



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Linda Mitchell, Principal Planner, linda.mitchell@slcgov.com or 385-386-2763

Date: June 17, 2021

Re: PLNPCM2021-00259 – *Detached Accessory Dwelling Unit*

Conditional Use

PROPERTY ADDRESS: 738 East 1700 South
PARCEL ID: 16-17-157-009-0000
MASTER PLAN: Sugar House – Low Density Residential
ZONING DISTRICT: R-1/7,000 Single-Family Residential

REQUEST: Cody Cowley, property owner, is requesting Conditional Use approval for a conversion of the existing loft space above the detached 2-car garage into an Accessory Dwelling Unit (ADU) at the above listed address. No changes to the exterior are proposed. The property is zoned R-1/7,000 Single-Family Residential, which requires Conditional Use approval for the construction of an ADU.

RECOMMENDATION: Planning Staff finds the project generally meets the applicable standards of approval. Therefore, recommends the Planning Commission approve the Conditional Use for the ADU.

ATTACHMENTS:

- A. [Vicinity Map](#)
- B. [Plans](#)
- C. [Site Visit Photographs](#)
- D. [Analysis of Standards - Accessory Dwelling Units](#)
- E. [Analysis of Standards – Conditional Use](#)
- F. [Public Process and Comments](#)
- G. [Department Review Comments](#)

PROJECT DESCRIPTION:

This petition for a Conditional Use is for a conversion of the existing loft space above the detached 2-car garage into an ADU located at approximately 738 East 1700 South. The loft addition was permitted in 2000. No changes to the exterior are proposed.

Size, Coverage, and Height

The gross floor area of the ADU would be approximately 540 square feet and the building footprint is approximately 528 square feet. The proposed ADU has a studio layout on the second level above the garage. The structure has a gabled roof measured approximately 20 feet 9 inches (20' - 9") in height.

Building Entrance and Access

The ADU entrance would face the rear façade of the principal structure. The pedestrian access would go through the patio out to Lake Street (Figure 1).



Aerial Photo of Subject Property

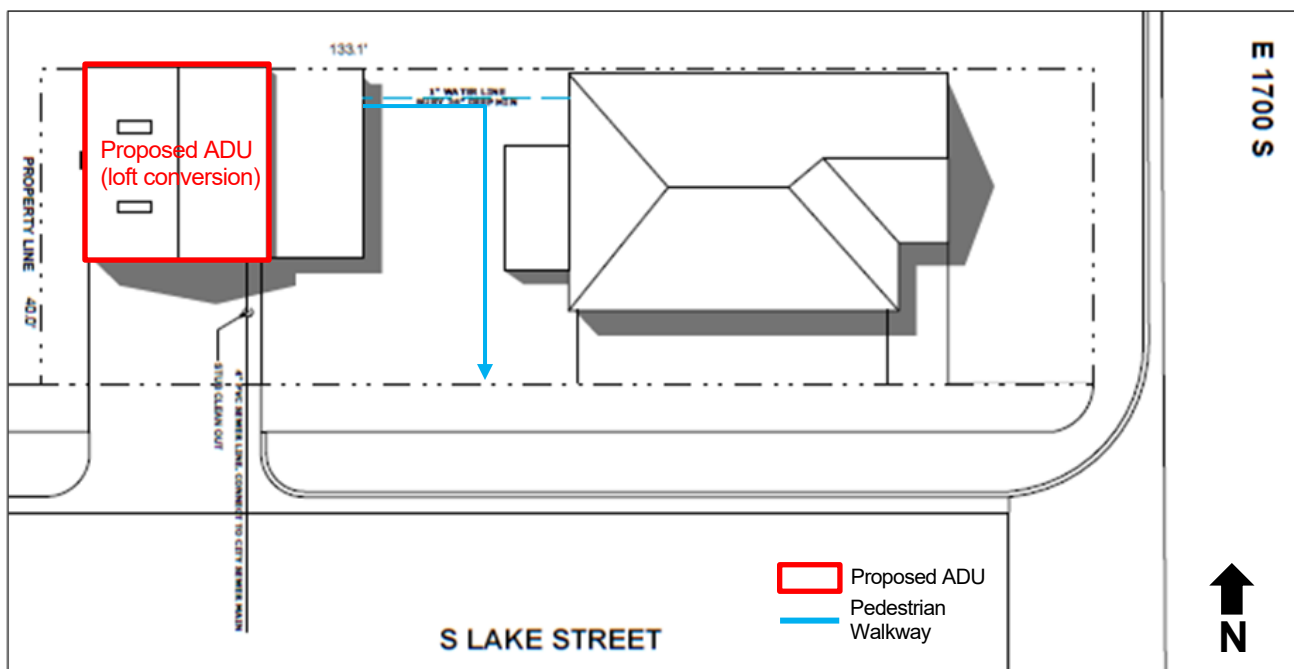


Figure 1. Site Plan

Windows

There are existing windows on the north and east elevations (Figure 2). No additional windows are proposed.

Parking

The parking for the existing house is accommodated by two (2) off-street parking spaces in the existing detached garage with access from Lake Street. The proposal would utilize legal on-street parking along the street frontage (Lake Street) of the subject property.



Figure 2. Existing Windows on the Accessory Structure (Left: East Elevation; Right: North Elevation)

KEY CONSIDERATIONS:

1. Parking Location

The Zoning Ordinance requires one (1) parking space for an ADU. The required parking space may be located on the property or on the street, if legal on-street parking space is available in the front of the property. In this case, the proposed parking for the ADU will be located on Lake Street.

2. Housing Goals

The proposed ADU is consistent with the goals and policies outlined within The Growing SLC Housing Plan. One of the goals outlined in the Housing Plan, includes; increasing housing options. Accessory dwelling units provide and promote diverse housing stock through providing additional units, while minimizing neighborhood impacts. The proposed ADU is in line with the goals established within the Housing Plan. Housing goals are also addressed under Standard 3 within [Attachment E](#).

3. Sugar House Master Plan

The proposed ADU is consistent with the following Residential Land Use Goals/Policies ([Attachment E](#)) included in the Sugar House Master Plan :

- Strengthen and support existing neighborhoods by:
 - Considering appropriate adjacent land uses;
- Design new developments with the following in mind:
 - Creating more affordable housing;
- Provide a diversity of housing types, sizes, and prices in the community as a whole.

Accessory dwelling units support the city's goals and policies by increasing housing options and providing a diverse housing stock through additional small dwelling unit that create only minimal impacts to the neighborhood.

PLANNING COMMISSION REVIEW:

The property is zoned R-1/7,000 Single-Family Residential. A Conditional Use approval is required for any ADUs that are located in a single-family zoning district. For complete analysis and findings for compliance with zoning standards for Accessory Dwelling Units and Conditional Use standards, please refer to [Attachment D](#) and [Attachment E](#).

NEXT STEPS:***Approval of Conditional Use***

If approved, the applicant may proceed with the project, subject to all conditions imposed by City departments and/or the Planning Commission and will be required to obtain all necessary permits. Building permits and certificate of occupancy for the building would only be issued contingent upon all conditions of approval are met, including the registration process requirements outlined in 21A.40.200F of the zoning ordinance.

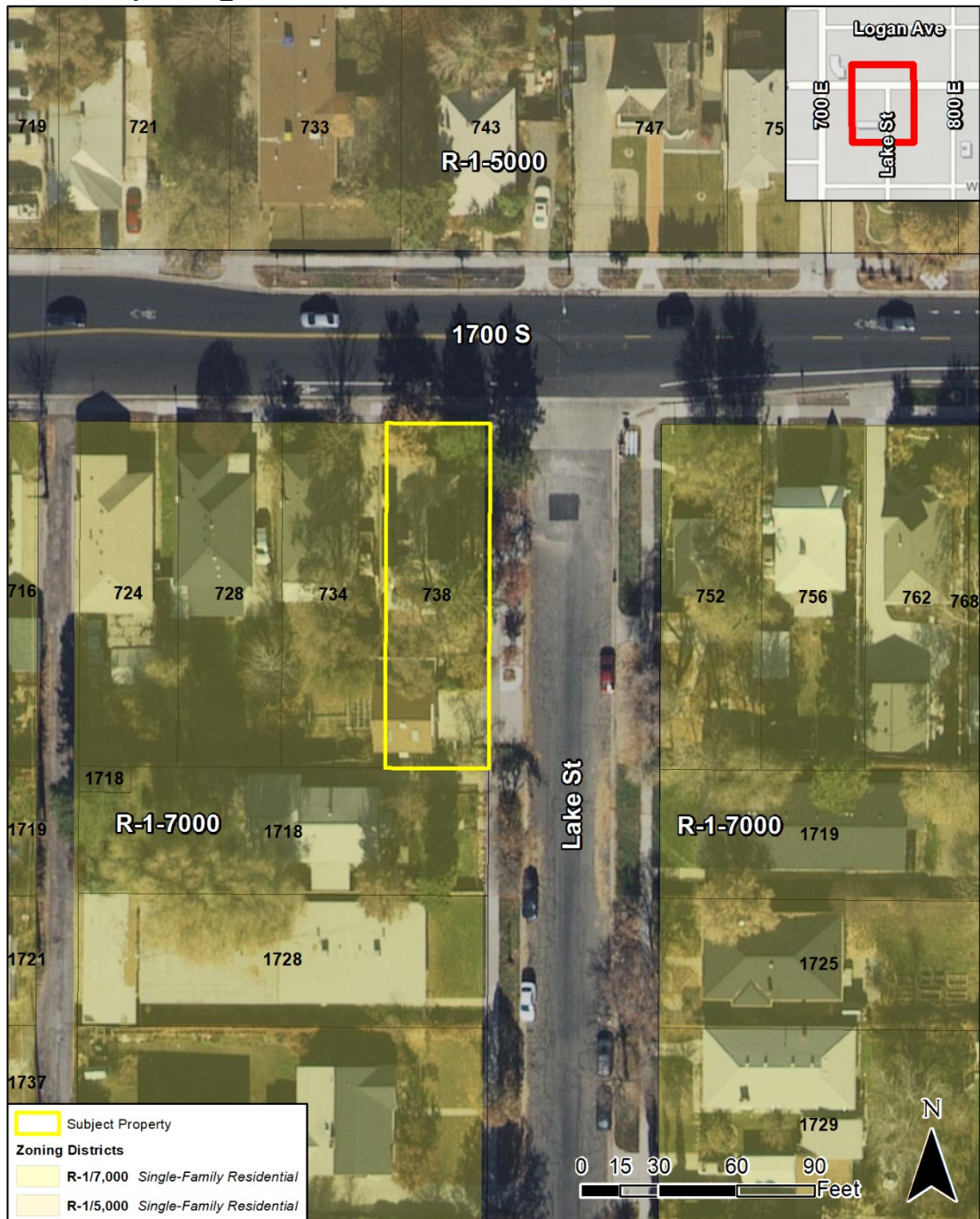
Denial of Conditional Use

State and City code require that a Conditional Use be approved if reasonable conditions can be imposed on the use to mitigate any reasonably anticipated detrimental effects of the use. A Conditional Use can only be denied if the Planning Commission finds that reasonably anticipated detrimental effects cannot be mitigated with the imposition of reasonable conditions.

If denied, the applicant would not be permitted to construct an ADU. An accessory building would be permitted on the property subject to compliance with the development standards and requirements of the R-1/7,000 Single-Family Residential District; however, no portion of the building may be used as a dwelling unit.

ATTACHMENT A: VICINITY MAP

Vicinity Map

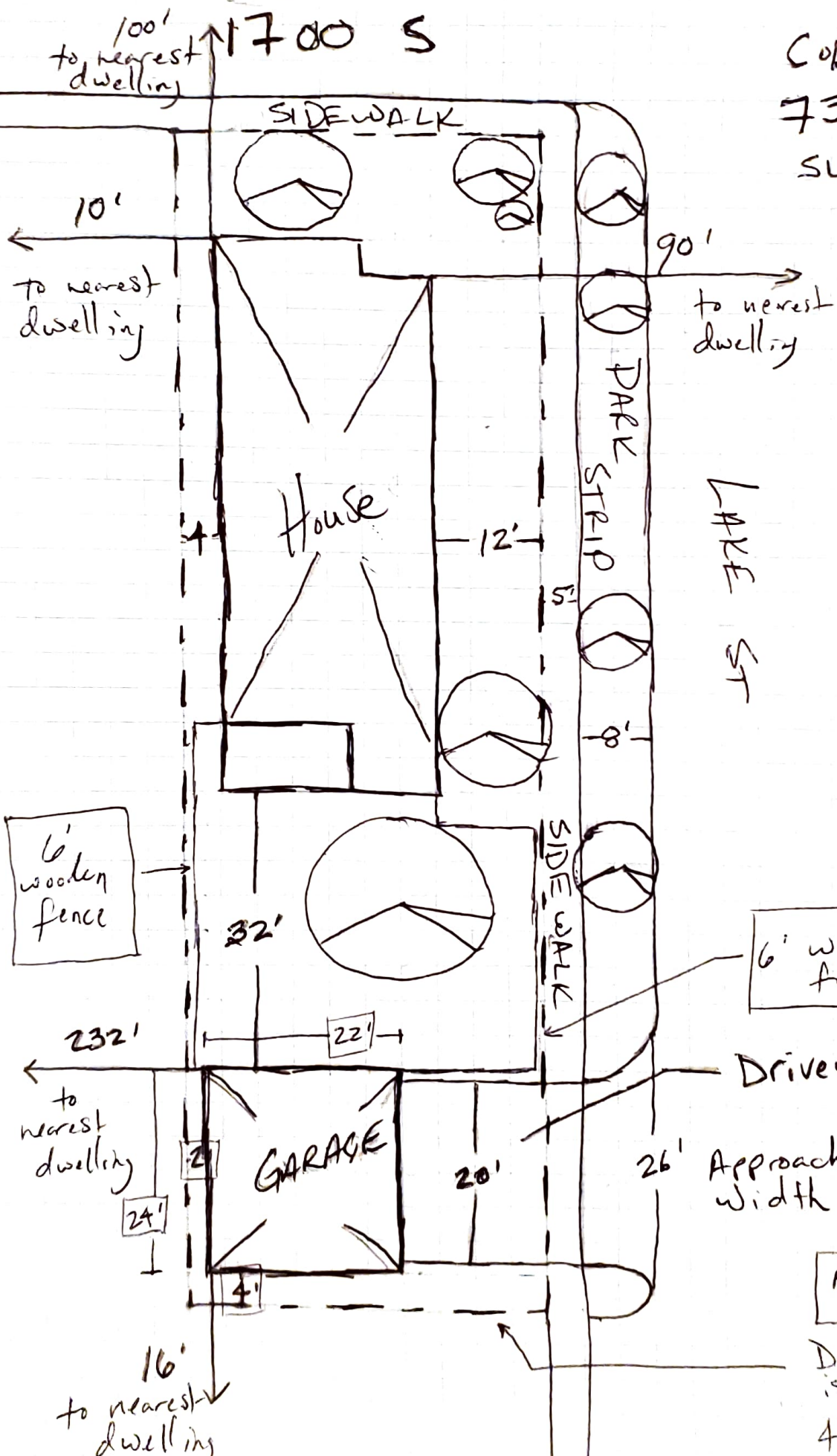


Salt Lake City Planning Division 6/15/2021

ATTACHMENT B: PLANS

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CODY COWLEY
738 E 1700 S
SLC, UT 84105



1 SQ = 4'

Zoned R-1-7000
Single-Family Residence

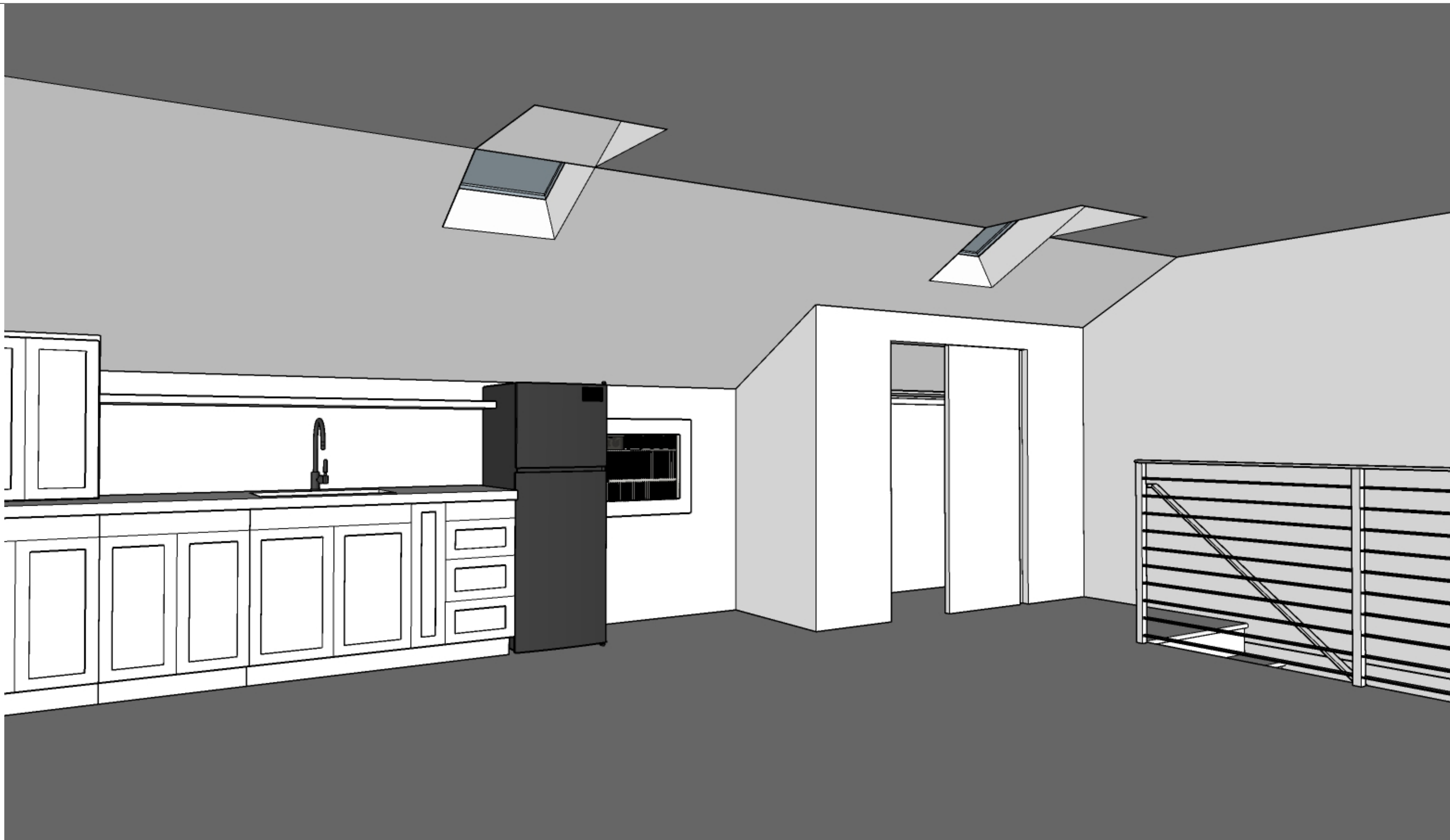


Principle Dwelling
Square Footage
= 1850

ADU
Square Footage
(incl. main level)
= 540

Accessory Building
Coverage = 528
sq ft

Area between rear facade : rear property line = 2240 sq ft
Dotted line is property boundary
40' x 133'



MATERIAL SYMBOLS:

	EARTH
	CRUSHED ROCK
	STONE
	CONCRETE MASONRY UNIT (CMU)
	BRICK
	STRUCTURAL CONCRETE
	PLASTER/GWB
	PLYWOOD
	RIGID INSULATION
	SAND
	STEEL
	TILE - HERRINGBONE
	TILE - RUNNING 1x1
	TILE - RUNNING 2x1
	TILE - RUNNING 3x1
	TILE - STACKED 1x1
	TILE - STACKED 2x1
	TILE - STACKED 3x1

NOTATION SYMBOLS:

	BASEMENT F.F. EL 6990'-0"
	HEIGHT REFERENCE
	GRID LINES
	EXTERIOR ELEVATION REFERENCE
	INTERIOR ELEVATION REFERENCE
	BUILDING SECTION REFERENCE
	WINDOW TAG
	DOOR TAG
	WALL TYPE REFERENCE
	DETAIL REFERENCE
	REVISION REFERENCE
	ENLARGED PLAN REFERENCE
	ROOM NAME TAG WITH NUMBER AND SQUARE FOOTAGE
	ROOM NAME TAG WITH NUMBER
	PROJECT TITLE
	DRAWING REFERENCE TAG
	PROJECT NORTH TAG

ABBREVIATIONS

ABV	ABOVE	HT	HEIGHT	SC	SOLID CORE
AC	ACOUSTICAL	HM	HOLLOW METAL	SD	STORM DRAIN
ACT	ACOUSTICAL CEILING TILE	HOR	HORIZONTAL	SF	SQUARE FOOT (AGE)
ACP	ACOUSTICAL CEILING PANEL	HW	HOT WATER HEATER	SPEC	SPECIFICATION
ADD	ADDENDUM	INCL	INCLUDE (D), (ING)	SO	SQUARE
ADJ	ADJACENT	ID	INSIDE DIAMETER	ST	STAIN
AFF	ABOVE FINISHED FLOOR	IBC	INSTALLED BY CONTRACTOR	STD	STANDARD
ALUM	ALUMINUM	IBO	INSTALLED BY OWNER	STL	STEEL
AP	ACCESS PANEL	INS	INSULATE (D), (ING)	STR	STRUCTURE (AL)
ARCH	ARCHITECT (URAL)	INT	INTERIOR	T	TREAD
BSMT	BASEMENT	JC	JANITOR'S CLOSET	TEL	TELEPHONE
BRG	BEARING	KIT	KITCHEN	TV	TELEVISION
BVL	BEVELED	LAM	LAMINATED	THR	THRESHOLD
BLK	BLOCK	LAV	LAVATORY	T&G	TONGUE AND GROOVE
BLKG	BLOCKING	L	LEFT HAND (ED)	TOS	TOP OF SLAB
BOT	BOTTOM	LH	LENGTH	TOS	TOP OF STEEL
BUDS	BUILDING	LDT	LIGHT AND DRAPERY TROUGH	TOW	TOP OF WALL
CPT	CARPET	LT	LIGHT TROUGH	TB	TOWEL BAR
CSMT	CASEMENT	LTL	LINTEL	TR	TRANSOM
C	CAULK (ING)	LVR	LOUVER	TYP	TYPICAL
CLG	CEILING	MH	MANHOLE	UNO	UNLESS NOTED OTHERWISE
CLR	CERAMIC TILE	MFR	MANUFACTURE	VB	VAPOR BARRIER
COD	CARBON MONOXIDE DETECTOR	MO	MASONRY OPENING	VF	VERIFY IN FIELD
COL	COLUMN	MTL	METAL	VERT	VERTICAL
CONC	CONCRETE	MAX	MAXIMUM	VCT	VINYL COMPOSITION TILE
CMU	CONCRETE MASONRY UNIT	MECH	MECHANIC (AL)	WC	WATER CLOSET
CONST	CONSTRUCTION	MC	MEDICINE CABINET	WP	WATER PROOFING
CONT	CONTINUOUS	MEM	MEMBRANE	WWF	WELDED WIRE FABRIC
CJT	CONTROL JOINT	M	METER (S)	W	WIDE (TH)
CPR	COPPER	MM	MILLIMETER (S)	WDW	WINDOW
CUST	CUSTOM	MIN	MINIMUM	WO	WITHOUT
DT	DRAPERY TROUGH	MIR	MIRROR	WD	WOOD
DTL	DETAIL	MIS	MISCELLANEOUS		
DIM	DIMENSION	MULL	MULLION (S)		
DR	DOOR	NAT	NATURAL		
DRW	DRAWING	NR	NOISE REDUCTION		
DF	DRINKING FOUNTAIN	NOM	NOMINAL		
ELEC	ELECTRIC (AL)	NIC	NOT IN CONTRACT		
EL	ELEVATION (S)	NTS	NOT TO SCALE		
ELEV	ELEVATOR	OPG	OPENING		
EQ	EQUAL	OPP	OPPOSITE		
EXH	EXHAUST	OPH	OPPOSITE HAND		
FOC	FACE OF CONCRETE	OH	OVERHEAD		
FOF	FACE OF FINISH	PAIR	PAIR		
FOM	FACE OF MASONRY	PK	PARKING		
FOS	FACE OF STUDS	PVMT	PAVEMENT		
FIN	FINISH (ED)	PL	PROPERTY LINE		
FINH	FINISHED FLOOR ELEVATION	PLAM	PLASTIC LAMINATE		
FE	FIRE EXTINGUISHER	POINT	POINT		
FEC	FIRE DEPARTMENT CONNECTION	PSI	POUNDS PER SQUARE FOOT		
FHC	FIRE HOSE CONNECTION	QT	QUARRY TILE		
FEC	FIRE EXTINGUISHER CABINET	REF	REFERENCE		
FP	FIREPLACE	REFR	REFRIGERATOR		
FPS	FIREPROOFING SPRAYED	REIN	REINFORCE (D), (ING)		
FLG	FASHING	REQ	REQUIRED		
FLR	FLOOR (ING)	RES	RESILIENT		
FND	FOUNDATION	REV	REVISE (D), (SION), (ING)		
FPHB	FREEZE PROOF HOSE BIB	REVS	REVERSE		
FUR	FURRED (ING)	R	RIGHT HAND (ED)		
GA	GAGE, GAUGE	RAS	RISER		
GALV	GALVANIZED	RD	ROD AND SHELF		
GC	GENERAL CONTRACTOR	ROD	ROOF DRAIN		
GL	GLASS, GLAZING	ROD	ROOF DRAIN		
GWB	GYPSUM WALL BOARD	ROD	ROOF DRAIN		
GYP	GYPSUM BOARD	ROD	ROOF DRAIN		
HB	HOSE BIB	ROD	ROOF DRAIN		
HDW	HARDWARE	ROD	ROOF DRAIN		
HDR	HEADER	ROD	ROOF DRAIN		
HTG	HEATING	ROD	ROOF DRAIN		
HVAC	HEATING/VENTILATING/AC	ROD	ROOF DRAIN		

GENERAL NOTES:

- DO NOT SCALE DRAWINGS
- VERIFY ALL DIMENSIONS, CONDITIONS AND UTILITY LOCATIONS ON THE JOBSITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIAL. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES IN THE DOCUMENTS IMMEDIATELY.
- AREAS OF CONFLICTS OR DISCREPANCIES MUST BE FULLY RESOLVED WITH WRITTEN APPROVAL FROM THE ARCHITECT BEFORE CONSTRUCTION CONTINUES IN THOSE AREAS.
- PLAN DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE. SECTION AND ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR TOP OF WALL PLATES OR BEAMS UNLESS NOTED OTHERWISE.
- PROVIDE ALL NECESSARY BLOCKING IN STUD WALLS AND CEILING. LOCATIONS INCLUDE BUT ARE NOT LIMITED TO CEILING AND WALL MOUNTED FIXTURES, TOILETS, TOILET ACCESSORIES, CABINETRY, COUNTERTOPS, SHELVES AND CLOSET RODS.
- DENOTES DOORS, REFER TO FLOOR PLANS FOR LOCATIONS, REFER TO DOOR SCHEDULE FOR DOOR TYPES.
- DENOTES WINDOWS, REFER TO WINDOWS AND FLOOR PLANS FOR LOCATIONS, REFER TO WINDOW SCHEDULE FOR WINDOW TYPES.
- COORDINATE ALL A-ELECTRICAL AND MECHANICAL FIXTURES TO FIT WITHIN CEILING, FLOOR AND WALL SPACES, VERIFY LOCATIONS WITH ARCHITECT.
- IN THE EVENT THAT ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE CONTRACTOR FOR CONSTRUCTION OF ANY ASPECTS OF THE PROJECT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS. THIS PROJECT IS GOVERNED BY THE INTERNATIONAL RESIDENTIAL CODE 2018 EDITION. CODE COMPLIANCE IS MANDATORY. THE CONSTRUCTION DOCUMENTS SHALL NOT PERMIT WORK THAT DOES NOT CONFORM TO ALL RELEVANT CODES INCLUDING IBC AND ALL LOCAL AND REGIONAL CODES.
- THE CONTRACTOR SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM THE ARCHITECT AND ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL, FRAMING OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY EFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND STAKE OUT THE BUILDING FOOTPRINT FOR OWNER AND ARCHITECT APPROVAL PRIOR TO BEGINNING ANY SITE WORK.
- IT IS THE INTENT AND MEANING OF THESE DOCUMENTS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC., TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARD OF THE INDUSTRY.
- ALL BUILDINGS TO FIT WITHIN PROPERTY LINES WITHOUT CROSSING EASEMENTS OR SETBACKS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- PROVIDE ACCESS PANEL TO MOTOR FOR ALL WHIRLPOOL TYPE TUBS. COORDINATE ACCESS LOCATIONS WITH INTERIOR DESIGNER AND ARCHITECT TO PROVIDE INCONSPICUOUS LOCATION.

PROJECT DIRECTORY

ARCHITECTURE
Todd Charlton
3689 S Solitaire Drive
Salt Lake City, Utah 84106
(208) 850-2194
Email: todd@cooperhomes.com

STRUCTURAL ENGINEER:

CONTRACTOR:
tbd

(xxx) xxx-xxxx
Contact: xx
Email:

SURVEYOR:

PROJECT SUMMARY

Codes:
International Residential Code 2015
Occupancy: Single-Family Dwelling

Separations:
1 hour (residential/garage)
1 hour (residence/mechanical)

Special Attributes:
Intelligent Addressable Fire alarm
Automatic: Sprinkler System

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Cover
Sheet

A0.00

COMPANY NAME
J COOPER HOMES
(208) 850-2194

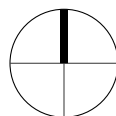
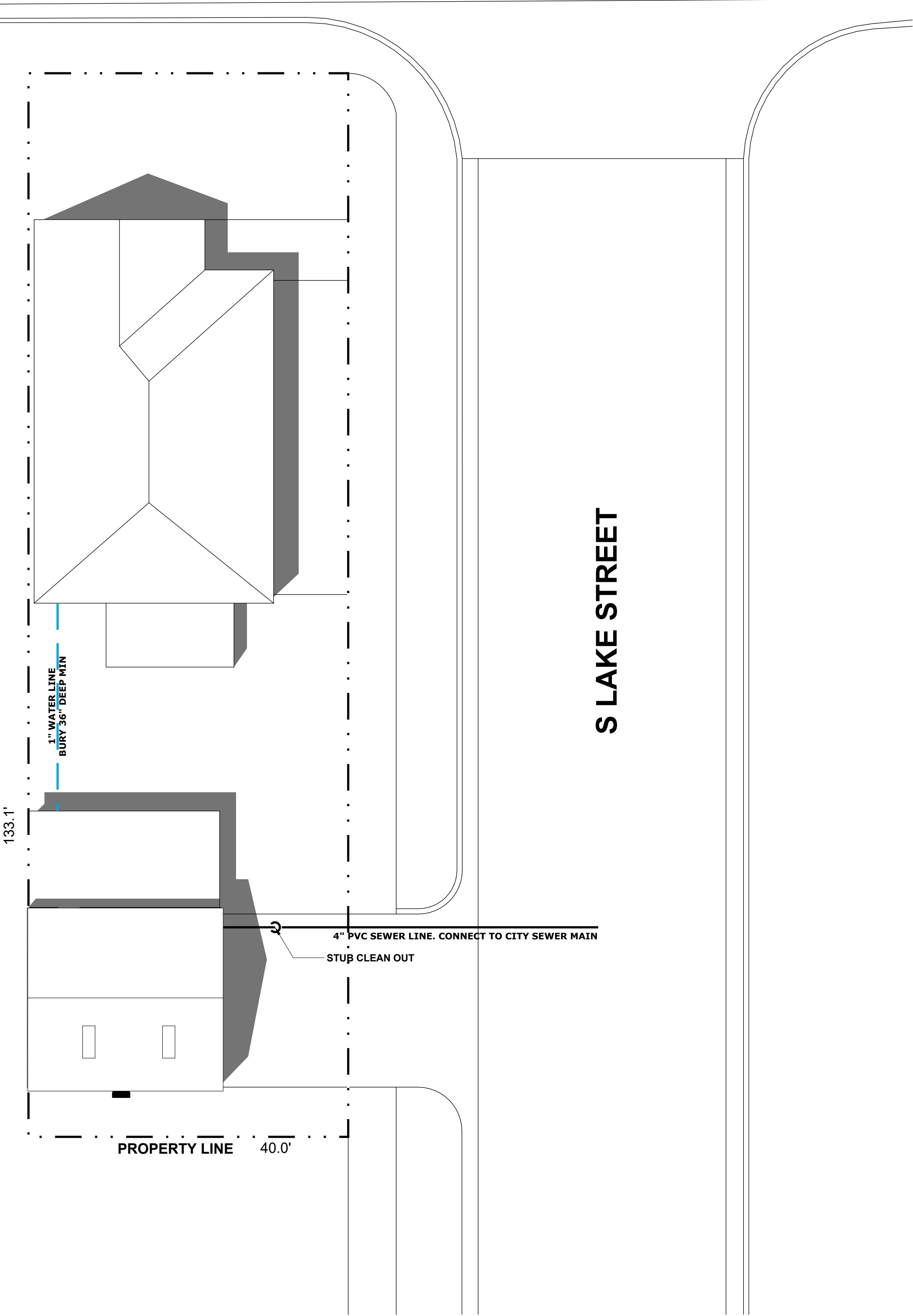
COWLEY REMODEL
(LOT 1, BLOCK 4, PARADISE ADD), 738 E 1700 S, SALT LAKE CITY, SALT
LAKE COUNTY, UTAH 84105

ISSUED FOR:	DATE:
PERMIT SET	01/26/21
PERMIT COMMENTS	XX/XX/X

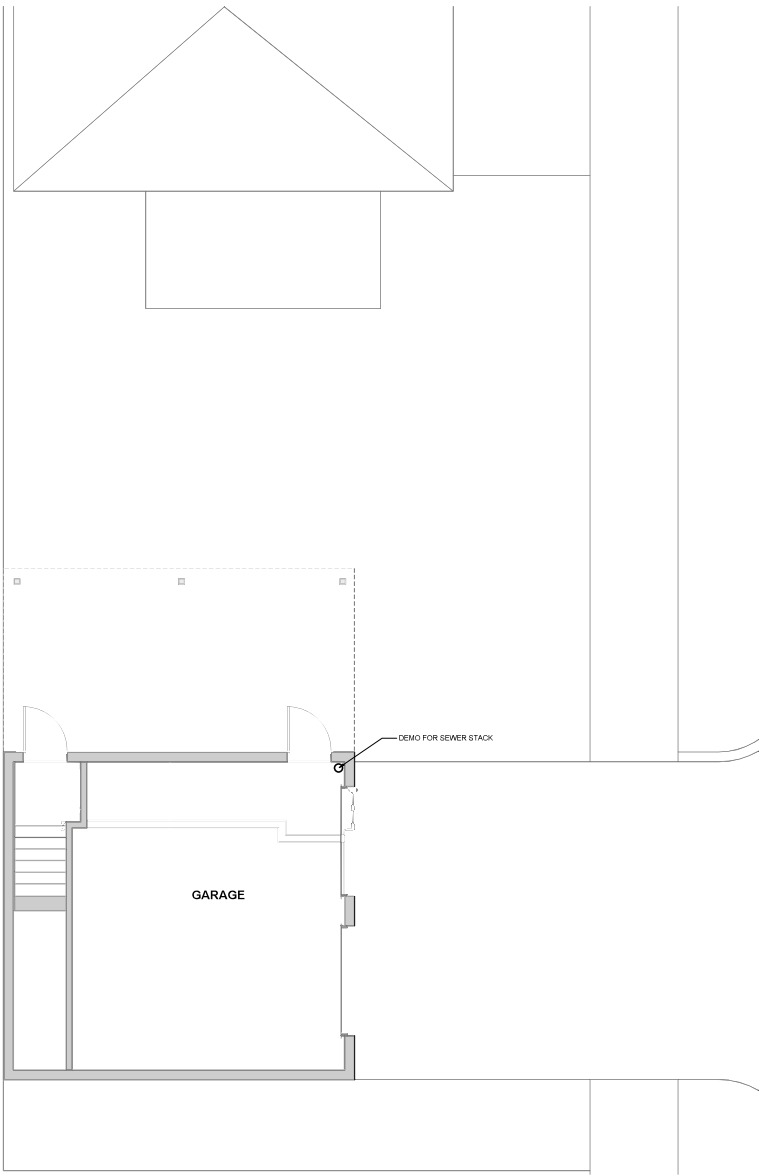
Site Plan
Demolition

A1.01

E 1700 S



1 SITE PLAN DEMOLITION
01.01 Scale: 1"=10'



GENERAL DEMOLITION NOTES:
VERIFY ALL DEMOLITION AND PREP FOR NEW CONSTRUCTION.
ALL DEMOLITION SHALL BE CONDUCTED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
DESIGNER ASSUMES RESPONSIBILITY TO ACCEPT NEW WORK.

- DEMOLITION KEYNOTES:
- REMOVE EXISTING ROOF AND PREP FOR NEW CONSTRUCTION.
 - REMOVE EXISTING CONCRETE AND REINFORCED MASONRY, PREPARE FOR NEW CONSTRUCTION.
 - REMOVE EXISTING WALL.
 - REMOVE EXISTING DOOR.
 - REMOVE EXISTING WINDOW.
 - REMOVE EXISTING SILLING.
 - REMOVE EXISTING SILLING.
 - REMOVE EXISTING SILLING AND COUNTERTOPS.
 - REMOVE EXISTING REINFORCED CONCRETE, SALVAGE FOR NEW CONSTRUCTION.

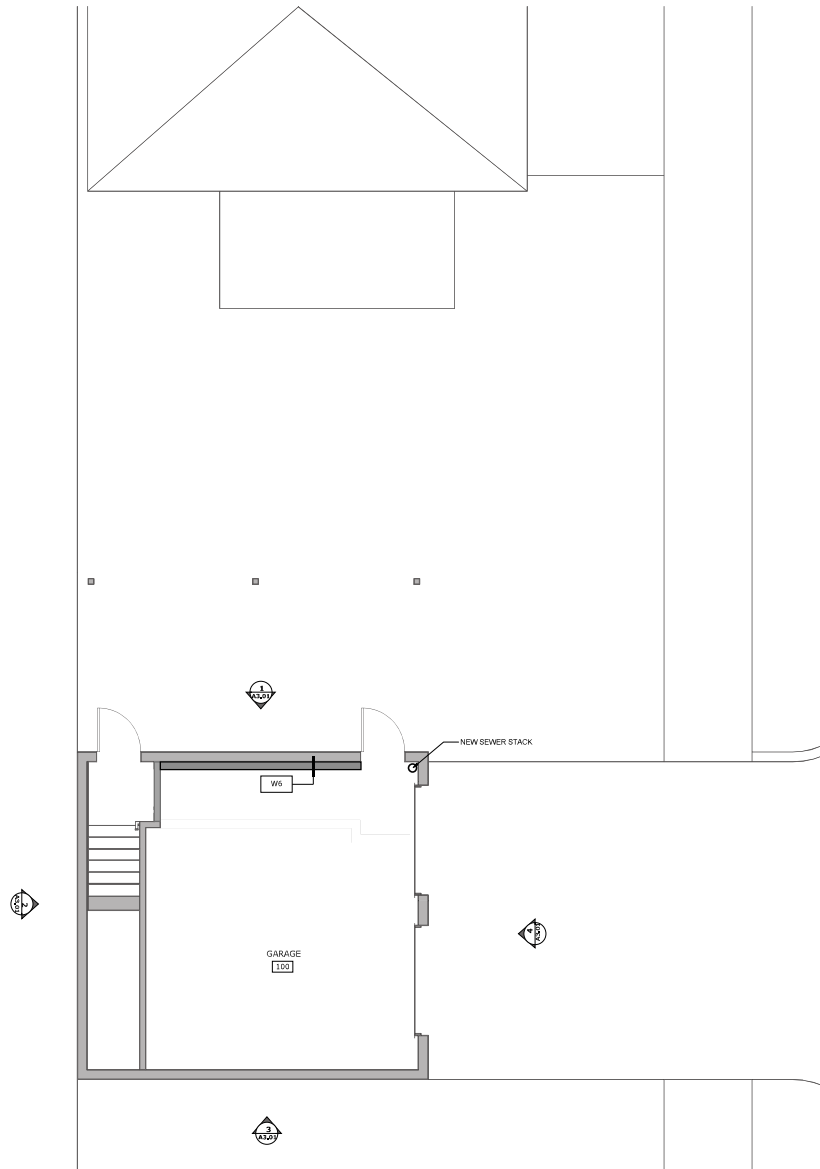


COMPANY NAME
J COOPER HOMES
(208) 850-2194

COWLEY REMODEL
(LOT 1, BLOCK 4, PARADISE ADD) 738 E 1700 S, SALT LAKE CITY, SALT LAKE COUNTY, UTAH 84105

ISSUED FOR	DATE
PERMIT SET	01/28/21
PERMIT COMMENTS	XXXXXX

Main Level
Demolition Plan



- GENERAL NOTES:**
1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE ILLINOIS ELECTRICAL CODE (IEC).
 2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS ELECTRICAL CODE (IEC) AND THE NATIONAL ELECTRICAL CODE (NEC).
 3. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS ELECTRICAL CODE (IEC) AND THE NATIONAL ELECTRICAL CODE (NEC).
 4. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS ELECTRICAL CODE (IEC) AND THE NATIONAL ELECTRICAL CODE (NEC).
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 7. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS ELECTRICAL CODE (IEC) AND THE NATIONAL ELECTRICAL CODE (NEC).
 8. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS ELECTRICAL CODE (IEC) AND THE NATIONAL ELECTRICAL CODE (NEC).
 9. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS ELECTRICAL CODE (IEC) AND THE NATIONAL ELECTRICAL CODE (NEC).
 10. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS ELECTRICAL CODE (IEC) AND THE NATIONAL ELECTRICAL CODE (NEC).
- ELECTRICAL KEY:**
- PENDANT LIGHT
 - DIRECTIONAL LIGHT
 - CEILING MOUNTED LIGHT
 - WALL MOUNTED LIGHT
 - WALL MOUNTED SCONCE
 - RECESSED CEILING LIGHT
 - MONOPOINT LIGHT
 - RECESSED WALL LIGHT
 - UNDER-CABINET LED STRIP LIGHT
 - FLUORESCENT LIGHT
 - LED STRIP LIGHTING
 - TRACK LIGHT
 - CARBON MONOXIDE SMOKE DETECTOR
 - SMOKE DETECTOR
 - SPEAKER
 - BATHROOM EXHAUST FAN
 - SWITCH
 - KEY PAD SWITCH
 - MULTIPLE SWITCH
 - DIMMER SWITCH
 - DUPLEX RECEPTACLE
 - DUPLEX RECEPTACLE
 - QUAD RECEPTACLE
 - THERMOSTAT

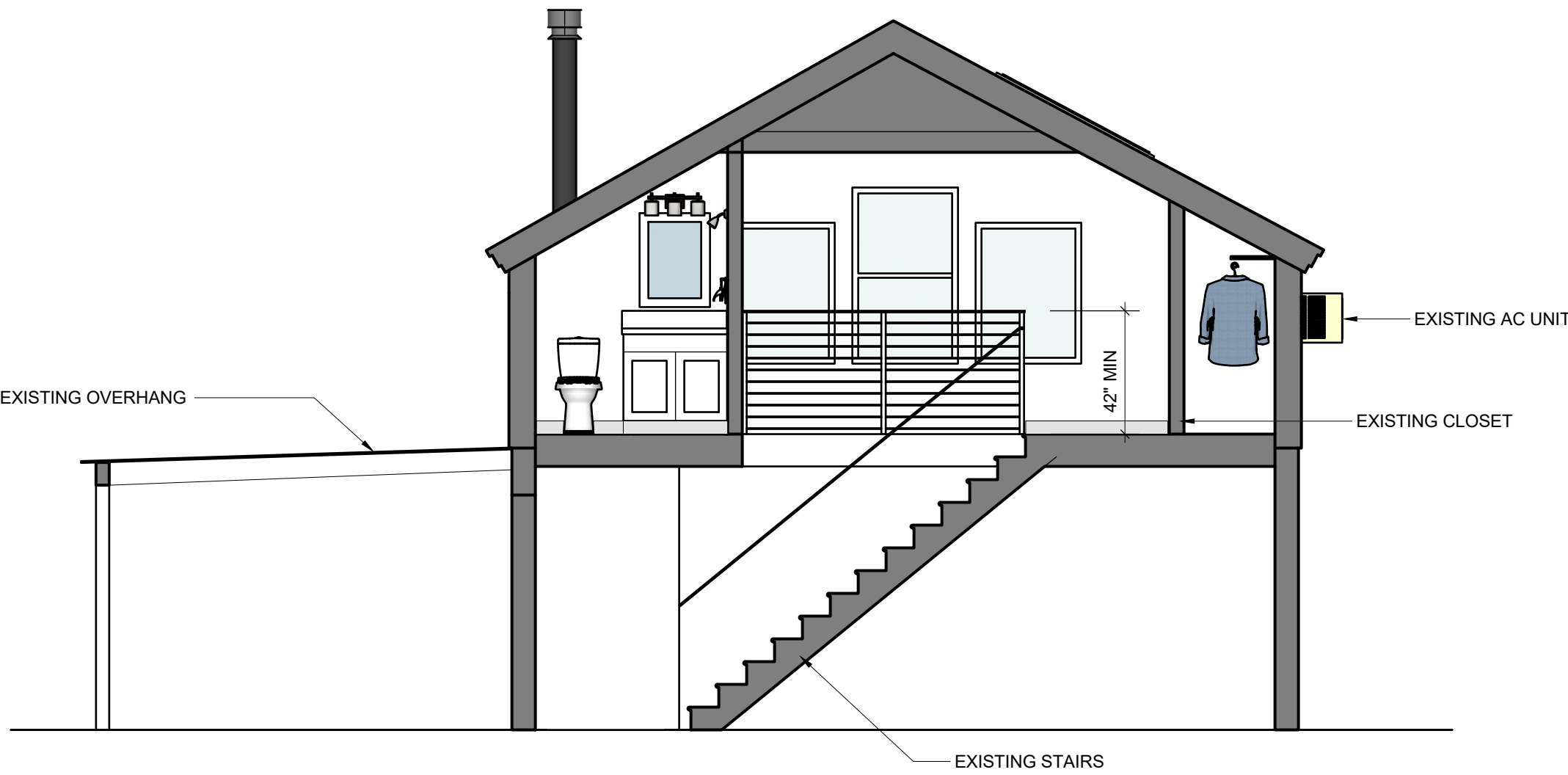
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COWLEY REMODEL
(LOT 1, BLOCK 4, PARADISE ADD) 738 E 1700 S, SALT LAKE CITY, UTAH 84105

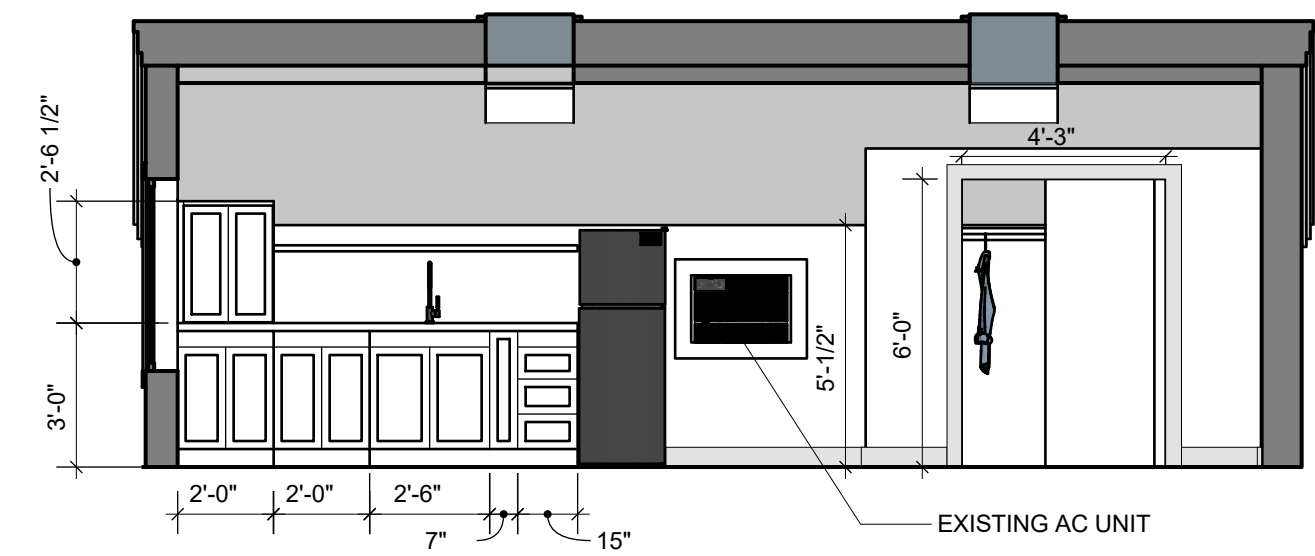
ISSUED FOR	DATE
PERMIT SET	01/28/21
PERMIT COMMENTS	XXXXXX

Main Level Floor Plan

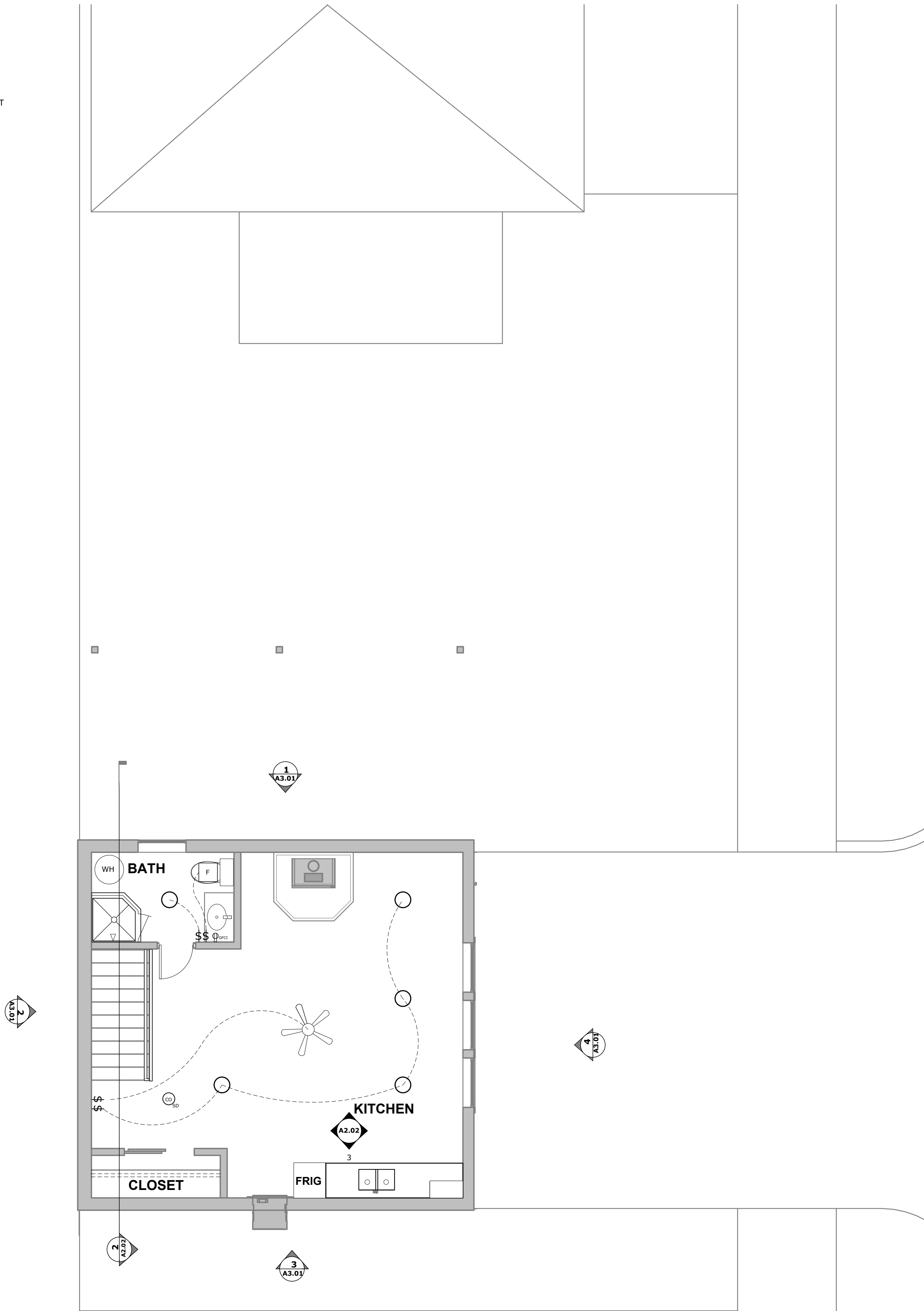
A2.01



2 BUILDING SECTION
A2.02 scale: 1/4"=1'-0"



3 KITCHEN ELEVATION
A2.02 scale: 1/4"=1'-0"

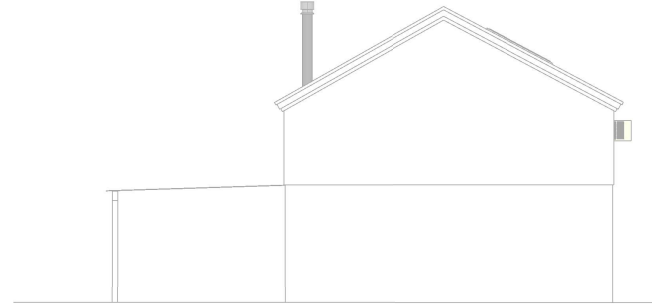


- GENERAL NOTES:**
1. PLAN ELEVATIONS REFERENCE ACTUAL SURVEY ELEVATIONS.
 2. DIMENSIONED WALL OPENINGS ARE NOMINAL DIMS. U.S.A.
 3. COORDINATE INTERMEDIATE POST DIMS WITH WINDOW MANUFACTURER ROUGH OPENING DIMENSIONS.
 4. SMOKE DETECTORS TO BE INTERCONNECTED PER CODE.
 5. CARBON MONOXIDE DETECTORS TO BE INSTALLED PER IRC R315.
 6. A RADON CONTROL SYSTEM IS TO BE INSTALLED PER CODE.
 7. A CENTRAL VACUUM SYSTEM IS TO BE INCORPORATED.
- ELECTRICAL KEY:**
- PENDANT LIGHT
 - DIRECTIONAL LIGHT
 - CEILING MOUNTED LIGHT
 - WALL MOUNTED LIGHT
 - WALL MOUNTED SCNCE
 - RECESSED CEILING LIGHT
 - MONOPOINT LIGHT
 - RECESSED WALL LIGHT
 - UNDER-CABINET LED STRIP LIGHT
 - FLUORESCENT LIGHT
 - LED STRIP LIGHTING
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 - KEY PAD SWITCH
 - MULTIPLE SWITCH
 - DIMMER SWITCH
 - DUPLEX RECEPTACLE
 - DUPLEX RECEPTACLE
 - QUAD RECEPTACLE
 - THERMOSTAT

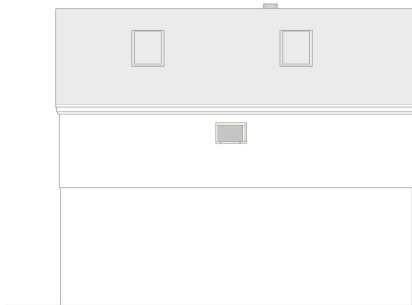
1 UPPER LEVEL FLOOR PLAN
A2.02 scale: 1/4"=1'-0"



1 NORTH ELEVATION
Scale: 1/4"=1'-0"



2 WEST ELEVATION
Scale: 1/4"=1'-0"



3 SOUTH ELEVATION
Scale: 1/4"=1'-0"

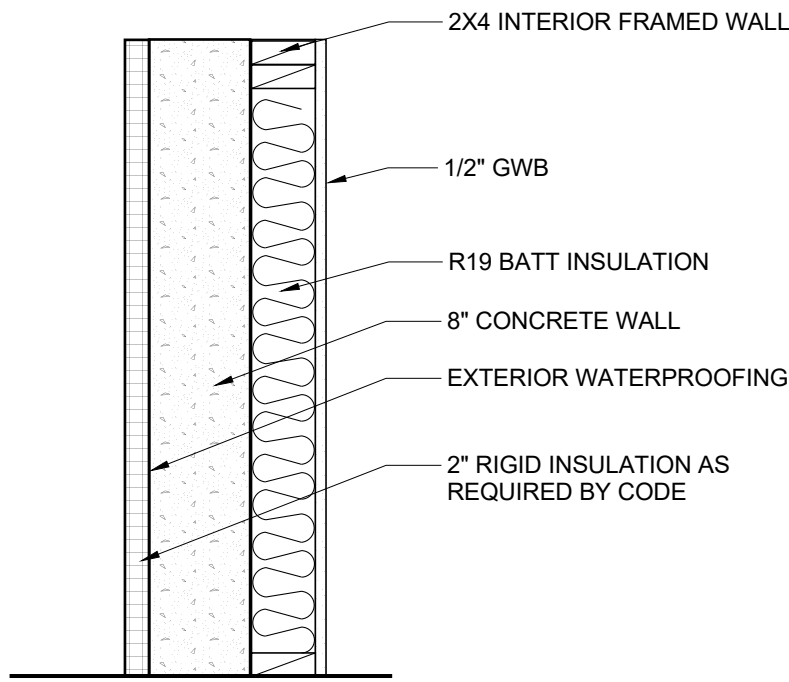
Garage Height is 20' 9"



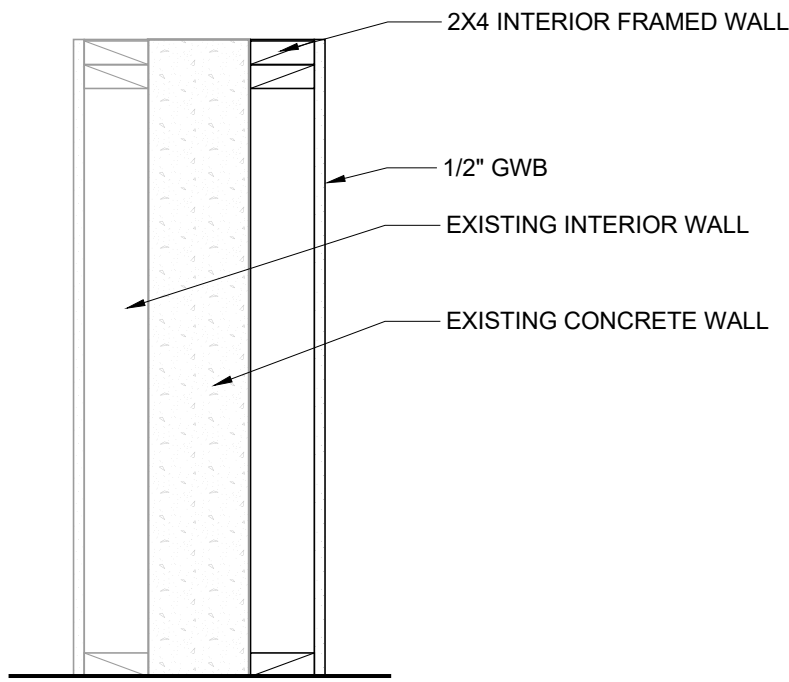
4 EAST ELEVATION
Scale: 1/4"=1'-0"

GENERAL NOTES:

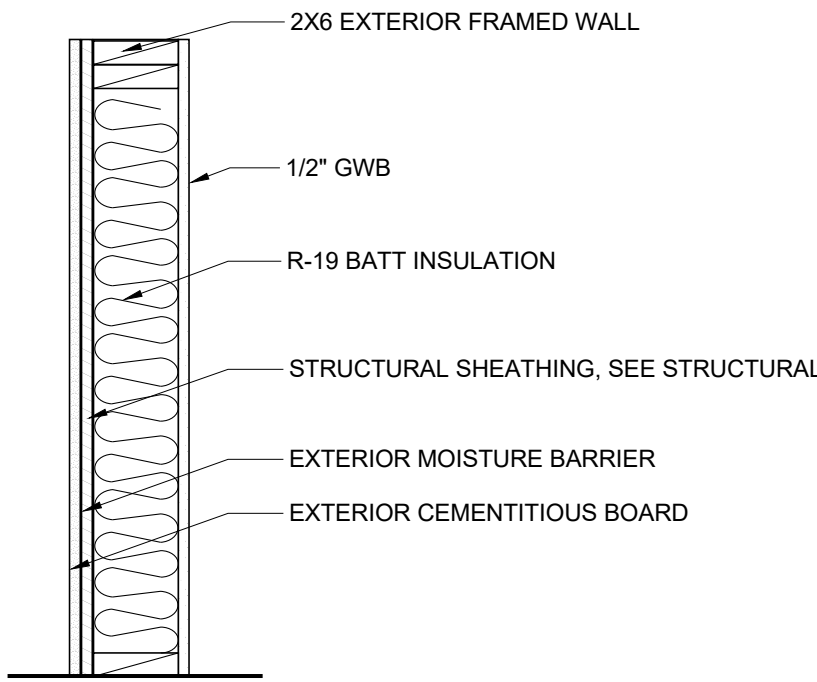
1. ALL WINDOWS AND EXTERIOR DOORS SHOWN IN COLOR TO MATCH.
2. ALL EXTERIOR WALLS AND ROOFING MATERIALS TO BE AS SHOWN WITHIN THIS SET.
3. EXTERIOR WALLS AND ROOFING MATERIALS ARE TO BE AS SHOWN WITHIN THIS SET.
4. EXTERIOR WALLS AND ROOFING MATERIALS ARE TO BE AS SHOWN WITHIN THIS SET.
5. EXTERIOR WALLS AND ROOFING MATERIALS ARE TO BE AS SHOWN WITHIN THIS SET.
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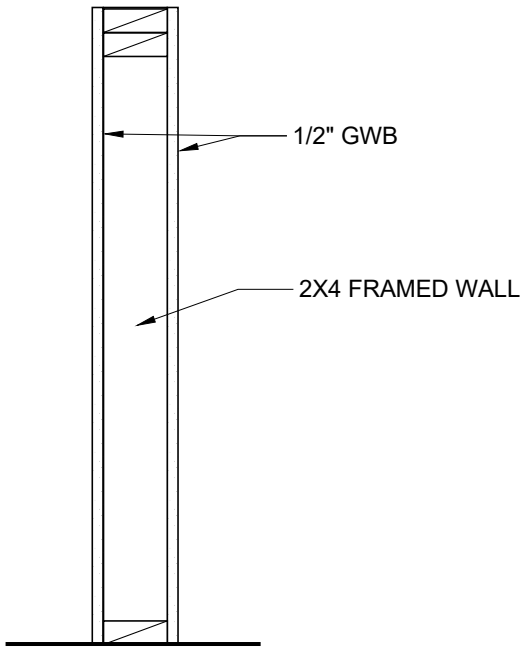
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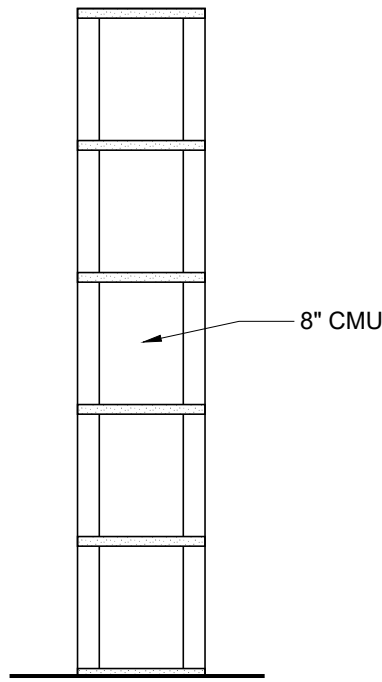
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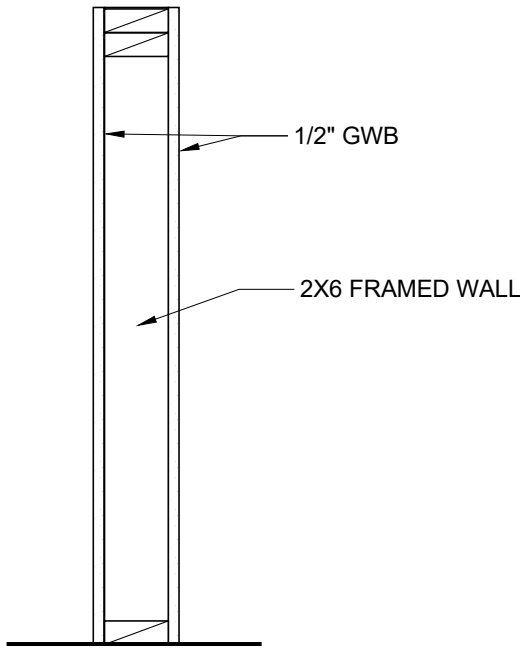
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W4



W5



W6

ISSUED FOR:	DATE:
PERMIT SET	01/26/21
PERMIT COMMENTS	XX/XX/X

ATTACHMENT C: SITE VISIT PHOTOGRAPHS



Top Left:
Detached Accessory Structure with the proposed ADU on the second level.



Top Right:
View of the property along Lake Street facing towards 1700 South.



Bottom Left:
South elevation of the existing detached 2-story accessory structure.



Bottom Right:
North elevation of the existing detached 2-story accessory structure.

ATTACHMENT D: ANALYSIS OF STANDARDS - ACCESSORY DWELLING UNITS

21A.40.200: Accessory Dwelling Units

Standard	Proposed	Findings
Size <i>A [detached] ADU shall not have a footprint that is greater than fifty percent (50%) of the footprint of the principal dwelling, and shall not exceed six hundred fifty (650) square feet (SF).</i>	Principal dwelling is approximately 1,850 SF. Fifty percent (50%) of principal dwelling equals approximately 925 SF. Proposed ADU is approximately 540 SF .	Complies
Maximum Coverage <i>The surface coverage of all principal and accessory buildings shall not exceed forty percent (40%) of the lot.</i> <i>[Rear] Yard Coverage: In residential districts, any portion of an accessory building, excluding hoop houses, greenhouses, and cold frames associated solely with growing food and/or plants, shall occupy not more than fifty percent (50%) of the total area located between the rear façade of the principal building and the rear lot line.</i>	Lot size is approximately 5,320 SF. Forty percent (40%) of the lot is approximately 2,128 SF. Primary Dwelling: 1,350 SF Ex. Garage w/ADU: 528 SF Total Coverage: 1,878 SF The surface coverage of all principal and accessory buildings (including the proposed ADU) is approximately 35% of the lot. Rear yard area: 2,240 SF Ex. Garage w/ADU: 528 SF Yard Coverage: 24%	Complies
Building Height <i>Exception: If the single family dwelling on the property is over seventeen feet (17') in height, an accessory building containing an accessory dwelling unit may be equal to the height of the single family dwelling up to a maximum building height of twenty four feet (24') for an accessory building with a pitched roof or twenty feet (20') for an accessory building with a flat roof provided the accessory building is set back a minimum of ten feet (10') from a side or rear property line. The setback for additional height may be reduced to four feet (4') if the side or rear lot line is adjacent to an alley.</i>	In 2000, a building permit was issued for the loft addition to the existing garage. The height of existing accessory building is approximately 20' - 9" . The existing loft space would be converted into an ADU. Therefore, there would not be any changes to the building height.	Complies
Side or Rear Yard Setbacks <i>A second story addition to an existing accessory building is permitted provided the second story has a minimum setback of ten feet (10') from a side or rear property line and the second story addition</i>	Side [West] Lot Line: 2 feet Rear [South] Lot Line: 4 feet	Complies

<i>complies with all applicable regulations for accessory dwelling units located on a second floor of a detached accessory building. If the side or rear lot line is adjacent to an alley, the setback may be reduced to four feet (4').</i>		
Separation <i>All ADUs [located in an accessory building] shall be located a minimum of ten feet (10') from the single family dwelling located on the same parcel and any single family dwelling on an adjacent property.</i>	<p>The proposed ADU is approximately 32 feet from the principal dwelling on the same parcel.</p> <p>The nearest single-family dwelling on an adjacent property is approximately 10'.</p>	Complies
Entrance Locations <i>The entrance to an ADU in an accessory building shall be located:</i> <i>(1) Facing a side or rear property line provided the entrance is located a minimum of ten feet (10') from the side or rear property line.</i>	<p>The entrance for the proposed ADU is facing the rear façade of the single-family dwelling on the same property.</p>	Complies
Requirement for Windows <i>Windows on an accessory building containing an ADU shall comply with the following standards:</i> <i>(1) Windows shall be no larger than necessary to comply with the minimum Building Code requirements for egress where required.</i> <i>(2) Skylights, clerestory windows, or obscured glazing shall be used when facing a side or rear property line to comply with minimum Building Code requirements for air and light on building elevations that are within ten feet (10') of a side or rear property line unless the side or rear property line is adjacent to an alley.</i> <i>(3) Except as required in subsection E3g(1) of this section, windows shall maintain a similar dimension and design as the windows found on the principal structure.</i>	<p>There are existing windows on the north and east elevations. The existing windows are similar dimension and design as the windows found on the principal structure.</p> <p>No additional windows are proposed.</p>	Complies

<p>Parking <i>An accessory dwelling unit shall require a minimum of one on-site parking space. If the property has an existing driveway, the driveway area located between the property line with an adjacent street and a legally located off-street parking area can satisfy the parking requirement if the parking requirement for the principal use is complied with and the driveway area has a space that is at least twenty feet (20') deep by eight feet (8') wide. The parking may be waived if:</i></p> <p><i>(1) Legally located on street parking is available along the street frontage of the subject property;</i></p>	<p>The principal dwelling has two (2) off-street parking spaces in the existing detached 2-car garage with access from Lake Street.</p> <p>The proposal would provide one (1) on-street parking space along the street frontage (Lake Street) of the subject property.</p>	<p>Complies</p>
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ATTACHMENT E: ANALYSIS OF STANDARDS – CONDITIONAL USE

21A.54.080: Standards for Conditional Uses

A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title;

Analysis: The proposed ADU use is located in the R-1/7,000 zoning district, which allows for an ADU to be approved through the conditional use process, subject to meeting the specific regulations for an ADU in section 21A.40.200 of the zoning ordinance. As analyzed in [Attachment D](#), the ADU complies with the requirements of 21A.40.200.

Finding: The proposed use will comply with the applicable provisions of the Salt Lake City Zoning Ordinance.

2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;

Analysis: The proposed ADU use is a small residential unit that should be readily compatible with surrounding uses, which are primarily single-family homes. The proposed ADU meets all the requirements in terms of setbacks and separation requirements between adjacent houses and the principal dwelling on the property.

Finding: The proposed use is compatible with the surrounding uses.

3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and

Analysis: The proposal is located in the Low-Density Residential neighborhood as established by the Sugar House Master Plan. The master plan designates the future land use of this area as low density residential and the existing zoning on the property is R-1/7,000 Single-Family Residential.

The purpose of the R-1/7,000 Single-Family Residential District is to provide for conventional single-family residential neighborhoods with lots not less than seven thousand (7,000) square feet in size. This district is appropriate in areas of the City as identified in the applicable community Master Plan. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

The purpose of accessory dwelling units is to:

- 1) Create new housing units while respecting the appearance and scale of single-family residential development;

- 2) Provide more housing choices in residential districts;
- 3) Allow more efficient use of existing housing stock, public infrastructure, and the embodied energy contained within existing structures;
- 4) Provide housing options for family caregivers, adult children, aging parents, and families seeking smaller households;
- 5) Offer a means for residents, particularly seniors, single parents, and families with grown children, to remain in their homes and neighborhoods, and obtain extra income, security, companionship, and services;
- 6) Broaden the range of affordable housing throughout the City;
- 7) Support sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption;
- 8) Support transit-oriented development and reduce auto usage by increasing density near transit; and
- 9) Support the economic viability of historic properties and the City's historic preservation goals by allowing accessory dwellings in historic structures.

The proposed ADU is consistent with the following Residential Land Use Goals/Policies included in the Sugar House Master Plan:

- Strengthen and support existing neighborhoods by:
 - Considering appropriate adjacent land uses;
- Design new developments with the following in mind:
 - Creating more affordable housing;
- Provide a diversity of housing types, sizes, and prices in the community as a whole.

The proposal is also consistent with the goals and policies outlined in ***Growing SLC: A Five Year Housing Plan*** which aims to increase housing options, promote diverse housing stock, and allow for additional units while minimizing neighborhood impacts.

Finding: The uses are consistent with applicable adopted city planning policies, documents, and master plans.

4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions (refer to Detrimental Effects Determination analysis below).

21A.54.080B: Detrimental Effects Determination

In analyzing the anticipated detrimental effects of a proposed use, the planning commission, or in the case of administrative conditional uses, the planning director or designee, shall determine compliance with each of the following:

Standards	Finding	Rationale
1. This title specifically authorizes the use where it is located;	Complies	The proposed ADU is an accessory residential use and is allowed as a conditional use within the R-1/7,000 zoning district. The proposed ADU complies with all specific regulations for an ADU including size, height, setbacks, distance to other houses, etc. as outlined in Attachment D .

2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps;	Complies	The uses are located in an area zoned and designated by the associated master plan for low density residential. This land use designation allows moderate sized lots (i.e., 5,000-8,000 square feet) where single-family detached homes are the dominant land use. Low-density includes single-family attached and detached dwellings as permissible on a single residential lot subject to zoning requirements.
3. The use is well suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area;	Complies	Uses surrounding the subject property are generally single-family residential properties. The residential lots in this area are large enough to provide separation between the proposed ADU and the principal dwelling on the property as well as adjacent primary residences. The proposal complies with the size requirements for an ADU, which can be up to 50% of the footprint of the primary house up to 650 SF and is compatible with the scale of surrounding accessory buildings and adjacent uses.
4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered;	Complies	As discussed above, the scale of the proposal is compatible with the principal dwelling on the property as well as surrounding structures. The existing detached two-story accessory structure has been in its present conditions since 2000. The proposal seeks to convert the loft space to an ADU without any changes to the exterior. The proposed ADU is located in the rear yard along the corner side yard off of Lake Street. There are other two-story structures larger in mass and scale along Lake Street. Therefore, the proposal would have minimal impacts to the existing neighborhood characteristic.
5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows;	Complies	The proposed ADU would utilize legal on-street parking along Lake Street. Therefore, the use of the existing on-street parking on Lake Street is not anticipated to increase direct vehicular traffic onto major streets or impede traffic flow.
6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized,	Complies	The proposed ADU would be accessible from Lake Street. It is not anticipated that the proposed ADU would create any adverse impacts in

nonmotorized, and pedestrian traffic;		terms of motorized, nonmotorized and pedestrian traffic.
7. The site is designed to enable access and circulation for pedestrian and bicycles;	Complies	The site is designed for pedestrian and bicycle access. There is a path from the proposed ADU through the patio area leading out to Lake Street.
8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street;	Complies	There is vehicular access to the site. No unreasonable impacts to the service level of the adjacent streets is anticipated.
9. The location and design of off-street parking complies with applicable standards of this code;	Complies	On-street parking is available along the street frontage of the subject property for the proposed ADU.
10. Utility capacity is sufficient to support the use at normal service levels;	Complies	The Public Utilities department did not have any comments on the project.
11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts;	Complies	The proposed ADU may result in increased activity in the rear yard of the subject property. This must be taken into account for potential impacts to the abutting properties that appear to be single family residences. There is an existing six-foot (6') high fence/wall along the west lot line that would provide screening from the adjacent property.
12. The use meets city sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke;	Complies	The project supports sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption.
13. The hours of operation and delivery of the use are compatible with surrounding uses;	Complies	The proposed use is an accessory residential structure and is compatible with the surrounding uses that are also residential.
14. Signs and lighting are compatible with, and do not negatively impact surrounding uses; and	Complies	Signs are not associated with this proposal. Any lighting on the accessory structure is not expected to have a negative impact on the surrounding uses or otherwise cause a nuisance.
15. The proposed use does not undermine preservation of historic resources and structures.	Complies	The property is not located within a Local Historic District and the proposal does not involve removal or any historic resources or structures.

Finding: In analyzing the anticipated detrimental effects of the proposed ADU, Staff finds that with the conditions identified in the analysis, the request complies with the criteria listed above.

ATTACHMENT F: PUBLIC PROCESS AND COMMENTS

Public Meetings:

- Sugar House Community Council held a Land Use and Zoning Committee meeting on May 17, 2021. Sugar House Community Council has provided meeting notes (attached) and is generally in support of the project.

Public Notice:

- Early notice of application mailed on May 5, 2021
- Public hearing notice mailed on June 11, 2021
- Public hearing sign posted on the property on June 10, 2021
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on June 11, 2021

Public Comments:

As of the publication of this Staff Report, Staff has received one (1) comment (attached) in support of the proposal.

Any public comments received up to the public hearing meeting will be forwarded to the Planning Commission and included in the public record.



June 16, 2021

TO: Salt Lake City Planning Commission

FROM: Judi Short, First Vice Chair and Land Use Chair
Sugar House Community Council

RE: PLNPCM2021-00259 Conditional Use ADU 738 East 1700 South

This was reviewed by the Sugar House Community Council at its Land Use and Zoning subcommittee on May 21, 2021. We put a flyer out around the neighborhood and posted the proposal on our website so people could read and provide comments.

I receive two comments. One requested approval as long as the owner says this will not become an Air BnB, and Mr. Cowley said that would not happen because it is not an allowed use. Another was from a woman who walks her dog past this property regularly, and has watched this property become more improved as the years have passed. She had no concerns.

This garage has had a loft above it for some while. There will be no changes to the exterior of the building, other than to repair the second garage door that is broken. Mr. Cowley provided a good diagram of the layout of the interior of the ADU, which seems to contain all the basics. The size will be 540 square feet.

This use is consistent with applicable adopted city planning policies, documents and master plans, and we ask that you approve this request.

Enclosure

Comments Flyer and Distribution Map

Comments regarding 738 East 1300 South Accessory Dwelling Unit

DAYNA LYN MCKEE via [REDACTED]

2:30 PM (20 minutes ago)

to me

From: DAYNA LYN MCKEE <[REDACTED]><2312 S Green St, SLC, UT 84106>

Subject:738 E 1700 S ADU

I am not opposed to this ADU as long as the property owner intends to make this a long term rental and not to AirBNB it. ADUs must be used to add to the stock of affordable housing options. Some enforcement to ensure that property owners are following the ordinance must be put into place once an ADU has been approved. Thank you.

From: Lucy Houser <[REDACTED]><1982 South 800 East>

Subject:738 E 1700 S ADU

I've been walking my dog past this property for years. I've watched the development of the loft with great interest. The property keeps getting nicer and nicer. If the people requesting the permit are the same people who've been improving this structure for years, I'd be confident that they'll do a good job.

738 East 1700 South ADU



Cody Cowley, property owner, has initiated a Planning petition to convert the loft space above the detached 2-car garage into an Accessory Dwelling Unit (ADU) on the subject property. The proposed ADU would be approximately 540 square feet and the existing building height is approximately 20 feet 9 inches (measured to the ridge of the roof). No changes to the exterior are proposed.

The proposed ADU requires approval from the Planning Commission for a Conditional Use before a building permit can be issued. A public hearing with the Planning Commission has not been scheduled.

Please read the proposal on our website, <https://www.sugarhousecouncil.org/738-e-1700-s-adu/> and give us your feedback using the comment form. We will send comments along with our letter to the Planning Commission. This proposal will be on the agenda of the Sugar House Community Council Land Use and Zoning Committee May 17 at 6:00 p.m. This will be a virtual meeting.

If you provide a comment, we will send you the link to join the meeting using Zoom.



www.sugarhousecouncil.org

1945 A 1300 East Zoning Map Amendment (REZONE)



Cody Cowley, property owner, has initiated a Planning petition to convert the loft space above the detached 2-car garage into an Accessory Dwelling Unit (ADU) on the subject property. The proposed ADU would be approximately 540 square feet and the existing building height is approximately 20 feet 9 inches (measured to the ridge of the roof). No changes to the exterior are proposed.

The proposed ADU requires approval from the Planning Commission for a Conditional Use before a building permit can be issued. A public hearing with the Planning Commission has not been scheduled.

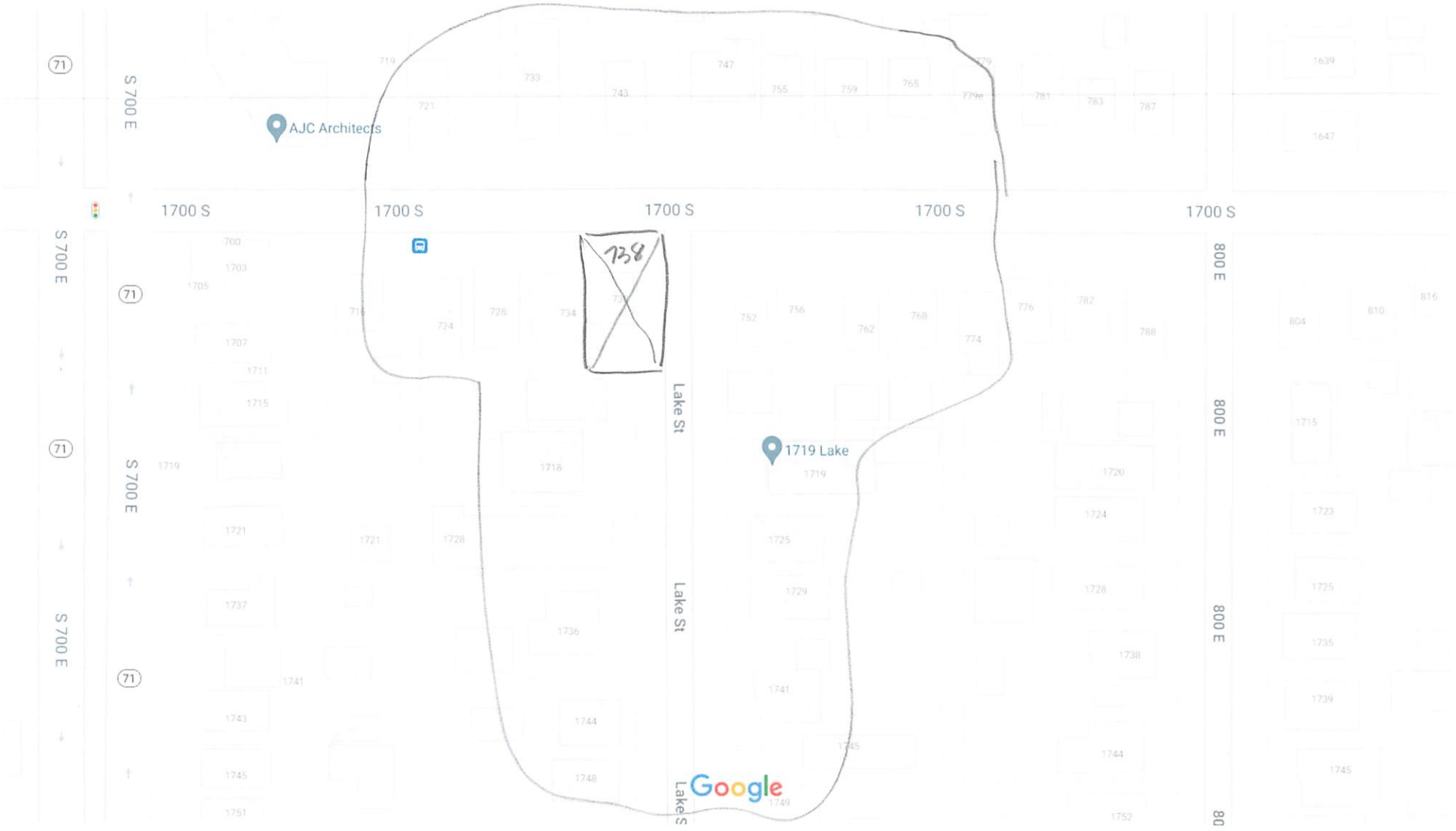
Please read the proposal on our website, <https://www.sugarhousecouncil.org/738-e-1700-s-adu/> and give us your feedback using the comment form. We will send comments along with our letter to the Planning Commission. This proposal will be on the agenda of the Sugar House Community Council Land Use and Zoning Committee May 17 at 6:00 p.m. This will be a virtual meeting.

If you provide a comment, we will send you the link to join the meeting using Zoom.



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Mitchell, Linda

From: Kyle Deans <[REDACTED]>
Sent: Friday, June 11, 2021 2:11 PM
To: Mitchell, Linda
Subject: (EXTERNAL) ADU 738 E 1700 S

Follow Up Flag: Follow up
Flag Status: Flagged

Linda,

I am in full support of the proposed ADU at 738 E 1700 S. This is a perfect example of adding density to an existing neighborhood without changing the character of the neighborhood.

Kyle Deans
SLC Resident

ATTACHMENT G: DEPARTMENT REVIEW COMMENTS

Fire (Doug Bateman at douglas.bateman@slcgov.com)

Fire hydrant shall be located within 600-feet of all ground level exterior portions of all structures on the parcel. Measurements are made following the drive route.

Fire resistance ratings for proposed structure shall meet adopted residential code for distance to lot lines.

Building (Steven Collett at steven.collett@slcgov.com or 801-535-7289)

All construction within the corporate limits of Salt Lake City shall be per the State of Utah adopted construction codes and to include any state or local amendments to those codes. RE: Title 15A State Construction and Fire Codes Act.

Associated building permit: BLD2021-00854

Transportation (Michael Barry at Michael.barry@slcgov.com or 801-535-7147)

The driveway must be at least five feet away from any public utility infrastructure such as a water meter, hydrant, power pole, tree, etc. Show the location of the water meter for the property.