoor features. The buildings are oriented towards the public way to create a large gathering space for the future residents. As illustrated in the site plan above, the development contains approximately 28.5% landscaping.

### **Parking and Circulation**

The proposed development includes an on-grade parking lot to the south west of the 4 structures. As proposed, the parking lot does not front on a public street. The applicant is providing approximately 211 off-street parking stalls, which is less than 1 stall per unit. This parking ratio is permitted in the R-MU zoning district and is appropriate for the proposed student housing development. The development is within walking distance to Campus, as well as the UTA Redline Trax station to the north.

### **Key Considerations for the Planned Development and Design Review**

#### **Consideration 1: Multiple Buildings on a Single Parcel**

As discussed above, the proposed development is requesting approval to modify the requirement that each principal structure has public street frontage. The development includes 4 buildings on a single parcel. This zoning requirement is often modified through the Planned Development process. The intent of this zoning standard is to ensure that each building within a development has ample street frontage, utility access, pedestrian access and proper circulation. The proposed development is in line with the applicable Planned Development standards and does not conflict with the intent of this specific zoning provision.

#### **Consideration 2: Increased Front Yard Setback for an R-MU Development**

As discussed under the project description, the proposed development is increasing the front yard setback to preserve the existing mature landscaping along the two street frontages. Typically, the R-MU zoning district is located within an urban context and thus, requires minimal front yard setbacks. However, in this specific context, there is little urban development for this proposal to complement. Thus, the requested increase in the provided front yard will not conflict with an existing development pattern. Additionally, the increase in the provided front yard will preserve the mature landscaping, create a pedestrian friendly environment, and create a buffer for the traffic along Foothill and Mario Cappechi Drive.

### **DISCUSSION:**

In summary, the requested Zoning Map Amendment, Planned Development and Design Review are aligned with the East Bench Master Plan, Plan Salt Lake policy statements and guidelines and the intent of the R-MU zoning district. The proposed project design generally satisfies the standards for Design Review and Planned Development.

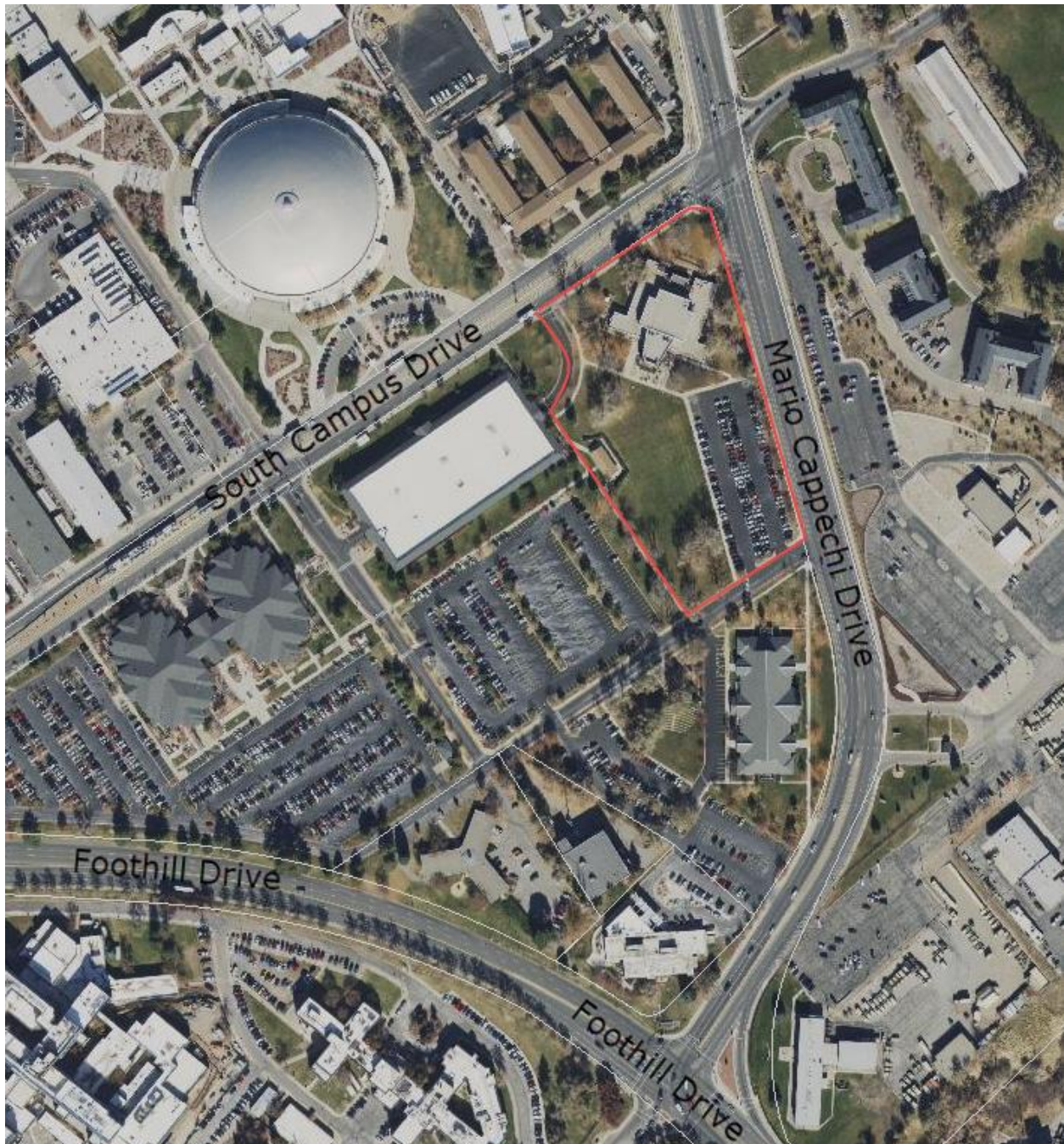
### **NEXT STEPS:**

The City Council has the final decision for the requested zoning map amendment. The Planning Commission has the final decision for the Design Review and Planned Development; however, they are both contingent upon the City Council approval of the Zoning Map Amendment.



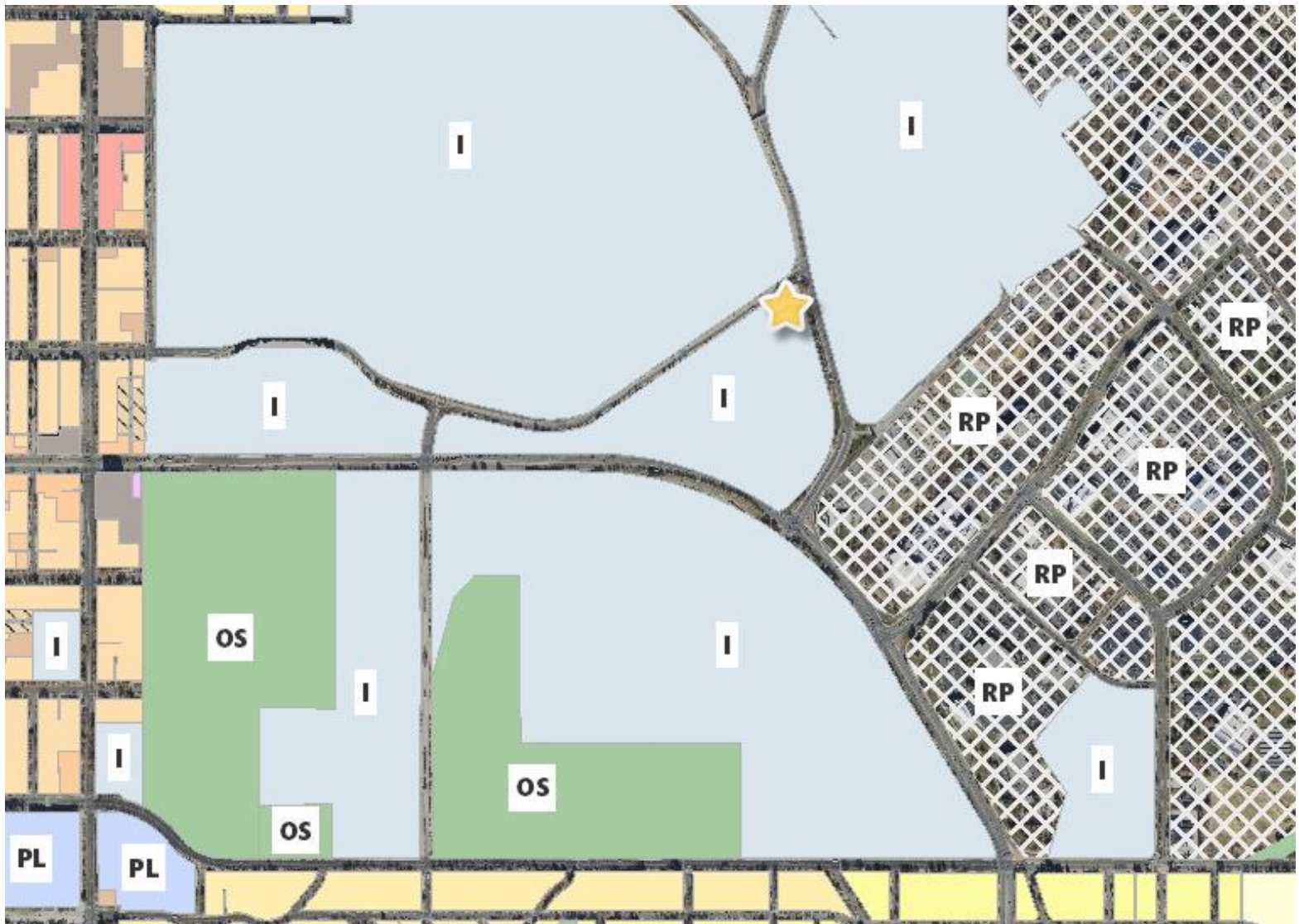
## ATTACHMENT A: VICINITY MAP

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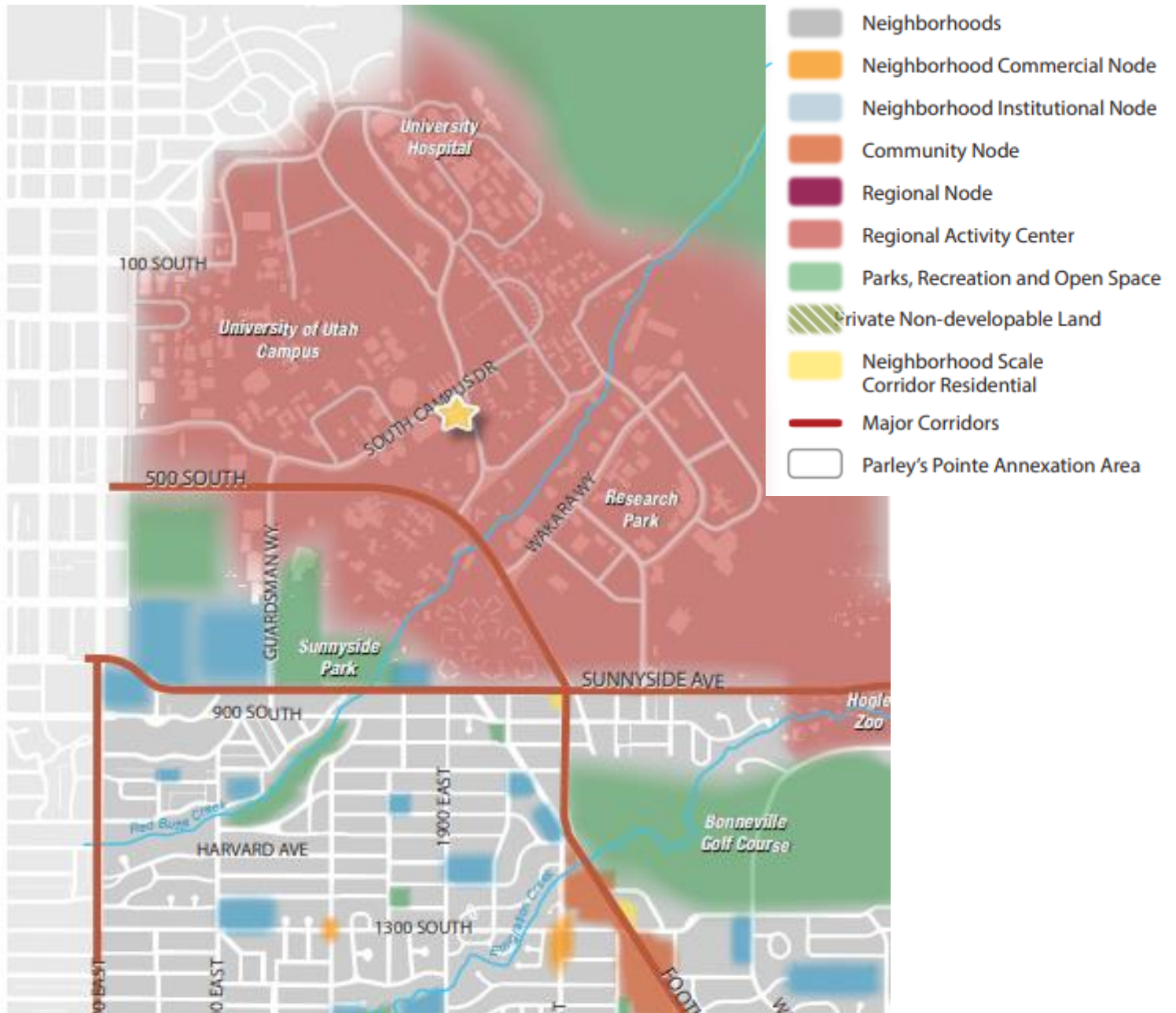




## Area Zoning



## East Bench Master Plan Future Land Use Map



# **ATTACHMENT B: ZONING MAP AMENDMENT SUBMITTAL**

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# Zoning Amendment

SALT LAKE CITY PLANNING

☐ Amend the text of the Zoning Ordinance ☐ Amend the Zoning Map

## OFFICE USE ONLY

Received By:

Date Received:

Project #:

Name or Section/s of Zoning Amendment:

## PLEASE PROVIDE THE FOLLOWING INFORMATION

Address of Subject Property (or Area):

Name of Applicant:

Phone:

Address of Applicant:

E-mail of Applicant:

Cell/Fax:

Applicant's Interest in Subject Property:

☐ Owner ☐ Contractor ☐ Architect ☐ Other: **Project Manager**

Name of Property Owner (if different from applicant):

**Please note** that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

## AVAILABLE CONSULTATION

If you have any questions regarding the requirements of this application, please contact Salt Lake City Planning Counter at [zoning@slcgov.com](mailto:zoning@slcgov.com) prior to submitting the application.

## REQUIRED FEE

Map Amendment: filing fee of **\$1,058** plus **\$121** per acre in excess of one acre

Text Amendment: filing fee of **\$1,058**, plus fees for newspaper notice.

Plus, additional fee for mailed public notices. Noticing fees will be assessed after the application is submitted.

## SIGNATURE

➔ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent:

Date:

*Ryan Prows*

## SUBMITTAL REQUIREMENTS

Staff Review

**1. Project Description** (please electronically attach additional sheets. See [Section 21A.50](#) for the Amendments ordinance.)

☐☐

A statement declaring the purpose for the amendment.

☐☐

A description of the proposed use of the property being rezoned.

☐☐

List the reasons why the present zoning may not be appropriate for the area.

☐☐

Is the request amending the Zoning Map?  
If so, please list the parcel numbers to be changed.

☐☐

Is the request amending the text of the Zoning Ordinance?  
If so, please include language and the reference to the Zoning Ordinance to be changed.

## WHERE TO FILE THE COMPLETE APPLICATION

Apply online through the [Citizen Access Portal](#). There is a [step-by-step guide](#) to learn how to submit online.

## INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

\_\_\_\_\_ I acknowledge that Salt Lake City requires the items above to be submitted before my application can be processed. I understand that Planning will not accept my application unless all of the following items are included in the submittal package.



**EXHIBIT A**  
**SUBMITTAL REQUIREMENTS**  
**PROJECT DESCRIPTION**

1. PURPOSE FOR THE AMENDMENT IN QUESTION:

- Acreage: 5.4 acres
- Address: South Campus Drive & Mario Capecchi Drive, Salt Lake City, Utah 84108 (the “**Property**”)
- Current Zoning: Institutional
- Proposed Zoning: Residential Mixed Use (RMU)

2. A DESCRIPTION OF THE PROPOSED USE OF THE PROPERTY BEING REZONED:

The Property is currently in Salt Lake City. The intention is to subdivide a portion of a parcel land and make the subdivided parcel the subject of the rezone, Planned Development, Design Review, and build an integrated student housing project with mixed-use amenities. The requested rezone will facilitate the development of this project and will tie in infrastructure improvements intended for the area to facilitate development. The conceptual site plan, attached hereto as Exhibit B, contemplates, among other things for both the Property:

- 4 buildings (5 & 4 stories – less than 75’ in height);
- Up to 152 units per building (346 sq. ft. minimum);
- Total density of 536 units;
- Building coverage of 27.26%;
- 211 parking spaces;
- Parking coverage of 27.18%; and
- Landscaping coverage of 28.54%.

3. REASONS WHY THE PRESENT ZONING MAY NOT BE APPROPRIATE FOR THE AREA:

- The Property is adjoined by the following zoning districts:
  - North: Institutional (South Campus Drive)
  - East: Institutional (Mario Capecchi Drive)
  - South: Institutional (Research Road)
  - West: Institutional
- The Property is located within the Regional Activity Center in the East Bench Master Plan (adopted 2/2017). The East Bench Master Plan highlights the importance of “Connecting People to Places” and the “Growth of Regional Destinations.” As the University of Utah continues to grow, it is critical to provide students a place to live that is proximate to campus. Ivory University House plans to help fulfill the East Bench Master Plan by providing an off-campus solution helps “Connect People to Places.” The East Bench Master Plan also highlights the importance of preserving open space and existing trees on properties. Ivory University House intends to preserve and enhance open space and existing trees on the Property and in accordance with the Salt Lake City Urban Forestry.

- A rezone of the Property would support student housing in the area that already exists in the current zone of Institutional. The existing University of Utah campus and the Church of Jesus Christ of Latter-Day Saints Institute provides an adjacent, complimentary use. Student residential housing will involve efficient use of the Property and coordinate well with existing and planned public infrastructure.
- A rezone of the Property will support nearby developments, including, without limitation, the University of Utah, the Church of Jesus Christ of Latter-day Saints Institute, and will provide infrastructure improvements for the area to facilitate development. We have been in contact with the Utah Department of Transportation, Salt Lake City Public Utilities, The University of Utah, and others with respect to constructing and/or contributing to: (i) new water and sewer lines (ii) and connecting walkways to nearby Trax that will reduce traffic congestion on South Campus Drive and Mario Capecchi Drive during events and school commutes.

4. PARCEL NUMBERS TO BE CHANGED:

- Property: Parcel Id. No. 16-04-400-011-0000; from Institutional to RMU
- The entire Parcel ID number listed above contains 30.92 acres of land currently owned by the Church of Jesus Christ of Latter-Day Saints. Of this 30.92-acre site, a proposed lot of 5.40 acres will be created in the Northeast corner. This 5.40-acre lot is being proposed for a zoning ordinance change from Institutional to RMU. The remaining 25.52 acres of land will remain as Institutional. A subdivision plat will be proposed and submitted with this rezoning package.

**EXHIBIT B**  
**SITE PLAN**

[See Attached]





LOT AREAS:

LOT		SQ. FT. / ACRES
BUILDING FOOTPRINT	235,362 SQ. FT. / 5.40 ACRES	
ASPHALT	64,178 SQ. FT. / 1.47 ACRES	
TOTAL LANDSCAPING	62,534 SQ. FT. / 1.44 ACRES	
PARKING LANDSCAPING	67,168 SQ. FT. / 1.54 ACRES	
REMAINING LANDSCAPING	3,278 SQ. FT. / 0.08 ACRES	
CONCRETE	63,890 SQ. FT. / 1.47 ACRES	
EXISTING CONCRETE	166,977 SQ. FT. / 3.83 ACRES	
	2,286 SQ. FT. / 0.05 ACRES	

- NOTE:
- ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT LANDSCAPING AREAS:

	SQ. FT.	CITY REQ'T
PARKING AREA:	63,984 SQ. FT.	
PARKING AREA LANDSCAPING	3,278 SQ. FT. (5% OR 3,199 SQ. FT. REQ'D)	
TOTAL LANDSCAPING	67,168 SQ. FT. (20% REQ'D: 28.54% PROVIDED)	

- NOTE:
- PARKING AREA DOES NOT INCLUDE TRUCK MANUVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.
  - LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS(WALKWAYS, BIKE RACKS, CURB & GUTTERS).
  - ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT PARKING REQUIREMENTS:

	QUANTITY	CITY REQ'M'T
STUDIO	536	211 (DETERMINED BY PC)
TOTAL REQUIRED:		211
TOTAL PROVIDED:		211
ACCESSIBLE SPACES		7 (7 REQ'D 201 TO 300)
BICYCLE SPACES		16 (10.55 REQ'D 5% OF 211)

- NOTES:
- ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

CIVIL ENGINEERING  
+ SURVEYING

3032 SOUTH 1030 WEST, SUITE 202  
SLC, Utah 84119

IVORY UNIVERSITY HOUSE  
SOUTH CAMPUS DRIVE & MARIO CAPECCHI DRIVE, SALT LAKE CITY, UTAH  
OVERALL SITE PLAN

SCOTT D. THORSEN  
No. 354291  
STATE OF UTAH

CALL BEFORE YOU DIG  
BLUE STAKES 1 800 662 5711

SHEET NO.  
C1.0

PROJECT ID: A-1000  
FILE NAME: PRJ-UHP

DATE: 04/01/21  
SCALE: 1"=40'

BY: [blank]  
DATE: [blank]  
REVISIONS: [blank]  
DESIGNER: [blank]  
PROJECT ENGINEER: [blank]



## **ATTACHMENT C: PLANNED DEVELOPMENT AND DESIGN REVIEW APPLICATION AND PLANS**





# Planned Development

## OFFICE USE ONLY

Project #:	Received By:	Date Received:	Zoning:
------------	--------------	----------------	---------

Project Name:

## PLEASE PROVIDE THE FOLLOWING INFORMATION

Request:

Address of Subject Property:  
1780 E South Campus Drive

Name of Applicant: Ashley Hadfield	Phone: [REDACTED]
---------------------------------------	----------------------

Address of Applicant:  
978 E Woodoak Lane

E-mail of Applicant: [REDACTED]	Cell/Fax: [REDACTED]
------------------------------------	-------------------------

Applicant's Interest in Subject Property:

☐ Owner ☐ Contractor ☐ Architect ☒ Other: Project Manager

Name of Property Owner (if different from applicant):  
Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-Day Saints

E-mail of Property Owner: [REDACTED]	Phone: [REDACTED]
---	----------------------

**Please note** that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

## AVAILABLE CONSULTATION

Planners are available for consultation prior to submitting this application. Please email [zoning@slcgov.com](mailto:zoning@slcgov.com) if you have any questions regarding the requirements of this application.

## WHERE TO FILE THE COMPLETE APPLICATION

Apply online through the **Citizen Access Portal**. There is a **step-by-step guide** to learn how to submit online.

## REQUIRED FEE

Filing fee of **\$775** plus **\$121** per acre in excess of (1) acre.  
Plus additional fee for required public notices will be assessed after application is submitted.

## SIGNATURE

If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent: <i>Ryan Prows</i>	Date: 4.1.2021
---	-------------------

## SUBMITTAL REQUIREMENTS

### Staff Review

- |                          |                                     |   |
|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>1. Project Description</b></p> <p>Description of your proposed use and existing use (please attach additional sheet/s)</p>  |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>2. Planned Development Information.</b></p> <p>Provide the following written and graphic information (please attach additional sheet/s):</p> <ol style="list-style-type: none"> <li>Demonstrate how your project meets the purpose and objectives of a planned development as stated in <a href="#">21A.55.010</a> of the Planned Development ordinance;</li> <li>Demonstrate how your project meets the Standards for Planned Developments as stated in <a href="#">21A.55.050</a> of the Planned Development ordinance; and</li> <li>Describe the plan for long term maintenance of all private infrastructure as stated in <a href="#">21A.55.110</a> of the Planned Development ordinance.</li> </ol> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>3. Minimum Plan Requirements</b></p> <p>A digital (PDF) copy of each plan and elevation drawing</p>   |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>4. Site Plan</b></p> <p>Site plan (see the <i>Site Plan Requirements flyer</i> for further details)</p>   |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p><b>5. Elevation Drawing (if applicable)</b></p> <p>Detailed elevation, sections and profile drawings with dimensions drawn to scale</p>  |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p>Type of construction and list the primary exterior construction materials</p>  |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p>Number, size, and type of dwelling units in each building, and the overall dwelling unit density</p>   |

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

X \_\_\_\_\_ I acknowledge that Salt Lake City requires the items above to be submitted before my application can be processed. I understand that Planning will not accept my application unless all of the following items are included in the submittal package.



# Design Review

OFFICE USE ONLY			
Project #:	Received By:	Date Received:	Zoning:
Project Name:			
PLEASE PROVIDE THE FOLLOWING INFORMATION			
Request:			
Address of Subject Property:			
Name of Applicant:		Phone:	
Address of Applicant: 978 E Woodoak Lane			
E-mail of Applicant:		Cell/Fax:	
Applicant's Interest in Subject Property:			
Owner	Contractor	Architect	Other:
Name of Property Owner (if different from applicant):			
E-mail of Property Owner:		Phone:	
<p><b>Please note</b> that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.</p>			
AVAILABLE CONSULTATION			
Planners are available for consultation prior to submitting this application. Please email <a href="mailto:zoning@slcgov.com">zoning@slcgov.com</a> if you have any questions regarding the requirements of this application.			
WHERE TO FILE THE COMPLETE APPLICATION			
Apply online through the <a href="#">Citizen Access Portal</a> . There is a <a href="#">step-by-step guide</a> to learn how to submit online			
REQUIRED FEE			
Filing fee of <b>\$758</b> plus <b>\$121</b> per acre in excess of (1) acre. *Additional fee for required public notices will be assessed after the application is submitted.			
SIGNATURE			
If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.			
Signature of Owner or Agent: <i>Ryan Prows</i>		Date:	

## SUBMITTAL REQUIREMENTS

Staff Review

### 1. Project Description (please attach additional sheet)

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Written description of your proposal.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Type of construction and list the primary exterior construction materials.                        |
| <input type="checkbox"/> | <input type="checkbox"/> | Number, size, and type of dwelling units in each building, and the overall dwelling unit density. |

### 2. Minimum Plan Requirements

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | A digital (PDF) copy of each plan and elevation drawing. |
|--------------------------|--------------------------|--|

### 3. Site Plan

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Site plan (see <a href="#">Site Plan Requirements</a> flyer for further details). |
|--------------------------|--------------------------|---|

### 4. Elevation Drawing

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Detailed elevation, sections and profile drawings with dimensions drawn to scale. |
|--------------------------|--------------------------|---|

### 5. Additional Requirements

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | All of the application information required for site plan review as identified in <a href="#">Section 21A.58</a> of this title.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Photos showing the facades of adjacent development, trees on the site, general streetscape character, and views to and from the site.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Demonstration of compliance with the purpose of the individual zoning district in written narrative and graphic images.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Demonstration of compliance with the purpose of the applicable design standards of the individual zoning district in written narrative, graphic images, and relevant calculations. |
| <input type="checkbox"/> | <input type="checkbox"/> | Demonstration of compliance with the applicable design review objectives ( <a href="#">Section 21A.59.050</a> ) in written narrative, graphics, images, and relevant calculations. |

## INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

I acknowledge that Salt Lake City requires the items above to be submitted before my application can be processed. I understand that Planning will not accept my application unless all of the following items are included in the submittal package.



## PLANNED DEVELOPMENT APPLICATION

---

### PROJECT DESCRIPTION:

Ivory University House (the “Project”) is a proposed 536-bed student housing community located at 1780 E South Campus Drive in Salt Lake City, Utah. The primary objective of the Project is to provide a focused learning environment where University of Utah students will feel welcomed, engaged, and secure during their higher education careers. Ivory University House will donate all net proceeds to fund scholarships at the University of Utah for students demonstrating financial hardship.

The existing site currently houses a Church of Jesus Christ of Latter-day Saints Chapel and is zoned Institutional. Surrounding properties include Fort Douglas, the University of Utah, and the Church of Jesus Christ of Latter-Day Saints Institute.

### PLANNED DEVELOPMENT OBJECTIVES (21A.55.050.A)

*"The planned development shall meet the purpose statement for a planned development (section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development. The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development."*

As further demonstrated below in the applicable sections of the Application, the Project will achieve the purposes of implementing the City’s vision of future growth by providing critical student housing in an innovative and safe environment; maximizing the efficient use of land and resources by preserving open space and trees while providing over 500 student rooms; promoting greater efficiency in public and utility services with upgrades to utilities; encouraging innovative planning and development by providing a student housing environment that is focused on students’ high levels of academic achievement while providing scholarships to students; and reinforcing the character of the surrounding University and Fort Douglas neighborhood. By doing so, the Project is consistent with the City’s master plan for the area. Specifically, the Project will meet the Planned Development Objectives of preservation of urban forest (21A.55.010 A.2.); result in a housing type that is not commonly found in the existing neighborhood but is of a scale that is typical to the University neighborhood (21A.55.010 C.2.); establish increased connectivity to transit through new interior walk connections (21A.55.010 D.1.); and will encourage transportation options other than the automobile such as walking, bicycling and use of Trax given its proximity to the University of Utah campus and nearby Trax station (21A.55.010 D.2.)

### MODIFICATIONS TO ZONING:

This plan will require a Planned Development Application (“PD”) for permitting one (1) exception to the existing code: an exception to build housing that doesn’t face the public street.



**Master Plan Compatibility (21A.55.050.B)**

1. ***The proposed planned development is generally consistent with adopted policies set forth in the Citywide, community, and/or small area Master Plan that is applicable to the site where the planned development will be located.***
  - a. Designated as a Regional Activity Center in the East Bench Master Plan, the Project is consistent with the Master plan policies by promoting community engagement and increasing mobility by moving students closer to campus.

**Design and Compatibility (21A.55.050.C)**

1. ***Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;***
  - a. The Project's scale, mass, and intensity are consistent with adjacent and nearby buildings found on the University of Utah campus, the Church of Jesus Christ of Latter-day Saints Institute, and Fort Douglas.
  - b. The site is subject to the East Bench Master Plan (adopted 2/2017) and is located in the Regional Activity Center. The Regional Activity Center is a "hub for education, research, employment, and entertainment. Future uses support this function, and future growth is a coordinated effort between the City, the surrounding neighborhoods, and the activity center facilities that balances State and regional needs." The Project seeks to be a private solution to help address the growth of the University of Utah and further the East Bench Master Plan to be a "hub for education" and meet, critical housing needs in the area.
2. ***Whether building setbacks along the perimeter of the development:***
  - a. ***Maintain the visual character of the neighborhood or the character described in the applicable Master Plan.***
    - i. The Project intends to create a traditional student housing campus with a collegiate architectural feel, which is compatible and contextual with the neighboring University of Utah campus and Fort Douglas buildings.
  - b. ***Provide sufficient space for private amenities.***
    - i. The PD modification allows the Project to create a traditional student housing campus with a gated central open space. This central open space is programmed to allow opportunities for students to engage with the community and with the University of Utah campus.
  - c. ***Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise.***
    - i. The PD modification allows for the Project to provide sufficient open space. Buffering the proposed development by keeping all activity focused on the central areas of the Project. The ability to keep open space is essential as it allows us to buffer noise from buildings and create a gated community which is imperative to student safety and privacy.
  - d. ***Provide adequate sight lines to streets, driveways and sidewalks.***

- i. The Project's site plan provides sightlines to streets, driveways and sidewalk as required by code.
- e. ***Provide sufficient space for maintenance.***
  - i. As part of the Design Review application, zoning relief is requested to save existing trees along Mario Capecchi and South Campus Drive. This relief also allows sufficient space for maintenance and creates a streetscape similar to the LDS Institute, Fort Douglas, and the University of Utah campuses.
- 3. ***Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;***
  - a. All main entrances, of the Project's buildings face the public sidewalk to create an engaging environment. The main entrances use large storefront windows and doors, a colonnade and extensive front "porch" elements compatible with the historic neighborhood characteristics. Other secondary balconies/porch elements use large glass elements that engage the pedestrian interest and interaction. The architectural massing has positive and negative articulation spaces along the façade to increase the interplay with the streetscape. The proposed design accomplishes the intent of the code for "interest and interaction" with the pedestrian.
- 4. ***Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;***
  - a. The Project's main concern is the safety of our residents. Thus, lighting will be emphasized at the building entrances, but otherwise will be low level and therefore compatible with residential living requirements.
  - b. Lighting is proposed to meet the city lighting master plan and abide by dark sky and pedestrian safety requirements. Low-level lighting on the building and sidewalk entries will be provided. Parking lot lighting will be pole-mounted but be down-only lighting meeting minimum foot candle levels.
  - c. The Project will be properly lighted to promote student safety and will be downlit to reduce the Project's affects on surrounding properties.
- 5. ***Whether dumpsters, loading docks and/or service areas are appropriately screened; and***
  - a. There will be no loading docks or storage areas outside of the Project's buildings. The mechanical equipment will be within a screen roof well and a hipped roof. Dumpsters will be provided near the parking with screened masonry enclosures.
- 6. ***Whether parking areas are appropriately buffered from adjacent uses.***
  - a. The current adjacent use to the parking area is another parking lot. The parking lot will be screened by the proposed buildings and will have a security fence and gate system. The Project is also designed to maintain trees and landscaping as a buffer for the parking areas and adjacent uses.

#### **Landscaping (21A.55.050.D)**

***The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the Planning Commission should consider:***

1. ***Whether mature native trees located along the periphery of the property and along the street are preserved and maintained;***
  - a. Zoning relief to increase building setbacks is requested in the design review application for the preservation of existing trees along Mario Capecchi Drive and South Campus Drive.
2. ***Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved;***
  - a. As stated above, an important Project objective is to keep as many existing mature trees as possible. City support of the zoning relief is crucial to meeting this objective.
3. ***Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development; and***
4. ***Whether proposed landscaping is appropriate for the scale of the development.***
  - a. The landscaping is appropriate for the scale of the development and is designed to lessen the impacts on adjacent properties and compliment the character and design of adjacent uses.

#### **Mobility (21A.55.050.E)**

The proposed planned development supports Citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the Planning Commission should consider:

1. ***Whether drive access to local streets will negatively impact the safety, purpose and character of the street;***
  - a. The Project is currently used as a parking lot for the University of Utah and for worship services for the Church of Jesus Christ of Latter-Day Saints. The Project plans to eliminate one access along Mario Capecchi Drive. The number of drive accesses will remain the same along Research Road but will be moved farther away from Mario Capecchi Drive.
2. ***Whether the site design considers safe circulation for a range of transportation options including:***
  - a. ***Safe and accommodating pedestrian environment and pedestrian oriented design;***
    - i. Please see answer under five.
  - b. ***Bicycle facilities and connections where appropriate, and orientation to transit where available; and***
    - i. Please see answer under five.
  - c. ***Minimizing conflicts between different transportation modes;***
    - i. Please see answer under five.
3. ***Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities;***
  - a. Please see answer under five.
4. ***Whether the proposed design provides adequate emergency vehicle access; and***
  - a. Please see answer under five.

5. ***Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.***

The Project promotes safe and efficient circulation within the site and surrounding uses while considering pedestrian safety, bicycle facilities in an appropriate location, and proper access to other transportation modes, including Trax.

6. ***Existing Site Features: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.***
- a. Great lengths have been taken to preserve trees and green spaces in the Project's design to protect the property's existing character.
7. ***Utilities: Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area. (Ord. 8-18, 2018)***
- b. Both Salt Lake City and the University of Utah Utilities, departments have been engaged to ensure compliance with this standard.

# Compliance of Design Review Standard

---

## PROJECT DESCRIPTION:

Ivory University House (the “Project”) is a proposed 536-bed student housing community located at 1780 E South Campus Drive in Salt Lake City, Utah. The primary objective of the Project is to provide a focused learning environment where University of Utah students will feel welcomed, engaged, and secure during their higher education careers. Ivory University House will donate all net proceeds to fund scholarships at the University of Utah for students demonstrating financial hardship.

The existing site currently houses a Church of Jesus Christ of Latter-day Saints Chapel and is zoned Institutional. Surrounding properties include Fort Douglas, the University of Utah, and the Church of Jesus Christ of Latter-day Saints Institute.

## 21A.59.050: STANDARDS FOR DESIGN REVIEW:

The standards in this section apply to all applications for design review as follows:

- A. ***Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.***
  - a. The purpose of the Residential/Mixed Use District (R-MU) “is to reinforce the mixed-use character of the area and encourage the development of areas as high density residential urban neighborhoods containing retail, service commercial, and small-scale office uses. The standards for the district are intended to facilitate the creation of a walkable urban neighborhood with an emphasis on pedestrian scale activity while acknowledging the need for transit and automobile access.” Ivory University House meets the standards as set by the R-MU designation as the Project will help create a walkable community with an emphasis on increased pedestrian and transit access for students.
  - b. Designated as a Regional Activity Center in the East Bench Master Plan, the Project is consistent with the Master plan policies by promoting community engagement and increasing mobility by moving students closer to campus.
- B. ***Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.***
  - a. ***Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot).***
    - i. The Project’s architecture has been developed to emphasize the entry elements as the dominant design feature of the streetscape/public sidewalk facades.





Buildings A, B, and D all have primary entrances that face a public sidewalk. Building C is setback (per Planned Development approval) with primary entrances facing the common green and secondary entrances facing the parking lot.

- b. ***Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood.***
  - i. The Project's primary elevations face the street and are compatible and contextual with the surrounding neighborhood campus patterns of the University, Fort Douglas, and the LDS Institute. Parking for the Project is located behind buildings C and D so that all parking is screened by building massing from street view.
- c. ***Parking shall be located within, behind, or to the side of buildings.***
  - i. All parking for the Project is located behind or to the side of the buildings and not within public street view.
- C. ***Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.***
  - a. ***Locate active ground floor uses at or near the public sidewalk.***
    - i. All main entrances for the Project, face out to the public sidewalk to create an engaging environment. The main entrances use large storefront windows and doors, a colonnade, and an extensive front "porch" element compatible with the historic neighborhood context. Other secondary balcony / porch elements use large glass elements that engage pedestrian interest and interaction. The architectural massing has positive and negative articulating spaces along the façade to increase the interplay with the streetscape. The proposed design creates "interest and interaction" with the pedestrian.
  - b. ***Maximize transparency of ground floor facades.***
    - i. All ground floor facades are easily viewed and accessible. The housing units have smaller, more appropriately scaled, and proportioned fenestration of the architectural theme. As such, the entire main floor is interactive with fenestration to the percentage that fits the context. Building A's main floor street elevation has 32% glazing, and Building B's main floor street elevation has 37% glazing. Due to the neighborhood's historical context and the overall architectural design it would be inappropriate to increase the amount of glazing beyond the proposed scheme.
  - c. ***Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions.***
    - i. The Project's main entrances feature prominent architectural details at window transitions and articulations, including transom windows, sidelights, and colonnade elements.
  - d. ***Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces.***

- i. The Project will maintain open spaces that have a direct visual connection to the street and outdoor space to meet the Project's primary landscape objective of preserving existing trees. The buildings have been set back to preserve as many trees as possible and maintain the existing mature landscape and "park-like" feel of the neighborhood.
- D. Large building masses shall be divided into heights and sizes that relate to human scale.**
  - a. **Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis.**
    - i. The buildings have been broken into smaller elements both vertically and horizontally with the use of large and small balconies, pilasters, columns, hipped dormers, dentil soffits, as well as banding of materials (both brick and horizontal cladding) to divide the large building masses into relatable human scale.
  - b. **Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height.**
    - i. The use of brick as a "heavier" element along the base two to three levels establishes the foundation of the building, while the cladding in the upper floors lightens the massing and helps to balance the visual massing. By allowing some brick to be higher in some areas and cladding lower in others, the vertical articulation is accomplished cutting down and softening the overall horizontality of the building.
  - c. **Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals.**
    - i. The Project features a mix of secondary elements that help divide height and size, including balconies, porches, belt courses, a variety of fenestration treatments and detailing.
  - d. **Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.**
    - i. The intent of the Project is to create a traditional collegiate architectural campus and be compatible and contextual with neighboring campus and Fort Douglas buildings.
- E. Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include:**
  - a. **Changes in vertical plane (breaks in facade);**
    - i. The building façade have changes in both horizontal and vertical planes.
  - b. **Material changes; and**
    - i. The buildings integrate a variety of materials, including modular brick, precast concrete banding, cement board horizontal lapped cladding, standing seam metal lower roof elements, and architectural grade asphalt shingles with variations and detailing appropriate to the architectural theme.
  - c. **Massing changes.**

- i. Massing is articulated in both horizontal and vertical elements as noted above.
- F. ***If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements:***
  - i. ***Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");***
  - ii. ***A mixture of areas that provide seasonal shade;***
  - iii. ***Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inches (2") caliper when planted;***
  - iv. ***Water features or public art;***
  - v. ***Outdoor dining areas; and***
  - vi. ***Other amenities not listed above that provide a public benefit.***
  - b. N/A to University House
- G. ***Building height shall be modified to relate to human scale and minimize negative impacts. In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive City skyline.***
  - a. ***Human scale:***
    - i. ***Utilize step backs to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans.***
      - 1. Ivory University House relates to the height and scale of adjacent and nearby buildings found on the University of Utah campus, the Institute, and Fort Douglas.
    - ii. ***For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height.***
      - 2. The buildings feature a center patio core that provides a distinct center, while our top sections are highlighted by a different construction material to reduce the sense of apparent height.
      - 3. Preserving 60 ft plus tall trees help to bring the perceived scale of the building height down significantly.
  - b. ***Negative impacts:***
    - i. ***Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors.***
      - 1. The taller (5) stories buildings, A and B, have been placed on the public street side to emphasize and accent the major street intersection of South Campus Drive and Mario Capecchi Drive. The (4) story buildings, C and D, have been reduced in height to be more compatible with the context of the LDS church, the institute, and other surrounding office uses.

- ii. ***Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height.***
        - 1. The building heights are 50 ft to the soffits and are set back to preserve even taller mature trees such that the shadow impact is negligible to the public realm.
      - iii. ***Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.***
    - c. ***Cornices and rooflines:***
      - i. ***Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition.***
        - 1. A hipped roof with hipped dormers and large overhangs for dentil soffits has been designed. The roof element of one of the buildings is proposed to also be punctuated with a cupola tower element. Main floor lower roof elements of standing seam hipped massing help to break up the roof and façade and accentuate the pedestrian scale at street level.
      - ii. ***Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings.***
        - 1. The context of the roof massing is complementary to the University of Utah, Fort Douglas, and the LDS Institute's architecture.
      - iii. ***Green Roof And Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the storm water system.***
        - 1. The Project does not include a roof deck. However, the design includes a large balcony on the top floor in two locations per building to allow for indoor-outdoor gatherings with expansive views Salt Lake Valley.
- H. ***Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway.***
  - i. The parking has been provided with a security fence and gate system with fob access for students living in the Ivory University House community. The parking will be adequately lit for safety concerns of pedestrian connections to sidewalks and street connections to the neighboring trax station across the street and to the University of Utah and the LDS Institute's campuses.
- I. ***Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (See subsection 21A.37.050K of this title.)***
  - i. There will be no loading docks and storage areas outside of the building. The mechanical equipment will be within a screen roof well within the hipped roof,

and dumpsters will be provided near the parking with screened masonry enclosures.

- J. ***Signage shall emphasize the pedestrian/mass transit orientation.***
  - a. ***Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building.***
    - i. Commercial sign bands will not be provided and are inappropriate for this Project. There are two (2) monument signs being proposed at the southeast and northwest corners of the property (see site plan) that will be appropriate to the context of the neighborhood and architecture of the Project and be incorporated into the landscape design. No other signage is proposed on the buildings other than address signage required by and meeting fire department regulations.
  - b. ***Coordinate signage locations with appropriate lighting, awnings, and other projections.***
    - i. The monument signs are proposed to be lit accenting the landscape and surrounding context "appropriately".
  - c. ***Coordinate sign location with landscaping to avoid conflicts.***
    - i. See landscape plans for monument sign design fitting into the landscape.
- K. ***Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals.***
  - a. ***Provide streetlights as indicated in the Salt Lake City Lighting Master Plan.***
    - i. Lighting is proposed to meet the city lighting master plan and will abide by dark sky and pedestrian safety requirements. Low level lighting on the building and sidewalk entries will be provided. Parking lot lighting will be pole mounted, but be down-only lighting meeting minimum foot candle levels.
  - b. ***Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and up lighting directly to the sky.***
    - i. The outdoor lighting design will meet these requirements as noted above.
  - c. ***Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.***
    - i. Lighting will be emphasized at the building entrances, but otherwise will be low level compatible with residential living requirements.
- L. ***Streetscape improvements shall be provided as follows:***
  - a. ***One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the approval of the City's Urban Forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester.***
    - i. Street trees are mature large trees that will be preserved where at all possible and replaced as required. See landscape plans.





- b. ***Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards:***
- i. ***Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur.***
  - ii. ***Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table.***
  - iii. ***Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar- Reflective Index (SRI).***
  - iv. ***Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City.***
  - v. ***Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities.***
  - vi. ***Asphalt shall be limited to vehicle drive aisles. (Ord. 14-19, 2019)***

*N/A to Ivory University House*

# DESIGN REVIEW

April 2, 2021



IVORY  
UNIVERSITY  
HOUSE



## CONTENT

- 1 Project Narrative
- 2 Context and Character
- 3 Project Design
- 4 Renderings
- 5 Design Review Standards



## A FOREWORD FROM FORMER PRESIDENT WATKINS

*"The University of Utah is on a growth trajectory, and we know there will be continued demand for a college experience that includes living on campus. We are fully supportive of [Ivory University House] as we know that living on campus provides a measurable boost to degree completion success. We also know there is a need for affordable housing options that fit the backgrounds, values, and lifestyles of a wide variety of students. This project would be a welcome addition for our students."*

University Ivory House







## IVORY'S COMMITMENT OF BUILDING THROUGH EDUCATION



Ivory Scholarship Recipients

- **We seek innovative solutions in education funding to support opportunities for the individual**
- **Examples of Ivory-supported innovations in education funding:**
  - Income Sharing Agreements
    - Instead of paying tuition, students pay a percentage of their income after they are employed. The repayment amount is estimated to be less than the federal loans
  - Ivory Accelerator Scholarships
    - Students near graduation, who are likely to dropout due to financial hardship, are given funding, advising, and other resources to help them successfully graduate
  - First Generation Scholarships
    - We recruit first generation students to the University of Utah, provide scholarships, and ask them to recruit other first generation students in need
- **We are always looking for new ways to partner with higher education to create new opportunities**
- **Ivory University House is a new innovative way to create educational opportunities for students in need**





# IMPACT INVESTMENT

- 500+ students living next to campus reduces commuter traffic and positively impacts air quality.
- All proceeds from this development will be donated towards the Ivory University House Scholarship Fund at the University of Utah, which will impact thousands of students.





# A PRIVATE SOLUTION TO THE UNIVERSITY OF UTAH'S HOUSING NEEDS AND EDUCATION FUNDING

Ivory University House is a proposed 536-bed student housing community adjacent to the University of Utah. Ivory University House seeks to provide a focused learning community where University of Utah students will feel welcomed, engaged, and secure during their higher education careers.

**Ivory University House will donate all net proceeds to fund scholarships at the University of Utah for students demonstrating financial hardship.**



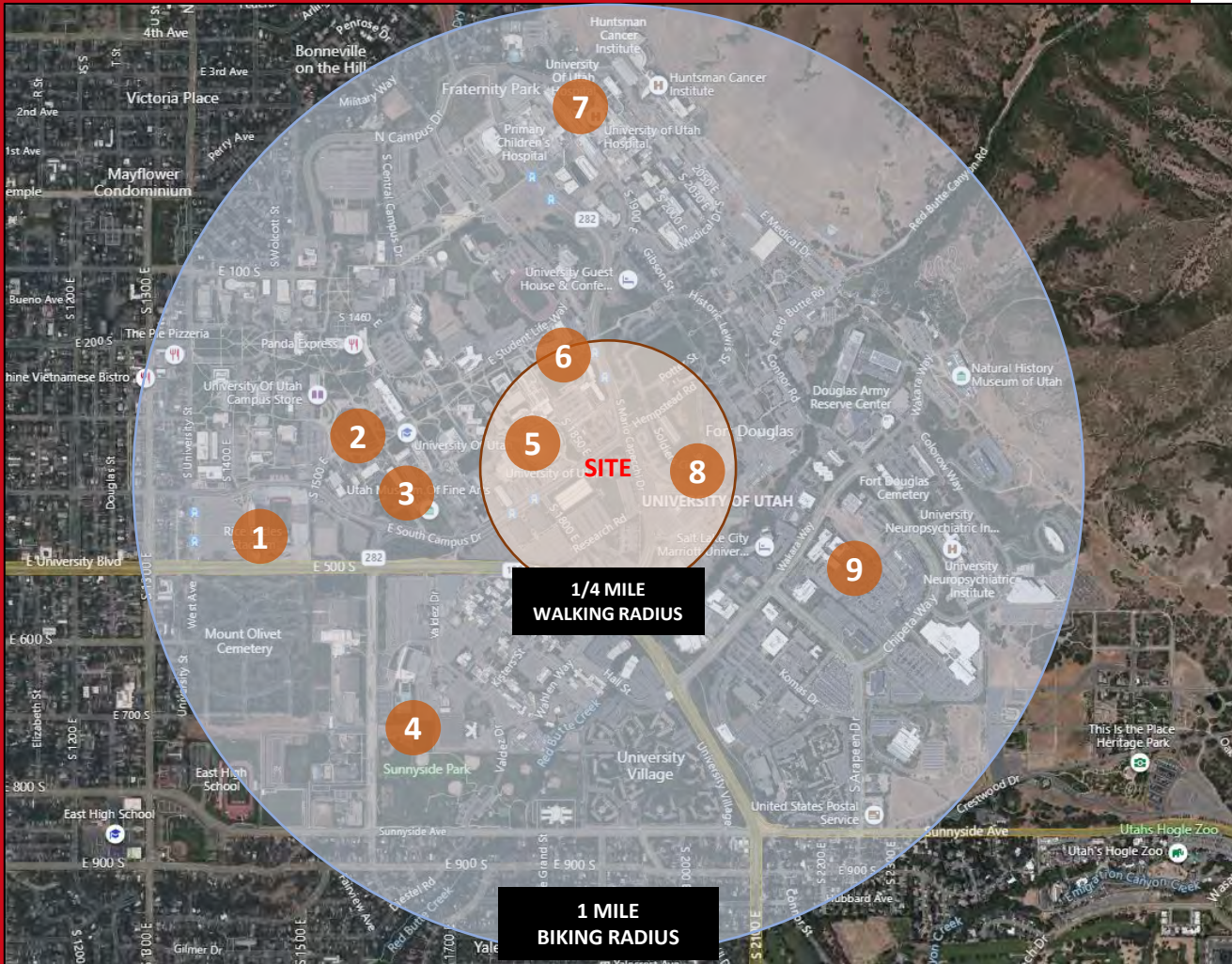




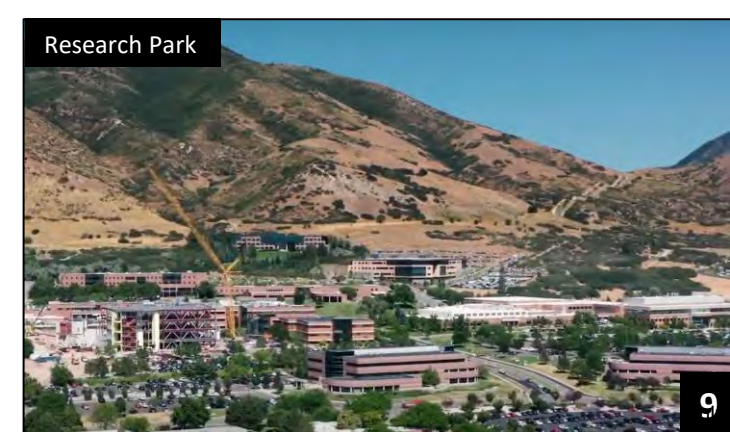
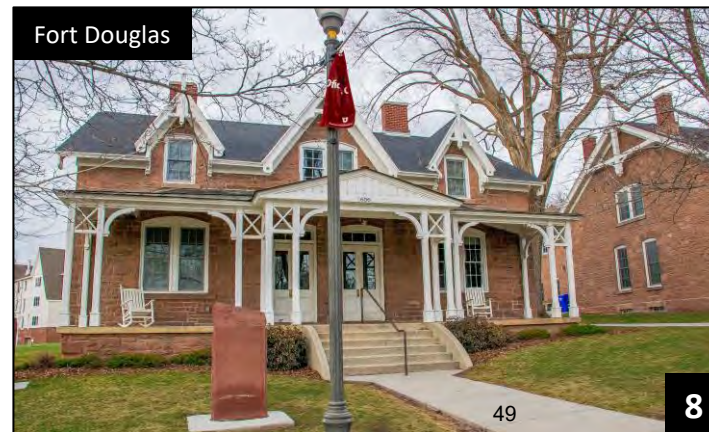
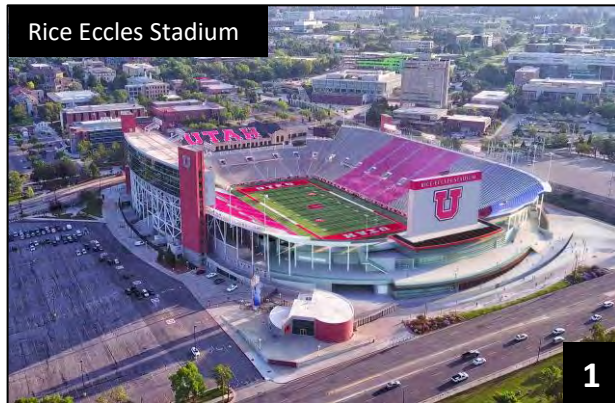
# CONTEXT AND CHARACTER - DISTRICT

## *Nodes:*

1. Rice Eccles Stadium
2. J. Willard Marriott Library
3. Utah Museum of Fine Arts
4. Sunnyside Park & SLC Sports Complex
5. The Jon M. Huntsman Center
6. Student Life Center
7. University of Utah Hospital
8. Fort Douglas
9. Research Park











## CONTEXT AND CHARACTER - SITE

### ***Nodes:***

1. The Church of Jesus Christ of Latter-day Saints Institute
2. Jon M. Huntsman Center
3. Student Life Center
4. Trax South Campus Station
5. Madsen Health Center
6. Church of Jesus Christ of Latter-day Saints
7. Fort Douglas





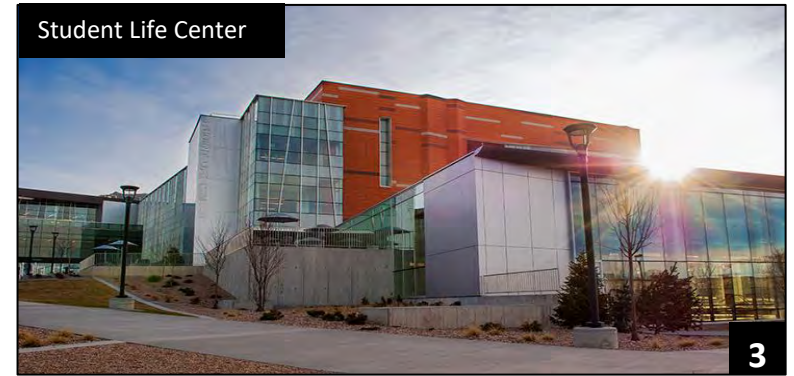
Church of Jesus Christ of Latter-day Saints Institute



Jon M. Huntsman Center



Student Life Center



South Campus Trax Station



Madsen Health Center



Church of Jesus Christ of Latter-day Saints



Fort Douglas



University Ivory House







# CONTEXT AND CHARACTER – EXISTING STREETSCAPES



VIEW TO THE NORTH



VIEW TO THE EAST



VIEW TO THE SOUTH



VIEW TO THE WEST





# CONTEXT AND CHARACTER – EXISTING STREETSCAPES



VIEW FROM THE NORTH



VIEW FROM THE EAST



University Ivory House

VIEW FROM THE SOUTH



VIEW FROM THE WEST

July 21, 2021





# CONTEXT AND CHARACTER — EXISTING STREETSAPES



SOUTH CAMPUS DRIVE STREETSCAPE AT SITE



MARIO CAPECCHI DRIVE STREETSCAPE AT SITE



# ZONING ANALYSIS

## ***R-MU Overview:***

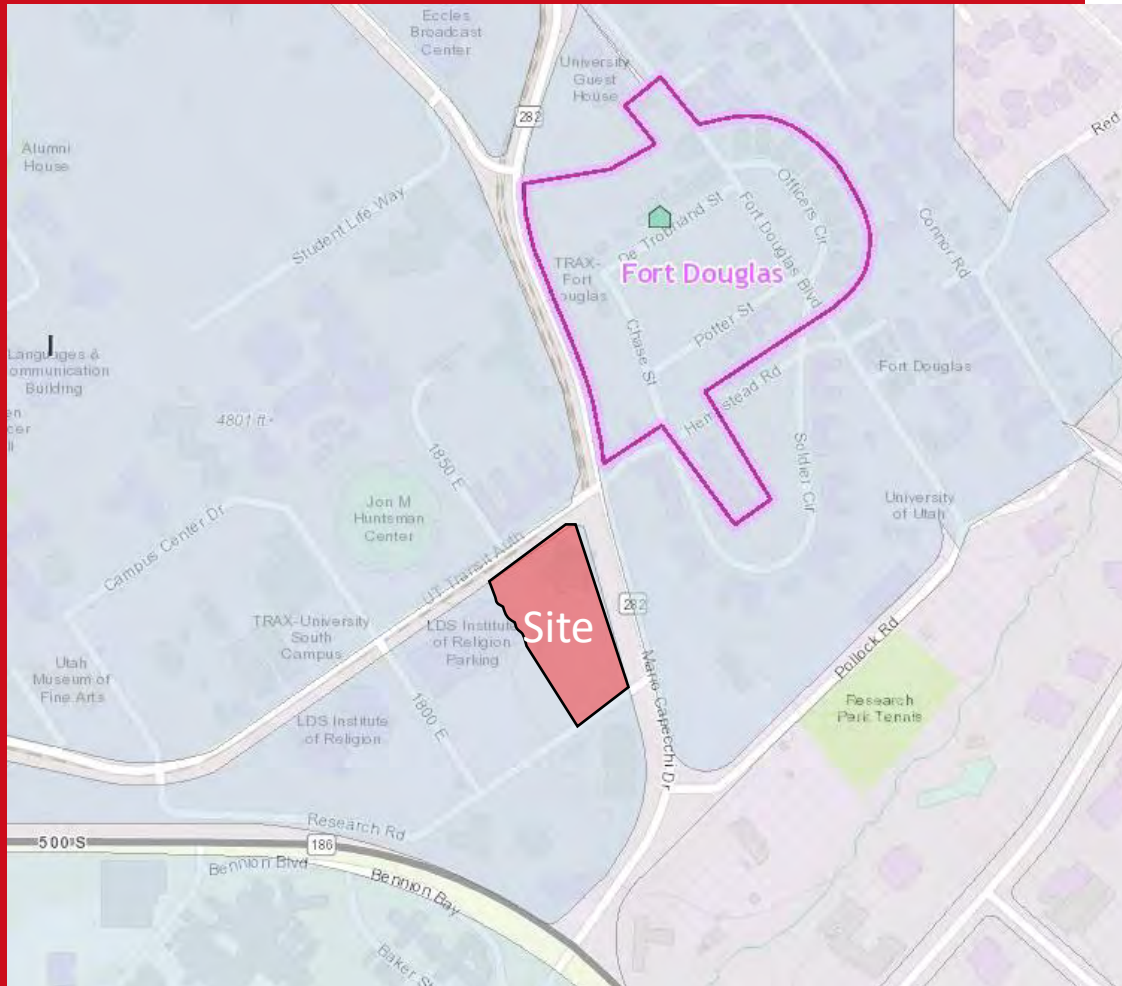
The purpose of the Residential/Mixed Use District (R-MU) “is to reinforce the mixed-use character of the area and encourage the development of areas as high density residential urban neighborhoods containing retail, service commercial, and small-scale office uses. The standards for the district are intended to facilitate the creation of a walkable urban neighborhood with an emphasis on pedestrian scale activity while acknowledging the need for transit and automobile access.”

Ivory University House meets the standards as set by the R-MU designation as the project will help create a walkable community with an emphasis on increased pedestrian and transit access for students.

Designated as a Regional Activity Center in the East Bench Master Plan, the Project is consistent with the Master plan policies by promoting community engagement and increasing mobility by moving students closer to campus.

## ***Existing Zoning:***

The site is currently zoned Institutional (I). As part of the application process, we have requested a zoning amendment to R-MU in order to provide critically needed student housing within walking distance of the University.







## ZONING ANALYSIS

### ***Supporting Missions:***

The Ivory University House plans to support the University of Utah mission by providing an off-campus housing alternative for academically focused students. This project also enables a funding mechanism benefiting students demonstrating financial hardship by donating all net proceeds to scholarships.

### ***Exemptions:***

The design of Ivory University House seeks zoning relief from the R-MU maximum setback standards in order to preserve existing trees on the site:

- The RMU zone is governed by ordinance 21A.24.170, which states, “at least twenty-five percent (25%) of the building facade must be located within fifteen feet (15') of the front lot line. Exceptions to this requirement may be authorized as design review, subject to the requirements of chapter 21A.59 of this title, and the review and approval of the Planning Commission.”
- In order to preserve more trees, it is proposed that the setback is increased to 26.3' along Mario Capecchi Drive and 41.8' along South Campus Drive. By increasing the setback along these roads, it allows us to preserve 27 existing trees.











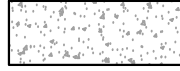
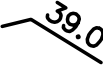




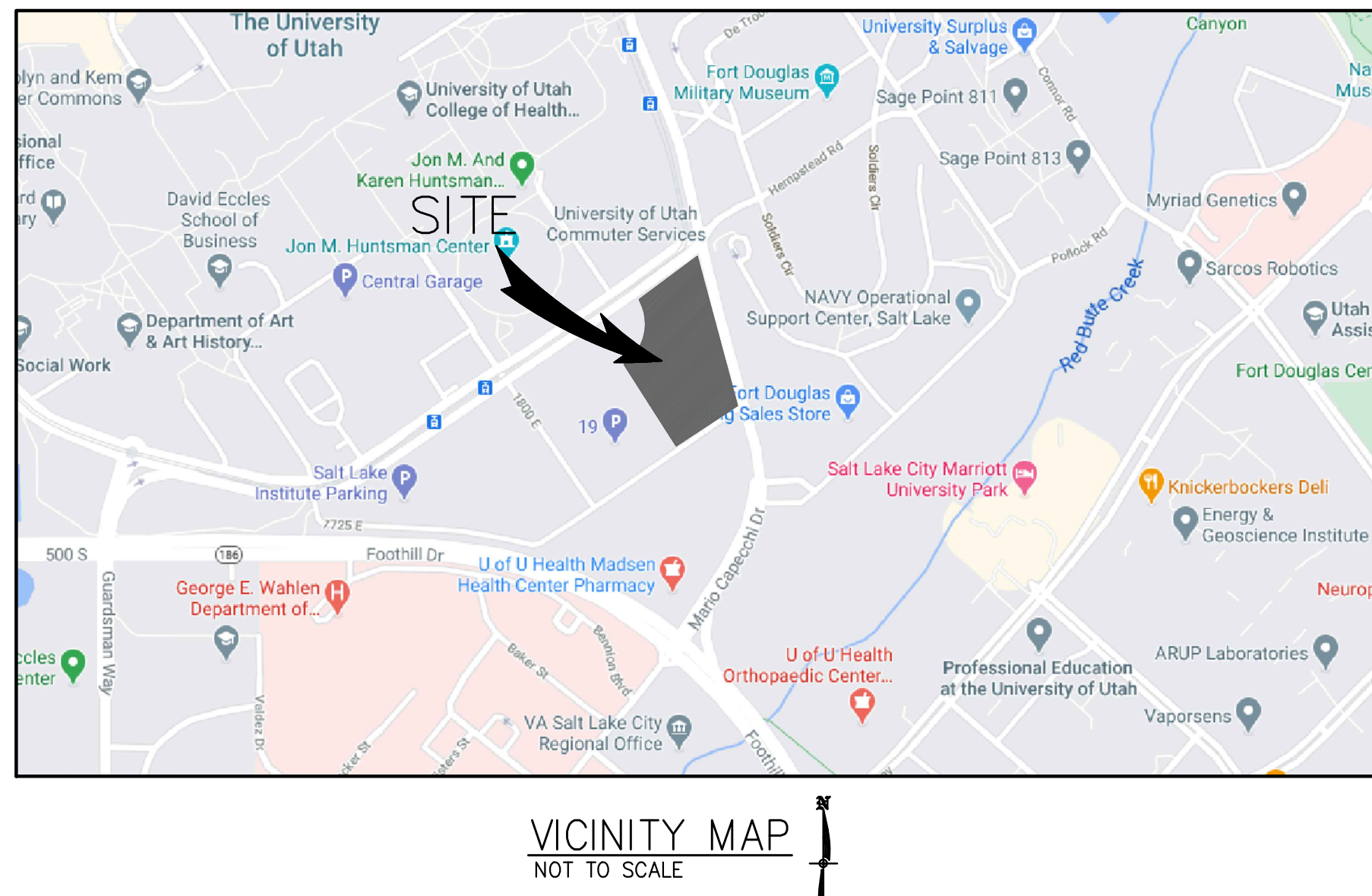


# IVORY UNIVERSITY HOUSE

SOUTH CAMPUS DRIVE & MARIO CAPECCHI DRIVE  
SALT LAKE CITY, UTAH 84112

APRIL 1, 2021  
REVISED: APRIL 28, 2021

LEGEND			
----	PROPERTY LINE		EXISTING FIRE HYDRANT
-+-----	EASEMENT LINE		PROPOSED FIRE HYDRANT
-4240.0-----	PROPOSED GRADE CONTOURS		EXISTING STREET LIGHT
-4240.0-----	EXISTING GRADE CONTOURS		PROPOSED STREET LIGHT
=====	EXISTING CURB		PROPOSED PARKING LOT LIGHT
=====	PROPOSED CURB AND GUTTER		EXISTING WATER METER
=====	PROPOSED CURB WALL		EXISTING WATER VALVE
=====	REVERSE PAN CURB & GUTTER		EXISTING GATE VALVE
---SS---	EXISTING SEWER		EXISTING OVERHEAD POWER POLE
---SS---	PROPOSED SEWER		TOP BACK CONCRETE
---W---	EXISTING WATER	FF	FINISHED FLOOR
---W---	PROPOSED WATER	HW	HIGH WATER
---F---	EXISTING FIRE LINE	TOG	TOP OF GRATE
---F---	PROPOSED FIRE LINE	TOL	TOP OF LID
---SD---	EXISTING STORM DRAIN	IE	INVERT ELEVATION
---SD---	PROPOSED STORM DRAIN	EX	EXISTING
---RD---	PROPOSED ROOF DRAIN	NG	NATURAL GROUND
---G---	EXISTING GAS	TA	TOP OF ASPHALT
---G---	PROPOSED GAS	TC	TOP OF CONCRETE
---OHP---	EXISTING OVERHEAD POWER	EC	EDGE OF CONCRETE
---UGP---	EXISTING UNDERGROUND POWER	EA	EDGE OF ASPHALT
---UGP---	PROPOSED UNDERGROUND POWER	TOW	TOP OF WALL
---T---	EXISTING TELEPHONE LINE	TG	TOP OF GRAVEL
---T---	PROPOSED TELEPHONE LINE	TL	TOP OF LANDSCAPING
---FO---	EXISTING FIBER OPTIC LINE	TS	TOP OF SIDEWALK
---FO---	PROPOSED FIBER OPTIC LINE	PROP	PROPOSED
	PROPOSED CONCRETE		B.C. CALLOUT UNLESS OTHERWISE DESIGNATED
	PROPOSED ASPHALT		
	PROPOSED LANDSCAPING		



## SHEET INDEX

- |      |                                 |
|------|---------------------------------|
| CV   | COVER SHEET                     |
| C1.0 | OVERALL SITE PLAN               |
| C2.0 | OVERALL GRADING & DRAINAGE PLAN |
| C2.1 | GRADING PLAN                    |
| C2.2 | GRADING PLAN                    |
| C3.0 | OVERALL UTILITY PLAN            |

PROJECT CONSTRUCTION NOTES:

1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION, 1-800-662-4111.
2. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. SEE SOILS REPORT FOR PAVEMENT SECTION DETAILS, INSTALLATION SPECIFICATIONS AND ALL SITE EARTHWORK REQUIREMENTS.
4. ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS. IF A CONFLICT BETWEEN THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS OCCURS, THE CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.
5. ALL HANDICAP PARKING STALLS TO BE INSTALLED PER ADA STANDARDS. SLOPE ON ANY ADA STALL IS TO BE LESS THAN 2% IN ALL DIRECTIONS.
6. CONTRACTOR TO VERIFY PRIOR TO ANY CONSTRUCTION THAT THE BUILDING AND BUILDING LOCATION SHOWN ON CIVIL DRAWINGS MATCHES THE ARCHITECTURAL PLANS.
7. CONTRACTOR TO VERIFY, WITH ARCHITECT, THAT F.F. ELEVATION SHOWN ON CIVIL PLANS EQUALS THE ARCHITECTS 100.0' ELEVATION.
8. CONTRACTOR TO REPLACE IN KIND ANY AREAS THAT ARE DAMAGED DURING CONSTRUCTION.
9. INSTALL ALL SIDEWALKS PER CITY STANDARDS OR APWA PLAN NO. 231, 235, AND 236 WHERE APPLICABLE.
10. INSTALL ALL CONCRETE PAVEMENT JOINTS PER CITY STANDARDS OR APWA PLAN NO. 261.
11. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL PER APWA STANDARDS AND SPECIFICATIONS.
12. ALL CATCH BASINS AND MANHOLES TO BE INSTALLED PER CITY STANDARDS.
13. ALL STORM DRAIN PIPING TO BE CUT OFF FLUSH WITH INSIDE WALL OF DRAINAGE BOX. INSIDE WALL TO BE GROUTED SMOOTH WITH A NON-SHRINK GROUT.
14. FOR STORM DRAIN INLET BOXES AND MANHOLES THE I.E. IN AND I.E. OUT ELEVATIONS ARE THE SAME UNLESS OTHERWISE CALLED OUT ON THE PLANS
15. ALL WATER LINES TO HAVE A MINIMUM 5' OF COVER WITH A MINIMUM VERTICAL CLEARANCE OF 1' OF COVER BETWEEN OTHER UTILITY LINES (1.5' VERTICAL SEPARATION WITH SEWER).
16. THRUST BLOCKS TO BE INSTALLED PER APWA PLAN NO'S 561 AND 562. SEE DETAIL SHEET C5.
17. CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY.
18. THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITY PIPES, LINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED AND SHOWN FROM SURVEYED INFORMATION AND EXISTING UTILITY LOCATIONS PROVIDED BY OTHERS. THERE IS NO GUARANTEE THAT ALL EXISTING UTILITY INFORMATION IS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND FIELD VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITY PIPES, LINES AND STRUCTURES, PRIOR TO CONSTRUCTION.
19. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
20. PUBLIC WAY IMPROVEMENTS SUCH AS EXISTING CURB, GUTTER, SIDEWALK AND DRIVE APPROACHES REQUIRE INSPECTION BY THE SLC ENGINEERING DEPT. PRIOR TO FINAL INSPECTION AND CERTIFICATION OF OCCUPANCY ISSUANCE, TO DETERMINE REPLACEMENT REQUIREMENTS OF DEFECTIVE AND HAZARDOUS CONDITIONS.
21. ANY EXCAVATION, CONSTRUCTION OR STAGING OF MATERIALS OR EQUIPMENT IN THE PUBLIC RIGHT OF WAY REQUIRE A PUBLIC WAY PERMIT FROM ENGINEERING DIVISION, 349 S 200 E, SUITE 100, 801-535-6248
22. PRIOR TO BEGINNING ANY WORK IN THE PUBLIC WAY, A LICENSED, BONDED AND INSURED CONTRACTOR MUST FIRST OBTAIN A PUBLIC WAY PERMIT FROM THE SLC ENGINEERING PERMITS OFFICE, AND A TRAFFIC CONTROL PERMIT FROM SLC MAY ALSO BE REQUIRED.
23. ALL WORK WITHIN THE SALT LAKE CITY PUBLIC WAY SHALL CONFORM TO APWA 2012 STANDARD PLANS AND SPECIFICATIONS.
24. ALL CURB AND GUTTER DONE WITHIN THE PUBLIC WAY SHALL BE CONSTRUCTED AS PER APWA 205A, AND 251 OR 252.
25. THE DRIVE APPROACHES APRONS MUST BE CONCRETE TO THE PROPERTY LINE.
26. ALL ACCESSIBLE ROUTES AND ACCESSIBLE MEANS OF EGRESS ROUTES, THE MAXIMUM SLOPE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. ALL EXTERIOR LANDINGS AT DOORS SHALL NOT EXCEED 2% SLOPE.

FIRE DEPARTMENT NOTES:

1. FIRE HYDRANTS SHALL BE EQUIPPED WITH ONE 4 1/2", AND 2 1/2" OUTLETS, WHICH HAS NATIONAL STANDARD THREADS (NST).
2. FIRE HYDRANTS SHALL BE INSTALLED SO THAT THE CENTER LINE OF THE LOWEST CAP, NUT SHALL NOT BE CLOSER THAN 18" FROM THE FINISHED GRADE.
3. FIRE HYDRANTS SHALL HAVE THE 4 1/2" BUTT FACING THE FIRE ACCESS ROADWAY.
4. UNDERGROUND PIPING SHALL BE TESTED AT 200 PSIA FOR TWO HOURS. TEST CERTIFICATE SHALL BE PRESENT TO FIRE DEPARTMENT OFFICIALS.
5. BURNING OF TRASH, SCRAP WOOD OR OTHER MATERIALS IS A VIOLATION OF CITY ORDINANCE.
6. A 3 FOOT CLEARANCE SHALL BE MAINTAINED AT ALL TIMES AROUND FIRE EQUIPMENT TO INCLUDE BUT NOT LIMITED TO HYDRANTS, FIRE DEPARTMENT CONNECTIONS AND FIRE SUPPRESSION CONTROL VALVES.
7. NEW FIRE HYDRANTS SHALL BE COLOR CODED AND BE DIRECTED BY PUBLIC UTILITIES AS TO THE COLOR AND SHADE OF THE HYDRANT BONNET.
8. FIRE HYDRANTS SHALL BE EQUIPPED WITH AN INDEPENDENT LATERAL CONTROL VALVE PLACED AT THE BASE INLET OF THE FIRE HYDRANT.
9. FIRE DEPARTMENT ACCESS ROADS AND FIRE HYDRANTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF THE FOOTINGS AND FOUNDATIONS OF ANY STRUCTURE. FIRE HYDRANTS SHALL BE ACCESSIBLE, OPERATIONAL AND MAINTAINED IN THAT CAPACITY.
10. WATER LATERALS SHALL BE 16 FOOT IN LENGTH OR LONGER SHALL BE PROVIDED WITH CONTROL VALVES AT THE TAP OF THE WATER MAIN AND AT THE FIRE HYDRANT.
11. WATER LATERALS WHICH SUPPLY WATER BASED FIRE PROTECTION SHALL BE FERROUS PIPE WHEN PASSING UNDER OR THROUGH FOOTINGS OR FOUNDATION WALLS.

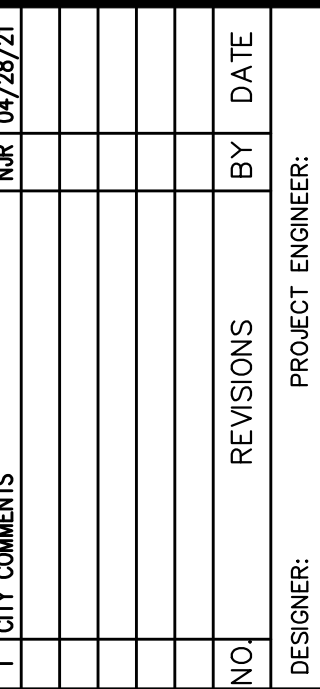
CIVIL ENGINEER:



3032 SOUTH 1030 WEST, SUITE 202  
SLC, Utah 84119 - PH: 801-949-6296

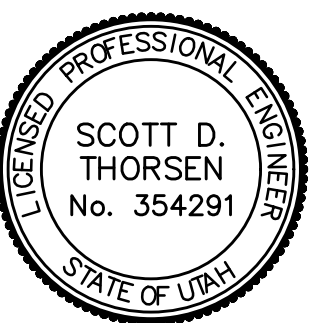
ARCHITECT:

**KCB ARCHITECTURE**  
2033 DAN DRIVE  
LAYTON, UTAH 84040  
CONTACT PERSON: KEITH BENNETT  
PH: (801) 593-9338



IVORY UNIVERSITY HOUSE  
SOUTH CAMPUS DRIVE & MARIO CAPECCHI DRIVE, SALT LAKE CITY, UTAH

COVER SHEET

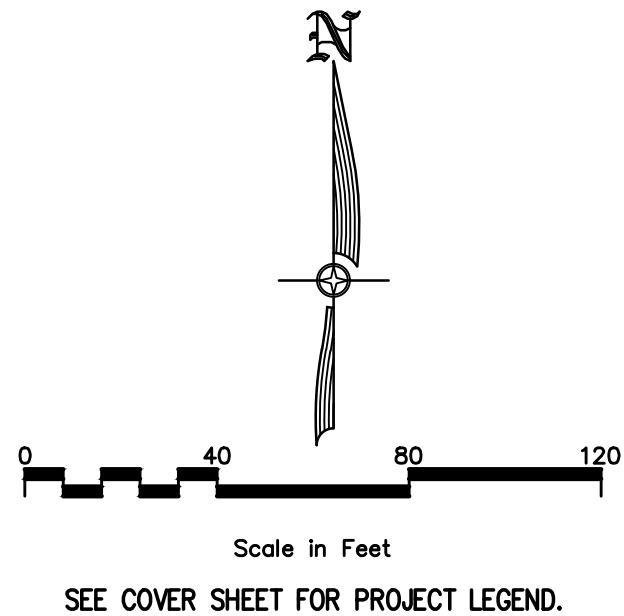


SHEET NO. CV

PROJECT ID: A-1000	DATE: 04/01/21
FILE NAME: PRJ-UHP	SCALE:







LOT AREAS:

LOT		SQ. FT. / ACRES
BUILDING FOOTPRINT	235,362 SQ. FT. / 5.40 ACRES	
ASPHALT	64,178 SQ. FT. / 1.47 ACRES	
TOTAL LANDSCAPING	62,534 SQ. FT. / 1.44 ACRES	
PARKING LANDSCAPING	67,168 SQ. FT. / 1.54 ACRES	
REMAINING LANDSCAPING	3,278 SQ. FT. / 0.08 ACRES	
CONCRETE	63,890 SQ. FT. / 1.47 ACRES	
EXISTING CONCRETE	166,977 SQ. FT. / 3.83 ACRES	
	2,286 SQ. FT. / 0.05 ACRES	

NOTE:

- ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT LANDSCAPING AREAS:

	SQ. FT.	CITY REQ'T
PARKING AREA:	63,984 SQ. FT.	
PARKING AREA LANDSCAPING	3,278 SQ. FT. (5% OR 3,199 SQ. FT. REQ'D)	
TOTAL LANDSCAPING	67,168 SQ. FT. (20% REQ'D: 28.54% PROVIDED)	

NOTE:

- PARKING AREA DOES NOT INCLUDE TRUCK MANUEVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.
- LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS(WALKWAYS, BIKE RACKS, CURB & GUTTERS).
- ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT PARKING REQUIREMENTS:

	QUANTITY	CITY REQ'M'T
STUDIO	536	211 (DETERMINED BY PC)
TOTAL REQUIRED:		211
TOTAL PROVIDED:		211
ACCESSIBLE SPACES		7 (7 REQ'D 201 TO 300)
BICYCLE SPACES		16 (10.55 REQ'D 5% OF 211)

NOTES:

- ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

1

QTY COMMENTS

NR 04/28/21

NO

REVISIONS

BY DATE

DESIGNER:

PROJECT ENGINEER:

CIVIL ENGINEERING

SURVEYING

C1R

3032 SOUTH 1030 WEST, SUITE 202

SLC, Utah 84119 - 801-949-6296

IVORY UNIVERSITY HOUSE

SOUTH CAMPUS DRIVE & MARIO CAPECCHI DRIVE, SALT LAKE CITY, UTAH

OVERALL SITE PLAN

SCOTT D. THORSEN

No. 354291

STATE OF UTAH

CALL BEFORE YOU DIG

BLUE STAKES 1 800 662 6774

SHEET NO.

C1.0

PROJECT ID

A-1000

DATE:

04/01/21

FILE NAME:

PRJ-UHP

SCALE:

1"=40'

JULY 21, 2021









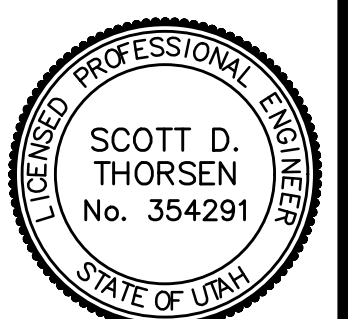
1	CITY COMMENTS	N/R	04/28/21
NO	REVISIONS	BY	DATE

DESIGNER:	PROJECT ENGINEER:
-----------	-------------------

**C1R** | **CIVIL ENGINEERING**  
**+ SURVEYING**

3032 SOUTH 1030 WEST, SUITE 202  
SLC, Utah 84119 - 801-949-6296

IVORY UNIVERSITY HOUSE  
SOUTH CAMPUS DRIVE & MARIO CAPECCHI DRIVE, SALT LAKE CITY, UTAH  
GRADING PLAN



SHEET NO.	
C2.1	
PROJECT ID	DATE:
A-1000	04/01/21
FILE NAME:	SCALE:
PRJ-UHP	1"=20'

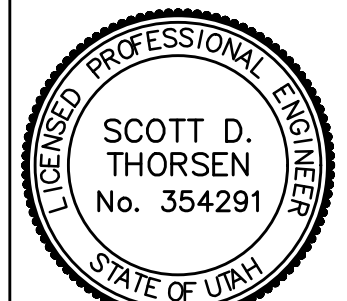
MATCHLINE - SEE SHEET C2.2







		<p align="center"><b>IVORY UNIVERSITY HOUSE</b></p> <p align="center">SOUTH CAMPUS DRIVE &amp; MARIO CAPECCHI DRIVE, SALT LAKE CITY, UTAH</p> <h1 align="center">GRADING PLAN</h1>			
SHEET NO.	C2.2	PROJECT ID	A-1000	DATE:	04/01/21
FILE NAME:	PRJ-UHP	SCALE:	1"=20'	NORTH ARROW	
		DESIGNER:		PROJECT ENGINEER:	











**SITE PHOTOMETRIC PLAN**  
SCALE: 1" = 40'-0"

SITE LIGHTING FIXTURE SCHEDULE												
FKT #	MANUFACTURER	CATALOG #	VOLTS	POLE	WATTS	MOUNTING	TYPE	QTY/FKT.	MANUFACTURER	HEIGHT	CATALOG #	REMARKS
S1	MCGRAW-EDISON	GLEON-AF-02-LED-E1-T3	120	1	118	POLE	LED	1	LITHONIA GARDCO MCGRAW SPAULDING LTG CMT UNITED LSI	16'-0"	SSS 16-4C SSS-16-4-11 SSS-4A16-SFX0X SSS-16-40-11-SGBA ZAVS-6-HS-PC-BC RFSQ-16-4-11 4SOBX-811G-16-X-4BC	FIXTURE TO BE DIMMED TO 50% VIA INTEGRAL OCCUPANCY SENSOR WHEN AREA SERVED IS UNOCCUPIED
S2	MCGRAW-EDISON	GLEON-AF-02-LED-E1-T3	120	1	177	POLE	LED	1	LITHONIA GARDCO MCGRAW SPAULDING LTG CMT UNITED LSI	16'-0"	SSS 16-4C SSS-16-4-11 SSS-4A16-SFX0X SSS-16-40-11-SGBA ZAVS-6-HS-PC-BC RFSQ-16-4-11 4SOBX-811G-16-X-4BC	FIXTURE TO BE DIMMED TO 50% VIA INTEGRAL OCCUPANCY SENSOR WHEN AREA SERVED IS UNOCCUPIED
S3	ANP LIGHTING	LA313CLP17LD4D7240KHLMSPC-06	120	1	114	POLE	LED	1	ANP LIGHTING	10'-0"	CB0200-3S10.125-41	FIXTURE TO BE DIMMED TO 50% VIA INTEGRAL OCCUPANCY SENSOR WHEN AREA SERVED IS UNOCCUPIED

**ANP Lighting** Specifications LA313

**LA313 LED**

Weight: 34.5 lbs  
BPA: 64"

LA313 1 CL P046LD4 D T5 40K PC P66211 72

**1. FIXTURE ORIENTATION**

**2. LENS**

**3. LIGHT SOURCE & WATAGES**

**4. ACCESSORIES**

**5. DRAWING**

**6. OPTICS**

**7. MOUNTING SOURCE**

**8. FINISHES**

**ANP Lighting** Specifications CB0200

**CB0200**

Weight: 10 lbs  
BPA: 40"

CB0200 1 450.125 0 GF20 72

**1. FIXTURE ORIENTATION**

**2. LENS**

**3. LIGHT SOURCE & WATAGES**

**4. ACCESSORIES**

**5. DRAWING**

**6. OPTICS**

**7. MOUNTING SOURCE**

**8. FINISHES**

**McGraw-Edison**

**GLEON Galleon**

Area / Site Luminaire

Typical Applications  
Customer: Parking Lots, Walkways, Roadways, Buildings, Areas

**Product Certifications**

**Product Features**

**Connected Systems**

**Quick Facts**

Lumen packages range from 4,200 - 80,800 (84W - 540W)  
Efficacy up to 156 lumens per watt

**Dimensional Details**

COOPER Lighting

**ROYAL ENGINEERING**

ELECTRICAL  
1837 S. EAST BAY BLVD.  
PHONE: 801.375.2228

MECHANICAL  
PROVO, UTAH 84606  
FAX: 801.375.2676

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PROJECT NUMBER

SHEET TITLE

**BUILDING A**

**SITE PHOTOMETRIC PLAN**

PROJECT/OWNER

**STUDENT HOUSING**  
**LDS INSTITUTE / U OF U**  
SOUTH CAMPUS DRIVE  
SALT LAKE CITY, UT  
ICO COMPANIES

ARCHITECT

**architecture**

2033 dan drive  
layton, utah 84040  
(801) 593-9338  
(801) 593-9328 FAX

DATE

22 April 2021

SHEET NUMBER

**E0.3**

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BLDG. 'A' ELEVATION - SOUTH FACING INTERIOR TERRACE



BLDG. 'A' SIDE ELEVATION - EAST



BLDG. 'A' SIDE ELEVATION - WEST

PROJECT NUMBER

20-019

SHEET TITLE

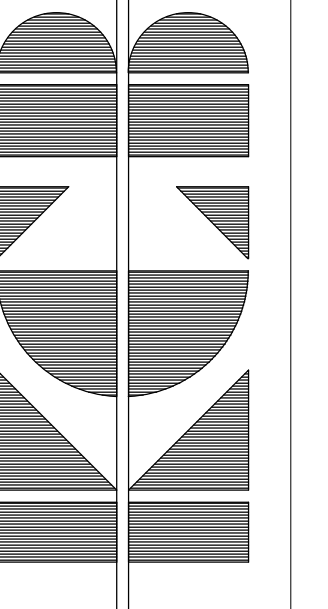
BUILDING "A"  
EXTERIOR ELEVATIONS  
SCALE: 3/32" = 1'-0"

PROJECT/OWNER

IVORY UNIVERSITY HOUSE  
SOUTH CAMPUS DRIVE  
SALT LAKE CITY, UT  
ICO COMPANIES

ARCHITECT

architecture  
2033 dan drive  
layton, utah 84040  
(801) 593-9338 FAX  
(801) 593-9328



DATE

17 JUNE 2021

SHEET NUMBER

A2.5

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BLDG. 'B' ELEVATION - WEST FACING INTERIOR TERRACE



BLDG. 'B' SIDE ELEVATION - NORTH



BLDG. 'B' SIDE ELEVATION - SOUTH

PROJECT NUMBER

20-019

SHEET TITLE

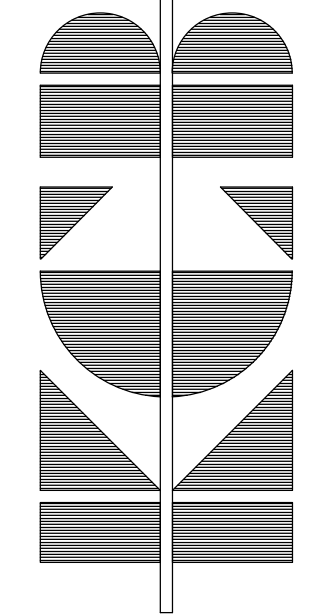
BUILDING "B"  
EXTERIOR ELEVATIONS  
SCALE: 3/32" = 1'-0"

PROJECT/OWNER

IVORY UNIVERSITY HOUSE  
SOUTH CAMPUS DRIVE  
SALT LAKE CITY, UT  
ICO COMPANIES

ARCHITECT

architecture  
2033 dan drive  
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DATE

17 JUNE 2021

SHEET NUMBER

A3.5

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BLDG. 'C' ELEVATION - SOUTH FACING INTERIOR TERRACE



BLDG. 'C' SIDE ELEVATION - EAST



BLDG. 'C' SIDE ELEVATION - WEST

PROJECT NUMBER

20-019

SHEET TITLE

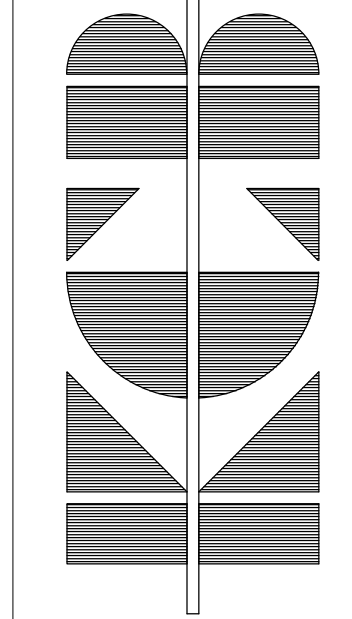
BUILDING "C"  
EXTERIOR ELEVATIONS  
SCALE: 3/32" = 1'-0"

PROJECT/OWNER

IVORY UNIVERSITY HOUSE  
SOUTH CAMPUS DRIVE  
SALT LAKE CITY, UT  
ICO COMPANIES

ARCHITECT

architecture  
2033 dan drive  
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SHEET NUMBER

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BLDG. 'D' ELEVATION - WEST FACING INTERIOR TERRACE



BLDG. 'D' SIDE ELEVATION - NORTH



BLDG. 'D' SIDE ELEVATION - SOUTH

PROJECT NUMBER

20-019

SHEET TITLE

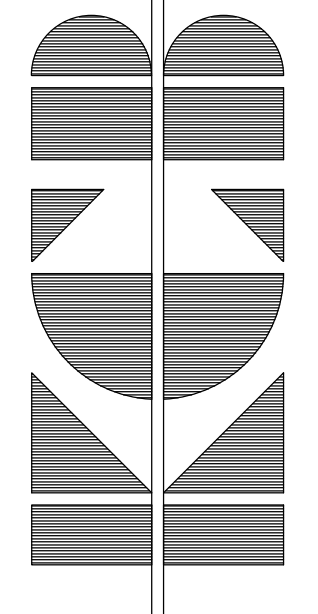
BUILDING "D"  
EXTERIOR ELEVATIONS  
SCALE: 3/32" = 1'-0"

PROJECT/OWNER

IVORY UNIVERSITY HOUSE  
SOUTH CAMPUS DRIVE  
SALT LAKE CITY, UT  
ICO COMPANIES

ARCHITECT

architecture  
2033 dan drive  
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17 JUNE 2021

SHEET NUMBER

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## **ATTACHMENT D: ADDITIONAL APPLICANT INFORMATION**

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BLDG. 'A' ELEVATION - FACING SOUTH CAMPUS DRIVE

BRICK VENEER	65%
HORIZ. LAP SIDING	35%
GLASS ON MAIN FL.	32%

GLASS CALCULATION - MAIN FLOOR:	
MAIN FLOOR AREA: 12 FT X 240'-0"	= 2,880 S.F.
1,005 S.F. (LOWER LEVEL) =	1,005 S.F.
TOTAL MAIN FLOOR FACADE AREA:	3,885 S.F.
WINDOW 1: 5' X 6' = 30 S.F. X 11 =	330 S.F.
PATIO / TRANSOM: 60 S.F. X 6 =	360 S.F.
COMMON VERANDA: 205 S.F. X 2 =	410 S.F.
ENTRYWAY: 170 S.F. X 1 =	170 S.F.
TOTAL:	1,270 S.F.
PERCENT GLAZING: 1,270 / 3,885 =	32.7%

	ARCHITECTURAL GRADE ASPHALT SHINGLES
	STANDING SEAM METAL SHED ROOF
	BRICK VENEER
	HORIZ. CEMENT BOARD LAP SIDING
	ALUMINUM TUBE RAILING W/ METAL FASCIA AND SOFFIT

PROJECT NUMBER

20-019

SHEET TITLE

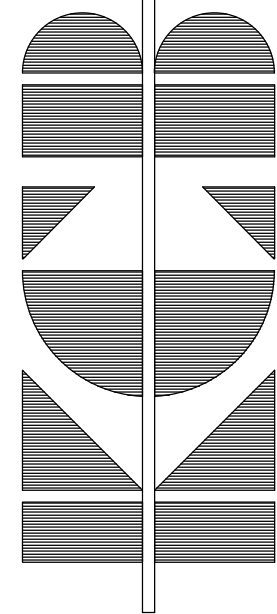
BUILDING "A"  
STREET ELEVATION  
SCALE: 3/32" = 1'-0"

PROJECT/OWNER

IVORY UNIVERSITY HOUSE  
SOUTH CAMPUS DRIVE  
SALT LAKE CITY, UT  
ICO COMPANIES

ARCHITECT

architecture  
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layton, utah 84040  
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(801) 593-9328 FAX



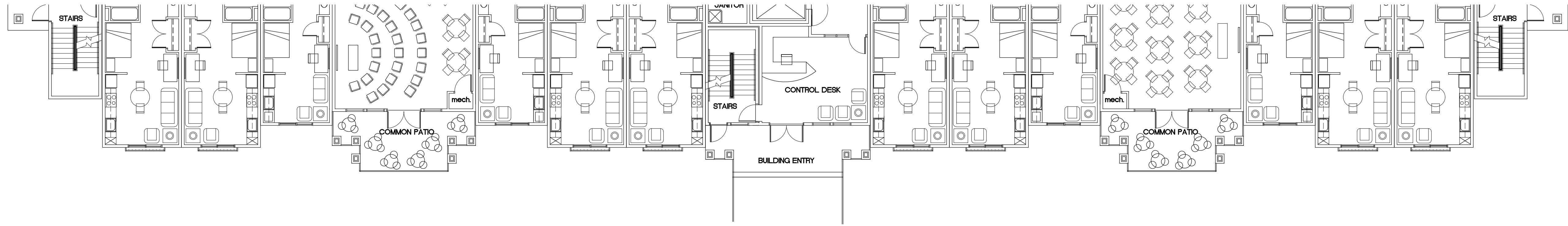
DATE

15 JUNE 2021

SHEET NUMBER

A2.4





BLDG. 'B' ELEVATION - FACING MARIO CAPECCHI DR.

BRICK VENEER	64%
HORIZ. LAP SIDING	36%
GLASS ON MAIN FL.	37%

GLASS CALCULATION - MAIN FLOOR:	
MAIN FLOOR AREA:	12 FT X 268'-8" = 3,224 S.F.
WINDOW 1:	5' X 6' = 30 S.F. X 4 = 120 S.F.
PATIO / TRANSOM:	60 S.F. X 8 = 480 S.F.
COMMON VERANDA:	205 S.F. X 2 = 410 S.F.
ENTRYWAY:	170 S.F. X 1 = 170 S.F.
TOTAL:	1,180 S.F.
PERCENT GLAZING:	1,180 / 3,224 = 36.6%

	ARCHITECTURAL GRADE ASPHALT SHINGLES
	STANDING SEAM METAL SHED ROOF
	BRICK VENEER
	HORIZ. CEMENT BOARD LAP SIDING
	ALUMINUM TUBE RAILING W/ METAL FASCIA AND SOFFIT

PROJECT NUMBER

20-019

SHEET TITLE

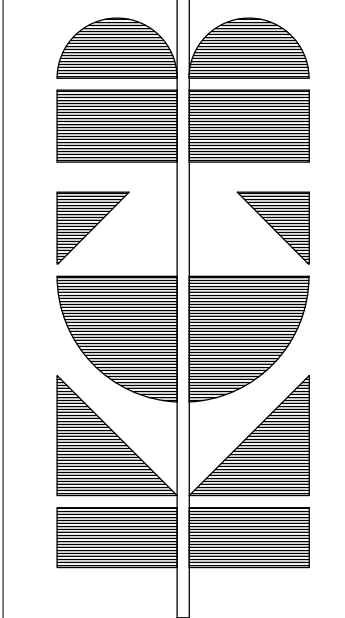
BUILDING "B"  
STREET ELEVATION  
SCALE: 3/32" = 1'-0"

PROJECT/OWNER

IVORY UNIVERSITY HOUSE  
SOUTH CAMPUS DRIVE  
SALT LAKE CITY, UT  
ICO COMPANIES

ARCHITECT

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layton, utah  
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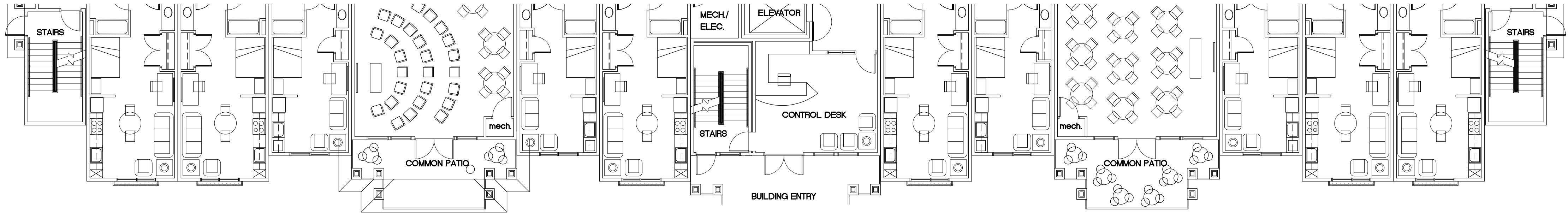
SHEET NUMBER

A3.4



BLDG. 'C' ELEVATION - FACING SOUTH CAMPUS DRIVE

	ARCHITECTURAL GRADE ASPHALT SHINGLES
	STANDING SEAM METAL SHED ROOF
	BRICK VENEER
	HORIZ. CEMENT BOARD LAP SIDING
	ALUMINUM TUBE RAILING W/ METAL FASCIA AND SOFFIT



PROJECT NUMBER

20-019

SHEET TITLE

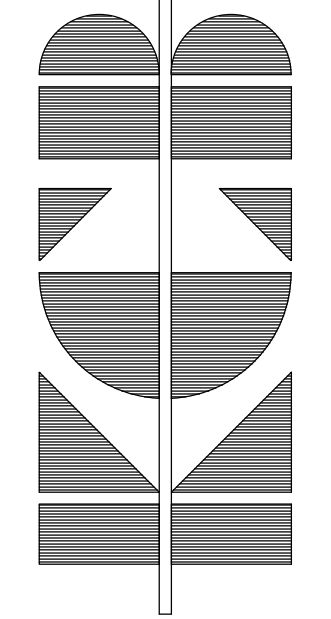
BUILDING "C"  
STREET ELEVATION  
SCALE: 3/32" = 1'-0"

PROJECT/OWNER

IVORY UNIVERSITY HOUSE  
SOUTH CAMPUS DRIVE  
SALT LAKE CITY, UT  
ICO COMPANIES

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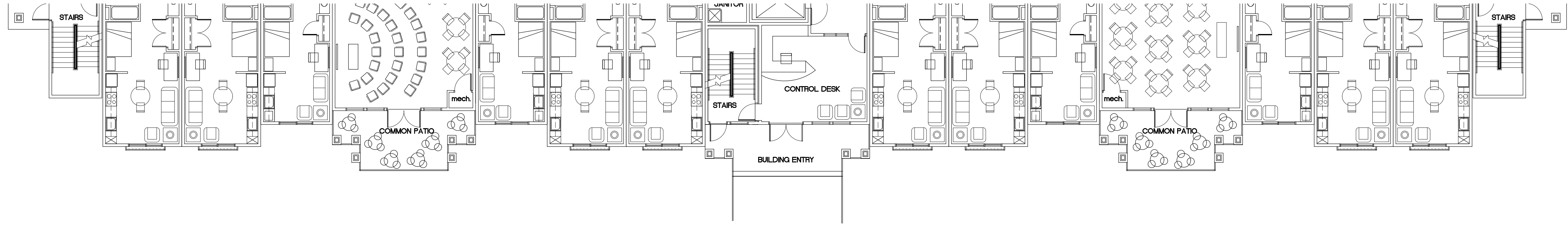
DATE

15 JUNE 2021

SHEET NUMBER

A4.4





BLDG. 'D' ELEVATION - FACING MARIO CAPECCHI DR.

	ARCHITECTURAL GRADE ASPHALT SHINGLES
	STANDING SEAM METAL SHED ROOF
	BRICK VENEER
	HORIZ. CEMENT BOARD LAP SIDING
	ALUMINUM TUBE RAILING W/ METAL FASCIA AND SOFFIT

PROJECT NUMBER

20-019

SHEET TITLE

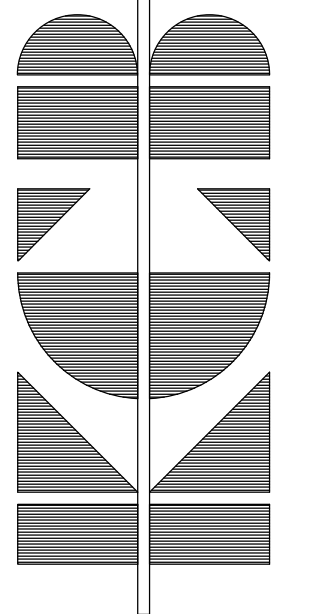
BUILDING "D"  
STREET ELEVATION  
SCALE: 3/32" = 1'-0"

PROJECT/OWNER

IVORY UNIVERSITY HOUSE  
SOUTH CAMPUS DRIVE  
SALT LAKE CITY, UT  
ICO COMPANIES

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SHEET NUMBER

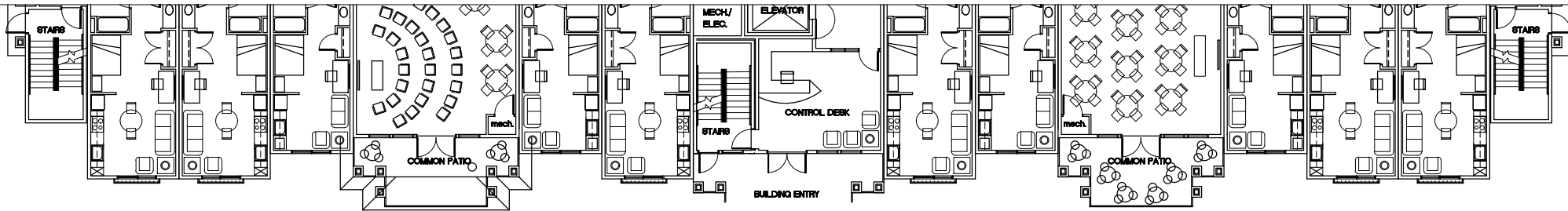
A5.4



BLDG. 'A' ELEVATION - FACING SOUTH CAMPUS DRIVE

BRICK VENEER	65%
HORIZ. LAP SIDING	35%
GLASS ON MAIN FL.	32%

	ARCHITECTURAL GRADE ASPHALT SHINGLES
	STANDING SEAM METAL SHED ROOF
	BRICK VENEER
	HORIZ. CEMENT BOARD LAP SIDING
	ALUMINUM TUBE RAILING W/ METAL FASCIA AND SOFFIT



PROJECT NUMBER

20-019

SHEET TITLE

BUILDING "A"  
STREET ELEVATION  
SCALE: 3/32" = 1'-0"

PROJECT/OWNER

IVORY UNIVERSITY HOUSE  
SOUTH CAMPUS DRIVE  
SALT LAKE CITY, UT  
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layton, utah 84040  
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DATE

23 APR 2021

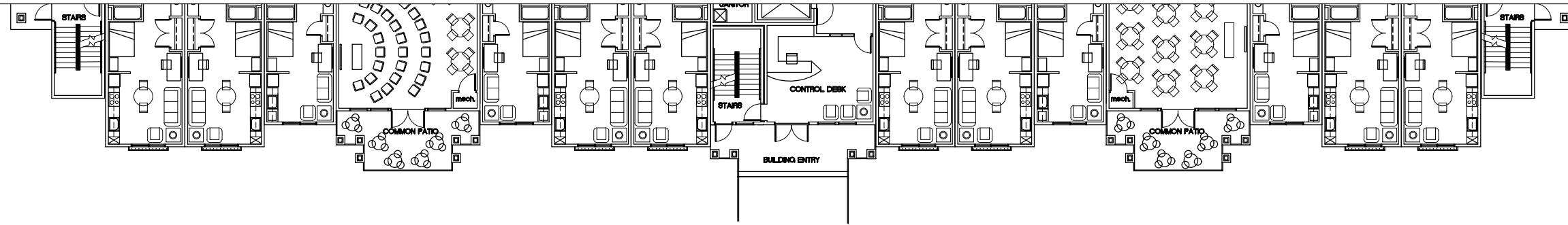
SHEET NUMBER

A2.4

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BLDG. 'B' ELEVATION - FACING MARIO CAPECCHI DR.

BRICK VENEER	64%
HORIZ. LAP SIDING	36%
GLASS ON MAIN FL.	37%

	ARCHITECTURAL GRADE ASPHALT SHINGLES
	STANDING SEAM METAL SHED ROOF
	BRICK VENEER
	HORIZ. CEMENT BOARD LAP SIDING
	ALUMINUM TUBE RAILING W/ METAL FASCIA AND SOFFIT

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PROJECT NUMBER  
20-019

SHEET TITLE  
BUILDING "B"  
STREET ELEVATION  
SCALE: 3/32" = 1'-0"

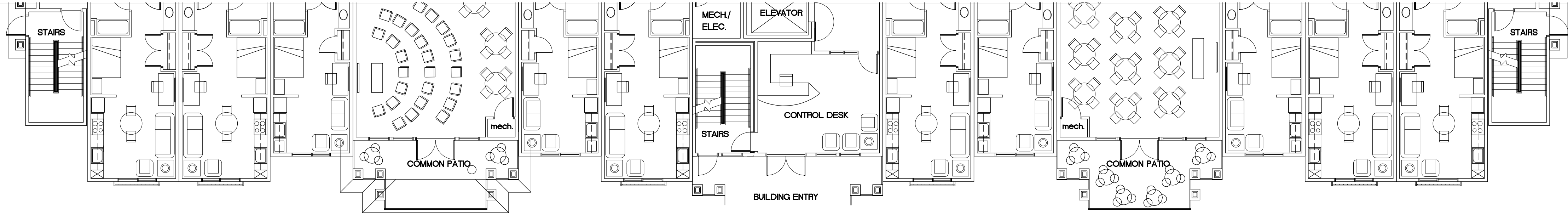
PROJECT/OWNER  
IVORY UNIVERSITY HOUSE  
SOUTH CAMPUS DRIVE  
SALT LAKE CITY, UT  
ICO COMPANIES

ARCHITECT

architecture  
2033 dan drive  
loyton, utah 84040  
(801) 593-9338  
(801) 593-9328 FAX

DATE  
23 APR 2021

SHEET NUMBER  
A3.4  
July 21, 2021



BLDG. 'C' NORTH ELEVATION - FACING COMMON GREEN

BRICK VENEER	61%
HORIZ. LAP SIDING	39%
GLASS ON MAIN FL.	32%

GLASS CALCULATION - MAIN FLOOR:	
MAIN FLOOR AREA: 12 FT X 240'-0" =	2,880 SF.
1,005 SF. (LOWER LEVEL) =	1,005 SF.
TOTAL MAIN FLOOR FACADE AREA:	3,885 SF.
WINDOW 1: 5' X 6' = 30 SF. X 11 =	330 SF.
PATIO / TRANSOM: 60 SF. X 6 =	360 SF.
COMMON VERANDA: 205 SF. X 2 =	410 SF.
ENTRYWAY: 170 SF. X 1 =	170 SF.
TOTAL:	1,270 SF.
PERCENT GLAZING: 1,270 / 3,885 =	32.7%

	ARCHITECTURAL GRADE ASPHALT SHINGLES
	STANDING SEAM METAL SHED ROOF
	BRICK VENEER
	HORIZ. CEMENT BOARD LAP SIDING
	ALUMINUM TUBE RAILING W/ METAL FASCIA AND SOFFIT

PROJECT NUMBER

20-019

SHEET TITLE

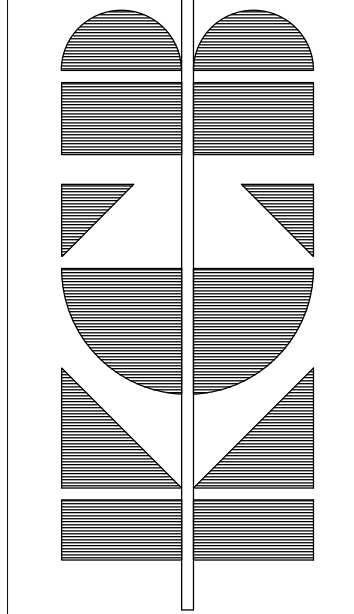
BUILDING "C"  
STREET ELEVATION  
SCALE: 3/32" = 1'-0"

PROJECT/OWNER

IVORY UNIVERSITY HOUSE  
SOUTH CAMPUS DRIVE  
SALT LAKE CITY, UT  
ICO COMPANIES

ARCHITECT

architecture  
2033 dan drive  
layton, utah 84040  
(801) 593-9338  
(801) 593-9328 FAX



DATE

23 JUNE 2021

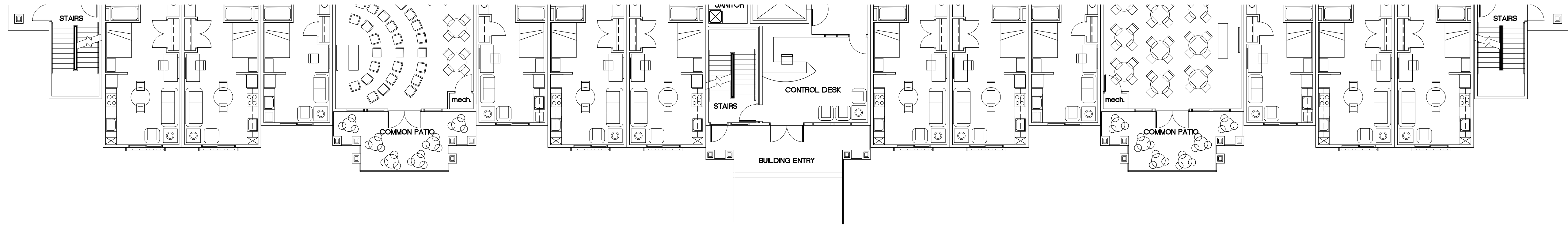
SHEET NUMBER

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BLDG. 'D' EAST ELEVATION - FACING MARIO CAPECCHI DR.

BRICK VENEER	58%
HORIZ. LAP SIDING	42%
GLASS ON MAIN FL.	37%

GLASS CALCULATION - MAIN FLOOR:	
MAIN FLOOR AREA:	12 FT X 268'-8" = 3,224 S.F.
WINDOW 1:	5' X 6' = 30 S.F. X 4 = 120 S.F.
PATIO / TRANSOM:	60 S.F. X 8 = 480 S.F.
COMMON VERANDA:	205 S.F. X 2 = 410 S.F.
ENTRYWAY:	170 S.F. X 1 = 170 S.F.
TOTAL:	1,180 S.F.
PERCENT GLAZING:	1,180 / 3,224 = 36.6%

	ARCHITECTURAL GRADE ASPHALT SHINGLES
	STANDING SEAM METAL SHED ROOF
	BRICK VENEER
	HORIZ. CEMENT BOARD LAP SIDING
	ALUMINUM TUBE RAILING W/ METAL FASCIA AND SOFFIT

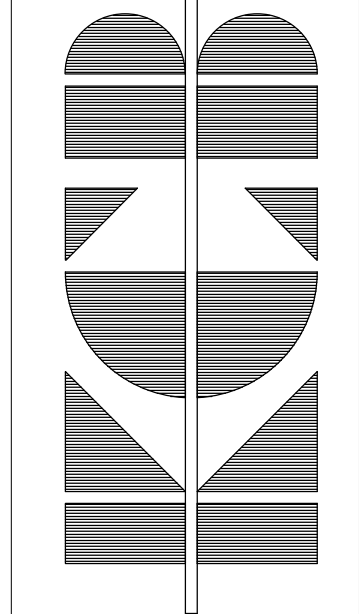
PROJECT NUMBER  
20-019

SHEET TITLE  
BUILDING "D"  
STREET ELEVATION  
SCALE: 3/32" = 1'-0"

PROJECT/OWNER  
IVORY UNIVERSITY HOUSE  
SOUTH CAMPUS DRIVE  
SALT LAKE CITY, UT  
ICO COMPANIES

ARCHITECT

architecture  
2033 dan drive 84040  
layton, utah 84040  
(801) 593-9338  
(801) 593-9328 FAX



DATE  
23 JUNE 2021

SHEET NUMBER  
A5.4

# ATTACHMENT E: ZONING MAP AMENDMENT STANDARD ANALYSIS

## ZONING MAP AMENDMENTS

**21A.50.050:** A decision to amend the text of this title or the zoning map by general amendment is a matter committed to legislative discretion of the City Council and is not controlled by any one standard. In making a decision to amend the zoning map, the City Council should consider the following:

Factor	Finding	Rationale
<b>1. Whether a proposed map amendment is consistent with the purposes, goals, objectives, and policies of the city as stated through its various adopted planning documents;</b>	<b>Complies</b>	As discussed in the body of the report, the proposed map amendment is consistent with the adopted East Bench Master Plan (2017), which indicates support for zoning changes for the identified Regional Activity Centers which includes the University of Utah.
<b>2. Whether a proposed map amendment furthers the specific purpose statements of the zoning ordinance.</b>	<b>Complies</b>	<p>The purpose of the Zoning Ordinance is to promote the health, safety, morals, convenience, order, prosperity and welfare of the present and future inhabitants of Salt Lake City, to implement the adopted plans of the city, and, in addition:</p> <ul style="list-style-type: none"> <li>A. Lessen congestion in the streets or roads;</li> <li>B. Secure safety from fire and other dangers;</li> <li>C. Provide adequate light and air;</li> <li>D. Classify land uses and distribute land development and utilization;</li> <li>E. Protect the tax base;</li> <li>F. Secure economy in governmental expenditures;</li> <li>G. Foster the city's industrial, business and residential development; and</li> <li>H. Protect the environment.</li> </ul> <p>The proposed zoning map amendment from I to R-MU would directly supports a number of the purposes of the zoning ordinance found in Chapter 21A.02.030, specifically A, D, G and H. Additionally, the amendment would accommodate a development that would provide housing for the University of Utah students, which is inline with East Bench Master Plan goals.</p>
<b>3. The extent to which a proposed map amendment will affect adjacent properties;</b>	<b>Complies</b>	As discussed under the site context section above, the rezoning of the subject parcel is unlikely to affect any adjacent properties. The properties adjacent and abutting to the subject property requested for the rezone, contain uses that are associated with the University of Utah Campus. There are no small scale residential or commercial structures in this immediate area.
<b>4. Whether a proposed map amendment is consistent with the purposes and provisions of any applicable overlay zoning districts which may impose additional standards</b>	<b>Complies</b>	The site is located within the Groundwater Source Protection Overlay. Development would be required to comply with the requirements of the Groundwater Source Protection overlay.
<b>5. The adequacy of public facilities and services intended to serve the subject property, including, but not limited to, roadways, parks and</b>	<b>Complies</b>	The subject property is located within a built environment where public facilities and services already exist. Redevelopment on this property may require upgrading or installation of utilities and drainage systems. No concerns



recreational facilities, police and fire protection, schools, stormwater drainage systems, water supplies, and wastewater and refuse collection.		were received from other City departments regarding the zoning amendment or the potential for development.
--	--	--

## ATTACHMENT F: RMU ZONING STANDARDS

The purpose of the R-MU Residential/Mixed Use District is to reinforce the mixed-use character of the area and encourage the development of areas as high density residential urban neighborhoods containing retail, service commercial, and small scale office uses. This district is appropriate in areas of the City where the applicable master plans support high density, mixed use development. The standards for the district are intended to facilitate the creation of a walkable urban neighborhood with an emphasis on pedestrian scale activity while acknowledging the need for transit and automobile access.

Requirement	Standard	Proposed	Compliance
<b>Lot Area/Lot Width</b>	No minimum lot area or width required.	5.40 Acres	Complies
<b>Maximum Building Height</b>	<p>The maximum building height shall not exceed seventy five feet (75'), except that nonresidential buildings and uses shall be limited by subsections F1 and F2 of this section. Buildings taller than seventy five feet (75'), up to a maximum of one hundred twenty five feet (125'), may be authorized through the design review process (chapter 21A.59 of this title) and provided, that the proposed height is located within the one hundred twenty five foot (125') height zone indicated in the map located in subsection F3 of this section.</p> <ol style="list-style-type: none"> <li>1. Maximum height for nonresidential buildings: forty five feet (45').</li> <li>2. Maximum floor area coverage of nonresidential uses in mixed use buildings of residential and nonresidential uses: Three (3) floors.</li> <li>3. One hundred twenty five foot (125') height zone map for the R-MU District.</li> </ol>	<p>Building A: Approximately 67'11" in height.</p> <p>Building B: 73'3" in height.</p> <p>Building C: 66'7" in height.</p> <p>Building D: 73'3" in height.</p>	Complies
<b>Front Yard</b>	No setback is required	See section below on maximum front yard setback.	<b>Doesn't Comply Requires Design Review Approval</b>
<b>Corner Side Yard</b>	No setback is required	Providing 12'-41'	Complies
<b>Rear Yard</b>	Twenty five percent (25%) of lot depth, but need not exceed thirty feet (30').	Proposing 25'.	Complies
<b>Interior Yard</b>	No setback is required.	Development includes an interior side yard setback along Research Road (private drive). This is an access to their off-street parking.	Complies
<b>Buffer Yard</b>	Where a lot in the R-MU abuts a lot in a Single-Family or Two-Family Residential District, landscape buffers shall be provided as required in Chapter 21A.48, "Landscaping and Buffers", of this title.	This development does not abut a lot in a single- or two-family residential district. No buffer yard is required.	Complies



<b>Maximum Setback:</b>	For single-family, two-family, and twin home dwellings, at least twenty five percent (25%) of the building façade must be located within twenty five feet (25') of the front lot line. For all other uses, at least twenty five percent (25%) of the building façade must be located within fifteen feet (15') of the front lot line. Exceptions to this requirement may be authorized as design review, subject to the requirements of chapter 21A.59 of this title, and the review and approval of the Planning Commission. The Planning Director, in consultation with the Transportation Director, may modify this requirement if the adjacent public sidewalk is substandard and the resulting modification to the setback results in a more efficient public sidewalk.	The development is requesting to exceed the maximum front yard setback through the Design Review process. The areas requested to exceed the maximum are the yards along Mario Cappechi and South Campus Drive to preserve the existing mature landscaping.  Proposed front yard setbacks range from 12'-41'.	<b>Requires Design Review Approval</b>
<b>Parking Setback</b>	Surface parking lots within an interior side yard shall maintain a thirty foot (30') landscape setback from the front property line or be located behind the primary structure. Parking structures shall maintain a forty five foot (45') minimum setback from a front or corner side yard property line or be located behind the primary structure. There are no minimum or maximum setback restrictions on underground parking.	The surface parking lot is approximately 87' west from the front property line.	Complies
<b>Minimum Open Space</b>	For residential uses and mixed uses containing residential use, not less than twenty percent (20%) of the lot area shall be maintained as an open space area. This open space area may take the form of landscape yards or plazas and courtyards, subject to site plan review approval.	The development includes approximately 28.54% landscaped open space.	Complies
<b>Landscape Yards</b>	All front and corner side yards provided shall be maintained as a landscape yard in conformance with Chapter 21A.48, "Landscaping and Buffers", of this title.	The proposed front and corner side yards will exceed the maximum setback allowance to preserve existing mature landscaping. This landscaping will remain as part of this development.	Complies

## Chapter 21A.37

The design standards identified in this chapter are intended to utilize planning and architecture principles to shape and promote a walkable environment in specific zoning districts, foster place making as a community and economic development tool, protect property values, assist in maintaining the established character of the City, and implementing the City's master plans.

Requirement	Standard	Proposed	Compliance
<p><b>Ground Floor Glass:</b> The ground floor building elevation of all new buildings facing a street, and all new ground floor additions facing a street, shall have a minimum amount of glass, or within a specified percentage range, between three feet and eight feet above grade according to section 21A.37.060, table 21A.37.060 of this chapter. All ground floor glass shall allow unhampered and unobstructed visibility into the building for a depth of at least five feet. The Planning Director may approve a modification to ground floor glass requirements if the Planning Director finds:</p> <ul style="list-style-type: none"> <li>a. The requirement would negatively affect the historic character of an existing building;</li> <li>b. The requirement would negatively affect the structural stability of an existing building; or</li> <li>c. The ground level of the building is occupied by residential uses that face the street, in which case the specified minimum glass requirement may be reduced by 15%.</li> </ul>	40%	<p>Building A: 32.%</p> <p>Building B: 36.6%</p> <p>Building C: 32.7%</p> <p>Building D: 36.6%</p> <p>The amount of glazing provided on each street facing elevation complies with 21A.37.050.C.1.c. Each ground floor contains a residential use, thus a slight reduction in the 40% glazing requirement is being requested.</p>	Complies with Planning Director approval.
<p><b>Building Entrances:</b> At least one operable building entrance on the ground floor is required for every street facing façade. Additional operable building entrances shall be required, at a minimum, at each specified length of street facing building façade according to section 21A.37.060, table 21A.37.060 of this chapter. The center of each additional entrance shall be located within six feet either direction of the specified location.</p>		Each street facing façade has a building entrance centrally located.	Complies
<p><b>Blank Wall Maximum length:</b> The maximum length of any blank wall uninterrupted by windows, doors, art or architectural detailing at the ground floor level along any street facing façade shall be as specified according to section 21A.37.060, table 21A.37.060 of this chapter. Changes in plane, texture, materials, scale of materials, patterns, art, or other architectural detailing are acceptable methods to create variety and scale. This shall include architectural features such as bay windows, recessed or projected entrances or windows, balconies, cornices, columns, or other similar architectural features. The</p>	15 Feet	Each elevation contains significant undulation between materials and architectural features. The northern elevation (secondary) of Building B contains less windows on the first two stories than the primary elevations. However, this specific façade contains two types of materials which correlate to the shifts in wall planes and projected bays. There are no identified conflicts with this requirement.	Complies



architectural feature shall be either recessed a minimum of twelve inches or projected a minimum of twelve inches.			
<b>Lighting Parking Lot:</b> If a parking lot/structure is adjacent to a residential zoning district or land use, any poles for the parking lot/structure security lighting are limited to sixteen feet in height and the globe must be shielded and the lighting directed down to minimize light encroachment onto adjacent residential properties or into upper level residential units in multi-story buildings.		The subject property is not adjacent to any residential zoning district or land use. The parking lot lighting includes 16' poles approximately spaced between every 6 parking stalls.	Complies
<b>Screening of Mechanical Equipment:</b> All mechanical equipment for a building shall be screened from public view and sited to minimize their visibility and impact.		Mechanical equipment will be located within a recessed area of the roof.	Complies
<b>Screening of Service Areas:</b> Service areas, loading docks, refuse containers and similar areas shall be fully screened from public view. All screening enclosures viewable from the street shall be either incorporated into the building architecture or shall incorporate building materials and detailing compatible with the building being served. All screening devices shall be a minimum of one foot higher than the object being screened, and in the case of fences and/or masonry walls the height shall not exceed eight feet. Dumpsters must be located a minimum of twenty five feet from any building on an adjacent lot that contains a residential dwelling or be located inside of an enclosed building or structure.		The two sets of refuse containers are located in the eastern and northern corners of the surface parking lot. The refuse containers will not be visible from the public way and will be fully screened.	Complies

# ATTACHMENT G: ANALYSIS OF DESIGN REVIEW STANDARDS

**21A.59.050: Standards for Design Review:** In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

Standard	Finding	Rationale
<b>Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.</b> <ol style="list-style-type: none"> <li>1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot).</li> <li>2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood.</li> <li>3. Parking shall be located within, behind, or to the side buildings.</li> </ol>	Complies	<ol style="list-style-type: none"> <li>1. Three of the four structures are oriented to the public way. Two structures face Mario Cappechi Drive and the other faces South Campus Drive. There is one additional structure located behind the two which face Mario Cappechi. Each building contains primary entrances from the public sidewalk along both Mario Cappechi Drive and South Campus Drive.</li> <li>2. The buildings are sited behind the existing mature landscaping along Mario Cappechi Drive and South Campus Drive. The existing development patterns in the neighborhood consist of larger setbacks.</li> <li>3. The off-street parking is located behind the structures to the west.</li> </ol>
<b>Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.</b> <ol style="list-style-type: none"> <li>1. Locate active ground floor uses at or near the public sidewalk.</li> <li>2. Maximize transparency of ground floor facades.</li> <li>3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and detail at window transitions.</li> <li>4. Locate outdoor dining patios, courtyards, plazas, habitable landscape yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces.</li> </ol>	Complies	<ol style="list-style-type: none"> <li>1. Each ground floor contains residential uses with three main entrances accessible from the public sidewalk.</li> <li>2. Each street facing elevation contains glazing ranging between 32-36%. A slight reduction is being requested to accommodate the residential use on the ground floor.</li> <li>3. The development contains traditional elements along the ground floor. The ground floor patio doors contain transom windows.</li> <li>4. Each elevation contains a series of patio features that overlook the large front yard setbacks with the mature landscaping or the landscaped common area to the west.</li> </ol>
<b>Large building masses shall be divided into heights and sizes that relate to human scale.</b> <ol style="list-style-type: none"> <li>1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis.</li> <li>2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the</li> </ol>	Complies	<ol style="list-style-type: none"> <li>1. The existing development pattern along Mario Cappechi and South Campus Drive does not have an urban context. The buildings have substantial setbacks and vary in height. The surrounding zoning includes Institutional and Research Park. The overall proposed height will be compatible with the buildings in the vicinity of the subject property. The proposed development is appropriately scaled to the surrounding context.</li> <li>2. The proposed development is well modulated to relate to both the human scale of pedestrians, as well</li> </ol>



<p>buildings in the context and reduce the visual width or height.</p> <ol style="list-style-type: none"> <li>3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals.</li> <li>4. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.</li> </ol>		<p>as the surrounding structures associated with the University of Utah Campus.</p> <ol style="list-style-type: none"> <li>3. The primary elevations contain balconies, and belt courses to distinguish between the lower and upper floors.</li> <li>4. The existing context varies and does not have a consistent solid-to-void pattern. With that said, the primary elevations contain a significant amount of window and door openings.</li> </ol>
<p><b>Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include:</b></p> <ol style="list-style-type: none"> <li>1. Changes in vertical plane (breaks in façade);</li> <li>2. Material changes; and</li> <li>3. Massing changes.</li> </ol>	Complies	Each building exceeds 200' in building length. However, each elevation contains changes in wall planes through the integration of balconies, porches and projections. Each façade element decreases the overall massing of the structures. The materials along each elevation do change between traditional masonry and cementitious siding.
<p><b>If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements:</b></p> <ol style="list-style-type: none"> <li>1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");</li> <li>2. A mixture of areas that provide seasonal shade;</li> <li>3. Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted;</li> <li>4. Water features or public art;</li> <li>5. Outdoor dining areas; and</li> <li>6. Other amenities not listed above that provide a public benefit.</li> </ol>	Complies	The developer is not providing privately owned public space.
<p><b>Parking and on-site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway.</b></p>	Complies	The off-street parking lot is located to the west of the structures, away from the main pedestrian thoroughfare along Mario Cappechi Drive and South Campus Drive. The site contains access from the public way through the structures to the shared common area or parking lot.
<p><b>Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served.</b> Service uses shall be set back from the front line of building or located within the structure. (Subsection 21A.37.050.K)</p>	Complies	The two refuse areas are located in the off-street surface parking lot. The refuse areas will be fully screened and not visible from the public way.
<p><b>Signage shall emphasize the pedestrian/mass transit orientation.</b></p> <ol style="list-style-type: none"> <li>1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade</li> </ol>	Complies	The development includes two monument signs, located on South Campus Drive, as well as Mario Cappechi Drive. All signs will incorporate appropriate lighting.

<p>signs, or other clearly articulated band on the face of the building.</p> <ol style="list-style-type: none"> <li>2. Coordinate signage locations with appropriate lighting, awnings, and other projections.</li> <li>3. Coordinate sign location with landscaping to avoid conflicts.</li> </ol>		
<p><b>Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals.</b></p> <ol style="list-style-type: none"> <li>1. Provide street lights as indicated in the Salt Lake City Lighting Master Plan.</li> <li>2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and up lighting directly to the sky.</li> <li>3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility and support pedestrian comfort and safety.</li> </ol>	Complies	<ol style="list-style-type: none"> <li>1. Street lighting will be in accordance to the University of Utah needs.</li> <li>2. The building will be adequately illuminated to provide pedestrian safety and comfort while maintaining the allowable lighting levels. All exterior lighting will be designed for adjustable, low-level illumination to minimize glare, light trespassing and night sky pollution.</li> <li>3. The exterior lighting will complement the architectural design and highlight its massing, articulation, and key features. The lighting will also illuminate the communal outdoor space.</li> </ol>
<p><b>Streetscape improvements shall be provided as follows:</b></p> <ol style="list-style-type: none"> <li>1. One street tree chosen from the street tree list consistent with the city's urban forestry guidelines and with the approval of the city's urban forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the city's urban forester.</li> <li>2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately owned public spaces shall meet the following standards: <ol style="list-style-type: none"> <li>a. Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur.</li> <li>b. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table.</li> <li>c. Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar-Reflective Index (SRI).</li> </ol> </li> </ol>	Complies	<ol style="list-style-type: none"> <li>1. The development proposes to preserve the existing mature street trees along Mario Cappechi and South Campus Drive. The tree preservation along these two frontages will meet the requirement of a street tree every 30'.</li> <li>2. The hardscaping is minimal and primarily located to a few of the communal exterior spaces.</li> </ol>



<ul style="list-style-type: none"> <li>d. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City.</li> <li>e. Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities.</li> <li>f. Asphalt shall be limited to vehicle drive aisles.</li> </ul>		
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## ATTACHMENT H: ANALYSIS OF PLANNED DEVELOPMENT STANDARDS

**21A.55.050: Standards for Planned Developments:** The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

Standard	Finding	Rationale
<b>A. The planned development shall meet the purpose statement for a planned development (section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development. The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development. The Planning Commission should consider the relationship between the proposed modifications to the zoning regulations and the purpose of a planned development, and determine if the project will result in a more enhanced product than would be achievable through strict application of the land use regulations.</b>	<b>Complies</b>	<p>The University House development complies with Objective A6, C, D and F.</p> <p>The applicant provided the following statement in support of the objectives: “As further demonstrated below in the applicable sections of the application, the project will achieve the purposes of implementing the City’s vision of future growth by providing critical student housing in an innovative and safe environment; maximizing the efficient use of land and resources by preserving open space and trees while providing over 500 student rooms; promoting greater efficiency in public and utility services with upgrades to utilities; encouraging innovative planning and development by providing a student housing environment that is focused on students’ high levels of academic achievement while providing scholarships to students; and reinforcing the character of the surrounding University and Fort Douglas neighborhood. BY doing so, the project is consistent with the City’s master plan for th area. Specifically, the project will meet the planned development objectives of preservation of urban forest (21A.55.010.A.2); result in a housing type that is not commonly found in the existing neighborhood but is of a scale that it typical to the University neighborhood (21A.55.010.C.2); establish increased connectivity to transit through new interior walk connections (21A.55.010D.1); and will encourage transportation options other than the automobile such as walking, bicycling and use of Trax given its proximity to the University of Utah campus and nearby Trax station (21A.55.010.D.2).”</p> <p>In general, the proposed development is in line with the East Bench Master Plan. The requested modifications preserve the existing mature landscaping, and facilitate student housing near transit and within the University of Utah campus.</p>
<b>B. The proposed planned development is generally consistent with adopted policies set forth in the Citywide, community, and/or small area Master</b>	<b>Complies</b>	As discussed under the zoning map amendment section in the body of this report, this proposed development is consistent with the East Bench Master Plan



<b>Plan that is applicable to the site where the planned development will be located.</b>			and Plan Salt Lake. Please refer to pages 6-7 for more information on the Master Plan compliance.
<b>C. Design and Compatibility:</b> The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the Planning Commission should consider:		<b>Complies</b>	Staff is of the opinion that the development complies with all the design and compatibility considerations listed.
<b>C1</b>	Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;	<b>Complies</b>	As part of this development, the applicant is also seeking a zoning map amendment from I to RMU. The RMU zoning district anticipates this type of development to occur. The proposed scale, mass and intensity are all compatible with the surrounding context, which is the University of Utah Campus. This type of development is anticipated to occur, in order to create supportive uses for the University of Utah. The East Bench Master Plan, addressed on pages 6-7 of this staff report, established policies to enable and encourage this type of development.
<b>C2</b>	Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;	<b>Complies</b>	The buildings are oriented towards the public way and include durable materials, which are compatible with the surrounding context.
<b>C3</b>	Whether building setbacks along the perimeter of the development: <ul style="list-style-type: none"> <li>a. Maintain the visual character of the neighborhood or the character described in the applicable master plan.</li> <li>b. Provide sufficient space for private amenities.</li> <li>c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise.</li> <li>d. Provide adequate sight lines to streets, driveways and sidewalks.</li> <li>e. Provide sufficient space for maintenance.</li> </ul>	<b>Complies</b>	<ul style="list-style-type: none"> <li>A. The surrounding context of the subject property includes a variety of building types, setbacks and height. The proposed development is compatible with the context and the established setbacks. The area includes existing mature landscaping that will be preserved for this development.</li> <li>B. This project provides approximately 28% landscaped open space. Additionally, there are large outdoor amenity spaces to the west of the proposed structures.</li> <li>C. The abutting property to the west is the existing LDS institute parking garage for the University of Utah Campus. The development to the east consists of Fort Douglas, and the Huntsman Center is located to the north west. Additionally, another student housing complex is located to the north. All these structures and uses are associated with the University of Utah. The development includes large setbacks from the corner and front property lines, which will buffer</li> </ul>

			<p>and mitigate any potential privacy and noise conflicts.</p> <p>D. There are adequate sight lines to and from the sidewalks and the off-street parking lot. Additionally, these areas are well lit.</p> <p>E. Sufficient space is provided for maintenance of the development.</p>
<b>C4</b>	Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;	<b>Complies</b>	The buildings will have sufficient ground floor transparency to interact with pedestrians. Each elevation contains a great deal of detailing, transparency and façade movement to interact with the public realm and street level.
<b>C5</b>	Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;	<b>Complies</b>	The lighting is placed along the access ways, sidewalks, shared amenity space, and the off-street parking lot. The lighting is designed with safety and visual interest in mind. The provided lighting information indicates that any impact to adjacent and abutting properties is unlikely.
<b>C6</b>	Whether dumpsters, loading docks and/or service areas are appropriately screened; and	<b>Complies</b>	The provided refuse containers, located in the parking lot, are screened.
<b>C7</b>	Whether parking areas are appropriately buffered from adjacent uses.	<b>Complies</b>	The parking area is buffered from adjacent uses and located approximately 86' behind the front property line.
<b>D. Landscaping:</b> The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the Planning Commission should consider:		<b>Complies</b>	Staff is of the opinion the proposed project complies with all landscaping considerations related to the Planned Development review.
<b>D1</b>	Whether mature native trees located along the periphery of the property and along the street are preserved and maintained;	<b>Complies</b>	The existing mature landscaping along the two street frontages will be preserved as part of this development.
<b>D2</b>	Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved;	<b>Complies</b>	There is no existing landscaping that provides additional buffering to the properties to the west. With that said, the development includes some landscaping between the western property and this development. Please note, the property abutting to the west is a parking garage.
<b>D3</b>	Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development; and	<b>Complies</b>	The landscaping for this development is quite significant. The development includes large front and corner side yard setbacks to accommodate the preservation of existing mature landscaping. The large setbacks will lessen potential impacts that this development could have, as well as impacts that Mario Cappechi Drive and South Campus Drive could have on the quality life of the tenants within this housing development.
<b>D4</b>	Whether proposed landscaping is appropriate for the scale of the development.	<b>Complies</b>	The amount and scale of the proposed landscaping is appropriate for the student housing development.
<b>E. Mobility:</b> The proposed planned development supports Citywide transportation goals and promotes safe and efficient circulation		<b>Complies</b>	Staff is of the opinion the proposed project complies with all mobility considerations related to the Planned Development review.



within the site and surrounding neighborhood. In determining mobility, the Planning Commission should consider:			
<b>E1</b>	Whether drive access to local streets will negatively impact the safety, purpose and character of the street;	<b>Complies</b>	The drive access is from a private drive, owned by the University of Utah. The drive access will provide access to 1800 E, South Campus Drive and Mario Cappechi Drive. The drive access is not anticipated to negatively impact the safety, purpose, or character of any of these streets.
<b>E2</b>	Whether the site design considers safe circulation for a range of transportation options including: a. Safe and accommodating pedestrian environment and pedestrian oriented design; b. Bicycle facilities and connections where appropriate, and orientation to transit where available; and c. Minimizing conflicts between different transportation modes;	<b>Complies</b>	The student housing development is anticipated to reduce single-passenger vehicles to and from the University of Utah by providing a housing development within walking distance to Campus, as well as to the Trax Red Line. The University of Utah currently contains bicycle connections and lanes along Mario Cappechi and South Campus Drive.
<b>E3</b>	Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities;	<b>Complies</b>	The site design of the proposed development will enable students walking or biking access to campus.
<b>E4</b>	Whether the proposed design provides adequate emergency vehicle access; and	<b>Complies</b>	There is sufficient access around the periphery of the site for emergency vehicle access. The development will be required to provide adequate emergency vehicle access and compliance will be ensured during building permit review process. Compliance through the Planned Development review does not guarantee compliance with the International Fire and Building Codes and it does not guarantee the issuance of any building permit, or the approval of any AM&M application.
<b>E5</b>	Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.	<b>Complies</b>	Loading access would be located within the off-street parking lot, since on street parking is not permitted along Mario Cappechi or South Campus Drive.
<b>F. Existing Site Features:</b> The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.		<b>Complies</b>	As discussed above, the development will preserve the existing mature landscaping on the subject property. No additional features will be preserved.
<b>G. Utilities:</b> Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area.		<b>Complies</b>	Proposal will be required to comply with any requirements from public utilities including any sewer and water main upgrades if applicable.

# **ATTACHMENT I: PUBLIC PROCESS AND COMMENTS**

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Public Notice, Meetings, Comments The following is a list of public input opportunities related to the proposed project since the applications were submitted:

- May 12, 2021 - Sent early notification to property owners and tenants within 300 FT of the property.
- May 17, 2021 – Published an online City Open House.
  - The comment period was open from May 17 to June 28, 2021.

Notice of the public hearing for the proposal included:

- Public hearing notice mailed on July 15, 2021.

Public notice posted on City and State websites and Planning Division list serve on July 15, 2021.

Public Input: two emailed comments have been provided and are included below.



From: Judi Short [REDACTED]  
Sent: Friday, June 18, 2021 3:07 PM  
To: Lindquist, Kelsey <Kelsey.Lindquist@slcgov.com>  
Subject: (EXTERNAL) Ivory House


This one makes me mad. Explain how the Institutional zone works versus RMU works. I thought everything the University built didn't have to be reviewed by planning, how is it that this will? Is that parcel owned by the Church or something. I haven't looked at the plans carefully, but my first thought has to do with pedestrian and automobile safety. I drove past that corner every day for 38 years, I think there isn't pedestrian access there, I think it is down by the parking terrace to the west. If not, it should be. With the TRAX there, the street is very wide, and hard to walk from the sidewalk to the median quickly. And I worry about the line of sight. Looks like they want to build to the street with no setback. Automobiles coming north on Mario Capecchi drive can't always see when the train is showing up from the west. And cars run the light all the time. Care should be taken to make sure there is good visibility, especially with all the busses that go through that intersection all day long. Thanks, Judi

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Judi Short  
[REDACTED]  
[REDACTED]

(EXTERNAL) Planning IVORY UNIVERSITY HOUSE (see below)

 Suzanne Stensaas [REDACTED]  
To: Lindquist, Kelsey  
Cc: Suzanne Stensaas

 You replied to this message on 5/19/2021 8:58 AM.

Where do citizens get information on such a massive project adjacent to the campus?  
I would like to know:

- Who/what is Ivory foundation?
- Are they buying the property from the LDS church? Or is this a church enterprise?
- Is the Church selling it to Ivory?
- Is it low cost rent so the name student housing is appropriate?
- Since on campus very little parking should be needed.
- Any diagrams or plans and elevations as how this would look?
- Green space needed for 536 families, open space, rec space. Is that in the plan
- Will this result in any of the current university village , east and west, student housing being demolished and not rebuilt?
- Is the university abdicating its responsibility for affordable student housing by turning it over to the private sector?
- Is the university going to use current student housing land for more commercial development with the excuse they can go live in Ivory Houses!

Thank you for any additional information you can provide

# **ATTACHMENT J: DEPARTMENT REVIEW COMMENTS**

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**Engineering:** No comments.

**Public Utilities:** SLC PU and University are working together on utility requirements.

**Zoning:** This proposal came to a DRT meeting BLD2021-00005 on 1/8/2021 and the applicants were directed to submit the required planning applications to the Planning Division, which they have done, for Planning Commission approval. No additional zoning comments.

**Building Code:** All construction within the corporate limits of Salt Lake City shall be per the State of Utah adopted construction codes and to include any state or local amendments to those codes. RE: Title 15A State Construction and Fire Codes Act.

**Sustainability:** No Comments.

**Transportation:** Parking adequate.

**Fire:** No comments.