



# Staff Report

PLANNING DIVISION  
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

---

To: Salt Lake City Planning Commission

From: Sara Javoronok, AICP, Senior Planner  
(385) 535-7625 or [sara.javoronok@slcgov.com](mailto:sara.javoronok@slcgov.com)

Date: May 12, 2021

Re: PLNPCM2021-00286 Neighborhood House Greenhouse

---

## Planned Development

**PROPERTY ADDRESS:** 1050 West 500 South  
**PARCEL ID:** 15-02-334-029-0000  
**MASTER PLAN:** Westside Master Plan  
**ZONING DISTRICT:** I Institutional

**REQUEST:** A request by Ying Peng of FFKR Architects on behalf of the property owner, Neighborhood House, for approval of a greenhouse, an accessory structure, in the required yard on the Goshen Street frontage of the property. The subject property is in the (I) Institutional zoning district. The applicant is requesting Planned Development approval for the accessory structure in the required yard.

**RECOMMENDATION:** Based on the information in this staff report, Planning Staff recommends that the Planning Commission approve the proposal as proposed and subject to complying with all applicable regulations and the conditions below:

1. Final approval of the plans shall be delegated to planning staff to ensure compliance with the zoning standards and conditions of approval.
2. Approval is for the specific items discussed and identified in the staff report. All other applicable zoning regulations and requirements from other city departments still apply.
3. The 15-foot landscape buffer yard shall be installed as required.

### ATTACHMENTS:

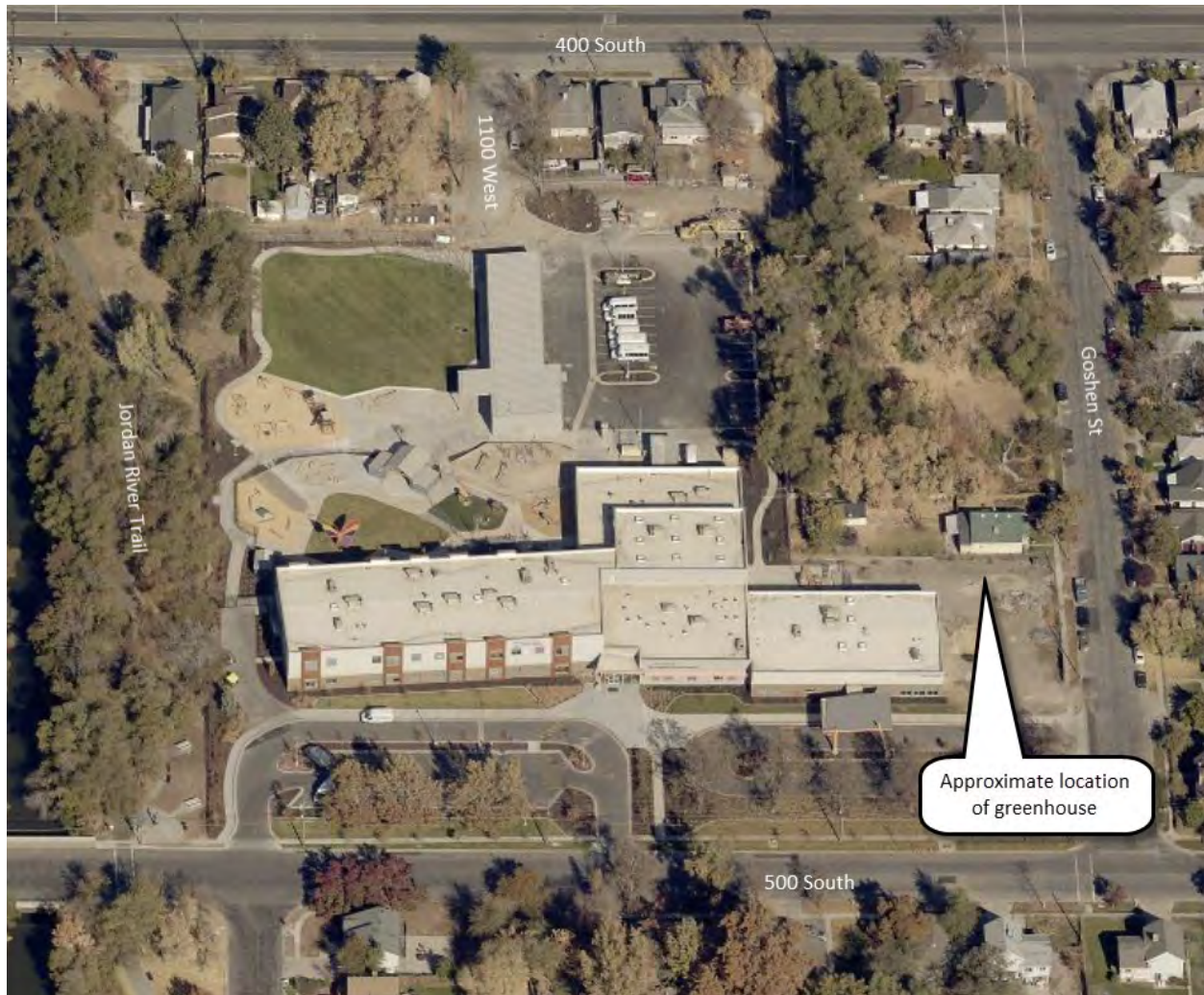
- A. [Vicinity Map](#)
- B. [Property & Vicinity Photographs](#)
- C. [Applicant Submittal](#)
- D. [Existing Conditions](#)
- E. [Institutional Zone Standards Summary](#)
- F. [Analysis of Planned Development Standards](#)
- G. [Public Process & Comments](#)



## H. [Department Review Comments](#)

### PROJECT DESCRIPTION:

The subject property is approximately 5.5 acres (240,500 square feet) in size. It is located on the north side of 500 South and to the east of the Jordan River. It fronts Goshen Street for about 40% of the length of the property, specifically the southeast portion. The greenhouse is proposed in this area.



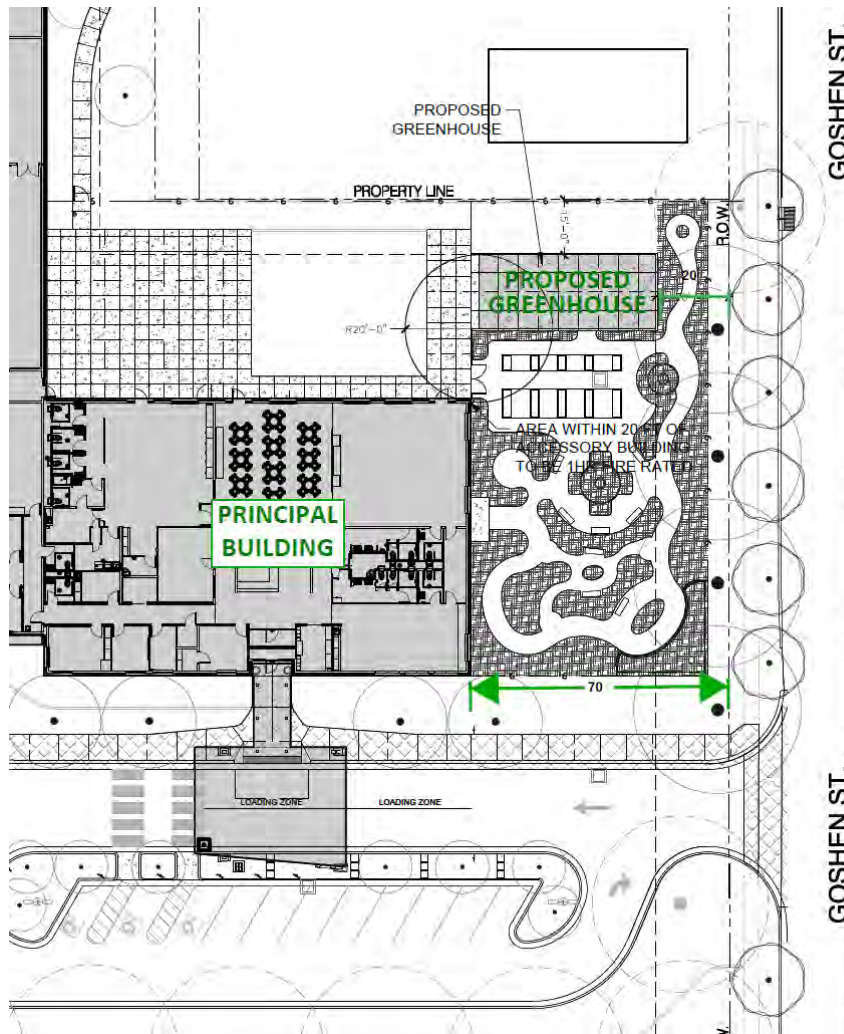
*Aerial photograph showing larger Neighborhood House site and approximate location of greenhouse.*

The property is unique in that it has three street frontages – 500 South, Goshen Street, and 1100 West. The greenhouse is part of a larger, mostly complete, redevelopment of the Neighborhood House site. This process included a zoning amendment for a portion of the site zoned R-1/5,000, street closure for an unconstructed portion of 1100 West, lot consolidation, and special exceptions.

The properties to the north and east are zoned R-1/5,000 and are single-family dwellings. The properties to the south are zoned R-1/7,000 and are also single-family dwellings. The *Westside Master Plan* does not have a specific land use identified for this site and it is not identified as a neighborhood or community node.



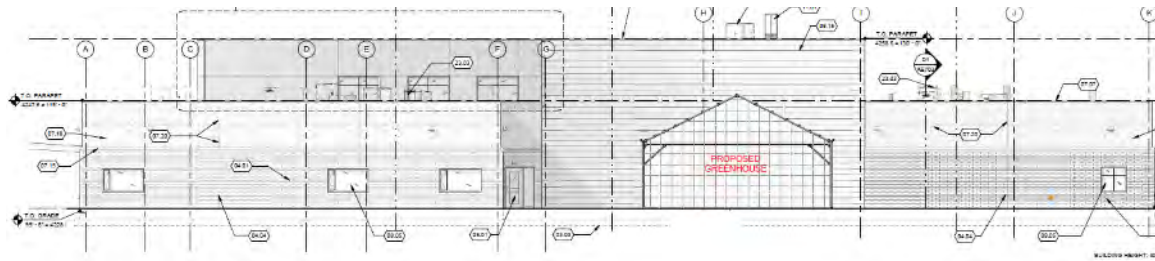
The Planned Development is required because the proposed location for the greenhouse does not meet the required yard. The Institutional zone has a front and corner side yard requirement of 20 ft. and there is also a requirement that accessory structures shall be set back at least as far as the principal building when the principal building exceeds the required front yard setback. The new, principal building, on the site is set back 70 ft. and the proposed greenhouse would be set back 20 ft. The primary entrance for the building is located on 500 South and the Goshen Street elevation is secondary. Additionally, the greenhouse would be set back 20' from the rear of the 500 South façade of the primary building. It would also be set back approximately 9' further to the west than the front façade of the house to the north.



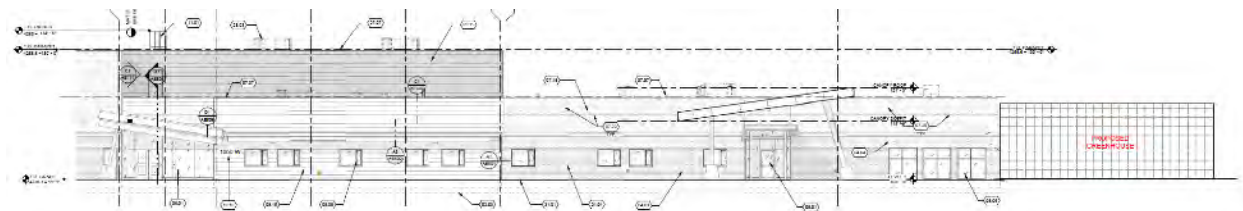
*Partial site plan showing location of proposed greenhouse, principal building, and setbacks.*

The proposed greenhouse is 960 square feet and 17' 2 7/8" from the base of the structure to the peak. It is a steel framed structure with a polycarbonate roof and cladding. Below are elevations that place it in context with the principal building, followed by a photograph of a similar structure.





*Goshen Street (east) elevation*



*500 South (south) elevation*



*Similar greenhouse structure*

The applicant is requesting relief from 21A.40.050.A.2, which requires that accessory buildings shall be set back at least as far as the principal building. The proposed accessory building meets the 20-foot setback for the zoning district, but the principal structure is set back approximately 70 feet and it would have a setback that is less than it. The property is unique in that it has frontage on three streets, including Goshen Street where the proposed greenhouse would be located. Additionally, the primary entrance for the building is located on 500 South. While not complying with the requirement in 21A.40, the proposed greenhouse is compatible with the existing development in the neighborhood and the goals of the adopted master plans that are applicable to the area. These issues are discussed in the following section.

#### **KEY ISSUES:**

The key issues listed below have been identified through the analysis of the project, neighbor and community input and department review comments.



1. Compliance with Adopted Master Plans
2. Requested Modification

### **Issue 1: Compliance with Adopted Master Plans**

The proposed project is consistent with the citywide *Plan Salt Lake*, and the *Westside Master Plan*. The project is consistent with Guiding Principle #1 in *Plan Salt Lake*, “Neighborhoods that provide a safe environment, opportunity for social interaction, and services needed for the wellbeing of the community therein.” The proposed greenhouse will provide safe opportunities for adult daycare participants at Neighborhood House to interact and enjoy year-round gardening. The following Neighborhood initiatives apply:

- Promote accessible neighborhood services and amenities, including parks, natural lands, and schools.
- Provide opportunities for and promotion of social interaction.

The *Westside Master Plan* includes the following goal, “Promote reinvestment and redevelopment in the Westside community through changes in land use, improved public infrastructure and community investment to spur development that meets the community’s vision while maintaining the character of Westside’s existing stable neighborhoods.” Neighborhood House’s larger purpose is consistent with this goal. The proposed greenhouse will further enable them to achieve their goals. Additionally, the *Westside Master Plan* highlights Neighborhood House as a Community Resource.

### **Issue 2: Requested Modification**

As identified in the Project Description, the applicant’s request is for a greenhouse on the Goshen Street frontage of the Neighborhood House property. As proposed, it does not meet the requirement that the building is set back as far as the principal structure, which is 70 feet. It would meet the 20-foot required setback for structures in the zoning district. Staff and the applicant discussed options that would not require a Planned Development:

- The applicant could move the greenhouse further to the west and set it back as far as the principal structure. This is not preferable because it would place the greenhouse in the shadow of the main building for much of the day. Additionally, it would disrupt already programmed spaces for other adult daycare uses from the outdoor area immediately adjacent to the building.
- The greenhouse could be connected to the existing principal structure through a walkway or other connection. The applicant explored this option and it would block already constructed egress doors and existing windows. This would require significant costs to redesign and construct. It would also decrease the sunlight available to the greenhouse. This option was not preferred when compared to seeking Planned Development approval as proposed.

Staff has not received a response from the Poplar Grove Community Council. Staff has received public comment from two residents in support, including emails from the property owner directly to the north of the proposed greenhouse.

### **DISCUSSION:**

The applicant is seeking relief from 21A.40.050.A.2, which requires accessory buildings to be set back at least as far as the principal building. This proposal would place a greenhouse, an accessory structure, in front of a secondary façade of the principal building. The site is substantially constructed and placing the building in another location or connecting the two structures is not preferable due to lack of sunlight and additional costs. The public comment received has been in support of the proposal. It is a unique



site with three street frontages and staff supports the proposed location on a secondary façade and with a substantial setback from the primary façade and entry.

**NEXT STEPS:**

If the Planned Development is approved, the applicant will need to need to comply with any conditions of approval, including any of the conditions required by City departments and the Planning Commission. The applicant will then be able to obtain a building permit for the greenhouse. If the Planned Development is denied, the applicant can modify the proposal to a location that it is permitted.



## **ATTACHMENT A: VICINITY MAP**

---



# Vicinity Map



\*Aerial photo was taken prior to construction of new buildings on the site

Salt Lake City Planning Division 4/21/2021



## ATTACHMENT B: SITE & VICINITY PHOTOS

---



*Existing conditions on area of site where greenhouse is proposed.*



*500 South Elevation with main entrances*





*House north of the proposed greenhouse site*



*Houses to the east, across Goshen Street*





*Facing south towards entry to site and houses across 500 South*



*1100 West entry to site*



## **ATTACHMENT C: APPLICANT SUBMITTAL**

---



## **Neighborhood House Planned Development Narrative**

Neighborhood House is a non-profit school, child daycare, and adult daycare located along the Jordan River Parkway Trail at 1050 West 500 South.

Neighborhood House is a benefit to the community it serves. Their goal, as stated on their website, reads “to provide instruction for underprivileged children to commensurate with instruction given in more favored districts; to become better acquainted with parents in poorly regulated homes; to raise the standard of living; and to provide, when necessary, food and clothing.” They provide services to the young to the elderly. Neighborhood House while a private and secured site meets the definitions of a planned unit development in part because of their openness and welcoming approach to all in the community they serve. In alignment with the goals of the Westside Master Plan, the Neighborhood House is a ‘distinct community and cultural asset that provides social services, employment opportunities of all types, and educational and recreational opportunities.’ They provide affordable/free daycare and schooling for underprivileged children and elderly. The site is secured for the safety of those using the facilities. They provide a safe place for children and adults to go during the day.

The new development of Neighborhood House meets the vision and goals stated in the West Side Master Plan on pages 3-4.

<http://www.slcdocs.com/Planning/MasterPlansMaps/WSLMPA.pdf>

### *Compatibility with surrounding neighborhood.*

Neighborhood House adds character to the neighborhood. They are part of an ‘eclectic neighborhood that celebrate a shared history’ by promoting the investment and growth of the neighborhood. They created open space for patrons to enjoy. They provide for the economic growth of the neighborhood by creating jobs and allowing other to work through their day care. The site is buffered by tree and shrub plantings to reduce noise to the adjacent neighbors. The beautification of the site raises the value of the surrounding properties. The trees provide shade and privacy to neighbors. Those who utilize Neighborhood house are given the opportunity to learn and grow. That knowledge will be taken back into the community providing greater growth to the community.

Through the redevelopment of their existing site, Neighborhood House has reinvested in the community they support. They created a place that is people focused. A place that responds to its surrounding context and enhances the public realm by investing in the people in the community. They provide unique goods and services as stated in their goal of ‘raising the standard of living’ to those who use their facility.

Section 21A.55 for planned developments states ‘A planned development is intended to encourage the efficient use of land and resources, promoting greater efficiency in public and utility services, and encouraging innovation in the planning and all types of development. Neighborhood House has taken their existing site and reimagined it in new innovative ways to better serve a larger portion of the community.



*Section 21A.55.010.A. Open Space and Natural Lands: Preserving, protecting or creating open space and natural lands:*

- 1. Inclusion of community gathering places or public recreational opportunities, such as new trails or trails that connect to existing or planned trail systems, playgrounds or other similar types of facilities.*
- 2. Preservation of critical lands, watershed areas, riparian corridors and/or the urban forest.*
- 3. Development of connected greenways and/or wildlife corridors.*
- 4. Daylighting of creeks/water bodies.*
- 5. Inclusion of local food production areas, such as community gardens.*
- 6. Clustering of development to preserve open spaces.*

Open space has been created in the form of healing gardens, a proposed greenhouse, age-appropriate playgrounds, and walking paths with visual connections to the adjacent Jordan River. The playgrounds are designed to give the user a tactile, hands on experience, making play time not only fun but educational. Group gathering areas provide for large or small events and provide outdoor classrooms and social learning opportunities. Meandering pathways help calm the mind and provide exercise for the adults using the facility.

In 1984 a study by Roger Ulrich concluded “patients with a bedside window looking out on leafy trees healed, on average, a day faster, needed significantly less pain medication and had fewer postsurgical complications than patients who instead saw a brick wall.” Studies have also shown “just three to five minutes spent looking at views dominated tree, flower, or water can begin to reduce anger, anxiety and pain and induce relaxation.” Other studies have shown “measured physiological changes in blood pressure, muscle tension or heart and brain electrical activity.” Neighborhood House has always had a garden for the adult center, the addition of a greenhouse will ensure the patrons will have the positive effects of a garden year-round. The food grown in the gardens and greenhouse will also be used to support the kitchen or sent home to the families of those using the facility. Although the NH site is large with other possible locations for a greenhouse of this size, the proposed location of the greenhouse provides not only the needed unobstructed southern exposure to function, but it also provides the much-needed proximity to the adult patrons, that often have limited mobility, to utilize the greenhouse and gain the benefits mentioned above.

*Requested variance to the zoning code.*

The greenhouse would be an accessory building to the main Neighborhood House building. The new Neighborhood House building faces south toward 500 South. Goshen St is considered a front yard for the property of Neighborhood House. According to the code an accessory building cannot be placed forward of the primary building. Pushing the greenhouse back to meet the front edge of the building to meet code will disrupt spaces already programmed for other uses by the adult daycare. It would also put the greenhouse in the shadow of the main building much of the day. In addition, there is an existing sewer line at the proposed location of the greenhouse, for which approval has already been granted by the city to use this sewer line for the greenhouse sinks.



The proposed location of the greenhouse is 20 ft from the property line on Goshen St. and 15 ft from the property line of the neighbor to the North. There is an outdoor garden already planned in this area. There are many advantages to locating the greenhouse in this proposed location, including, it is away from the main building which provides more light for the greenhouse, the wide side facing south will maximize the sun exposure to the greenhouse, and this location will place the greenhouse further back from the adjacent neighbor to the north.

Attaching the greenhouse to the new Neighborhood House building would block already constructed doors required for egress. It would also block windows already in place. As a non-profit organization, Neighborhood House seeks to be fiscally responsible with the donated money. Placing the greenhouse adjacent to the building would incur significant costs related to redesign and construction to the current layout. Adjacency to the building would also minimize the amount of sunlight available to the green house.

*Section 21A.55.010.B Historic Preservation:*

- 1. Preservation, restoration, or adaptive reuse of buildings or structures that contribute to the character of the City either architecturally and/or historically, and that contribute to the general welfare of the residents of the City.*
- 2. Preservation of, or enhancement to, historically significant landscapes that contribute to the character of the City and contribute to the general welfare of the City's residents.*

Preserving as much open space is an integral piece to the design. The large catalpa and london plane trees that provide so much character and shade to the neighborhood, as well as many of the other existing trees were preserved and incorporated into the site plan. The new site layout consolidated the building designs by taking the two buildings and replacing them with one efficient building. Sharing kitchens, back of house spaces, mechanical, and open gym space between the children and elderly uses helped reduce the size of the building footprint and preserve additional open space.

*Section 21A.55.010.C. Housing: Providing affordable housing or types of housing that helps achieve the City's housing goals and policies:*

- 1. At least twenty percent (20%) of the housing must be for those with incomes that are at or below eighty percent (80%) of the area median income.*
- 2. The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood.*

Neighborhood house provides daytime care and shelter to children and the elderly. More than 400 children attend Neighborhood House every year. 91% of those children come from a family with an average income of \$30,000 or less. The adult center serves 110 people every year. 83% of the adults report income of \$30,000 or less with an average age of 78. For more information on who Neighborhood House serves please visit [https://www.nhutah.org/images/pdfs-doc/2.11.19 WEB Who We Serve Neighborhood House.pdf](https://www.nhutah.org/images/pdfs-doc/2.11.19_WEB_Who_We_Serve_Neighborhood_House.pdf)

*Section 21A.55.010.D. Mobility: Enhances accessibility and mobility:*



1. *Creating new interior block walkway connections that connect through a block or improve connectivity to transit or the bicycle network.*
2. *Improvements that encourage transportation options other than just the automobile.*

*Section 21A.55.010. E. Sustainability: Creation of a project that achieves exceptional performance with regards to resource consumption and impact on natural systems:*

1. *Energy Use And Generation: Design of the building, its systems, and/or site that allow for a significant reduction in energy usage as compared with other buildings of similar type and/or the generation of energy from an on-site renewable resource.*
2. *Reuse Of Priority Site: Locate on a brownfield where soil or groundwater contamination has been identified, and where the local, State, or national authority (whichever has jurisdiction) requires its remediation. Perform remediation to the satisfaction of that authority.*

Neighborhood House increased their mobility by encouraging a wide variety of ways to access the site. There is a bus stop along the front of the property, connecting the site to public transit. Bike racks have been installed in multiple locations to store bicycles safely and securely. Electric car chargers are installed to promote sustainable and alternate transportation types. Neighborhood house also included enclosed garages for their fleet of shuttle busses that transport children and adults from all over the valley.

**21A.55.110: DISCLOSURE OF PRIVATE INFRASTRUCTURE COSTS FOR PLANNED DEVELOPMENTS:**

*Planned developments, approved under this title after January 1, 1997, shall include provisions for disclosure of future private infrastructure maintenance and placement costs to unit owners.*

- A. *Infrastructure Maintenance Estimates: Using generally accepted accounting principles, the developer of any planned development shall calculate an initial estimate of the costs for maintenance and capital improvements of all infrastructure for the planned development including roads, sidewalks, curbs, gutters, water and sewer pipes and related facilities, drainage systems, landscaped or paved common areas and other similar facilities ("infrastructure"), for a period of sixty (60) years following the recording of the subdivision plat or the estimated date of first unit occupancy of the planned development, whichever is later.*
- B. *Initial Estimate Disclosure: The following measures shall be incorporated in planned developments to assure that owners and future owners have received adequate disclosure of potential infrastructure maintenance and replacement costs:*
  1. *The cost estimate shall be recorded with and referenced on the recorded plat for any planned development. The initial disclosure estimate shall cover all private infrastructure items and shall be prepared for six (6) increments of ten (10) years each.*



2. *The recorded plat shall also contain a statement entitled "notice to purchasers" disclosing that the infrastructure is privately owned and that the maintenance, repair, replacement and operation of the infrastructure is the responsibility of the property owners and will not be assumed by the City.*
3. *The cost estimate shall be specifically and separately disclosed to the purchaser of any property in the planned development, upon initial purchase and also upon all future purchases for the duration of the sixty (60) year period.*
- C. *Yearly Maintenance Statements: The entity responsible for the operation and maintenance of the infrastructure shall, at least once each calendar year, notify all property owners in the planned development of the estimated yearly expenditures for maintenance, repair, operation or replacement of infrastructure, and at least once each calendar year shall notify all property owners of the actual expenditures incurred, and shall specify the reason(s) for any variance between the estimated expenditures and the actual expenditures.*
- D. *Maintenance Responsibilities: The property owners in a planned development shall be collectively and individually responsible, on a pro rata basis, for operating, maintaining, repairing and replacing infrastructure to the extent necessary to ensure that access to the planned development is available to the City for emergency and other services and to ensure that the condition of the private infrastructure allows for the City's continued and uninterrupted operation of public facilities to which the private infrastructure may be connected or to which it may be adjacent. (Ord. 8-18, 2018)*

The Neighborhood House site sits adjacent to the Jordan River Parkway. As mentioned in the Westside Master Plan, the Jordan River Parkway is an integral part of the community's identity. The vicinity of the parkway to Neighborhood House helps to connect the NH to the surrounding community. Neighborhood House encourages multi-modal transportation options by providing bike racks, electric vehicle parking with charging stations, and an adjacent bus stop. The parkway is also integral to getting pedestrians to the site by providing direct access to Neighborhood House.

Neighborhood House employs a facility engineer to meet the maintenance needs of the site. Having one owner allows for full responsibility of the maintenance of the site, including parking lots, sidewalks, landscape, utilities, and building.

Thank you for considering Neighborhood House a Planned Development based on the reasons listed in the above narrative. Please let us know if you have any questions. We look forward to your response.

For more information respecting Neighborhood House visit: <http://nhutah.org>





# GENERAL NOTES

FIRE APPARATUS ACCESS ROADS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BUT NOT LIMITED TO THE FOLLOWING, THE PARKING OF VEHICLES, OVERHEAD OBSTRUCTIONS, THE MINIMUM WIDTHS, OR CLEARANCE. THE ESTABLISHED FIRE SECTION 503.2, AND IFC APPENDIX-D, SHALL BE MAINTAINED AT ALL TIMES.

A. THE INSTALLATION OF SECURITY GATES ACROSS A FIRE APPARUS ACCESS SHALL BE APPROVED BY THE FIRE CHIEF. WHERE SECURITY GATES ARE INSTALLED, THEY SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. THE SECURITY GATES SHALL BE PERMANENTLY MAINTAINED AND BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200, IN ACCORDANCE WITH IFC SECTION 503.6 SECURITY GATES.


**FFKR ARCHITECTS**  
 730 Pacific Avenue • Salt Lake City, Utah 84104  
 ☎ 801.521.6166 • **FFKR.COM**

---


# NEIGHBORHOOD HOUSE

1050 WEST 500 SOUTH  
SALT LAKE CITY, UTAH (801) 363-4589

CONFORMANCE SET - 06/26/2018



**FURST**  
CONSTRUCTION COMPANY

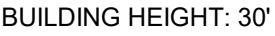
	<small>SEALED</small>	
		
	<small>PROJECT #</small>	<small>STATUS</small>
2	1/29/18	CITY COMMISSION
3	3/09/18	ADDENDUM
4	4/09/18	CITY COMMISSION
5	5/14/18	CITY COMMISSION

**OVERALL SITE PLAN**

---

AS-100





SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

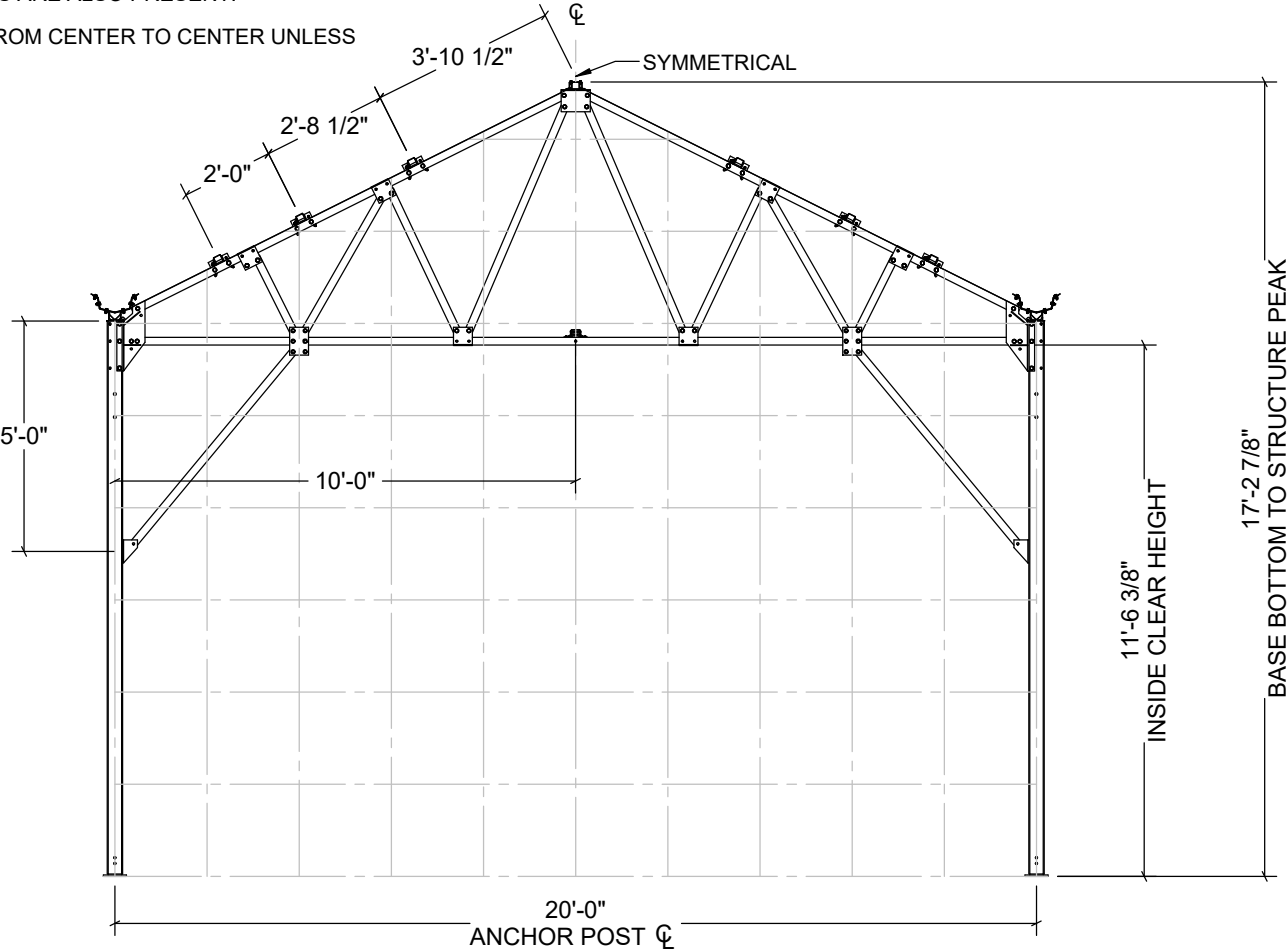
03.01	CONCRETE FOOTING: RE-STRUCTURAL
04.01	IMPERIAL BRICK
04.02	ATLAS BRICK
04.04	BRICK CONTROL JOINT
07.07	METAL PARAPET FLASHING
12.07	EXTERIOR INSULATION FINISH SYSTEM
16.01	1" MIN. R-15 FIBR TRIM
17.20	1/2" F.E.I. CONTROL JOINT WITH PREMA-PURFUMER 1/2" X 1/2" REVEAL
08.01	SCHEDULED ALUMINUM DOOR AND WINDOW STOPS: 1" MIN. SYSTED
08.03	SCHEDULED WINDOW: RE. DOOR SCHEDULE
08.05	SCHEDULED WINDOW: RE. WINDOW SCHEDULE
10.16	METAL SHEETING OVER 3"4 PLYWOOD 4" Z CLIP 1 1/2" AIR GAP 2 1/2" POLY-ISO. AIR BARRIER 5/8" SHEETING
10.16	METAL PANEL OVER 1" AIR GAP OVER 2 1/2" POLY-ISO. OVER 5/8" SHEATING
10.16	MINIMUM 8" HIGH AND 1/2" WIDE POWDER COAT, FLATNESS STEEL LETTERING CONTRASTING COLOR OF THE BACKGROUND, MUST CONFORM TO THE CITY REQUIREMENT
11.01	PREFINISHED ROOF TOP CAGED LADDER. DESIGN TO CONFORM WITH OSHA/B STANDARD
23.03	MECHANICAL EQUIPMENT ON PREMA-PURFUMER CURBS, RE. MECHANICAL
31.01	COMPACTED FILL: RE-STRUCTURAL



ADDITIONAL INFORMATION

THESE PRINTS IDENTIFY AND SHOW THE MAIN COMPONENTS AND CONNECTIONS FOR THIS BUILDING. LENGTH, WIDTH, AND OTHER IMPORTANT DIMENSIONS ARE ALSO PRESENT.

ALL DIMENSIONS ARE FROM CENTER TO CENTER UNLESS OTHERWISE NOTED.



NOTE: GRID REPRESENTS 24" SQUARES

- \*\* NOTE \*\*:** ALL DOORS, VENTS, AND OPENINGS MUST BE CLOSED AND SECURED DURING WIND EVENTS (3-SECOND GUST WIND SPEEDS > 50 MPH).
- \*\* NOTE \*\*:** GROWSPAN RECOMMENDS THE TOP OF THE FOUNDATION BE SLOPED OR STEPPED AT 1/4" PER 12' ALONG THE BUILDING LENGTH TO FACILITATE DRAINAGE FROM THE GUTTERS.
- \*\* NOTE \*\*:** EXIT DOORS TO BE PROVIDED BY OWNER AS REQUIRED TO MEET EGRESS REQUIREMENTS OF LOCAL BUILDING CODE. CHECK WITH LOCAL BUILDING OFFICIAL FOR REQUIREMENTS.
- \*\* NOTE \*\*:** FOUNDATION AND ANCHOR DESIGN IS NOT BY GROWSPAN OR VECTOR ENGINEERS. THE FOUNDATION AND ANCHOR DESIGN IS BY OTHERS. THE FOUNDATION AND ANCHORS ARE CRITICAL ELEMENTS FOR THE BUILDING TO FUNCTION AS DESIGNED. THE OWNER IS RESPONSIBLE FOR ENSURING THE FOUNDATION IS DESIGNED FOR THE BUILDING BY A PROFESSIONAL IN ACCORDANCE WITH LOCAL REQUIREMENTS.

- \*\* NOTE \*\*:** UNLESS APPROVED BY GROWSPAN, A SEPARATION DISTANCE OF 20 FEET SHALL BE MAINTAINED BETWEEN THE GROWSPAN STRUCTURE AND ANY EXISTING OR FUTURE BUILDINGS, STRUCTURES, OR TERRAIN FEATURES THAT HAVE A TALLER PROFILE THAN THE GROWSPAN STRUCTURE.
- \*\* NOTE \*\*:** THIS GREENHOUSE MUST BE CONTINUOUSLY HEATED WITH A ROOF HAVING A THERMAL RESISTANCE (R-VALUE) LESS THAN 2.0°F x h x ft²/BTU. THIS GREENHOUSE MUST MAINTAIN AN INTERIOR TEMPERATURE ≥ 50°F AT ANY POINT 3 FEET ABOVE THE FLOOR LEVEL DURING WINTERS. THIS GREENHOUSE SHALL HAVE EITHER AN ATTENDANT ON DUTY AT ALL TIMES OR A TEMPERATURE ALARM SYSTEM TO PROVIDE WARNING IN THE EVENT OF A HEATING FAILURE.

G22012E04801S01

DOCUMENT CONTENT GUIDE:

- [A1] .....COVER SHEET
- [B1] .....GENERAL NOTES
- [C1] .....BUILDING PLAN VIEW
- [D1] .....FRONT PROFILE & MATERIAL SPECS
- [E1] .....ENDWALL PROFILES
- [E2] .....INTERIOR PARTITION WALL PROFILES
- [F1] .....SIDE PROFILES
- [G1] .....DETAIL LOCATIONS & DOOR FRAMING DETAILS
- [G2] .....ANCHOR POST CONNECTION DETAILS
- [G3] .....GUTTER/RAFTER CHORD CONNECTION DETAILS
- [G4] .....CONNECTION DETAILS (RAFTERS)
- [G5] .....LATERAL BRACE CONNECTION DETAILS
- [G6] .....CONNECTION DETAILS (ENDWALL)
- [G7] .....CABLE LAYOUT & DETAILS
- [H1] .....BASE PLATE LAYOUT & DETAILS
- [I] .....OMITTED
- [J1] .....BUILDING REACTION DATA

DEVELOPED BY



greenhouse structures

ENGINEERING SERVICES & PRODUCTS CO.

1440 16TH AVENUE SW

DYERSVILLE, IA 52040

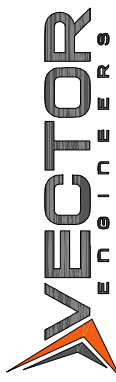
P: 563.875.6113

F: 563.875.2317

WWW.ESAPCO.COM

ORDER #:

7578967



ENGINEERS

651 W. GALENA PARK BLVD., STE. 101

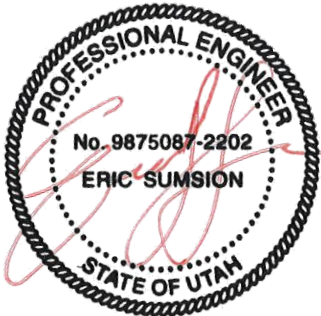
DRAPER, UTAH 84020

PHONE (801) 950-1775

WWW.VECTOREE.COM

VSE Project Number: U1382-795-201

STRUCTURE SKU #: <div>G22012E04801S01</div>	STRUCTURE SIZE: <div>20' X 48'</div>	SHEET TITLE: <div>COVER SHEET</div>
CUSTOMER INFORMATION: <div>FURST CONSTRUCTION COMPANY</div> <div>708 W NORTH TEMPLE</div> <div>SALT LAKE CITY, UT 84116-3352</div>		



07/08/2020

DRAWING DETAILS			
DRAWN BY: BL		CREATION DATE: 5/20/2020	
REVISIONS:			
NO.	BY:	REVISION DATE:	
1			
2			
3			
4			
NOT TO SCALE		SHEET SIZE: 11X17	
SHEET:			
A1			



SITE LOCATION AND BUILDING DESCRIPTION:

SITE LOCATION: 1050 WEST 500 SOUTH  
SALT LAKE CITY, UT 84104  
SALT LAKE COUNTY  
4,228 FEET  
SITE ELEVATION:  
BUILDING SIZE: 20' X 48': 960 SQUARE FEET  
BUILDING TYPE: STEEL-FRAMED STRUCTURE  
CONSTRUCTION TYPE: VB  
ROOF CLADDING MATERIAL: POLYCARBONATE  
SIDEWALL CLADDING MATERIAL: POLYCARBONATE  
ENDWALL CLADDING MATERIAL: POLYCARBONATE

GENERAL NOTES:

1. DESIGNED IN CONFORMANCE WITH THE STRUCTURAL PROVISIONS OF THE INTERNATIONAL BUILDING CODE, 2018 EDITION.
2. DESIGN LOADS:

- A. FLOOR LIVE LOAD: N/A  
B. ROOF LIVE LOAD: 12 PSF  
C. ROOF SNOW LOADS:

Pg (GROUND SNOW LOAD) = 28 PSF  
Ce (SNOW EXPOSURE FACTOR) = 1.0 (PARTIALLY EXPOSED TERRAIN CATEGORY C)  
Ct (THERMAL FACTOR) = 0.85\*\*\*  
Is (SNOW IMPORTANCE FACTOR) = 1.0 (RISK CATEGORY II)  
Pf (FLAT ROOF SNOW LOAD) = 16.7 PSF  
Ps (SLOPED ROOF SNOW LOAD) = Cs Pf  
Cs (SLOPE FACTOR) = AS DETERMINED FOR GABLE OR ARCHED OR SAWTOOTH ROOF PER ASCE 7 (BALANCED AND UNBALANCED LOADING CONDITIONS CONSIDERED)

SNOW DRIFTING AND SLIDING FROM ADJACENT BUILDINGS, STRUCTURES, TERRAIN FEATURES, OR ANY OTHER HORIZONTAL SURFACES HAS NOT BEEN CONSIDERED.

D. WIND DESIGN DATA: (MAIN WIND FORCE RESISTING SYSTEM)

V (ULTIMATE WIND SPEED) = 105 MPH  
Kd (WIND DIRECTIONALITY FACTOR) = 0.85  
Kzt (WIND TOPOGRAPHIC FACTOR) = 1.0 (ASSUMED)  
EXP (EXPOSURE CATEGORY) = C  
GCpi (INT. PRES. COEFF.) = +/-0.18 (ENCLOSED)  
Cp (EXT. PRES. COEFF.) = AS DETERMINED FOR GABLE OR ARCHED OR MULTISPAN ROOF PER ASCE 7

COMPONENTS AND CLADDING WIND PRESSURE: PER ASCE 7

E. EARTHQUAKE DESIGN DATA: (EQUIV. LATERAL FORCE METHOD)  
SEISMIC DESIGN CATEGORY = D  
RISK CATEGORY = II, SEISMIC IMPORTANCE FACTOR = 1.0  
Ss = 1.537 g, S1 = 0.551 g, SITE CLASS: D  
SDS = 1.025 g, SD1 = 0.643 g  
Cs = 0.342, R = 3, SEISMIC BASE SHEAR = 3.45 KIPS  
BASIC SEISMIC-FORCE-RESISTING SYSTEM = STEEL ORDINARY MOMENT FRAMES (TRANSVERSE) AND STEEL ORDINARY CONCENTRICALLY BRACED FRAMES (LONGITUDINAL).

3. THE TRUSSES ARE DESIGNED TO ACCOMMODATE LIMITED ADDITIONAL WEIGHT. ADDITIONAL LOADS, SUCH AS FOR LIGHTING, HEATING AND VENTILATING EQUIPMENT, HANGING PLANTS, AND IRRIGATION SYSTEMS, SHALL NOT EXCEED 500 LBS. PER ASSEMBLED TRUSS, WITHOUT THE WRITTEN APPROVAL OF THE DESIGN ENGINEER. LOADS SHALL BE APPLIED AT PANEL POINTS (POINTS OF CONTACT BETWEEN TRUSS WEB AND CHORD), AND SHALL BE DISTRIBUTED SO THAT NO MORE THAN 100 LBS. IS SUSPENDED FROM ANY SINGLE LOCATION.
4. THE EXTERIOR COMPONENTS AND CLADDING MATERIALS ARE NOT SPECIFICALLY DESIGNED BY THE DESIGN PROFESSIONAL. SEE NGMA STRUCTURAL DESIGN MANUAL.

FOUNDATION:

1. FOUNDATION AND ANCHORING SHALL BE ENGINEERED AND APPROVED BY A LOCALLY LICENSED STRUCTURAL ENGINEER TO ACCOUNT FOR THE BUILDING REACTION DATA SHOWN ON SHEET [J1].

GENERAL ABBREVIATIONS:

TOS TOP OF STEEL / TSL TOP OF SLAB / GALV. GALVANIZED / FND FOUNDATION / EL ELEVATION / RND. ROUND / GA GAUGE / DIA. DIAMETER / TYP. TYPICAL / LBS. POUNDS / CL CENTERLINE / EXT. EXTERIOR / INT. INTERIOR / CONN. CONNECTION / TC TOP CHORD / BC BOTTOM CHORD

SITE CONDITIONS:

1. NEITHER GROWSPAN NOR THE BUILDING ENGINEER HAVE VISITED THIS JOBSITE. INFORMATION CONTAINED HEREIN IS BASED ON CLIENT SUPPLIED DATA AND MEASUREMENTS. THE DESIGN AND DEPICTED FABRICATION, ERECTION, AND FOUNDATION DRAWINGS ARE ONLY VALID FOR THE EXACT DESIGN PARAMETERS AND COMBINATIONS OF PARAMETERS DOCUMENTED. NEITHER GROWSPAN NOR THE BUILDING ENGINEER SHALL BE HELD RESPONSIBLE OR LIABLE IN ANY WAY FOR ERRONEOUS OR INACCURATE DATA OR MEASUREMENTS. WORK SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. GROWSPAN AND/OR THE BUILDING ENGINEER SHALL BE NOTIFIED AND GIVEN AN OPPORTUNITY TO RE-EVALUATE THEIR WORK UPON DISCOVERY OF ANY INACCURATE INFORMATION PRIOR TO MODIFICATION OF EXISTING FIELD CONDITIONS AND FABRICATION AND INSTALLATION OF MATERIALS.

STEEL AND HARDWARE:

1. UNLESS OTHERWISE NOTED, ALL STRUCTURAL STEEL TUBING SHALL BE GALVANIZED, MIN. YIELD STRENGTH 50 KSI, AND SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM A500 GRADE C.
2. UNLESS OTHERWISE NOTED, STEEL PLATES SHALL COMPLY WITH ASTM A572 GRADE 50 OR EQUAL FOR 3/16" OR GREATER THICKNESS AND ASTM A1011 GRADE 50 OR ASTM A653 GRADE 50 OR EQUAL FOR LESS THAN 3/16" THICKNESS.
3. UNLESS OTHERWISE NOTED, ALL BOLTED CONNECTIONS SHALL USE SAE J429 GRADE 2 OR A307 OR BETTER BOLTS WITH COMPATIBLE WASHERS AND NUTS OF DIAMETERS INDICATED ON PLANS. BOLTS NEED ONLY BE TIGHTENED TO THE SNUG-TIGHT CONDITION. THE SNUG-TIGHT CONDITION IS DEFINED AS THE TIGHTNESS ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH. APPLICATION OF AN ELECTRIC TORQUE WRENCH UNTIL THE WRENCH BEGINS TO SLOW, OR THE FULL EFFORT OF A WORKER USING AN ORDINARY SPUD WRENCH.
4. ALL STRUCTURAL STEEL IS TO BE FABRICATED IN ACCORDANCE WITH THE LATEST EDITION OF AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS."
5. UNLESS OTHERWISE NOTED, ALL COLD ROLLED STEEL USED IN THE FABRICATION OF COLD FORMED STRUCTURAL MEMBERS SHALL HAVE A MINIMUM YIELD STRENGTH OF 50 KSI.
6. UNLESS OTHERWISE NOTED, LIGHT GAUGE - COLD FORMED STRUCTURAL STEEL MEMBERS SHALL CONFORM TO ASTM A500 (Fy = 50 KSI).

CABLES AND HARDWARE:

1. ALL CABLE SHALL BE GALVANIZED STEEL, MULTIPURPOSE, 7X7 (1/4" DIA.) OR 7X19 (5/16" & 3/8" DIA.) OR 6X26 (1/2" DIA.) CLASS STRAND CORE COMMERCIAL GRADE, OF DIAMETER INDICATED.
2. CABLE SLEEVES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
3. USE THIMBLES WITH CABLE SLEEVES IN ALL LOOP-END APPLICATIONS.
4. TENSION CABLES AT TURNBUCKLE TO TAUT CONDITION (STRAIGHT AND NOT SLACK OR LOOSE).
5. TIGHTEN CABLES SEQUENTIALLY TO AVOID TWISTING OR DEFORMING STRUCTURAL ELEMENTS DURING ERECTION. RECHECK PREVIOUSLY TIGHTENED CABLES UNTIL ALL CABLES ACHIEVE TAUT CONDITION.
6. 7X7 (1/4" DIA.) BREAKING STRENGTH = 6100 LBS
7. 7/16" SHACKLE (AS2167) WORKING LOAD = 2750 LBS

WELDING:

1. ALL WELDING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AWS D1.1 AND D1.3.
2. REFER TO AWS PUBLICATION D19.0-72: WELDING ZINC-COATED STEEL AND "WELDING GUIDELINES" PUBLISHED BY ALLIED TUBE AND CONDUIT - HARVEY, ILLINOIS, FOR RECOMMENDED PROCESSES AND PRACTICES FOR WELDING GALVANIZED STEEL.
3. ALL SHOP WELDING IS TO BE PERFORMED BY CERTIFIED WELDERS.

PAINTING AND TOUCH UP:

1. AFTER SHOP FABRICATION, PAINT ALL BARE STEEL, WELDS, AND ABRADED AREAS WITH COLD GALVANIZING COMPOUND CONSISTENT WITH GALVANIZED TUBE MANUFACTURER'S RECOMMENDATIONS FOR COLOR AND COMPOSITION. PRIOR TO TOUCH-UP, CLEAN WELDED AND ABRADED AREAS WITH A WIRE BRUSH. SURFACES MUST BE CLEAN AND OIL FREE.
2. AFTER FIELD INSTALLATION, TOUCH-UP ANY FIELD WELDS AND DAMAGED AREAS WITH COLD GALVANIZING COMPOUND.

ERECTION AND FIELD QUALITY CONTROL:

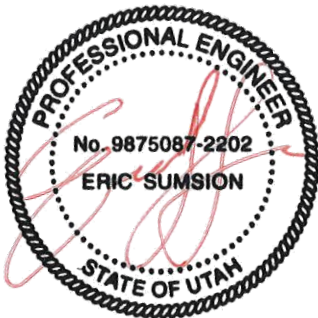
1. THE ERECTOR IS RESPONSIBLE FOR DESIGNING AND FURNISHING ALL TEMPORARY BRACING, SHORING, AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF ERECTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES. THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE STRUCTURAL ENGINEER ASSUMES NO LIABILITY FOR THE STRUCTURE DURING ERECTION.
2. NO MODIFICATIONS OR ALTERATIONS (OTHER THAN THOSE SHOWN ON THE DRAWINGS) SHALL BE MADE IN ANY STRUCTURAL MEMBER OR CONNECTION WITHOUT THE WRITTEN APPROVAL OF THE DESIGN ENGINEER.

\*\*\*BUILDING INTERNAL ENVIRONMENT:

1. THIS BUILDING HAS BEEN DESIGNED AS CONTINUOUSLY HEATED DURING WINTERS AND SATISFYING ALL THREE CONDITIONS (A,B,C) BELOW:
- A. A ROOF HAVING A THERMAL RESISTANCE (R-VALUE) LESS THAN 2.0 (°F x h x ft2/BTU).  
NOTE: GROWSPAN'S TYPICAL FILM AND POLYCARBONATE CLADDING SATISFIES THIS REQUIREMENT.
- B. AN INTERIOR TEMPERATURE ≥ 50°F WILL BE MAINTAINED AT ANY POINT 3 FEET ABOVE THE FLOOR LEVEL DURING WINTERS FOR THE LIFE OF THE STRUCTURE.
- C. THERE WILL BE EITHER A MAINTENANCE ATTENDANT ON DUTY AT ALL TIMES OR A TEMPERATURE ALARM SYSTEM TO PROVIDE WARNING IN THE EVENT OF A HEATING FAILURE. THERE SHOULD BE A PLAN OF ACTION\*\* IN PLACE IN CASE OF A HEATING SYSTEM FAILURE.
2. \*\*PLAN OF ACTION IN THE EVENT OF A HEATING SYSTEM FAILURE:
- A. BUILDING MUST BE UNOCCUPIED IMMEDIATELY.
- B. IF CAN SAFELY BE DONE, OWNER IS RESPONSIBLE FOR THE PROMPT REMOVAL OF SNOW FROM THE ROOF.
- C. IF CAN SAFELY BE DONE, OWNER IS RESPONSIBLE FOR THE PROMPT REMOVAL OF SNOW AWAY FROM THE BUILDING WALLS.
- D. RESTORE GREENHOUSE TEMPERATURE TO A MINIMUM OF 50° F (10° C) AS QUICKLY AS POSSIBLE.
- E. CONSULT WITH THE SEALING ENGINEER AND/OR BUILDING MANUFACTURER FOR NEXT STEPS TO BE TAKEN SUCH AS REMOVING CLADDING OR ADDING ADDITIONAL SUPPORTS.
- F. FAILURE TO COMPLY WITH THIS PLAN OF ACTION COULD RESULT IN A DANGEROUS SITUATION.

BOX BOLTS:

BOX BOLT HOLE SIZES & INSTALLATION TORQUE <sup>1</sup>		
BOX BOLT DIA.	HOLE DIA.	INSTALLATION TORQUE
1/4"	7/16"	14 FT-LB
5/16"	9/16"	18 FT-LB
3/8"	3/4"	33 FT-LB
1/2"	13/16"	59 FT-LB
5/8"	1-1/16"	140 FT-LB
3/4"	1-5/16"	221 FT-LB
1. REFER TO BOX BOLT TECHNICAL DATA FOR MORE INFORMATION IF USING BOX BOLTS		



07/08/2020

DEVELOPED BY

greenhouse structures  
ENGINEERING SERVICES & PRODUCTS CO.  
1440 16TH AVENUE SW  
DYERSVILLE, IA 52040  
P: 563.875.6113  
F: 563.875.2317  
WWW.ESAPCO.COM

ORDER #:  
7578967

651 W. GALENA PARK BLVD., STE. 101  
DRAPER, UTAH 84020  
PHONE (801) 950-1775  
WWW.VECTOR.UTAH.COM

VSE Project Number: U1382-795-201

STRUCTURE SKU #: G22012E04801S01	STRUCTURE SIZE: 20' X 48'
CUSTOMER INFORMATION: FURST CONSTRUCTION COMPANY 708 W NORTH TEMPLE SALT LAKE CITY, UT 84116-3382	SHEET TITLE: GENERAL NOTES

DRAWING DETAILS		
DRAWN BY: BL	CREATION DATE: 5/20/2020	
REVISIONS:		
NO.	BY:	REVISION DATE:
1		
2		
3		
4		
NOT TO SCALE		SHEET SIZE: 11X17
SHEET:		B1



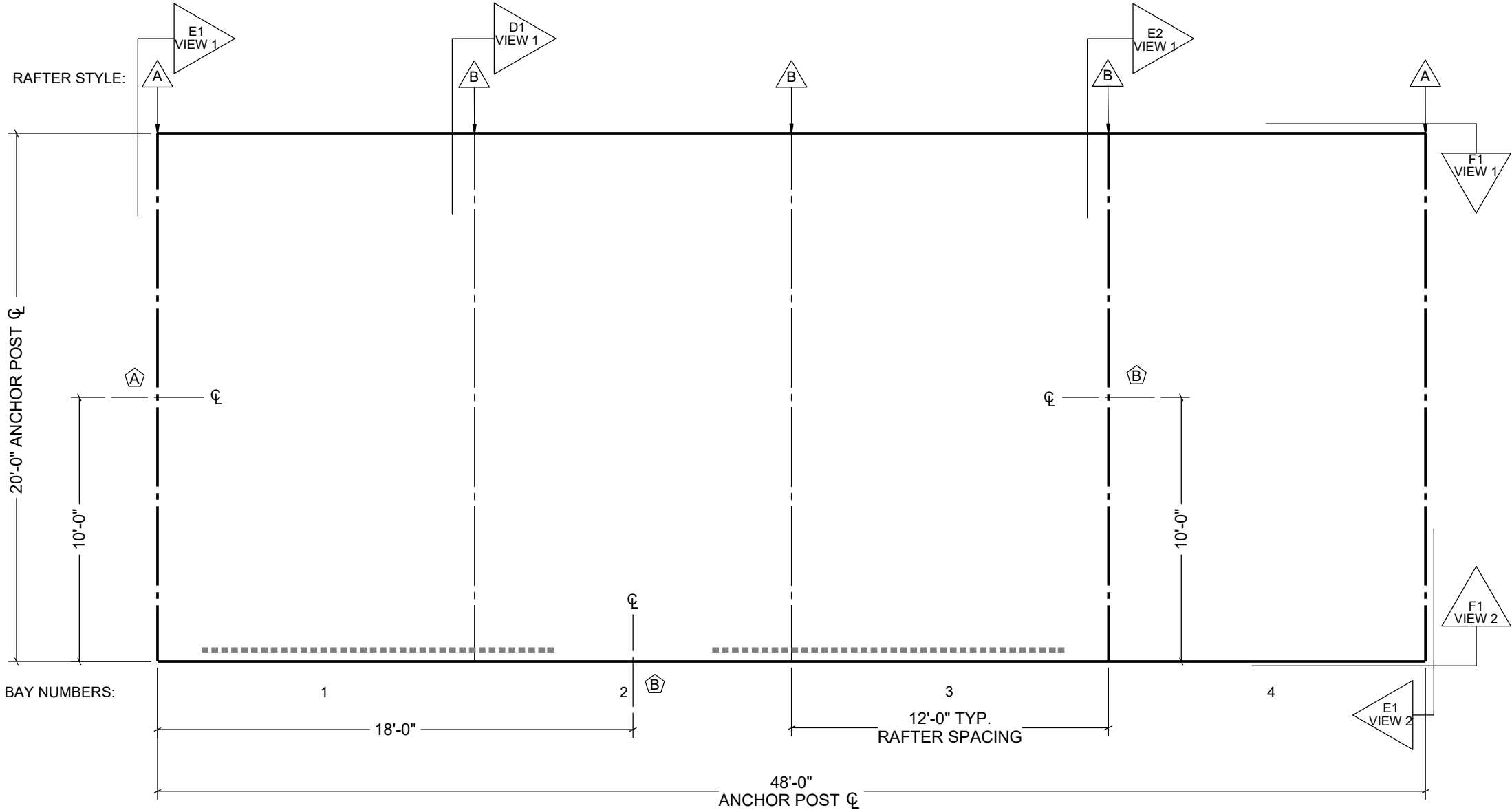
KEY:  
EVAPORATIVE COOLING SYSTEM: .....

NOTE: MAN DOOR LOCATIONS ARE APPROXIMATE  
AND CAN BE FIELD ADJUSTED AS NEEDED.

DOOR CALL-OUT	DOOR SIZE
A	6'-0" X 7'-0" DOUBLE DOOR
B	3'-0" X 7'-0" SINGLE DOOR

RAFTER STYLE LEGEND	
A	END RAFTER
B	MID RAFTER

LEFT SIDEWALL - SEE [F] SHEETS FOR ELEVATION VIEW



FRONT ENDWALL - SEE [E] SHEETS FOR ELEVATION VIEW

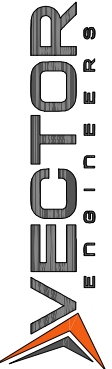
BACK ENDWALL - SEE [E] SHEETS FOR ELEVATION VIEW

RIGHT SIDEWALL - SEE [F] SHEETS FOR ELEVATION VIEW

DEVELOPED BY

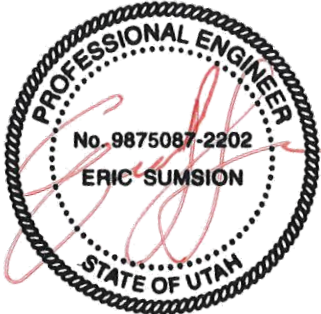
  
greenhouse structures  
ENGINEERING SERVICES & PRODUCTS CO.  
1440 16TH AVENUE SW  
DYERSVILLE, IA 52040  
P: 563.875.6113  
F: 563.875.2317  
WWW.ESAPCO.COM

ORDER #:  
**7578967**

  
651 W. GALENA PARK BLVD., STE. 101  
DRAPER, UTAH 84020  
PHONE (801) 950-1775  
WWW.VECTORSEE.COM

VSE Project Number: U1382-795-201

CUSTOMER INFORMATION: <b>FURST CONSTRUCTION COMPANY</b> 708 W NORTH TEMPLE SALT LAKE CITY, UT 84116-3352	STRUCTURE SKU # <b>G22012E04801S01</b>	STRUCTURE SIZE: <b>20' X 48'</b>
	SHEET TITLE: <b>BUILDING PLAN VIEW</b>	

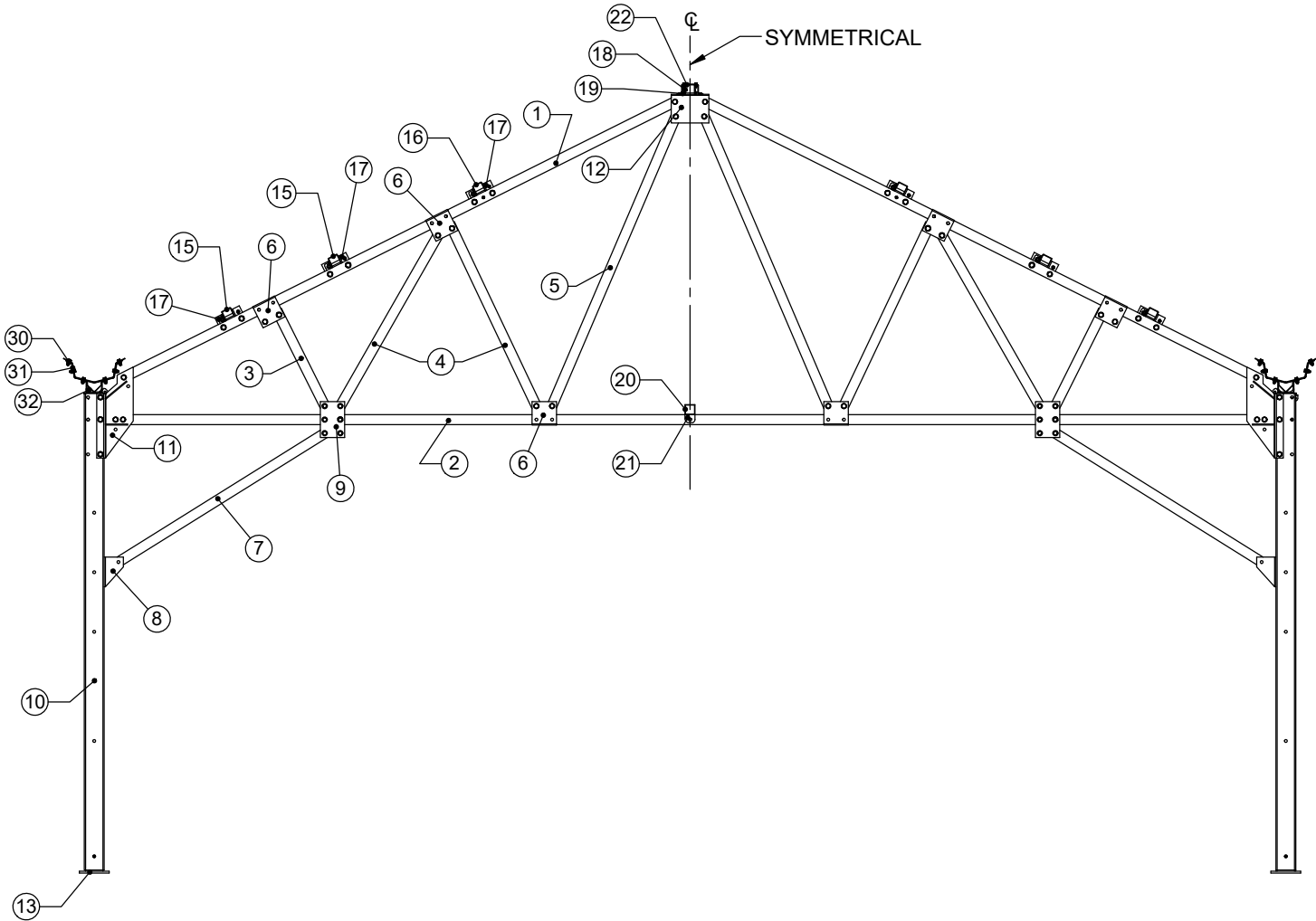


DRAWING DETAILS		
DRAWN BY: BL		CREATION DATE: 5/20/2020
REVISIONS:		
NO.	BY:	REVISION DATE:
1		
2		
3		
4		
NOT TO SCALE		SHEET SIZE: 11X17
SHEET:		
C1		

07/08/2020



NOTE: SEE SHEET [C1] FOR RAFTER STYLE LOCATIONS.



[D1] VIEW 1 - FRONT PROFILE (PART LOCATIONS)

HARDWARE SCHEDULE	
SKU	DESCRIPTION
108553	#10 X 3/4" WAFER HEAD SCREW
FA4482B	#14 X 1" TEK SCREW
107795	1/4" BOX BOLT
FAG102B	1/4" X 3/4" S.S. HEX BOLT
FAME16B	1/4" S.S. WASHER
FALB10B	1/4" S.S. HEX NUT
FAG330B	5/16" X 1" HEX BOLT
GS0047	5/16" GALV. RUBBER WASHER
FALB02B	5/16" HEX NUT
107797	3/8" BOX BOLT
108980	1/2" X 2 1/2" HEX BOLT (A325)
112722	1/2" X 3" HEX BOLT (A325)
GS0046	1/2" X 3 1/2" HEX BOLT (A325)
112524	1/2" X 4" HEX BOLT (A325)
106974	1/2" X 5" HEX BOLT (A325)
GS0051	1/2" X 5 1/2" HEX BOLT (A325)
106953	1/2" WASHER (STRUCTURAL)
106977	1/2" HEX NUT (STRUCTURAL)

DEVELOPED BY



greenhouse structures  
ENGINEERING SERVICES & PRODUCTS CO.  
1440 16TH AVENUE SW  
DYERSVILLE, IA 52040  
P: 563.875.6113  
F: 563.875.2317  
WWW.ESAPCO.COM







ORDER #:

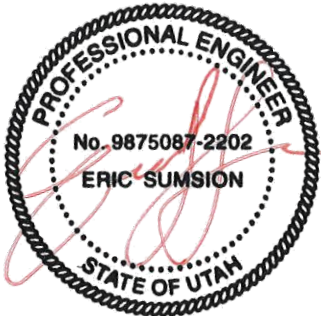
7578967



ENGINEERS  
651 W. GALENA PARK BLVD. STE. 101  
DRAPER, UTAH 84020  
PHONE (801) 950-1775  
WWW.VECTOREE.COM

VSE Project Number: U1382-795-201

ITEM	DESCRIPTION	MATERIAL	RAFTER 	RAFTER 	ITEM	DESCRIPTION	MATERIAL	RAFTERS  & 
1	TOP CHORD	2" X 2" - 14 GA GALV. RECT. TUBE	PG20ATC22G14S02	SAME AS RAFTER A	22	RIDGE RAIL MOUNT BRACKET	12 GA GALV. STEEL PLATE	GS0003
2	BOTTOM CHORD / ENDWALL HEADER	2" X 2" & 2" X 4"- 11 & 14 GA GALV. RECT. TUBE	SEE [E] SHEETS	PG20ABC22G14S02	23	SIDE HEADER	2" X 4" - 14 GA GALV. RECT. TUBE	SEE [F] SHEETS
3	WEB1	2" X 2" - 14 GA GALV. RECT. TUBE	N/A	PGS2XSW22L02250	24	SIDE HEADER CONN. BRACKET	STEEL PLATE, 3/16" THICK	(1X @  ; 2X @  ) PGBRKACS02
4	WEB2	2" X 2" - 14 GA GALV. RECT. TUBE	N/A	PGS2XSW22L04163	25	SIDE HEADER STRUT	2" X 2" ANGLE (12 GA GALV. STEEL PLATE)	SEE [F] SHEETS
5	WEB3	2" X 2" - 14 GA GALV. RECT. TUBE	N/A	PGS2XSW22L06544	26	ENDWALL / SIDEWALL GIRTS	HAT CHANNEL - 16 GA	SEE [E] & [F] SHEETS
6	WEB CONN. BRACKET	12 GA GALV. STEEL PLATE	N/A	(2X) PGBRKADS04	27	CABLE ASSEMBLY	SEE SHEET [G7]	SEE SHEET [G7]
7	BOTTOM CHORD STRUT / EW HEADER STRUT	2" X 2" - 14 GA GALV. RECT. TUBE	SEE [E] SHEETS	PGS2XSW22L06700	28	CABLE CONN. BRACKET	1/8", 12 GA STEEL PLATE	SEE [G] SHEETS
8	BOTTOM CHORD STRUT CONN. BRACKET1	3/16" & 12 GA GALV. STEEL PLATE	SEE [E] SHEETS	GHP0265BS12 / PGBRKBDS01	29	ENDWALL COLUMNS	4" X 4"- 13 GA GALV. RECT. TUBE	SEE [E] SHEETS
9	BOTTOM CHORD STRUT CONN. BRACKET2	12 GA GALV. STEEL PLATE	SEE [E] SHEETS	(2X) PGBRKADS02	30	GUTTER	14 GA GALV. STEEL PLATE	111909
10	ANCHOR POST	4" X 4" - 8 GA GALV. RECT. TUBE	PG4X4G08L144B60	SAME AS RAFTER A	31	GUTTER SADDLE	14 GA GALV. STEEL PLATE	111908
11	CHORD TO ANCHOR POST CONN. BRACKET	STEEL PLATE, 3/16" THICK	PGBRKABS01 / PGBRKABS02	SAME AS RAFTER A	32	GUTTER POST TOP	12 GA GALV. STEEL PLATE	GS0001
12	TOP CHORD PEAK CONN. BRACKET	12 GA GALV. STEEL PLATE	PGBRKAES01	SAME AS RAFTER A				
13	EXTERIOR WALL BASE PLATE ASSEMBLY	STEEL PLATE, 3/8" THICK	110857L / 110857R	106762				
14	INTERIOR WALL BASE PLATE ASSEMBLY	STEEL PLATE, 3/8" THICK	N/A	N/A				
15	TOP CHORD LATERAL BRACE1	2" X 3" - 14 GA GALV. RECT. TUBE	PG2X3LB14L14100	SAME AS RAFTER A				
16	TOP CHORD LATERAL BRACE2	2" X 4" - 11 GA GALV. RECT. TUBE	PG2X4LB11L14100	SAME AS RAFTER A				
17	TC LATERAL BRACE CONN. BRACKET	12 GA GALV. STEEL PLATE	(2X) PGBRKAQS01	(4X) PGBRKAQS01				
18	PEAK LATERAL BRACE	2" X 4" - 14 GA GALV. RECT. TUBE	PG2X4PB14L14175	SAME AS RAFTER A				
19	PEAK LATERAL BRACE CONN. BRACKET	12 GA GALV. STEEL PLATE	GHP0265BS10 / GHP0265BS11	(2X) GHP0265BS10 / (2X) GHP0265BS11				
20	BOTTOM CHORD LATERAL BRACE	2" X 2" - 14 GA GALV. RECT. TUBE	PG22LB14AL14375	SAME AS RAFTER A				
21	BC LATERAL BRACE CONN. BRACKET	12 GA GALV. STEEL PLATE	111895S03	SAME AS RAFTER A				



STRUCTURE SKU #  
G22012E04801S01

CUSTOMER INFORMATION:  
FURST CONSTRUCTION COMPANY  
708 W NORTH TEMPLE  
SALT LAKE CITY, UT 84116-3382

STRUCTURE SIZE:  
20' X 48'

SHEET TITLE:  
FRONT PROFILE & MATERIAL SPECS

DRAWING DETAILS

DRAWN BY: BL      CREATION DATE: 5/20/2020

REVISIONS:

NO.	BY:	REVISION DATE:
1		
2		
3		
4		

NOT TO SCALE      SHEET SIZE: 11X17

SHEET:

D1



NOTES:

ADDITIONAL FRAMING, IF REQUIRED, WILL BE CUT IN THE FIELD USING 2" X 4" RECTANGULAR TUBING AND [115790] INSERTS.

SEE DOOR KIT INSTRUCTIONS FOR ADDITIONAL INSTALLATION INFORMATION (IF APPLICABLE).

GIRTS / FRAMING MAY REQUIRE FIELD CUTTING TO FIT.

SEE SHEET [J1] FOR ENDWALL COLUMN REACTIONS.

ENDWALL COLUMNS:

[C1] PG4X4EC13L17200

GIRT / DOOR FRAME:

[GT] GRT2X2G16L144

[2X4] R24P120 (2" X 4" X 14GA TUBE)

ENDWALL HEADER:

[H1] PG24EHA11L063S2

[H2] PGH2X2G14L09950

BRACKETS:

[B1] PGBRKBGS01 (2X PER LOCATION)

[B2] GHP0265BS12 / PGBRKBDS01

COLUMN INSERTS:

[T1] PG4X4INSS01 (3.5"X3.5"X11GA TUBE / 3/16" PLATE)

[T2] 106762 (3.5"X3.5"X11GA TUBE / 3/8" PLATE)

ENDWALL HEADER STRUT:

[S] PGS2XSW22L06587

FRAME-OUT SCHEDULE

CALL-OUT	DESCRIPTION	ROUGH OPENING
[A]	6'-0" X 7'-0" DOUBLE DOOR	VERIFY

LINE STYLES:

BRACKETS:

ENDWALL COLUMN:

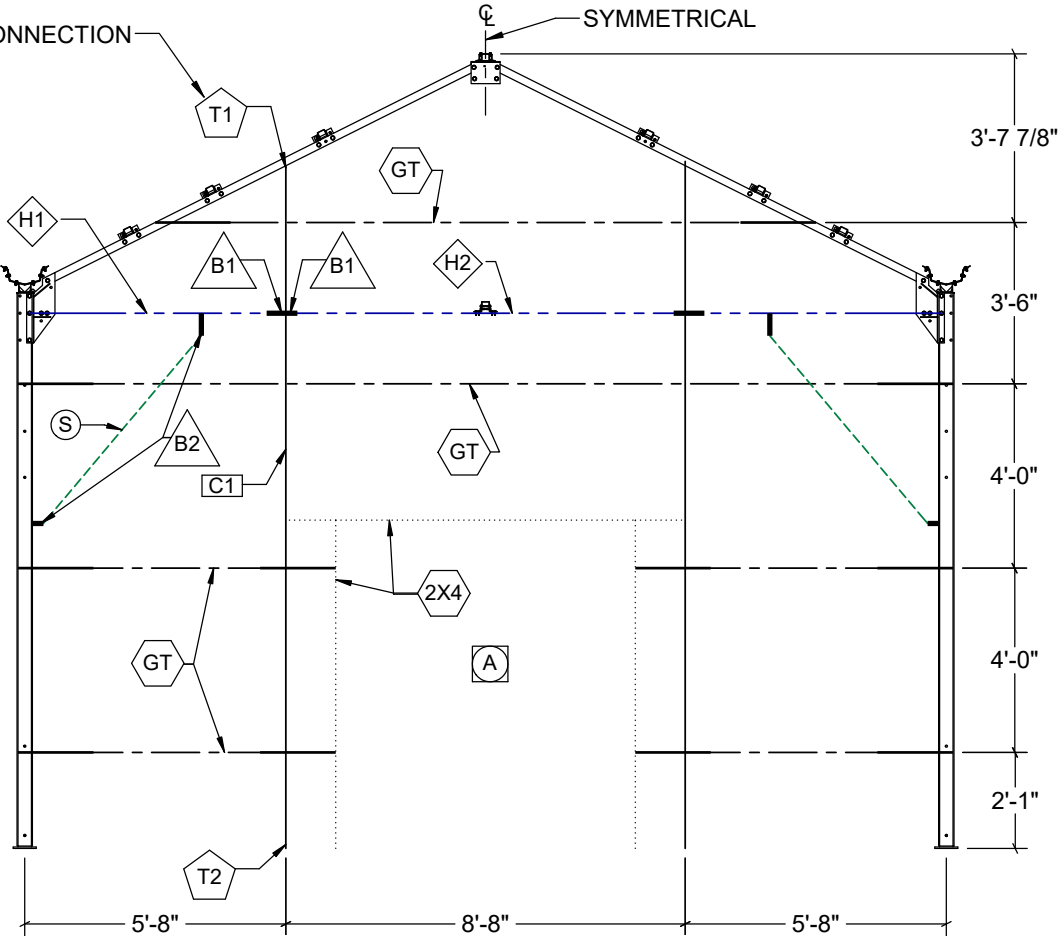
ENDWALL HEADER:

GIRTS:

ENDWALL HEADER STRUT:

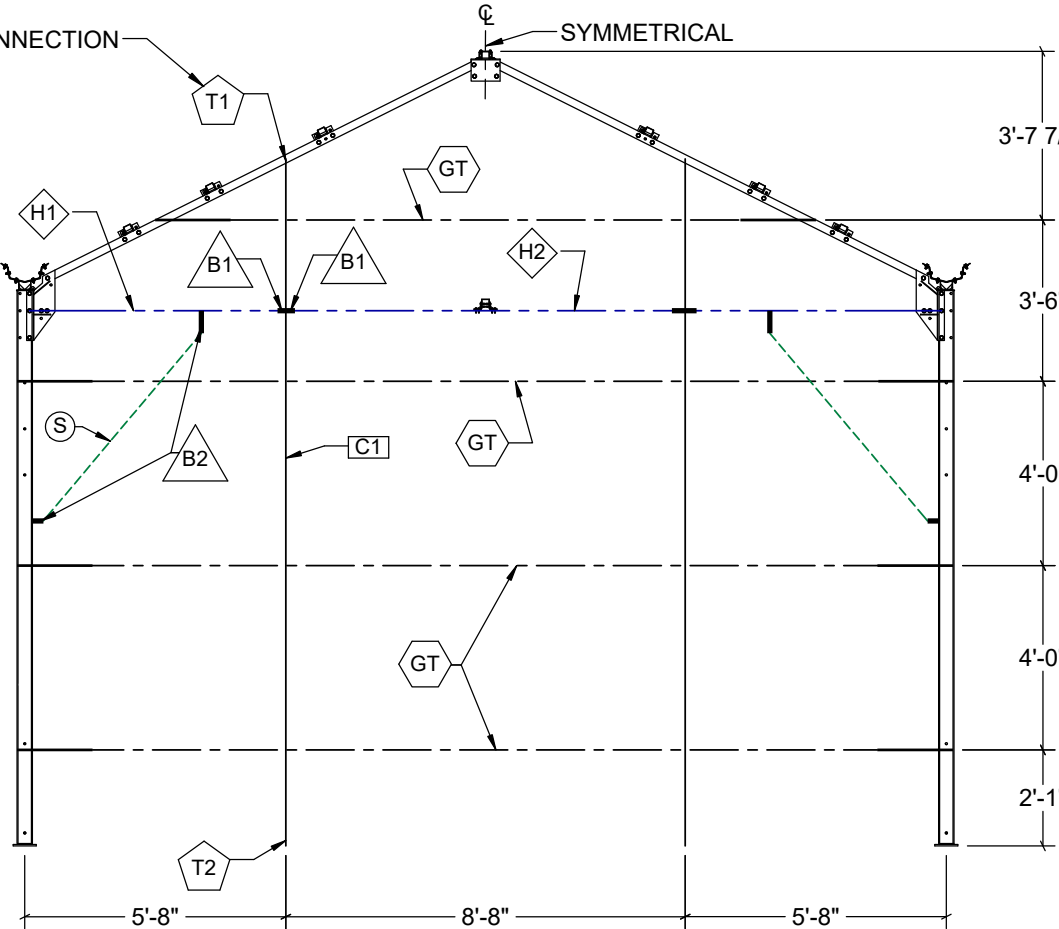
ENDWALL DOOR (IF APPLICABLE):

SEE [G6] VIEW 2 FOR "T1" CONNECTION DETAILS IN THIS VIEW.



[E1] VIEW 1- FRONT ENDWALL PROFILE

SEE [G6] VIEW 2 FOR "T1" CONNECTION DETAILS IN THIS VIEW.



24 [E1] VIEW 2- BACK ENDWALL PROFILE

DEVELOPED BY

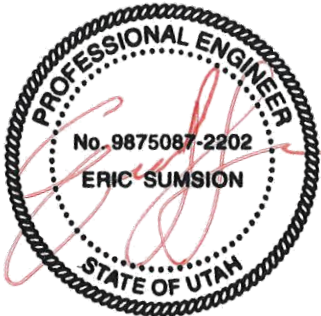
  
greenhouse structures  
ENGINEERING SERVICES & PRODUCTS CO.  
1440 16TH AVENUE SW  
DYERSVILLE, IA 52040  
P: 563.875.6113  
F: 563.875.2317  
WWW.ESAPCO.COM

ORDER #:  
**7578967**

  
ENGINEERS  
651 W. GALENA PARK BLVD., STE. 101  
DRAPER, UTAH 84020  
PHONE (801) 950-1775  
WWW.VECTOREE.COM

VSE Project Number: U1382-795-201

STRUCTURE SKU #: <b>G22012E04801S01</b>	STRUCTURE SIZE: <b>20' X 48'</b>
CUSTOMER INFORMATION: <b>FURST CONSTRUCTION COMPANY</b> 708 W NORTH TEMPLE SALT LAKE CITY, UT 84116-3352	SHEET TITLE: <b>ENDWALL PROFILES</b>



DRAWING DETAILS

DRAWN BY: **BL** CREATION DATE: **5/20/2020**

REVISIONS:

NO.	BY:	REVISION DATE:
1		
2		
3		
4		

NOT TO SCALE SHEET SIZE: 11X17

SHEET:  
**E1**



**NOTES:**

ADDITIONAL FRAMING, IF REQUIRED, WILL BE CUT IN THE FIELD USING 2" X 4" RECTANGULAR TUBING AND [115790] INSERTS.

SEE DOOR KIT INSTRUCTIONS FOR ADDITIONAL INSTALLATION INFORMATION (IF APPLICABLE).

GIRTS / FRAMING MAY REQUIRE FIELD CUTTING TO FIT.

SEE SHEET [J1] FOR INTERIOR PARTITION COLUMN REACTIONS.

**INTERIOR PARTITION COLUMNS:**

[C2] PG4X4EC13L13200

**GIRT / DOOR FRAME:**

- [GT] GRT2X2G16L144
- [2X4] R24P120 (2" X 4" X 14GA TUBE)
- [G2] GRT3X2G16L144

- COLUMN INSERTS:**
- [T1] PG4X4INSS01 (3.5"X3.5"X11GA TUBE / 3/16" PLATE)
  - [T2] 106762 (3.5"X3.5"X11GA TUBE / 3/8" PLATE)

FRAME-OUT SCHEDULE		
CALL-OUT	DESCRIPTION	ROUGH OPENING
[B]	3'-0" X 7'-0" SINGLE DOOR	VERIFY

**LINE STYLES:**

BRACKETS: \_\_\_\_\_

ENDWALL COLUMN: \_\_\_\_\_

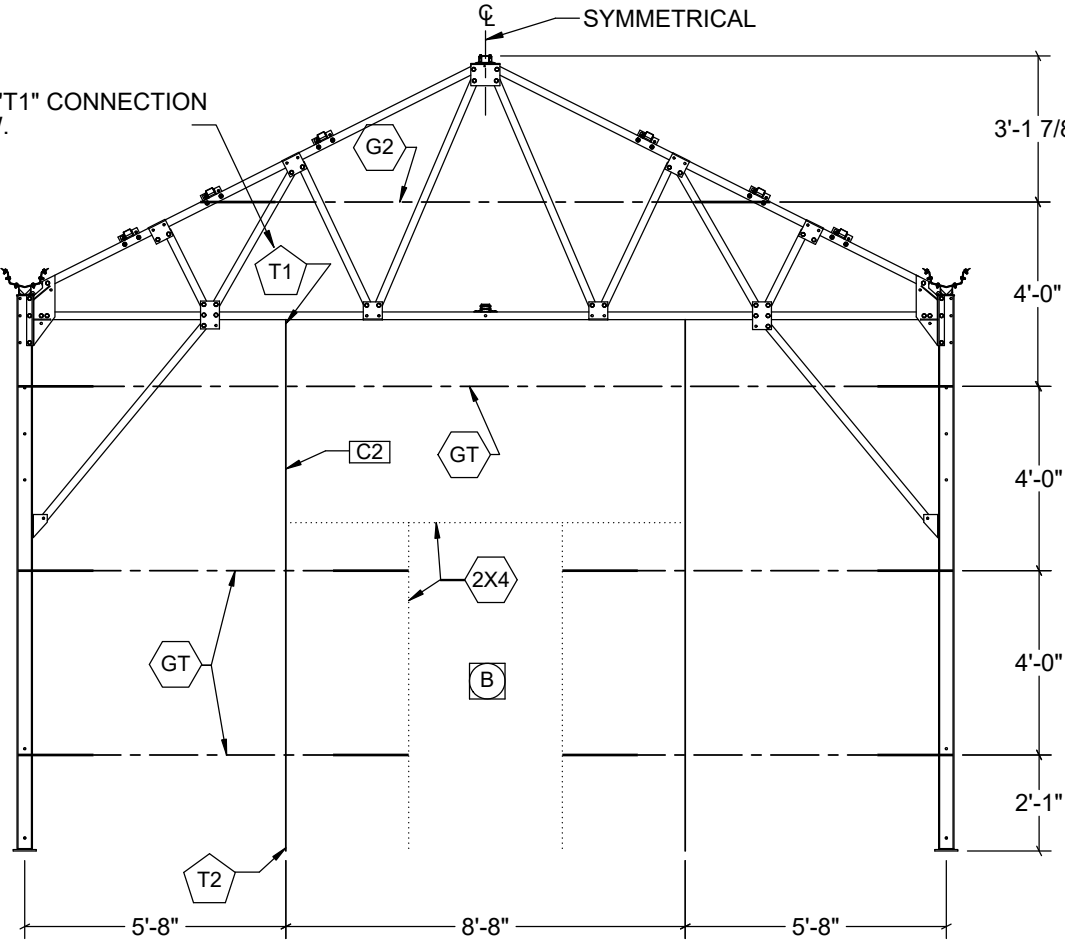
ENDWALL HEADER: \_\_\_\_\_

GIRTS: \_\_\_\_\_

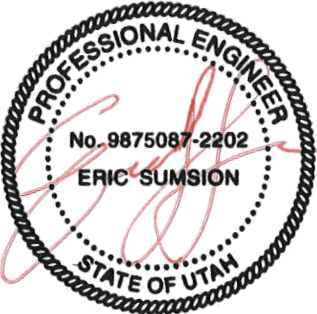
ENDWALL HEADER STRUT: \_\_\_\_\_

ENDWALL DOOR (IF APPLICABLE): \_\_\_\_\_

SEE [G6] VIEW 9 FOR "T1" CONNECTION DETAILS IN THIS VIEW.



[E2] VIEW 1- INTERIOR PARTITION WALL PROFILE



DEVELOPED BY



growspan

greenhouse structures

ENGINEERING SERVICES & PRODUCTS CO.

1440 16TH AVENUE SW  
DYERSVILLE, IA 52040  
P: 563.875.6113  
F: 563.875.2317  
WWW.ESAPCO.COM

ORDER #:  
**7578967**



VECTOR

ENGINEERS

651 W. GALENA PARK BLVD., STE. 101  
DRAPER, UTAH 84020  
PHONE (801) 950-1775  
WWW.VECTOREE.COM




VSE Project Number: U1382-795-201

CUSTOMER INFORMATION: <b>FURST CONSTRUCTION COMPANY</b> 708 W NORTH TEMPLE SALT LAKE CITY, UT 84116-3352	STRUCTURE SKU #: <b>G22012E04801S01</b>	STRUCTURE SIZE: <b>20' X 48'</b>
	SHEET TITLE: <b>INTERIOR PARTITION WALL PROFILES</b>	


DRAWING DETAILS		
DRAWN BY: BL		CREATION DATE: 5/20/2020
REVISIONS:		
NO.	BY:	REVISION DATE:
1		
2		
3		
4		
NOT TO SCALE		SHEET SIZE: 11X17
SHEET:		
E2		




**NOTE:** REFER TO SHEETS [A1] / [D1] FOR FRONT PROFILE OF BRACE LOCATIONS & SHEET [C1] FOR PLAN VIEW OF DOOR LOCATIONS (IF APPLICABLE).

FRAME-OUT SCHEDULE		
CALL-OUT	DESCRIPTION	ROUGH OPENING
	3'-0" X 7'-0" SINGLE DOOR	VERIFY
	2'-0" EXHAUST FAN	VERIFY
	15'-0" X 3'-0" EVAP COOLER	VERIFY

BACK OF STRUCTURE

 =MID-BAY GUTTER SPLICE LOCATION - SEE SHEET [G3]  
 FOR ASSEMBLY DETAIL (IF APPLICABLE).

 =MID-BAY GUTTER SUPPORT LOCATION - SEE SHEET [G3]  
 FOR ASSEMBLY DETAIL (IF APPLICABLE).

Left side of structure (Exterior wall)

EGE

GT

C

12'-0" TYP.

1'-9"

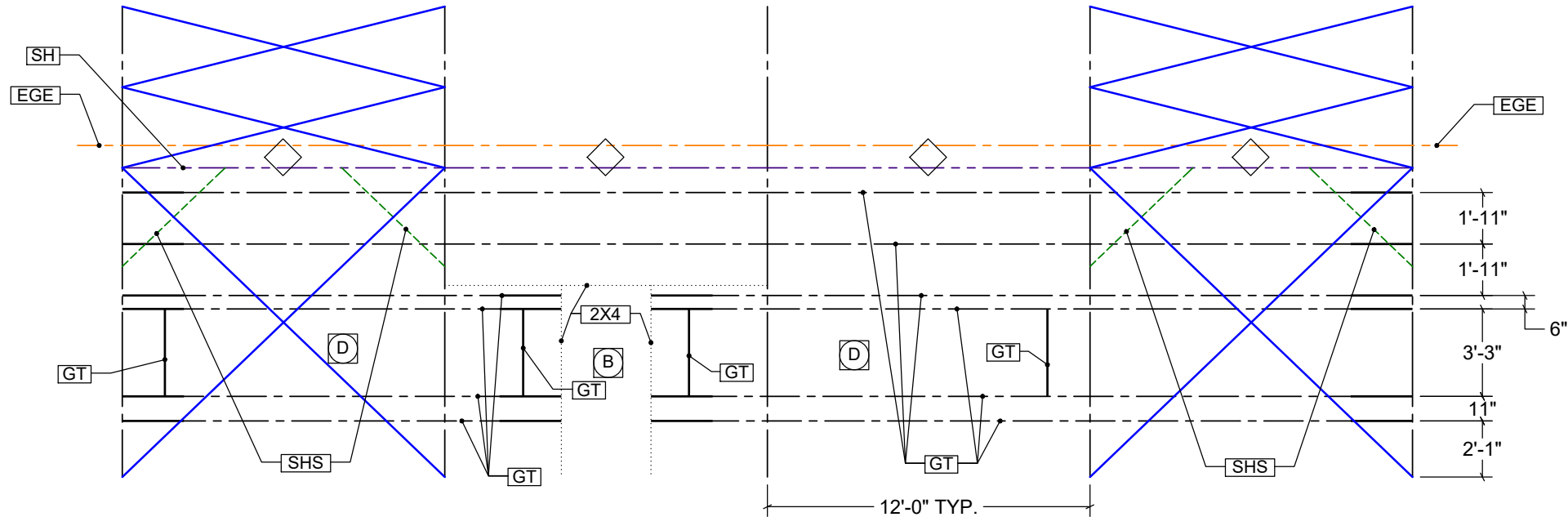
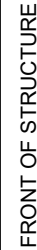
2'-4 1/2"

2'-1"

SHS

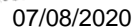
ORDER #:	<b>7578967</b>

CUSTOMER INFORMATION: <b>FURST CONSTRUCTION COMPANY</b> 708 W NORTH TEMPLE SALT LAKE CITY, UT 84116-3352		STRUCTURE SKU #: <b>G22012E04801S01</b>
		STRUCTURE SIZE: <b>20' X 48'</b>
SHEET TITLE: <b>SIDE PROFILES</b>		



**[F1] VIEW 2 - RIGHT SIDE OF STRUCTURE (EXTERIOR WALL)**

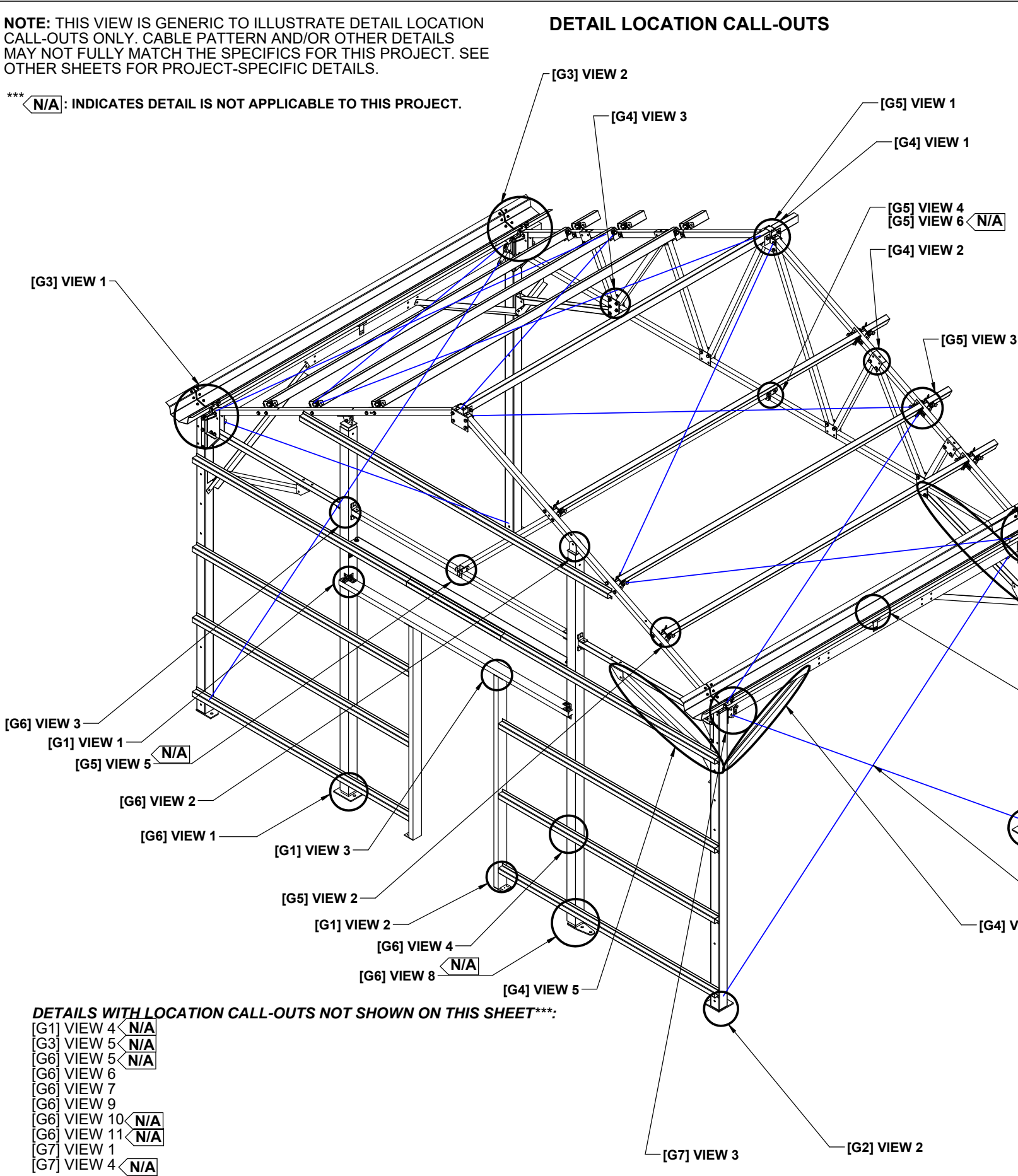
## BACK OF STRUCTURE





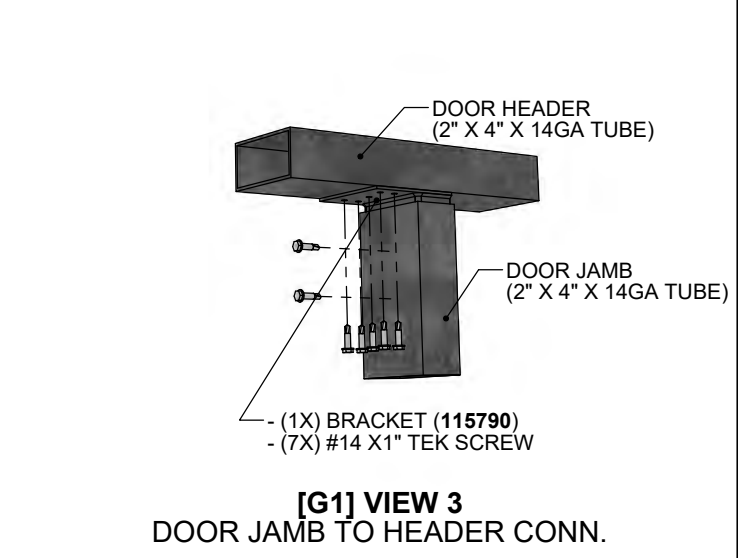
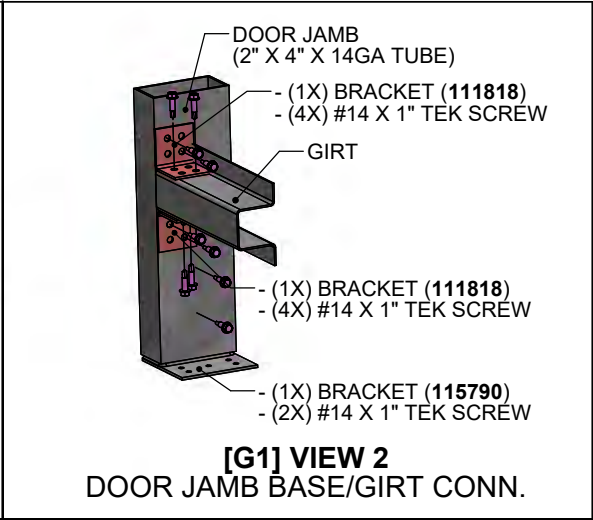
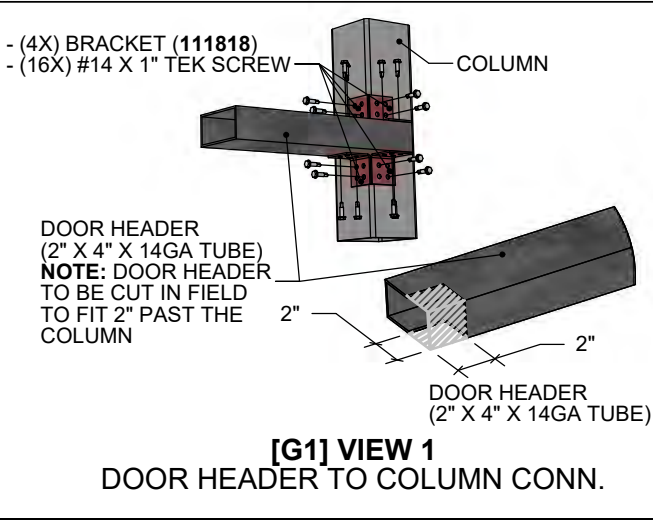
NOTE: THIS VIEW IS GENERIC TO ILLUSTRATE DETAIL LOCATION CALL-OUTS ONLY. CABLE PATTERN AND/OR OTHER DETAILS MAY NOT FULLY MATCH THE SPECIFICS FOR THIS PROJECT. SEE OTHER SHEETS FOR PROJECT-SPECIFIC DETAILS.

\*\*\* N/A : INDICATES DETAIL IS NOT APPLICABLE TO THIS PROJECT.



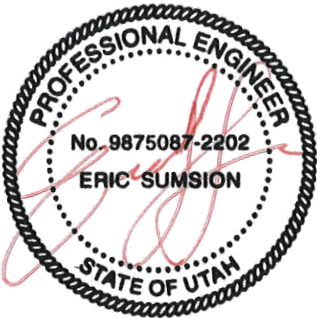
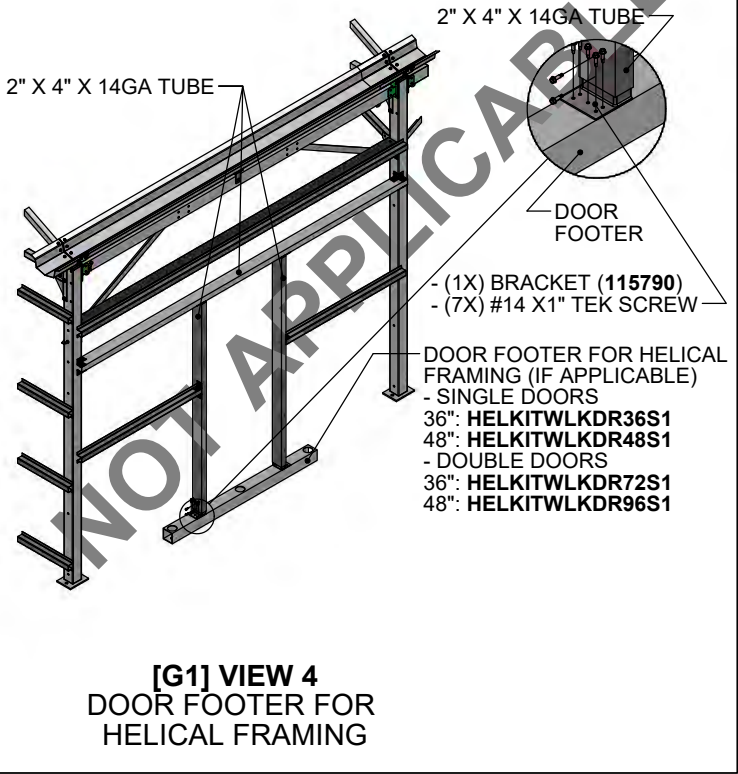
DETAILS WITH LOCATION CALL-OUTS NOT SHOWN ON THIS SHEET\*\*\*:

- [G1] VIEW 4 N/A
- [G3] VIEW 5 N/A
- [G6] VIEW 5 N/A
- [G6] VIEW 6
- [G6] VIEW 7
- [G6] VIEW 9
- [G6] VIEW 10 N/A
- [G6] VIEW 11 N/A
- [G7] VIEW 1
- [G7] VIEW 4 N/A



NOTE: VERIFY ROUGH OPENING PRIOR TO CUTTING DOOR FRAMING AND GIRTS.

NOTE: THIS VIEW IS GENERIC TO ILLUSTRATE MAN DOOR FRAMING CONNECTIONS. RAFTER LAYOUT AND / OR OTHER DETAILS MAY NOT FULLY MATCH THE SPECIFICS FOR THIS PROJECT. SEE OTHER SHEETS FOR PROJECT-SPECIFIC DETAILS.



07/08/2020

DEVELOPED BY  
**growspan**  
greenhouse structures  
ENGINEERING SERVICES & PRODUCTS CO.  
1440 16TH AVENUE SW  
DYERSVILLE, IA 52040  
P: 563.875.6113  
F: 563.875.2317  
WWW.ESAPCO.COM

ORDER #:  
**7578967**

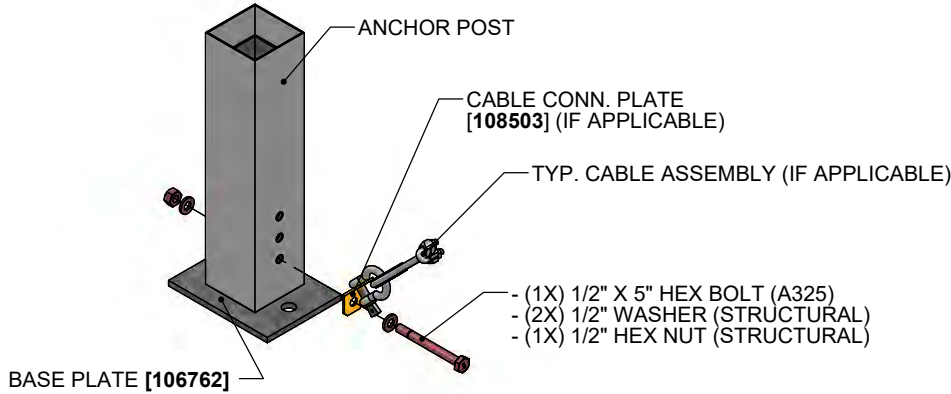
**VECTOR**  
ENGINEERS  
651 W. GALENA PARK BLVD., STE. 101  
DRAPER, UTAH 84020  
PHONE (801) 990-1775  
WWW.VECTORSE.COM

VSE Project Number: U1382-795-201

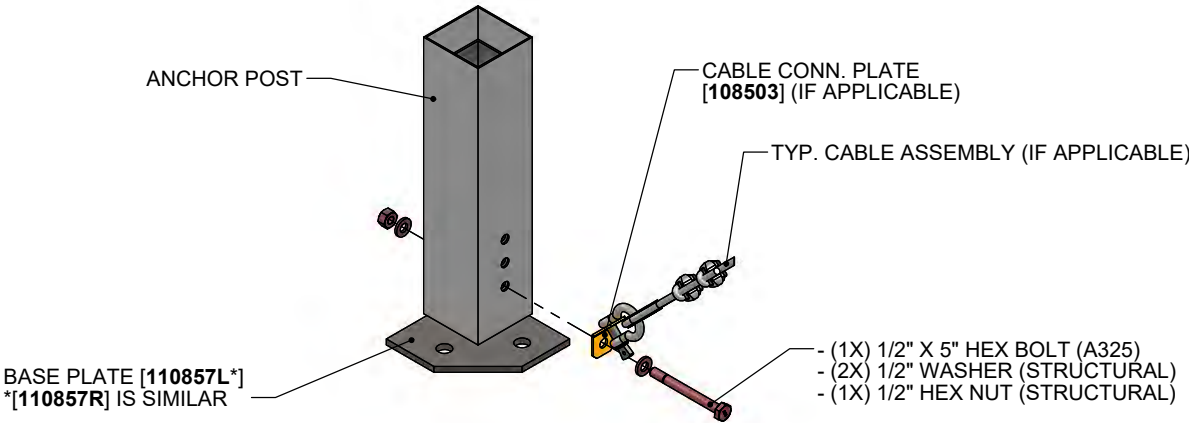
STRUCTURE SKU # <b>G22012E04801S01</b>	STRUCTURE SIZE: <b>20' X 48'</b>
CUSTOMER INFORMATION: <b>FURST CONSTRUCTION COMPANY</b> 708 W NORTH TEMPLE SALT LAKE CITY, UT 84116-3382	SHEET TITLE: <b>DETAIL LOCATIONS &amp; DOOR FRAMING DETAILS</b>

DRAWING DETAILS	
DRAWN BY: <b>BL</b>	CREATION DATE: <b>5/20/2020</b>
REVISIONS:	
NO.	REVISION DATE:
1	
2	
3	
4	
NOT TO SCALE SHEET SIZE: 11X17	
SHEET:	
<b>G1</b>	



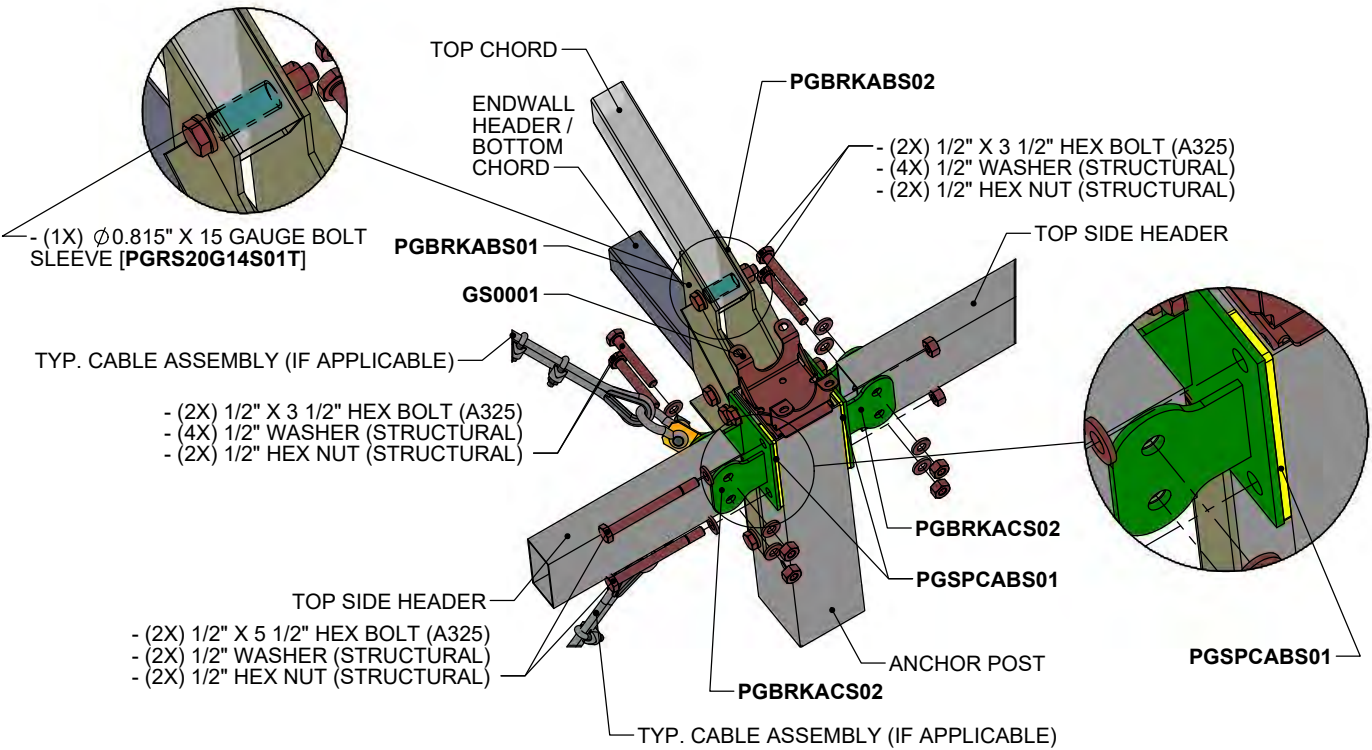


[G2] VIEW 1  
ANCHOR POST BASE [106762] CONN.



[G2] VIEW 2  
CORNER ANCHOR POST BASE [110857L/R] CONN.

NOTE: [PGSPCABS01] SHALL BE INSTALLED AT EXTERIOR WALLS ONLY.



[G2] VIEW 3  
TOP SIDE HEADER TO ANCHOR POST CONN.

DEVELOPED BY

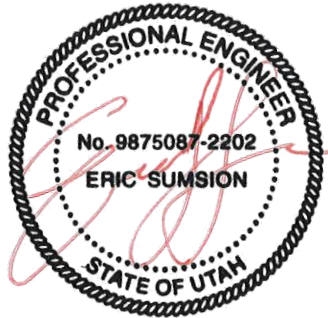
  
greenhouse structures  
ENGINEERING SERVICES & PRODUCTS CO.  
1440 16TH AVENUE SW  
DYERSVILLE, IA 52040  
P: 563.875.6113  
F: 563.875.2317  
WWW.ESAPCO.COM

ORDER #:  
**7578967**

  
ENGINEERS  
651 W. GALENA PARK BLVD., STE. 101  
DRAPER, UTAH 84020  
PHONE (801) 950-1775  
WWW.VECTOREE.COM

VSE Project Number: U1382-795-201

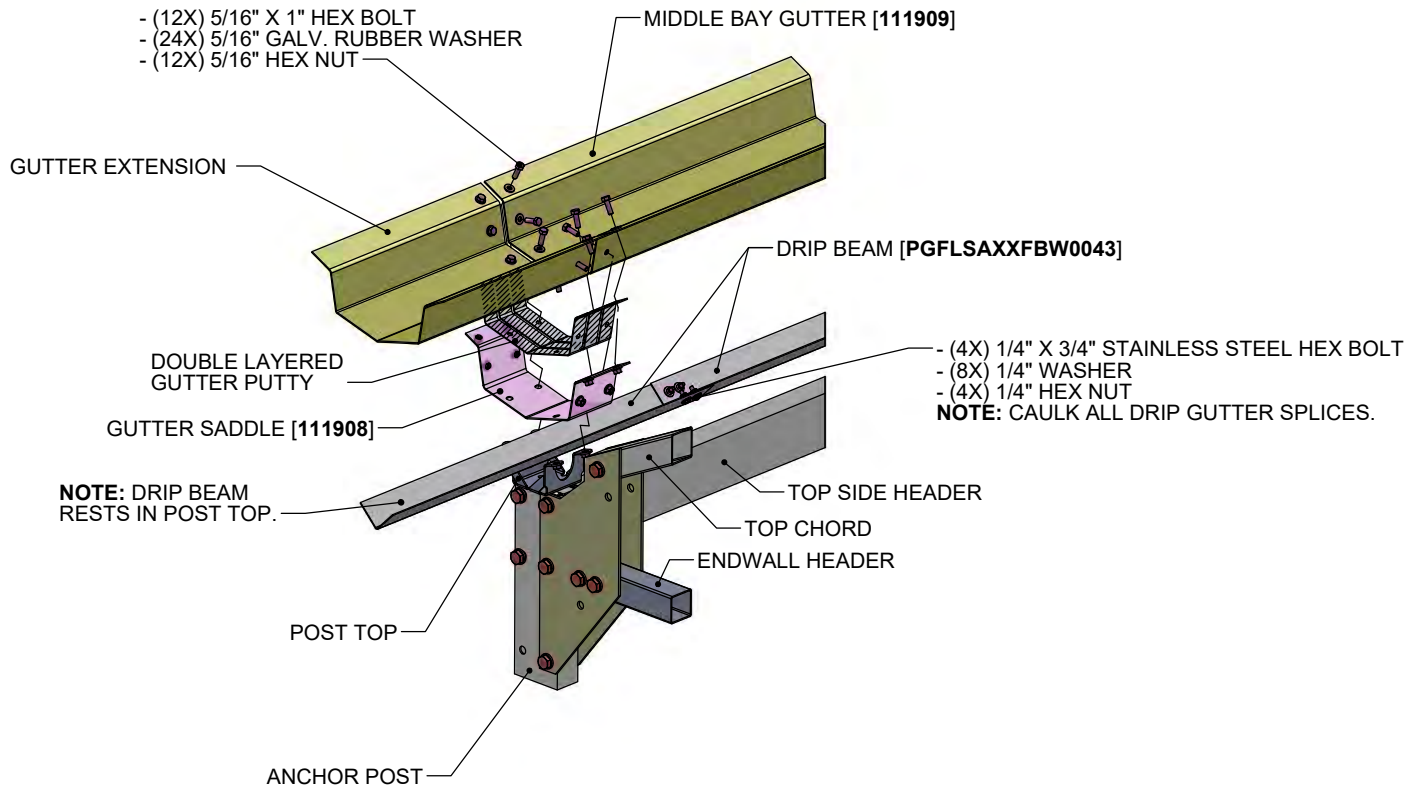
CUSTOMER INFORMATION: <b>FURST CONSTRUCTION COMPANY</b> 708 W NORTH TEMPLE SALT LAKE CITY, UT 84116-3382	STRUCTURE SKU #: <b>G22012E04801S01</b>	STRUCTURE SIZE: <b>20' X 48'</b>
	SHEET TITLE: <b>ANCHOR POST CONNECTION DETAILS</b>	



DRAWING DETAILS		
DRAWN BY: BL		CREATION DATE: 5/20/2020
REVISIONS:		
NO.	BY:	REVISION DATE:
1		
2		
3		
4		
NOT TO SCALE		SHEET SIZE: 11X17
SHEET:		
G2		

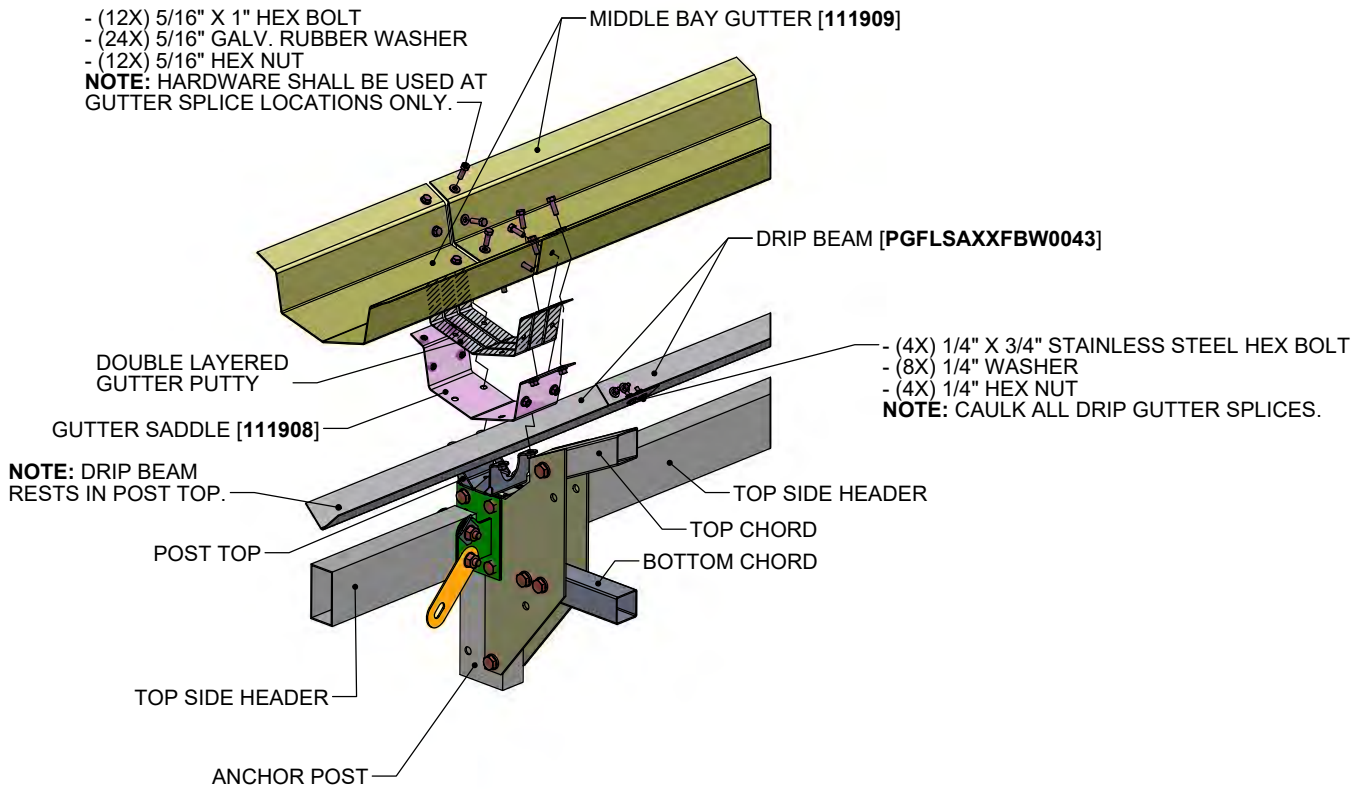


NOTE: SOME OF THE ASSEMBLED ITEMS SHOWN IN THIS VIEW MAY VARY SLIGHTLY IN SIZE OR CONN. DETAIL.

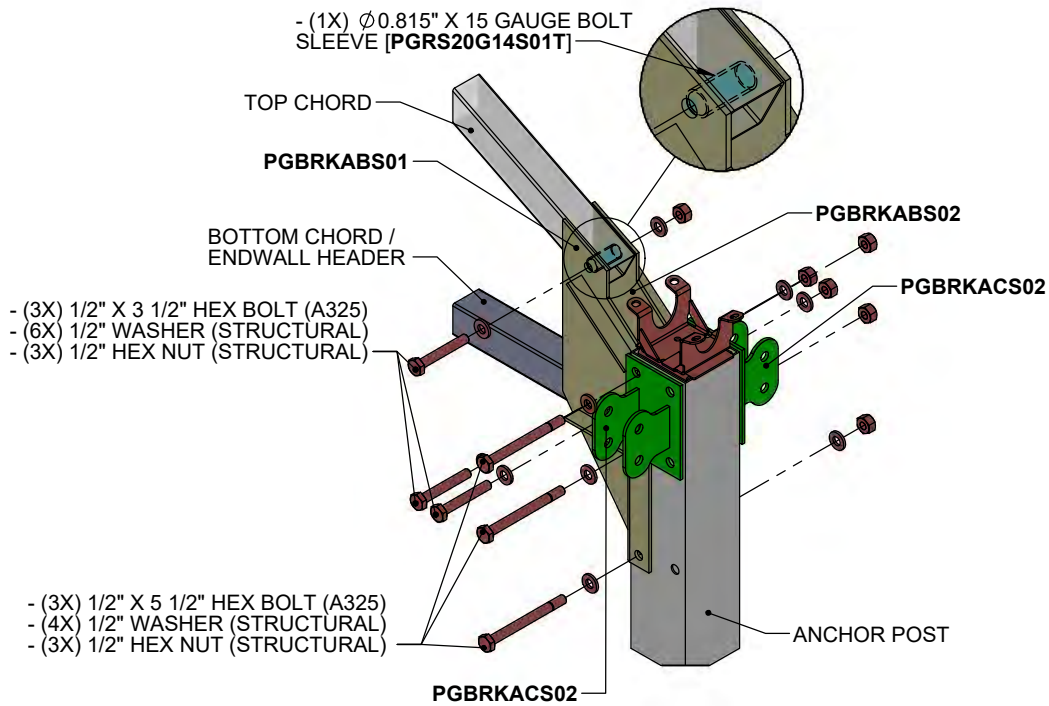


[G3] VIEW 1  
GUTTER CONN. (END RAFTER)

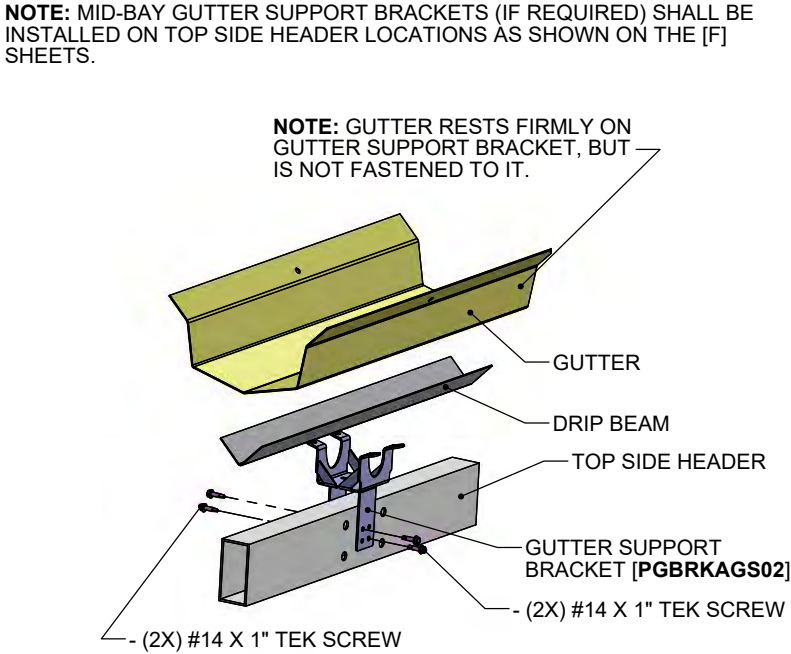
NOTE: SOME OF THE ASSEMBLED ITEMS SHOWN IN THIS VIEW MAY VARY SLIGHTLY IN SIZE OR CONN. DETAIL.



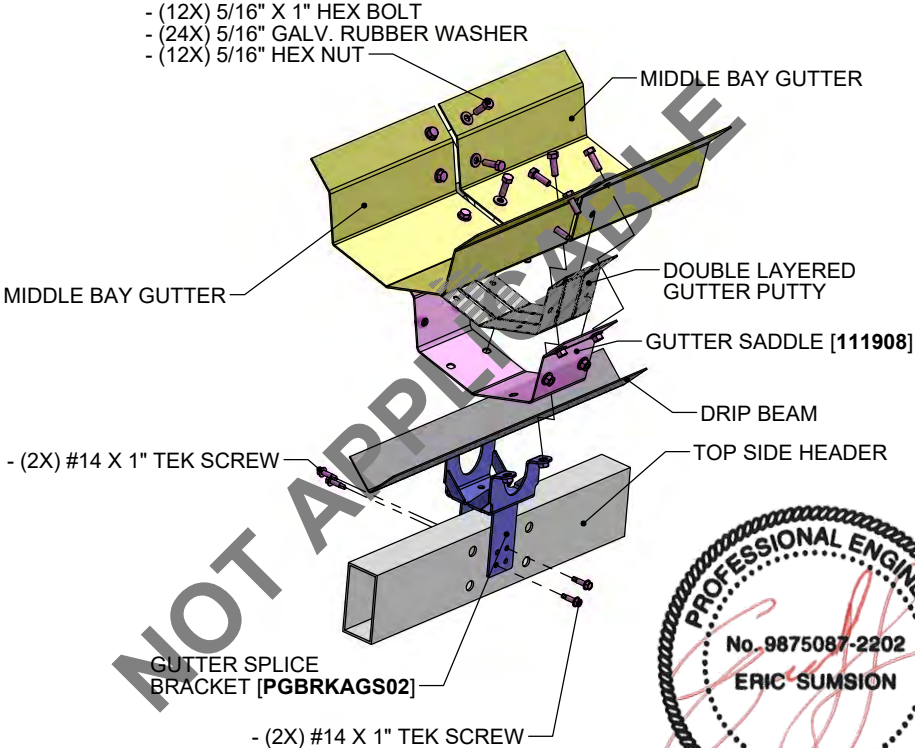
[G3] VIEW 2  
GUTTER CONN. (MID RAFTER)



[G3] VIEW 3  
RAFTER TO ANCHOR POST CONN.



[G3] VIEW 4  
MID-BAY GUTTER SUPPORT BRACKET CONN.

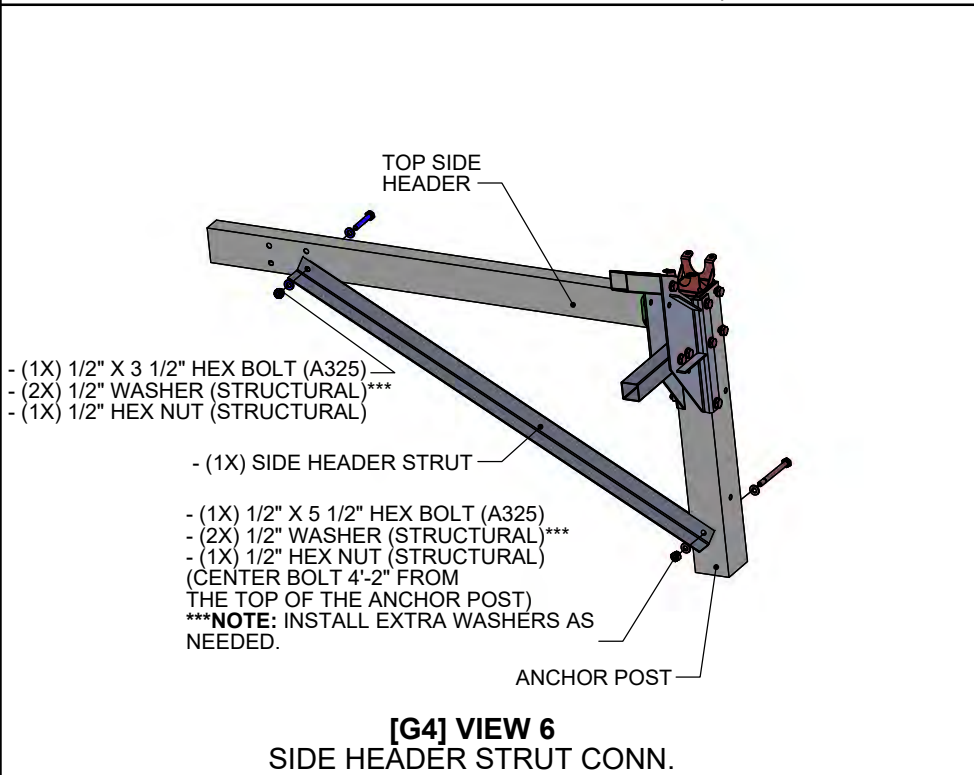
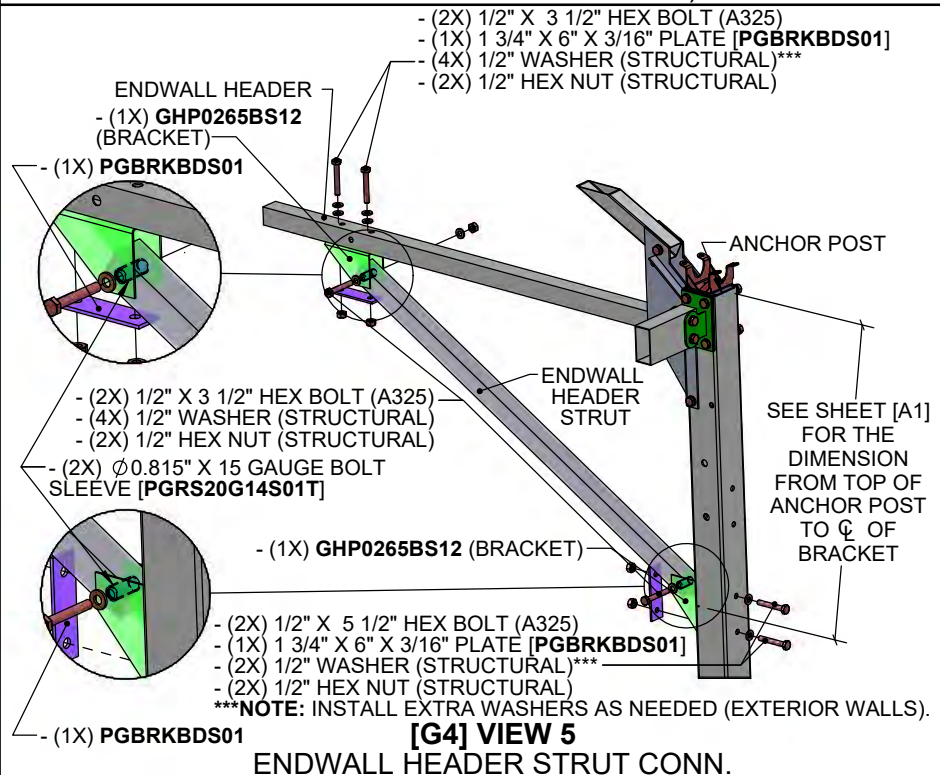
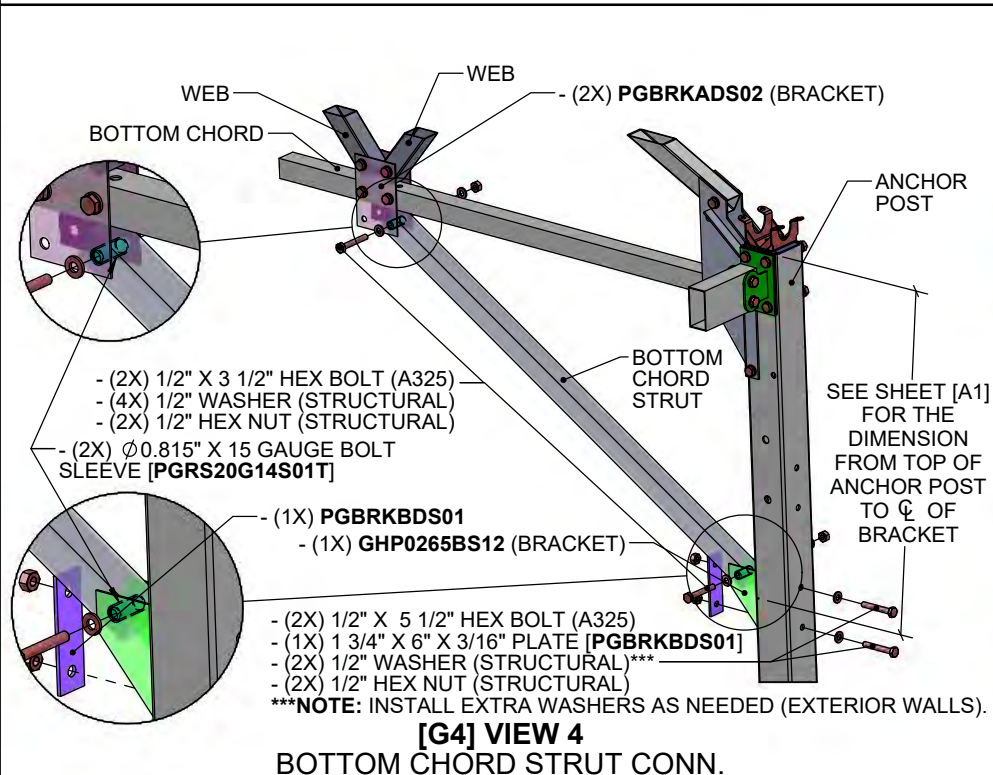
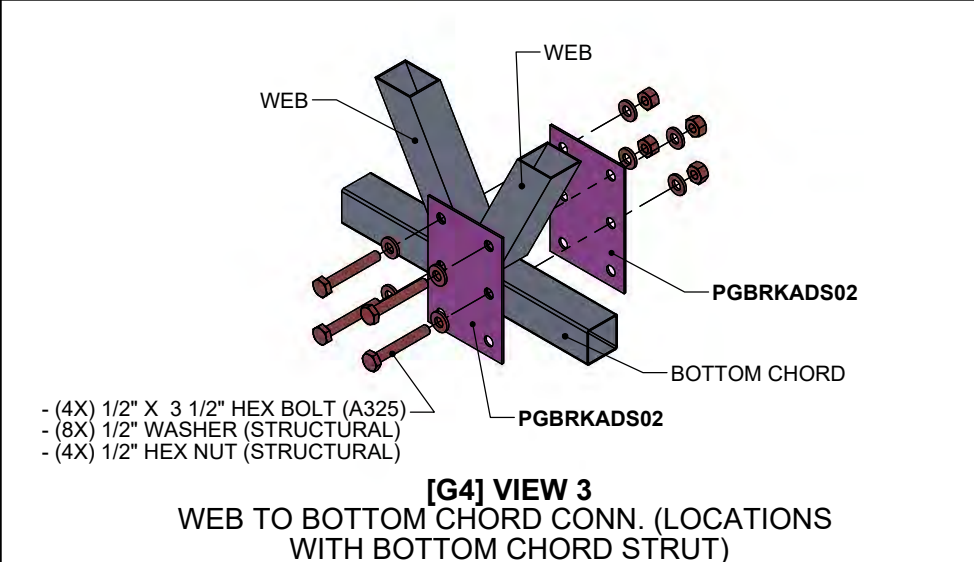
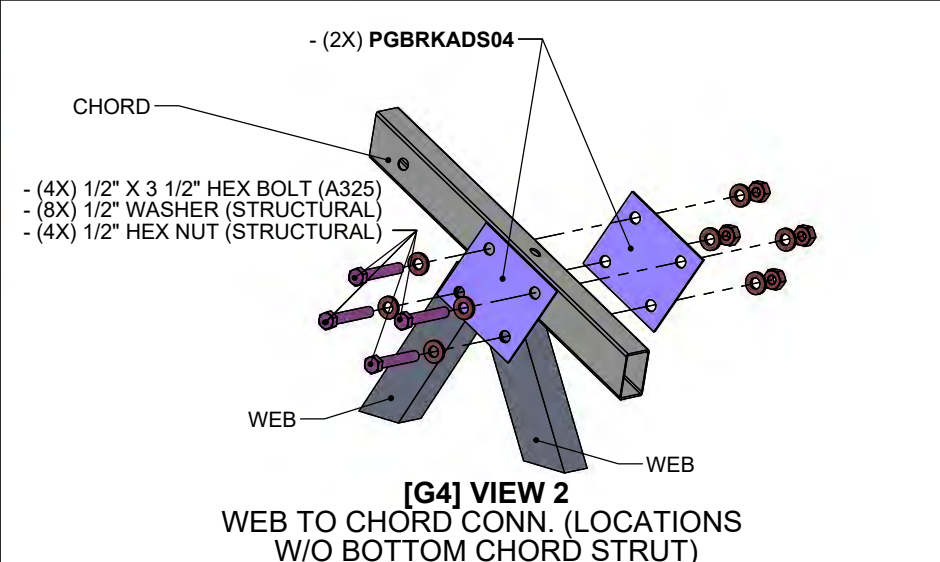
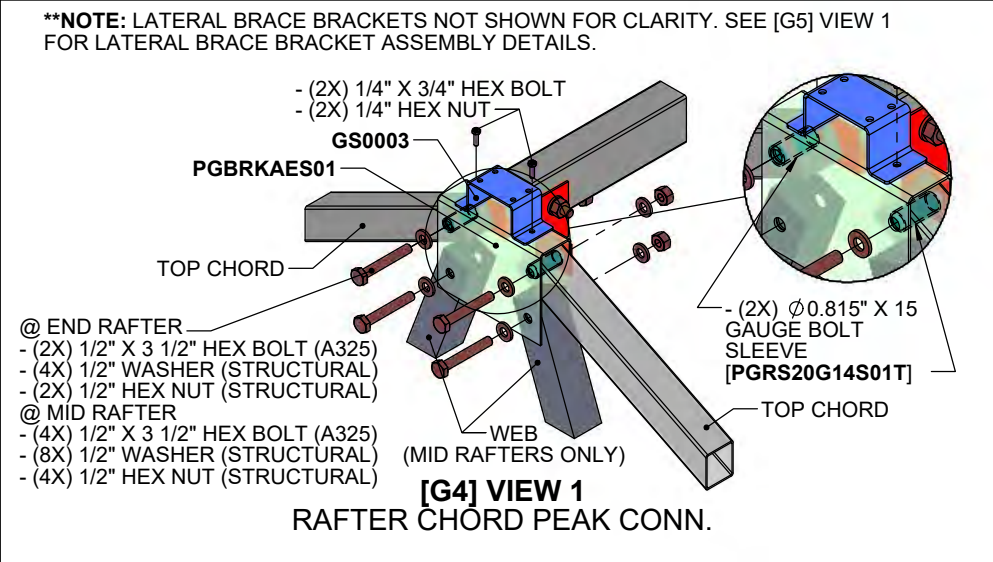


[G3] VIEW 5  
MID-BAY GUTTER SPLICE BRACKET CONN.

STRUCTURE SKU # <b>G22012E04801S01</b>	STRUCTURE SIZE: <b>20' X 48'</b>	SHEET TITLE: <b>GUTTER/RAFTER CHORD CONNECTION DETAILS</b>
CUSTOMER INFORMATION: <b>FURST CONSTRUCTION COMPANY</b> 708 W NORTH TEMPLE SALT LAKE CITY, UT 84116-3382		

DRAWING DETAILS		
DRAWN BY: <b>BL</b>	CREATION DATE: <b>5/20/2020</b>	
REVISIONS:		
NO.	BY:	REVISION DATE:
1		
2		
3		
4		
NOT TO SCALE		SHEET SIZE: 11X17
SHEET:		<b>G3</b>





DEVELOPED BY  
**growspan**  
greenhouse structures  
ENGINEERING SERVICES & PRODUCTS CO.  
1440 16TH AVENUE SW  
DYERSVILLE, IA 52040  
P: 563.875.6113  
F: 563.875.2317  
WWW.ESAPCO.COM

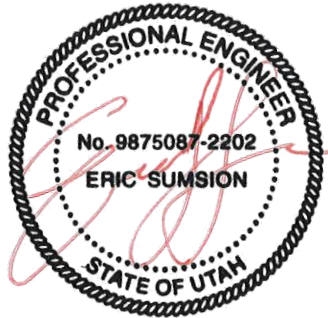
ORDER #:  
**7578967**

**VECTOR**  
ENGINEERS  
651 W. GALENA PARK BLVD., STE. 101  
DRAPER, UTAH 84020  
PHONE (801) 990-1775  
WWW.VECTORENGINEERS.COM

VSE Project Number: U1382-795-201

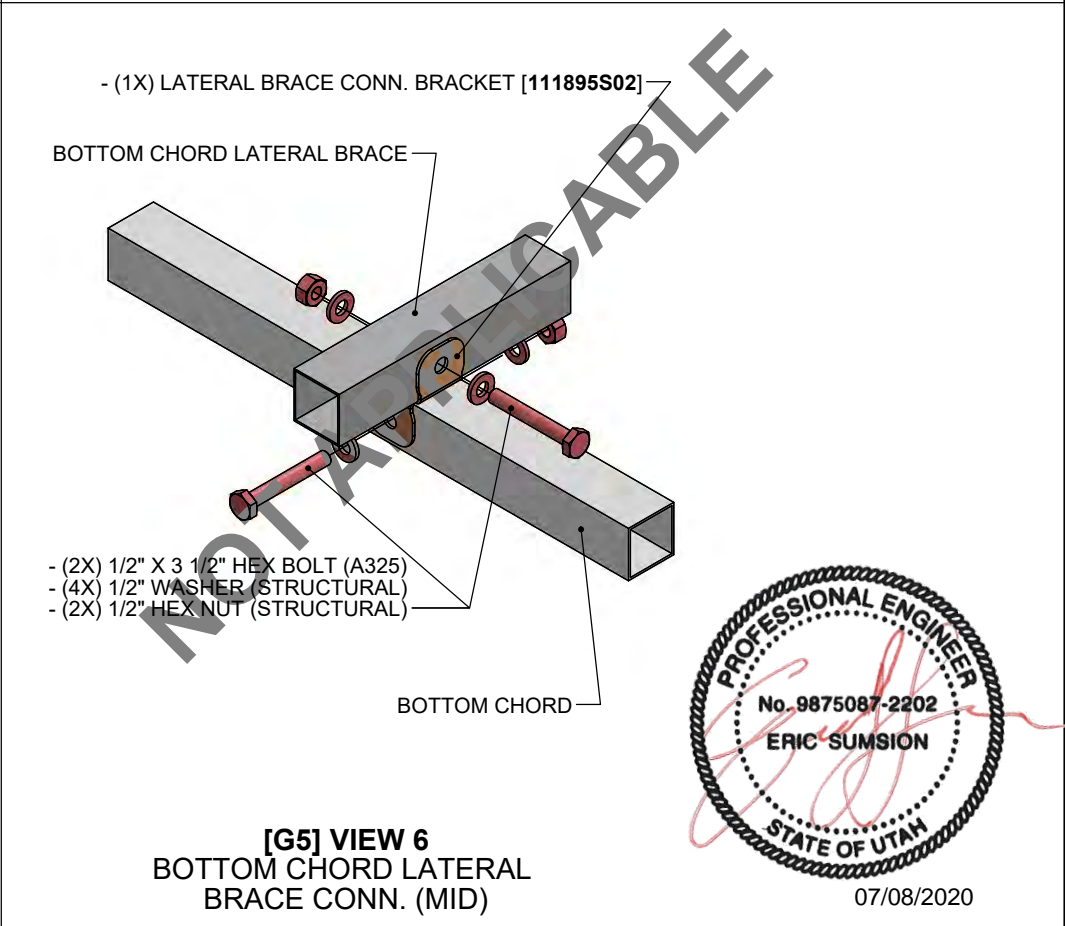
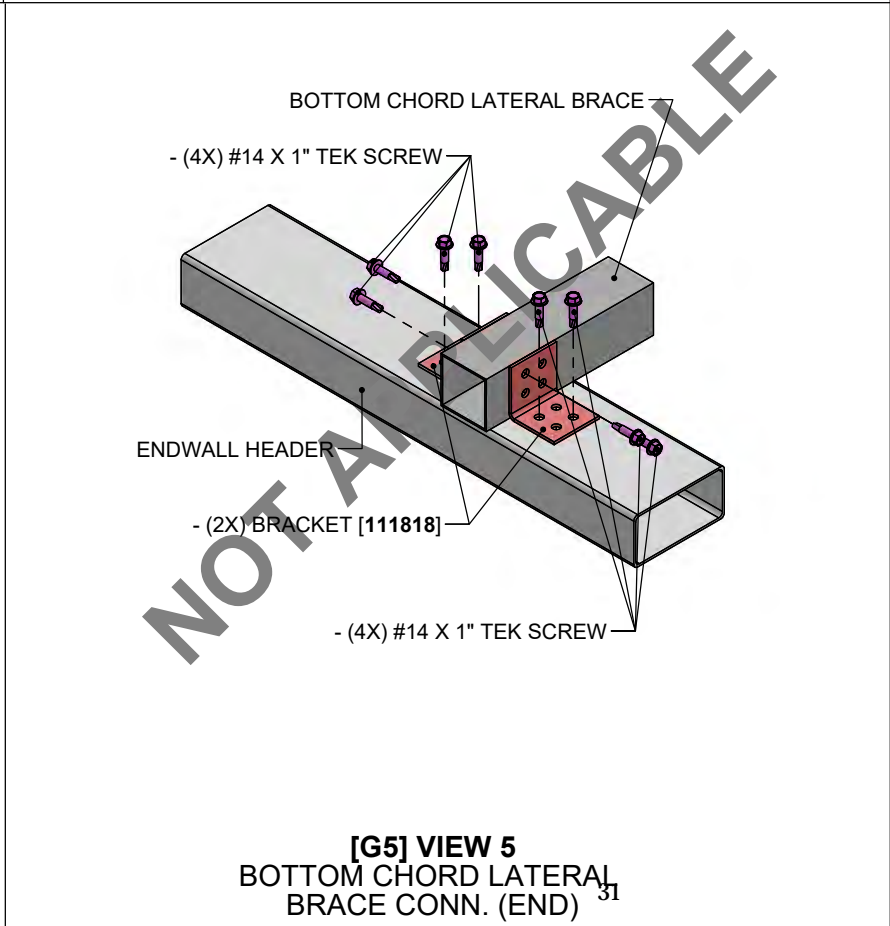
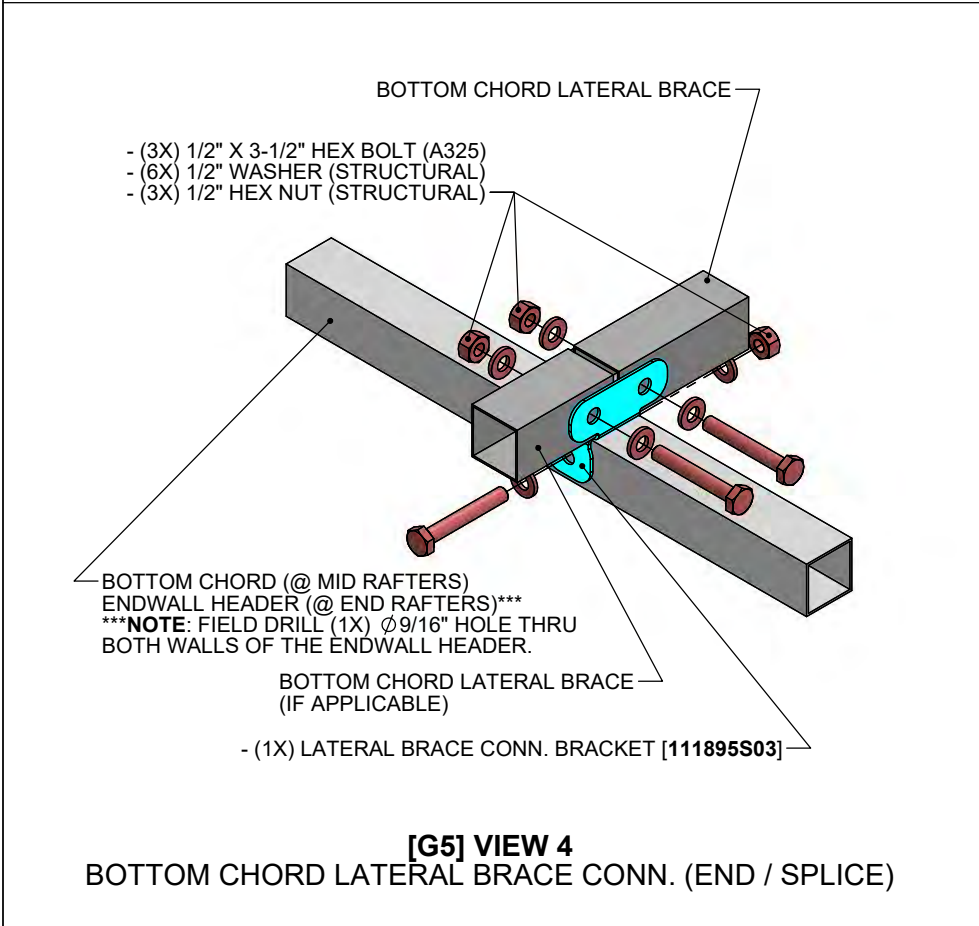
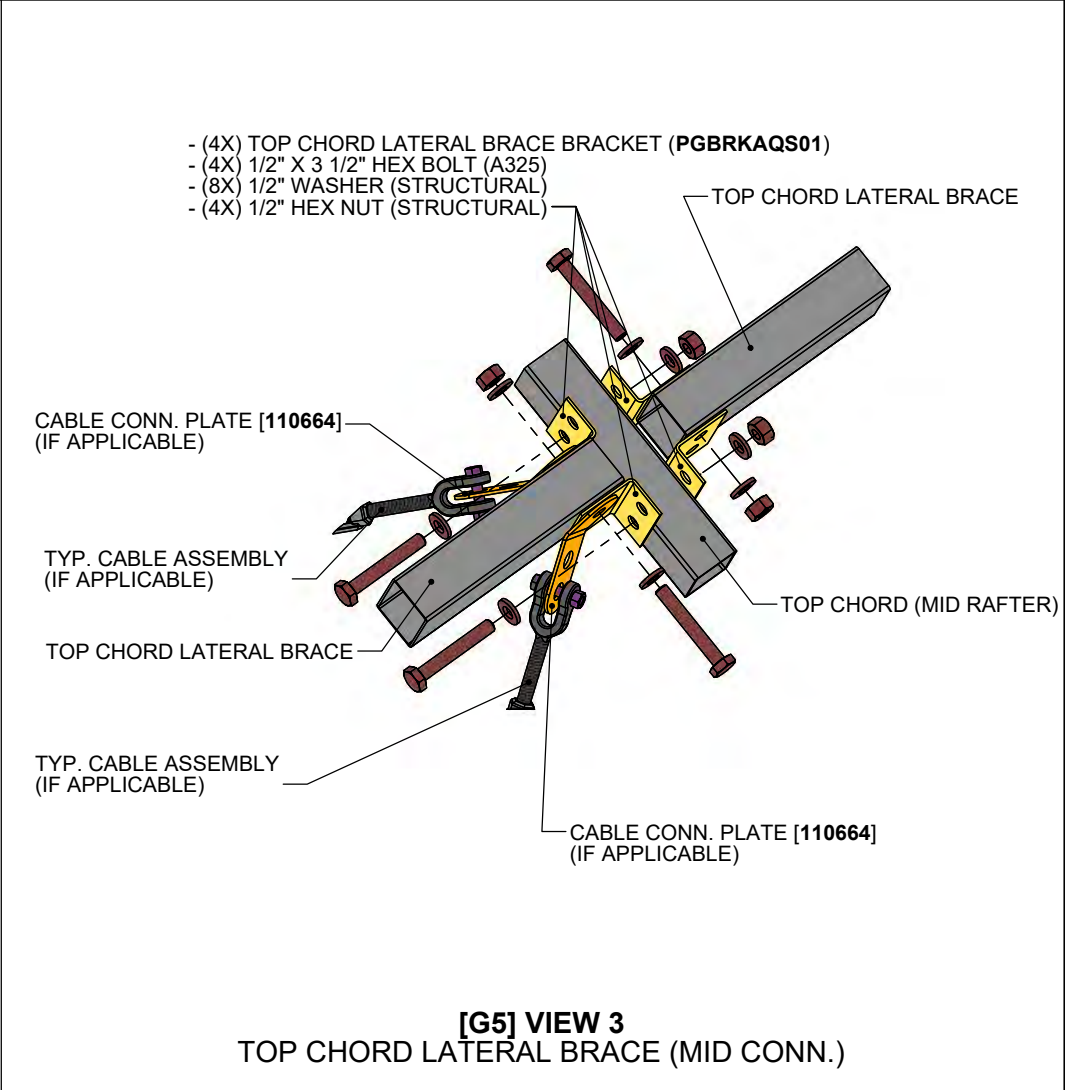
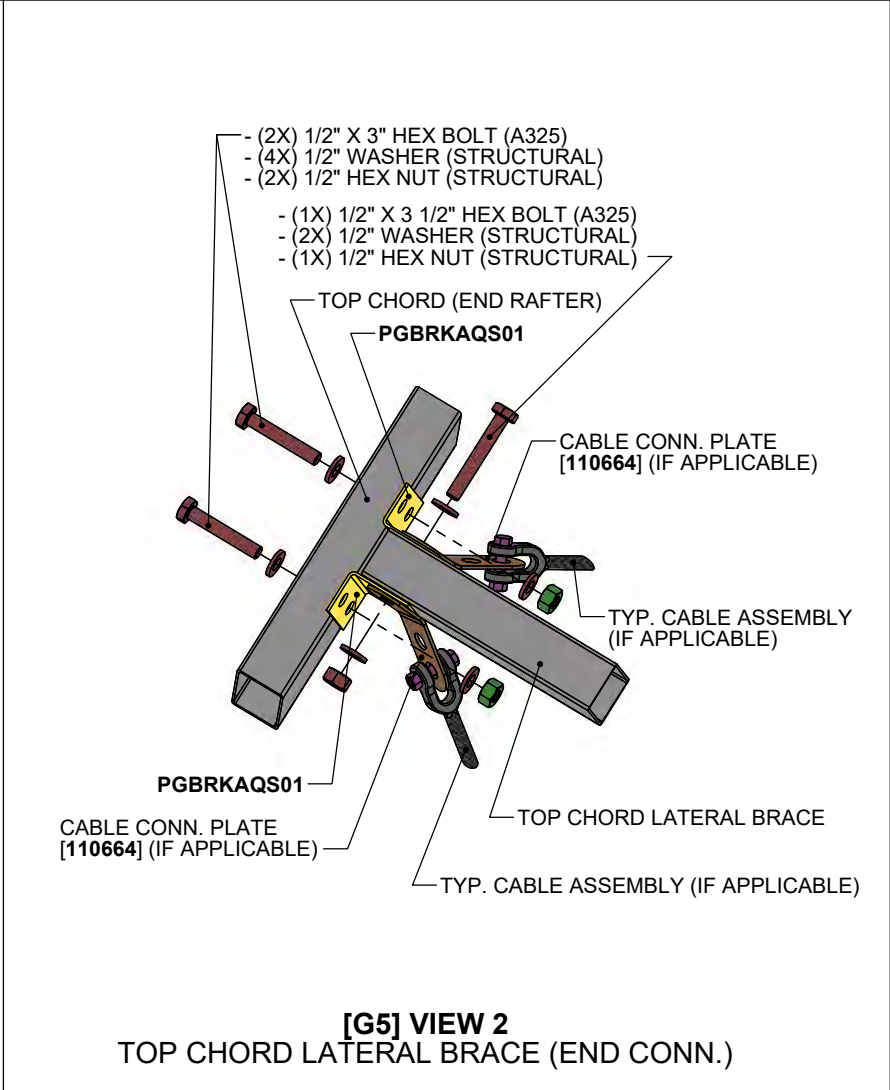
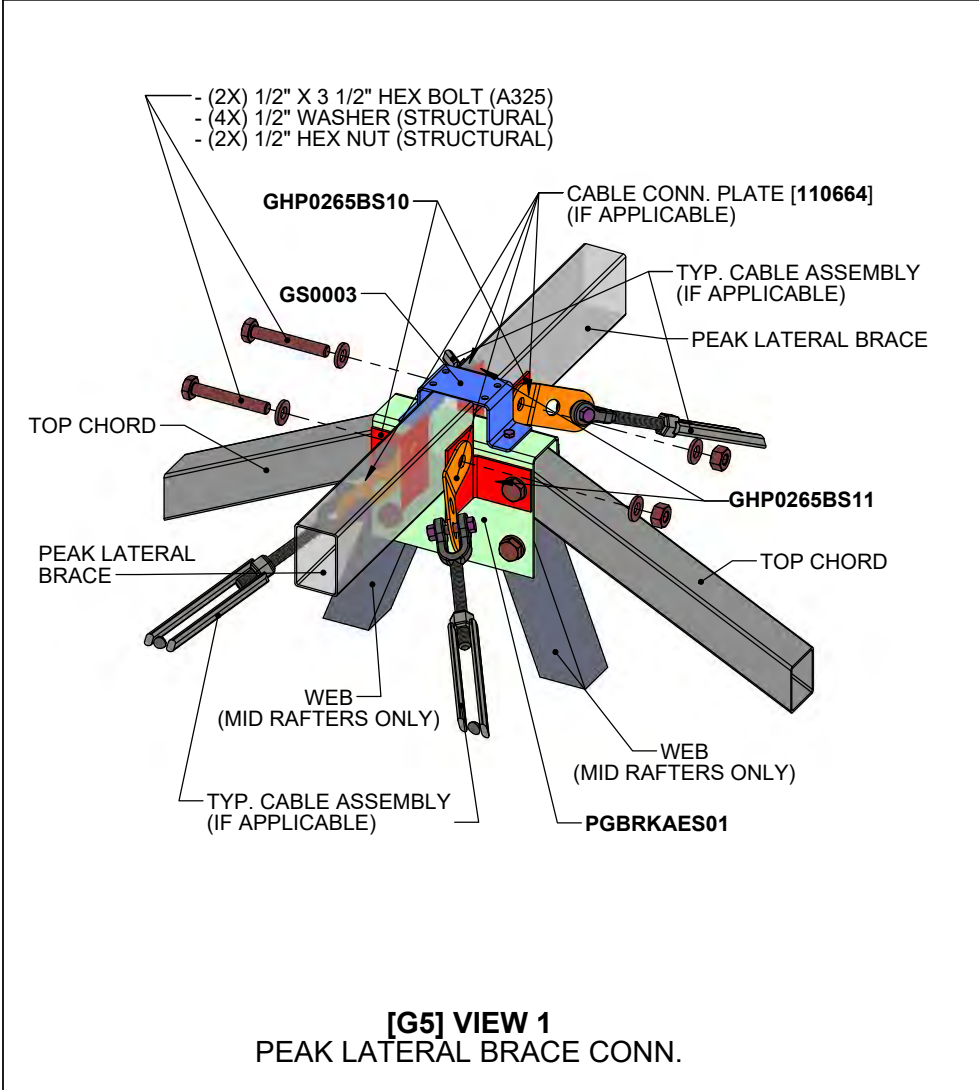
STRUCTURE SKU # <b>G22012E04801S01</b>	STRUCTURE SIZE: <b>20' X 48'</b>
CUSTOMER INFORMATION: <b>FURST CONSTRUCTION COMPANY</b> 708 W NORTH TEMPLE SALT LAKE CITY, UT 84116-3352	SHEET TITLE: <b>CONNECTION DETAILS (RAFTERS)</b>

DRAWING DETAILS			
DRAWN BY: BL	CREATION DATE: 5/20/2020	REVISIONS:	
NO.	BY:	REVISION DATE:	
1			
2			
3			
4			
NOT TO SCALE		SHEET SIZE: 11X17	
SHEET:		<b>G4</b>	



07/08/2020





DEVELOPED BY

greenhouse structures  
ENGINEERING SERVICES & PRODUCTS CO.  
1440 16TH AVENUE SW  
DYERSVILLE, IA 52040  
P: 563.875.6113  
F: 563.875.2317  
WWW.ESAPCO.COM

ORDER #:  
**7578967**

ENGINEERS  
651 W. GALENA PARK BLVD., STE. 101  
DRAPER, UTAH 84020  
PHONE (801) 990-1775  
WWW.VECTOREE.COM

VSE Project Number: U1382-795-201

STRUCTURE SKU # <b>G22012E04801S01</b>	STRUCTURE SIZE: <b>20' X 48'</b>	SHEET TITLE: <b>LATERAL BRACE CONNECTION DETAILS</b>
CUSTOMER INFORMATION: <b>FURST CONSTRUCTION COMPANY</b> 708 W NORTH TEMPLE SALT LAKE CITY, UT 84116-3352		

DRAWING DETAILS		
DRAWN BY: <b>BL</b>	CREATION DATE: <b>5/20/2020</b>	
REVISIONS:		
NO.	BY:	REVISION DATE:
1		
2		
3		
4		
NOT TO SCALE		SHEET SIZE: 11X17
SHEET:		<b>G5</b>

PROFESSIONAL ENGINEER  
No. 9875087-2202  
ERIC SUMSION  
STATE OF UTAH

07/08/2020



ENDWALL COLUMN

BASE PLATE [106762]

- (1X) 1/2" X 5" HEX BOLT (A325)
- (2X) 1/2" WASHER (STRUCTURAL)
- (1X) 1/2" HEX NUT (STRUCTURAL)

[G6] VIEW 1  
ENDWALL COLUMN BASE INSERT [106762] CONN.

- (1X) 1/2" X 3 1/2" HEX BOLT (A325)
- (2X) 1/2" WASHER (STRUCTURAL)
- (1X) 1/2" HEX NUT (STRUCTURAL)

NOTE: FIELD DRILL (1X) Ø9/16" HOLE THRU BOTH WALLS OF THE TOP CHORD AND THE TOP COLUMN INSERT.

TOP CHORD

TOP COLUMN INSERT

ENDWALL COLUMN

- (1X) 1/2" X 5" HEX BOLT (A325)
- (2X) 1/2" WASHER (STRUCTURAL)
- (1X) 1/2" HEX NUT (STRUCTURAL)

[G6] VIEW 2  
ENDWALL COLUMN TOP INSERT CONN.

NOTE: CENTER [PGBRKBGS01] ON ENDWALL COLUMN.

ENDWALL COLUMN

ENDWALL HEADER

ISOMETRIC VIEW

- (2X) 1/2" X 3 1/2" HEX BOLT (A325)
- (2X) 1/2" HEX NUT (STRUCTURAL)

ENDWALL COLUMN

ENDWALL HEADER

1 1/4" TYP.

- (4X) PGBRKBGS01 (2X PER ENDWALL HEADER)
- (2X) 1/2" X 5 1/2" HEX BOLT (A325)
- (2X) 1/2" HEX NUT (STRUCTURAL)

NOTE: FIELD DRILL (2X) Ø9/16" HOLES THRU BOTH WALLS OF THE ENDWALL COLUMN.

[G6] VIEW 3  
ENDWALL HEADER CONN.

NOTE: GIRT SHALL BE TRIMMED AS NEEDED TO AVOID CLADDING INTERFERENCE.

TOP CHORD

GIRT

- (2X) BUMPON [115282]
- (2X) #14 X 1 1/2" TEK SCREW [FA4484B] (INSTALL WITH 3/8" MIN. EDGE DISTANCE TO CENTER OF TEK SCREW)

GIRT TO TOP CHORD

[G6] VIEW 4  
GIRT TO COLUMN / GIRT TO TOP CHORD CONN.

NOTE: TEK SCREW SPACING SHALL BE 12" O.C. (TYP.)

NOTE: INSTALL TEK SCREWS WITH 3/8" MIN EDGE DISTANCE.

HEADER

GIRT

[G6] VIEW 5  
GIRT TO HEADER CONN.

NOTE: INSTALL TEK SCREWS WITH 3/8" MIN EDGE DISTANCE.

GIRT

- (2X) #14 X 1" TEK SCREW

GIRT

[G6] VIEW 6  
VERTICAL GIRT TO GIRT CONN.

- (1X) GIRT SPLICE INSERT [GRT2X2G16L018SP]
- (8X) #14 X 1" TEK SCREW

GIRT

SPLICE

GIRT SPLICE INSERT

GIRT

9"

9"

1"

6" (MIN.)

6" (MIN.)

1"

1"

18"

[G6] VIEW 7  
GIRT SPLICE CONN.

NOTE: THE SPLICE INSERT [GRT2X2G16L018SP] SHALL BE TIGHTLY EMBEDDED 9" INTO EACH HAT CHANNEL.

ENDWALL COLUMN

BASE PLATE [EWIB35S001M4]

- (1X) 1/2" X 5" HEX BOLT (A325)
- (2X) 1/2" WASHER (STRUCTURAL)
- (1X) 1/2" HEX NUT (STRUCTURAL)

[G6] VIEW 8  
ENDWALL COLUMN BASE INSERT [EWIB35S001M4] CONN.

- (1X) 1/2" X 3 1/2" HEX BOLT (A325)
- (2X) 1/2" WASHER (STRUCTURAL)
- (1X) 1/2" HEX NUT (STRUCTURAL)

NOTE: FIELD DRILL (1X) Ø9/16" HOLE THRU BOTH WALLS OF THE BOTTOM CHORD.

BOTTOM CHORD

TOP COLUMN INSERT

INTERIOR PARTITION COLUMN

NOTE: NO BOLT SHALL BE INSTALLED IN THIS LOCATION FOR THE INTERIOR PARTITION WALL PER [E2] VIEW 1 ONLY.

[G6] VIEW 9  
INTERIOR PARTITION COLUMN TOP INSERT CONN.

COLUMN

HEADER

HEADER BRACKET

- (SEE CHART) 1/2" X 5 1/2" HEX BOLT (A325)
- (SEE NOTE) 1/2" WASHER (STRUCTURAL)
- (SEE NOTE) 1/2" HEX NUT (STRUCTURAL)
- (SEE CHART) #14 X 1" TEK SCREW

NOTE: EVERY BOLT WILL GET (2) WASHERS AND (1) HEX NUT. SEE CHART FOR # OF BOLTS.

BRACKET SKU	# OF BOLTS	# OF TEK SCREWS
EWHB1P	2	4
EWHB2P	4	8

[G6] VIEW 10  
4"x4" HEADER BRACKET DETAIL

\*NOTE: SEE [N] SHEETS FOR BLACKOUT FIXED EDGE CONNECTION DETAILS

NOTE: CLADDING, ENDWALL COLUMNS AND OTHER ENDWALL HARDWARE ARE NOT SHOWN ON THIS DETAIL FOR CLARITY.

SEAL THE CONNECTION BETWEEN THE FIXED EDGE AND THE GIRT WITH SILICONE

\* BLACKOUT FIXED EDGE

ENDWALL HEADER

BUILDING INTERIOR

GIRT

\* TEK SCREW

\* BLACKOUT FIXED EDGE

SEAL THE CONNECTION BETWEEN THE FIXED EDGE AND THE GIRT WITH SILICONE

NOTE: INSTALL TEK SCREWS WITH 3/8" MIN EDGE DISTANCE.

[G6] VIEW 11  
ENDWALL FIXED EDGE TO GIRT CONN. (IF APPLICABLE)

DEVELOPED BY

growspan

greenhouse structures

ENGINEERING SERVICES & PRODUCTS CO.

1440 16TH AVENUE SW

DYERSVILLE, IA 52040

P: 563.875.6113

F: 563.875.2317

WWW.ESAPCO.COM

ORDER #:  
**7578967**

VECTOR

ENGINEERS

651 W. GALENA PARK BLVD. STE. 101

DRAPER, UTAH 84020

PHONE (801) 950-1775

WWW.VECTOREE.COM

VSE Project Number: U1382-795-201

CUSTOMER INFORMATION:  
**FURST CONSTRUCTION COMPANY**  
708 W NORTH TEMPLE  
SALT LAKE CITY, UT 84116-3352

STRUCTURE SKU #:  
**G22012E04801S01**

STRUCTURE SIZE:  
**20' X 48'**

SHEET TITLE:  
**CONNECTION DETAILS (ENDWALL)**

DRAWING DETAILS

DRAWN BY:  
BL

CREATION DATE:  
5/20/2020

REVISIONS:

NO.	BY:	REVISION DATE:
1		
2		
3		
4		

NOT TO SCALE

SHEET SIZE: 11X17

SHEET:

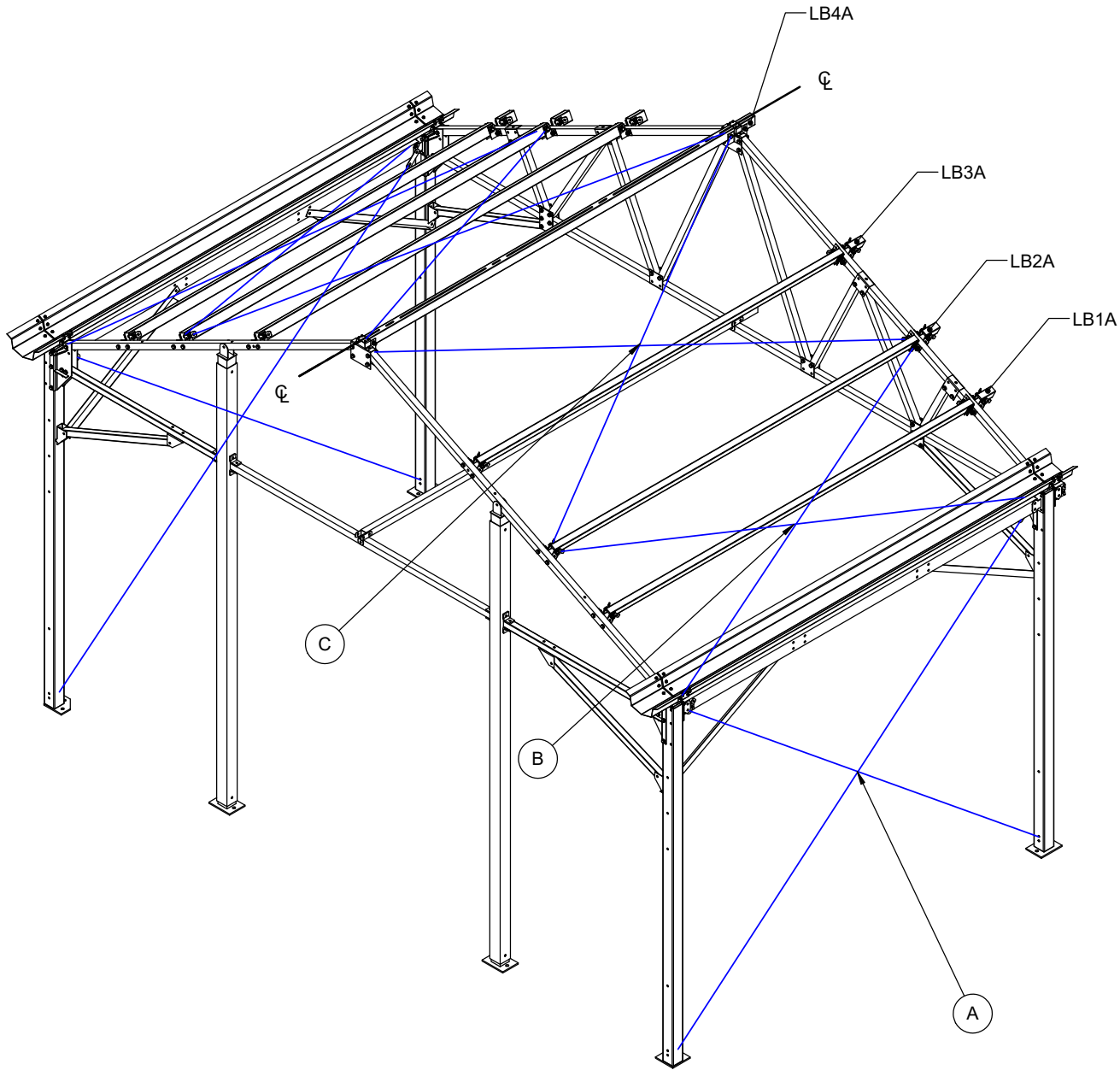
**G6**

07/08/2020



NOTES:

- RAFTER VIEW SHOWN REPRESENTS TYPICAL CABLE SPAN LABELS TO ILLUSTRATE LOCATIONS OF SPANS IN THE TABLE. THE CABLE PATTERN SHOWN MAY NOT FULLY MATCH THE SPECIFICS FOR THIS PROJECT.
- CABLE PATTERN REPEATS ON OPPOSITE SIDE OF  $\phi$  UNLESS NOTED OTHERWISE.
- REFER TO OTHER 'G' SHEETS FOR ADDITIONAL CABLE CONN. DETAILS.
- REFER TO THE [F] SHEETS FOR SIDE VIEW OF CABLE PATTERN.

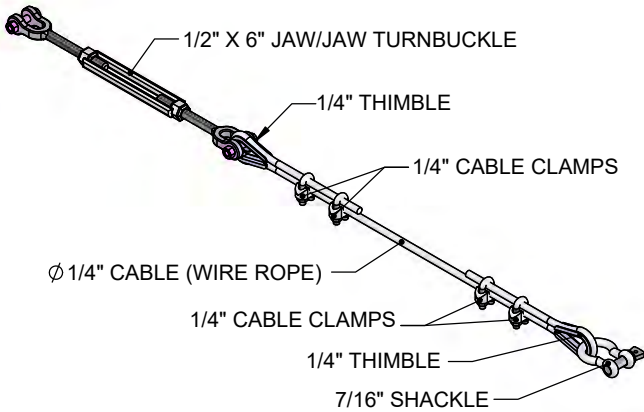


[G7] VIEW 1 - CABLE REQUIREMENTS PER SPAN

CABLE INSTALLATION REQUIREMENTS			
BAY NUMBER*	SPAN 'A'	SPAN 'B' (SIDE HEADER CONN. BRACKET TO LB2A)	SPAN 'C' (LB2A TO LB4A)
1 & 4	CABLE REQUIRED	CABLE REQUIRED	CABLE REQUIRED
2 - 3	N/A	N/A	N/A

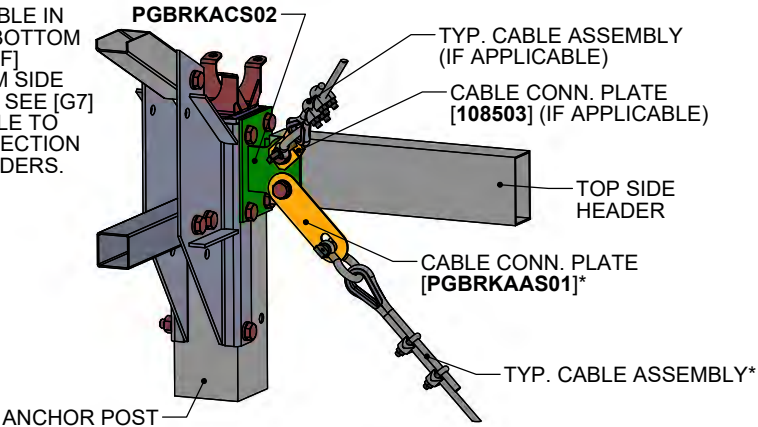
\*REFER TO SHEET [C1] FOR BAY NUMBERING.

**\*\*NOTE:** INSTALL U-BOLT SECTION OF THE CLAMP ON THE "DEAD" OR SHORT END OF ROPE, AND THE SADDLE ON THE "LIVE" OR LONG END OF ROPE.

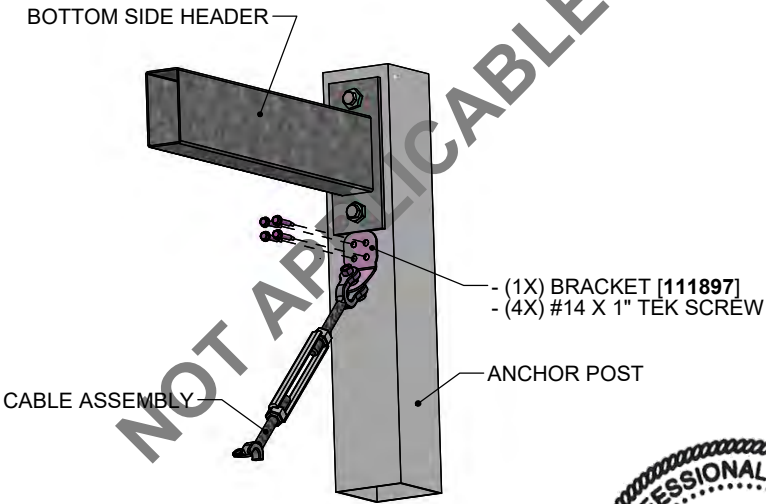


[G7] VIEW 2  
CABLE ASSEMBLY

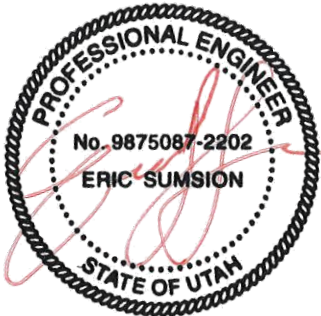
**\*NOTE:** NOT APPLICABLE IN CABLED BAYS WITH BOTTOM SIDE HEADERS. SEE [F] SHEETS FOR BOTTOM SIDE HEADER LOCATIONS. SEE [G7] VIEW 4 FOR THE CABLE TO ANCHOR POST CONNECTION @ BOTTOM SIDE HEADERS.



[G7] VIEW 3  
TOP SIDE HEADER CABLE PLATE CONN.



[G7] VIEW 4  
CABLE TO ANCHOR POST CONN.  
@ BOTTOM SIDE HEADER



DEVELOPED BY

  
greenhouse structures  
ENGINEERING SERVICES & PRODUCTS CO.  
1440 16TH AVENUE SW  
DYERSVILLE, IA 52040  
P: 563.875.6113  
F: 563.875.2317  
WWW.ESAPCO.COM

ORDER #:  
**7578967**

  
ENGINEERS  
651 W. GALENA PARK BLVD., STE. 101  
DRAPER, UTAH 84020  
PHONE (801) 990-1775  
WWW.VECTOREE.COM

VSE Project Number: U1382-795-201

STRUCTURE SKU #: <b>G22012E04801S01</b>	STRUCTURE SIZE: <b>20' X 48'</b>
CUSTOMER INFORMATION: <b>FURST CONSTRUCTION COMPANY</b> 708 W NORTH TEMPLE SALT LAKE CITY, UT 84116-3382	SHEET TITLE: <b>CABLE LAYOUT &amp; DETAILS</b>

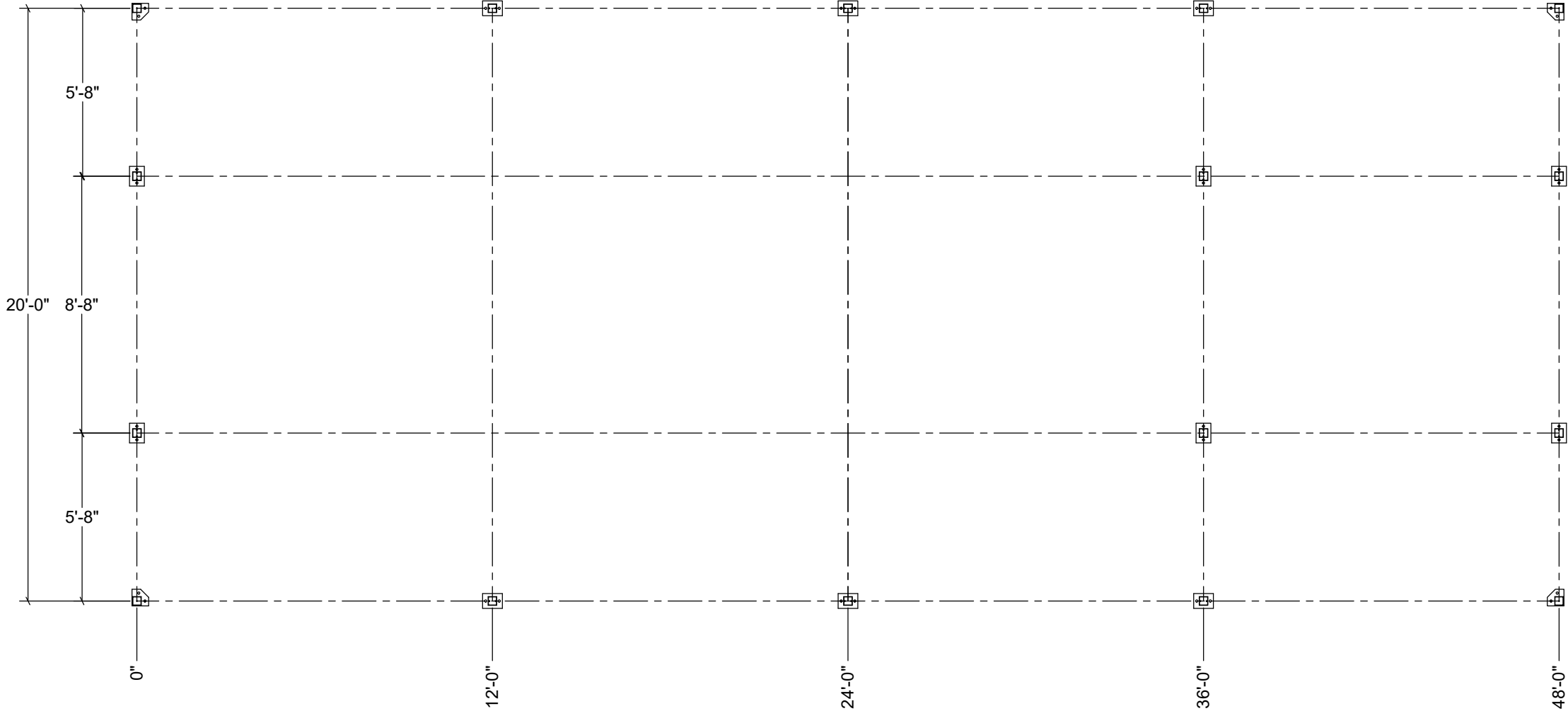
DRAWING DETAILS	
DRAWN BY: <b>BL</b>	CREATION DATE: <b>5/20/2020</b>
REVISIONS:	
NO.	BY: REVISION DATE:
1	
2	
3	
4	
NOT TO SCALE SHEET SIZE: 11X17	
SHEET:	
<b>G7</b>	



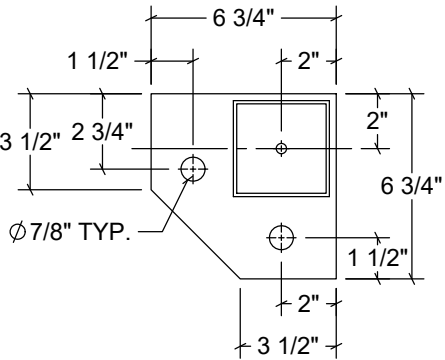
NOTE: DIMENSIONS ARE FROM CENTER OF COLUMN TO CENTER OF COLUMN.

LEFT SIDE OF STRUCTURE

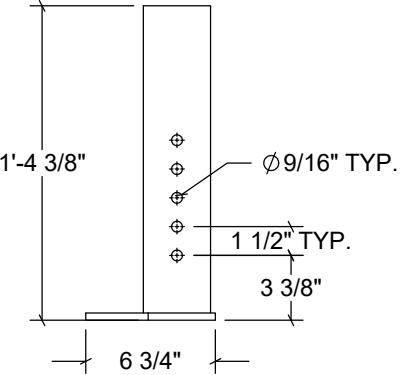
FRONT OF STRUCTURE



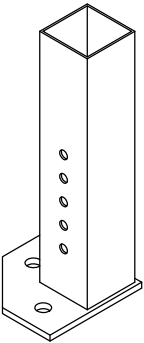
BACK OF STRUCTURE



TOP VIEW



PROFILE VIEW



ISOMETRIC VIEW

110857L DETAILS\*  
(\*110857R IS SIMILAR)

DEVELOPED BY

  
greenhouse structures  
ENGINEERING SERVICES & PRODUCTS CO.  
1440 16TH AVENUE SW  
DYERSVILLE, IA 52040  
P: 563.875.6113  
F: 563.875.2317  
WWW.ESAPCO.COM

ORDER #:  
**7578967**

  
ENGINEERS

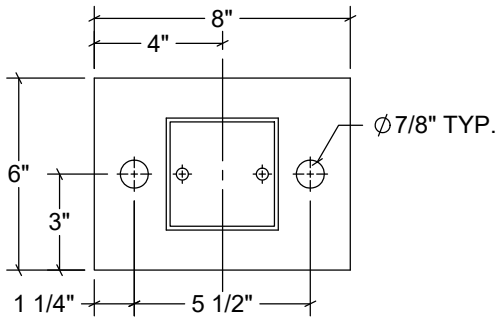
651 W. GALENA PARK BLVD., STE. 101  
DRAPER, UTAH 84020  
PHONE (801) 950-1775  
WWW.VECTOREE.COM

VSE Project Number: U1382-795-201

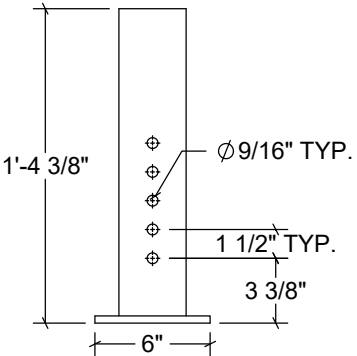
CUSTOMER INFORMATION: <b>FURST CONSTRUCTION COMPANY</b> 708 W NORTH TEMPLE SALT LAKE CITY, UT 84116-3382	STRUCTURE SKU #: <b>G22012E04801S01</b>	STRUCTURE SIZE: <b>20' X 48'</b>	SHEET TITLE: <b>BASE PLATE LAYOUT &amp; DETAILS</b>

DRAWING DETAILS		
DRAWN BY: BL		CREATION DATE: 5/20/2020
REVISIONS:		
NO.	BY:	REVISION DATE:
1		
2		
3		
4		
NOT TO SCALE		SHEET SIZE: 11X17
SHEET:		
H1		

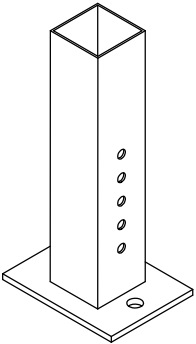
RIGHT SIDE OF STRUCTURE  
COLUMN CENTERS:



TOP VIEW

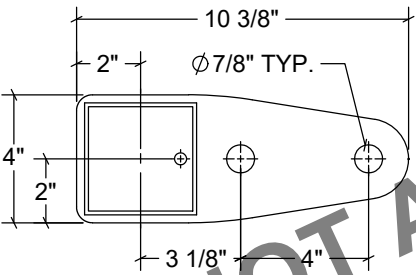


PROFILE VIEW

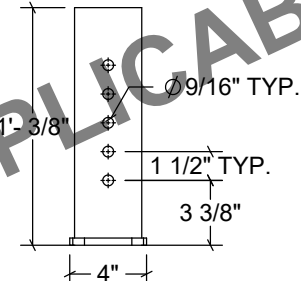


ISOMETRIC VIEW

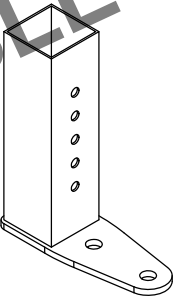
106762 DETAILS



TOP VIEW

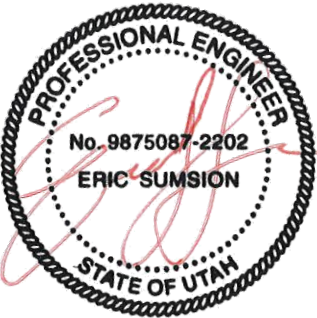


PROFILE VIEW



ISOMETRIC VIEW

EWIB35S001M4 DETAILS



07/08/2020



FOUNDATION NOTES:

- GROWSPAN DOES NOT PROVIDE ANY MATERIAL OR DESIGN CRITERIA FOR THE CREATION OF THE FOUNDATION OR ANCHORING OF THIS BUILDING, UNLESS OTHERWISE NOTED.
- FOUNDATION AND ANCHORING SHALL BE ENGINEERED AND APPROVED BY A LICENSED STRUCTURAL ENGINEER OF OWNER'S CHOICE.
- FOUNDATION AND ANCHORING MUST MEET THE BUILDING REACTION DATA SHOWN BELOW.

ANCHOR POST REACTION DATA

CONTROLLING ASD REACTIONS TO CONSIDER AT TYPICAL ANCHOR POST BASES	
MAXIMUM GRAVITY (KIPS)	3.7
MAXIMUM NET UPLIFT (KIPS)	1.3
MAXIMUM HORIZONTAL (KIPS)	1.4

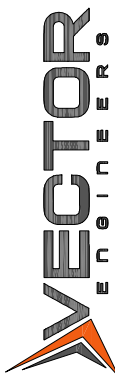
ENDWALL COLUMN & INTERIOR PARTITION COLUMN REACTION DATA

CONTROLLING ASD REACTIONS TO CONSIDER AT TYPICAL ENDWALL COLUMN BASES & INTERIOR PARTITION COLUMN BASES	
MAXIMUM GRAVITY (KIPS)	2.2
MAXIMUM NET UPLIFT (KIPS)	1.4
MAXIMUM HORIZONTAL (KIPS)	0.8

DEVELOPED BY

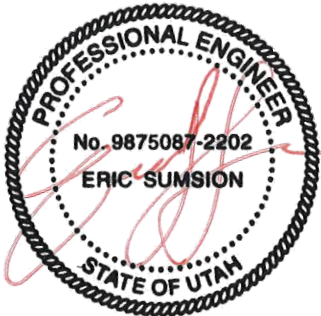
  
greenhouse structures  
ENGINEERING SERVICES & PRODUCTS CO.  
1440 16TH AVENUE SW  
DYERSVILLE, IA 52040  
P: 563.875.6113  
F: 563.875.2317  
WWW.ESAPCO.COM

ORDER #:  
**7578967**

  
651 W. GALENA PARK BLVD., STE. 101  
DRAPER, UTAH 84020  
PHONE (801) 950-1775  
WWW.VECTOREE.COM

VSE Project Number: U1382-795-201

CUSTOMER INFORMATION: <b>FURST CONSTRUCTION COMPANY</b> 708 W NORTH TEMPLE SALT LAKE CITY, UT 84116-3382	STRUCTURE SKU #: <b>G22012E04801S01</b>	STRUCTURE SIZE: <b>20' X 48'</b>
		SHEET TITLE: <b>BUILDING REACTION DATA</b>



DRAWING DETAILS	
DRAWN BY: <b>BL</b>	CREATION DATE: <b>5/20/2020</b>
REVISIONS:	
NO.	BY: REVISION DATE:
1	
2	
3	
4	
NOT TO SCALE SHEET SIZE: 11X17	
SHEET:	
<b>J1</b>	



















## **ATTACHMENT D: EXISTING CONDITIONS**

---

### **Zoning and Uses in the Immediate Vicinity of the Property**

**East:** (R-1/5,000), Goshen Street and single-family dwellings

**West:** (I), city owned land and open space for the Jordan River and trail

**North:** (R-1/5,000), single-family dwellings

**South:** (R-1/7,000), 500 South and single-family dwellings



## ATTACHMENT E: I ZONE STANDARDS SUMMARY

### 21A.32.080: I INSTITUTIONAL DISTRICT:

A. Purpose Statement: The purpose of the I Institutional District is to regulate the development of larger public, semipublic and private institutional uses in a manner harmonious with surrounding uses. The uses regulated by this district are generally those having multiple buildings on a campuslike setting. Such uses are intended to be compatible with the existing scale and intensity of the neighborhood and to enhance the character of the neighborhood. This district is appropriate in areas of the City where the applicable master plans support this type of land use.

B. Uses: Uses in the I Institutional District as specified in section [21A.33.070](#), "Table Of Permitted And Conditional Uses For Special Purpose Districts", of this title, are permitted subject to the general provisions set forth in section [21A.32.010](#) of this chapter and this section.

Standard	Proposed	Finding
<b>Minimum lot area:</b> Other uses: 20,000 sq. ft.	Lot area is 240,500 sq. ft.	Complies
<b>Minimum lot width:</b> 100 ft.	Goshen Street frontage is approximately 250 ft. and 500 South frontage is 520 ft.	Complies
<b>Maximum Height:</b> Building height shall be limited to thirty five feet (35'). Building heights in excess of thirty five feet (35') but not more than seventy five feet (75') may be approved through the design review process; provided, that for each foot of height over thirty five feet (35'), each required yard shall be increased one foot (1').	Accessory structure height is 17' 2 7/8" from base to peak	Complies
<b>Front And Corner Side Yards:</b> 20 ft.	20' to greenhouse, however, as an accessory structure it must be behind the façade of the principal building.	Does not comply, subject of Planned Development request.
<b>Interior Side Yards:</b> 20 ft.	40' for primary structure	Complies
<b>Rear Yard:</b> 25 ft.	240-295' for primary structure	Complies
<b>Buffer Yards:</b> All lots abutting property in a Residential District shall conform to the buffer yard requirement of chapter 21A.48 of this title.	15' for property at 456 S Goshen	Complies



<p><b>Accessory Buildings And Structures In Yards:</b> Accessory buildings and structures may be located in a required yard subject to section 21A.36.020, table 21A.36.020B of this title.</p>	<p>See above. Proposed accessory structure does not meet required yard setbacks.</p>	<p>Does not comply, subject of Planned Development request.</p>
---	--	---



## ATTACHMENT F: ANALYSIS OF PLANNED DEVELOPMENT STANDARDS

**21A.55.050: Standards for Planned Developments:** The Planning Commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

Standard	Findings	Rationale
<p>A. Planned Development Objectives: The planned development shall meet the purpose statement for a planned development and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development. The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development. The Planning Commission should consider the relationship between the proposed modifications to the zoning regulations and the purpose of a planned development, and determine if the project will result in a more enhanced product than would be achievable through strict application of the land use regulations.</p> <p>...</p> <p>21A.55.010.A. Open Space And Natural Lands: Preserving, protecting or creating open space and natural lands:</p> <ol style="list-style-type: none"> <li>1. Inclusion of community gathering places or public recreational opportunities, such as new trails or trails that connect to existing or planned trail systems, playgrounds or other similar types of facilities.</li> <li>2. Preservation of critical lands, watershed areas, riparian corridors and/or the urban forest.</li> <li>3. Development of connected greenways and/or wildlife corridors.</li> <li>4. Daylighting of creeks/water bodies.</li> <li>5. Inclusion of local food production areas, such as community gardens.</li> <li>6. Clustering of development to preserve open spaces.</li> </ol> <p>...</p>	Complies	<p>The purpose statement for a Planned Development states:  “A planned development is intended to encourage the efficient use of land and resources, promoting greater efficiency in public and utility services and encouraging innovation in the planning and building of all types of development. Further, a planned development implements the purpose statement of the zoning district in which the project is located, utilizing an alternative approach to the design of the property and related physical facilities. A planned development incorporates special development characteristics that help to achieve City goals identified in adopted Master Plans and that provide an overall benefit to the community as determined by the planned development objectives. A planned development will result in a more enhance product than would be achievable through strict application of land use regulations, while enabling the development to be compatible with adjacent and nearby land developments. The City seeks to achieve at least one or any combination of the following objectives through the planned development process.”</p> <p>The proposed planned development meets objectives A and F. The proposed greenhouse will provide additional gardening space for the adult daycare. While not a “community garden” it will provide year-round gardening for Neighborhood House’s adult daycare.</p> <p>As detailed in Issue 1, Neighborhood House is identified as a Community</p>



<p>F. Master Plan Implementation: A project that helps implement portions of an adopted Master Plan in instances where the Master Plan provides specific guidance on the character of the immediate vicinity of the proposal:</p> <p>1. A project that is consistent with the guidance of the Master Plan related to building scale, building orientation, site layout, or other similar character defining features.</p>		<p>Resource in the <i>Westside Master Plan</i> and the proposal is consistent with its goals that encourage investment and development of community centers in the neighborhood and provide resources for growth. Neighborhood House serves the community through child and adult daycare, most of whom are from families or households with average incomes of \$30,000 or less.</p>
<p>B. Master Plan Compatibility: The proposed planned development is generally consistent with adopted policies set forth in the Citywide, community, and/or small area Master Plan that is applicable to the site where the planned development will be located.</p>	<p>Complies</p>	<p>As discussed in Issue 1, staff finds that the proposal is consistent with adopted policies in <i>Plan Salt Lake</i> and the <i>Westside Plan</i>. Guiding Principle #1 in <i>Plan Salt Lake</i> supports services within neighborhoods that benefit the community and initiatives in the neighborhood chapter include promoting neighborhood services and amenities and providing opportunities for and the promotion of social interaction. Additionally, the <i>Westside Plan</i> supports neighborhood investment in community spaces.</p>
<p>C. Design and Compatibility: The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the Planning Commission should consider:</p> <ol style="list-style-type: none"> <li>1. Whether the scale, mass, and intensity of the proposed planned development is compatible with the area the planned development will be located and/or policies stated in an applicable Master Plan related to building and site design;</li> <li>2. Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;</li> </ol>	<p>Complies</p>	<ol style="list-style-type: none"> <li>1. The scale, mass and intensity of the proposed greenhouse is compatible with the area and its existing development and, as detailed in Issue 1, compatible with the Master Plan. The proposed greenhouse meets the corner side yard setback of 20 ft., but not the requirement for it to be set back as far as the principal building. The setback will be greater than that of the dwelling on the property to the north.</li> <li>2. The orientation of the development is compatible with the neighborhood. The property has three street frontages and the setback for the proposed greenhouse on Goshen Street meets the requirement for the zone; however, it is less than the setback for the principal structure. It will be set back further than the dwelling located to the north.</li> <li>3. <ol style="list-style-type: none"> <li>a. The proposal only affects the greenhouse and not the remainder of the site. As stated above, the proposed setback for the greenhouse meets the</li> </ol> </li> </ol>



<ol style="list-style-type: none"> <li>3. Whether building setbacks along the perimeter of the development: <ol style="list-style-type: none"> <li>a. Maintain the visual character of the neighborhood or the character described in the applicable Master Plan.</li> <li>b. Provide sufficient space for private amenities.</li> <li>c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise.</li> <li>d. Provide adequate sight lines to street, driveways and sidewalks.</li> <li>e. Provide sufficient space for maintenance.</li> </ol> </li> <li>4. Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;</li> <li>5. Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;</li> <li>6. Whether dumpsters, loading docks and/or service areas are appropriately screened; and</li> <li>7. Whether parking areas are appropriately buffered from adjacent uses.</li> </ol>		<p>requirement for the zone, although, is not setback as far as the principal structure. It will be set back further than the dwelling to the north.</p> <ol style="list-style-type: none"> <li>b. The proposal for the greenhouse is to accommodate an additional amenity on the site adjacent to an already planned outdoor garden. The greenhouse will provide year-round gardening opportunities.</li> <li>c. The proposal meets the required 15-foot landscape buffer yard since there is a single-family zoned property to the north. This area must include a fence, unless waived, shade trees, shrubs, and landscape yards.</li> <li>d. The proposed greenhouse would not affect sight lines for the street, driveways, and sidewalks.</li> <li>e. The proposed greenhouse would not affect maintenance areas on the larger site.</li> </ol> <ol style="list-style-type: none"> <li>4. The proposal is for a simple steel frame structure with a polycarbonate roof and cladding.</li> <li>5. Site lighting is provided as part of the larger site proposal and specific lighting is not required for the accessory structure.</li> <li>6. Dumpsters are provided as part of the larger site proposal and are not required for the accessory structure.</li> <li>7. Parking is provided as part of the larger proposal and is not required for the accessory structure.</li> </ol>
<p>D. Landscaping: The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the Planning Commission should consider:</p> <ol style="list-style-type: none"> <li>1. Whether mature native trees located long the periphery of the property and along the street are preserved and maintained;</li> <li>2. Whether existing landscaping that provides additional</li> </ol>	<p>Complies</p>	<ol style="list-style-type: none"> <li>1. The larger proposal included changes to the landscaping. The removal of mature native trees are not a part of this proposal.</li> <li>2. The proposal requires a 15-foot landscape buffer yard for the single-family zoned property to the north.</li> <li>3. Landscaping is not included as part of this proposal, but the applicant will need to meet the requirements for the 15-foot landscape buffer</li> </ol>



buffering to the abutting properties is maintained and preserved; 3. Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development; and 4. Whether proposed landscaping is appropriate for the scale of the development.		yard for the single-family zoned property to the north. 4. The proposed landscaping is appropriate for the scale of the development.
E. Mobility: The proposed planned development supports City wide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the Planning Commission should consider: 1. Whether drive access to local streets will negatively impact the safety, purpose and character of the street; 2. Whether the site design considers safe circulation for a range of transportation options including: a. Safe and accommodating pedestrian environment and pedestrian oriented design; b. Bicycle facilities and connections where appropriate, and orientation to transit where available; and c. Minimizing conflicts between different transportation modes; 3. Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities; 4. Whether the proposed design provides adequate emergency vehicle access; and 5. Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.	Complies	1. Drive access to local streets is not a part of this proposal. 2. Site design is not included as a part of this proposal. Concrete paving extends from the principal structure to this building. 3. The larger proposal for the site provides additional amenities for patrons. The site is fenced. 4. The larger proposal for the site will be required to provide emergency vehicle access. 5. The larger proposal provides access for loading and service areas.
F. Existing Site Features: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.	Complies	The site is vacant. The site is not located within a National or Local historic district. There are no existing natural or built features that significantly contribute to the



		character of the neighborhood and environment.
G. Utilities: Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area.	Complies	The proposal will need to comply with all requirements from other divisions and departments.



## **ATTACHMENT G: PUBLIC PROCESS AND COMMENTS**

---

Poplar Grove Community Council: Staff sent a notice to the Community Council on March 22, 2021 and has not received a response. The 45-day comment period ends on May 6, 2021.

An Online Open House for the proposal was posted on March 23, 2021.

Staff has received three public comment emails that are attached. They are in support of the proposal. Two are from the neighbor directly north of the proposed greenhouse.



**From:** [joshua Cardwell](#)  
**To:** [Javoronok, Sara](#)  
**Subject:** (EXTERNAL)  
**Date:** Monday, March 29, 2021 11:58:13 AM

---

I support the Goshen St. Greenhouse Project.  
I live at 1024 W 500 S.

Thank you



**From:** [James Reynolds](#)  
**To:** [Javoronok, Sara](#)  
**Subject:** (EXTERNAL) Neighborhood House – Greenhouse  
**Date:** Monday, March 29, 2021 6:46:30 AM

---

I am the neighbor directly north of the proposed Neighborhood House greenhouse and I suppose I am the most affected resident. Please approve this. My family looks forward to having the greenhouse and garden directly south of our home.

James Reynolds  
456 S Goshen St  
Salt Lake City, UT, 84104



**From:** [Anderson, John](#)  
**To:** [James Reynolds: Planning Public Comments](#)  
**Cc:** [Javoronok, Sara](#)  
**Subject:** RE: (EXTERNAL) Case Number PLNPCM2021-00086  
**Date:** Tuesday, May 4, 2021 8:22:41 AM

---

James,

Thanks for your comments they will be forwarded to the Planning Commission prior to their meeting.

JOHN ANDERSON  
Manager  
Planning Division

DEPARTMENT of COMMUNITY and NEIGHBORHOODS  
SALT LAKE CITY CORPORATION

TEL 801-535-7214  
CEL 385-226-6479  
EMAIL [john.anderson@slcgov.com](mailto:john.anderson@slcgov.com)

[www.SLC.GOV/PLANNING](http://www.SLC.GOV/PLANNING)  
[www.ourneighborhoodscan.com](http://www.ourneighborhoodscan.com)

"Disclaimer: The Planning Division strives to give the best customer service possible and to respond to questions as accurately as possible based upon the information provided. However, answers given at the counter and/or prior to application are not binding and they are not a substitute for formal Final Action, which may only occur in response to a complete application to the Planning Division. Those relying on verbal input or preliminary written feedback do so at their own risk and do not vest any property with development rights."

-----Original Message-----

From: James Reynolds <[magnusviri@me.com](mailto:magnusviri@me.com)>  
Sent: Monday, May 3, 2021 10:02 PM  
To: Planning Public Comments <[planning.comments@slcgov.com](mailto:planning.comments@slcgov.com)>  
Subject: (EXTERNAL) Case Number PLNPCM2021-00086

This is my comment for the meeting planned on May 12, 2021. I am the neighbor directly north of the proposed greenhouse at Neighborhood House. I am strongly in favor of the development. Please approve it.

James Reynolds  
456 S Goshen St  
SLC, UT, 84104



## **ATTACHMENT H: DEPARTMENT REVIEW COMMENTS**

---

**Planning**, Sara Javoronok, [sara.javoronok@slcgov.com](mailto:sara.javoronok@slcgov.com)

Landscape buffer will need to meet requirements of 21A.48.080.

**Public Utilities**, Jason Draper, [jason.draper@slcgov.com](mailto:jason.draper@slcgov.com)

This property is in the 1% flood hazard area. A Flood plain development permit will be required for this project.

**Zoning**, Alan Michelsen, [alan.michelsen@slcgov.com](mailto:alan.michelsen@slcgov.com)

The Building Services Division is ok for zoning with the proposed planned development.

**Engineering**, Scott Weiler, [scott.weiler@slcgov.com](mailto:scott.weiler@slcgov.com)

A flood plain permit is needed. Please consult SLC PU on this. Engineering has no other comments pertaining to this and doesn't need to review work on private property.

**Transportation**, Michael Barry, [michael.barry@slcgov.com](mailto:michael.barry@slcgov.com)

There are no issues from Transportation.

**Fire**, Ted Itchon, [edward.itchon@slcgov.com](mailto:edward.itchon@slcgov.com)

No comments

**Police**, Lamar Ewell, [lamar.ewell@slcgov.com](mailto:lamar.ewell@slcgov.com)

Police Department has no issues