



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Krissy Gilmore, Principal Planner, Kristina.Gilmore@slcgov.com or 801-535-7780

Date: April 14, 2021

Re: PLNPCM2021-00035 Bookbinder Studios on 2nd West Design Review

Design Review

PROPERTY ADDRESS: 442 S 200 W and 418 S 200 W
PARCEL ID: 15-01-406-044-0000 and 15-01-406-019-0000
MASTER PLAN: Downtown Community Master Plan
ZONING DISTRICT: D-2 (Downtown Support District)

REQUEST: A request by Scott Harwood, representing OZ Opportunity Fund LLC, for Design review approximately 422 S 200 W. The project is to construct a new multifamily residential building. The proposed building will encompass 115 studio and one-bedroom units. The building will have two structured parking levels with 58 parking stalls and five levels of apartment units above. The project site is in the D-2 (Downtown Support) zoning district. The applicant is requesting Design Review to allow for:

- Additional building height, and
- Reduction in the number of operable building entrances which are required at least **every 50' on street facing building facades.**

RECOMMENDATION: Based on the findings listed in the staff report, it is the Planning Staff's opinion that the request generally meets the applicable Design Review standards of approval and therefore recommends the Planning Commission approve the request with the following conditions:

1. Final approval of the details for site signage, development and site lighting, street lighting, streetscape details and sidewalk paving to be delegated to Planning Staff to ensure compliance with the standards for Design Review as well as the Downtown Plan.

ATTACHMENTS:

- A. [Vicinity Map](#)
- B. [Plan Set](#)
- C. [Property and Vicinity Photos](#)
- D. [D-1 Zoning Standards](#)
- E. [Design Standards](#)

- [F. Public Process & Comments](#)
- [G. Department Review Comments](#)

PROJECT DESCRIPTION:



Quick Facts

Height: 83'-1" FT (7 stories)

Ground Floor Uses: Residential lobby, parking, and bicycle storage

Upper Floor Uses: Residential units and amenity spaces

Number of Residential Units: 115 units

Exterior Materials: Glass, brick, fiber cement panel, and EIFS

Parking: 53 underground stalls, 2 on-street stalls, and 3 off-site stalls

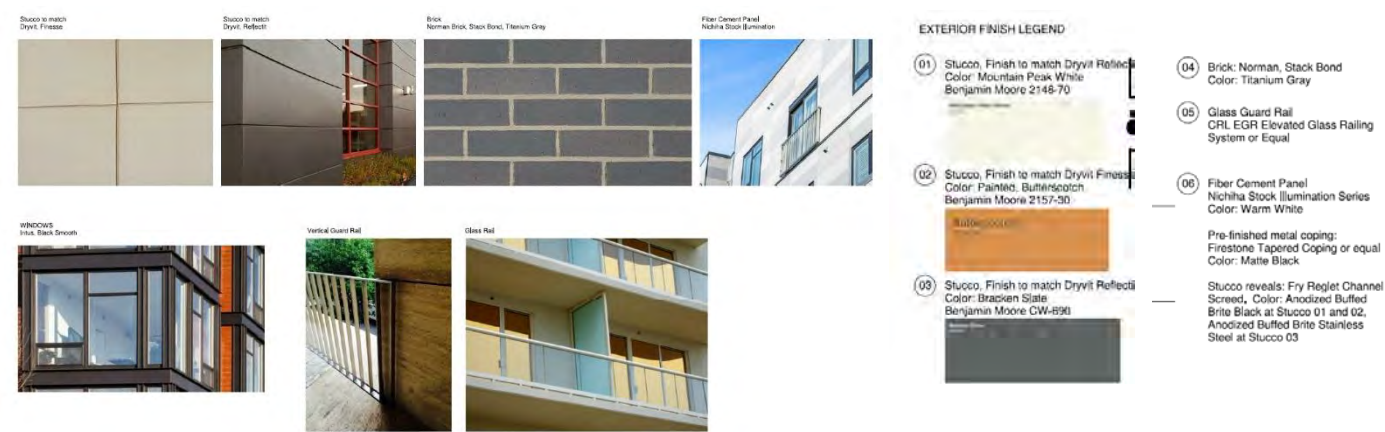
Review Process & Standards: Design Review, D-2 zoning standards, and general zoning standards.

The building is a 7-story, 115-unit residential **apartment building**. **The building is proposed as 83'-1" tall and would include studio and 1-bedroom units.** 53 parking stalls would be provided interior to the project in the first and second levels of the building. The parking would be accessed through a single entrance point on 200 West. An additional two parking stalls are provided on-street in front of the building, and three parking stalls are provided off-site directly to the south of the building. Above is a rendering of the development and a list of quick facts about the proposal.

The building would replace two single-family structures, with one subject to a recent fire and demolition as a result. The structures are both National Landmark Sites (Albert H. Kelly House and John B. Kelly House) that have been listed on the National Register of Historic Places. Though they are nationally listed, there are no City preservation regulations to prevent the structures' demolition. National Landmark Sites are incentive-based listings that grant financial incentives to property owners to restore or rehabilitate historic structures. The proposal includes a plaque in the lobby to honor the history of the structures.



The property consists of two parcels; however, an application to consolidate the parcels has been submitted by the applicant. The building's exterior is proposed with primarily brick, fiber cement, and glass on the street-facing façade. The remaining facades include primarily stucco in varying colors. The full list of exterior materials is shown below.



Proposed Materials

Amenities provided for tenants include an open-air courtyard on the 3rd level north elevation. The courtyard creates a deep building inset that helps break up the building length and mass along the north elevation. Additionally, the south elevation includes inset balconies wrapped in a u-shaped band to break up the building's mass and length.



Project Elevations

PLANNING COMMISSION REQUESTS:

Design Review Request

The underlying D-2 zoning district allows for an increase in building height from 65' to a maximum 120' with a Design Review and a determination by the Planning Commission. The applicant is requesting a height of 83'-1". Additionally, the proposed 200 West facade does not meet the number of building entrances required. Two pedestrian entrances are required, and one is provided.

The Design Review process is intended to ensure high-quality outcomes for developments, while allowing flexibility and modifications to design standards and to achieve development goals/purposes stated in City master plans and the zoning district. For complete analysis and findings in relation to the Design Review standards, please refer to [Attachment E](#).

KEY CONSIDERATION:

The key consideration listed below was identified through the analysis of the project:

CONSIDERATION 1 – Consistency with the Underlying Zoning District and Applicable Master Plan Policies

Downtown Master Plan

The project site is located within the Downtown Master Plan and specifically the Broadway District of the master plan.

The downtown master plan encourages additional housing choices and increasing the number of housing units in the downtown area. It also encourages increasing residential density to allow for a more even ratio of jobs and housing in the community. The proposed development accomplishes this by providing additional residential housing with an increase in density in the area and increasing housing in an area with existing infrastructure to support the greater density.

The master plan also encourages a, *“high amount of transparency for ground floors uses and a mix of uses to activate sidewalks and provide rhythm to the pedestrian experience”*. The ground floor accomplishes this initiative by far exceeding the void-to-wall ratio required in the design standards. Further, the ground floor will be at the same grade as the sidewalk. A greater amount of fenestration and number of balconies and green space for residents will also allow for increased visibility onto the street.

In working towards a more walkable downtown community, the Downtown Master Plan encourages maximum visual transparency from the sidewalk into buildings to enhance the pedestrian experience. The large amounts of glazing on the ground floor, coupled with the balconies, blurs the line between private and public spaces, facilitates visual presence while increasing safety and visibility on the street, and activate the street to the degree that is not currently present on the block.

The proposed development maintains the purpose of the Downtown Master Plan in that the designs and configuration of the building allows for:

- Greater transparency on the ground floor
- Creation of additional housing choices
- Increased number of housing units
- Increased residential density
- Increased visibility and safety
- Active ground floor uses

Plan Salt Lake

The project is also supportive of Plan Salt Lake, a citywide plan that guides the city's direction. Plan Salt Lake includes goals directed toward housing, planning for future growth, transportation and mobility, and neighborhoods. Of the goals listed in these sections, the proposed Design Review is supported by the following initiatives:

- ***“Encourage a mix of land uses.***
- *Promote infill and redevelopment of underutilized land.*
- *Create a safe and convenient place for people to carry out their daily lives.*
- *Incorporate artistic elements and support cultural events on a neighborhood scale to reinforce neighborhood character and identity.*
- ***Accommodate and promote an increase in the City’s population***
- *Promote high density residential in areas served by transit.*
- *Incorporate pedestrian oriented elements, including street trees, pedestrian scale lighting, signage, and embedded art, into our rights-of-way and transportation networks.”*

D-2 Downtown Support District

The purpose of the D-2 zoning district is, *“to provide an area that fosters the development of a sustainable urban neighborhood that accommodates commercial, office, residential and other uses that relate to and support the Central Business District”*. The D-2 district is also intended to act as a support district to the Central Business District and is envisioned to be less intensive than the Central Business District. The project achieves this intent by first providing new residential units, and by activating the sidewalk and providing a mid-rise building that compliments the expanding Central Business District.

The intent of the D-2 zoning district also includes the purpose of the design standards in the district. *“Design standards are intended to promote pedestrian-oriented development with a strong emphasis on a safe and attractive streetscape.”* The design and orientation of the building to the sidewalk also meet this intent. The use of transparency and visual interest creates a sense of space that is safe and welcoming to the pedestrian.

CONSIDERATION 2 - Building Height

The building has a height of approximately **83’ – 1” at the tallest parapet. The** 200 West street-facing elevation has a height of **80’** feet. Building height is moderated through both horizontal and vertical building elements with balconies proposed on every floor of the building and an emphasis on vertical articulation. The solid-to-void ratio accommodates the goals and intent of the applicable master plans. **There is approximately 652 square feet (an area approximately 42’x55’ wide) of outdoor patio space on** the 3rd level north façade. This area is setback approximately 60 feet from the front façade, which further helps to break up the building and creates separate building masses.

The intent of the Design Review standards is to break up the overall mass and scale of the building façade to provide for a human scale and pedestrian connectivity. Design Standard G specifically discusses creating a distinct base, middle, and top and creating a distinctive roofline. The middle levels of the 200 West elevation utilize variations in colors, materials, recessed windows, and projecting balconies to break up the overall massing of the façade visually. The street-facing ground-level façade is setback under the projecting units above to create a distinct base. The ground floor is proposed with 40% glass, which also provides visual interest and emphasizes the pedestrian level. The middle section **balconies are setback 5’ and are enclosed in a** fiber cement panel square which provides shadows and depths to distinguish that area. Additionally, the

applicant worked with **Staff to incorporate a black 12” cornice** that caps off the building to form a top.

While the building has blank walls on the north and south facades, Design Review standards are focused primarily on the street-facing façade. Additionally, while development is allowed up to the property line, building code limits openings directly on the property line. The building's location on block interior and the zero-lot line setback requirement means that future development will likely block the blank walls from the public street. Given the development potential of the surrounding properties, limited visibility, and the structure's overall design, Staff believes that the height will not cause detrimental effects.

As reviewed in the Design Standard Analysis in Attachment G of this Staff report, Planning Staff has found the proposed building height modifications meet the directly applicable design standards to building height.

CONSIDERATION 3 – Modification to the Separation of Building Entrances

The **D-2 district requires building entrances at least every 50’ along a street**-facing building façade. This standard aims to engage the public sphere and orient the building to the adjacent street and encourage active uses rather than just parking on the ground floor. The proposed project does not meet the number of building entrances required. **The length of the façade is 82’-4”, which requires two** pedestrian entrances. One pedestrian entrance and one vehicular entrance are provided on the street-facing façade. Two additional entrances are provided just off the street-facing facades on the south and north elevations.

The intent of the Design Review Standards is being met as it relates to building entrances. This is facilitated by the parking lot located in the building's interior, the window to wall ratio, and how the proposed project interacts with the sidewalk. Planning Staff recommends allowing for a modification to the building entrance design standards.

DISCUSSION:

The proposed development will meet the intent of the Downtown Support (D-2) zoning district and other applicable master plans by increasing housing density in the community, providing a building design which is orientated to the street, and improving safety in the area through the degree of transparency proposed on the building and activating the street.

While the height will be a change to the existing built environment on the block, the surrounding sites are also within the Downtown Support district and will have the same development potential as the subject site. As the impact and intensity of the Downtown Support zoning district spreads outward, redevelopment of the surrounding block is likely as demand for retail and housing in this area is likely to continue.

NEXT STEPS:

Approval of the Design Review Request

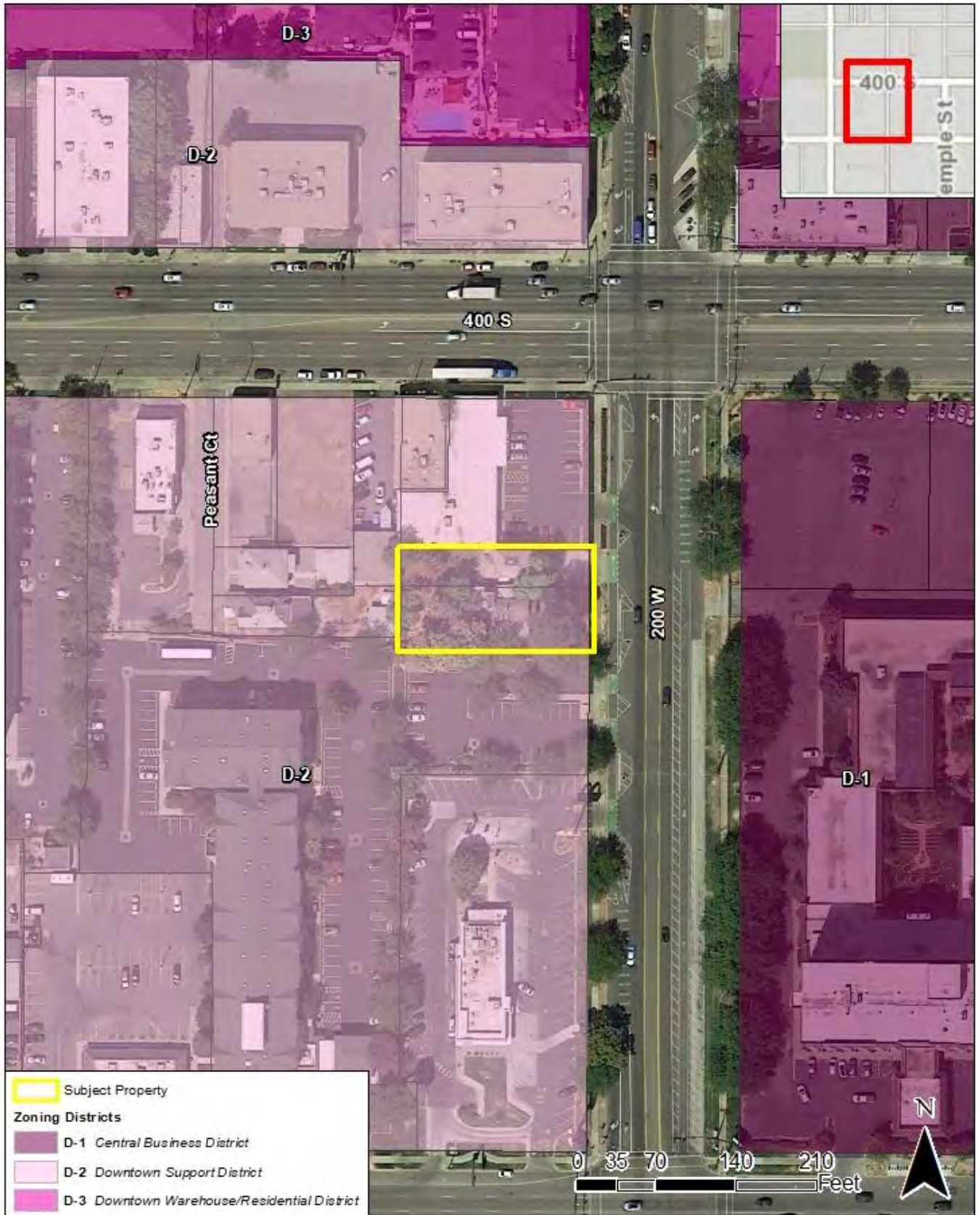
If the requests are approved, the applicant will need to need to comply with the conditions of approval, including any of the conditions required by other City departments and the Planning Commission. A new subdivision plat will need to be submitted and recorded on the subject property. The applicant will be able to submit plans for building permits and certificates of occupancy for the buildings will only be issued once all conditions of approval are met.

Denial of the Design Review Request

If the design review request for additional height is denied, the applicant will still be able to develop the property by right, but at a smaller scale. The applicant will be able to submit plans for building permits

and certificates of occupancy for the building subject to meeting all applicable zoning requirements and requirements of other divisions.

ATTACHMENT A – VICINITY MAP



ATTACHMENT B – PLAN SET

STAFF REPORT – DESIGN REVIEW for BOOKBINDER STUDIOS

Line 29 Architecture
14253 South Morning Light Dr
Herriman, Utah 84096
Phone: 385-232-0998
Project Number: 20-031

March 25, 2021

To: Salt Lake City Planning Division
Department of Community and Neighborhoods

ATTN: Kristina Gilmore

Thank you for taking the time to review our Bookbinder Studios project. Below are the written Salt Lake City design standards listed in 21A.59.050 as well as our response as to how we are intending to meet each requirement:

A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development. **It is our intent to comply with these zoning ordinances.**

B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot. **The primary orientation is to the sidewalk with the Elevator and Lobby and one of the Stairs adjacent to the sidewalk.**

1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot). **The primary entrance faces the public sidewalk. We request consideration for a variance to have only one primary entrance for this project. With this being a single-use, not mixed-use project, the only people accessing the building will be residents. There are security concerns of keeping the residents safe and not allowing pedestrians in the building without permission. The Lobby needs to remain secure and adding a 2nd door to the Lobby would make the entire building less secure. We have provided Egress doors around the corner on the south and the north sides that could be used as secondary entrances with key card access. If we were to move this south "entry" around the corner to be on the street face, it would be right next to our Primary entry door, which would not make sense operationally for the residents.**

2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood. **The building has been sited close to the public sidewalk.**

3. Parking shall be located within, behind, or to the side of buildings. **The parking for the project has been located within the building.**

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C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction. Pedestrian interest and interaction have been provided by the visual connection from the sidewalk into the building through the storefront glazing, the building signage at pedestrian height, the bench and planters adjacent to the entry, and the building overhang across the front façade which has downlighting across the full length of the street façade to draw engagement and interest from pedestrian activity to the project. Additionally, a permanent plaque will be placed in the Lobby with photos and the story of the homes on the site as the original Bookbinder in Salt Lake City.

1. Locate active ground floor uses at or near the public sidewalk. The main Lobby, Elevator, Staircase, Leasing office, Mail room, and Restroom are all on the ground floor adjacent to the public sidewalk.
2. Maximize transparency of ground floor facades. The storefront at the ground floor facing the sidewalk has been maximized to be everywhere except the Stair, Dumpster enclosure, and the drive aisle.
3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions. Clerestory glazing has been provided at the ground level storefront facing the sidewalk.
4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces. Because of the narrow width of the street-facing façade, the building courtyard on Level 3 faces to the north with direct visual connection to 400 South and the rest of downtown. In addition to this, a street-facing outdoor bench with planters has been provided at Level 1.

D. Large building masses shall be divided into heights and sizes that relate to human scale. Building masses have been divided into heights and sizes that relate to human scale. The only exception to this is some of the zero setback property lines where the parking garage maximizes the site by going right up to the property line. This is done in anticipation of the future development on the adjacent properties that will also be built right up to the property lines. These adjacent properties are the liquor store to the north, the surface parking to the south, and the vacant lot in the rear.

1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis. There are no current buildings adjacent to the property except for the liquor store, which currently does not meet the zoning requirements of the D2 zone and will likely be replaced in the near future. However, the scale and massing of this project complements the nearby height and massing of the Sheraton hotel across the street as well as the future 11-story apartment project being proposed behind this project.

2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the

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visual width or height. In order to help reduce the visual height of the building, we are proposing horizontal 18" tall by 6'-0" wide fiber cement panels, and 2" wide x 7/8" deep horizontal reveals throughout.

3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals. Large balconies have been provided at most units as secondary elements. They are the full width of the units and outboard of the units to provide a depth and set-back feel to the project. Further insets have been provided at corridor ends with windows to provide a break-up of the exterior fenestration and in-set the windows for greater depth and shadow lines.

4. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan. There are no current buildings adjacent to the property except for the liquor store, which currently does not meet the zoning requirements of the D2 zone and will likely be replaced in the near future. However, the scale and solid-to-void ratio of this project complements the nearby Hampton Inn and Sheraton hotels as well as that of the future 11-story apartment project being proposed behind this project.

E. Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include: None of the contiguous building lengths on the four facades exceed two hundred feet. However, we have still provided changes in vertical plane, material changes, and massing changes on every façade.

- 1. ~~Changes in vertical plane (breaks in façade);~~
- 2. ~~Material changes; and~~
- 3. ~~Massing changes.~~

F. If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements: There are no privately-owned public spaces in the project. However, for the resident spaces in the project, we have provided shade, trees, outdoor dining areas and decorative lighting in the Level 3 courtyard.

- 1. ~~Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");~~
- 2. ~~A mixture of areas that provide seasonal shade;~~
- 3. ~~Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted;~~
- 4. ~~Water features or public art;~~
- 5. ~~Outdoor dining areas; and~~

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~~—6. Other amenities not listed above that provide a public benefit.~~

G. Building height shall be modified to relate to human scale and minimize negative impacts. In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive City skyline. **This mid-rise project will contribute to a distinctive City skyline and presents a Horizontal emphasis throughout with the paneling and reveals.**

1. Human scale:

a. Utilize stepbacks to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans. **The building is a mid-rise project with no current buildings adjacent to the property except for the liquor store, which currently does not meet the zoning requirements of the D2 zone and will likely be replaced in the near future. Future developments adjacent to the property will likely hold the buildings within 10' of the front property line, utilize the no-setbacks at the side and rear property lines, and be up to 11 stories high per what the D2 zone allows.**

b. For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height. **The front elevation has a distinct base engaging with the street that is inset from the property line. The front elevation has a distinct middle section composed of apartment units that are also inset and set back 5' to help provide depth and shadow. This middle section has full height glass walls and glass balconies for a more open and human connection to the street. The front elevation has a distinct top section composed of a 9'-0" tall fiber cement band that cantilevers over the apartment units below out at the property line and includes a 4" parapet cornice.**

2. Negative impacts:

a. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors. **The building is a mid-rise project with no current buildings adjacent to the property except for the liquor store, which currently does not meet the zoning requirements of the D2 zone and will likely be replaced in the near future.**

b. Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height. **The project is 83 feet high to the highest point, which is less than the 120 feet height allowed in the D2 zone, so no additional height is being requested. The shadow impacts on the public realm are listed below.**

Summer Solstice: Shadows from the building do not cross the sidewalk, bike lane, and on-street parking until about 2:30pm. They do not cross the entire width of the 200 West until the late afternoon, about 5pm, which will help provide a cooling effect on the sidewalk and street during the heat of the summer evenings.

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Winter Solstice: Shadows from the building encroach onto 400 South in the morning but do not encroach to 200 West until about 12:30pm. They do not cross the entire width of the 200 West until about 2pm.

c. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building. Prevailing winds in Salt Lake City are typically blowing from the SSE direction. The east side of the property includes much of the landscaping for the project and will act as a natural windbreak for the project and pedestrians on the sidewalk. Additionally, the vertical wall separations between the balconies on all facades and levels will also help to provide a windbreak.

3. Cornices and rooflines:

a. Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition. The proposed rooflines are cohesive with the overall building form and composition.

b. Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings. There are no current buildings adjacent to the property except for the liquor store, which currently does not meet the zoning requirements of the D2 zone and will likely be replaced in the near future. However, the roof forms of this project complement the nearby rooflines of the Sheraton and Hampton Inn hotels.

c. Green Roof And Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system. The Level 3 roof is an accessible roof deck that supports a visually compelling roof landscape to help reduce solar gain and air pollution and the amount of water entering the stormwater system.

H. Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway. Both parking levels are served with two exit stairs and an elevator which all provide a pedestrian connection to the sidewalk.

I. Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (See subsection 21A.37.050K of this title.) Waste and recycling containers, mechanical equipment and storage areas have been located inside the building and are screened from the public view.

J. Signage shall emphasize the pedestrian/mass transit orientation. Two signs have been placed on the building, one at the ground level adjacent to the sidewalk and one on the north side of the building facing the transit on 400 South.

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1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building. **Specific spaces for our two building signs have been defined and are shown on the building faces in the north and east elevations.**

2. Coordinate signage locations with appropriate lighting, awnings, and other projections. **Signage locations have been coordinated.**

3. Coordinate sign location with landscaping to avoid conflicts. **Sign locations do not conflict with landscaping.**

K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals. **Lighting supports pedestrian comfort and safety which has downlighting across the full length of the street façade to draw engagement and interest. Additionally, the pedestrian signage has internal lighting.**

1. Provide street lights as indicated in the Salt Lake City Lighting Master Plan. **No street lights are required for this project.**

2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky. **Outdoor lighting provides low-level illumination with no uplighting to the sky. The only light trespass onto an adjacent property occurs on the lower south elevation at the request of the property owner of the surface parking lot to provide light and security to the vehicles in that parking lot. An agreement from this property owner has been provided.**

3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety. **Internally lit signs have been provided as well as soffit downlighting at the ground level all along the sidewalk. Additional lighting along the north and south egress paths for safety and comfort have been provided.**

L. Streetscape improvements shall be provided as follows:

1. One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the approval of the City's Urban Forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester. **Two street trees have been selected from the City's urban forestry guidelines and placed in the park strip at the front of the property.**

2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards:

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- a. Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur. **Durable hardscape material has been provided.**
- b. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table. **Ground material not required to be a walkway for egress is filled with a gravel base or landscaping to allow for rainwater infiltration.**
- c. Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar- Reflective Index (SRI). **The main roof will be a white membrane roof with a high SRI. The courtyard will be a light colored pedestrian traffic coating material. And the landscaping material at the ground level will be a light colored rock mulch material.**
- d. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City. **Hardscape materials used are appropriate and fit in with the character of the neighborhood.**
- e. Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities. **Textured stamped and colored concrete has been provided at the drive aisle and sidewalk where the drive crosses the sidewalk.**
- f. Asphalt shall be limited to vehicle drive aisles. (Ord. 14-19, 2019) **No asphalt is being used in the project.**

Signed:



Jonathan L. Kland, AIA
Principal Architect

the BOOKBINDER Studios
on 2nd West

DESIGN REVIEW SET | 3/31/2021



PROJECT CONTACTS:

ARCHITECT:
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VICINITY MAP



DRAWING INDEX	
Sheet Number	Sheet Name

01 - GENERAL	
A000	COVER
A010	CODE SHEET
A020	LIFE SAFETY PLANS
A030	PARTITION ASSEMBLIES
A031	HORIZONTAL ASSEMBLIES
A032	PENETRATION DETAILS
A040	RATED LISTING
A041	RATED LISTING
A044	FIRE STOP SYSTEM DETAILS
A045	FIRE STOP SYSTEM DETAILS
A046	FIRE STOP SYSTEM DETAILS
A047	FIRE STOP SYSTEM DETAILS
A048	FIRE STOP SYSTEM DETAILS
A049	FIRE STOP SYSTEM DETAILS
A050	TYPICAL ADA / ANSI DETAILS
A051	TYPICAL ADA / ANSI DETAILS
A052	ICC A117.1 TYPE-A & TYPE-B DETAILS
A053	ICC A117.1 TYPE-A & TYPE-B DETAILS
A054	TYPICAL ADA / ANSI DETAILS

02 - CIVIL	
C-001	COVER SHEET
C-002	CONSTRUCTION NOTES
C001	DEMOLITION PLAN
C100	SITE PLAN
C200	GRADING & DRAINAGE PLAN
C300	UTILITY PLAN
C301	PLAN & PROFILE
C400	PLAN & PROFILE
C500	DETAIL SHEET

03 - LANDSCAPE	
LS1.1	PATIO PLAN
LS2.1	PLANTING PLAN
LS3.1	PLANTING DETAILS
LS4.1	IRRIGATION DETAILS
LS4.2	IRRIGATION DETAILS

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A100	ARCHITECTURAL SITE PLAN
A101	OVERALL FLOOR PLAN LEVEL 1
A102	OVERALL FLOOR PLAN LEVEL 2
A103	OVERALL FLOOR PLAN LEVEL 3
A104	OVERALL FLOOR PLAN LEVEL 4

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Sheet Number	Sheet Name

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A106	OVERALL FLOOR PLAN LEVEL 6
A107	OVERALL FLOOR PLAN LEVEL 7
A108	OVERALL ROOF PLAN
A151	LEVEL 1 OVERALL REFLECTED CEILING PLAN
A152	LEVEL 2 OVERALL REFLECTED CEILING PLAN
A153	LEVEL 3 OVERALL REFLECTED CEILING PLAN
A154	LEVEL 4 OVERALL REFLECTED CEILING PLAN
A155	LEVEL 5 OVERALL REFLECTED CEILING PLAN
A156	LEVEL 6 OVERALL REFLECTED CEILING PLAN
A157	LEVEL 7 OVERALL REFLECTED CEILING PLAN
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A203	EXTERIOR ELEVATIONS
A210	COLOR ELEVATIONS
A250	3D VIEWS
A300	BUILDING SECTIONS
A310	WALL SECTIONS
A400	ENLARGED UNIT PLANS
A401	ENLARGED UNIT PLANS
A402	ENLARGED UNIT PLANS
A410	ENLARGED UNIT KITCHENS
A411	ENLARGED UNIT BATHROOMS
A420	STAIR 1 AND ELEVATOR PLANS
A421	STAIR 2 PLANS
A423	ELEVATOR DETAILS
A430	ENLARGED RESTROOM PLANS AND ELEVATIONS
A500	DETAILS
A600	DOOR SCHEDULE
A610	WINDOW SCHEDULE

05 - STRUCTURAL	
S0.01	GENERAL NOTES
S0.02	SPECIAL INSPECTIONS
S1.01	FOOTING FOUNDATION PLAN
S1.11	FLOOR FRAMING AT PODIUM LEVEL
S1.12	PT TENDON LAYOUT PLAN
S1.13	PT SLAB REINFORCING PLAN
S1.21	FOURTH FLOOR FRAMING PLAN
S1.31	FIFTH FLOOR FRAMING PLAN
S1.41	SIXTH FLOOR FRAMING PLAN
S1.51	SEVENTH FLOOR FRAMING PLAN
S1.61	ROOF FRAMING PLAN

DRAWING INDEX	
Sheet Number	Sheet Name

S4.01	STAIR FRAMING DETAILS
S5.01	FOOTING & FOUNDATION DETAILS
S5.02	FOOTING & FOUNDATION DETAILS
S5.11	PT SLAB DETAILS
S5.12	PT SLAB DETAILS
S5.21	FLOOR FRAMING DETAILS
S5.22	FLOOR FRAMING DETAILS
S5.31	ROOF FRAMING DETAILS
S5.32	ROOF FRAMING DETAILS
S5.33	ROOF FRAMING DETAILS
S6.01	SCHEDULES
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06 - MECHANICAL	
M100	MECHANICAL NOTES & LEGENDS
M101	LEVEL 1 MECHANICAL PLAN
M102	LEVEL 2 MECHANICAL PLAN
M103	LEVEL 3 MECHANICAL PLAN
M104	LEVEL 4 MECHANICAL PLAN
M105	LEVEL 5 MECHANICAL PLAN
M106	LEVEL 6 MECHANICAL PLAN
M107	LEVEL 7 MECHANICAL PLAN
M108	ROOF MECHANICAL PLAN
M401	ENLARGED UNIT MECHANICAL PLANS
M501	MECHANICAL DETAILS
M502	MECHANICAL DETAILS
M503	MECHANICAL DETAILS
M601	MECHANICAL SCHEDULES
M701	MECHANICAL SPECIFICATIONS
M702	MECHANICAL SPECIFICATIONS
M703	MECHANICAL SPECIFICATIONS

07 - PLUMBING	
P100	PLUMBING NOTES & LEGENDS
P101	LEVEL 1 PLUMBING PLAN
P102	LEVEL 2 PLUMBING PLAN
P103	LEVEL 3 PLUMBING PLAN
P104	LEVEL 4 PLUMBING PLAN
P105	LEVEL 5 PLUMBING PLAN
P106	LEVEL 6 PLUMBING PLAN
P107	LEVEL 7 PLUMBING PLAN
P108	ROOF PLUMBING PLAN
P401	ENLARGED UNIT PLUMBING PLANS
P501	PLUMBING DETAILS
P502	PLUMBING DETAILS

DRAWING INDEX	
Sheet Number	Sheet Name

P503	PLUMBING DETAILS
P601	PLUMBING SCHEDULES & SCHEMATICS
P701	PLUMBING SPECIFICATIONS
P702	PLUMBING SPECIFICATIONS

08 - ELECTRICAL	
E001	ELECTRICAL COVER SHEET
E101	LEVEL 1 ELECTRICAL PLAN
E102	LEVEL 2 ELECTRICAL PLAN
E103	LEVEL 3 ELECTRICAL PLAN
E104	LEVEL 4 ELECTRICAL PLAN
E105	LEVEL 5 ELECTRICAL PLAN
E106	LEVEL 6 ELECTRICAL PLAN
E107	LEVEL 7 ELECTRICAL PLAN
E108	ROOF ELECTRICAL PLAN
E401	ENLARGED UNIT ELECTRICAL PLANS
E501	ELECTRICAL DETAILS
E502	ELECTRICAL DETAILS
E601	ELECTRICAL SCHEDULES
E602	ELECTRICAL SCHEDULES
E603	ELECTRICAL SCHEDULES
E701	ELECTRICAL SPECIFICATIONS

09 - INTERIOR DESIGN	
ID100	INTERIOR FINISHES

PROJECT
the BOOKBINDER on
2nd West

422 SOUTH 200 WEST
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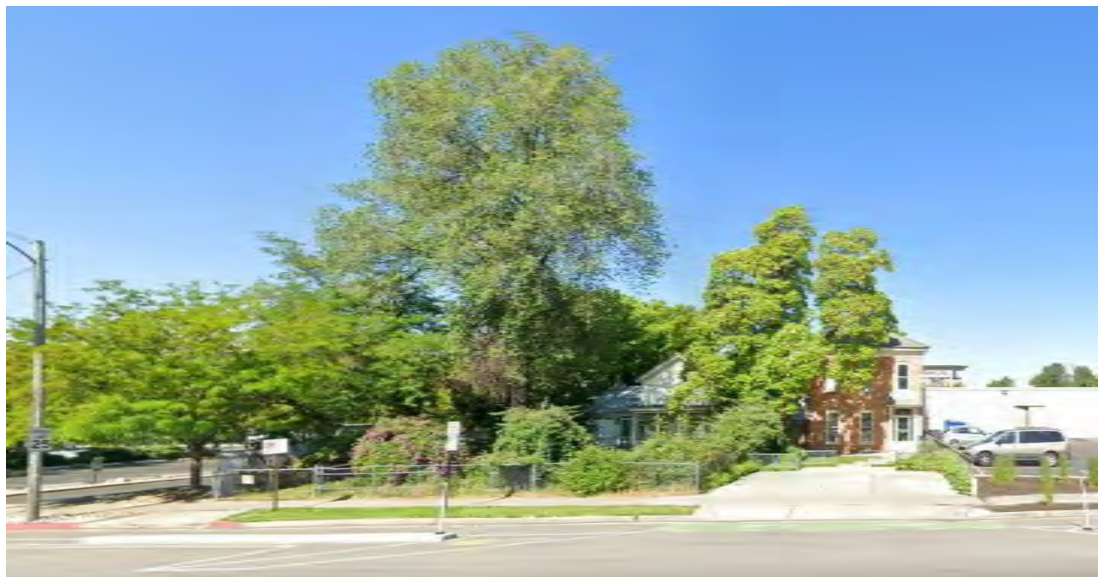
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PROJECT #: 2020-031
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CHECKED BY: Checker

PERMIT REVIEW

A000



EXISTING FACADES



ADJACENT FACADE NORTH



ADJACENT PARKING SOUTH



ADJACENT FACADE SOUTH



ADJACENT FACADE SOUTHEAST



ADJACENT FACADE EAST AND VIEW EAST



VIEW NORTH



VIEW SOUTH

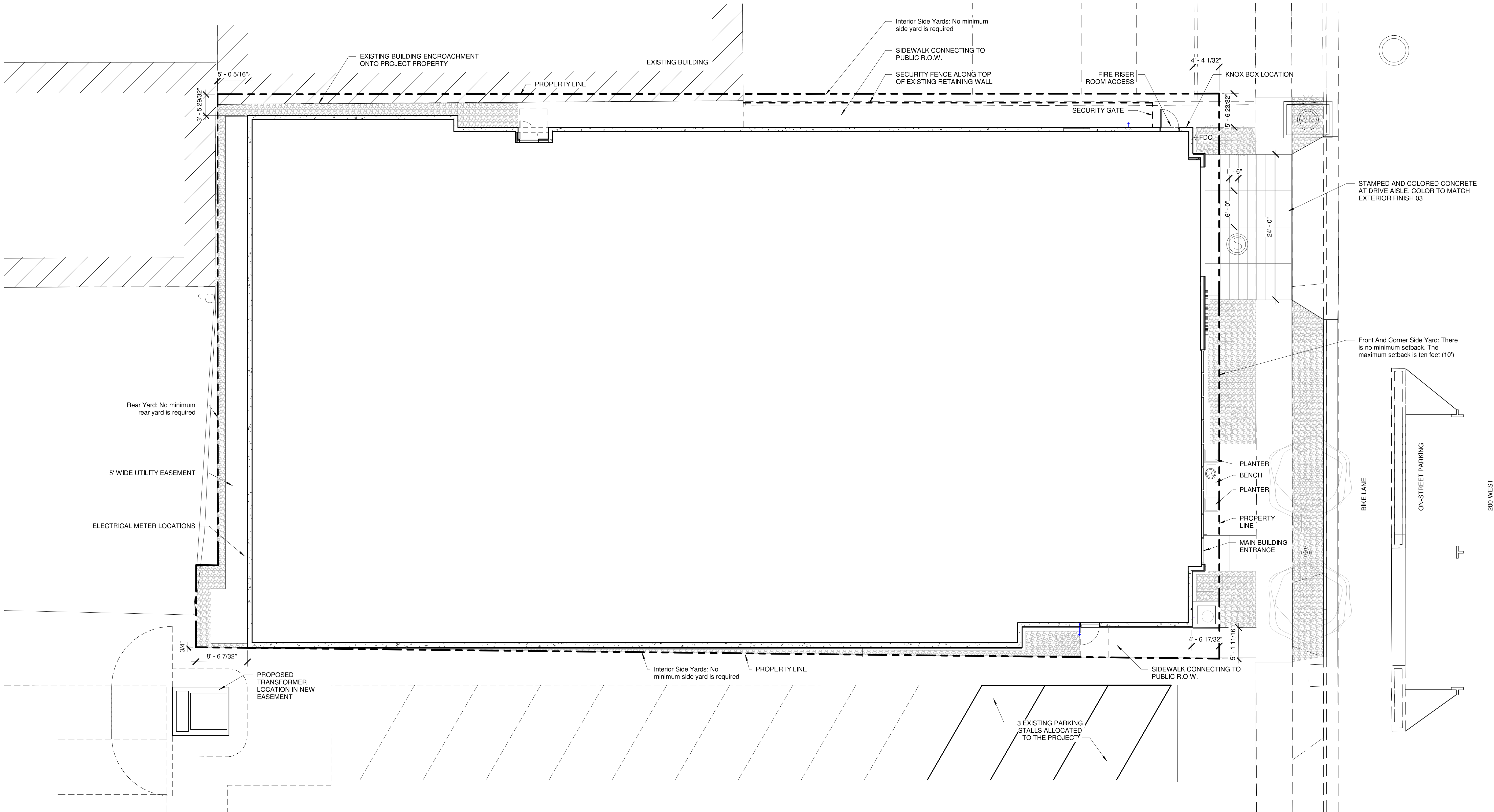


VIEW WEST

PROJECT INFO
REQUIRED PARKING 115 STUDIO DWELLING UNITS = 58 STALLS PROVIDED PARKING = 58 STALLS GARAGE = 53 STALLS ON-STREET = 2 STALLS OFF-SITE = 3 STALLS REQUIRED LOADING ZONE = 0 LOADING ZONE
REQUIRED ADA ACCESSIBLE PARKING (IBC 1106.2.1) 58 STALLS X 2% = 2 ADA STALLS (1 ADA VAN STALL)
REQUIRED BIKE PARKING 58 PARKING STALLS X 5% = 3 BIKE STALLS
PREFERRED PARKING FOR ELECTRIC VEHICLES 1 PER 25 PARKING STALLS = 3 STALLS
PREFERRED PARKING FOR LOW EMIT, HIGH EFF. VEHICLES 58 PARKING STALLS X 7% = 5 STALLS
SITE INFORMATION ZONE: D-2 LOT SIZE = 9,794 SF + 5,445 SF = 15,241 SF (0.35 ACRES) BUILDING FOOTPRINT = 13,101 SF = 86% OF TOTAL LOT PARKING AREA = 10,251 SF MAIN LEVEL GARAGE 10,317 SF LEVEL 2 GARAGE INTERIOR LANDSCAPING = 978 SF (6.4%)
BUILDING INFORMATION CONSTRUCTION TYPES: 5 LEVELS OF TYPE III OVER TWO LEVELS OF TYPE I. BUILDING HEIGHT: 83'-1" UNITS: 115. DENSITY: 328.57 UNITS/ACRE

SITE GENERAL NOTES

1. ALL SITE WORK SHALL BE COORDINATED WITH CIVIL DOCUMENTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND CIVIL ENGINEER FOR RESOLUTION. NO WORK SHALL BE PERFORMED ON THE CONTRADICTORY INFORMATION OR ANY EXISTING CONDITION NOT IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS WITHOUT FIRST CONSULTING THE ARCHITECT AND ENGINEER.
2. COORDINATE ALL LANDSCAPING, PARKING STRIPS, AND SIDEWALKS SHOWN WITH LANDSCAPE DRAWINGS.
3. CONTRACTOR IS RESPONSIBLE FOR RELOCATION OF DRY UTILITIES. CONTRACTOR TO WORK WITH UTILITY PROVIDER, IE: FIBER OPTICS, CABLE CO., FOR RELOCATION OF SHORING, MAINTENANCE OR REPAIR OF ALL EXISTING UTILITIES. REFER TO CIVIL AND MECHANICAL DRAWINGS FOR WET UTILITIES.
4. FOR SIDEWALK AND PAVING FINISH GRADES, COORDINATE WITH ARCHITECTURAL, CIVIL AND LANDSCAPE DRAWINGS.
5. SEE SITE ELECTRICAL PLANS FOR ALL SITE LIGHTING/ POST LIGHTS. ARCHITECT AND LANDSCAPE TO VERIFY FINAL LOCATIONS.



1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

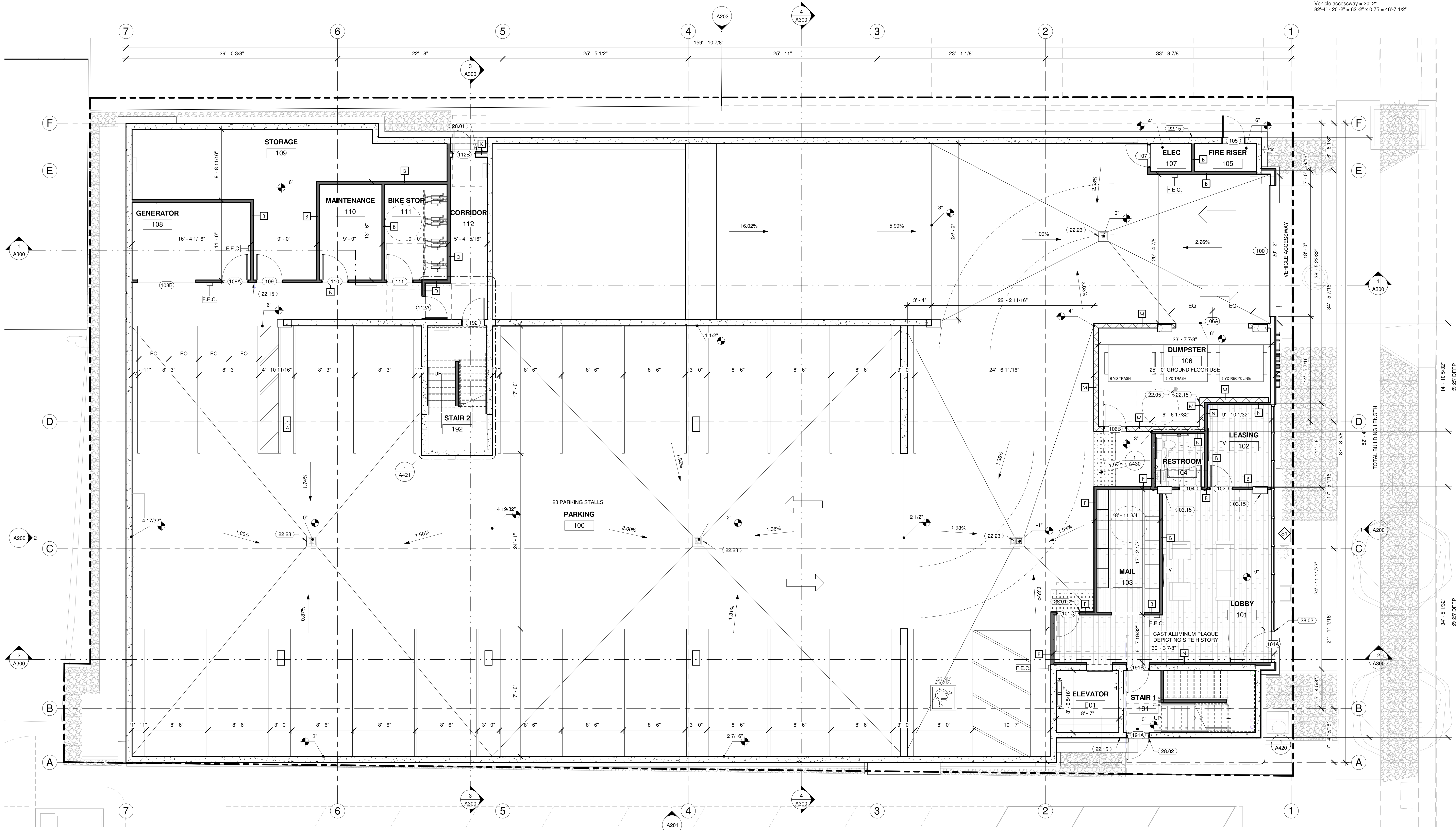
SHEET NOTES

- 03.15 FINISH EXPOSED CONCRETE COLUMNS WITH WUNDERFIXX, PAVECRETE OR SIMILAR, SMOOTH
22.05 FLOOR DRAIN, SEE PLUMBING DRAWINGS.
22.15 WALL HYDRANT, FREEZELESS, SEE PLUMBING DRAWINGS
28.01 SECURITY CAMERA PROPOSED LOCATION, COORDINATE LOCATION WITH SECURITY PROVIDER, PROVIDE POWER, DATA AND BACKING AS REQUIRED
28.02 BUILDING ENTRY DOOR EQUIPPED WITH MAG LOCK AND KEYPAD/CARD READER COMBO

FLOOR PLAN GENERAL NOTES

1. ALL EXTERIOR DIMENSIONS ARE TO GRID, FACE OF CONCRETE SLAB, FACE OF STUD (U.N.O.), REFER TO ENLARGED UNIT PLAN SHEETS FOR DETAILED NOTES ON FINISHES AND EQUIPMENT.
2. ALL GYP. BOARD WALLS AND CEILINGS ARE TO BE PAINTED U.N.O.
3. ALL HOLLOW METAL DOORS FRAMES SHALL BE PAINTED.
4. ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF THE CORNER UNLESS NOTED OTHERWISE.
5. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD FRAMING U.N.O.
6. ALL DIMENSIONS MARKED "CLEAN" ARE TO FACE OF FINISH.
7. PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0".
8. FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
9. PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRE/SMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) E 814
10. CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
11. MAXIMUM HEIGHT OF OUTLETS ON KITCHEN COUNTERTOPS TO BE 44". OTHER OUTLETS MUST BE A MINIMUM OF 15" OFF FLOOR TO A MAXIMUM OF 48" UNLESS LOCATED IN ADA ACCESSIBLE ROOMS.
12. PROVIDE GRAB BAR BLOCKING AT ALL UNITS.
13. REFER TO ENLARGED UNIT PLANS FOR DIMENSIONS AND ADDITIONAL DETAILS
14. ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND THE BUILDING IS DRIED IN.
15. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILING AND ROOF-CEILING ASSEMBLIES SHALL BE PROTECTED AS REQUIRED BY IBC SEC. 713.3 & 713.4.
16. USE CEMENTITIOUS BACKER BOARD AT ALL TILE WALLS.
17. PARKING GARAGE IS NOT HEATED, INSULATE ALL PIPES IN PARKING GARAGE

GROUND FLOOR USE
Total building length = 82'-4"
Vehicle accessway = 20'-2"
82'-4" - 20'-2" = 62'-2" x 0.75 = 46'-7 1/2"



1 OVERALL FLOOR PLAN - LEVEL 1
3/16" = 1'-0"

PROJECT
the BOOKBINDER on
2nd West

422 SOUTH 200 WEST
SALT LAKE CITY, UT 84101

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DATE DESCRIPTION

OVERALL FLOOR
PLAN LEVEL 1

DATE: 3/31/21
PROJECT #: 2025-031
DRAWN BY: Author
CHECKED BY: Checker
PERMIT REVIEW

FLOOR PLAN GENERAL NOTES

1. ALL EXTERIOR DIMENSIONS ARE TO GRID, FACE OF CONCRETE SLAB, FACE OF STUD (U.N.O.).
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11. CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
12. MAXIMUM HEIGHT OF OUTLETS ON KITCHEN COUNTERS TO BE 44". OTHER OUTLETS MUST BE A MINIMUM OF 15" OFF FLOOR TO A MAXIMUM OF 48" UNLESS LOCATED IN ADA ACCESSIBLE ROOMS.
13. PROVIDE GRAB BAR BLOCKING AT ALL UNITS.
14. REFER TO ENLARGED UNIT PLANS FOR DIMENSIONS AND ADDITIONAL DETAILS.
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17. USE CEMENTITIOUS BACKER BOARD AT ALL TILE WALLS.
18. PARKING GARAGE IS NOT HEATED, INSULATE ALL PIPES IN PARKING GARAGE.

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PROJECT
the BOOKBINDER on
2nd West

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OZ9 Opportunity
Fund, LLC

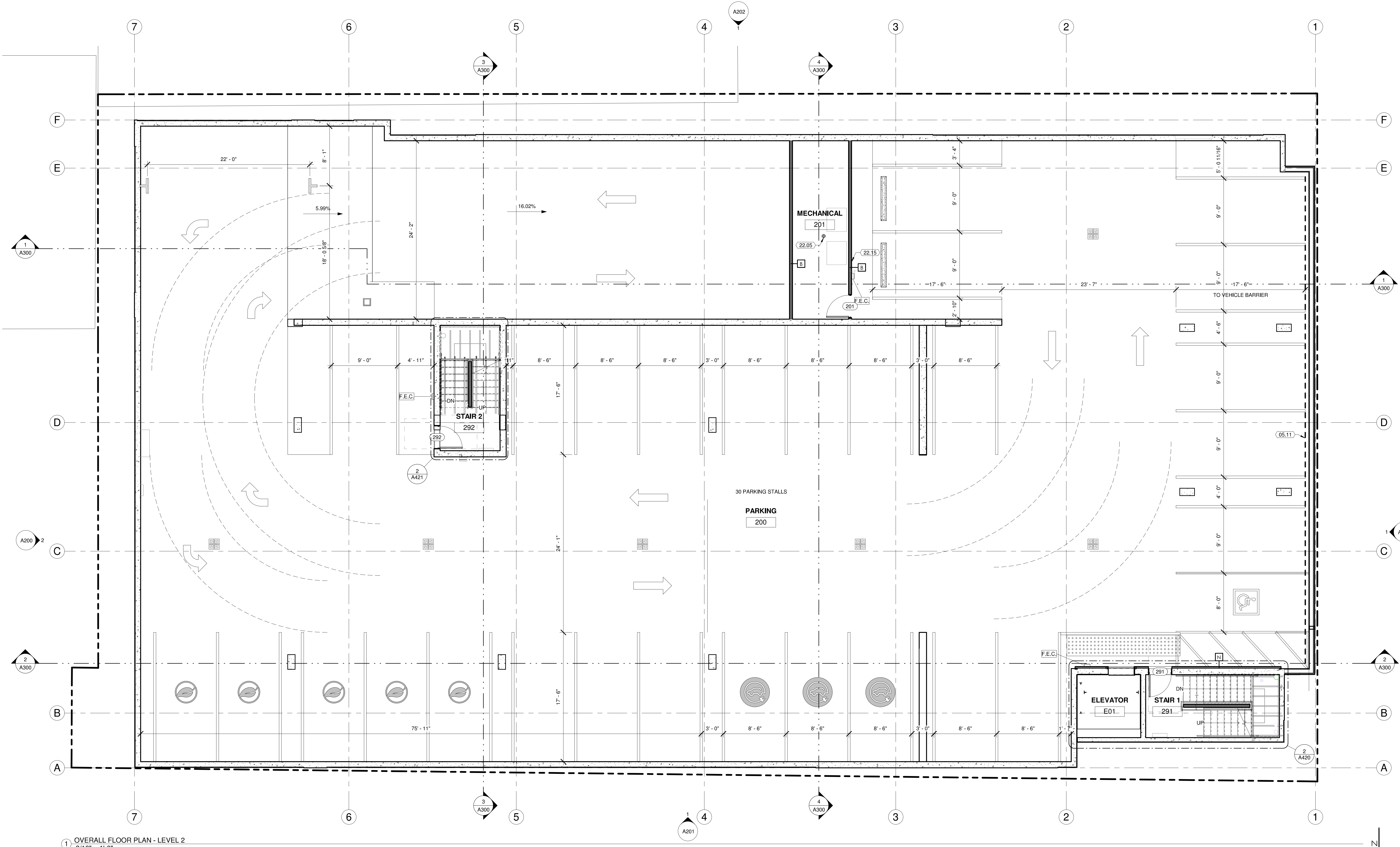
1610 West 700 North
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REVISIONS
DATE DESCRIPTION

OVERALL FLOOR
PLAN LEVEL 2

DATE: 3/31/21
PROJECT #: 2020-031
DRAWN BY: Author
CHECKED BY: Checker
PERMIT REVIEW

A102



1 OVERALL FLOOR PLAN - LEVEL 2
3/16" = 1'-0"

SHEET NOTES

- 06.27 PROVIDE PLYWOOD BACKING FOR DATA EQUIPMENT
10.24 UTILITY SHELF W/ MOP AND BROOM HOLDER, PROVIDE BACKING
22.02 DRINKING FOUNTAINS
22.03 ROOF DRAIN, SEE PLUMBING DRAWINGS
22.10 MOP SINK, SEE PLUMBING DRAWINGS
22.15 WALL HYDRANT, FREEZELESS, SEE PLUMBING DRAWINGS
22.21 DECK DRAIN WITH PROMENADE TOP, SEE PLUMBING
26.75 DECORATIVE TREE UPLIGHT IN TREE PLANTER, SEE ELECTRICAL

FLOOR PLAN GENERAL NOTES

1. ALL EXTERIOR DIMENSIONS ARE TO GRID, FACE OF CONCRETE SLAB, FACE OF STUD (U.N.O.), REFER TO ENLARGED UNIT PLAN SHEETS FOR DETAILED NOTES ON FINISHES AND EQUIPMENT.
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5. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD FRAMING U.N.O.
6. ALL DIMENSIONS MARKED "CLEAR" ARE TO FACE OF FINISH.
7. PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0".
8. FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
9. PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRE/SMOKE STOP SYSTEM OF A MINIMUM OF 1-HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) E 814.
10. CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
11. MAXIMUM HEIGHT OF OUTLETS ON KITCHEN COUNTERS TO BE 44". OTHER OUTLETS MUST BE A MINIMUM OF 15" OFF FLOOR TO A MAXIMUM OF 48" UNLESS LOCATED IN ADA ACCESSIBLE ROOMS.
12. PROVIDE GRAB BARS BLOCKING AT ALL UNITS.
13. REFER TO ENLARGED UNIT PLANS FOR DIMENSIONS AND ADDITIONAL DETAILS.
14. ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND THE BUILDING IS DRIED IN.
15. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILING AND ROOF-CEILING ASSEMBLIES SHALL BE PROTECTED AS REQUIRED BY IBC SEC. 713.3 & 713.4.
16. USE CEMENTITIOUS BACKER BOARD AT ALL TILE WALLS.
17. PARKING GARAGE IS NOT HEATED, INSULATE ALL PIPES IN PARKING GARAGE

UNIT TYPES

UNIT TYPE	UNIT COUNTS	NET SQ FT
IN-LINE STUDIO	50 UNITS (43.5%)	371 SF
PARALLEL STUDIO	2 UNITS (1.7%)	414 SF
PARALLEL+ STUDIO	5 UNITS (4.4%)	468 SF
STUDIO	40 UNITS (34.8%)	256 SF
STUDIO+	15 UNITS (13.0%)	345 SF
TYPE A STUDIO	3 UNITS (2.6%)	444 SF
TOTAL	115 UNITS (100%)	

ACCESSIBLE DWELLING UNITS (IBC SECTION 1107.6.2)

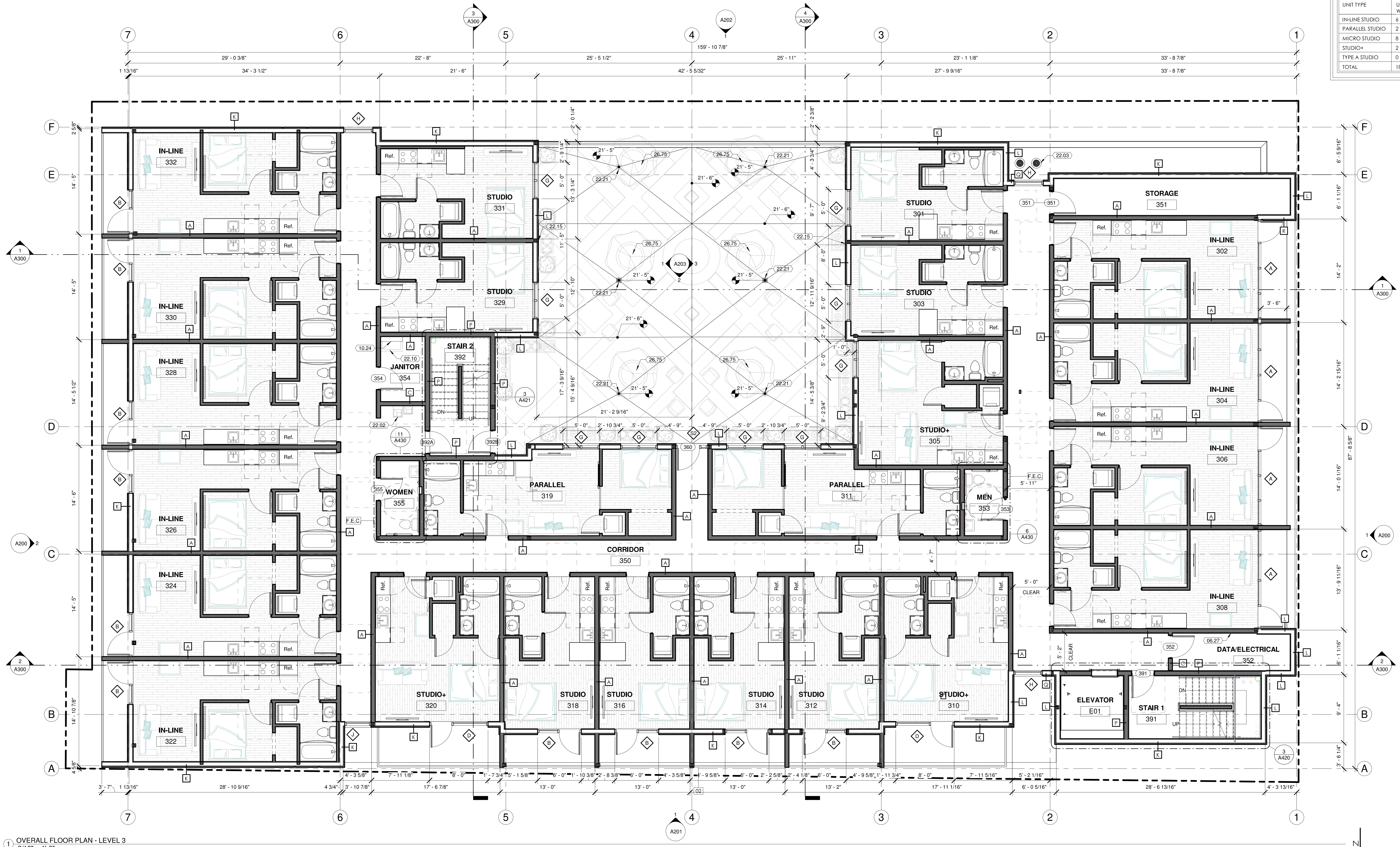
TYPE A UNITS	3 UNITS (#411, #511, #611) SEE SHEET A400
TYPE B UNITS	112 UNITS SEE SHEET A400
TOTAL	115 UNITS

UNITS WITH BALCONIES (INCL GROUND FLOOR)

UNIT TYPE	UNIT COUNT W/ BALCONY	BALCONY SF
IN-LINE STUDIO	44 UNITS	60 SF / 53 SF
PARALLEL STUDIO	8 UNITS	89 SF
MICRO STUDIO	27 UNITS	51 SF
STUDIO+	16 UNITS	90 SF
TYPE A STUDIO	2 UNITS	90 SF
TOTAL	97 UNITS	

UNITS WITHOUT BALCONIES

UNIT TYPE	UNIT COUNT W/ BALCONY
IN-LINE STUDIO	4 UNITS
PARALLEL STUDIO	2 UNITS
MICRO STUDIO	8 UNITS
STUDIO+	2 UNITS
TYPE A STUDIO	0 UNITS
TOTAL	18 UNITS



1 OVERALL FLOOR PLAN - LEVEL 3
3/16" = 1'-0"

the BOOKBINDER on
2nd West

422 SOUTH 200 WEST
SALT LAKE CITY, UT 84101

OWNER

OZ9 Opportunity
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DATE DESCRIPTION

OVERALL FLOOR
PLAN LEVEL 3

DATE: 3/1/21

PROJECT #: 2020-01

DRAWN BY: Author

CHECKED BY: Checker

PERMIT REVIEW

SHEET NOTES

06.27 PROVIDE PLYWOOD BACKING FOR DATA EQUIPMENT
10.24 UTILITY SHELF W/ MOP AND BROOM HOLDER, PROVIDE BACKING
22.10 MOP SINK. SEE PLUMBING DRAWINGS

FLOOR PLAN GENERAL NOTES

1. ALL EXTERIOR DIMENSIONS ARE TO GRID. FACE OF CONCRETE SLAB, FACE OF STUD (U.N.O.).
2. REFER TO ENLARGED UNIT PLAN SHEETS FOR DETAILED NOTES ON FINISHES AND EQUIPMENT.
3. ALL GYP. BOARD WALLS AND CEILINGS ARE TO BE PAINTED U.N.O.
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5. ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF THE CORNER UNLESS NOTED OTHERWISE.
6. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD FRAMING U.N.O.
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8. PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0".
9. FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
10. PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRE-SMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) E 814.
11. CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED. MAXIMUM HEIGHT OF OUTLETS ON KITCHEN COUNTERS TO BE 44". OTHER OUTLETS MUST BE A MINIMUM OF 15" OFF FLOOR TO A MAXIMUM OF 48" UNLESS LOCATED IN ADA ACCESSIBLE ROOMS.
12. PROVIDE GRAB BAR BLOCKING AT ALL UNITS.
13. REFER TO ENLARGED UNIT PLANS FOR DIMENSIONS AND ADDITIONAL DETAILS.
14. ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND THE BUILDING IS DRIED IN.
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17. PARKING GARAGE IS NOT HEATED, INSULATE ALL PIPES IN PARKING GARAGE.

UNIT TYPES

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PARALLEL STUDIO	2 UNITS (1.7%)	414 SF
PARALLEL+ STUDIO	5 UNITS (4.4%)	468 SF
STUDIO	40 UNITS (34.8%)	256 SF
STUDIO+	15 UNITS (13.0%)	345 SF
TYPE A STUDIO	3 UNITS (2.6%)	444 SF
TOTAL	115 UNITS (100%)	

ACCESSIBLE DWELLING UNITS (IBC SECTION 1107.6.2)

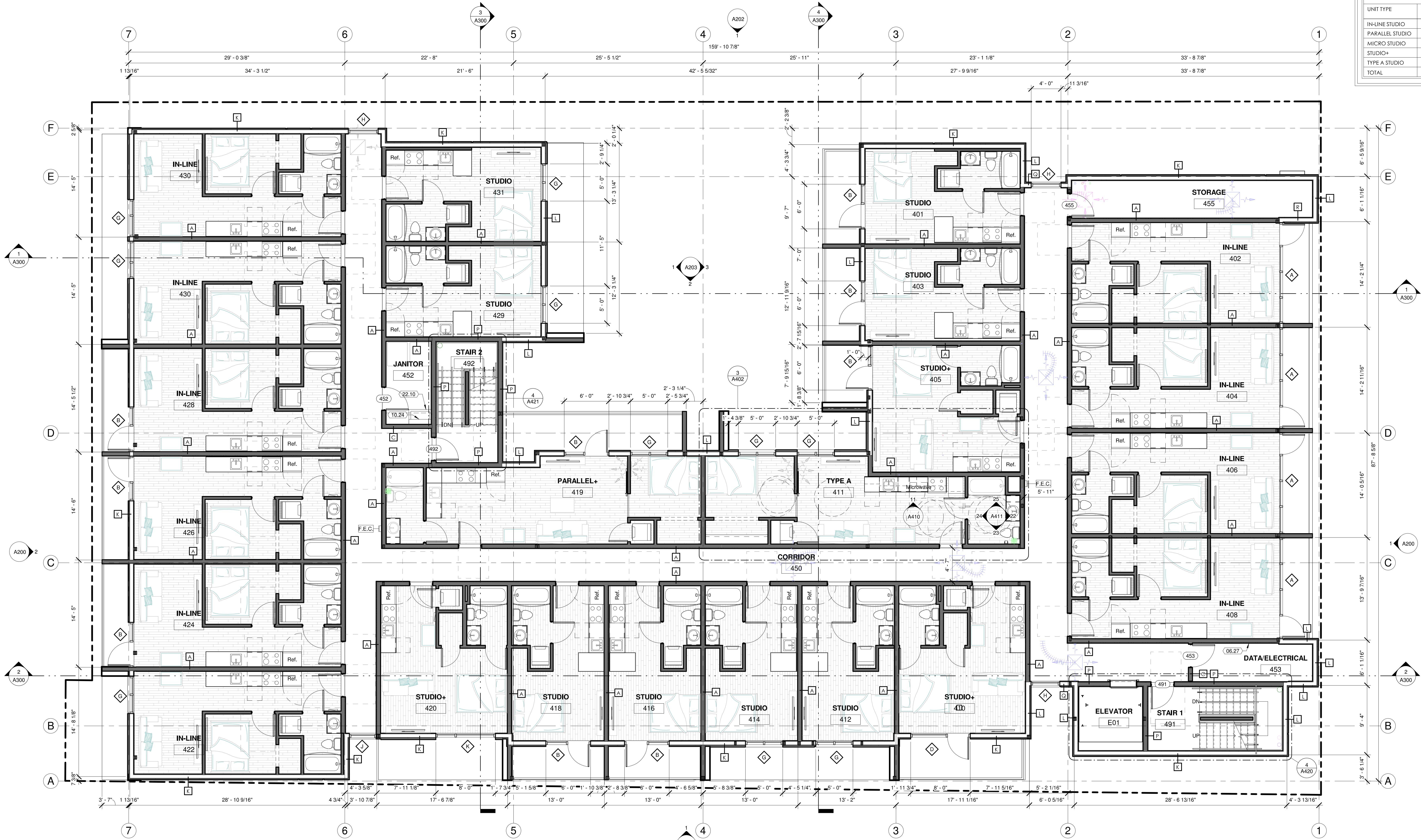
TYPE A UNITS	3 UNITS (W411, #511, #611) SEE SHEET A400
TYPE B UNITS	112 UNITS SEE SHEET A400
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UNIT TYPE	UNIT COUNT W/ BALCONY	BALCONY SF
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MICRO STUDIO	27 UNITS	51 SF
STUDIO+	16 UNITS	90 SF
TYPE A STUDIO	2 UNITS	90 SF
TOTAL	97 UNITS	

UNITS WITHOUT BALCONIES

UNIT TYPE	UNIT COUNT W/ BALCONY
IN-LINE STUDIO	6 UNITS
PARALLEL STUDIO	2 UNITS
MICRO STUDIO	8 UNITS
STUDIO+	2 UNITS
TYPE A STUDIO	0 UNITS
TOTAL	18 UNITS



1 OVERALL FLOOR PLAN - LEVEL 4
3/16" = 1'-0"

SHEET NOTES

- 06.27 PROVIDE PLYWOOD BACKING FOR DATA EQUIPMENT
10.24 UTILITY SHELF W/ MOP AND BROOM HOLDER, PROVIDE BACKING
22.10 MOP SINK. SEE PLUMBING DRAWINGS

FLOOR PLAN GENERAL NOTES

- ALL EXTERIOR DIMENSIONS ARE TO GRID, FACE OF CONCRETE SLAB, FACE OF STUD (U.N.O.).
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- PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRE/SMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) E 814.
- CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
- MAXIMUM HEIGHT OF OUTLETS ON KITCHEN COUNTERS TO BE 4". OTHER OUTLETS MUST BE A MINIMUM OF 15" OFF FLOOR TO A MAXIMUM OF 48" UNLESS LOCATED IN ADA ACCESSIBLE ROOMS.
- PROVIDE GRAB BAR BLOCKING AT ALL UNITS.
- REFER TO ENLARGED UNIT PLANS FOR DIMENSIONS AND ADDITIONAL DETAILS.
- ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND THE BUILDING IS DRIED IN.
- PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILING AND ROOF-CEILING ASSEMBLIES SHALL BE PROTECTED AS REQUIRED BY IBC SEC. 713.3 & 713.4.
- USE CEMENTITIOUS BACKER BOARD AT ALL TILE WALLS.
- PARKING GARAGE IS NOT HEATED, INSULATE ALL PIPES IN PARKING GARAGE.

UNIT TYPES

UNIT TYPE	UNIT COUNTS	NET SQ FT
IN-LINE STUDIO	50 UNITS (43.5%)	371 SF
PARALLEL STUDIO	2 UNITS (1.7%)	414 SF
PARALLEL+ STUDIO	5 UNITS (4.4%)	468 SF
STUDIO	40 UNITS (34.8%)	256 SF
STUDIO+	15 UNITS (13.0%)	345 SF
TYPE A STUDIO	3 UNITS (2.6%)	444 SF
TOTAL	115 UNITS (100%)	

ACCESSIBLE DWELLING UNITS (IBC SECTION 1107.6.2)

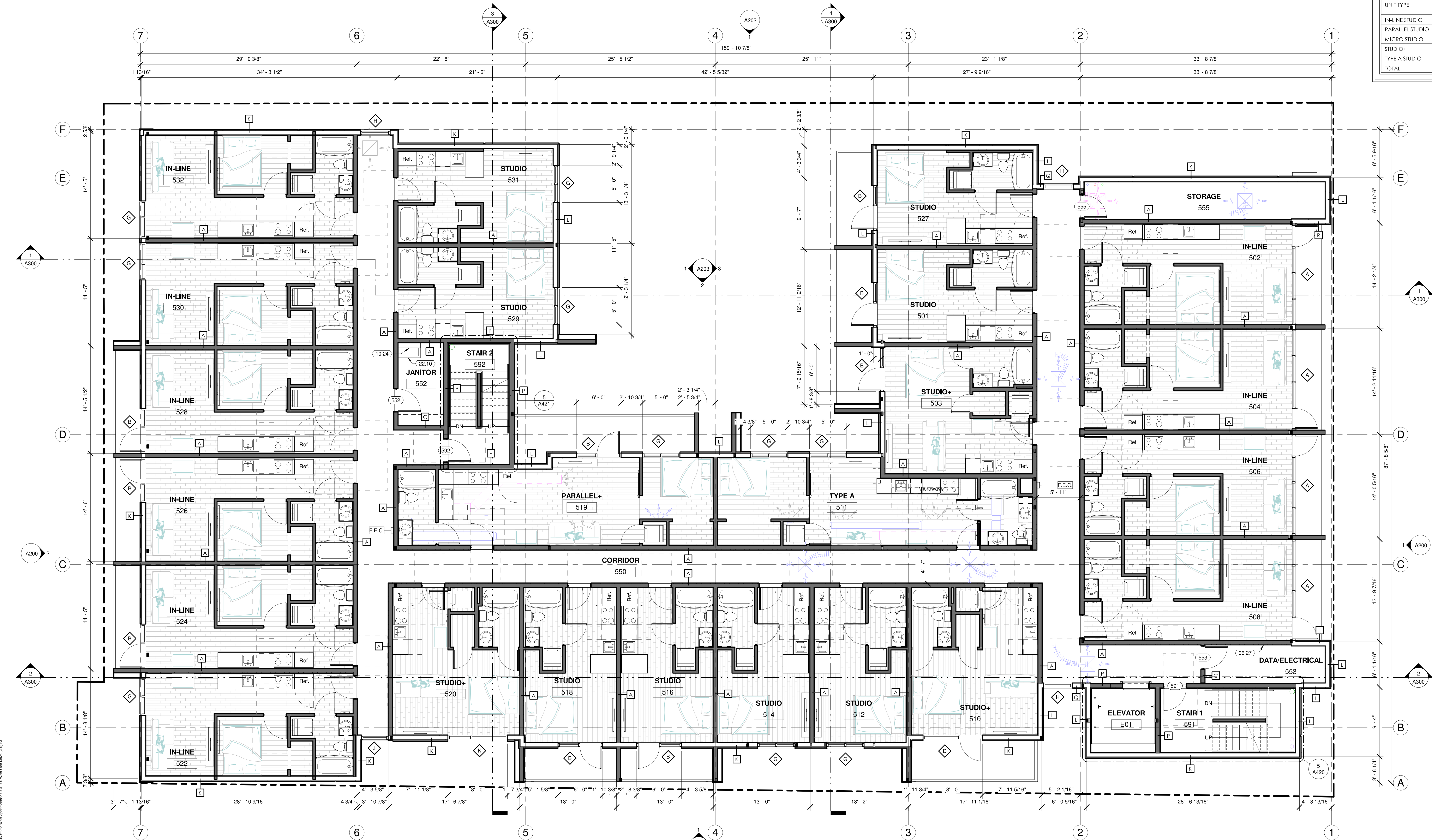
TYPE A UNITS	3 UNITS (#411, #511, #611) SEE SHEET A400
TYPE B UNITS	112 UNITS SEE SHEET A400
TOTAL	115 UNITS

UNITS WITH BALCONIES (INCL GROUND FLOOR)

UNIT TYPE	UNIT COUNT W/ BALCONY	BALCONY SF
IN-LINE STUDIO	44 UNITS	60 SF / 53 SF
PARALLEL STUDIO	8 UNITS	89 SF
MICRO STUDIO	27 UNITS	51 SF
STUDIO+	16 UNITS	90 SF
TYPE A STUDIO	2 UNITS	90 SF
TOTAL	97 UNITS	

UNITS WITHOUT BALCONIES

UNIT TYPE	UNIT COUNT W/ BALCONY
IN-LINE STUDIO	6 UNITS
PARALLEL STUDIO	2 UNITS
MICRO STUDIO	8 UNITS
STUDIO+	2 UNITS
TYPE A STUDIO	0 UNITS
TOTAL	18 UNITS



1 OVERALL FLOOR PLAN - LEVEL 5
3/16" = 1'-0"

SHEET NOTES

06.27 PROVIDE PLYWOOD BACKING FOR DATA EQUIPMENT
10.24 UTILITY SHELF W/ MOP AND BROOM HOLDER, PROVIDE BACKING
22.10 MOP SINK. SEE PLUMBING DRAWINGS

FLOOR PLAN GENERAL NOTES

- ALL EXTERIOR DIMENSIONS ARE TO GRID. FACE OF CONCRETE SLAB. FACE OF STUD (U.N.O.).
- REFER TO ENLARGED UNIT PLAN SHEETS FOR DETAILED NOTES ON FINISHES AND EQUIPMENT.
- ALL GYP. BOARD WALLS AND CEILINGS ARE TO BE PAINTED U.N.O.
- ALL HOLLOW METAL DOORS FRAMES SHALL BE PAINTED.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF THE CORNER UNLESS NOTED OTHERWISE.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD FRAMING U.N.O.
- ALL DIMENSIONS MARKED "CLEAR" ARE TO FACE OF FINISH.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0".
- FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRE-SMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE-RATED MATERIALS (ASTM) E 814.
- CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED. MAXIMUM HEIGHT OF OUTLETS ON KITCHEN COUNTERS TO BE 44". OTHER OUTLETS MUST BE A MINIMUM OF 15" OFF FLOOR TO A MAXIMUM OF 48" UNLESS LOCATED IN ADA ACCESSIBLE ROOMS.
- PROVIDE GRAB BAR BLOCKING AT ALL UNITS.
- REFER TO ENLARGED UNIT PLANS FOR DIMENSIONS AND ADDITIONAL DETAILS.
- ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND THE BUILDING IS DRIED IN.
- PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILING AND ROOF-CEILING ASSEMBLIES SHALL BE PROTECTED AS REQUIRED BY IBC SEC. 713.3 & 713.4.
- USE CEMENTITIOUS BACKER BOARD AT ALL TILE WALLS.
- PARKING GARAGE IS NOT HEATED, INSULATE ALL PIPES IN PARKING GARAGE.

UNIT TYPES

UNIT TYPE	UNIT COUNTS	NET SQ FT
IN-LINE STUDIO	50 UNITS (43.5%)	371 SF
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STUDIO	40 UNITS (34.8%)	256 SF
STUDIO+	15 UNITS (13.0%)	345 SF
TYPE A STUDIO	3 UNITS (2.6%)	444 SF
TOTAL	115 UNITS (100%)	

ACCESSIBLE DWELLING UNITS (IBC SECTION 1107.6.2)

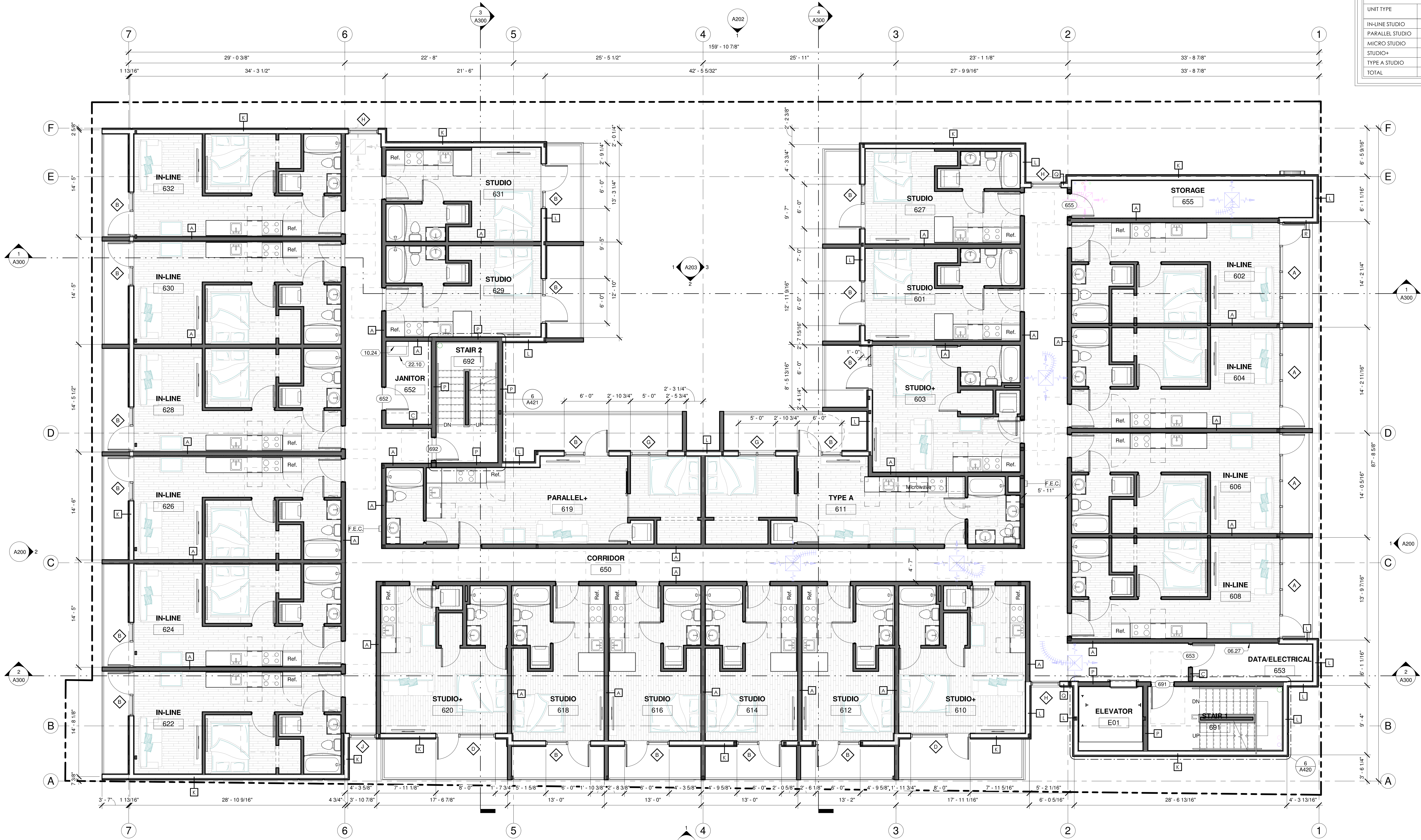
TYPE A UNITS	3 UNITS (#141, #511, #611) SEE SHEET A400
TYPE B UNITS	112 UNITS SEE SHEET A400
TOTAL	115 UNITS

UNITS WITH BALCONIES (INCL GROUND FLOOR)

UNIT TYPE	UNIT COUNT W/ BALCONY	BALCONY SF
IN-LINE STUDIO	44 UNITS	60 SF / 53 SF
PARALLEL STUDIO	8 UNITS	89 SF
MICRO STUDIO	27 UNITS	51 SF
STUDIO+	16 UNITS	90 SF
TYPE A STUDIO	2 UNITS	90 SF
TOTAL	97 UNITS	

UNITS WITHOUT BALCONIES

UNIT TYPE	UNIT COUNT W/ BALCONY
IN-LINE STUDIO	6 UNITS
PARALLEL STUDIO	2 UNITS
MICRO STUDIO	8 UNITS
STUDIO+	2 UNITS
TYPE A STUDIO	0 UNITS
TOTAL	18 UNITS



1 OVERALL FLOOR PLAN - LEVEL 6
3/16" = 1'-0"

SHEET NOTES

- 06.27

PROVIDE PLYWOOD BACKING FOR DATA EQUIPMENT
- 08.13

PROVIDE ACCESS PANEL FOR BUILDING SIGNAGE CONNECTIONS
- 10.03

BUILDING SIGNAGE PROVIDED BY OWNER. GC SHALL PROVIDE BACKING AND POWER FOR SIGNAGE PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 10.24

UTILITY SHELF W/ MOP AND BROOM HOLDER, PROVIDE BACKING
- 22.10

MOP SINK. SEE PLUMBING DRAWINGS

FLOOR PLAN GENERAL NOTES

1.

ALL EXTERIOR DIMENSIONS ARE TO GRID, FACE OF CONCRETE SLAB, FACE OF STUD (U.N.O.). REFER TO ENLARGED UNIT PLAN SHEETS FOR DETAILED NOTES ON FINISHES AND EQUIPMENT.
2.

ALL GYP. BOARD WALLS AND CEILINGS ARE TO BE PAINTED U.N.O.
3.

ALL HOLLOW METAL DOORS FRAMES SHALL BE PAINTED.
4.

ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF THE CORNER UNLESS NOTED OTHERWISE.
5.

ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD FRAMING U.N.O.
6.

ALL DIMENSIONS MARKED "CLEAR" ARE TO FACE OF FINISH.
7.

PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0".
8.

FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
9.

PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRE-SMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) E 814.
10.

CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED. MAXIMUM HEIGHT OF OUTLETS ON KITCHEN COUNTERS TO BE 44". OTHER OUTLETS MUST BE A MINIMUM OF 15" OFF FLOOR TO A MAXIMUM OF 48" UNLESS LOCATED IN ADA ACCESSIBLE ROOMS.
11.

PROVIDE GRAB BAR BLOCKING AT ALL UNITS.
12.

REFER TO ENLARGED UNIT PLANS FOR DIMENSIONS AND ADDITIONAL DETAILS
13.

ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND THE BUILDING IS DRIED IN.
14.

PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILING AND ROOF-CEILING ASSEMBLIES SHALL BE PROTECTED AS REQUIRED BY IBC SEC. 713.3 & 713.4.
15.

USE CEMENTITIOUS BACKER BOARD AT ALL TILE WALLS.
16.

PARKING GARAGE IS NOT HEATED, INSULATE ALL PIPES IN PARKING GARAGE

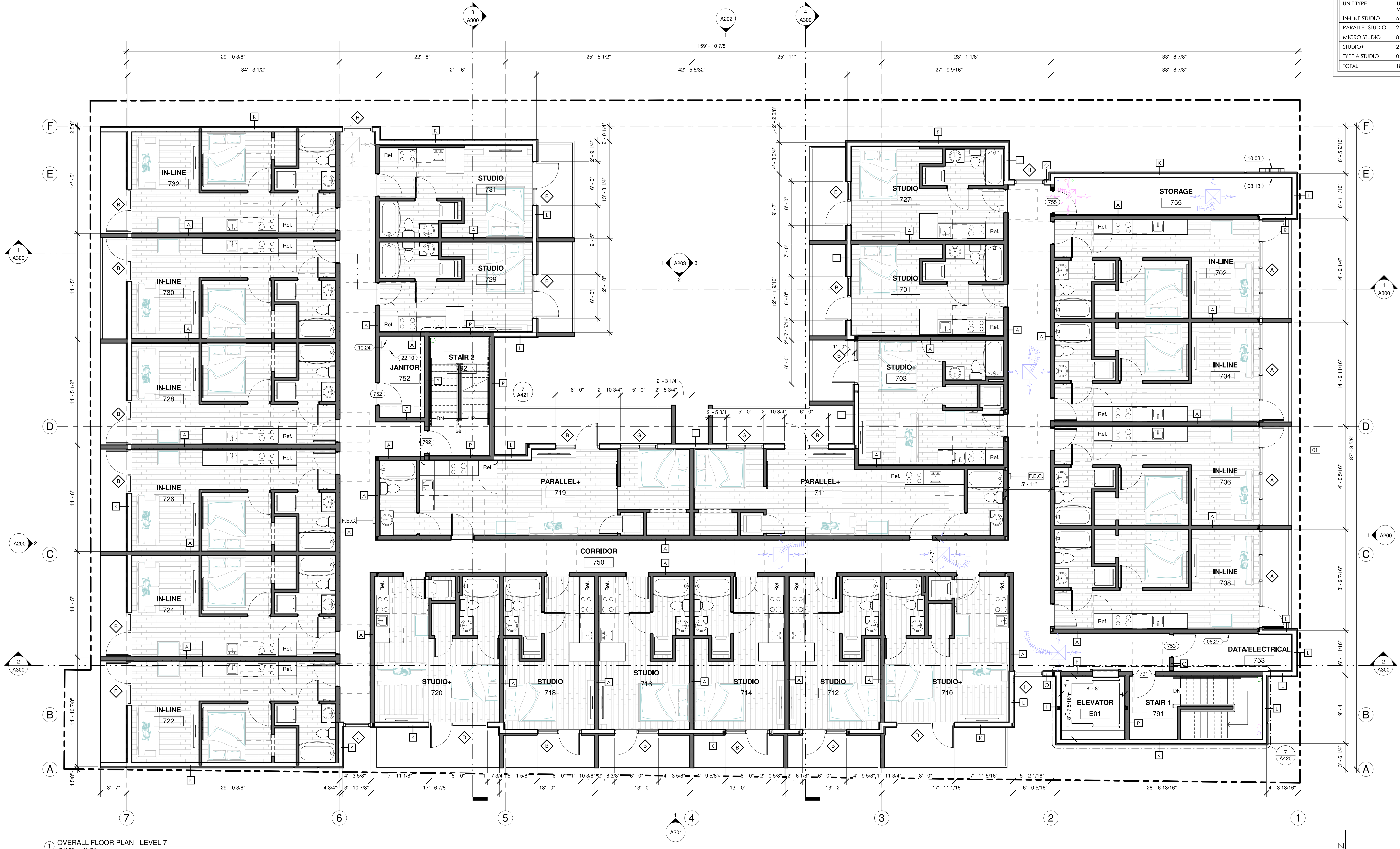
UNIT TYPES

UNIT TYPE	UNIT COUNTS	NET SQ FT
IN-LINE STUDIO	50 UNITS (43.5%)	371 SF
PARALLEL STUDIO	2 UNITS (1.7%)	414 SF
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STUDIO	40 UNITS (34.8%)	256 SF
STUDIO+	15 UNITS (13.0%)	345 SF
TYPE A STUDIO	3 UNITS (2.6%)	444 SF
TOTAL	115 UNITS (100%)	

ACCESSIBLE DWELLING UNITS (IBC SECTION 1107.6.2)		
TYPE A UNITS	3 UNITS (#411, #511, #611)	SEE SHEET A400
TYPE B UNITS	112 UNITS	SEE SHEET A400
TOTAL	115 UNITS	

UNITS WITH BALCONIES (INCL GROUND FLOOR)		
UNIT TYPE	UNIT COUNT W/ BALCONY	BALCONY SF
IN-LINE STUDIO	44 UNITS	60 SF / 53 SF
PARALLEL STUDIO	8 UNITS	89 SF
MICRO STUDIO	27 UNITS	51 SF
STUDIO+	16 UNITS	90 SF
TYPE A STUDIO	2 UNITS	90 SF
TOTAL	97 UNITS	

UNITS WITHOUT BALCONIES	
UNIT TYPE	UNIT COUNT W/ BALCONY
IN-LINE STUDIO	6 UNITS
PARALLEL STUDIO	2 UNITS
MICRO STUDIO	8 UNITS
STUDIO+	2 UNITS
TYPE A STUDIO	0 UNITS
TOTAL	18 UNITS



1 OVERALL FLOOR PLAN - LEVEL 7
3/16" = 1'-0"

SHEET NOTES

05.06 METAL STUD PARAPET KICKER - SEE STRUCTURAL.
22.03 ROOF DRAIN, SEE PLUMBING DRAWINGS.
22.15 WALL HYDRANT, FREEZELESS, SEE PLUMBING DRAWINGS.
23.08 ELEVATOR SHAFT VENT, SEE MECHANICAL.

ROOF PLAN GENERAL NOTES

- FLASH ALL PENETRATIONS WHETHER SHOWN OR NOT SHOWN.
- COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ALL PENETRATIONS.
- PROVIDE WALKWAY PADS AROUND ALL MECHANICAL EQUIPMENT, AND ROOF ACCESS.
- PROVIDE CRICKETS AT MECHANICAL EQUIPMENT, ROOF HATCHES, AND OTHER PENETRATIONS TO ALLOW FOR POSITIVE FLOW AROUND OBSTRUCTIONS.
- SLOPE ALL PORTIONS OF ALL ROOFS AT 1/4" PER FOOT MINIMUM.

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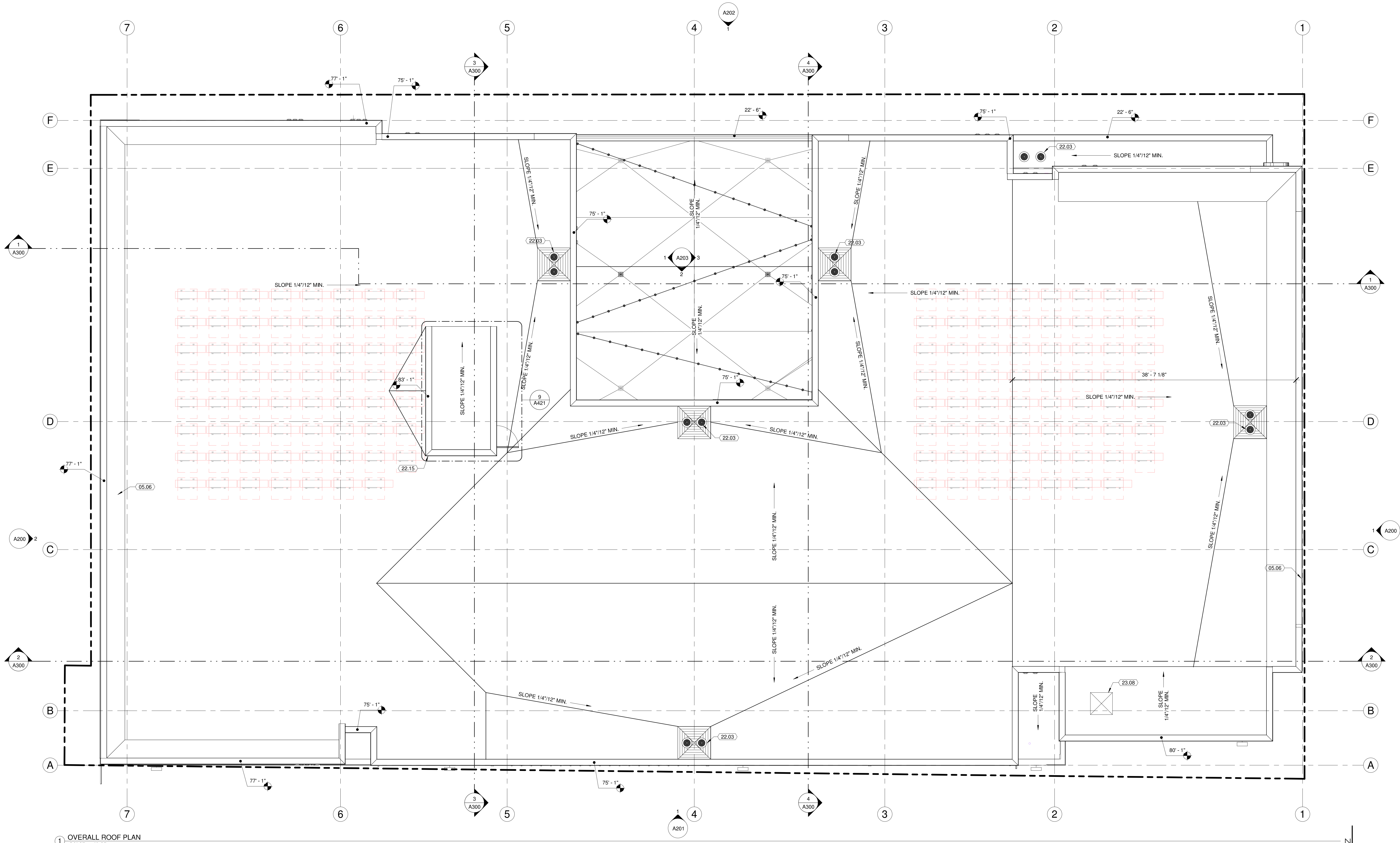
1610 West 700 North
LONDON, UT 84042
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DATE DESCRIPTION

OVERALL ROOF
PLAN

DATE: 3/1/21
PROJECT #: 2020-01
DRAWN BY: Author
CHECKED BY: Checker
PERMIT REVIEW

A108



1 OVERALL ROOF PLAN
3/16" = 1'-0"

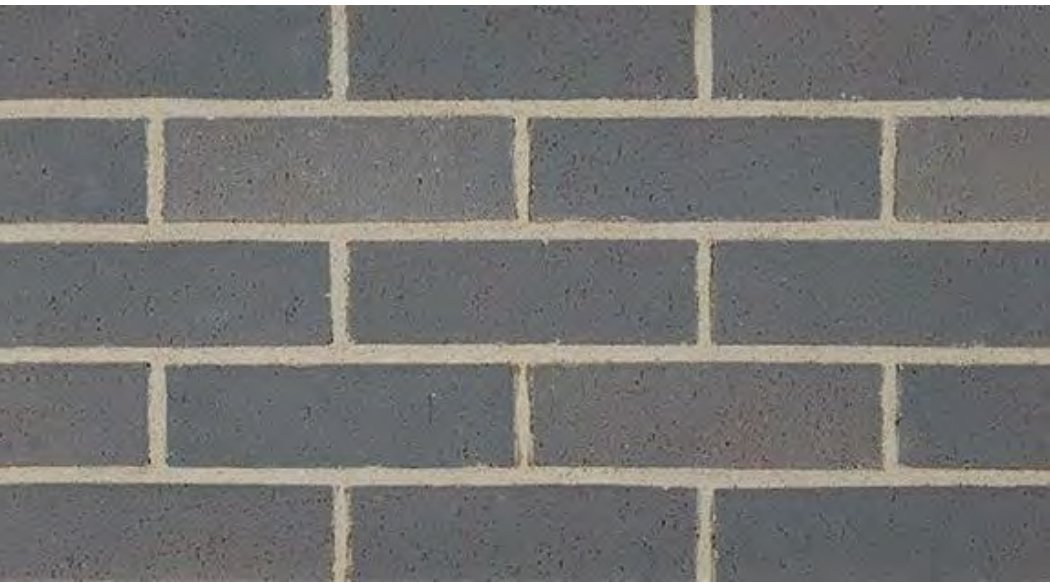
Stucco to match
Dryvit, Finesse



Stucco to match
Dryvit, Reflectit



Brick
Norman Brick, Stack Bond, Titanium Gray



Fiber Cement Panel
Nichia Illumination



WINDOWS
Intus, Black Smooth



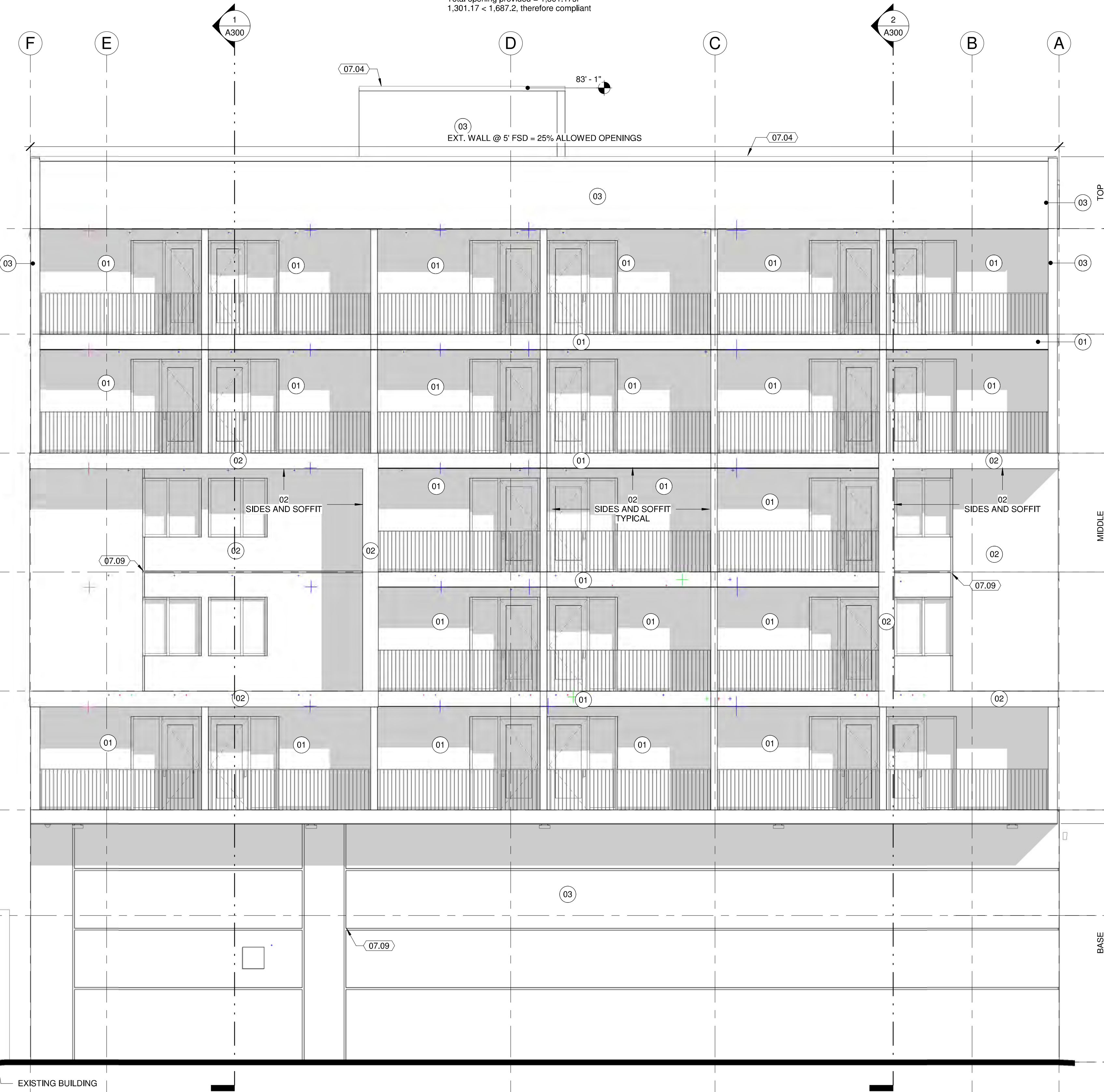
Vertical Guard Rail



Glass Rail



ALLOWED OPENING CALCULATIONS
Exterior wall area = 6,748.81sf
@ 5' to < 10' FSD = 6,748.81 x 0.25 = 1,687.2sf unprotected openings allowed
Total opening provided = 1,301.17sf
1,301.17 < 1,687.2, therefore compliant



2 WEST ELEVATION
3/16" = 1'-0"

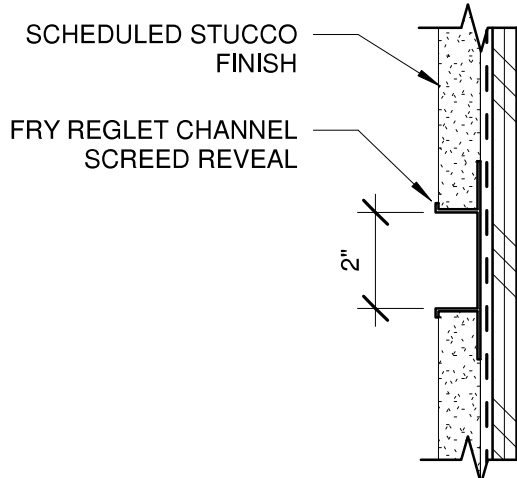
SHEET NOTES

07.04
07.09
10.03

PRE-FINISHED METAL COPING - SEE ELEVATIONS FOR FINISH
STUCCO REVEAL, TYPICAL
BUILDING SIGNAGE PROVIDED BY OWNER. GC SHALL PROVIDE BACKING
AND POWER FOR SIGNAGE PER MANUFACTURER'S WRITTEN
INSTRUCTIONS.

ELEVATION GENERAL NOTES

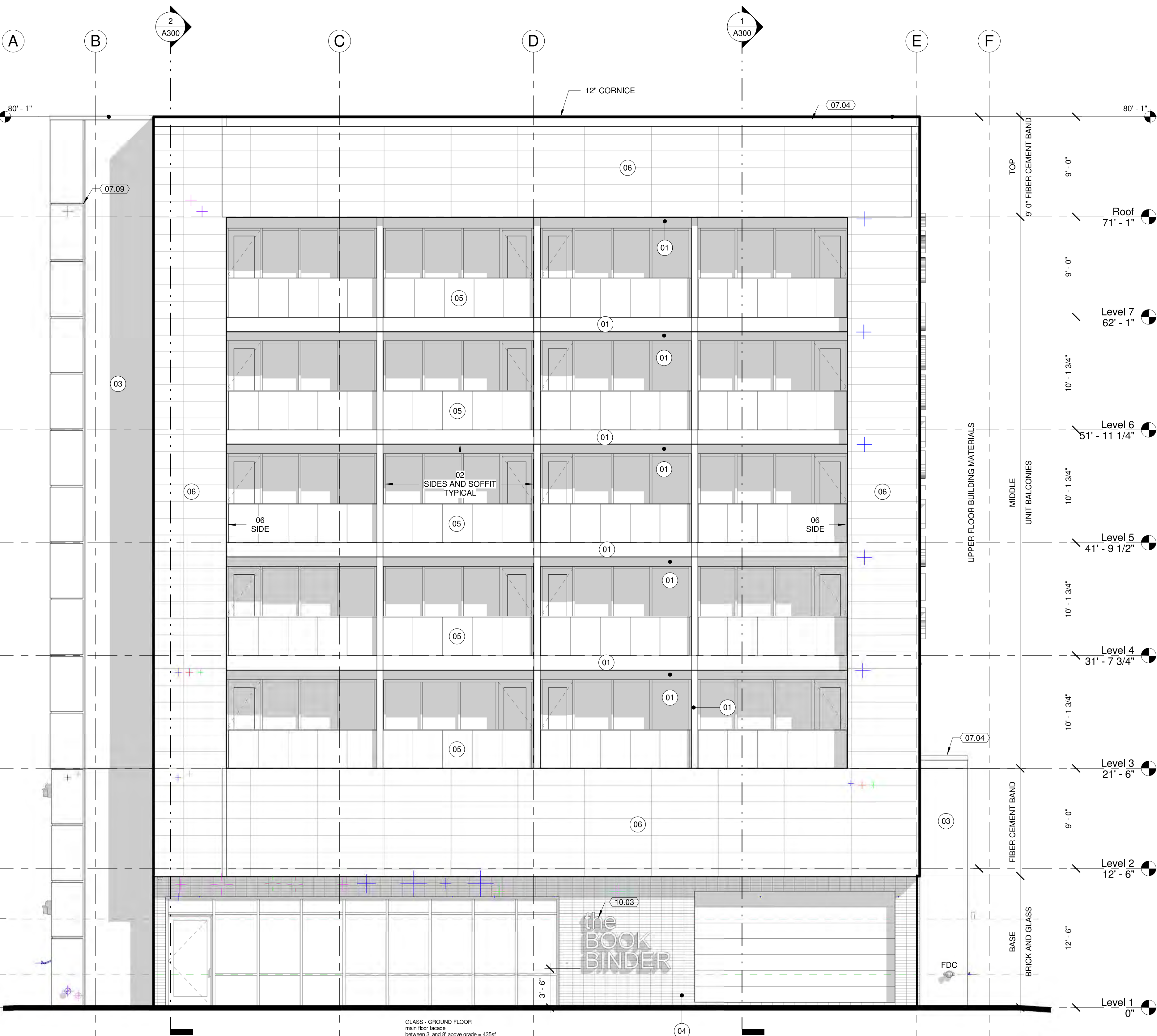
1. REFER TO DOOR SCHEDULE AND WINDOW SCHEDULE FOR SIZES AND TYPES.
2. ALL ROOF DRAINS SHALL FLOW DIRECTLY TO GUTTER.
3. CUSTOM COLORS ARE SELECTED AND SHALL BE APPROVED BY OWNER. SUBMIT COLOR SAMPLES OF ALL FINISH PRODUCTS TO OWNER AND ARCHITECT PRIOR TO INSTALLATION.
4. AT ALL PENETRATIONS OF EXTERIOR WALLS BY PIPES, DUCTS OR CONDUITS, THE SPACE BETWEEN THE WALL AND PIPES, DUCTS OR CONDUITS SHALL BE CAULKED OR FILLED WITH MORTAR TO FORM AN AIRTIGHT SEAL.



4 STUCCO REVEAL DETAIL
3" = 1'-0"

BUILDING MATERIALS - UPPER FLOORS
Total Facade Area = 5,381.12sf
Storefront = 2,167.34sf
Total Facade - Storefront = 3,213.78sf of exterior materials
Fiber Cement = 1,887.04sf (58.7%)
EIFS = 1,326.74sf (41.3%)

GLASS - UPPER FLOOR
Total Facade Area = 5,381.12sf
Storefront = 2,167.34sf (40.3%)



1 EAST ELEVATION
3/16" = 1'-0"

EXTERIOR FINISH LEGEND

- 01 Stucco, Finish to match Dryvit Reflectit
Color: Mountain Peak White
Benjamin Moore 2148-70
 - 02 Stucco, Finish to match Dryvit Finesse
Color: Painted, Butterscotch
Benjamin Moore 2157-30
 - 03 Stucco, Finish to match Dryvit Reflectit
Color: Bracken Slate
Benjamin Moore CW-690
 - 04 Brick: Norman, Stack Bond
Color: Titanium Gray
 - 05 Glass Guard Rail
CFL EGR Elevated Glass Railing
System or Equal
 - 06 Fiber Cement Panel
Nichia Illumination Series
Color: Match Mountain Peak White
Benjamin Moore 2148-70
- Pre-finished metal coping:
Firestone Tapered Coping or equal
Color: Matte Black
- Stucco reveals: Fry Reglet Channel
Screed, Color: Anodized Buffed
Brite Black at Stucco 01 and 02,
Anodized Buffed Brite Stainless
Steel at Stucco 03

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PROJECT
the BOOKBINDER on
2nd West

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SALT LAKE CITY, UT 84101

CLIENT
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Fund, LLC

1610 West 700 North
LINDON, UT 84042
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DATE DESCRIPTION

EXTERIOR
ELEVATIONS

DATE: 3/31/21
PROJECT #: 2023-001
DRAWN BY: Author
CHECKED BY: Checker

PERMIT REVIEW

A200

SHEET NOTES

07.04 PRE-FINISHED METAL COPING - SEE ELEVATIONS FOR FINISH
07.09 STUCCO REVEAL, TYPICAL
23.01 DRYER EXHAUST VENT

ELEVATION GENERAL NOTES

- REFER TO DOOR SCHEDULE AND WINDOW SCHEDULE FOR SIZES AND TYPES.
- ALL ROOF DRAINS SHALL FLOW DIRECTLY TO GUTTER.
- CUSTOM COLORS ARE SELECTED AND SHALL BE APPROVED BY OWNER. SUBMIT COLOR SAMPLES OF ALL FINISH PRODUCTS TO OWNER AND ARCHITECT PRIOR TO INSTALLATION.
- AT ALL PENETRATIONS OF EXTERIOR WALLS BY PIPES, DUCTS OR CONDUITS, THE SPACE BETWEEN THE WALL AND PIPES, DUCTS OR CONDUITS SHALL BE CAULKED OR FILLED WITH MORTAR TO FORM AN AIRTIGHT SEAL.

EXTERIOR FINISH LEGEND

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Color: Mountain Peak White
Benjamin Moore 2148-70
- 02 Stucco, Finish to match Dryvit Finesse
Color: Painted, Butterscotch
Benjamin Moore 2157-30
- 03 Stucco, Finish to match Dryvit Reflectit
Color: Bracken Slate
Benjamin Moore CW-690
- 04 Brick: Norman, Stack Bond
Color: Titanium Gray
- 05 Glass Guard Rail
CRL EGR Elevated Glass Railing
System or Equal
- 06 Fiber Cement Panel
Nichia Illumination Series
Color: Match Mountain Peak White
Benjamin Moore 2148-70
- Pre-finished metal coping:
Firestone Tapered Coping or equal
Color: Matte Black
- Stucco reveals: Fry Reglet Channel
Screed, Color: Anodized Buffed
Brte Black at Stucco 01 and 02.
Anodized Buffed Brtte Stainless
Steel at Stucco 03

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PROJECT
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SALT LAKE CITY, UT 84101

OWNER
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1610 West 700 North
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DATE DESCRIPTION

EXTERIOR
ELEVATIONS

DATE: 3/31/21
PROJECT #: 2025-031
DRAWN BY: Author
CHECKED BY: Checker

PERMIT REVIEW

A201

ALLOWED OPENING CALCULATIONS
Exterior wall area = 12,455.4
@ 0' to < 3' FSD = 4,708.47sf, no opening allowed, no openings provided
@ 5 to < 10' FSD = 7,421.29sf, 25% opening allowed
7,421.29 x 0.25 = 1,855.32sf unprotected openings allowed
Total opening provided = 1,597.84sf
1,597.84 < 1,855.32, therefore compliant
@ 10' to < 15' FSD = 325.64sf, 45% opening allowed
325.64 x 0.45 = 146.54sf unprotected openings allowed
Total opening provided = 96.46sf
96.46 < 146.54, therefore compliant

Roof area = 9,783sf
25% openings allowed
2,445.75sf open allowed
Level 1 = 576.21
Typical floor = 467.06
Total open = 2,444.45



1 SOUTH ELEVATION1
3/16" = 1'-0"

SHEET NOTES

- 07.04 PRE-FINISHED METAL COPING - SEE ELEVATIONS FOR FINISH
07.09 STUCCO REVEAL, TYPICAL
10.03 BUILDING SIGNAGE PROVIDED BY OWNER. GC SHALL PROVIDE BACKING AND POWER FOR SIGNAGE PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 23.01 DRYER EXHAUST VENT
26.02 EXTERIOR LIGHT FIXTURE

ELEVATION GENERAL NOTES

1. REFER TO DOOR SCHEDULE AND WINDOW SCHEDULE FOR SIZES AND TYPES.
2. ALL ROOF DRAINS SHALL FLOW DIRECTLY TO GUTTER.
3. CUSTOM COLORS ARE SELECTED AND SHALL BE APPROVED BY OWNER. SUBMIT COLOR SAMPLES OF ALL FINISH PRODUCTS TO OWNER AND ARCHITECT PRIOR TO INSTALLATION.
4. AT ALL PENETRATIONS OF EXTERIOR WALLS BY PIPES, DUCTS OR CONDUITS, THE SPACE BETWEEN THE WALL AND PIPES, DUCTS OR CONDUITS SHALL BE CAULKED OR FILLED WITH MORTAR TO FORM AN AIRTIGHT SEAL.

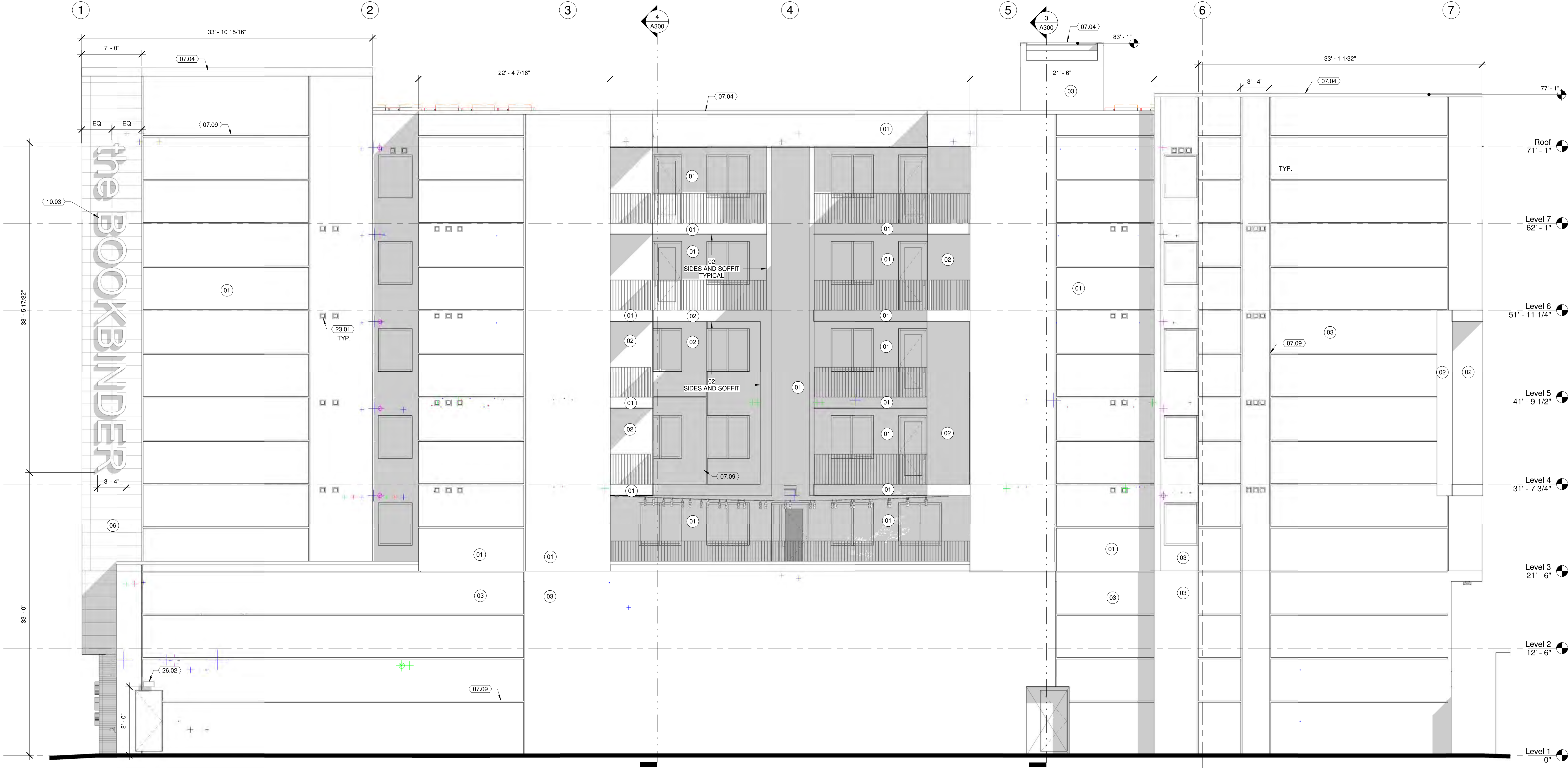
EXTERIOR FINISH LEGEND

- 01 Stucco, Finish to match Dryvit Reflectit
Color: Mountain Peak White
Benjamin Moore 2148-70
- 02 Stucco, Finish to match Dryvit Finesse
Color: Painted, Butterscotch
Benjamin Moore 2157-30
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Color: Bracken Slate
Benjamin Moore CW-690
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Color: Titanium Gray
- 05 Glass Guard Rail
CRL EGR Elevated Glass Railing
System or Equal
- 06 Fiber Cement Panel
Nichiaq Illumination Series
Color: Match Mountain Peak White
Benjamin Moore 2148-70
- Pre-finished metal coping:
Firestone Tapered Coping or equal
Color: Matte Black
- Stucco reveals: Fry Reglet Channel
Screed, Color: Anodized Buffed
Brte Black at Stucco 01 and 02.
Anodized Buffed Brtte Stainless
Steel at Stucco 03

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ALLOWED OPENING CALCULATIONS
Exterior wall area = 12,437.79
@ 5' to < 5' FSD = 2,814.37sf, 15% opening allowed
2814.73 x 0.15 = 422.15sf unprotected openings allowed
Total opening provided = 100sf
100 < 422.15, therefore compliant
@ 10' to < 15' FSD = 2,308.88sf, 45% opening allowed
2,308.88 x 0.45 = 1,038.99sf unprotected openings allowed
Total opening provided = 100sf
100 < 1,038.99, therefore compliant



1 NORTH ELEVATION
3/16" = 1'-0"

PROJECT
the BOOKBINDER on
2nd West

422 SOUTH 200 WEST
SALT LAKE CITY, UT 84101

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Fund, LLC

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REVISIONS

DATE DESCRIPTION

EXTERIOR
ELEVATIONS

DATE: 3/31/21
PROJECT #: 2025-031
DRAWN BY: Author
CHECKED BY: Checker

PERMIT REVIEW

A202

SHEET NOTES

07.04 PRE-FINISHED METAL COPING - SEE ELEVATIONS FOR FINISH
07.09 STUCCO REVEAL, TYPICAL
23.01 DRYER EXHAUST VENT

ELEVATION GENERAL NOTES

1. REFER TO DOOR SCHEDULE AND WINDOW SCHEDULE FOR SIZES AND TYPES.
2. ALL ROOF DRAINS SHALL FLOW DIRECTLY TO GUTTER.
3. CUSTOM COLORS ARE SELECTED AND SHALL BE APPROVED BY OWNER. SUBMIT COLOR SAMPLES OF ALL FINISH PRODUCTS TO OWNER AND ARCHITECT PRIOR TO INSTALLATION.
4. AT ALL PENETRATIONS OF EXTERIOR WALLS BY PIPES, DUCTS OR CONDUITS, THE SPACE BETWEEN THE WALL AND PIPES, DUCTS OR CONDUITS SHALL BE CAULKED OR FILLED WITH MORTAR TO FORM AN AIRTIGHT SEAL.

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Benjamin Moore 2148-70
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Color: Painted, Butterscotch
Benjamin Moore 2157-30
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Color: Bracken Slate
Benjamin Moore CW-690
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Color: Titanium Gray
- 05 Glass Guard Rail
CRL EGR Elevated Glass Railing
System or Equal
- 06 Fiber Cement Panel
Nichha Illumination Series
Color: Match Mountain Peak White
Benjamin Moore 2148-70
- Pre-finished metal coping:
Firestone Tapered Coping or equal
Color: Matte Black
- Stucco reveals: Fry Reglet Channel
Screed, Color: Anodized Buffed
Brte Black at Stucco 01 and 02,
Anodized Buffed Brte Stainless
Steel at Stucco 03

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LONDON, UT 84042
T: 801.xxx.xxxx

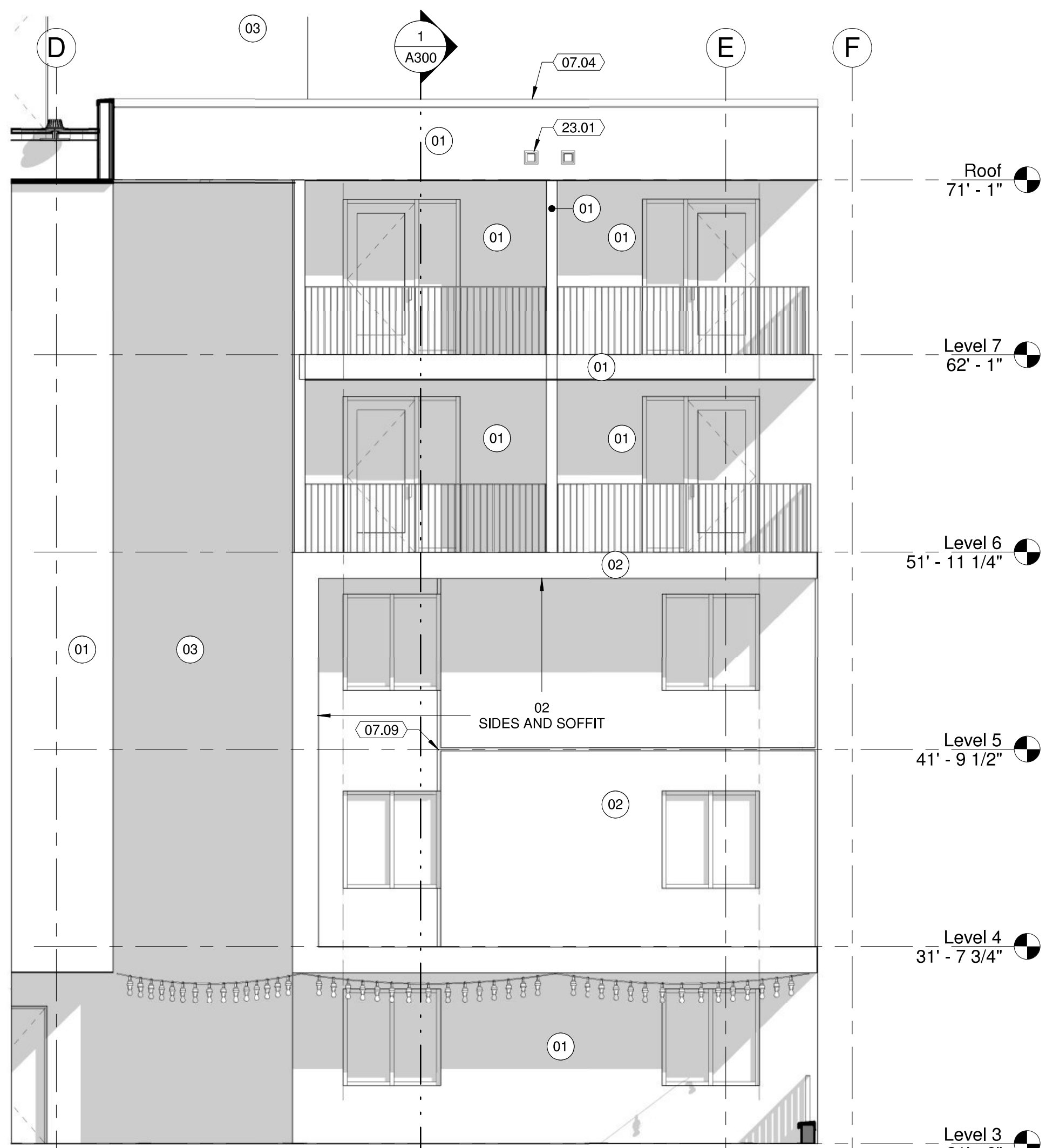
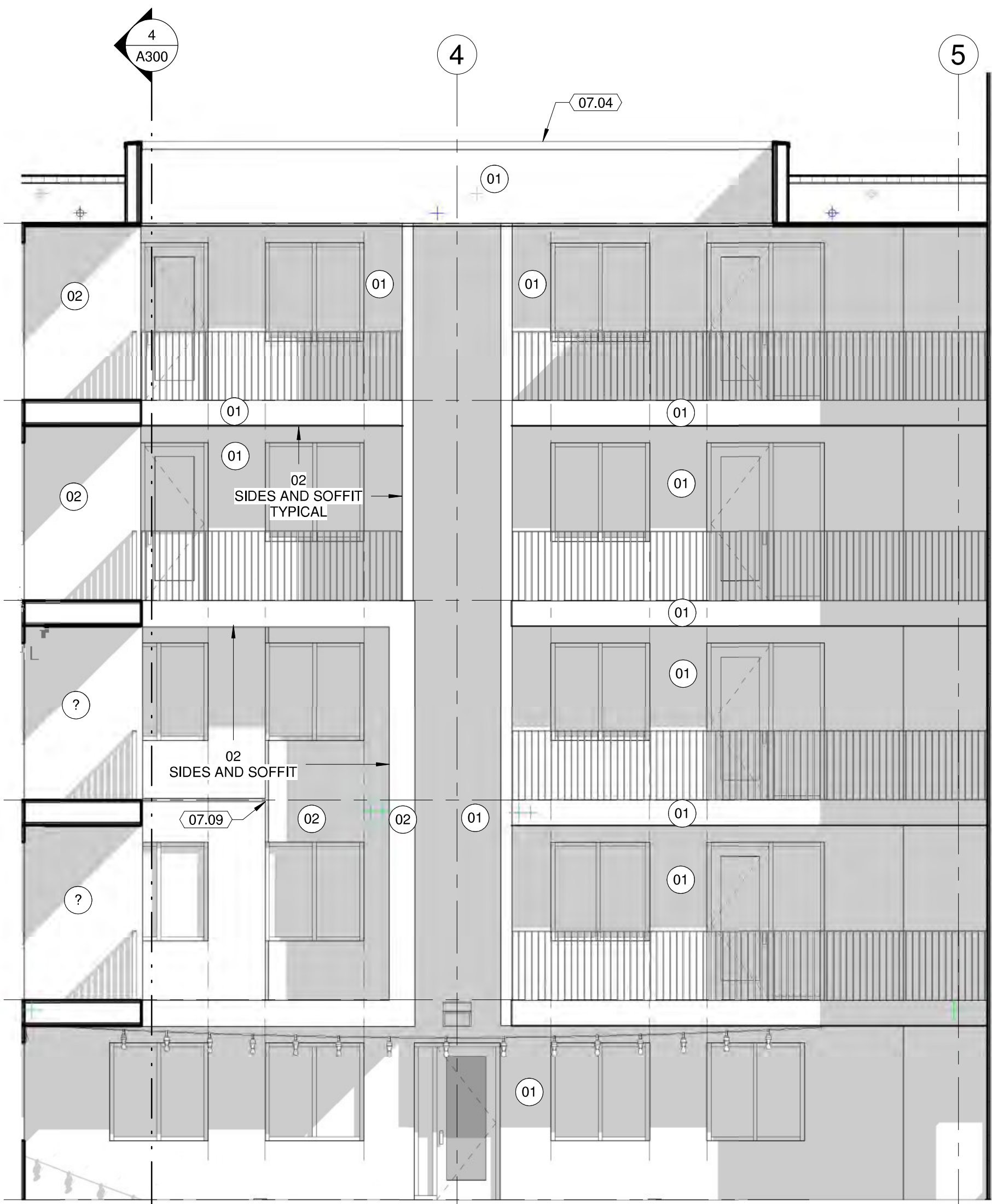
DATE DESCRIPTION

EXTERIOR
ELEVATIONS

DATE: 3/31/21
PROJECT #: 2020-001
DRAWN BY: Author
CHECKED BY: Checker

PERMIT REVIEW

A203



3 EAST COURTYARD
3/16" = 1'-0"

2 SOUTH COURTYARD
3/16" = 1'-0"

1 WEST COURTYARD
3/16" = 1'-0"

EXTERIOR FINISH LEGEND

- 01 Stucco, Finish to match Dryvit Reflect
Color: Mountain Peak White
Benjamin Moore 2148-70
- 02 Stucco, Finish to match Dryvit Finesse
Color: Painted, Butterscotch
Benjamin Moore 2157-30
- 03 Stucco, Finish to match Dryvit Reflect
Color: Bracken Slate
Benjamin Moore CW-690
- 04 Brick: Norman, Stack Bond
Color: Titanium Gray
- 05 Glass Guard Rail
CRL EGR Elevated Glass Railing
System or Equal
- 06 Fiber Cement Panel
Nichia Illumination Series
Color: Match Mountain Peak White
Benjamin Moore 2148-70
- Pre-finished metal coping:
Firestone Tapered Coping or equal
Color: Matte Black
- Stucco reveals: Fry Reglet Channel
Screed, Color: Anodized Buffed
Brite Black at Stucco 01 and 02,
Anodized Buffed Brite Stainless
Steel at Stucco 03



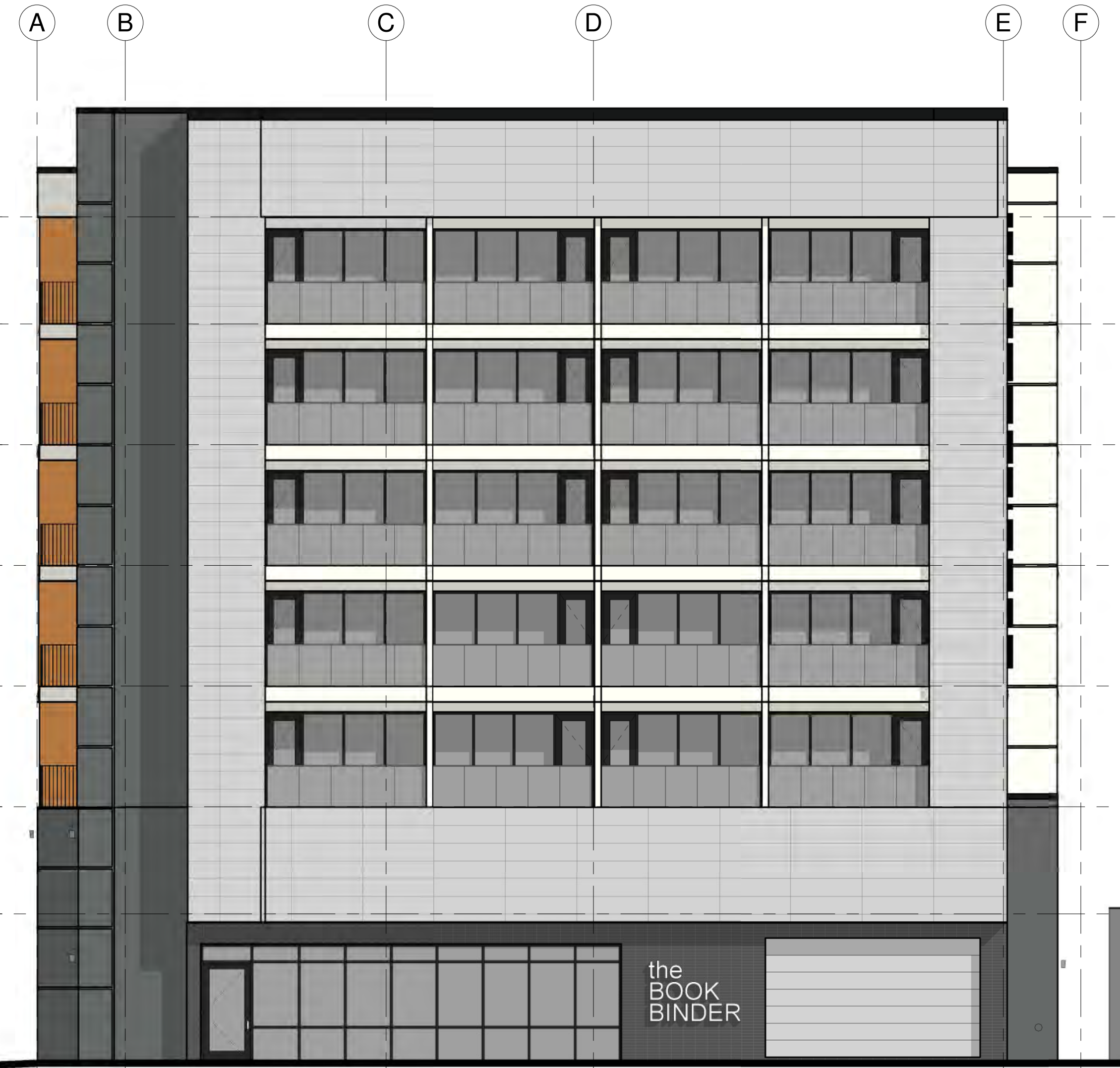
4 SOUTH ELEVATION - COLOR
1/8" = 1'-0"



3 WEST ELEVATION - COLOR
1/8" = 1'-0"



2 NORTH ELEVATION - COLOR
1/8" = 1'-0"



1 EAST ELEVATION - COLOR
1/8" = 1'-0"

PROJECT
the BOOKBINDER on
2nd West

422 SOUTH 200 WEST
SALT LAKE CITY, UT 84101

OWNER
OZ9 Opportunity
Fund, LLC

1610 West 700 North
LONDON, UT 84042
T: 801.xxx.xxxx

DATE DESCRIPTION

COLOR
ELEVATIONS

DATE: 3/1/21
PROJECT #: 2020-01
DRAWN BY: Author
CHECKED BY: Checker
PERMIT REVIEW

A210



④ NORTHWEST VIEW



③ SOUTHWEST VIEW



② SOUTHEAST VIEW



① NORTHEAST VIEW

PROJECT
the BOOKBINDER on
2nd West

422 SOUTH 200 WEST
SALT LAKE CITY, UT 84101

CLIENT
OZ9 Opportunity
Fund, LLC

1610 West 700 North
LONDON, UT 84042
T: 801.xxx.xxxx

DATE DESCRIPTION

3D VIEWS

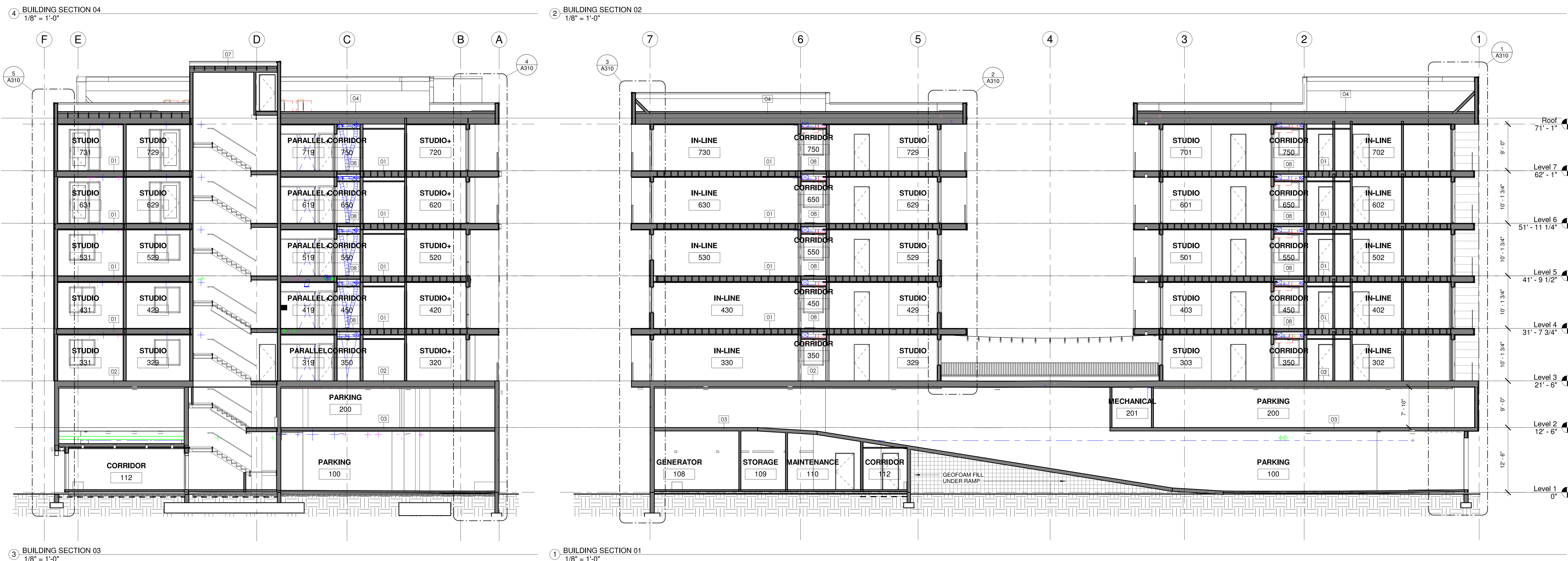
DATE: 3/1/21
PROJECT #: 2023-031
DRAWN BY: Author
CHECKED BY: Checker
PERMIT REVIEW

A250

LINE
29 TWENTY
NINE

ARCHITECTURE
14253 S MORNING LIGHT DR
HERRIMAN, UT 84096
T: 385.232.0998
T: 801.822.3271
www.Line29architecture.com

1. REFER TO BUILDING PLANS PARTITION ASSEMBLIES. HORIZONTAL ASSEMBLIES FOR DETAILED ASSEMBLY INFORMATION AND LOCATIONS.
2. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION AND FRAMING INFORMATION.
3. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ROOF PENETRATIONS AND INSTALLATION OF MECHANICAL AND ELECTRICAL ITEMS.
4. REFER TO WINDOW & STOREFRONT SHEETS FOR TYPES & SIZES.
5. REFER TO SOILS REPORT FOR GROUND IMPROVEMENTS REQUIRED UNDER THE BUILDING FOR PROPOSED FOUNDATION.
6. REFER TO ROOF PLAN FOR SLOPE OF ALL ROOF AREAS. SLOPE ALL ROOF AREAS AT A MINIMUM OF 1/4" PER FOOT.



422 SOUTH 200 WEST
SALT LAKE CITY, UT 84101

1810 West 700 North
LINDON, UT 84042
T: 801.xxx.xxxx

#	DATE	DESCRIPTION
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BUILDING
SECTIONS

DATE: 3/31/21
PROJECT #: 2020-031
DRAWN BY: Author
CHECKED BY: Checker

PERMIT REVIEW

A300

03/31/2021 11:45:20 AM

ATTACHMENT C – PROPERTY AND VICINITY PHOTOS



Current view of site



View of adjacent property to the north



View of adjacent property to the south. Photo also shows proposed off-site parking dedicated to proposal.



View of comparable height (Sheraton Hotel) across the street

ATTACHMENT D – D-2 ZONING STANDARDS

D-2 (Downtown Support District)

Purpose Statement: The purpose of the D-2 Downtown Support Commercial District is to provide an area that fosters the development of a sustainable urban neighborhood that accommodates commercial, office, residential and other uses that relate to and support the Central Business District. Development within the D-2 Downtown Support Commercial District is intended to be less intensive than that of the Central Business District, with high lot coverage and buildings placed close to the sidewalk. This district is appropriate in areas where supported by applicable master plans. Design standards are intended to promote pedestrian oriented development with a strong emphasis on a safe and attractive streetscape.

D-2 Development & Design Standards

Requirement	Standard	Proposed	Compliance
Lot Area/Lot Width	No minimum	Lot Width: 87' Lot Area: 15,241 SF	Complies
Front/Side/Rear Yard Setbacks	No Minimum Setback Maximum Setback is 10'	Front: 4'-4" Side: 0 Rear: 8'	Complies
Maximum Height	65' (without Design Review); 120' (with Design Review)	83'-1"	Additional height requested through Design Review process
Location of Service Areas	All loading docks, refuse disposal areas and other service activities shall be located on block interiors away from view of any public street.	Loading, refuse and service areas are located to the rear or internal to the development.	Complies
Ground Floor Use	The ground floor of a new principal building, a permitted or conditional use other than parking shall occupy a minimum portion of the length (75% not including parking entrance) of any street facing building façade.	Ground floor is occupied by residential leasing office and other building amenities for at least 75% of the applicable façade.	Complies

	All portions of such ground floor spaces shall extend a minimum of twenty five feet (25') into the building.		
Building Materials	<p>Ground Floor: Other than windows and doors, a minimum amount (80%) of the ground floor facade's wall area of any street facing facade shall be clad in durable materials.</p> <p>Upper Floor Building Materials: Floors above the ground floor level shall include durable materials on a minimum amount (50%) of any street facing building facade of those additional floors.</p>	<p>Ground Floor: 100%</p> <p>Upper Floor: 58%</p>	Complies
Ground Floor Glass	40% - The ground floor building elevation of all new buildings facing a street, and all new ground floor additions facing a street, shall have a minimum amount of 40% glass between 3 FT and 8 FT above grade.	Proposed glazing between 3 and 8 FT is 40%.	Complies
Upper Floor Glass	25% - Above the first floor of any multi-story building, the surface area of the facade of each floor facing a street must contain a minimum amount of 25% glass.	At least 25%	Complies
Building Entrances	Entrance required every 50' on street facing façade.	2 required. 1 provided.	Modification required through Design Review process
Maximum Length of Blank Wall	15' on street facing façade	Largest wall area is 14' .	Complies

ATTACHMENT E – DESIGN REVIEW STANDARDS

21A.59.050: Standards for Design Review: In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

Standard	Finding	Rationale
<p>A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.</p>	Complies	<p>As reviewed previously in this Staff Report, as Key Consideration 1, the proposed Bookbinder Studios on 2nd West development and Design Review modifications meets the intent and purpose of the D-2 zoning district and the Downtown Master Plan the project it is located within.</p> <p>The purpose statement for the D-2 zone primarily focuses on create sustainable urban neighborhoods, as well as support services more than the more dense downtown core. The residential building proposed will add much needed housing to the area and will provide additional potential patrons for local businesses.</p> <p>The proposed project also meets the intent of the urban design element of the City. The Salt Lake City "urban design element" document recommends focusing on infill redevelopment in the downtown area and promoting a greater density to support commercial uses.</p>
<p>B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.</p> <ol style="list-style-type: none"> 1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot). 2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood. 3. Parking shall be located within, behind, or to the side 	Complies	<ol style="list-style-type: none"> 1. The proposed structure is primarily oriented to 200 West with primary entrances facing the sidewalk. 2. The setbacks are close to the public sidewalk, and still provide for some articulation of the building and do not exceed the maximum 10 FT setback. 3. The parking is located within the building and is accessed from 200 West.

of buildings.		
<p>C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.</p> <ol style="list-style-type: none"> 1. Locate active ground floor uses at or near the public sidewalk. 2. Maximize transparency of ground floor facades. 3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions. 4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces. 	Complies	<ol style="list-style-type: none"> 1. The proposed building has sufficient glass and detailing at the ground level to facilitate pedestrian interest. Active uses including a lobby space will be located on the ground floor and will be readily visible and inviting to pedestrians on the sidewalk. 2. The proposed project maximizes the transparency of the ground floor street-facing facades by including large vertical windows on the ground floor, not including the garage door entrance. 3. Traditional clerestory glazing is used to articulate a traditional storefront design. 4. The outdoor landscaped patio is located on level 3 facing north, providing a visual connection to 400 South. Additionally, a bench is provided within the property on the 200 West façade.
<p>D. Large building masses shall be divided into heights and sizes that relate to human scale.</p> <ol style="list-style-type: none"> 1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis. 2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height. 3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals. 4. Reflect the scale and solid-to-void ratio of windows and 	Complies	<ol style="list-style-type: none"> 1. The proposed building is taller than others on the block, but as discussed in item #2 of the Key Considerations section of this report, adjacent zoning designations give the potential for the area to develop at or above the height proposed. The architecture of the building puts emphasis on the pedestrian scale and includes elements which will relate the building to surrounding development. The proposal fits well with the height of the existing Sheraton Hotel across the street and the Hampton Inn on the same block, and will be shorter than the proposed height of a new project proposed to the west of the subject site on Pleasant Court. 2. The building is well modulated in that it uses materials and protruding or inset surfaces to create distinct vertical and horizontal elements. The building provides inset balconies at the street facing façade, helping to create a human centric space and interacts well with the smaller scale

doors of the established character of the neighborhood or that which is desired in the master plan.		<p>surrounding buildings as the ground floor articulation is of similar height.</p> <ol style="list-style-type: none"> 3. The patio on level 3 creates a strong articulation across the mass of the entire building and helps break up the mass of the building. The building is articulated at the ground level with material changes and large amounts of glass. The building includes balconies on all sides that help balance the solid-to void ratio with other buildings in the neighborhood. It uses projections, material changes, and window reveals to break up solid surfaces and to create visual interest. 4. The large windows provide transparency at the ground level and are consistent with the character of the neighborhood. 5. The large windows provide transparency at the ground level and are consistent with the character of the neighborhood.
<p>E. Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include:</p> <ol style="list-style-type: none"> 1. Changes in vertical plane (breaks in façade); 2. Material changes; and 3. Massing changes. 	N/A	
<p>F. If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements:</p> <ol style="list-style-type: none"> 1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30"); 2. A mixture of areas that provide seasonal shade; 3. Trees in proportion to the 	N/A	

<p>space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted;</p> <ol style="list-style-type: none"> 4. Water features or public art; 5. Outdoor dining areas; and 6. Other amenities not listed above that provide a public benefit. 		
<p>G. Building height shall be modified to relate to human scale and minimize negative impacts.</p> <p>In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive city skyline.</p> <ol style="list-style-type: none"> 1. Human scale: <ol style="list-style-type: none"> a. Utilize stepbacks to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans. b. For buildings more than three stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height. 2. Negative impacts: <ol style="list-style-type: none"> a. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors. b. Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height. 	<p>Complies</p>	<ol style="list-style-type: none"> 1. Human Scale <ol style="list-style-type: none"> a. The varying massing components of the structure, as well as the open landscaped podium deck effectively function as stepbacks. Additionally, balconies are inset adding dimension and creating shadow lines on the façade. b. The ground level includes large glass storefront windows which look into the leasing office. Clerestory windows are placed above the first level to create a more pedestrian scale to the building. The base includes a more consistent application of building materials including primarily brick and glass. The square band and balconies clearly define the middle section. A modern cornice at the top creates a termination point that reduce the apparent height of the building. <p>The building is proposed with a well-defined base, middle, and top, as discussed in Key Consideration 2.</p> 2. Negative Impacts <ol style="list-style-type: none"> a. The building is a mid-level building proposed approximately 35' under the maximum height in the zone. The insets on the north and south facades also create an effective stepdown. b. All sides of the building include projections and insets that will help create wind breaks along public spaces. The applicant provided a narrative on shadow impacts in their application

<p>c. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.</p> <p>3. Cornices and rooflines:</p> <p>a. Shape and define rooflines to be cohesive with the building's overall form and composition.</p> <p>b. Include roof forms that complement the rooflines of surrounding buildings.</p> <p>c. Green roof and roof deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.</p>		<p>materials. It is anticipated that the additional height would not create substantial impact on the surrounding areas or the public sidewalk and bike lanes.</p> <p>c. The building includes a deep inset on the third level that will function as an open-air courtyard for the residents. The south elevation contains a similar inset with open balconies. Those features will also act as a wind break.</p> <p>3. Cornices and Rooflines The design of the building features vertical bands that are intended to break up the mass of the building. The element creates a sense of cohesion in the building form on the south and north building facades. The roofline steps in towards the center of the building, creating a feeling of balance.</p>
<p>H. Parking and on-site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway.</p>	Complies	<p>Structured parking is proposed for the tenant parking for the development. Vehicular access to the parking is accessed from 200 West. Additional parking is provided in front of the project on the street and adjacent to the project using off-site parking allowances. The proposed design provides for safe interactions with pedestrians and other vehicles.</p>
<p>I. Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (Subsection 21A.37.050.K.)</p>	Complies	<p>Trash service, mechanical equipment, storage and service areas are located interior of the first floor of the building. They will be fully screened by the garage doors.</p>
<p>J. Signage shall emphasize the pedestrian/mass transit orientation.</p>	Complies	<p>1. The building includes signage on the ground level located between the parking garage entrance and main</p>

<ol style="list-style-type: none"> 1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building. 2. Coordinate signage locations with appropriate lighting, awnings, and other projections. 3. Coordinate sign location with landscaping to avoid conflicts. 		<p>pedestrian entrance. Signs are oriented toward the pedestrian.</p> <ol style="list-style-type: none"> 2. Signs are designed to be integrated into the building design. 3. There should be no conflicts with proposed sign locations and landscaping.
<p>K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals.</p> <ol style="list-style-type: none"> 1. Provide street lights as indicated in the Salt Lake City Lighting Master Plan. 2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky. 3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety. 	Complies	<ol style="list-style-type: none"> 1. The street lighting will be provided in accordance with the Salt Lake City Lighting Master Plan as indicated on the civil site plan. 2. The building base will be adequately illuminated to provide pedestrian safety and comfort while maintaining the allowable lighting levels. Low-level illumination outdoor landscaping lighting will be provided to minimize glare, light trespassing and night sky pollution. Lastly, the exterior lighting will maintain the overall intensity and character of the immediate neighborhood and Salt Lake Downtown. 3. The exterior lighting will complement the architectural design and highlight its massing, articulation, and key features. It will illuminate building's communal amenity levels and exterior terraces that define the overall building massing. The exterior lighting will be coordinated with the location of major signs and landscaping.
<p>L. Streetscape improvements shall be provided as follows:</p> <ol style="list-style-type: none"> 1. One street tree chosen from the street tree list consistent with the city's urban forestry guidelines and with the approval of the city's urban forester shall be placed for 	Complies	<ol style="list-style-type: none"> 1. New street trees will be planted every 30 FT along 200 West. Tree species will be consistent with the street tree list and urban forestry guidelines. 2. Hardscaping on the public sidewalk on 200 West shall follow the City Engineers standards. The hardscape

<p>each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the city's urban forester.</p> <p>2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards.</p>		<p>pattern changes as the driveway goes over the public sidewalk to indicate a change to the pedestrian.</p>
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ATTACHMENT F– PUBLIC PROCESS & COMMENTS

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- February 9, 2021 – The Downtown Community Council was sent the 45 day required notice for recognized community organizations.
- February 10, 2021 - Property owners and residents within 300 FT of the development were provided early notification of the proposal.
- February 22 – March 22, 2021 – An Online Open House was held on the project.

Notice of the public hearing for the proposal included:

- Public hearing notice mailed on March 31, 2021
- Public notice posted on City and State websites and Planning Division list serve on March 31, 2021
- Public hearing notice sign posted on the property April 5, 2021

Public Input:

As of the publication of this Staff Report, Staff has received two public comments on the proposal. The public comments received are included on the next page of this Staff Report. Both comments were concerned with the loss of historic structures. If Staff receives any future comments on the proposal, they will be included in the public record.

From: [Cameron Blakely](#)
To: [Gilmore, Kristina](#)
Subject: (EXTERNAL) Bookbinder Public Comment1
Date: Monday, February 22, 2021 11:09:23 AM

Hello Kristina,

I am writing in response to the Bookbinder open house that is currently ongoing. It's an exciting time to see so much infill and densification of our downtown. However, I do have some more serious issues with this current proposal. For starters, it is extremely disheartening to see that this project will be razing several historically significant homes- one of which is home to a culturally significant art gallery. I understand that these homes are not on any historic registry (which baffles me), and that it is probably too late to do anything about it. I just think that it is very short sighted to tear down historic buildings, currently functioning as affordable commercial space, for an architecturally insignificant box that offers no street engagement or mixture of uses. ESPECIALLY when there are many vacant lots and parking lots in the vicinity that would be much more logical candidates for redevelopment.

Again, I understand that this is perhaps too far gone to do anything, but I think the least we could push for would be the creation of some sort of ground floor retail (not just a leasing office). This space could perhaps be offered to the art gallery that is being displaced, for example. Adding additional interest into the building and different materials might be a nice nod to the historic buildings that it is replacing and could certainly create a more engaging street front.

I really appreciate your time in reading this and other public comments. I would be happy to answer any follow-up questions as this project moves forward.

Thanks again

On a side note, I recently heard about the new liquor store and parking garage proposal on Edison street- would you know who would be the best person to contact to get more information and discuss that?

CAMERONBLAKELY

designer



From: [Mike](#)
To: [Gilmore, Kristina](#)
Subject: (EXTERNAL) Bookbinder Studios
Date: Monday, March 1, 2021 8:43:57 PM

Hello,

I'm writing to voice my concerns about the Bookbinder Studios. It is a terrible shame to lose the historic structures that are located on that property. I appreciate the feasibility issues but it is still a tragedy to lose those homes.

This development could be built on the corner instead, to replace the troubled and outdated State Liquor Store that is scheduled to close when the new one opens. Perhaps a deal could be made, a 1031 property exchange with the state, so the apartments could be built on the corner? Or maybe the historic structures could be relocated and preserved? Maybe moved to pioneer park as part of some future upgrades there?

Thanks,
Mike Hatch

ATTACHMENT G– DEPARTMENT REVIEW COMMENTS

Building Review:

All construction within the corporate limits of Salt Lake City shall be per the State of Utah adopted construction codes and to include any state or local amendments to those codes. RE: Title 15A State Construction and Fire Codes Act.

The type of construction per IBC Chapter 6 will dictate the allowable heights, areas, and the occupancy limitations per IBC Chapter 5.

The maximum area of exterior wall openings and degree of protection based on fire separation distance per IBC 705.8

Fire protection and life safety systems per IBC & IFC Chapter 9

Means of egress design per IBC Chapter 10

Provisions of IBC Section 420 as applicable

Electrical transformer easements between adjacent parcels are required to be provided with construction documents and recorded.

Public Utilities Review:

Public Utilities has been working with the applicant through design review. There are significant infrastructure improvements that will be required. No objection to the proposed design review.

Zoning Review:

This project came to a DRT meeting on 12/04/2020 (DRT2020-00290) and received zoning comments. A lot consolidation application for 418 S and 422 S will need to be submitted and approved by Planning. No other zoning comments.

Fire Review:

Buildings greater than 75-feet in height shall meet the requirements of IBC 403 - High rise.

Alternative Means and methods application for increase in sprinkler density of 0.05 gpm/sq ft for the occupancy requirement and automatic smoke detection in common and public spaces to meet requirements of IFC 503.1

Sustainability Review:

As always, please be sure they are aware of the requirement to provide recycling bins for their residents.

Police Review:

If the project is approved we recommend CPTED (Crime Prevention Through Environmental Design) principals be used in the final design and build out process.