



# Staff Report

PLANNING DIVISION  
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

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To: Salt Lake City Planning Commission  
From: Eric Daems, Senior Planner, eric.daems@slcgov.com or 801-535-7236  
Date: March 10, 2021  
Re: PLNPCM2020-00661 Design Review

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## Design Review

**PROPERTY ADDRESSES:** 119 W 1400 S, 1411 S. Jefferson Street, and 1425 S. Jefferson Street  
**PARCEL ID's:** 15-13-229-006-0000, 15-13-229-007-0000, 15-13-229-002-0000  
**MASTER PLAN:** Central Community  
**ZONING DISTRICT:** CG (General Commercial)

### REQUEST:

A request by Mark Garza, representing TLG Company, for **Design Review for Additional Building Height** at approximately 119 W 1400 South, 1411 S Jefferson Street, and 1425 S. Jefferson Street. The applicant is proposing a 78-unit residential building and is requesting an additional 14 feet of height (74' where 60' would be allowed by-right), through the Design Review process.

### RECOMMENDATION:

Based on the findings listed in the staff report, it is Planning Staff's opinion that the request for additional building height generally meets the applicable Design Review standards and therefore recommends the Planning Commission approve the request with the following conditions:

1. Alter building entrance along 1400 South to lead into occupiable space and to include more pedestrian-oriented design elements.
2. Revise the ground floor façade along 1400 South to include a solid-to-void ratio of windows and doors more in character with the neighborhood.

### ATTACHMENTS:

- A. Vicinity Map
- B. Applicant Submittal & Plan Set
- C. Property and Vicinity Photos
- D. Zoning Analysis
- E. Design Review Analysis
- F. Public Process & Comments
- G. Department Review Comments



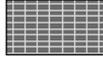
Quick Facts	
<b>Property Size:</b>	.45 acres
<b>Height:</b>	74' (7 stories)
<b>Building Length:</b>	130' (along Jefferson Street) 105' (along 1400 S)
<b>Ground Floor Uses:</b>	Lobby, leasing office, parking
<b>Upper Floor Uses:</b>	Residential
<b>Number of Residential Units:</b>	78
<b>Exterior Materials:</b>	Glass, brick, stucco, fiber composite siding, composite vertical board, wood siding, aluminum fascia and parapet cap
<b>Parking:</b>	75 interior stalls
<b>Review Process &amp; Standards:</b>	Design Review, and general zoning standards.

**PROJECT DESCRIPTION & BACKGROUND:**

The proposal is for a seven story, 78-unit residential apartment building. The building is proposed as 74’ tall and would include studio and 1- bedroom units. 75 parking stalls would be provided interior to the project in the basement, first, and second levels of the building. The parking would be accessed through a single entrance point off Jefferson Street. Above is a rendering of the development and a list of quick facts about the proposal.

The apartment building would replace a triplex which had fallen into severe disrepair and an abandoned automotive repair shop that consisted of two buildings. The property consists of three parcels, however an application to consolidate the parcels has been submitted by the applicant.

The exterior of the building is proposed with alternating brick and stucco bands running vertically from the ground floor. Wood siding is used as an accent material surrounding the ground level windows, in vertical bands, and to highlight the cornices. Black aluminum fascia material helps outline and frame the building. The two-story parking garage uses concrete with a vertical board finish for the first two stories on the north, south, and east elevations. The full list of exterior materials is shown below.

	STUCCO, (MUST COMPLY WITH NFPA 285 NAD ASTM E84 STANDARDS. )		CONCRETE (VERTICAL BOARD FORM FINISH)
	STUCCO, (MUST COMPLY WITH NFPA 285 NAD ASTM E84 STANDARDS. )		WOOD SIDING - OR ALUMINUM WOOD TYPE (SHIP LAP 6 1/4" x 12")
	BRICK		ALUMINUM BREAK METAL FASCIA / PARAPET CAP.
	FIBER COMPOSITE SIDING SYSTEM, VERTICAL ORIENTED		WIRE MESH RAIL

*Exterior Materials Legend*



*West Elevation*



*North Elevation*



*East Elevation*

Amenities provided for tenants include open-air courtyards on both the 3<sup>rd</sup> and 7<sup>th</sup> levels, totaling nearly 4,700 square feet. There will also be a club room available for residents. The courtyards create deep building insets that help break up the building length and mass along the west elevation.

**DESIGN STANDARD OVERVIEW AND REQUESTED MODIFICATIONS:**

The applicant is going through the Design Review process to request to modify the following:

- Building Height in a CG Zone

Specifically, the applicant seeks an additional 14' of height, for a total of 74'. The CG zone allows buildings up to 60' by-right and up to 90' if approved by the Planning Commission through Design Review.

The Design Review process is intended to ensure high quality outcomes for developments that have modifications to design standards and to achieve development goals/purposes stated in City master plans and the zoning district. For complete analysis and findings in relation to the Design Review standards please refer to [Attachment E](#).

### **KEY CONSIDERATIONS:**

The key considerations listed below were identified through the analysis of the project and in consideration of public comments received:

#### **1) Master plan compliance**

The project is located in the People's Freeway neighborhood of the Central Community. Plan Salt Lake includes guiding principles applicable citywide. Applicable goals and objectives of those plans are discussed below.

##### **Central Community**

- *Residential land use goals:*
  - *Encourage the creation and maintenance of a variety of housing opportunities that meet social needs and income levels of a diverse population*
  - *Ensure the new development is compatible with the existing neighborhoods in terms of scale, character, and density*

The proposed building will add increased residential density within walking distance of shopping, the Ballpark, and the TRAX station. Studio and 1-bedroom apartments will be available. While there are pockets of lower density zoning in the area, the majority of the surrounding neighborhood is zoned R-MU or CG, which allows a dense mix of land uses. The area includes various apartment buildings and some single-family homes.

The additional building height provides space for an additional level of parking located interior to the building without sacrificing living units or adding a large surface parking area. The additional interior parking will help alleviate parking pressure that may otherwise spill into nearby neighborhoods.

The CG zoning designation allows for a building height of 60' by-right and up to 90' through Design Review approval. The property has CG zoning to the west and the north, R-MU to the south, and RMF-35 to the east. Future re-development within the CG zoned areas would also be eligible for building heights of 60', or 90' through Design Review. The R-MU zoned property would allow for a building height of 75' by-right, or up to 125' through Design Review. Only the RMF-35 zoned properties to the east would have lower allowed building heights, with a maximum allowed height of 35'. The additional 14' building height should not create undue impacts that would not be created with a 60' building within the CG zone or 75-125' tall building in the adjacent R-MU zone.

If the building is not approved for additional height, it would not need to comply with the more stringent Design Review standards. The Design Review standards help ensure a building that is more attractive and compatible overall.

- *Urban Design policies:*
  - *Administer urban design through zoning regulations where possible.*

The CG zone includes very few design standards. By proposing the additional height, the building is required to comply with additional design criteria as outlined in Attachment E of this report. Although the design standards are still limited, the Design Review process ensures a better project than would otherwise be required.

### **Plan Salt Lake**

*1/ Neighborhoods that provide a safe environment, opportunity for social interaction, and services needed for the wellbeing of the community therein.*

The project would contribute to a safe environment by adding “eyes on the street”. The building includes private balconies along 1400 South and outdoor courtyard space on two different levels facing Jefferson Street. The courtyards would provide greater interaction with the street as residents gather, socialize, and recreate in the space. The building also proposes pedestrian level lighting along the sidewalk to provide space for interaction and added security.

*2/ Growing responsibly while providing people with choices about where they live, how they live, and how they get around.*

*3/ Access to a wide variety of housing types for all income levels throughout the City, providing the basic human need for safety and responding to changing demographics.*

The property is well connected by multiple transportation choices as it is located less than two blocks from the TRAX station, is serviced by numerous nearby bus routes, and has excellent access to surface streets and I-15. The project includes 74 total units as both studio and 1-bedroom apartments. It should provide needed additional housing choice in a largely built-out neighborhood.

*6/ Minimize our impact on the natural environment.*

The compact nature of the project combined with the proximity to TRAX and bus routes provides opportunity for reduced carbon emissions through the use of mass transit. The area has a wide range of land uses that encourage walking.

### **2) Does the proposed design meet the limited standards applicable to the CG zone as found in Design Standards (21A.37) or Design Review (21A.59)?**

As shown in Attachment D of this report, Design Standards (21A.37) related to the CG zone are limited to the following:

1. Building entrances (at least 1 operable opening per street-facing façade)
2. Parking lot lighting must be shielded to adjacent residential properties.

Along Jefferson, the proposal largely meets those requirements. However, more could be done with the entry along 1400 South to meet the intent of the code.

The term “operable” is not defined in our code. Webster’s dictionary defines it as “fit, possible, or desirable to use”. Although the door facing 1400 South is possible to use, more could be done to make it desirable to use. Staff is recommending that the door lead into occupiable space. That could include a lobby or other common area. The

entry could also be better defined with materials, awnings, windows, or other design elements.

The parking area is located interior to the building and lighting will not cast onto adjacent properties.

Attachment E provides an analysis of the more stringent Design Review standards that come into play due to the request for additional building height. They too are minimal in the GG zone when compared to some other zoning designations. The common theme in the applicable Design Review standards is to relate the building to the human scale. Staff is recommending this be done along the ground floor of the north façade by more appropriately reflecting the solid-to-void ratio of neighboring properties. This could be accomplished by adding windows or doors, using higher quality materials, or by adding pedestrian scale features like awnings. Some examples of ground floor solid-to-void ratios in the vicinity are provided below:



**Neighborhood examples for solid-to-void ratio along ground floor**

#### **DISCUSSION:**

In general, the proposal meets the intent of the General Commercial zoning district and is compatible with the various master plans of the city. Subject to the additional conditions as recommended by Staff, the height modification requested is sufficiently mitigated with the proposed design elements intended to enhance the pedestrian experience.

#### **NEXT STEPS:**

##### **Approval of Design Review**

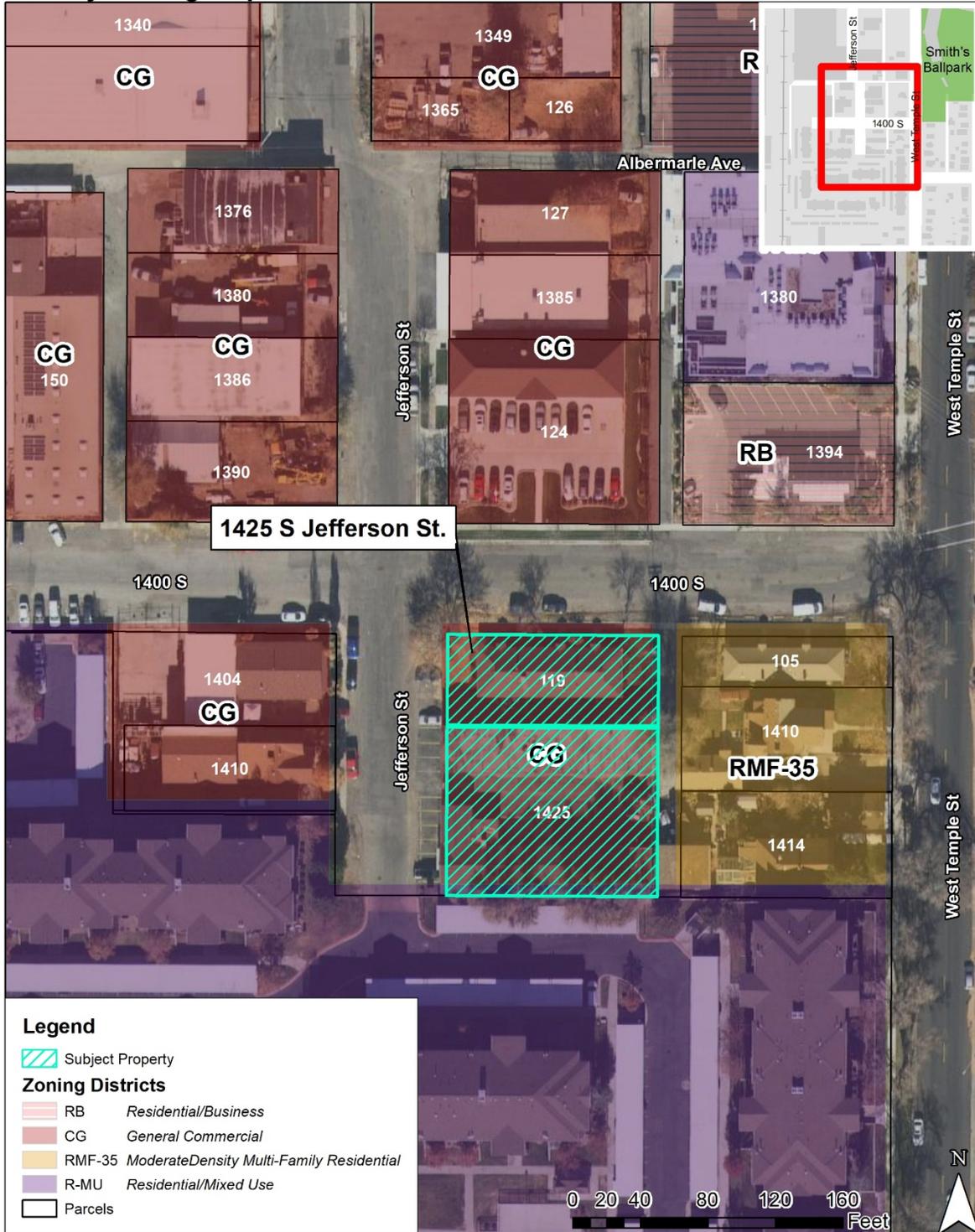
If the requests are approved, the applicant will need to comply with the conditions of approval, including any of the conditions required by other City departments and the Planning Commission. A parcel combination or new subdivision plat will need to be approved and recorded on the subject property. The applicant will be able to submit plans for building permits and certificates of occupancy for the buildings once all conditions of approval are met.

##### **Denial of Design Review**

If the design review request for is denied, the applicant will still be able to develop the property by right, but at a smaller scale. Specifically, the building would need to be below 60' in height as allowed in the CG zone. A parcel combination or subdivision plat will still need to be approved and recorded for the subject property. The applicant will be able to submit plans for building permits and certificates of occupancy for the buildings subject to meeting all applicable zoning requirements and requirements of other divisions.

# ATTACHMENT A – VICINITY MAP

## Vicinity Zoning Map



**Legend**

-  Subject Property

**Zoning Districts**

-  RB Residential/Business
-  CG General Commercial
-  RMF-35 Moderate Density Multi-Family Residential
-  R-MU Residential/Mixed Use
-  Parcels

**ATTACHMENT B – APPLICANT SUBMITTAL & PLAN SET**

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# TRADITION POINTE

1425 SOUTH JEFFERSON STREET  
SALT LAKE CITY, UT 84115  
SITE PLAN REVIEW

## PROJECT IMAGE



<b>ARCHITECT</b> <b>BEECHER, WALKER &amp; ASSOCIATES</b>	<b>OWNER</b> <b>DAY DEVELOPMENT</b>
3115 EAST LION LANE, SUITE 200 HOLLADAY, UTAH 84121 P: 801.438.9500 D: 801.666.8292	B: 801.558.9966
CONTACT: DAVID VAUGHAN, JASON MALASKA EMAIL: dvaughan@beecherwalker.com, jmalaska@beecherwalker.com	CONTACT: RICH DAY, MARK GARZA EMAIL: rday@richday.com, mark@tlgcompany.com
<b>CONTRACTOR</b> <b>?????</b>	<b>CIVIL ENGINEER</b> <b>PEPG</b>
???? ???? B: #### M: ####	9270 SOUTH 300 WEST, SUITE A-2 SANDY, UTAH 84070 B: (801) 562-2521 M: (801) 870-8814
CONTACT: ????	CONTACT: RYAN KITCHEN EMAIL: RYAN@PEPG.NET
<b>LANDSCAPE ARCHITECT</b> <b>?????</b>	<b>STRUCTURAL ENGINEER</b> <b>BHB STRUCTURAL</b>
???? ???? B: #### M: ####	2766 SOUTH MAIN STREET SALT LAKE CITY, UTAH 84115 B: 801.355.5656 M: 208.590.9209
CONTACT: ????	CONTACT: DREW MORGAN, RAJEEV SURAPANENI EMAIL: Drew.morgan@bhbenigneers.com, Rajeev.Surapaneni@bhbenigneers.com
<b>MECHANICAL ENGINEER</b> <b>CCI MECHANICAL</b>	<b>ELECTRICAL ENGINEER</b> <b>HUNT</b>
2365 CCI WAY SALT LAKE CITY, UTAH 84119 B: 385.290.5038 M: 801.973.1262	1863 WEST ALEXANDER STREET SALT LAKE CITY, UTAH 84119 B: (801) 975-8844 M: ####
CONTACT: MCKAYLA FLACH, GREG LAHUE EMAIL: MFlach@ccimechanical.com, GLahue@ccimechanical.com	CONTACT: MONT RICHINS, ERIC FOGG EMAIL: mrichins@huntelectric.com, efogg@huntelectric.com

## INDEX OF DRAWINGS

SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE
GENERAL	G001	TITLE SHEET	ELECTRICAL
GENERAL	G002	CODE COMPLIANCE AND GENERAL INFORMATION	ELECTRICAL ES01
			ELECTRICAL SITE PLAN
CIVIL	1	SURVEY	
CIVIL	2	SURVEY	
CIVIL	C101	EXISTING CONDITIONS & DEMO PLAN	
CIVIL	C102	SITE PLAN	
CIVIL	C103	UTILITY PLAN	
CIVIL	C105	GRADING PLAN	
LANDSCAPE	L101	LANDSCAPE PLAN	
LANDSCAPE	L102	LANDSCAPE PLAN	
LANDSCAPE	L103	LANDSCAPE PLAN	
ARCHITECTURAL	A008	PARKING LEVEL P0	
ARCHITECTURAL	A009	PARKING LEVEL P1	
ARCHITECTURAL	A100	PARKING LEVEL P2	
ARCHITECTURAL	A201	EXTERIOR ELEVATIONS	
ARCHITECTURAL	A202	EXTERIOR ELEVATIONS	
ARCHITECTURAL	A301	BUILDING SECTIONS	
ARCHITECTURAL	A302	PERSPECTIVE VIEWS	

REV. DATE	REV. DESCRIPTION	ISS. DATE	ISS. DESCRIPTION
		8-11-2020	SITE PLAN REVIEW
		5-27-2020	SD SET

TRADITION POINTE  
1425 SOUTH JEFFERSON STREET  
SALT LAKE CITY, UT 84115



T 801.438.9500  
F 801.438.9501  
3115 EAST LION LANE, #200  
HOLLADAY, UTAH 84121  
BEECHERWALKER.COM

PROJECT NUMBER  
Project Number  
DWN BY ZH\_JM CHD BY JM  
SITE PLAN REVIEW  
TITLE SHEET  
DRAWING NUMBER  
**G001**

### APPROVALS

### DEFERRED SUBMITTALS

NAME	DATE	NAME	DATE
		1. NONE	

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A

B

C

D

1 2 3 4 5 6 7

### MATERIALS LEGEND

[Symbol]	CONCRETE MASONRY UNIT
[Symbol]	FACE BRICK OR STONE
[Symbol]	CONCRETE (CAST IN PLACE)
[Symbol]	GYPSUM BOARD OR SETTING BEEDS
[Symbol]	INSULATION (BATT & BLANKET)
[Symbol]	INSULATION (RIGID/SEMI-RIGID)
[Symbol]	PLYWOOD
[Symbol]	WOOD FRAMING (CONTINUOUS)
[Symbol]	WOOD (BLOCKING)
[Symbol]	WOOD (FINISH)
[Symbol]	STEEL AND OTHER METALS
[Symbol]	GRAVEL
[Symbol]	NATURAL UNDISTURBED EARTH
[Symbol]	COMPACTED STRUCTURAL FILL
[Symbol]	QUARRY/CERAMIC TILE

### SYMBOL LEGEND

[Symbol]	GRID LINES AND BUBBLES
[Symbol]	DETAIL SYMBOL
[Symbol]	SECTION REFERENCE
[Symbol]	WALL SECTION SYMBOL
[Symbol]	SECTION REFERENCE
[Symbol]	BUILDING SECTION SYMBOL
[Symbol]	SECTION REFERENCE
[Symbol]	EXTERIOR ELEVATION SYMBOL
[Symbol]	VIEW REFERENCE, TYP
[Symbol]	INTERIOR ELEVATION SYMBOL
[Symbol]	VIEW REFERENCE, TYP
[Symbol]	ROOM NAME
[Symbol]	ROOM SYMBOL
[Symbol]	ROOM NAME
[Symbol]	ROOM NUMBER
[Symbol]	CEILING SYMBOL
[Symbol]	CEILING TYPE
[Symbol]	CEILING HEIGHT
[Symbol]	SPOT ELEVATION AT REFERENCED ELEMENT
[Symbol]	LEVEL SYMBOL
[Symbol]	WINDOW OR STOREFRONT NUMBER
[Symbol]	DOOR NUMBER
[Symbol]	WALL TYPE REFERENCE
[Symbol]	KEYNOTE REFERENCES
[Symbol]	FIRE EXTINGUISHER CABINET, SEE REFERENCED DETAIL
[Symbol]	CURTAIN WALL PANEL TYPE
[Symbol]	SPECIALTY EQUIPMENT OR PLUMBING FIXTURE

### ABBREVIATIONS

AB	ANCHOR BOLT	MAX	MAXIMUM
ABV	ABOVE	MAT	MATERIAL
ADJ	ADJUSTABLE	MCI	MASONRY CONTROL JOINT
AFF	ADJUSTABLE ABOVE FINISH FLOOR	MCH	MECHANICAL
AII	AMERICAN INSTITUTE OF ARCHITECTS	MFR	MANUFACTURER
ALUM	ALUMINUM	MIN	MINIMUM
APPROX	APPROXIMATE	MISC	MISCELLANEOUS
ARCH	ARCHITECTURAL / ARCHITECT	MO	MASONRY OPENING
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	NIL	NOT IN CONTRACT
DBA	DEFORMED BAR ANCHOR	NIC	NOT IN CONTRACT
BD	BOARD	NO	NUMBER
BDI	BITUMINOUS	NTS	NOT TO SCALE
BLDG	BUILDING	OC	ON CENTER
BM	BENCHMARK	OD	OUTSIDE DIAMETER
BO	BOTTOM OF	OF	OUTSIDE FACE
BP	BASE PLATE	OH	OVERHEAD
BRG	BEARING	OPP	OPPOSITE
BTWN	BETWEEN	PART	PARTITION
CER	CERAMIC	PCF	POUNDS PER CUBIC FOOT
CJ	CONTROL / CONSTRUCTION JOINT	PERP	PERPENDICULAR
CLG	CEILING	PL	PLATE
CLR	CLEAR	PLF	POUNDS PER LINEAL FOOT
CMU	CONCRETE MASONRY UNIT	PNTD	PAINTED
CONC	CONCRETE	PROT	PROTECTION
CONT	CONTINUOUS	PSF	POUNDS PER SQUARE FOOT
CONSTR	CONSTRUCTION	PSI	POUNDS PER SQUARE INCH
COORD	COORDINATE	QTY	QUANTITY
CP	CAP PLATE	RD	ROOF DRAIN
CTJ	CONSTRUCTION JOINT	RAD	RADIUS
DBL	DOUBLE	REINF	REINFORCED
DEPT	DEPARTMENT	REQD	REQUIRED
DET	DETAIL	RM	ROOM
DWSS	DRAWINGS	RO	ROUGH OPENING
EA	EACH	SCHED	SCHEDULE
EJ	EXPANSION JOINT	SDI	STEEL DECK INSTITUTE
ELEV	ELEVATION	SHR	SHOWER
EQ	EQUAL	SHT	SHEET
EW	EXISTING	SM	SIMILAR
EQ	EACH WAY	SPEC	SPECIFICATION
EXT	EXTERIOR	STC	SOUND TRANSMISSION COEFFICIENT
EXPAN	EXPANSION	STD	STANDARD
EXT	EXTERIOR	STIFF	STIFFENER
EW	EXISTING	STRUC	STRUCTURAL
FDN	FOUNDATION	SUSP	SUSPENDED
FE	FIRE EXTINGUISHER	TBC	TOP-BACK OF CURB
FEC	FIRE EXTINGUISHER CABINET	THRU	THROUGH
FF	FINISH FLOOR	TO	TOP OF
FLR	FLOOR	TOA	TOP OF ASPHALT
GA	GAGE / GAUGE	TOP	TOP OF FOOTING
FTG	FEET / FOOT	TOS	TOP OF SLAB OR SIDEWALK
FTS	FOOTING	TOW	TOP OF WALL
GAL	GALLON	TYP	TYPICAL
GALV	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
GFCI	GROUND FAULT CIRCUIT INTERRUPTOR	VCT	VINYL COMPOSITION TILE
GPM	GALLONS PER MINUTE	VERT	VERTICAL
GND	GROUND	VEST	VESTIBULE
GOVT	GOVERNMENT	WID	WOOD
GYP BD	GYPSUM BOARD	WVF	WELDED WIRE FABRIC
HC	HANDICAPPED		
HDW	HARDWARE		
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
HR	HOUR		
HT	HEIGHT		
HVAC	HEATING / VENTILATION / AIR CONDITIONING		
HYD	HYDRANT		
ID	INSIDE DIAMETER		
IF	INSIDE FACE		
IN	INCHES		
INFO	INFORMATION		
INSUL	INSULATION		
LAV	LAVATORY		
LT	LIGHT		
LT HT	LIGHT HEIGHT		
MAINT	MAINTENANCE		

### CODE INFORMATION

PARKING GARAGE - TYPE IA:							
ALLOWABLE BUILDING HEIGHT & AREA ANALYSIS FOR PARKING GARAGE (S-2, S-1)							
USE & OCCUPANCY: S-2, S-1	ALLOWABLE STORIES: UL						
TYPE OF CONSTRUCTION: I-A	ACTUAL STORIES: 3 STORY						
FIRE SPRINKLERS: YES (SM)	ALLOWABLE AREA: UL						
ALLOWABLE BUILDING HEIGHT: UL	WITH FRONTAGE INCREASE: NA						
ACTUAL HEIGHT: 11 FT							
PERIMETER @ FLOOR: 462 LF	462 LF						
ACCESSORY AREA CALC. (508.2.3):							
PARKING GARAGE TOTAL FLOOR AREA = 39,514 SF							
ACCESSORY S-1 AREAS = 1,975 SF							
1,395 SF 39,514 SF = 4% < 10%							
APARTMENT BUILDINGS - TYPE IIA:							
ALLOWABLE BUILDING HEIGHT & AREA FOR GATEHOUSE 2 (R-2, A-3)							
USE & OCCUPANCY: R-2, (S-1 ACCESSORY)	ALLOWABLE STORIES: 5 STORIES						
TYPE OF CONSTRUCTION: II-B	ACTUAL STORIES: 5 STORIES						
FIRE SPRINKLERS: YES, THROUGHOUT (SM)	ALLOWABLE AREA PER FLOOR: 48,000 SF						
ALLOWABLE BUILDING HEIGHT: 75 FT	ALLOWABLE AREA TOTAL BUILDING: 144,000 SF						
ACTUAL HEIGHT: 65 FT GRADE - PARAPET	(SEE CALC. BELOW)						
ALL DWELLING UNITS SEPERATED BY 1 HR FIRE PARTITION PER 430.2							
S-1 ACCESSORY TO R-2, WHERE IT IS <10% OF THE FLOOR AREA PER IBC 508.2.3, NO SEPERATION REQUIRED.							
(1 HR PARTITION PROVIDED) SEE CALC. BELOW							
WEST BLDG. A - ACCESSORY AREA CALC. (508.2.3):							
LEVEL 1-4 FLOOR AREA = 10,302 SF	LEVEL 1 (R-2, S-1): 10,302 SF						
LEVEL 1-4 ACCESSORY (S-1) AREA = 134 SF	LEVEL 2 (R-2, S-1): 10,302 SF						
134 SF / 10,302 SF = 1% < 10%	LEVEL 3 (R-2, S-1): 10,302 SF						
LEVEL 5 FLOOR AREA = 10,302 SF	LEVEL 4 (R-2, S-1): 10,302 SF						
LEVEL 5 ACCESSORY (S-1) AREA = 134 SF	LEVEL 5 (R-2, S-1): 10,302 SF						
134 SF / 17,300 SF = 1% < 10%	TOTAL: 51,656 SF						
TOTAL ALLOWABLE BUILDING AREA: A <sub>1b</sub> = 148,000 + (0) X 3 = 144,000 SF							
PLUMBING FIXTURE ANALYSIS R CLASSIFICATION (IBC CHAPTER 29):							
GROUP R-2:							
BUILDING TOTAL WATER CLOSETS REQUIRED: 1 PER DWELLING UNIT = 78							
BUILDING TOTAL SHOWERS/BATHUBS REQUIRED: 1 PER DWELLING UNIT = 78							
BUILDING TOTAL LAVATORIES REQUIRED: 1 PER DWELLING UNIT = 78							
BUILDING TOTAL KITCHEN SINKS REQUIRED: 1 PER DWELLING UNIT = 78							
BUILDING TOTAL CLOTHES WASHER CONNECTIONS REQUIRED: 1 PER DWELLING UNIT = 78							
GROUP A-3:							
PATIO AMENITY PLUMBING FIXTURE ANALYSIS (IBC CHAPTER 29 TABLE 2802.1):							
THE FOLLOWING FIXTURE CALCULATIONS HAVE TAKEN INTO ACCOUNT THE OCCUPANT LOAD REPRESENTING OCCUPANTS WHO ARE WITHIN 500' AND 1 STORY OF THEIR OWN UNIT BATHROOM PER IBC 2802.3.3.							
TOTAL COURTYARD OCCUPANT LOAD = 219							
RESIDENT OCCUPANT LOAD WITHIN 500' AND 1 STORY OF COURTYARD = 164							
OCCUPANT LOAD ACCOUNTED FOR IN COURTYARD PLUMBING CALC. = 219-164 = 55							
OCCUPANT LOAD SUMMARY							
FUNCTION OF SPACE (IBC TABLE 1004.1.2)	OCC CLASS	TOTAL OCC. LOAD	WATER CLOSET	LAVATORIES	BATHUBS /SHOWERS	DRINKING FOUNTAINS	SERVICE SINKS
REQUIRED	A-3	115	1	1	-	1	1
FIXTURES PROVIDED			1	1	-	1	1

### GENERAL CONSTRUCTION NOTES

- INTERIOR EXIT STAIRWAYS, RAMPS AND EXIT PASSAGEWAYS SHALL BE NOT LESS THAN A CLASS 'B' RATING. SEE IBC TABLE 803.13. CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS SHALL NOT BE LESS THAN A CLASS 'C' RATING. SEE IBC TABLE 803.13. IN ALL OCCUPANCIES, INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS IN ENCLOSURES FOR STAIRWAYS AND RAMPS, EXIT PASSAGEWAYS, CORRIDORS AND ROOMS OR SPACES NOT SEPARATED FROM CORRIDORS SHALL NOT BE LESS THAN CLASS II. SEE IBC 804.4.2.
- ALL CONSTRUCTION SHALL MEET THE CONSTRUCTION STANDARDS FOR A TYPE I A, SPRINKLED BUILDING IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE 2018 EDITION. CONSTRUCTION SHALL MEET THE REQUIREMENTS FOR THE CITY OF SALT LAKE CITY, STATE OF UTAH.
- CONTRACTOR TO MAINTAIN A COMPLETE, TOP QUALITY "AS BUILT" DRAWINGS FOR SUBMITTAL TO ARCHITECT UPON COMPLETION OF CONSTRUCTION.
- WOOD AND COMBUSTIBLE MATERIALS IN CEILING AND CONCEALED SPACES FOR TYPES I AND II CONSTRUCTION IS TO BE CONSTRUCTED PER IBC 803.
- NO VINYL ASBESTOS OR OTHER HAZARDOUS MATERIALS SHALL BE INSTALLED AS PART OF THIS WORK. ALL STRICTLY REGULATED MATERIALS SHALL MEET ALL STATE AND FEDERAL REGULATIONS.
- ALL FURRING AND BLOCKING SHALL MEET THE REQUIREMENTS OF IBC 718.2.
- THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS. EACH TRADE SHALL EXAMINE THE PREMISES PRIOR TO COMMENCING HIS WORK TO INSURE THAT CONDITIONS ARE APPROPRIATE FOR HIS WORK TO COMMENCE. AREAS NOT APPROPRIATE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. COMMENCING WORK IMPLIES ACCEPTANCE OF EXISTING CONDITIONS. CONSULT THE ARCHITECT IF DISCREPANCIES OCCUR AND WHERE THERE IS A CONFLICT THE MOST EXPENSIVE PRODUCT/METHOD SHALL GOVERN, BUT WITH PRIOR APPROVAL FROM THE ARCHITECT.
- COORDINATE ALL DIMENSIONS, CONDITIONS AND DETAILS WITH STRUCTURAL, CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION DRAWINGS AND MATERIAL SUPPLIERS. CONSULT THE ARCHITECT IF DISCREPANCIES OCCUR AND WHERE THERE IS A CONFLICT THE MOST EXPENSIVE PRODUCT/METHOD SHALL GOVERN, BUT WITH PRIOR APPROVAL FROM THE ARCHITECT.
- ALL SECURITY DEVICES MUST BE PHYSICALLY INTEGRATED. FREESTANDING PEDESTALS OR HANGING DEVICES CONTAINING SENSOR EQUIPMENT ARE PROHIBITED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE APPLICABLE INTERNATIONAL BUILDING CODE, HANDICAPPED-ACCESSIBILITY CODE, AND ALL APPLICABLE ORDINANCES INCLUDING STATE AND LOCAL BUILDING CODES AND REQUIREMENTS.
- THE CONTRACTOR SHALL CONFIRM IN WRITING, APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION ITEMS AND MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DELAYS AFFECTING OCCUPANCY.
- SUBSTITUTIONS, REVISIONS AND/OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL BY THE ARCHITECT AND OWNER.
- NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE. THE OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFICIENCIES OR DEFECTS DURING CONSTRUCTION SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITIES. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES CAUSED BY THEMSELVES OR BY THEIR SUB-CONTRACTORS.
- THE CONTRACTOR SHALL REVIEW, APPROVE, STAMP, AND SUBMIT TO THE ARCHITECT, WITH REASONABLE PROMPTNESS, AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK, PRODUCT DATA, SHOP DRAWINGS AND SAMPLES FOR THE PROJECT.
- BY APPROVING STAMPING, AND SUBMITTING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, THE CONTRACTOR REPRESENTS THAT THEY HAVE DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA RELATED THERETO AND THAT THEY HAVE CHECKED AND COORDINATED THE INFORMATION WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES.
- THE CONTRACTOR SHALL ASSIST IN THE COORDINATION OF NOT IN CONTRACT (NIC) ITEMS INCLUDING FURNITURE INSTALLATION, EQUIPMENT INSTALLATION, TELEPHONE WORK, ETC..
- ALL PARTITIONS AND CEILING SHALL BE BRACED IN COMPLIANCE WITH THE REQUIREMENTS OF ALL APPLICABLE SEISMIC AND BUILDING CODES.
- THE CONTRACTOR SHALL PROVIDE METAL BACKING PLATES, OR FIRE TREATED WOOD BLOCKING, AS REQUIRED IN WALLS BEHIND ALL WALL MOUNTED ITEMS OF CASEWORK, ACCESSORIES, ETC., AS ALLOWED BY THE TYPE OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL FIELD DIMENSIONS INDICATED BY "VERIFY" IN THE CONTRACT DOCUMENTS AND SHALL REVIEW ANY DISCREPANCIES WITH THE ARCHITECT BEFORE PROCEEDING.
- ALL "CLEAR" (CLR) DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL.
- PRIOR TO CONSTRUCTION, DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS, ENGINEERING DRAWINGS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- DIMENSIONS TAKE PRECEDENCE OVER SCALE OF THE DRAWING. DRAWINGS SHOULD NOT BE SCALED WITHOUT APPROVAL OF THE ARCHITECT.
- ALL TOILET ROOMS AND ELEVATIONS SHALL BE IN COMPLIANCE WITH CURRENT APPLICABLE CODES AS PER THESE DRAWINGS.
- ALL DRAWINGS, NOTES, AND SPECIFICATIONS ARE CONSIDERED COMPLEMENTARY AND WHAT IS CALLED FOR BY ONE WILL BE BINDING TO ALL, ANY WORK SHOWN, OR REFERRED TO, IS BINDING TO ALL. CONSULT THE ARCHITECT IF DISCREPANCIES OCCUR AND WHERE THERE IS A CONFLICT THE MOST EXPENSIVE PRODUCT/METHOD SHALL GOVERN, BUT WITH PRIOR APPROVAL FROM THE ARCHITECT.
- ARCHITECT SHALL NOT BE LIABLE FOR WORK REGARDING THE IDENTIFICATION, REPAIR, REMOVAL OR ENCLOSURE OF ASBESTOS OR OTHER HAZARDOUS MATERIALS. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IF ANY MATERIALS ENCOUNTERED REQUIRING TESTING OR ABATEMENT. ALL ASBESTOS IDENTIFICATION AND REMOVAL IS TO BE COMPLETED UNDER SEPARATE CONTRACT AND PRIOR TO COMMENCEMENT OF DEMOLITION AND/OR REMODELING WORK DESCRIBED IN OUR DOCUMENTS.

### BUILDING MATRIX

UNIT TYPE	COUNT	AVERAGE UNIT AREA
1 BED	53	550 SF
STUDIO	25	390 SF
Grand Total:	78	
UNIT PER GROSS ACRE =		
78 UNITS / .45 ACRE		
35 UNITS / 1 GROSS ACRE EQUIVALENT		

### PARKING PROVIDED

PARKING LEVEL	STALL TYPE	AMOUNT
LEVEL P0	STANDARD	30
LEVEL P1		30
LEVEL P1	ADA	3
LEVEL P1	ELECTRIC	3
LEVEL P1	VEHICLE	11
LEVEL P2		17
LEVEL P2	STANDARD	28
TOTAL		75
OFF STREET PARKING PER GROSS ACRE =		
35.229 / .45 ACRE		
35 UNITS / 1 GROSS ACRE EQUIVALENT		

### PARKING REQUIRED

UNIT TYPE	UNIT COUNT	S/C CODE	REQUIRED STALLS
STUDIO	25	0.5	12.5
1 BED	53	1	53
Grand Total:	78		65.5

### TRADITION POINTE

1425 SOUTH JEFFERSON STREET  
SALT LAKE CITY, UT 84115

**BWA**  
ARCHITECTS

T 801.438.9500  
F 801.438.9501

3115 EAST LION LANE, #200  
HOLLADAY, UTAH 84112

BEECHERWALKER.COM

---

PROJECT NUMBER  
Project Number

DWN BY: JM CHD BY: JM

**A** SITE PLAN REVIEW

---

CODE COMPLIANCE  
AND GENERAL  
INFORMATION

---

DRAWING NUMBER

# G002

B

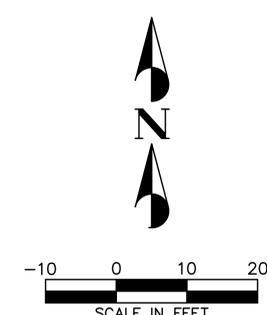
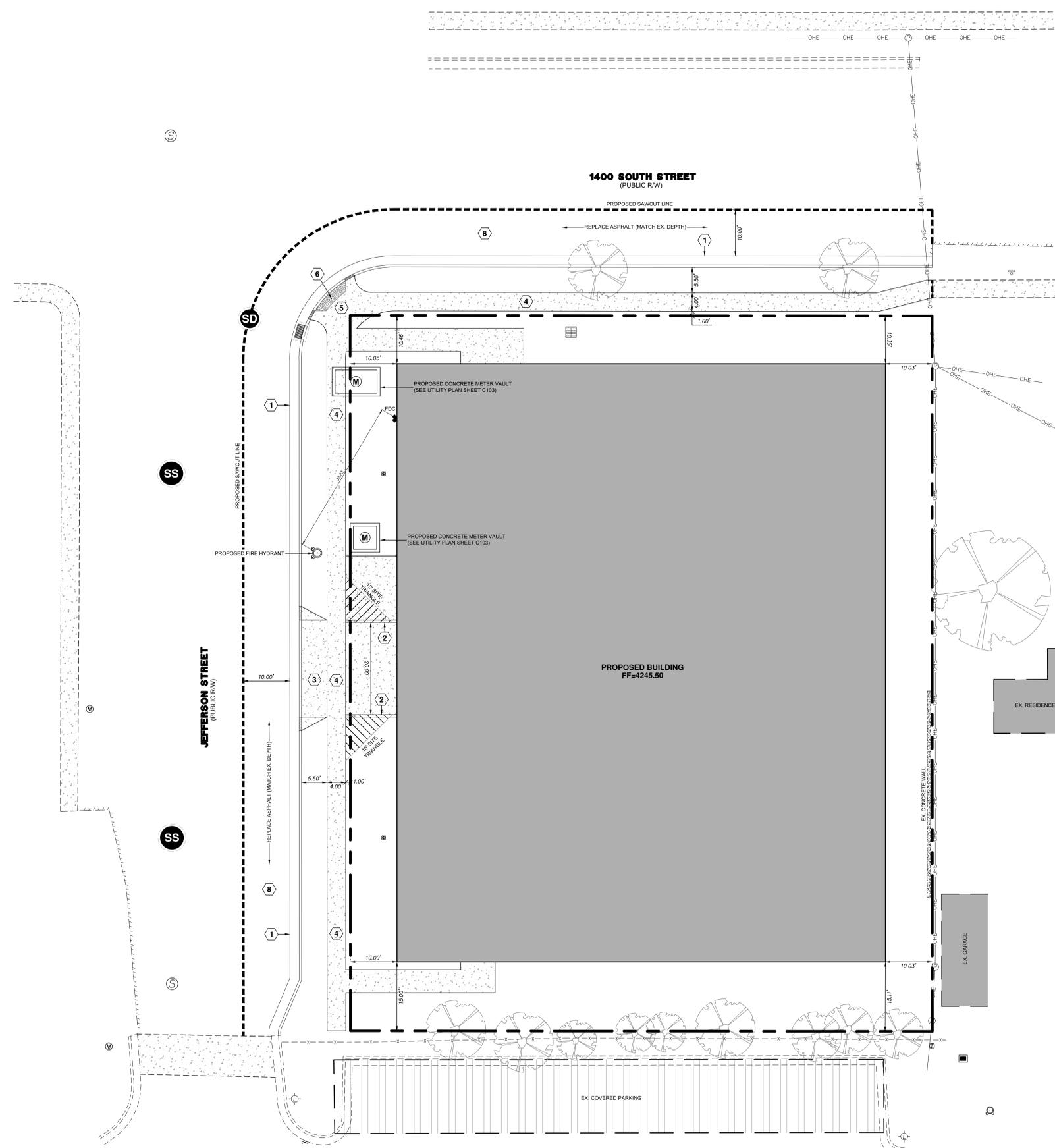
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1 2 3 4 5 6 7







**LEGEND**

---	PROPOSED BOUNDARY
---	EXISTING BUILDING
---	EXISTING CURB & GUTTER
---	EXISTING SIDEWALK
---	EXISTING EDGE OF ASPHALT
---	EXISTING FENCE
---	PROPOSED BUILDING
---	PROPOSED CURB & GUTTER
---	PROPOSED SIDEWALK
---	PROPOSED FENCE
---	PROPOSED SAWCUT LINE

- NOTES**
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
  - ALL WORK SHALL ALSO COMPLY WITH THE PROJECT PLANS, PROJECT SPECIFICATIONS, AND PROJECT GEOTECHNICAL REPORT, WHICHEVER IS MORE STRINGENT.
  - SEE LANDSCAPE/ARCHITECTURAL PLANS FOR LANDSCAPING DETAILS.
  - ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
  - ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS, AND STRUCTURES, WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DOCUMENTS.
  - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
  - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON PLANS.
  - THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING WORK ON OR ADJACENT TO A PUBLIC ROAD TO PROVIDE, INSTALL, AND MAINTAIN APPROPRIATE TRAFFIC CONTROL DEVICES, AS WELL AS ANY ADDITIONAL TRAFFIC CONTROL DEVICES THAT MAY BE REQUIRED TO ENSURE SAFE AND EFFICIENT MOVEMENT OF TRAFFIC AND PEDESTRIANS THROUGH OR AROUND THE WORK AREA AND TO PROVIDE MAXIMUM PROTECTION AND SAFETY TO ROAD WORKERS.
  - PRIOR TO WORKING IN THE PUBLIC RIGHT OF WAY, A LICENSED, INSURED AND BONDED CONTRACTOR, WHO HAS SAID INFORMATION ON FILE WITH SLC ENGINEERING, MUST OBTAIN A PUBLIC WAY PERMIT FROM SLC ENGINEERING AND PERHAPS A TRANSPORTATION PERMIT. ALL WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW APWA STANDARD PLANS AND SPECIFICATIONS.
  - ALL TREE REMOVAL AND PLANTING IN THE PUBLIC RIGHT OF WAY REQUIRES A PERMIT AND SHALL COMPLY WITH SALT LAKE CITY URBAN FORESTRY TREE PROTECTION AND PRESERVATION POLICY.
  - ALL GROUND MOUNTED UTILITY BOX LOCATIONS SHALL COMPLY WITH SLC STANDARDS, SPECIFICATIONS AND ORDINANCES. COORDINATE WITH UTILITY SERVICE COMPANIES FOR LOCATIONS.

- KEYNOTE LEGEND**
- TYPE A, 30" HIGH BACK CURB & GUTTER PER APWA PLAN #205.1 REQ'D (SEE DETAIL B ON SHEET C108)
  - TYPE P, 6" HIGH BACK CURB PER APWA PLAN #209 REQ'D (SEE DETAIL B ON SHEET C108)
  - FLARED DRIVEWAY APPROACH PER APWA PLAN #221.1 REQ'D (SEE DETAIL C ON SHEET C108)
  - 4" CONCRETE SIDEWALK PER APWA PLAN #231 REQ'D (SEE DETAIL D ON SHEET C108)
  - CORNER CURB CUT ASSEMBLY PER APWA PLAN #235.1 REQ'D (SEE DETAIL E ON SHEET C108)
  - DETECTABLE WARNING SURFACE PER APWA PLAN #238 REQ'D (SEE DETAIL F ON SHEET C108)
  - 8" CONCRETE AT DUMPSTER DRIVEWAY, SIDEWALK, AND APPROACH APRON REQ'D (SEE DETAIL A & DETAIL C ON SHEET C108)
  - REPAIR ASPHALT PER APWA PLAN #255 REQ'D (SEE DETAIL G ON SHEET C108)

**BENCHMARK**  
 FOUND STREET MONUMENT (FLAT BRASS)  
 1700 SOUTH & MAIN ST INTERSECTION  
 ELEVATION=4255.575  
 (NAVD88)



<p><b>TRADITION POINTE APARTMENTS</b>  <b>1425 JEFFERSON ST</b>          SITE PLAN</p>	<p>DATE: 4/20          SUPERVISOR: PEP CREW          DRAWN BY: TRC          DESIGNED BY: TRC          CHECKED BY: RAK          SCALE: 1"=10'</p>
<p><b>PEPG CONSULTING LLC</b>          9270 SOUTH 300 WEST • SANDY, UT 84070          PHONE: (801) 562-2521 • FAX: (801) 562-2551          CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT          GEOTECHNICAL • MATERIALS TESTING • INSPECTIONS</p>	
<p>1408 2010          PROJECT NUMBER          DWG. 02 - SITE - 01          DRAWING FILE</p>	
<p>DECEMBER 4, 2020          LAST REVISED</p>	
<p>SALT LAKE CITY</p>	
<p>PRELIMINARY          NOT FOR          CONSTRUCTION</p>	
<p>SHEET NO. <b>C102</b></p>	



## PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	SIZE	CONT.	HZONE	QTY
	ACER TATARICUM / TATARIAN MAPLE	2" CAL.	B&B	TD3	5
	CATALPA SPECIOSA 'HIAWATHA 2' TM / HEARTLAND CATALPA	2" CAL.	B&B	TD4	5
	QUERCUS BICOLOR 'BONNIE AND MIKE' TM / BEACON OAK	2" CAL.	B&B	TD4	10
SHRUBS	BOTANICAL / COMMON NAME	SIZE	HZONE	QTY	
	CORNUS ALBA 'BAILHALO' / IVORY HALO DOGWOOD	5 GAL.	SD4	55	
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC -TRIM TO FORM DENSE GROUNDCOVER	5 GAL.	SD1	21	
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	SIZE	HZONE	QTY	
	COTONEASTER LUCIDUS / PEKING COTONEASTER	5 GAL.	SE4	53	
	LIGUSTRUM VULGARE 'SWIFT' STRAIGHT TALK / SWIFT STRAIGHT TALK PRIVET	5 GAL.	SD2	25	
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME	SIZE	HZONE	QTY	
	FESTUCA MAIREI / ATLAS FESCUE	5 GAL.	TW1	156	
	MISCANTHUS SINENSIS 'YAKU JIMA' / YAKU JIMA MAIDEN GRASS	1 GAL.	SD1	24	
GROUND COVERS	BOTANICAL / COMMON NAME	CONT.	HZONE	SPACING	QTY
	HYPERICUM CALYGINUM / CREEPING ST. JOHN'S WORT	FLAT	GV1	8" o.c.	580 SF
ROCK MULCH	BOTANICAL / COMMON NAME	CONT.	HZONE	SPACING	QTY
	1-2" GREY COBBLE	ROCK MULCH	N/A		2,405 SF
	1" PERMABARK	ROCK MULCH	N/A		3,051 SF
TURF/SOD	BOTANICAL / COMMON NAME	CONT.	HZONE	SPACING	QTY
	TURF SOD	SOD	N/A		558 SF

## REFERENCE NOTES SCHEDULE

SYMBOL	SITE LAYOUT DESCRIPTION	QTY	DETAIL
	BIKE RACK LOCATION - PER CITY STANDARD		
SYMBOL	PLANTING DESCRIPTION	QTY	DETAIL
	TURF AREA (TYP.)		
	1/4" THICK STEEL EDGING BETWEEN ALL PLANTING AND TURF AREAS (TYP.)		
	GROUNDCOVER AREA WITH BARK MULCH (TYP.)		

## SUMMARY DATA

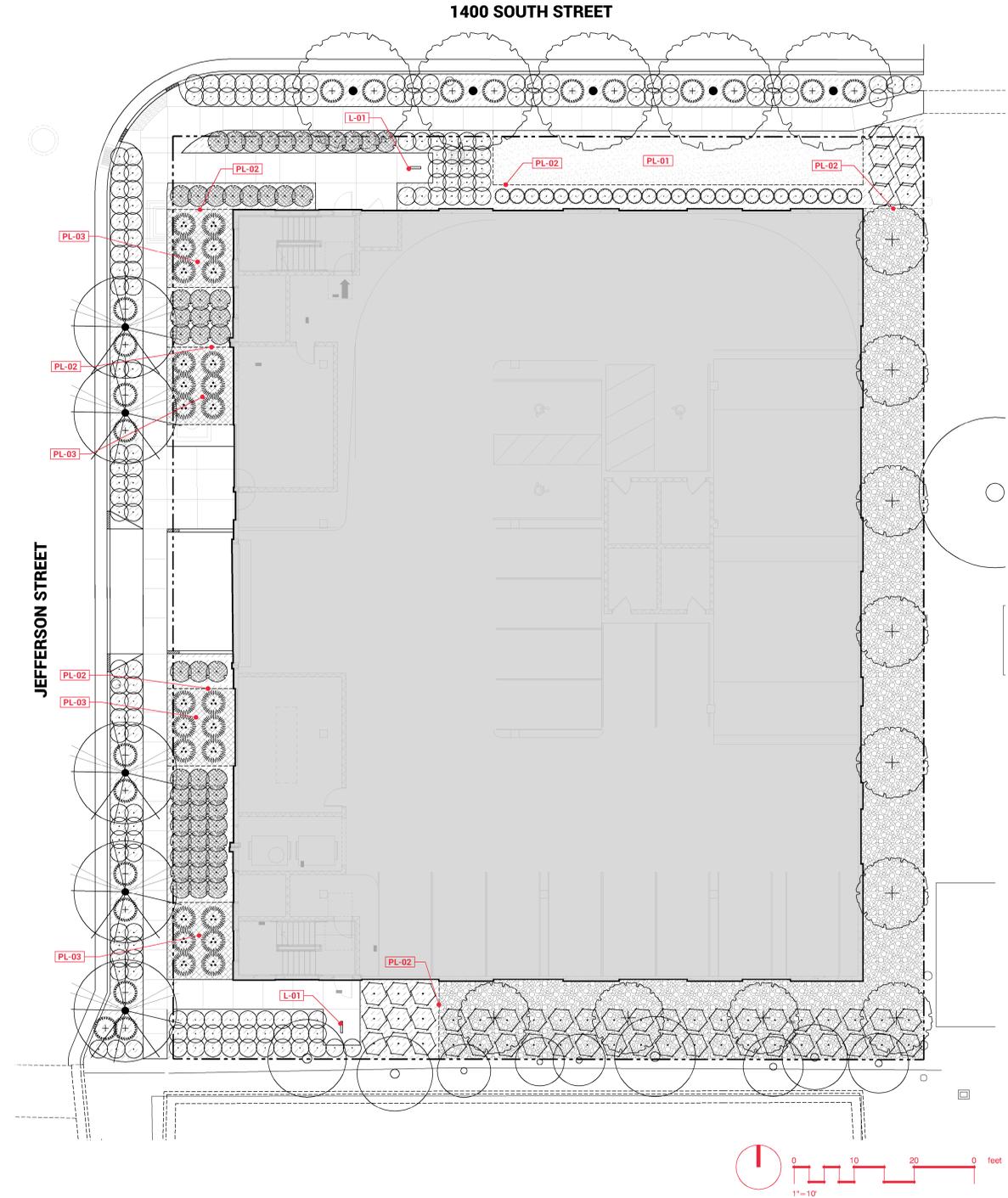
TOTAL SITE: 22,381 SF  
 OPEN SPACE AREA: 13,198 SF  
 TOTAL VEGETATED AREA: 4,189 SF

**PARK STRIP TREES REQUIRED/PROVIDED:**  
 1400 SOUTH STREET 4 REQUIRED/5 PROVIDED  
 JEFFERSON STREET 5 REQUIRED/5 PROVIDED

**DROUGHT TOLERANT TREES AND SHRUBS(80% MINIMUM):**  
 TREES: 100% PROVIDED - NOTE HYDROZONES ON PLANTING SCHEDULE  
 SHRUBS: 100% PROVIDED - NOTE HYDROZONES ON PLANTING SCHEDULE

IRRIGATION SYSTEM TO BE DESIGNED, INSTALLED, AND MAINTAINED TO WORK EFFICIENTLY AND BACKFLOW ASSEMBLIES TO BE DESIGNED AND INSTALLED ACCORDING TO THE STANDARDS AS OUTLINED IN THE "SALT LAKE CITY LANDSCAPE BMPS FOR WATER RESOURCE EFFICIENCY AND PROTECTION."

PLEASE NOTE: TREE REMOVAL OR TREE PLANTING IN THE PUBLIC WAY REQUIRES APPROVAL FROM THE SLC URBAN FORESTRY (972-7818)



MARK	ISSUE DESCRIPTION	ISS. DATE	#	REV. DESCRIPTION	REV. DATE
E					
D					
C					
B					
A					

TRADITION POINT  
 1425 SOUTH JEFFERSON STREET  
 SALT LAKE CITY, UT 84115

**beecherwalker**  
 Architecture/Interiors  
 3115 EAST LION LANE #200  
 HOLLADAY, UTAH 84121  
 P. 801.438.9500 | F. 801.438.9501 | BEECHERWALKER.COM

PROJECT NUMBER: 2021  
 DWN BY: KCF | CHKD BY: BAR  
 SD SET

LANDSCAPE PLAN

DRAWING NUMBER  
**L101**

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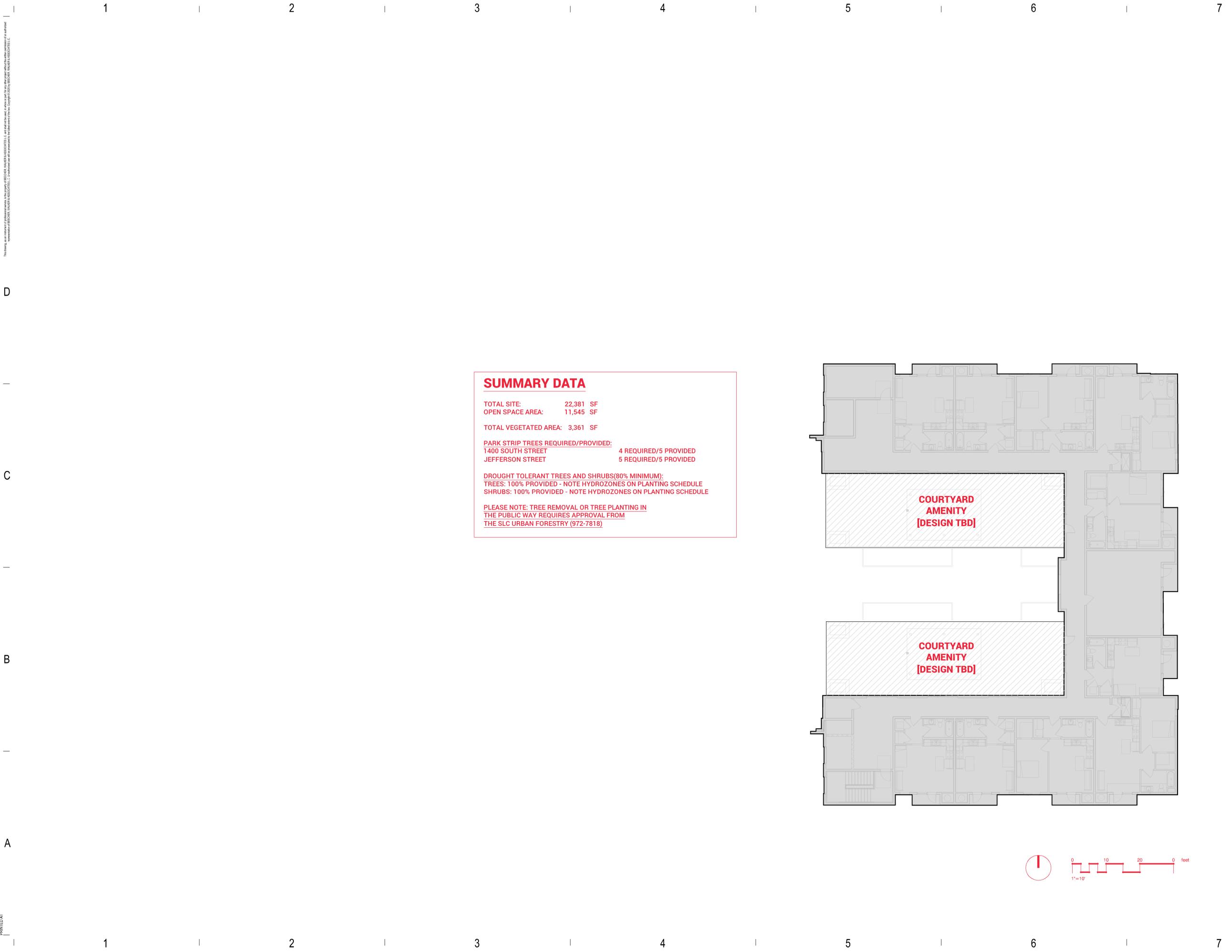
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**SUMMARY DATA**

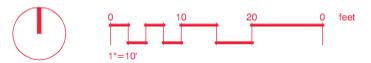
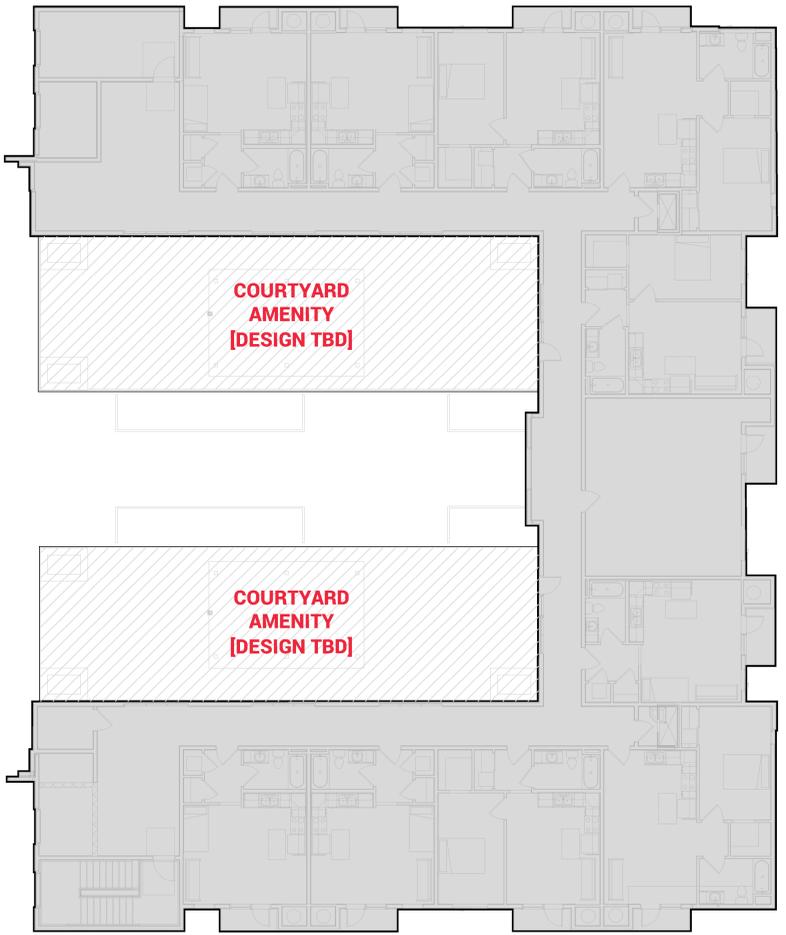
TOTAL SITE: 22,381 SF  
 OPEN SPACE AREA: 11,545 SF

TOTAL VEGETATED AREA: 3,361 SF

**PARK STRIP TREES REQUIRED/PROVIDED:**  
 1400 SOUTH STREET 4 REQUIRED/5 PROVIDED  
 JEFFERSON STREET 5 REQUIRED/5 PROVIDED

**DROUGHT TOLERANT TREES AND SHRUBS(80% MINIMUM):**  
 TREES: 100% PROVIDED - NOTE HYDROZONES ON PLANTING SCHEDULE  
 SHRUBS: 100% PROVIDED - NOTE HYDROZONES ON PLANTING SCHEDULE

**PLEASE NOTE: TREE REMOVAL OR TREE PLANTING IN THE PUBLIC WAY REQUIRES APPROVAL FROM THE SLC URBAN FORESTRY (972-7818)**



ISS. DATE	#	REV. DESCRIPTION	REV. DATE
5/27/2020	1	SD SET	

**TRADITION POINTE**  
 1425 SOUTH JEFFERSON STREET  
 SALT LAKE CITY, UT 84115

**beecherwalker**  
 Architecture/Interiors  
 801.438.9500 | 3115 EAST LION LANE #200  
 801.438.9501 | HOLLADAY, UTAH 84121 | BEECHERWALKER.COM

PROJECT NUMBER: 2021  
 DWN BY: KCF | CHKD BY: BAR  
 SD SET

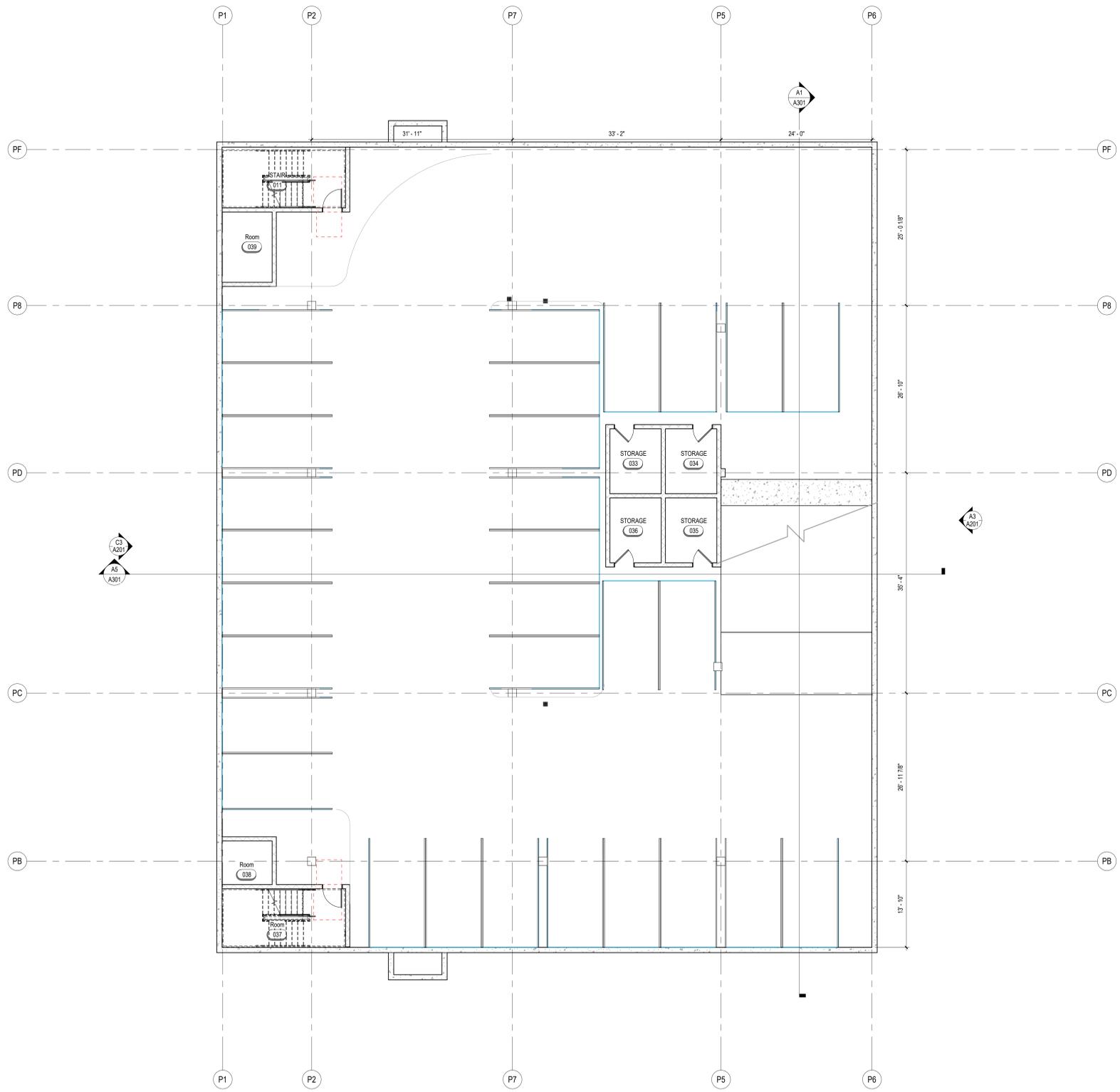
LANDSCAPE PLAN

DRAWING NUMBER  
**L103**

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PARKING LEVEL	STALL TYPE	AMOUNT
LEVEL P0		
LEVEL P0	STANDARD	30
		30
LEVEL P1		
LEVEL P1	ADA	3
LEVEL P1	ELECTRIC VEHICLE	3
LEVEL P1	STANDARD	11
		17
LEVEL P2		
LEVEL P2	STANDARD	28
		28
TOTAL		75



A3 LEVEL P0  
A098 1/8" = 1'-0"

NO.	ISSUE DESCRIPTION	ISS. DATE	REV. DESCRIPTION	REV. DATE
1	SD SET			
2	SITE PLAN REVIEW	8-11-2020		

TRADITION POINTE  
1425 SOUTH JEFFERSON STREET  
SALT LAKE CITY, UT 84115



PROJECT NUMBER  
Project Number  
DWN BY JM CHKD BY  
Checker

SITE PLAN REVIEW

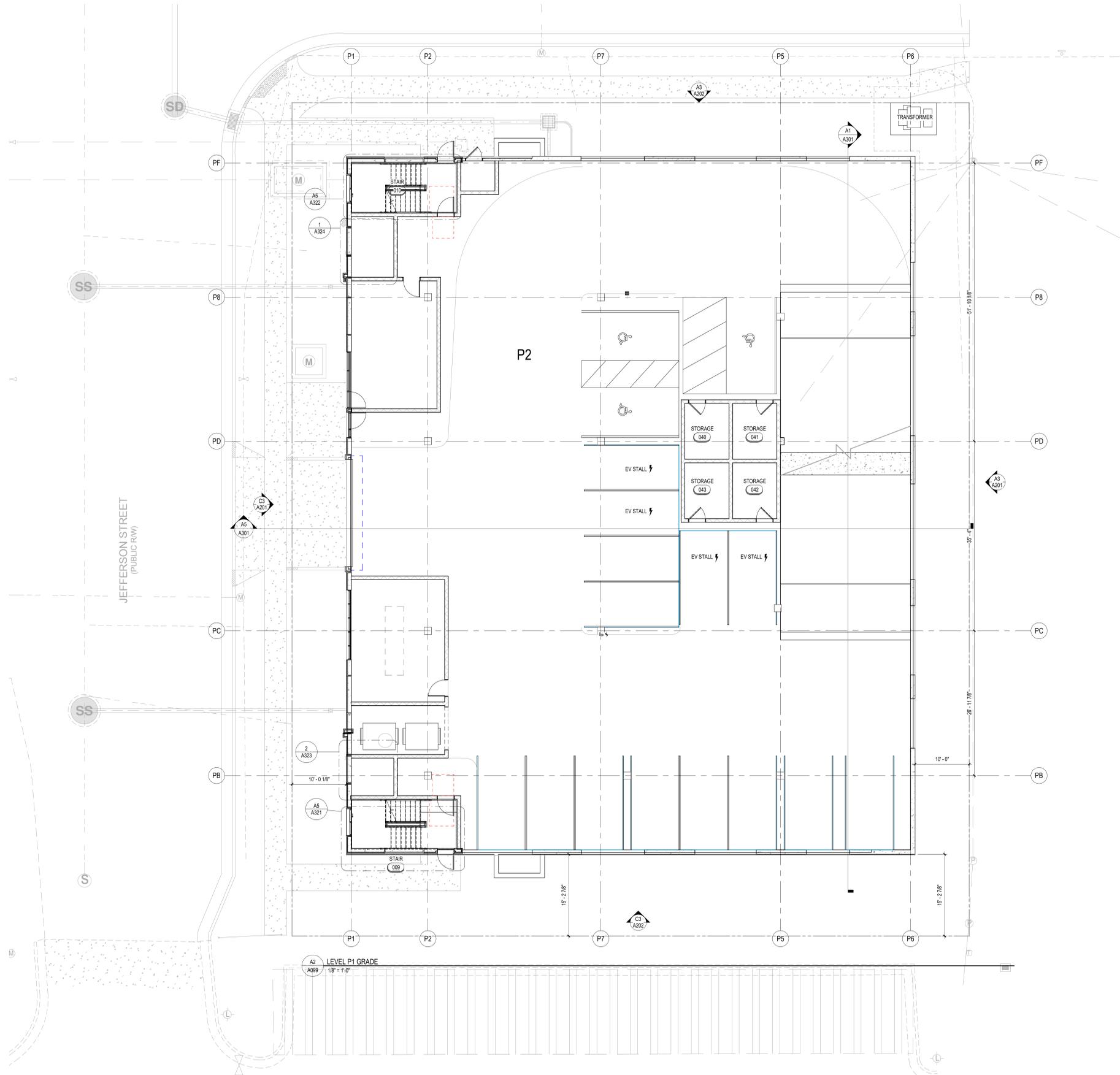
PARKING LEVEL P0

DRAWING NUMBER

A098

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PARKING PROVIDED		
PARKING LEVEL	STALL TYPE	AMOUNT
LEVEL P0	STANDARD	30
		30
LEVEL P1	ADA	3
	ELECTRIC VEHICLE	3
	STANDARD	11
		17
LEVEL P2	STANDARD	28
		28
TOTAL		75



ISSUE DESCRIPTION	ISS. DATE	REV. DESCRIPTION	REV. DATE
1			
2			

TRADITION POINTE  
 1425 SOUTH JEFFERSON STREET  
 SALT LAKE CITY, UT 84115



PROJECT NUMBER  
 Project Number  
 DWN BY JM CHKD BY  
 Checker

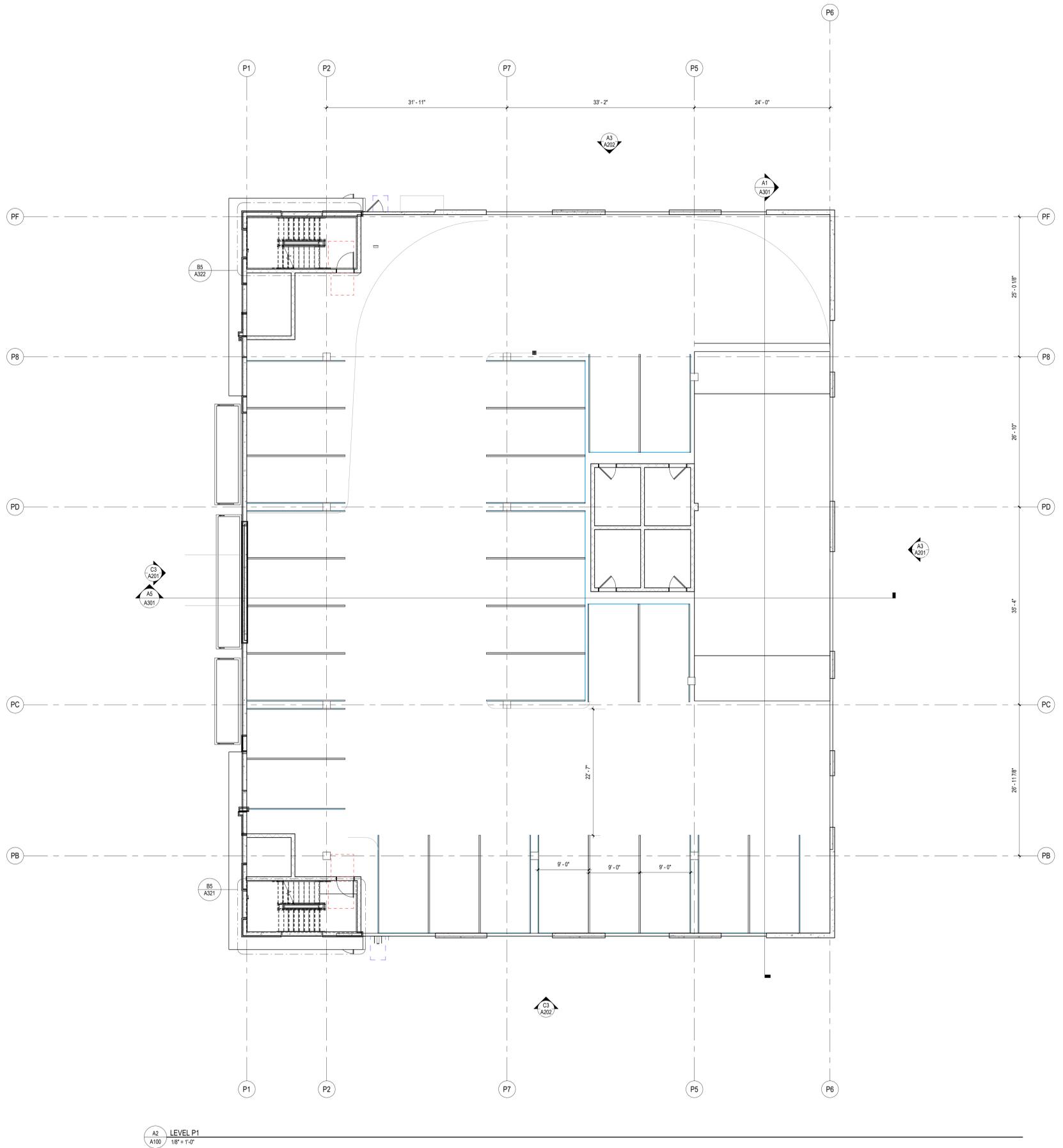
SITE PLAN REVIEW

PARKING LEVEL P1

DRAWING NUMBER  
**A099**

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PARKING PROVIDED		
PARKING LEVEL	STALL TYPE	AMOUNT
LEVEL P0	STANDARD	30
		30
LEVEL P1	ADA	3
	ELECTRIC VEHICLE	3
	STANDARD	11
		17
LEVEL P2	STANDARD	28
		28
TOTAL		75



A2 LEVEL P1  
A100 1/8" = 1'-0"

ISSUE DESCRIPTION	ISS. DATE	REV. DESCRIPTION	REV. DATE
1	5-27-2020		
2	6-11-2020	SITE PLAN REVIEW	
1	5-27-2020	SD SET	

TRADITION POINTE  
1425 SOUTH JEFFERSON STREET  
SALT LAKE CITY, UT 84115

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HOLLADAY, UTAH 84121  
BEECHERWALKER.COM

PROJECT NUMBER	Project Number
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JM	Checker

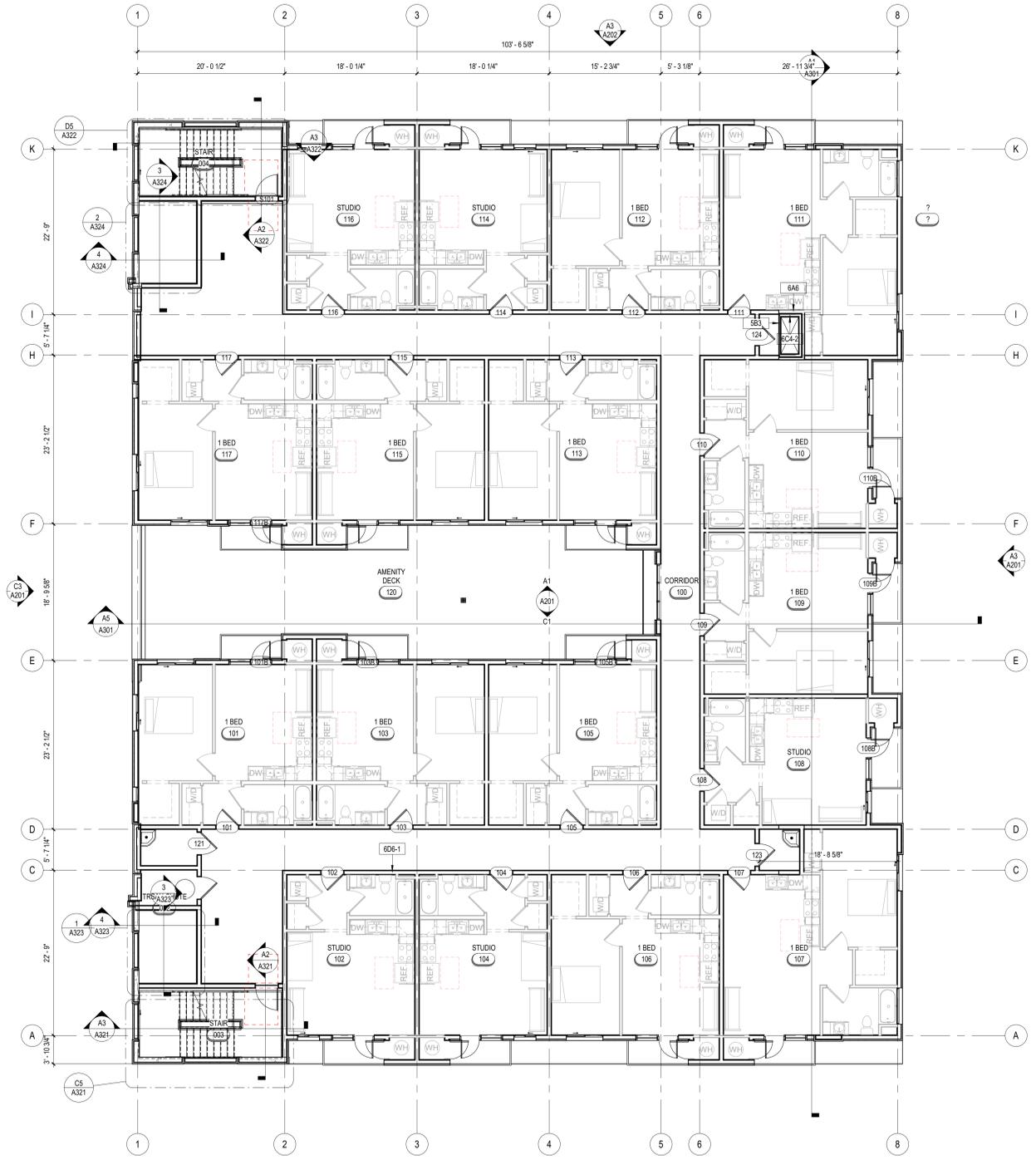
A SITE PLAN REVIEW  
PARKING LEVEL P2  
DRAWING NUMBER

**A100**

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**FLOOR PLAN GENERAL NOTES:**

- \*\*\*GENERAL NOTES APPLY TO ALL DRAWINGS\*\*\*
1. #18 BUILDING TYPE REQUIRES ALL EXTERIOR WALLS ARE OF NONCOMBUSTIBLE MATERIAL. FIRE RETARDANT-TREATED WOOD FRAMING AND SHEATHING SHALL BE IN ACCORDANCE WITH UL 723 AND HAVE A LISTED FLAME SPREAD INDEX OF 25 OR LESS AND SHOW NO EVIDENCE OF SIGNIFICANT PROGRESSIVE COMBUSTION WHEN THE TEST IS CONTINUED FOR AN ADDITIONAL 20-MINUTE PERIOD. THE FLAME FRONT SHALL NOT PROGRESS MORE THAN 10.5 FEET BEYOND THE CENTERLINE OF THE BURNERS AT ANY TIME DURING THE TEST.
  2. ALL DIMENSIONS ARE EXTERIOR WALL TO FACE OF SUBSTRATE, INTERIOR WALL TO FACE OF GYPSUM BOARD, FACE OF MASONRY OR CENTER LINE OF COLUMNS UNLESS OTHERWISE NOTED.
  3. DO NOT SCALE DRAWINGS.
  4. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
  5. PROVIDE 4" X 4" OF SOLID WOOD BACKING BEHIND ALL TV LOCATIONS IN UNITS, COMMON AREAS AND CORRIDORS.
  6. ALL WALL PENETRATIONS AT RATED WALL LOCATIONS REQUIRED FOR PIPES, CONDUIT, DUCTING, ETC. SHALL BE SEALED TO STOP PASSAGE OF FIRE AND/OR SMOKE WITH FIRE SAFING AND APPROVED SEALANT. SEE FIRESTOPPING DETAIL SHEETS 4514, 4515.
  7. ELECTRICAL PLANS INDICATE THE GENERAL DESIGN AND ARRANGEMENT OF PIPES, CONDUIT, WIRING, EQUIPMENT, SYSTEMS, ETC. INFORMATION SHOWN IS DIAGRAMMATIC IN CHARACTER AND DOES NOT NECESSARILY INDICATE EVERY REQUIRED OFFSET, FITTING AND EXISTING CONDITION WHEN APPLIED. LOCATION OF THESE ITEMS MAY BE ADJUSTED CONDITIONAL UPON THE SATISFACTORY COMPLIANCE WITH ALL OTHER REQUIREMENTS.
  8. ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNUSED UNLESS NOTED OTHERWISE.
  9. ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED AND INDICATED IN THE CONTRACTORS BID.
  10. GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTORS AND SUBCONTRACTORS DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
  11. ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILING OR IN ARCHITECT'S APPROVED UTILITY SPACES IN ALL CASES UNLESS NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL EXPOSED ITEMS ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACES UNLESS SCHEDULED FOR AN ACCENT COLOR.
  12. ARCHITECTURAL FINISH FLOOR ELEVATION 100'-0" EQUALS ACTUAL SITE REFERENCE OF FINISH FLOOR.
  13. IN ALL UNITS - REINFORCING & OR BLOCKING FOR GRAB BARS IN ALL RESTROOM WALLS AROUND TOILET, TUB, SHOWERS, ETC. ARE TO BE LOCATED AS PER ENLARGED UNIT SHEETS. PRE-ROOM RESTROOM WALLS AROUND TUBS AND SHOWERS LOCATED AS PER ENLARGED UNIT SHEETS.
  14. ALL DWELLING UNITS ARE TO BE ACCESSIBLE AS REQUIRED BY ANS 117.1-2010 (SEE SHEET 0202). 2% WILL BE TYPE 'A' UNITS THE REMAINING WILL BE TYPE 'B' UNITS. ALL EXTERIOR BALCONIES ARE NOT RATED, BUT WILL BE PROVIDED WITH SPRINKLER PROTECTION TO THOSE AREAS AS DIRECTED BY IBC 403.3 EXCEPTION 3.
  15. FIRE DEPARTMENT STANDPIPE EQUIPMENT IS NOT TO ENDOURCH INTO THE STAIR LANDING BEYOND THE RADIUS EXTENDING FROM THE INSIDE CORNER OF THE REQUIRED STAIR LANDING WIDTH.
  16. DRYER EXHAUST VENTS TO BE LOCATED AWAY FROM ANY OPERABLE WINDOWS/DOORS AS PER 2018 IMC.
  17. MEMBERS OF THE PRIMARY STRUCTURAL FRAME OTHER THAN COLUMNS THAT ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING AND SUPPORT MORE THAN TWO FLOORS OR ONE FLOOR AND ONE ROOF, OR SUPPORT A LOAD-BEARING WALL OR A NONLOAD-BEARING WALL MORE THAN TWO STORES HIGH, SHALL BE PROVIDED INDIVIDUAL CHASEMENT PROTECTION BY PROTECTING THEM ON ALL SIDES FOR THEIR FULL LENGTH, INCLUDING CONNECTIONS TO OTHER STRUCTURAL MEMBERS, WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING.
  18. FOR TYPICAL WALL FIRE PROTECTION DETAILS, SEE SHEET 4513. FOR TYPICAL PROTECTION DETAILS AROUND COLUMNS AND BEAMS, SEE SHEET 4511.
  19. PROTECT EXTERIOR REFRIGERANT PIPING INSULATION. IECC R408.2.8.1.
  20. AIR BARRIER COMPLIANCE WILL BE ATTAINED USING IECC R402.4.1.
  21. HORIZONTAL ASSEMBLIES BETWEEN UNITS SHALL RECEIVE R-11 BATT INSULATION. SEE ASSEMBLIES 4621.
  22. ALL PENETRATIONS MUST BE SEALED TO MEET CONTINUOUS AIRWEATHER BARRIER REQUIREMENTS. SEE SHEET 4513 FOR DRYVIT STUCCO SIDING PENETRATION DETAILS.



A2 LEVEL 1 FLOOR PLAN  
A101 / 1/8" = 1'-0"

**LEGEND - SIGNAGE TYPES**

- 1 TWO-WAY COMMUNICATION SYSTEM INSTRUCTIONS - SEE BR/G504
- 2 STAIRWAY IDENTIFICATION SIGN - SEE AS/G504 - ROOF ACCESS
- 3 STAIRWAY IDENTIFICATION SIGN - SEE AS/G504 - NO ROOF ACCESS
- 4 FLOOR IDENTIFICATION SIGN WITH TACTILE FLOOR IDENTIFICATION SIGN - SEE C1/G504
- 5 ADA RESTROOM SIGN - SEE A2/G504
- 6 MAXIMUM OCCUPANCY SIGN - SEE E6/G504
- 7 TACTILE ELEVATOR OR STAIR SIGN - SEE A2/G504
- 8 TACTILE EXIT SIGN - SEE C3/G504
- 9 EGRESS DIRECTIONAL SIGN - SEE C6/G504
- 10 FAMILY RESTROOM DIRECTIONAL SIGN - SEE B7/G504
- 11 FAMILY RESTROOM SIGN - SEE C5/G504
- 12 ASSISTIVE LISTENING DEVICE SIGN (2 DEVICES TO BE PROVIDED) - SEE E4/G504
- 13 DIRECTIONAL EXIT SIGN - SEE D3/G504
- 14 ADA PARKING STALL - SEE C4/G504
- 15 TACTILE EXIT STAIR SIGN - SEE D6/G504

**LEVEL 1 ROOM LEGEND**

UNIT #	UNIT TYPE	ADA	Area
101	1 BED		519 SF
102	STUDIO		381 SF
103	1 BED		500 SF
104	STUDIO		381 SF
105	1 BED		500 SF
106	1 BED		500 SF
107	1 BED		500 SF
108	STUDIO		381 SF
109	1 BED		490 SF
110	1 BED		512 SF
111	1 BED		503 SF
112	1 BED		500 SF
113	1 BED		490 SF
114	STUDIO		381 SF
115	1 BED		500 SF
116	STUDIO		380 SF
117	1 BED		519 SF
Grand total: 17			

**LEVEL 1 ROOM COUNT**

UNIT TYPE	COUNT
1 BED	12
STUDIO	5

TOTAL UNITS: 17

TRADITION POINTE  
1425 SOUTH JEFFERSON STREET  
SALT LAKE CITY, UT 84115



PROJECT NUMBER  
Project Number  
DWN BY ZH CHKD BY  
Checker

A SITE PLAN REVIEW

LEVEL 1 FLOOR PLAN

DRAWING NUMBER

A101

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1 | 2 | 3 | 4 | 5 | 6 | 7



D3 SOUTH ELEVATION  
1/8" = 1'-0"



A3 NORTH ELEVATION  
1/8" = 1'-0"

1 | 2 | 3 | 4 | 5 | 6 | 7

**EXTERIOR MATERIALS LEGEND:**

1		STUCCO (MUST COMPLY WITH NFPA 285 NAD ASTM E84 STANDARDS.)
2		STUCCO (MUST COMPLY WITH NFPA 285 NAD ASTM E84 STANDARDS.)
3		BRICK
4		FIBER COMPOSITE SIDING SYSTEM, VERTICAL ORIENTED
5		CONCRETE (VERTICAL BOARD FORM FINISH)
6		WOOD SIDING - OR ALUMINUM WOOD TYPE (SHIP LAP 9 1/2" x 12')
7		ALUMINUM BREAK METAL FASCIA / PARAPET CAP
8		WIRE MESH RAIL

REV. DATE	REV. DESCRIPTION	ISS. DATE	ISS. DESCRIPTION
		8-11-2020	SITE PLAN REVIEW
		5-27-2020	SD SET

D

C

B

A

**TRADITION POINTE**  
1425 SOUTH JEFFERSON STREET  
SALT LAKE CITY, UT 84115

**BWA**  
ARCHITECTS  
T 801.438.5500  
F 801.438.9501  
3115 EAST LION LANE, #200  
HOLLADAY, UTAH 84121  
BEECHERWALKER.COM

PROJECT NUMBER  
Project Number  
DWN BY JM CHKD BY  
Checker

SITE PLAN REVIEW

EXTERIOR ELEVATIONS

DRAWING NUMBER

**A202**

1 | 2 | 3 | 4 | 5 | 6 | 7



NO.	ISSUE DESCRIPTION	ISS. DATE	REV. DESCRIPTION	REV. DATE
1				
2	SITE PLAN REVIEW	8-11-2020		
1	SD SET	5-27-2020		

TRADITION POINTE  
1425 SOUTH JEFFERSON STREET  
SALT LAKE CITY, UT 84115



PROJECT NUMBER  
Project Number  
DWN BY Author CHKD BY Checker  
A SITE PLAN REVIEW

PERSPECTIVE VIEWS

DRAWING NUMBER  
**A902**

1 | 2 | 3 | 4 | 5 | 6 | 7

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# ATTACHMENT C – PROPERTY AND VICINITY PHOTOS



Birdseye view of property



**View of subject property looking south down Jefferson Street**



**Development to the east of subject property (along 1400 South)**



Properties to the west (across Jefferson Street)



Properties to the north (across 1400 South)

## ATTACHMENT D –ZONING ANALYSIS

### CG Development & Design Standards

Requirement	Standard	Proposed	Compliance
<b>Lot Area/Lot Width</b>	10,000 square feet/60 FT wide	Lot Area – 19,602 square feet Lot Width – 155 FT	<b>Complies</b>
<b>Front/Corner Side Yard -</b>	10 FT/10 FT	10 FT/10FT	<b>Complies</b>
<b>Side/ Rear Yard</b>	0 FT/10 FT	15 FT/10 FT	<b>Complies</b>
<b>Maximum Height</b>	60 FT or up to 90 FT when approved through Design Review	74 FT	<b>Complies:</b> Pending Planning Commission approval for additional height in accordance with Design Review standards
<b>Buffer Yard (adjacent to residential)</b>	15 FT	15 FT	<b>Complies</b>
<b>Landscape Yard</b>	10 FT on all front or corner yards	10 FT	<b>Complies</b>
<b>Design Standards</b>	Development shall comply with the following design standards in chapter 21A.37  1. Building entrances (at least 1 operable opening per street-facing façade)  2. Parking lot lighting must be shielded to adjacent residential properties.	1. 1 per street facing façade.  2. Parking lot is interior to building and exterior lighting is downlit.	<b>Complies:</b> The Commission will need to determine whether the proposed entrance is considered an operable opening, or if the opening needs to lead into occupiable space as recommended by Staff.
<b>Off-Street Parking Requirements</b>	<u>Minimum</u> – .5 stalls per studio unit, 1 stall per 1 bed unit (67 total for this project)  <u>Maximum</u> - 25% more than minimum (83 for this project)  <u>Electric Vehicles</u> - 1 stall per 25 vehicles  <u>Bike Parking</u> - 5% of total parking provided	<ul style="list-style-type: none"> <li>• 75 total stalls provided</li> <li>• 4 electric vehicle stalls provided</li> <li>• 8 bike parking stalls provided</li> </ul>	<b>Complies</b>

## ATTACHMENT E – DESIGN REVIEW ANALYSIS

**21A.59.050: Standards for Design Review:** For applications seeking modification of base zoning design standards, applicants shall demonstrate how the applicant's proposal complies with the standards for design review that are directly applicable to the design standard(s) that is proposed to be modified. The standards below have been identified as most closely related to the request for additional building height.

Standard	Finding	Rationale
<p><b>A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.</b></p>	<p><b>Complies</b></p>	<p>The purpose statement for the CG zone primarily focuses on objectives for commercial properties but does include a statement on the desire for a mix of land uses which provide economic development opportunities.</p> <p>The apartment building proposed will add much needed housing to the area and will provide additional potential patrons for local businesses.</p> <p>Discussion on compliance the intent of adopted citywide and neighborhood master plans can be found in item #1 of the Key Considerations of this report.</p>
<p><b>D. Large building masses shall be divided into heights and sizes that relate to human scale.</b></p> <ol style="list-style-type: none"> <li>1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis.</li> <li>2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height.</li> <li>3. Include secondary elements such as balconies, porches, vertical bays, belt courses,</li> </ol>	<p><b>Complies with staff recommendations</b></p>	<ol style="list-style-type: none"> <li>1. The proposed building is taller than others in the area, but as discussed in item #2 of the Key Considerations section of this report, adjacent zoning designations give the potential for the area to develop at or above the height proposed, with exception to the RMF-35 properties the east. The architecture of the building puts emphasis on the pedestrian scale and includes elements which will relate the building to surrounding development.</li> <li>2. The building is well modulated in that it uses materials and protruding or inset surfaces to create distinct vertical and horizontal elements. The elements help relate the building to the nearby buildings including the 4-story apartments to the west and south and the nearby 6-story apartment building to the northeast. The visual height of the building is reduced through the inclusion of pedestrian scale features such as metal awnings, a prominent</li> </ol>

<p>fenestration and window reveals.</p> <p>4. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.</p>		<p>cornice, and richer materials along the base level.</p> <p>3. The building includes balconies on all sides that help balance the solid-to-void ratio with other buildings in the neighborhood. It uses projections, material changes, and window reveals to break up solid surfaces and to create visual interest.</p> <p>4. The ground-level façade facing Jefferson Street includes solid surfaces and storefront windows that relate well to the surrounding neighborhood. The ground-level façade that faces 1400 South primarily consists of the horizontal openings and solid surfaces of the parking garage. Staff is recommending that the ground-level façade be revised to include elements that better reflect the solid-to void ratio of buildings within the neighborhood.</p>
<p><b>G. Building height shall be modified to relate to human scale and minimize negative impacts:</b></p> <p>1. Human scale:</p> <p>    a. Utilize stepbacks to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans.</p> <p>    b. For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height.</p> <p>2. Negative impacts:</p> <p>    a. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors.</p> <p>    b. Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that</p>	<p><b>Complies</b></p>	<p>1. The building is proposed with a well-defined base, middle, and top section, particularly along the front of the building. The base includes additional use of wood siding, which gives texture and warmth to the ground level. The ground level also includes large glass storefront windows which look into the leasing office. Metal awnings are placed above the first level to create a more pedestrian scale to the building.</p> <p>The base includes a more consistent application of building materials including brick and stucco. The window size and alignment give uniformity to the middle section.</p> <p>Protruding cornices at the top of the building create a termination point that reduce the apparent height of the building.</p> <p>2. The building includes a deep inset on the third level that will function as an open-air courtyard for the residents. That feature will also act as a wind break. All sides of the building include projections and insets that will help</p>

<p>are subject to the request for additional height.</p> <p>c. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.</p> <p>3. Cornices and rooflines:</p> <p>a. Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition.</p> <p>b. Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings.</p> <p>c. Green Roof And Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.</p>		<p>create wind breaks along public spaces. The building is also setback 10' along the public way and will include landscape materials, which will reduce potential impacts of the building on the public way.</p> <p>There is a 14' wide public alley that borders the property to the east. The alley provides an additional separation from the properties, which are zoned RMF-35. This additional separation has the same effect as would a 14' stepback in the building façade. In essence, the additional height will have the same impacts as would a 60' tall building (built by right) that did not include the alley.</p> <p>Shadow impacts have not been provided for the building; however, it is anticipated that the additional 14' height would not create substantial impact on the surrounding areas.</p> <p>3. The design of the building features vertical fins that run from the base of the building and turn at a right angle to become a predominant cornice feature. The element creates a sense of cohesion in the building form. The roofline is higher at the front corners of the building and steps down towards the center, creating a feeling of balance.</p>
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## ATTACHMENT F – PUBLIC PROCESS & COMMENTS

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### Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- October 7, 2020 – 45-day notice of the project was provided to the Ballpark Community Council, other recognized community organizations, as well as property owners and residents within 300 feet of the proposal.
- November 5, 2020 – The Ballpark Community Council hosted a virtual meeting to discuss the proposal. The applicant presented the project and Community Council leaders and residents commented on the project. The project was largely well received, but the concerns expressed are summarized below:
  - One neighbor objected to the additional height as it would create shadows that may affect the effectiveness of solar panels on neighboring properties.
  - Another neighbor expressed the desire that the project include 10% affordable units.
  - The Ballpark Community Council was primarily concerned with the pedestrian experience, particularly the pedestrian level lighting.

#### Staff Response:

- The property is allowed a height of 60' by right and up to 90' through Design Review. The properties to the west and north are located across a street and would be eligible for the same height considerations and therefore would not be affected by shadows from the proposed building. The properties to the east are zoned RMF-35 which has a maximum building height of 35'. Those properties would be affected by afternoon shadowing from the proposed building whether at the base 60' height or the proposed 74' height.
- There is not currently a requirement for a certain percent of the units to be considered affordable.
- Street level lighting has been included as part of the latest plans submitted.

#### Notice of the public hearing for the proposal included:

- Public hearing notice mailed on March 4, 2021
- Public notice posted on City and State websites and Planning Division list serve on March 4, 2021
- Public hearing notice sign posted on the property March 4, 2021

#### Public Input:

- March 3, 2021 - Staff spoke with a neighboring property owner on the phone and received the following written comment:  
*We are the owners of a duplex located [redacted] [neighboring] the subject property, Tradition Pointe Apartments at approximately 1425 S. Jefferson Street. We are pleased with the growth and improvements in Salt Lake City. But we have a few concerns with the introduction of such a large complex being constructed [redacted] [within] feet from our property.*
  - \*The height of the building.
  - \*The possible construction vibration damage to our property and to our neighbors.
  - \*Increased traffic and parking pressures along with Ball Park activity. Concerns over access for us and our tenants to our property.  
(i.e. parking)

Staff Response:

- The proposed height is discussed throughout the staff report.
- Potential impacts due to construction activity should be addressed with City review departments during the building permit process.
- The proposed parking exceeds the minimum parking required for the proposed use (75 stalls where 67 are required). Although the additional height does allow for more units, it would not change the parking required per dwelling unit. The proximity to multiple forms of public transit and the array of land uses in the neighborhood make this property a good candidate for the parking ratios provided.

## **ATTACHMENT G – DEPARTMENT REVIEW COMMENTS**

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### **PLANNING DIVISION COMMENTS**

**Comments by: Eric Daems**

**Email: eric.daems@slcgov.com**

**Phone: 801-535-7236**

**Status: No Corrections\***

Comments from Planning were all corrected with the 2<sup>nd</sup> submittal of plans.

### **PUBLIC UTILITIES DIVISION COMMENTS**

**Comments by: Jason Draper**

**Email: Jason.draper@slcgov.com**

**Phone: 801-483-6751**

**Status: Make Corrections**

1. No objection to additional height.
2. Fire flow and demands will need to be evaluated as part of the building permit process.
3. The proposed plans are for information only and not reviewed for building or utility development permit.
4. Plan does not meet current standards and policies. Compliance or variance will be required for utility and building permit.
5. Unused sewer and water services must be capped at the main.

### **ENGINEERING DIVISION COMMENTS**

**Comments by: Scott Weiler**

**Email: scott.weiler@slcgov.com**

**Phone: 801-535-6159**

**Status: No objections to additional height**

1. See attached redlines

### **TRANSPORTATION DIVISION COMMENTS**

**Comments by: Michael Barry**

**Email: Michael.barry@slcgov.com**

**Phone: 801-535-7147**

**Status: No objections**

1. Transportation has no objection to the additional height requested. It appears that the proposed parking plan satisfies the minimum parking requirements and ADA requirements. It appears that there are no EV parking spaces provided; EV parking is required at a rate of 1 per 25 parking spaces. Bicycle parking is also required. The City letter provided states that the CG has a parking ratio of 0.5 spaces per unit, but the ratio in the CG is the normal amount per Table 21A.44.030; however the minimum parking requirement is still satisfied. On street parking shall be parallel parking instead of the existing 90 degree parking on Jefferson St. The building must meet sight distance requirements of 21A.40.120.E, including corner lot sight distance triangle and intersection of driveway sight distance triangle.