



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Mayara Lima, Principal Planner
(801) 535-7118 or mayara.lima@slcgov.com
Date: February 10, 2021
Re: PLNPCM2020-00939 – Rawlings ADU

Conditional Use

PROPERTY ADDRESS: 1781 S 500 E
PARCEL ID: 16-18-427-005
MASTER PLAN: Central Community Master Plan
ZONING DISTRICT: R-1/5000 Single-Family Residential

REQUEST: Troy Rawlings, property owner, is requesting Conditional Use approval to build an Accessory Dwelling Unit (ADU) over a detached garage at 1781 S 500 E. The applicant is proposing a one-bedroom apartment above a new 2-car garage. The structure would be located on the rear of the lot, near the alley. The structure would measure approximately 480 square feet in footprint and 20 feet 10 inches in height.

RECOMMENDATION: Based on the information in the staff report, Planning Staff recommends that the Planning Commission approve the proposal with the following conditions:

1. Applicant shall comply with the registration process outlined in section 21A.40.200.F of the Salt Lake City zoning ordinance.
2. The owner-occupant shall not operate or allow the operation of a short-term rental (i.e., less than 30 days) in the single-family dwelling or the accessory dwelling unit as defined in the Salt Lake City Zoning Ordinance.

ATTACHMENTS:

- A. [Vicinity and Zoning Map](#)
- B. [Site Photographs](#)
- C. [Application Materials](#)
- D. [ADU Zoning Standards](#)
- E. [Analysis of Standards](#)
- F. [Public Process and Comments](#)

PROJECT DESCRIPTION: The proposed project is for the creation of an ADU as a second story of a new detached garage to be located on the rear of the property located at approximately 1781 S 500 E. The applicant has a building permit currently in review for the demolition of the existing house on the property and the construction of a new single-family dwelling. The proposed ADU will be located behind the new house on the property. It will be accessed from the alley and will not be readily visible from the street.

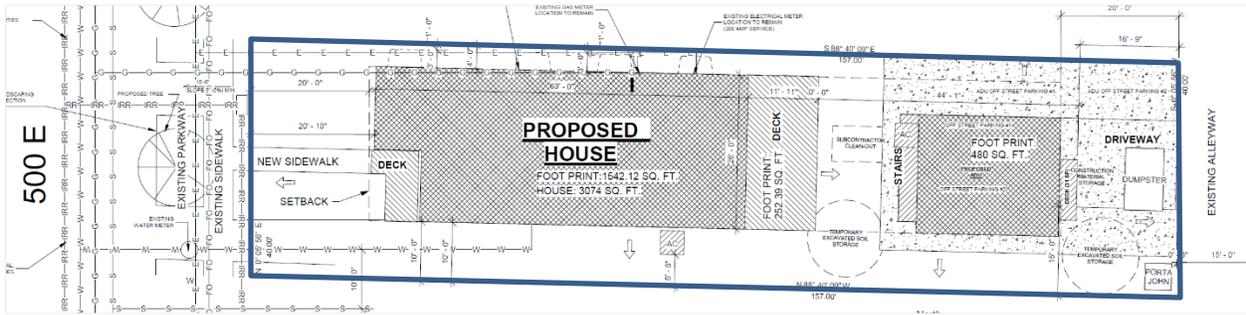


Figure 1 – Proposed site plan

The proposed accessory building will have a building footprint of approximately 480 square feet. The structure will contain a two-car garage on the ground level and the dwelling unit on the second level. The ADU will be accessed from an exterior staircase and will include one bedroom, one bathroom and a combined kitchen and living room.

The ADU will be setback 10 feet from the north and south side property lines and its entrance will face the interior yard of the lot. The structure will have a pitched roof not exceeding 20 feet 10 inches in height. The new house on the property will be 20 feet 11 inches in height and therefore, the ADU will be shorter than the primary building. All facades will be clad with stucco. The façade oriented to the alley will feature a small balcony.

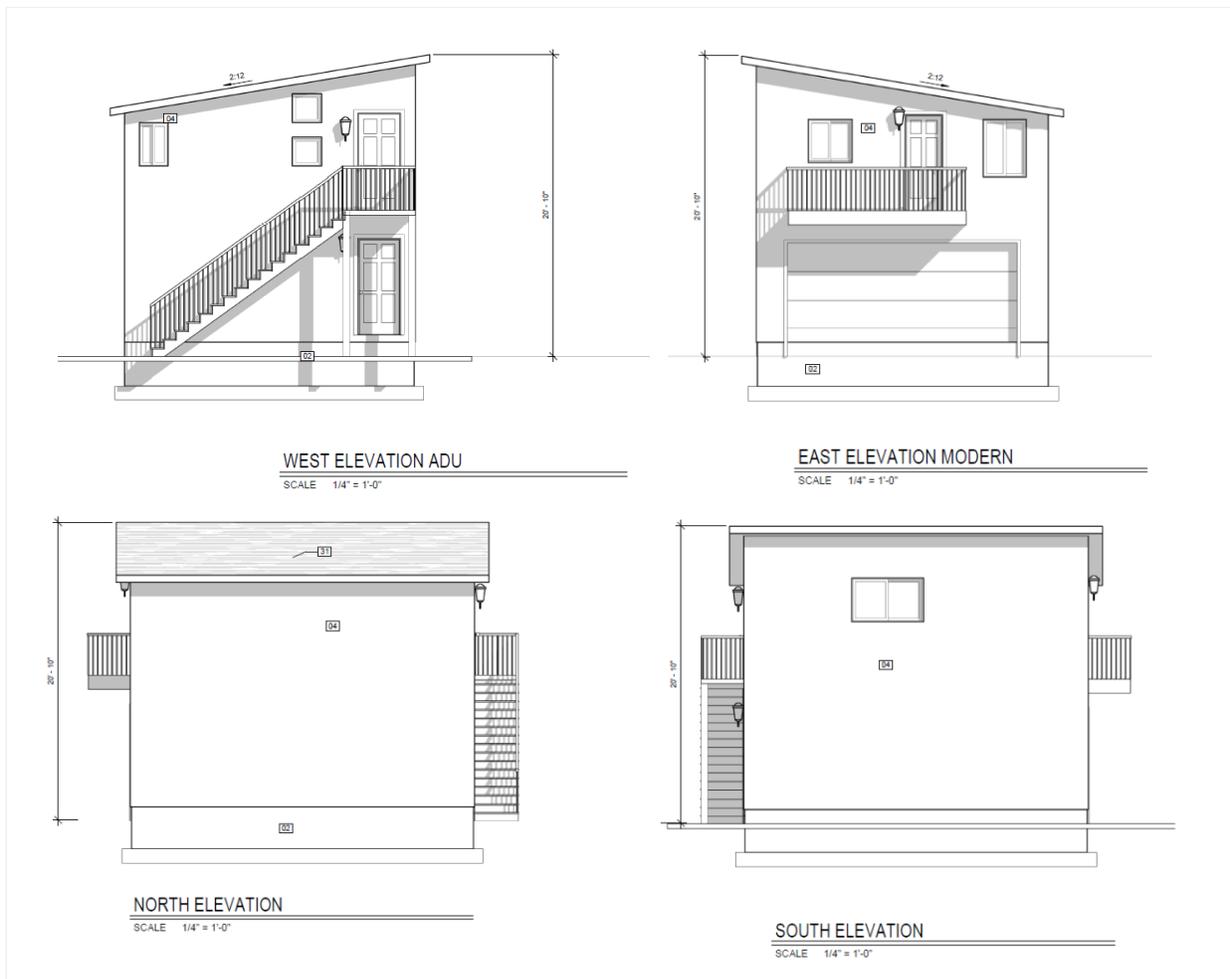


Figure 2 – Proposed facades

The new single-family dwelling on the property is required to have 2 off-street parking stalls, whereas the ADU is required 1 stall. 3 parking stalls are provided on site and accessed from the alley. 2 stalls are located inside the garage and a third parking stall is on the north side of the detached structure on an uncovered parking pad.

KEY CONSIDERATIONS:

Consideration 1: City policies and goals

The proposed ADU is consistent with the housing and growth goals and policies outlined in the citywide master plan, *Plan Salt Lake*, and the city's housing plan, *Growing SLC*. *Plan Salt Lake* includes initiatives such as to promote infill and redevelopment of underutilized land, accommodate and promote an increase in the City's population, and encourage housing options that accommodate aging in place. Likewise, the goals and policies outlined in *Growing SLC: A Five Year Housing Plan* aim to increase housing options, promote diverse housing stock, and allow for additional units while minimizing neighborhood impacts.

The proposed ADU is also consistent with the following Residential Land Use Goals/Policies included in the *Central Community Master Plan*:

- Encourage the creation and maintenance of a variety of housing opportunities that meet social needs and income levels of a diverse population.
- Ensure preservation of low-density residential neighborhoods.
- Encourage a mix of rental properties for those who cannot afford or do not choose home ownership.
- Support the efforts of the Housing Division and the Redevelopment Agency to provide residential construction in all qualifying neighborhoods within the Central Community.

Accessory dwelling units support the city's goals and policies by increasing housing options and providing a diverse housing stock through additional small dwelling units that create only minimal impacts to the neighborhood.

DISCUSSION:

The property is zoned R-1/5,000 Single-Family Residential. A Conditional Use approval is required for any ADU located in a single-family zoning district. State and City code require that a Conditional Use be approved if reasonable conditions can be imposed on the use to mitigate any reasonably anticipated detrimental effects of the use. A Conditional Use can only be denied if reasonably anticipated detrimental effects cannot be mitigated with the imposition of reasonable conditions.

[Attachment D](#) and [Attachment E](#) shows that the proposed development, as presented, complies with the standards of review and no significant impacts are expected from the creation of this accessory use. Staff finds that the proposed use is in line with city goals and policies, supports the purpose of the zoning district and it is in character with the development pattern of the neighborhood.

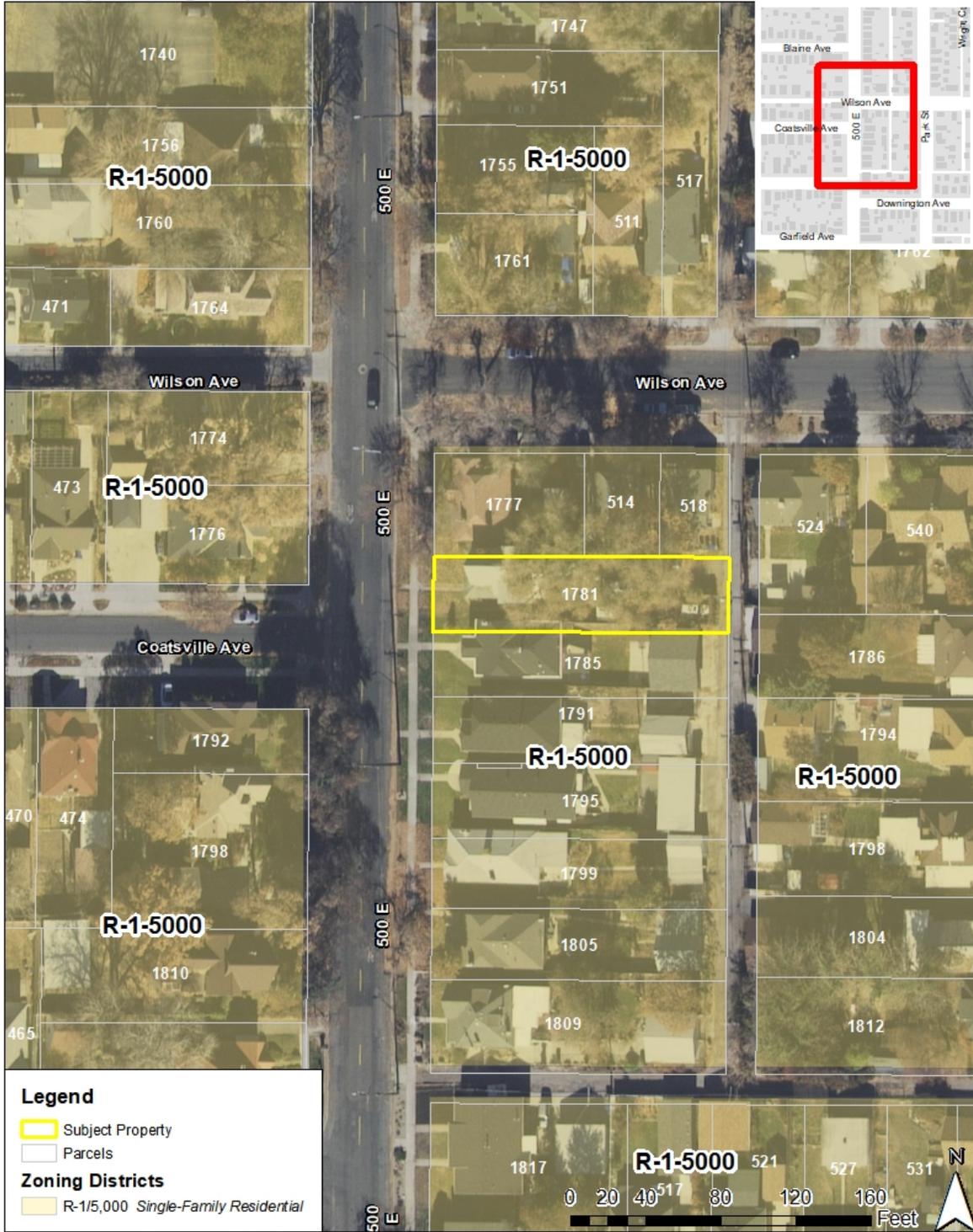
NEXT STEPS:

If the request is approved, the applicant will be required to obtain a building permit and certificate of occupancy for the new building. Plans may be submitted for building permit at any point, but the certificate of occupancy will only be issued once all the conditions of approval are met.

If the request is denied, the applicant would not be able to construct an ADU on the property. An accessory building would be permitted on the property subject to compliance with the development standards and requirements of the R-1/5,000 Single-Family Residential District. However, no portion of the building may be used as a dwelling unit.

ATTACHMENT A: Vicinity and Zoning Map

Vicinity Zoning Map



ATTACHMENT B: Site Photographs



Figure 3 – The existing home on the property will be demolished and replaced.



Figure 4 – The proposed ADU will be located on the rear of the property and accessed from the alley.



Figure 5 – View of the rear of the property from the north side of the alley.



Figure 6 – View of the alley from Wilson Avenue.



Figure 7 – View of the homes on 500 E and adjacent to subject property.



Figure 8 – View of the homes on Wilson Avenue and adjacent to the subject property.

ATTACHMENT C: Application Materials

CONTRACTOR NOTE

The contractor is to contact and abide by the rules of the Utah Division of Air Quality. (801) 536-4000

DESIGN NOTE

THIS DESIGN IS INTENDED TO COMPLY WITH IRC 2015.

PLUMBING NOTE:

ALL PLUMBING INSTALLATIONS SHALL COMPLY WITH THE 2015 IRC.

SHOWERS SHALL HAVE A FLOW RATE OF NOT MORE THAN 2.5 GPM TO COMPLY WITH IRC P2903.2

SMOKE DETECTOR NOTE:

ADD SMOKE DETECTORS THROUGHOUT HOME

SMOKE DETECTORS SHALL COMPLY WITH SECTION R314 OF THE IRC AND SHALL BE HARD-WIRED, INTERCONNECTED, AND HAVE BATTERY BACKUP.

INSULATION NOTE:

ALL EXTERIOR 2X8 WALLS SHALL HAVE A MINIMUM OF R-20 INSULATION AND ALL ATTICS SPACE SHALL HAVE A MINIMUM OF R-49 INSULATION

DIMENSION NOTE:

SITE VERIFY ALL DIMENSIONS BEFORE ORDERING MATERIALS AND COMENSING ANY WORK. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE DESIGNER.

SPECIAL INSPECTIONS NOTE:

SEE SPECIAL INSPECTION REQUIREMENTS ON SHEET SN.1

STRUCTURAL OBSERVATIONS NOTE:

NO STRUCTURAL OBSERVATIONS ARE REQUIRED TO BE PERFORMED

SWPPP NOTES:

ALL STORM WATER AND DIRT WILL BE KEPT ON SITE DURING CONSTRUCTION UNTIL FINAL LANDSCAPING IS DONE. THE SITE MUST BE GRADED SO THAT WHEN FINAL LANDSCAPING IS COMPLETE, ALL STORM AND IRRIGATION WATER WILL REMAIN ON SITE.

STREET CURBS AND GUTTER WILL BE INSPECTED AND CLEANED OF ALL MUD AND DIRT AT THE END OF EVERY DAY. STREET SWEEP AS NEEDED. GRAVEL BAGS TO BE PLACED ADJACENT TO OR IMMEDIATELY DOWNSTREAM FROM THE SITE DURING CONSTRUCTION.

PROVIDE A 3" SEDIMENT CUTBACK BEHIND CURB.

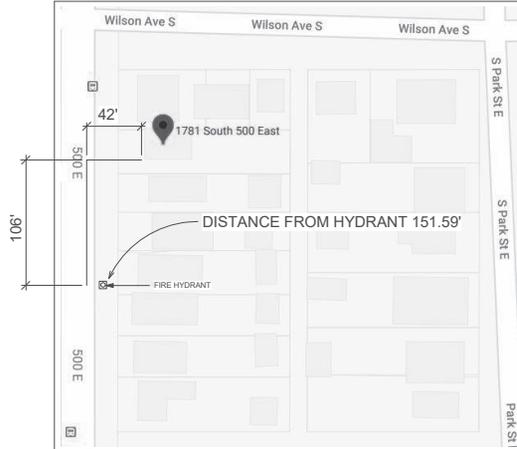
BERRS OR SWALES WILL BE REQUIRED ALONG PROPERTY LINES OF A SUFFICIENT SIZE TO PREVENT STORM WATER FLOW ONTO ADJACENT LOTS. FINAL GRADING SHALL BLEND WITH ADJACENT LOTS.

A LINED CONCRETE WASHOUT AREA MUST BE PROVIDED AT THE SITE FOR ALL CONCRETE WORK. WASHOUT INTO THE FOUNDATION OR ON THE GROUND IS PROHIBITED.

ENGINEERING AND TRANSPORTATION PERMITS ARE REQUIRED TO WORK IN THE PUBLIC RIGHT OF WAY. PLANS, LICENSE, BOND AND INSURANCE REQUIRED WITH PERMIT APPLICATION. ALL WORK IN THE PUBLIC WAY SHALL FOLLOW APWA STANDARDS

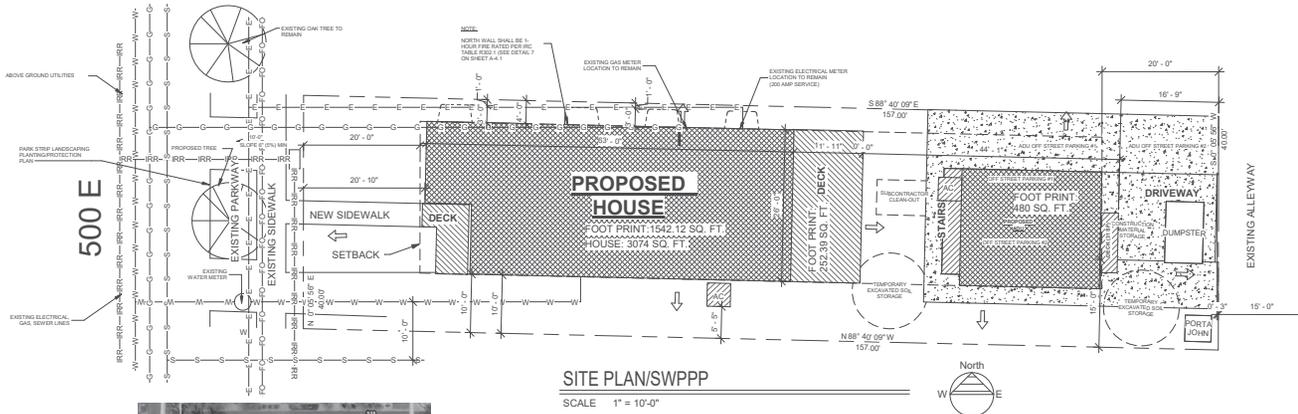
ENGINEERING PERMIT AND TRANSPORTATION PERMIT REQUIRED TO TERMINATE/CAPIKILL ANY EXISTING SERVICES IN THE PUBLIC RIGHT OF WAY.

DESCRIPTION OF WORK: THIS IS A TEAR DOWN OF AN EXISTING NON HABITABLE RESIDENCE AND REPLACEMENT WITH A NEW BUNGALOW STYLE RESIDENCE.



VICINITY MAP

HOUSE:	1870 SF	HOUSE:	1870 SF
ADU:	528 SF	ADU:	529 SF (28%)
TOTAL:	2398 SF		
LOT SIZE:	6279 SF		
	2399 / 6279 = 38%		



SITE PLAN/SWPPP
SCALE 1" = 10'-0"

THIS PROJECT INVOLVES BUILDING A SINGLE FAMILY HOME AND THESE PLANS INCLUDED ARCHITECTURAL INFORMATION NECESSARY FOR CONSTRUCTION. THIS SET OF PLANS IS FOR THE MAIN BUILDING ONLY.

TROY RAWLINGS
1781 SOUTH 500 EAST
SALT LAKE CITY, UT
Phone: 801-739-3845
Fax: 801-739-3845
Email: trawlings@gmail.com

OWNER
LEGACY DRAFTING & DESIGN
GREG BROWN
296 W CENTER, PROVO, UT
PROVO, UT
Phone: 801-735-6314
Fax:
Email: greg@legacyhomedesign.com

DESIGNER

FIREFLY HOMES
TRAVIS BARKER
7827 N Secretariat Rd
Engle Mountain, UT 84005
Phone: (801)786-9817
Fax:
Email: fireflyhomes@outlook.com

CONTRACTOR

1777 S. 500 E.	19.9
1781 S. 500 E.	25.3
1785 S. 500 E.	24.5
1791 S. 500 E.	20.0
1795 S. 500 E.	23.1
1799 S. 500 E.	17.8
1803 S. 500 E.	19.3
1809 S. 500 E.	17
1817 S. 500 E.	20
1823 S. 500 E.	18.0
Average	20.55

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A-4.0	SECTION PLAN
A-4.1	ARCH DETAILS
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PLUMBING

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SITE DRAINAGE NOTES:

- THE FOLLOWING PRECAUTIONS SHALL BE TAKEN TO HELP PREVENT WETTING OF THE FOUNDATION SOILS:
1. ADEQUATE COMPACTION OF BACKFILL SOILS AGAINST THE FOUNDATION SHOULD BE PROVIDED (IE A MINIMUM OF 90% OF ASTM D 1557). WATER CONSOLIDATION METHODS SHOULD NOT BE USED.
2. THE GROUND SURFACE SHOULD BE GRADED TO DRAIN AWAY FROM THE STRUCTURE IN ALL DIRECTIONS. PROVIDE AT LEAST A MINIMAL SLOPE OF 1" WITHIN THE FIRST 10' OF AS REQUIRED BY R401.3.
3. ROOF RUNOFF SHOULD BE COLLECTED IN RAIN GUTTERS WITH DOWN-SPOUTS DESIGNED TO DISCHARGE WELL OUTSIDE OF THE BACKFILL LIMITS AT LEAST 10 FEET FROM STRUCTURES.
4. SPRINKLER HEADS, IF PLANNED, SHOULD BE AIMED AWAY AND KEPT AT LEAST 2 FEET FROM FOUNDATION WALLS. SPRINKLER SYSTEMS SHOULD BE DESIGNED WITH PROPER SLOPE AND DRAINAGE FOR ALL LINES TO PREVENT BREAKS. BREAKS SHOULD BE PROMPTLY REPAIRED. OVER-WATERING SHOULD BE AVOIDED.
5. LONG-TERM DRAINAGE CONTROL PROVIDED BY LANDSCAPING INCLUDING: PLANTS, GRASS, TREES, SHRUBS & AUTOMATIC SPRINKLERS.
6. THE GRADE ADJACENT TO ALL FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (6%).
7. R401.3 - LANDINGS, RAMPS, PATIOS, PORCHES OR DECKS, ARE REQUIRED TO BE LEVEL OR CAN HAVE A MAXIMUM SLOPE OF .02" PER FOOT. ALL OTHER IMPERVIOUS SURFACES WITHIN 10 FEET OF THE FOUNDATION WALLS MUST SLOPE A MINIMUM OF .04" PER FOOT. ALL OTHER IMPERVIOUS SURFACES WITHIN 10 FEET OF THE FOUNDATION WALLS MUST SLOPE A MINIMUM OF .04" PER FOOT AWAY FROM WALLS.
8. DIRECT THE DRAINAGE WATER TO AN APPROVED LOCATION OF DISCHARGE AND NOT ONTO NEIGHBORING PROPERTIES OR ACROSS THE CITY SIDEWALKS.

GENERAL NOTES:

1. CONSTRUCTION AND BUILDING METHODS, INCLUDING ELECTRICAL, PLUMBING, AND MECHANICAL ITEMS SHALL FOLLOW THE 2015 IRC OR CURRENT CODE, IF A MORE RECENT CODE AS BEEN ADOPTED.
2. SOILS OBSERVATION REPORT IS RECOMMENDED PRIOR TO POURING FOOTINGS.
3. IN THE GARAGE THERE SHALL BE NO LESS THAN ONE RECEPTACLE OUTLET PER VEHICLE SALL. IRC E3901.9
4. DOORS LEADING FROM DWELLINGS TO THE GARAGE SHALL BE 1-3/8" THICK SOLID CORE OR 20 MINUTE RATED. DOORS SHALL NOT OPEN INTO A SLEEPING ROOM. DOORS SHALL BE EQUIPPED WITH SELF-LATCHING HARDWARE (INCLUDING A SELF-CLOSING DEVICE). IRC R303.1.1
5. BLOWER DOOR TEST IS REQUIRED AT FINAL.
6. FIREPLACE BY OTHERS. FIREPLACE SPECIFICATIONS DEFERRED UNTIL TIME OF INSPECTION.
7. EXTERIOR SIDING SHALL COMPLY WITH R703.3
- INSPECTIONS ARE REQUIRED FOR ALL STUCCO AND EIFS SYSTEMS. PROVIDE PRODUCT SPECIFICATIONS AND ICBO EVALUATION REPORT (OR EQUAL) FOR ANY STUCCO OR EIFS SYSTEM USED. IRC R101.1.5.
8. COLD STORAGE AREAS REQUIRE EITHER A SEALED EXTERIOR DOOR OR THAT THE ROOM BE INSULATED IN ORDER TO MEET THE BUILDING THERMAL REQUIREMENTS OF N1102.
9. EMERGENCY EGRESS REQUIREMENTS: EXTERIOR DOORS OR WINDOWS SHALL HAVE FINISHED SILL HEIGHT WITHIN 44" OF THE FLOOR. (IRC R310.2.3) SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SF. (IRC R310.2.1) AND SHALL HAVE A MINIMUM NET CLEAR OPENABLE WIDTH OF 20" AND MINIMUM NET CLEAR OPENABLE HEIGHT OF 24". (IRC R310.2.1)
10. TEMPERED GLASS OR APPROVED SAFETY GLAZING IS REQUIRED ON ALL GLASS IN HAZARDOUS LOCATIONS AS STIPULATED IN IRC R208.4.
11. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE TESTED IN ACCORDANCE WITH UL325. IRC R208.4.
12. ASPHALT SHINGLE ROOF MATERIALS REQUIRE AN ICE BARRIER THAT EXTENDS FROM THE EDGE OF THE EAVES TO A POINT NOT LESS THAN 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. IRC R208.1.2
13. WHERE EXTERIOR VERTICAL SIDING IS USED, PROVIDE 24" ON CENTER BLOCKING. IRC TABLE R703.3 (1). FOOTNOTE J
14. ROOMS CONTAINING FUEL-BURNING APPLIANCES SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM. SUCH ROOMS SHALL BE SEALED AND INSULATED TO R-VALUE OF R-15R-19. THE MECHANICAL ROOM REQUIRES A SEALED DOOR. THE COMBUSTION AIR DUCT SHALL BE INSULATED WHERE IT PASSES THROUGH CONDITIONED SPACE TO A MINIMUM OF R-8. IRC N1102.4.4
15. SLAB-ON-GRADE FLOORS WITH A FLOOR SURFACE LESS THAN 12 INCHES BELOW GRADE SHALL BE INSULATED. R10 @ 2 FEET OR R15 @ 2 FEET FOR HEATED SLABS. IECC, SECTION 402.2.7

Legacy Drafting and Design

GREGORY BROWN, OWNER/PRINCIPAL DESIGNER, CELL: 801.739.3814
296 W CENTER, SUITE A, PROVO, UTAH 84601, E-MAIL: greg@legacyhomedesign.com

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TROY RAWLINGS MODERN HOME

1781 South 500 East Salt Lake City, Utah 84105

SQUARE FOOTAGE

MAIN LEVEL	1537 SF
BASEMENT	1537 SF
TOTAL	3075 SF
REAR DECK	241 SF
FRONT DECK	92 SF

ENGINEER
STAMP

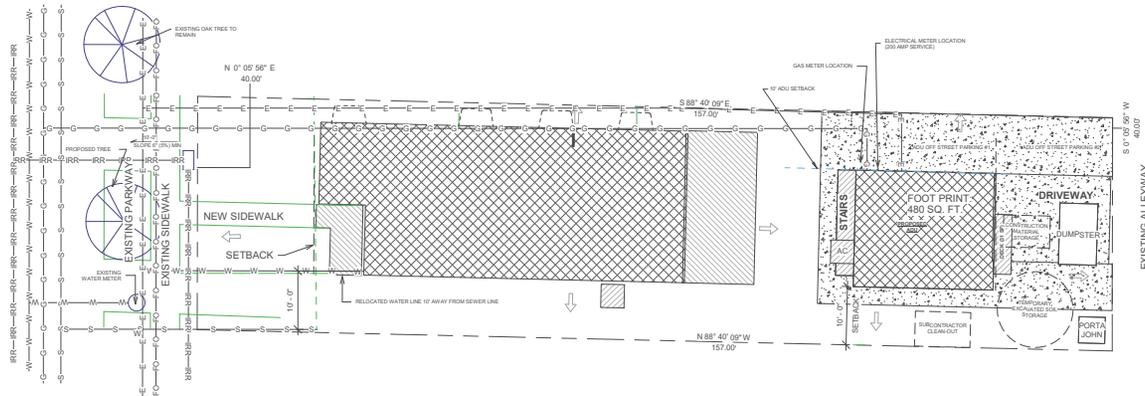
REVISIONS:

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2	00-00-00
3	00-00-00

SHEET NUMBER
A-0.1

08/14/2020

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SITE PLAN/SWPPP
SCALE 1" = 10'-0"



Dimension Note:

Site verify all dimension before ordering materials and commencing any work. Report any significant discrepancies to the designer.

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ELECTRICAL

STRUCTURAL

SWPPP NOTES:

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STREET, CURB, AND GUTTER WILL BE INSPECTED AND CLEANED OF ALL MUD AND DIRT AT THE END OF EVERY DAY. STREET SWEEP AS NEEDED. GRAVEL BAGS TO BE PLACED AND MAINTAINED AROUND ANY STORM DRAIN INLET ADJACENT TO OR IMMEDIATELY DOWNSTREAM FROM THE SITE DURING CONSTRUCTION.

PROVIDE A 3" SEDIMENT CUTBACK BEHIND CURB.

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 2. THE GROUND SURFACE SHOULD BE GRADED TO DRAIN AWAY FROM THE STRUCTURE IN ALL DIRECTIONS. PROVIDE AT LEAST A MINIMUM SLOPE OF 6" WITHIN THE FIRST 10'-0" AS REQUIRED BY R401.3.
 3. ROOF RUNOFF SHOULD BE COLLECTED IN RAIN GUTTERS WITH DOWN-SPOUTS DESIGNED TO DISCHARGE WELL OUTSIDE OF THE BACKFILL LIMITS AT LEAST 10 FEET FROM STRUCTURES.
 4. SPRINKLER HEADS, IF PLANNED, SHOULD BE AHEAD AWAY AND KEPT AT LEAST 2 FEET FROM FOUNDATION WALLS. SPRINKLER SYSTEMS SHOULD BE DESIGNED WITH PROPER SLOPE AND DRAINAGE FOR ALL LINES TO PREVENT BREAKS. BREAKS SHOULD BE PROMPTLY REPAIRED. OVER-WATERING SHOULD BE AVOIDED.
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 8. DIRECT THE DRAINAGE WATER TO AN APPROVED LOCATION OF DISCHARGE AND NOT ONTO NEIGHBORING PROPERTIES OR ACROSS THE CITY SIDEWALKS.

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2. SOILS OBSERVATION REPORT IS RECOMMENDED PRIOR TO POURING FOOTINGS.
3. IN THE GARAGE THERE SHALL BE NO LESS THAN ONE RECEPTACLE OUTLET PER VEHICLE STALL. IRC E3901.9
4. DOORS LEADING FROM DWELLINGS TO THE GARAGE SHALL BE 1" THICK SOLID CORE OR 20 MINUTE RATED. DOORS 36" THICK SOLID CORE OR 20 MINUTE RATED. DOORS SHALL NOT OPEN INTO A SLEEPING ROOM. DOORS SHALL BE EQUIPPED WITH SELF-LATCHING HARDWARE (INCLUDING A SELF-CLOSING DEVICE) IRC R302.5.1
5. BLOWER DOOR TEST IS REQUIRED AT FINAL.
6. FIREPLACE BY OTHERS. FIREPLACE SPECIFICATIONS DEFERRED UNTIL TIME OF INSPECTION.
7. EXTERIOR SIDING SHALL COMPLY WITH R703.3
8. INSPECTIONS ARE REQUIRED FOR ALL STUCCO AND EIFS SYSTEMS. PROVIDE PRODUCT SPECIFICATIONS AND ICBO EVALUATION REPORT (OR EQUAL) FOR ANY STUCCO OR EIFS SYSTEM USED. IRC R109.1.5
9. COLD STORAGE AREAS REQUIRE EITHER A SEALED EXTERIOR DOOR OR THAT THE ROOM BE INSULATED IN ORDER TO MEET THE BUILDING THERMAL REQUIREMENTS OF N1102
10. ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN KITCHENS, LAUNDRY, AND BEDROOMS REQUIRE ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION. IRC E3802.16
11. EMERGENCY EGRESS REQUIREMENTS: EXTERIOR DOORS OR WINDOWS SHALL HAVE FINISHED SILL HEIGHT WITHIN 44" OF THE FLOOR. (IRC R310.2.3) SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SF. (IRC R310.2.1), AND SHALL HAVE A MINIMUM NET CLEAR OPENABLE WIDTH OF 20" AND MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" (IRC R310.2.1)
12. TEMPERED GLASS OR APPROVED SAFETY GLAZING IS REQUIRED ON ALL GLASS IN HAZARDOUS LOCATIONS AS STIPULATED IN IRC R308.4.
13. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE TESTED IN ACCORDANCE WITH UL325. IRC R309.4.
14. ASPHALT SHINGLE ROOF MATERIALS REQUIRE AN ICE BARRIER THAT EXTENDS FROM THE EDGE OF THE EAVES TO A POINT NOT LESS THAN 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. IRC R905.1.2
15. WHERE EXTERIOR VERTICAL SIDING IS USED, PROVIDE 24" ON CENTER BLOCKING. IRC TABLE R703.3 (1) FOOTNOTE J
16. ROOMS CONTAINING FUEL-BURNING APPLIANCES SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM. SUCH ROOMS SHALL BE SEALED AND INSULATED TO R-VALUE OF R-15 OR 19. THE MECHANICAL ROOM REQUIRES A SEALED DOOR. THE COMBUSTION AIR DUCT SHALL BE INSULATED WHERE IT PASSES THROUGH CONDITIONED SPACE TO A MINIMUM OF R-8. IRC N1102.4.4
17. SLAB-ON-GRADE FLOORS WITH A FLOOR SURFACE LESS THAN 12 INCHES BELOW GRADE SHALL BE INSULATED, R10 @ 2 FEET OR R15 @ 2 FEET FOR HEATED SLABS. IECC SECTION 402.2.7
18. ALL WINDOWS/GLASS WITHIN HAZARDOUS LOCATIONS AS DEFINED BY IRC SECTION 308.4 SHALL BE TEMPERED.

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295 W. Center St. STE. A, Provo, Utah 84601. E-MAIL: greg@legacydrafting.com

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Professional Engineer: Chadwick A. Anderson, License No. 48127
Professional Engineer: Chadwick A. Anderson, License No. 48127
Professional Engineer: Chadwick A. Anderson, License No. 48127
Professional Engineer: Chadwick A. Anderson, License No. 48127

TROY RAWLINGS ADU

1781 South 500 East Salt Lake City, Utah

SQUARE FOOTAGE	
ADU	488 SF
TOTAL	488 SF
GARAGE	480 SF
STAIRS	57 SF
BALCONY	38 SF

ENGINEER STAMP

REVISIONS	
1	00-00-00
2	00-00-00
3	00-00-00

SHEET NUMBER

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08/14/2020

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PLUMBING NOTE:

ALL PLUMBING INSTALLATIONS SHALL COMPLY WITH THE 2018 IRC.

SHOWERHEADS SHALL HAVE A FLOW RATE OF NOT MORE THAN 2.5 GPM TO COMPLY WITH IRC P2903.2

SMOKE DETECTOR NOTE:

ADD SMOKE DETECTORS THROUGHOUT HOME

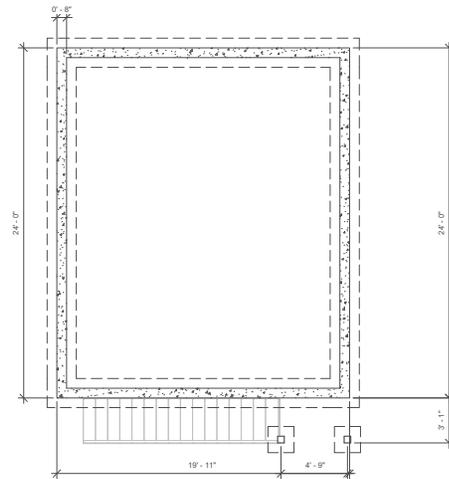
SMOKE DETECTORS SHALL COMPLY WITH SECTION R314 OF THE IRC AND SHALL BE HARD-WIRED, INTERCONNECTED, AND HAVE BATTERY BACKUP.

INSULATION NOTE:

ALL EXTERIOR 2X6 WALLS SHALL HAVE A MINIMUM OF R-20 INSULATION AND ALL ATTICS SPACE SHALL HAVE A MINIMUM OF R-49 INSULATION

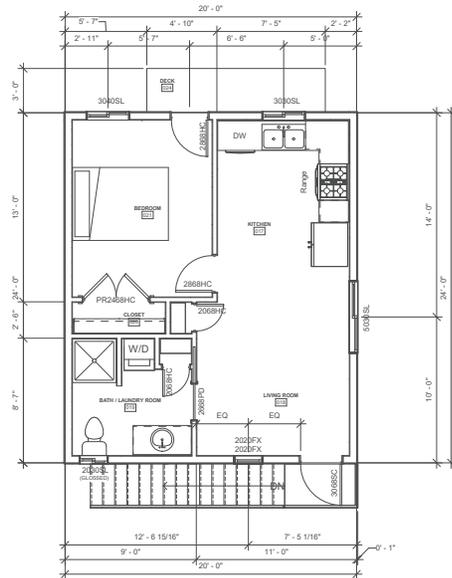
DIMENSION NOTE:

SITE VERIFY ALL DIMENSIONS BEFORE ORDERING MATERIALS AND COMMENSING ANY WORK. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE DESIGNER.



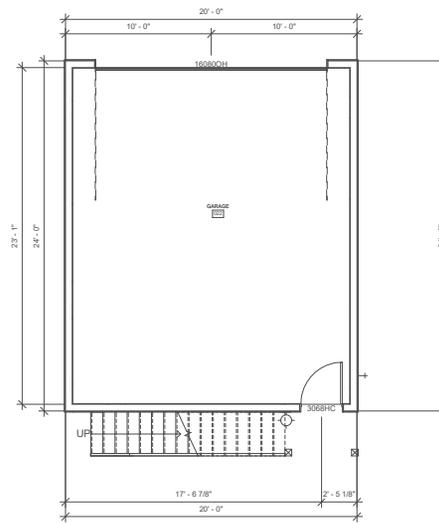
FOUNDATION AND FOOTING PLAN

SCALE 1/4" = 1'-0"



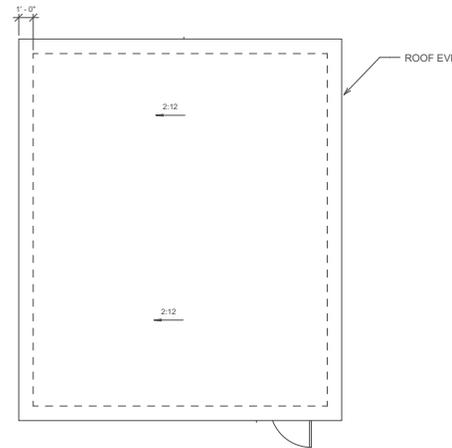
SECOND LEVEL FLOOR PLAN

SCALE 1/4" = 1'-0"



MAIN LEVEL FLOOR PLAN

SCALE 1/4" = 1'-0"



ROOF PLAN

SCALE 1/4" = 1'-0"

ATTIC VENTILATION CALCULATIONS

ENCLOSED ATTIC SPACE, 313 SF

REQUIRED VENTILATION, 313/300 = 1.5 SF MIN.

PROVIDE MINIMUM OF 01 SF IN VENTED SOFFITS AND MINIMUM OF 01 SF IN RIDGE VENTS, TURTLE VENTS, GABLE VENTS, OR A COMBINATION OF EACH.

NOTE THAT ENTIRE BUILDING TO HAVE VENTED ALUMINUM SOFFITS UNLESS NOTED OTHERWISE.

SEE CONTRACTORS SUBMITTAL FOR THE EXACT TYPE OF VENTS TO BE USED.

PRE-ENGINEERED TRUSSES

CONTRACTOR SHALL VERIFY THAT THE TRUSS MANUFACTURER'S LAYOUT AND DESIGN IS ACCORDING TO THE FRAMING PLANS AND PROJECT REQUIREMENTS.

WHERE ATTIC TRUSSES ARE USED, CONTRACTOR SHALL VERIFY THAT THE TRUSS MANUFACTURER'S ATTIC TRUSSES ARE DESIGNED SO THAT THE FLOOR PLAN LAYOUT WITHIN THE TRUSSES WORKS. THIS MAY REQUIRE A HEEL TO BE ADDED TO THE TRUSS TO PROVIDE ADEQUATE HEAD ROOM.

Dimension Note:

Site verify all dimension before ordering materials and commencing any work. Report any significant discrepancies to the designer.



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COURTNEY D. BROWN, CHARTERED PROFESSIONAL DESIGNER, CELL: 801-738-6314
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A Licensed Professional Engineer, Chartered
Professional Designer, and
Professional Architect. Contractor
responsibility for verifying all
dimensions, conditions, etc. on site
prior to construction or the starting
of any materials.

TROY RAWLINGS ADU
1781 South 500 East Salt Lake City, Utah

SQUARE FOOTAGE	
ADU	468 SF
TOTAL	468 SF
GARAGE	480 SF
STAIRS	57 SF
BALCONY	36 SF

ENGINEER
STAMP

REVISIONS	
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▲	00-00-00
▲	00-00-00

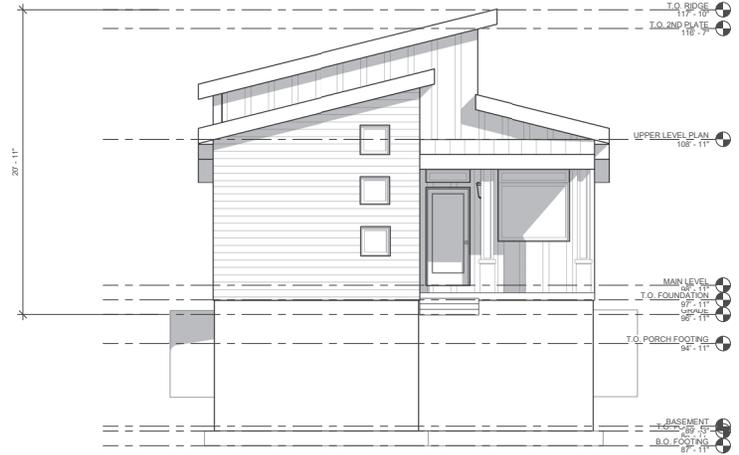
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MATERIAL LEGEND	
NUMBER	MATERIAL
02	EXPOSED FOUNDATION
04	STUCCO
01	CORRUGATED STEEL

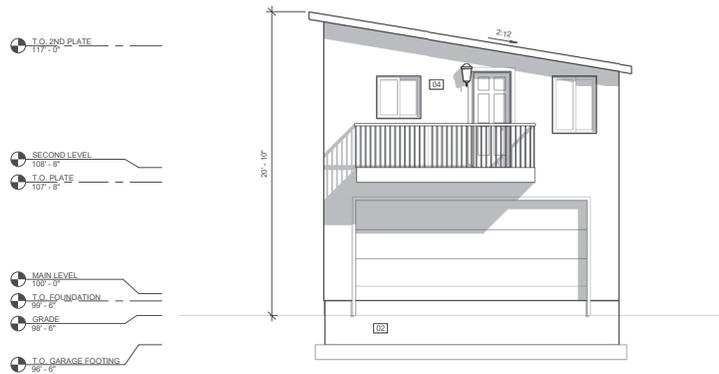
Dimension Note:
 Site verify all dimension before ordering materials and commencing any work. Report any significant discrepancies to the designer.



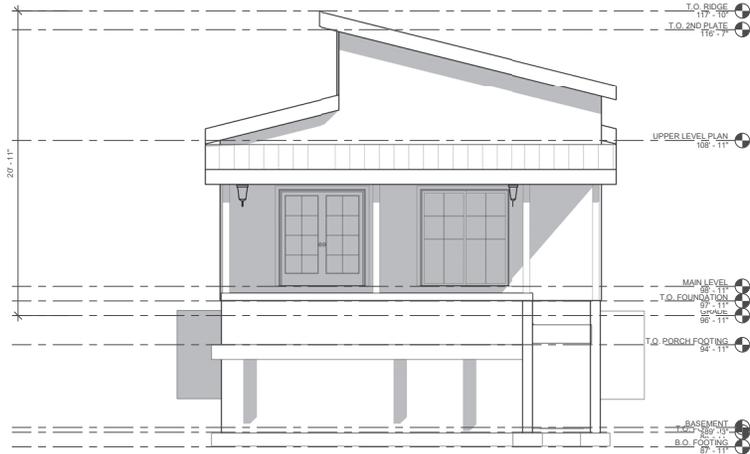
WEST ELEVATION ADU
 SCALE 1/4" = 1'-0"



WEST ELEVATION MODERN HOME
 SCALE 1/4" = 1'-0"



EAST ELEVATION MODERN
 SCALE 1/4" = 1'-0"



EAST ELEVATION ADU
 SCALE 1/4" = 1'-0"

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 engineering stamps. Contractor
 responsible for verifying all
 dimensions, conditions, etc. on site
 prior to construction or the starting
 of any materials.

TROY RAWLINGS ADU
 1781 South 500 East Salt Lake City, Utah

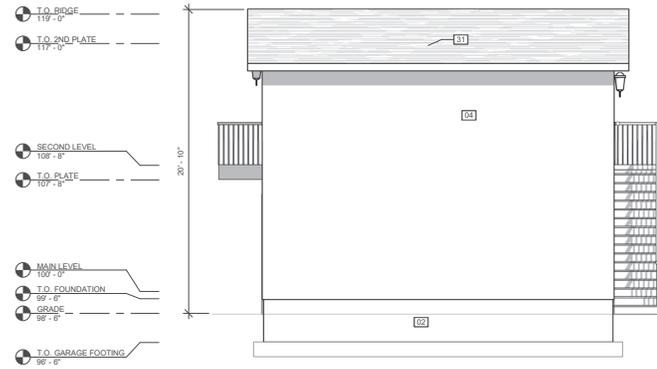
SQUARE FOOTAGE	
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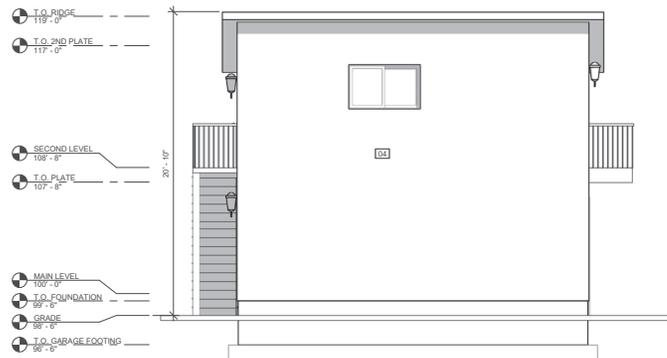
SHEET
 NUMBER:
A-2.0
 08/14/2020

MATERIAL LEGEND	
NUMBER	MATERIAL
02	EXPOSED FOUNDATION
04	STUCCO
31	CORRUGATED STEEL



NORTH ELEVATION

SCALE 1/4" = 1'-0"



SOUTH ELEVATION

SCALE 1/4" = 1'-0"

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 PRIOR TO CONSTRUCTION AS THE VARIATION
 OF ANY MATERIALS.

TROY RAWLINGS ADU
 1781 South 500 East Salt Lake City, Utah

SQUARE FOOTAGE

ENGINEER
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REVISIONS:
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SHEET
 NUMBER:
A-2.1
 08/14/2020

ATTACHMENT D: ADU Zoning Standards

21A.40.080: Accessory Dwelling Units

Standard	Proposed	Status
<p>MAXIMUM SIZE 50% of the footprint of the principal dwelling, not to exceed 650 square feet.</p>	<p>The footprint of the new principal dwelling is approximately 1,870 square feet. The proposed ADU will have a footprint of approximately 480 square feet (~26%).</p>	<p>Complies</p>
<p>MAXIMUM COVERAGE The surface coverage of all principal and accessory buildings shall not exceed 40% of the lot.</p>	<p>The surface coverage all principal and accessory buildings (including the proposed ADU) will be approximately 38% of the lot.</p>	<p>Complies</p>
<p>MAXIMUM HEIGHT The height of the single-family dwelling on the property or 17 feet, whichever is less.</p> <p>Exception: If the single family dwelling on the property is over 17 feet in height, an accessory building containing an accessory dwelling unit may be equal to the height of the single family dwelling up to a maximum building height of 24 feet for an accessory building with a pitched roof or 20 feet for an accessory building with a flat roof provided the accessory building is set back a minimum of 10' from a side or rear property line. The setback for additional height may be reduced to 4' if the side or rear lot line is adjacent to an alley.</p>	<p>The proposed ADU will be 10 feet from the side lot lines and 20 feet from the rear lot line. The building will have a pitched roof and it will measure 20 feet 10 inches in height. The proposed single-family dwelling on the property will be 20 feet 11 inches in height.</p>	<p>Complies</p>
<p>MINIMUM SETBACKS 4 feet from any side or rear lot line.</p> <p>10 feet from any primary dwelling on the property or adjacent property.</p>	<p>The ADU will be located 10 feet from the north and south side lot lines, and 20 feet from the rear lot line.</p> <p>The ADU will not be closer than 10 feet to any dwelling on an adjacent property.</p>	<p>Complies</p>

<p>ENTRANCE LOCATIONS When facing a side or rear property line, the entrance shall be a minimum of 10 feet from the side or rear property line.</p>	<p>The ADU entrance is proposed facing the interior of the lot.</p>	<p>Complies</p>
<p>WINDOWS No larger than necessary to comply with the minimum Building Code requirements for egress <u>where required</u>. Shall maintain similar dimension and design as the windows found on the principal structure.</p>	<p>Windows comply with the size and location requirements and are similar in shape and size to those on the new principal structure.</p>	<p>Complies</p>
<p>OFF-STREET PARKING Minimum of one parking space on site, unless on street parking is available along the street frontage of the property or property is located within 1/4 mile of transit stop.</p>	<p>A total of 3 parking stalls are provided on site. 2 stalls are required for the new single-family dwelling and 1 stall is required for the ADU. The stalls are located on the rear of the property within the detached garage and on a parking pad next to the garage.</p>	<p>Complies</p>

ATTACHMENT E: Analysis of Standards - Conditional Use

21A.54.080 Standards for Conditional Use

Approval Standards: A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title;

Analysis: The property is located in the R-1/5000 Single-Family Residential zoning district, where an Accessory Dwelling Unit is a conditional use. As analyzed in [Attachment D](#), the proposed ADU complies with applicable zoning standards.

Finding: If approved by the Planning Commission, the proposed use complies with the applicable provisions of the Salt Lake City Zoning Ordinance.

2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;

Analysis: The property is surrounded by residential uses, primarily single-family dwellings. The proposed ADU will be used for residential purposes and will function in the same manner as adjacent single-family dwellings.

Finding: The proposed ADU will function as a small single-family dwelling and therefore, it is compatible with the surrounding residential uses.

3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and

Analysis: The proposed ADU is also consistent with the following Residential Land Use Goals/Policies included in the ***Central Community Master Plan***:

- Encourage the creation and maintenance of a variety of housing opportunities that meet social needs and income levels of a diverse population.
- Ensure preservation of low-density residential neighborhoods.
- Encourage a mix of rental properties for those who cannot afford or do not choose home ownership.
- Support the efforts of the Housing Division and the Redevelopment Agency to provide residential construction in all qualifying neighborhoods within the Central Community.

Both the citywide master plan, Plan Salt Lake, and the city's housing plan, Growing SLC, focus on accommodating growth and providing housing options. ***Plan Salt Lake*** includes initiatives such as to *promote infill and redevelopment of underutilized land, accommodate and promote an increase in the City's population, and encourage housing options that accommodate aging in place.* Likewise, the goals and policies outlined in ***Growing SLC: A Five Year Housing Plan*** aim to increase housing options, promote diverse housing stock, and allow for additional units while minimizing neighborhood impacts.

Per the Zoning Ordinance, the purpose of the R-1/5,000 Single-Family Residential District is to provide for conventional single-family residential neighborhoods. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

The purpose of accessory dwelling units are to:

1. Create new housing units while respecting the appearance and scale of single-family residential development;
2. Provide more housing choices in residential districts;
3. Allow more efficient use of existing housing stock, public infrastructure, and the embodied energy contained within existing structures;
4. Provide housing options for family caregivers, adult children, aging parents, and families seeking smaller households;
5. Offer a means for residents, particularly seniors, single parents, and families with grown children, to remain in their homes and neighborhoods, and obtain extra income, security, companionship, and services;
6. Broaden the range of affordable housing throughout the City;
7. Support sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption;
8. Support transit-oriented development and reduce auto usage by increasing density near transit; and
9. Support the economic viability of historic properties and the City's historic preservation goals by allowing accessory dwellings in historic structures.

Finding: The proposed ADU is better utilizing the rear of the lot and it is providing an additional housing unit that is in character with the neighborhood. Thus, the use is consistent with applicable adopted city planning policies, documents, and master plans.

4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions (refer to Detrimental Impacts Chart below for details).

21a.54.080B Detrimental Effects Determination

In analyzing the anticipated detrimental effects of a proposed use, the planning commission shall determine compliance with each of the following:

Criteria	Finding	Rationale
1. This title specifically authorizes the use where it is located	Complies	Accessory Dwelling Unit is allowed as a conditional use in R-1/5000 Single-Family District.
2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps	Complies	The proposed use complies with the applicable provisions of the Salt Lake City Zoning Ordinance and is consistent with goals of the Central Community Master Plan, Plan Salt Lake and Growing SLC as discussed above.

<p>3. The use is well-suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area</p>	<p>Complies</p>	<p>Uses surrounding the property are generally single-family residential and the proposed ADU will function as a single-family dwelling. The proposed building is similar in scale to adjoining homes but smaller in footprint.</p>
<p>4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered</p>	<p>Complies</p>	<p>The proposed structure is architecturally compatible with the new house on the property as well as surrounding structures and complies with footprint and height requirements for a detached ADU.</p>
<p>5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows</p>	<p>Complies</p>	<p>The property is accessed from 500 E and from the alley that runs on the rear of the property. The ADU and garage will be accessed from the alley, minimizing traffic impacts on the street. The construction of the driveway and walkways will not significantly alter the topography of the property, as it is nearly flat.</p>
<p>6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic</p>	<p>Complies</p>	<p>The access points for the proposed ADU will be the same as existing for the main house. Therefore, it's not anticipated that the accessory unit will create any adverse impacts in terms of motorized, non-motorized and pedestrian traffic.</p>
<p>7. The site is designed to enable access and circulation for pedestrian and bicycles</p>	<p>Complies</p>	<p>The site will have walkways and driveways to provide adequate access for pedestrians and bicycles.</p>
<p>8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street</p>	<p>Complies</p>	<p>Vehicular access to the site for the ADU will be the same as the house. Thus, no unreasonable impacts to the service level of the alley or adjacent streets is anticipated.</p>
<p>9. The location and design of off-street parking complies with applicable standards of this code</p>	<p>Complies</p>	<p>The new single-family home on the property is required to have 2 off-street parking stalls, whereas the ADU is required 1 stall. 3 parking stalls are provided on site. 2 stalls are located inside the garage and another to the north side of the detached structure on an uncovered parking pad.</p>
<p>10. Utility capacity is sufficient to support the use at normal service levels</p>	<p>Complies</p>	<p>The Public Utilities Department reviewed the proposal and provided comments on the required documentation for building permit. A utility plan will need to be submitted for review and compliance will be ensured during the building permitting process.</p>

<p>11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts</p>	<p>Complies</p>	<p>Adjoining uses are residential. The proposed ADU will be located on the rear of the property and behind the primary structure and will not be readily visible from the public way.</p>
<p>12. The use meets City sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke</p>	<p>Complies</p>	<p>The proposed use does not significantly impact sustainability plans nor does it encroach onto a stream or water way. The project supports sustainability objectives by increasing housing in a developed neighborhood with existing infrastructure, thereby reducing sprawl which would create greenhouse gas emissions and fossil fuel consumption.</p>
<p>13. The hours of operation and delivery of the use are compatible with surrounding uses</p>	<p>Complies</p>	<p>The proposed use is an accessory residential structure and is compatible with the surrounding uses are also residential.</p>
<p>14. Signs and lighting are compatible with, and do not negatively impact surrounding uses</p>	<p>Complies</p>	<p>Signs are not associated with this proposal. Any lighting on the accessory structure is not expected to have a negative impact on the surrounding uses or otherwise cause a nuisance.</p>
<p>15. The proposed use does not undermine preservation of historic resources and structures</p>	<p>Complies</p>	<p>There are no designated historic resources or structures on this site nor in the surrounding area.</p>

Finding: In analyzing the anticipated detrimental effects of the proposed use, Planning Staff finds that the request complies with the criteria listed above and that the proposed use will have no significant detrimental effects to the surrounding neighborhood.

ATTACHMENT F: Public Process and Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to this project:

Public Notices:

- Notice of the project and request for comments sent to the Chair of the Liberty Wells Community Councils on December 11, 2020 in order to solicit comments. The community council did not request a meeting. The 45-day recognized organization comment period expired on January 25, 2021.
- Early engagement notices were sent to owners and tenants of properties located within 300 feet of the project on December 15, 2020.

Public Hearing Notice:

- Public hearing notice mailed on January 29, 2021.
- Public hearing notice posted on City and State websites on January 29, 2021.
- Sign posted on the property on January 28, 2021.

Public Comments:

- Two public comments were received. One comment was in support and another expressed a concern. The comments are included below. Any additional comments received after the publication of the staff report will be forwarded to the Planning Commission.

From: [Kyle Deans](#)
To: [Lima, Mayara](#)
Subject: (EXTERNAL) PC Feb 10
Date: Thursday, January 28, 2021 3:05:47 PM

I fully support the approval of the ADU being requested at 1781 S 500 E. ADU's provide additional housing opportunities within the city, and provide a diversity for neighborhoods. These additional residential dwellings bring more residents to the City, resulting in more vibrant neighborhoods.

Kyle Deans
Salt Lake City Resident

From: [MB Thorne](#)
To: [Lima, Mayara](#)
Subject: (EXTERNAL) Rawlings ADU
Date: Friday, January 29, 2021 3:37:25 PM

Hi Mayara,

I live on 5th east and I have been notified of the public hearing for the proposed ADU at 1781 S 500 E. I will plan to join the public hearing but I did have a question since we had been looking into building a new garage.

It was my understanding that the owner of the property was required to live in one of the buildings (main house or ADU) as their primary residence. Is that the case? I'm particularly curious as Troy Rawlings already owns a number of rentals on our block and was surprised that he would be moving into the house. Is he asking for an exemption from the residence requirement and planning to rent out both units? We would like to see more permanent residents on our block and not increase the number of rental/transient houses.

Thanks,
Becky Thorne