



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Krissy Gilmore, Principal Planner, kristina.gilmore@slcgov.com

Date: January 27, 2021

Re: PLNPCM2020-00830 – *Detached Accessory Dwelling Unit*

Conditional Use

PROPERTY ADDRESS: 1792 S 2100 E
PARCEL ID: 16-15-308-020-0000
MASTER PLAN: Sugar House – Low Density Residential
ZONING DISTRICT: R-1/7,000 Single-Family Residential

REQUEST: Wesley Brown, the property owner, is requesting Conditional Use approval for a 650 square foot, 17-foot tall detached accessory dwelling unit (ADU) in the rear yard of the property located at 1792 South 2100 East. The property is zoned R-1/7,000 Single-Family Residential, which requires Conditional Use approval for the construction of an ADU.

RECOMMENDATION: Based on the information in this staff report, Staff recommends that the Planning Commission approve the Conditional Use request as proposed, and subject to complying with the following conditions:

1. Compliance with all Department/Division comments and conditions as noted in [Attachment G](#).
2. The property owner shall comply with the registration process as outlined in section 21A.40.200F of the Salt Lake City Zoning Ordinance.
3. The owner-occupant shall not operate or allow the operation of a short-term rental (i.e., less than 30 days) in the single-family dwelling or the accessory dwelling unit as defined in the Salt Lake City Zoning Ordinance.

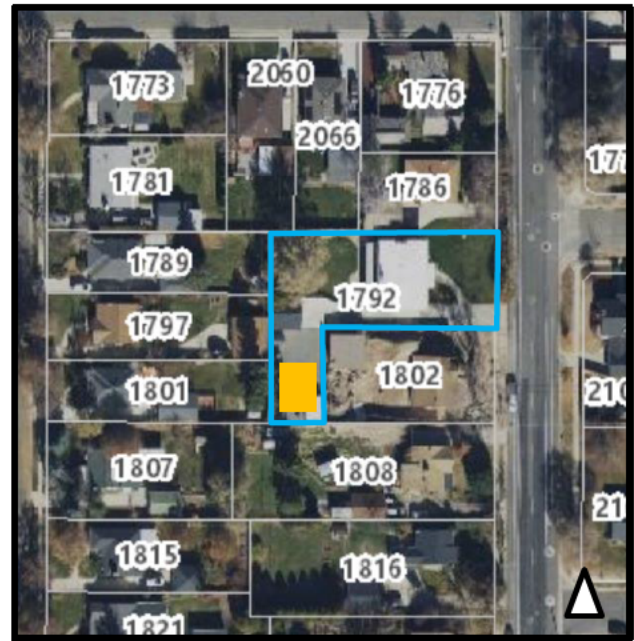
ATTACHMENTS:

- A. [Vicinity Map](#)
- B. [Plans](#)
- C. [Site Visit Photographs](#)
- D. [Analysis of Standards - Accessory Dwelling Units](#)
- E. [Analysis of Standards – Conditional Use](#)
- F. [Public Process and Comments](#)
- G. [Department Review Comments](#)

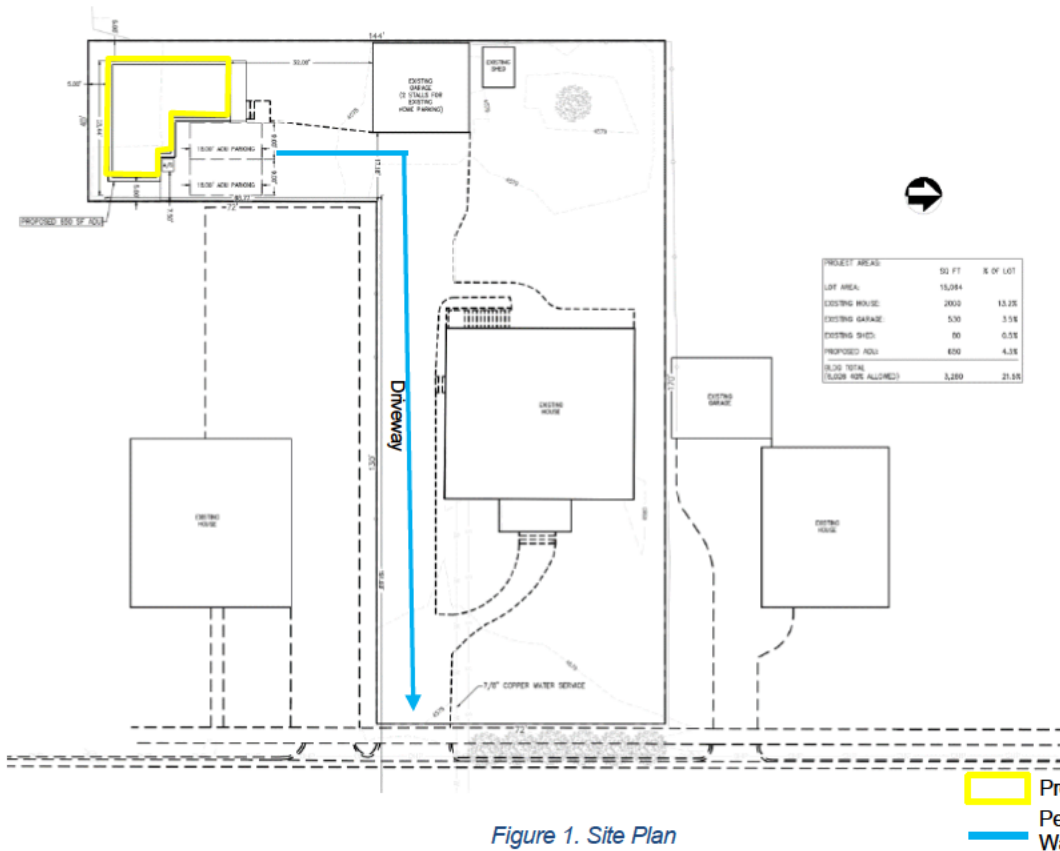
PROJECT DESCRIPTION:

This petition for a Conditional Use is for a detached ADU to be placed in the rear yard of the existing single-family dwelling located at approximately 1792 South 2100 East. The lot is irregularly shaped, and the ADU is proposed to sit in the notch off of the south end of the rear yard. The entrance will face north toward the existing single-family dwelling on the property. The proposed structure will not be visible from the public street.

The ADU will be 650 square feet in area with a living room, bedroom, and bathroom all on the same floor. It features a pitched roof and is approximately 17 feet in height. The existing primary residence parking would be accommodated by two off-street parking spaces in the existing detached garage. Two off-street parking spaces are provided for the ADU in the rear yard.



One primary entrance door is located on the primary façade facing north. A secondary door to a mechanical room is also located on the primary façade. The ADU itself sits 5 feet from the rear (west) and side (south and east) property lines and 104 feet from the side (north) property line. It is approximately 32 feet from the closest structure on-site (a detached garage) and 72 feet from the closest residence on abutting property. Single-family homes are located to the north, east, and west of the subject property. A duplex (1802 S 2100 E) sits directly south of the subject property.



KEY CONSIDERATIONS:

1. Parking Location

The Zoning Ordinance requires one parking space for an ADU. The required parking space may be located on the property or on the street, if legal on-street parking space is available in the front of the property. In this case, two off-street parking spaces for the ADU would be provided in the rear yard. Of note, 2100 East also includes a direct UTA bus line to the University of Utah. The proposed parking meets the standard and should not have a negative impact on the neighborhood.

2. Adopted Master Plan Policies

The proposed ADU is consistent with the goals and policies outlined within The Growing SLC Housing Plan. One of the goals outlined in the Housing Plan includes; increasing housing options. Accessory dwelling units provide and promote diverse housing stock through providing additional units, while minimizing neighborhood impacts. The proposed ADU is in-line with the goals established within the Housing Plan.

The proposed ADU is consistent with the following Residential Land Use Goals/Policies included in the Sugar House Master Plan:

- Strengthen and support existing neighborhoods by:
 - Considering appropriate adjacent land uses;
- Design new developments with the following in mind:
 - Creating more affordable housing;
- Provide a diversity of housing types, sizes, and prices in the community as a whole.

The proposed ADU is consistent with Salt Lake City's master plans, as discussed in [Attachment E](#).

PLANNING COMMISSION REVIEW:

The property is zoned R-1/7,000 Single-Family Residential. A Conditional Use approval is required for any ADUs that are located in a single-family zoning district. For complete analysis and findings for compliance with zoning standards for Accessory Dwelling Units and Conditional Use standards, please refer to [Attachment D](#) and [Attachment E](#).

NEXT STEPS:

Approval of Conditional Use

If approved, the applicant may proceed with the project, subject to all conditions imposed by City departments and/or the Planning Commission and will be required to obtain all necessary permits. Building permits and certificate of occupancy for the building would only be issued contingent upon all conditions of approval are met, including the registration process requirements outlined in 21A.40.200F of the zoning ordinance.

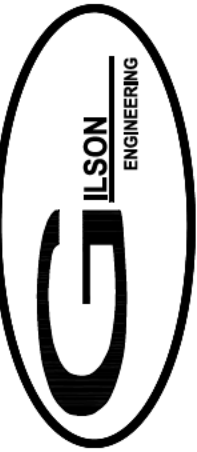
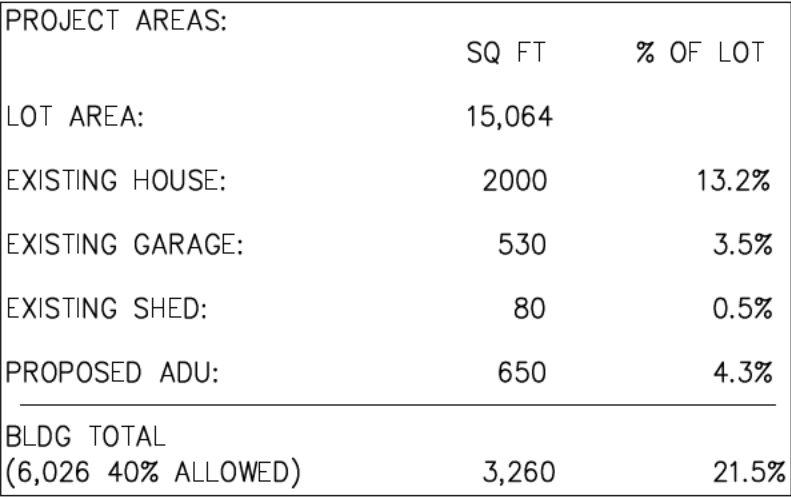
Denial of Conditional Use

State and City code require that a Conditional Use be approved if reasonable conditions can be imposed on the use to mitigate any reasonably anticipated detrimental effects of the use. A Conditional Use can only be denied if the Planning Commission finds that reasonably anticipated detrimental effects cannot be mitigated with the imposition of reasonable conditions.

If denied, the applicant would not be permitted to construct an ADU. An accessory building would be permitted on the property subject to compliance with the development standards and requirements of the R-1/7,000 Single-Family Residential District; however, no portion of the building may be used as a dwelling unit.

[illegible]

ATTACHMENT B: PLANS



CONSULTING ENGINEERS AND SURVEYORS

12401 South 450 E. - C-2
Draper, Utah 84020
Office - 801-571-9414

1071 Turnbury Court
Midway, Utah 84049

Amy Nobis

2280 E Zermatt Circle
Sandy, Utah 84093
801-750-4020
amynobisdrafting@gmail.com

ADU - R1-7,000 zone

Contacts: --
Email: --

SITE PLAN

Wesley Brown
1792 South 2100 East
Salt Lake City, UT

REVISIONS

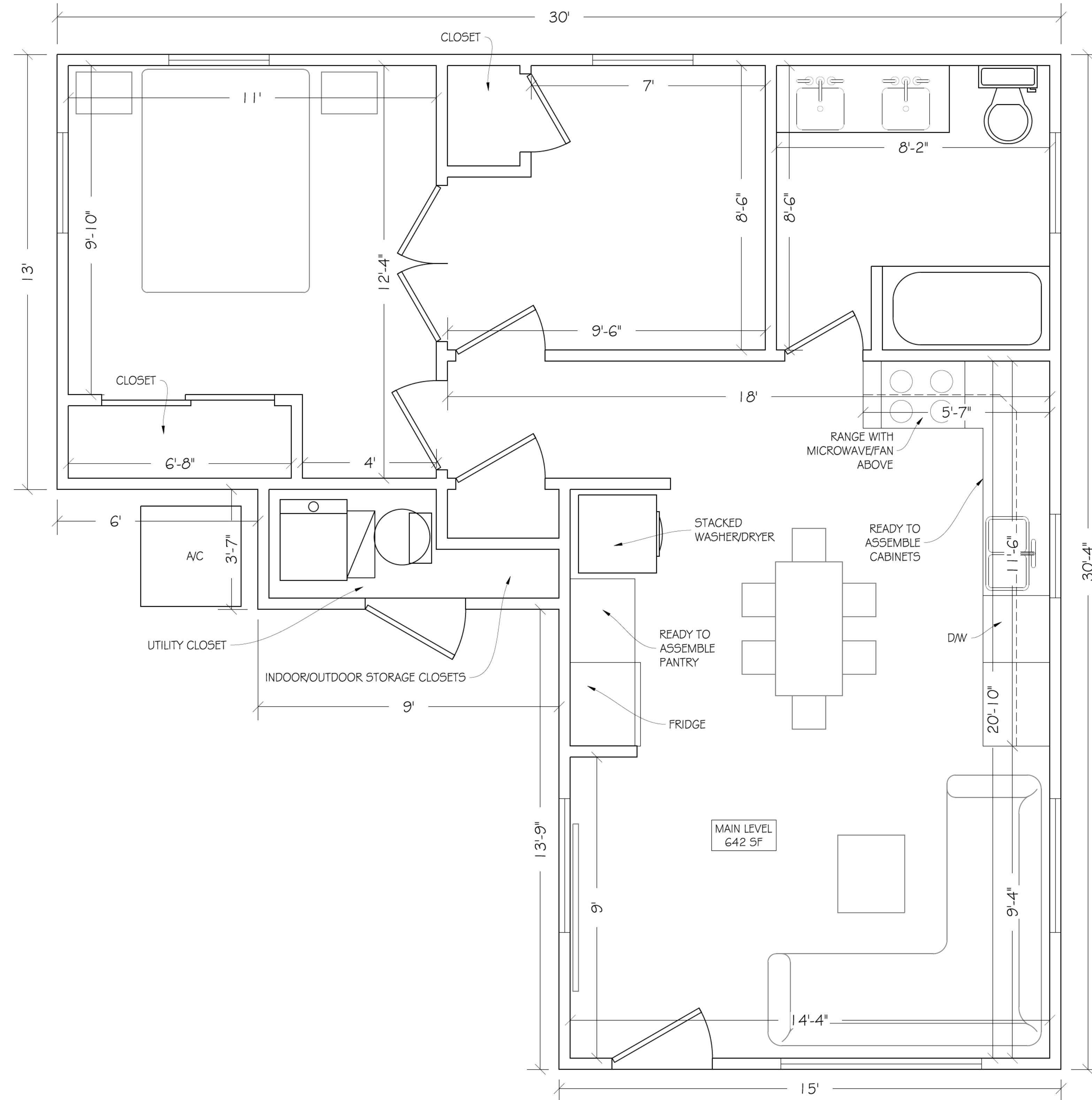
DATE: 12/7/2020

SCALE: (11x17)
1" = 24'


SCALE: (22x34)
1" = 12'

SHEET NO.

SD101



FLOOR PLAN



CONSULTING ENGINEERS AND SURVEYORS
12401 South 460 E. - C-2
Draper, Utah 84020
Office - 801-571-3414

Amy Nobis
2280 E Zermatt Circle
Sandy, Utah 84093
801-750-4020
amynobisdrafting@gmail.com

ADU - R1-7,000 zone

Contacts: --
Email: --

FLOOR PLAN

Wesley Brown
1792 South 2100 East
Salt Lake City, UT

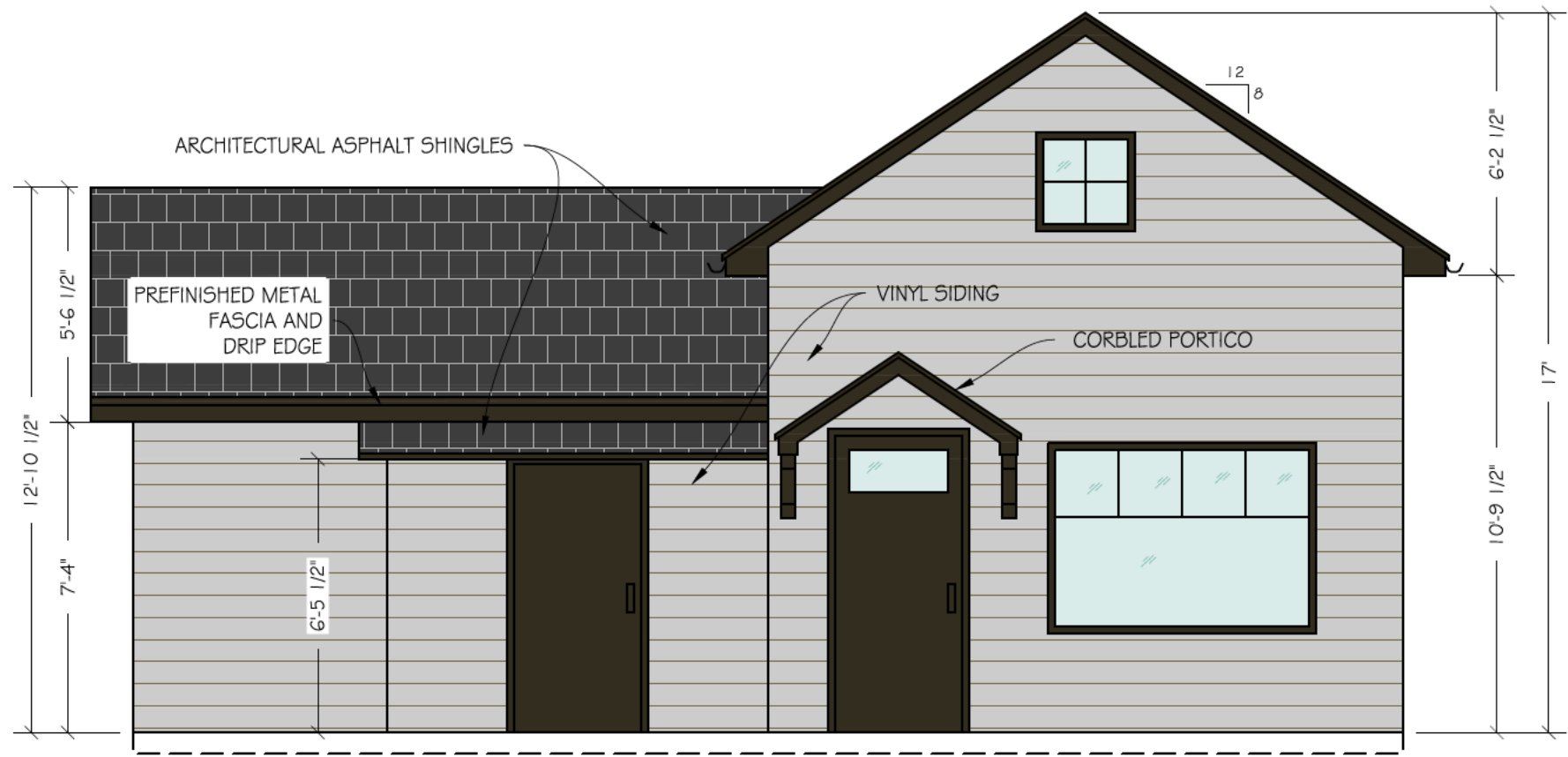
REVISIONS

DATE: 12/7/2020

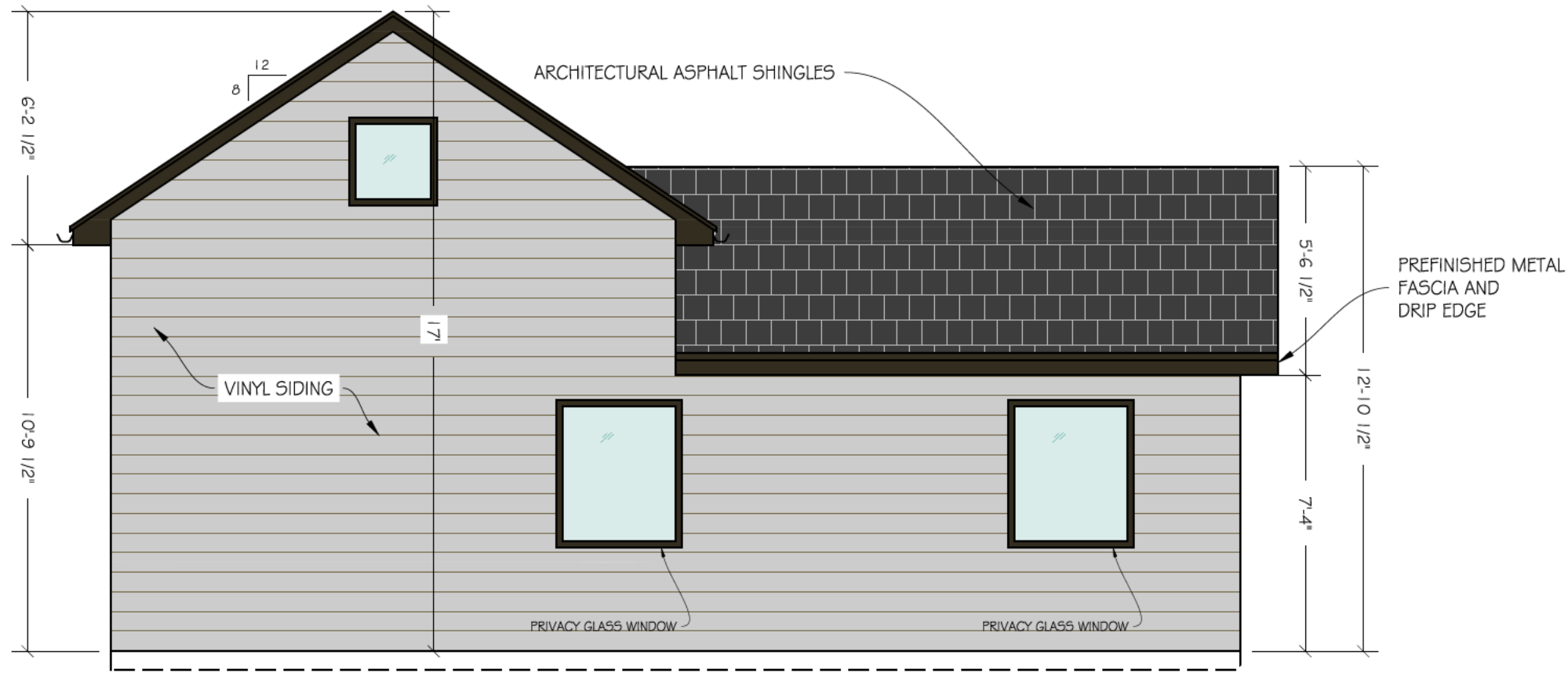
SCALE: (11x17)
1/4" = 1'

SCALE: (22x34)
1/2" = 1'

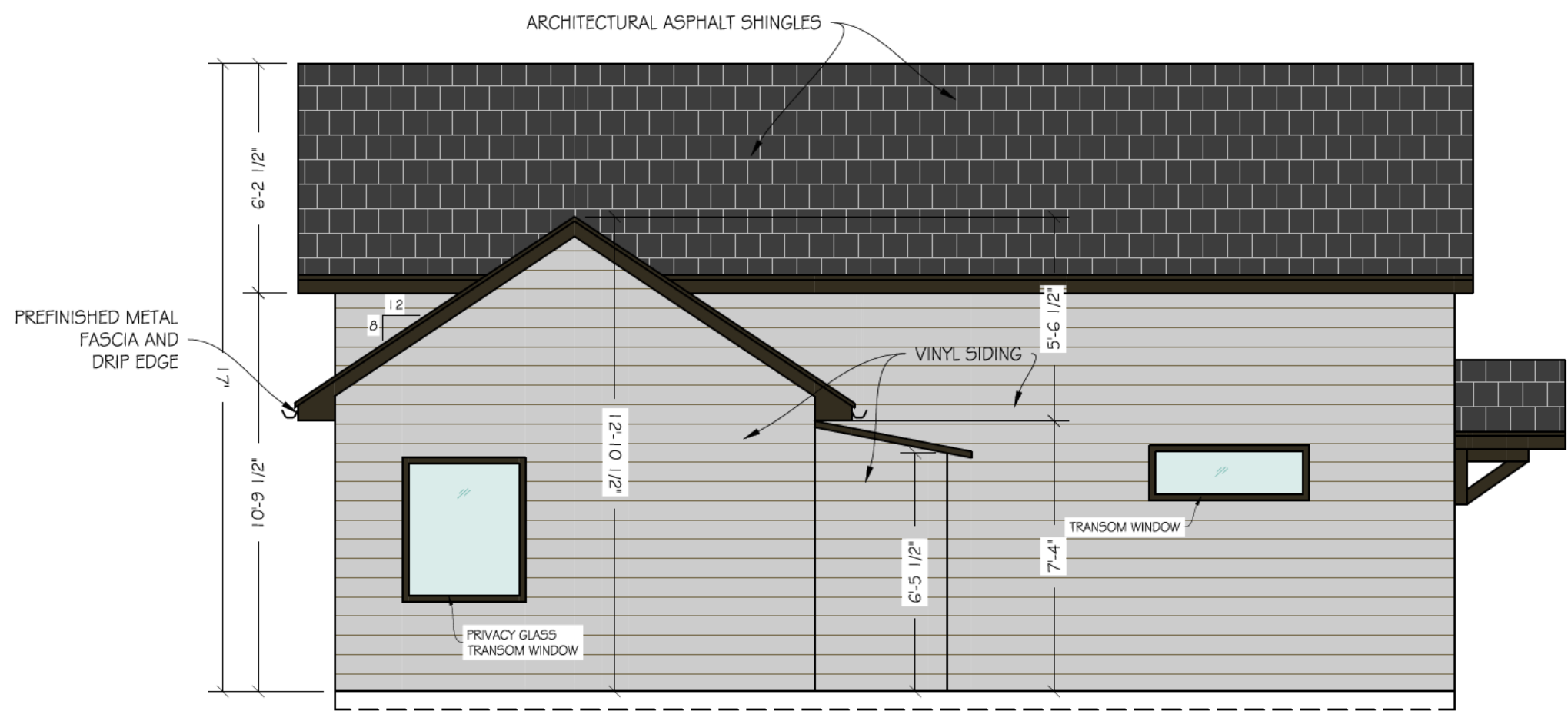
SHEET NO. A201



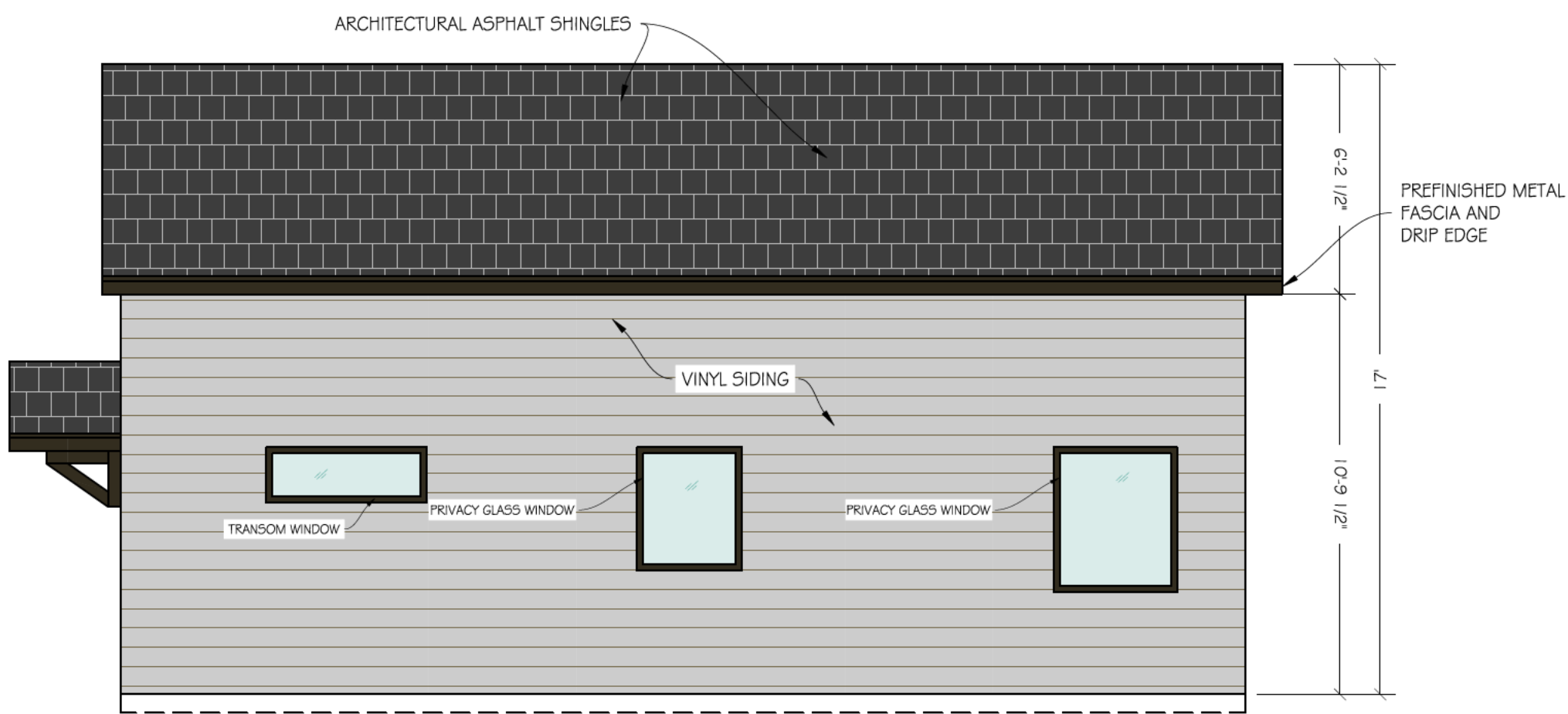
FRONT VIEW



REAR VIEW



LEFT VIEW



RIGHT VIEW

NOTE:
ALL EAST, SOUTH AND WEST WINDOWS WILL BE PRIVACY GLASS

ELEVATIONS

ILSON

ENGINEERING

CONSULTING ENGINEERS AND SURVEYORS

12401 South 480 E - C-2
Sandy, Utah 84093
Office - 801-571-9414

Amy Nobis

2280 E Zermatt Circle
Sandy, Utah 84093
801-750-4020
amynobisdrafting@gmail.com

ADU - R1-7,000 zone

Contacts:
-- Email: --

ELEVATIONS

Wesley Brown

1792 South 2100 East
Salt Lake City, UT

REVISIONS

DATE:
12/7/2020

SCALE: (11x17)
1/4" = 1'

SCALE: (22x34)
1/2" = 1'

SHEET NO.
A202

Address: 1792 South 2100 East
Salt Lake City, UT

ROOF LOAD: 100 LB SNOW & 25 LB DEAD LOAD
FLOOR LOADING: 40 LB LIVE LOAD & 20 LB DEAD LOAD
30 LB. LIVE LOAD FOR BEDROOMS

GROUND SNOW LOAD: 137.4 PSF
SOIL BEARING: 1,500 PSF
SEISMIC ZONE: D

$S_s = 0.571\text{ g}$ $S_{MS} = 0.767\text{ g}$ $S_{DS} = 0.512\text{ g}$
 $S_1 = 0.188\text{ g}$ $S_{M1} = 0.385\text{ g}$ $S_{D1} = 0.257\text{ g}$

WIND: 115 MPH - 3 SEC GUST
EXPOSURE: B or C
FROST DEPTH: 36"

APPLICABLE BUILDING CODE:	2015 INTERNATIONAL RESIDENTIAL CODE (AS AMENDED AND ADOPTED BY STATE OF UTAH) 2015 INTERNATIONAL BUILDING CODE.
CONCRETE STRENGTH:	
FOOTINGS	2,500 PSI
FOUNDATION	3,000 PSI
INTERIOR SLAB	3,000 PSI
GARAGE SLAB	4,000 PSI
EXTERIOR SITE	4,000 PSI

1. VISITS TO THE JOB SITE BY REPRESENTATIVES OF THE ENGINEER DO NOT CONSTITUTE APPROVAL OF THE WORK PERFORMED BY THE CONTRACTOR OR HIS SUBCONTRACTORS & ARE MERELY FOR THE PURPOSE OF OBSERVING THE WORK PERFORMED
2. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES, OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND /OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK INVOLVED. IN ALL CASES, UNLESS OTHERWISE DIRECTED, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN AND BE PERFORMED.
3. CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS AND ELEVATIONS, ETC., AT THE SITE AND SHALL COORDINATE WORK PERFORMED BY ALL TRADES.
4. TEMPORARY BRACING SHALL BE PROVIDED WHENEVER NECESSARY TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED, INCLUDING WIND. SUCH BRACING SHALL BE LEFT IN PLACE AS LONG AS MAY BE REQUIRED FOR SAFETY, OR UNTIL THE STRUCTURAL ELEMENTS ARE COMPLETE.
5. CONTRACTOR AND ALL SUBCONTRACTORS SHALL PERFORM THEIR TRADES AND DUTIES IN A MANNER CONFORMING TO THE PROCEDURES AND REQUIREMENTS OF APPLICABLE BUILDING CODE, AND ALL APPLICABLE REFERENCED CODES THEREIN.
6. ANY SPECIAL INSPECTION REQUIRED BY THE BUILDING OFFICIAL OR THE APPLICABLE BUILDING CODE ARE THE RESPONSIBILITY OF THE CONTRACTOR.

1. ALL FOOTINGS ARE BASED ON AN ALLOWABLE SOIL BEARING PRESSURE INDICATED IN THE DESIGN CRITERIA ABOVE. ANY SOIL CONDITION ENCOUNTERED DURING EXCAVATION THAT IS CONTRARY TO DESIGN CRITERIA SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING.
2. ALL FOOTINGS SHALL BEAR ON UNDISTURBED NATIVE SOIL OR ENGINEERED FILL COMPACTED TO 95% OF MAX DRY DENSITY, BASED ON ASTM D1557 METHOD OF COMPACTION. FILL SHALL BE PLACED IN ACCORDANCE WITH RECOMMENDATIONS OF SOIL ENGINEER AND SHALL EXTEND DOWN TO IN-SITU COHESIVE SOILS. FILL SHALL BE COMPACTED UNDER ALL STRUCTURAL CONCRETE WORK ON THE SITE.
3. NO FOOTING SHALL BE PLACED IN WATER OR ON FROZEN GROUND. CONTRACTOR SHALL NOTIFY ENGINEER IN CASE GROUND WATER LEVELS ARE FOUND WITHIN FIVE FEET BELOW THE FINISHED GRADES.
4. ALL EXCAVATIONS ADJACENT TO AND BELOW FOOTING ELEVATION FOR OTHER TRADES SHALL BE ACCOMPLISHED PRIOR TO POURING ANY FOOTINGS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR LATEROALLY SPORTING ALL RETAINING TYPE FOUNDATION WALLS WHILE COMPACTING BEHIND WALLS AND UNTIL ALL SUPPORTING MEMBERS HAVE BEEN PLACED (SUCH AS FLOOR SLABS). ALL OPEN EXCAVATIONS AND TRENCHES SHALL BE SUPPORTED AND BARRICADED BY CONTRACTOR TO CONFORM TO OSHA SAFETY STANDARDS.
6. ALL FOOTING REINFORCEMENT AND WALL AND COLUMN DOWELS SHALL BE SECURELY TIED IN PLACE PRIOR TO POURING CONCRETE.
7. PROVIDE DOWELS IN FOOTINGS AND FOUNDATIONS TO MATCH ALL VERTICAL BARS IN WALLS AND COLUMNS ABOVE, UNLESS NOTED OTHERWISE.
8. ALL INTERIOR AND GARAGE SLABS SHALL BE OVER 4 INCHES OF ¾ INCH FREE GRANULAR FILL, BEARING ON UNDISTURBED NATIVE SOIL OR ENGINEERED GRANULAR FILL (SEE NOTE #2). SEE TYPICAL DETAILS FOR CONTROL JOINTS REQUIREMENTS.
9. STABILITY OF SLOPED SITES SHALL BE VERIFIED BY SOILS ENGINEER OR OTHER QUALIFIED PROFESSIONAL.

1. ALL FOOTINGS, FOUNDATIONS AND INTERIOR SLABS SHALL BE NORMAL WEIGHT CONCRETE WITH A COMPRESSIVE STRENGTH EQUAL TO AT LEAST THOSE SHOWN IN DESIGN CRITERIA ABOVE, WITHIN 28 DAYS AFTER POURING.
2. ALL CONCRETE WORK SHALL BE PLACED, CURED, STRIPPED, AND PROTECTED AS DIRECTED BY SPECIFICATIONS AND ACI STANDARDS AND PRACTICES.

1. ALL REINFORCEMENT SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH APPLICABLE BUILDING CODE.
2. ALL METAL REINFORCEMENT SHALL BE DEFORMED TYPE BARS (EXCEPT #2 BARS) AND SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS ASTM A615 GRADE 60.
3. ALL SPLICES IN CONTINUOUS CONCRETE REINFORCING BARS SHALL OVERLAP 36 X THE BAR DIAMETER. ALL SUCH SPLICES SHALL BE MADE IN A REGION OF COMPRESSION UNLESS OTHERWISE SHOWN. ALL CONTINUOUS REINFORCEMENT SHALL TERMINATE WITH A 90 DEG. TURN OR A SEPARATE CORNER BAR.
4. ALL REINFORCING BARS SHALL BE SECURELY ANCHORED AND HELD IN PLACE AND SHALL BE SPACED FROM ADJACENT SURFACES (UNLESS NOTED OTHERWISE) AS FOLLOWS:
 - a. FORMED SURFACES IN CONTACT WITH THE GROUND OR EXPOSED TO WEATHER (GRADE BEAMS, WALLS, ETC.) AND SLAB ON GRADE: 1 1/2 INCHES
 - b. UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH (BOTTOM AND SIDE OF FOOTINGS) : 3 INCHESIN ALL CASES MINIMUM COVER SHALL NOT BE LESS THAN THE DIAMETER OF ADJACENT BARS.
5. REINFORCEMENT SHALL BE FREE OF MUD, OIL, OR OTHER NONMETALLIC COATINGS THAT ADVERSELY AFFECT BONDING CAPACITY.
6. ALL OPENINGS IN CONCRETE WALL SHALL BE REINFORCED WITH (2) #4 BARS EXTENDING 2 FEET MINIMUM BEYOND THE EDGE OF THE OPENING AT EACH FACE OF OPENING.

1. MEMBER GRADES SHALL BE AS FOLLOWS:
 - GLULAM BEAMS (SIMPLE SPAN)..... 24F-V4 DF/DF
 - (CANTILEVERED & CONTINUOUS OVER ONE SUPPORT OR MORE)..... 24F- V8 DF/DF
 - JOISTS..... DOUG FIR #2 BTR
 - HEADERS..... DOUG FIR #2 BTR
 - POSTS..... DOUG FIR #1 BTR
 - STUDS NONBEARING WALLS..... DOUG FIR STUD GRADE BTR
 - STUDS BEARING WALLS..... DOUG FIR #2 BTR
 - PRE-FAB TRUSSES/JOISTS..... AS PER MANUFACTURER
2. SILL PLATES IN CONTACT W/CONCRETE..... DOUG FIR #2 BTR PRESSURE TREATED
3. UNLESS NOTED OTHERWISE, CONNECT ALL WOOD TO CONCRETE, WOOD TO STEEL AND WOOD TO WOOD (EXCEPT STUD TO PLATE) WITH SIMPSON METAL CONNECTORS OR EQUIVALENT.
4. ALL MULTIPLE PLATES AND LEDGERS SHALL BE NAILED TOGETHER WITH 16D NAILS AT 8 INCHES ON CENTER.
5. ALL MULTIPLE MEMBER HEADERS OR BEAMS SHALL BE GLUED AND NAILED TOGETHER WITH (2) ROWS OF 16D AT 8"O.C. FOR MEMBERS LESS THAN 8"DEEP. FOR MEMBERS MORE THAN 8"DEEP USE (3) ROWS OF 16D AT 8"O.C. & CLINCHED.
6. STUD WALLS SHALL RUN CONTINUOUS BETWEEN POINTS OF HORIZONTAL SUPPORT. PROVIDE BRACING FOR SUCH STUD WALLS UNLESS NOTED OTHERWISE.
7. BLOCK ALL HORIZONTAL EDGES OF PLYWOOD WALL SHEATHING WITH 2 INCHES NOMINAL BLOCKING. BLOCK EDGES OF PLYWOOD ON FLOORS AND ROOF AS DIRECTED ON DRAWINGS.
8. SOLID 2 INCHES NOMINAL BLOCKING SHALL BE PROVIDED AT ENDS OR POINTS OF SUPPORT OF ALL WOOD JOISTS AND TRUSSES. CROSS BRIDGING OF NOT LESS THAN 1 INCH X 3 INCHES MATERIAL SHALL BE PLACED IN ROWS BETWEEN SUPPORT POINTS, NOT TO EXCEED 8 FT APART FOR SPANS OF 14 FEET AND GREATER.
9. MINIMUM NAILING SHALL BE AS PER APPLICABLE BUILDING CODE -SEE MINIMUM NAILING SCHEDULE BELOW.

1. LAY SHEATHING WITH FACE GRAIN AT RIGHT ANGLES TO FRAMING WITH END JOINTS STAGGERED.
GLUE WITH GLUE CONFORMING TO AFG-01 ACCORDING TO APA SPECS.
2. BLOCK JOISTS SOLID AT ALL BEARING POINTS

1. LAY SHEATHING WITH FACE GRAIN AT RIGHT ANGLES TO FRAMING WITH ENDS STAGGERED.
2. BLOCK JOIST SOLID AT ALL BEARING POINTS.

1. BLOCK ALL HORIZONTAL PLYWOOD EDGES WITH 2 INCHES NOMINAL OR WIDER FRAMING.
2. ALL SHEATHING SHALL EXTEND CONTINUOUS FROM SILL PLATE TO ROOF OR FLOOR SHEATHING.
3. SHEATHING SHALL BE EXTENDED CONTINUOUS FROM FLOOR FRAMING TO HEIGHT OF ROOF FRAMING ON UPPER LEVEL WALLS (VERTICAL SURFACES AT STEPS IN ROOF)
4. NAILS SHALL BE SPACED NOT LESS THAN 3/8 INCHES FROM EDGES AND ENDS OF SHEATHING AND SHALL BE DRIVEN FLUSH BUT SHALL NOT FRACTURE THE SURFACE OF SHEATHING.
5. SHEAR PANELS CANNOT BREAK AT FLOOR TRANSITION, THEY MUST BE LAPPED & STAGGERED
(EXCEPT IF FLOOR-TO-FLOOR STRAPS ARE USED - CS16 OR MS448 STRAPS)

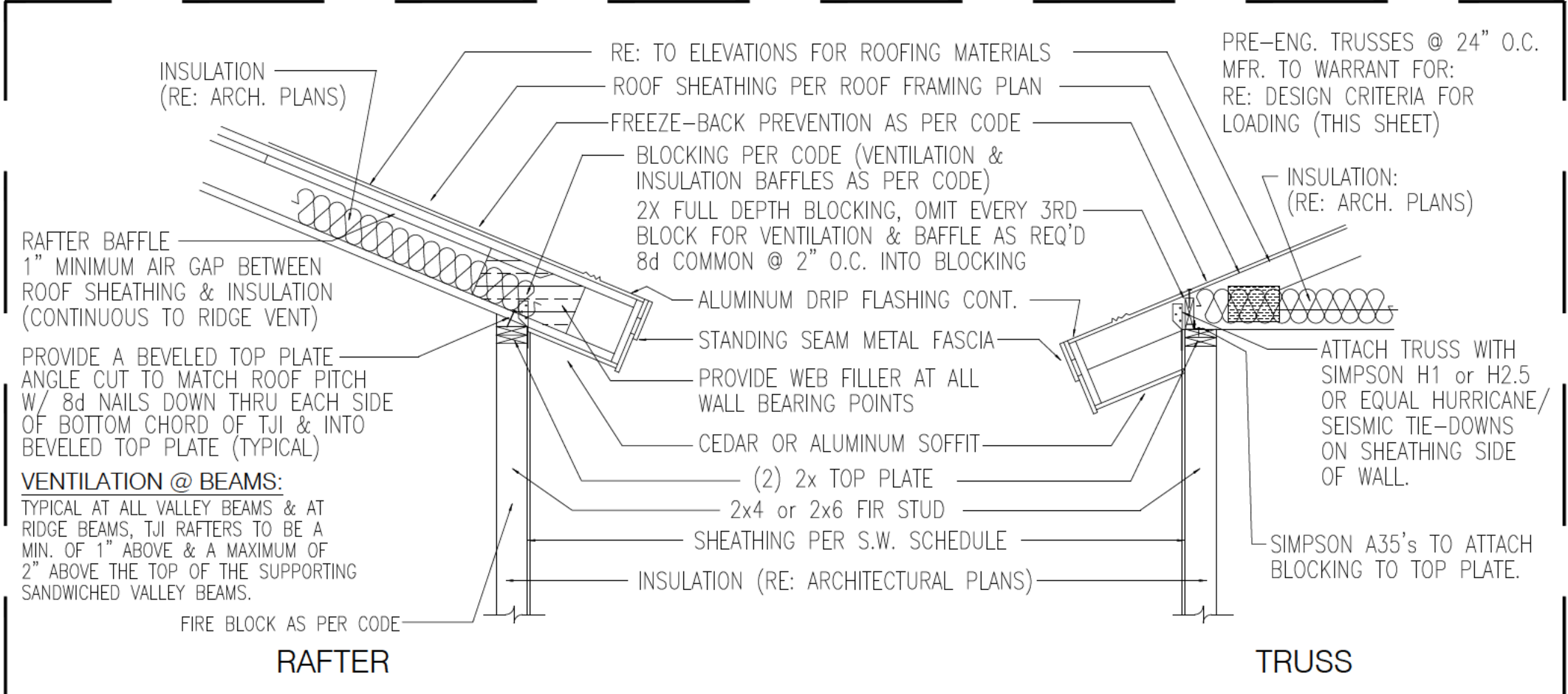
MINIMUM NAILING SCHEDULE	
CONNECTION	NAILING
1. JOIST TO SILL OR GIRDER TOENAIL.....	3-8d
2. BRIDGING TO JOIST, TOENAIL EA. END.....	2-8d
3. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL.....	16d @ 16" O.C.
4. TOP PLAT TO STUD.....	END NAILS 2-16d
5. STUD TO SOLE PLATE.....	4-8d TOENAIL OR 2-16d @ 24" O.C.
6. DOUBLE STUDS.....	FACE NAIL 16d @ 24" O.C.
7. DOUBLE TOP PLATES.....	FACE NAIL 16d @ 16" O.C.
8. TOP PLATES, LAPS AND INTERSECTIONS.....	FACE NAIL 2-16d.
9. CONTINUOUS HEADERS, TWO PIECES.....	ALONG EA. EDGE 16d @ 16" O.C.
10. CEILING JOIST TO PLATE.....	TOENAIL 3-8d
11. CONTINUOUS HEADER TO STUD.....	TOENAIL 4-8d
12. CEILING JOISTS, LAPS OVER PARTITIONS.....	FACE NAIL 3-16d
13. CEILING JOISTS TO PARALLEL RAFTERS.....	FACE NAIL 3-16d
14. RAFTER TO PLATE.....	TOENAIL 3-8d
15. BUILT-UP CORNER TO STUDS.....	16d @ 24" O.C.
16. BUILT-UP GIRDER AND BEAMS.....	20d @ 32" O.C. T&B STAGGERED 2-20d @ ENDS & SPLICES

COMMON NAILS	16 Ga.	15 Ga.	14 Ga.
8d @ < 3"	STAPLES NOT ALLOWED		
8d @ 3"	2"	3"	3.5"
8d @ 4"	2.5"	3.5"	4"
8d @ 6"	4"	5"	6"
8d @ 8"	5.5"	6.5"	8"
8d @ 10"	6.5"	8"	10"
8d @ 12"	8"	10"	12"

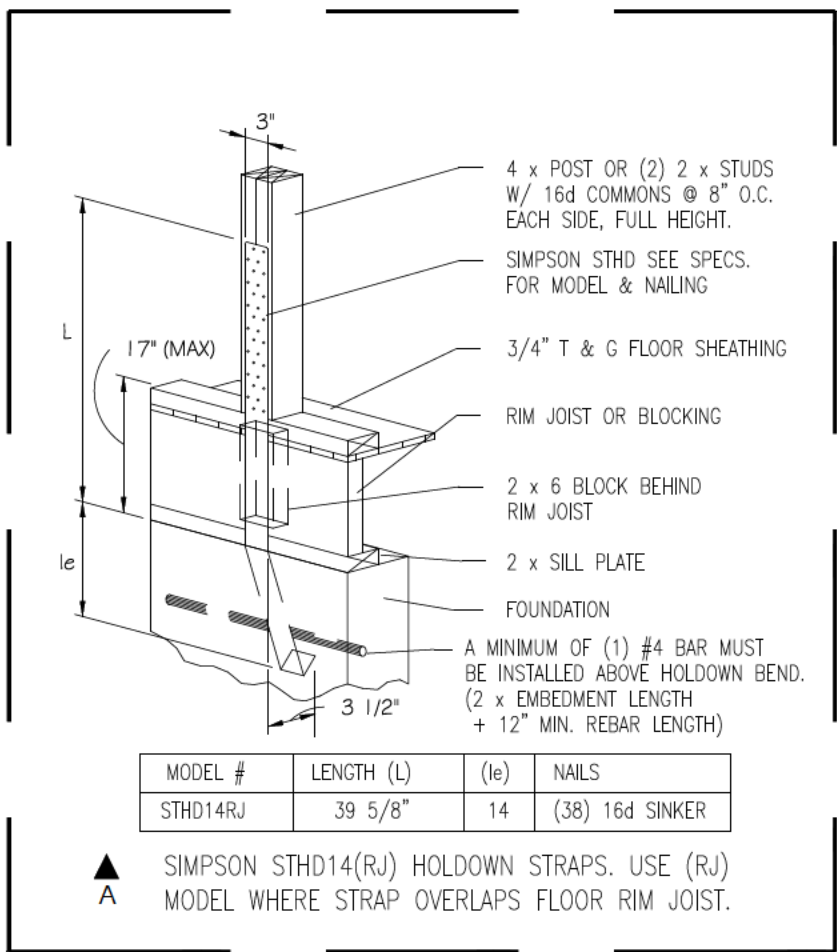
1. MINIMUM STAPLE PENETRATION INTO MAIN MEMBER IS 1"
2. PLACE STAPLES PARALLEL TO PANEL EDGE.
3. PROVIDE 3/8" DISTANCE FROM PANEL EDGE TO STAPLE.

1. ALL EXTERIOR WALLS TO BE 2x4 OR 2x6, SHEATHED PER SHEARWALL SCHEDULE.
2. USE FULL HEIGHT STUDS ON ALL EXTERIOR WALLS PER EXTERIOR WALL FRAMING CHART.

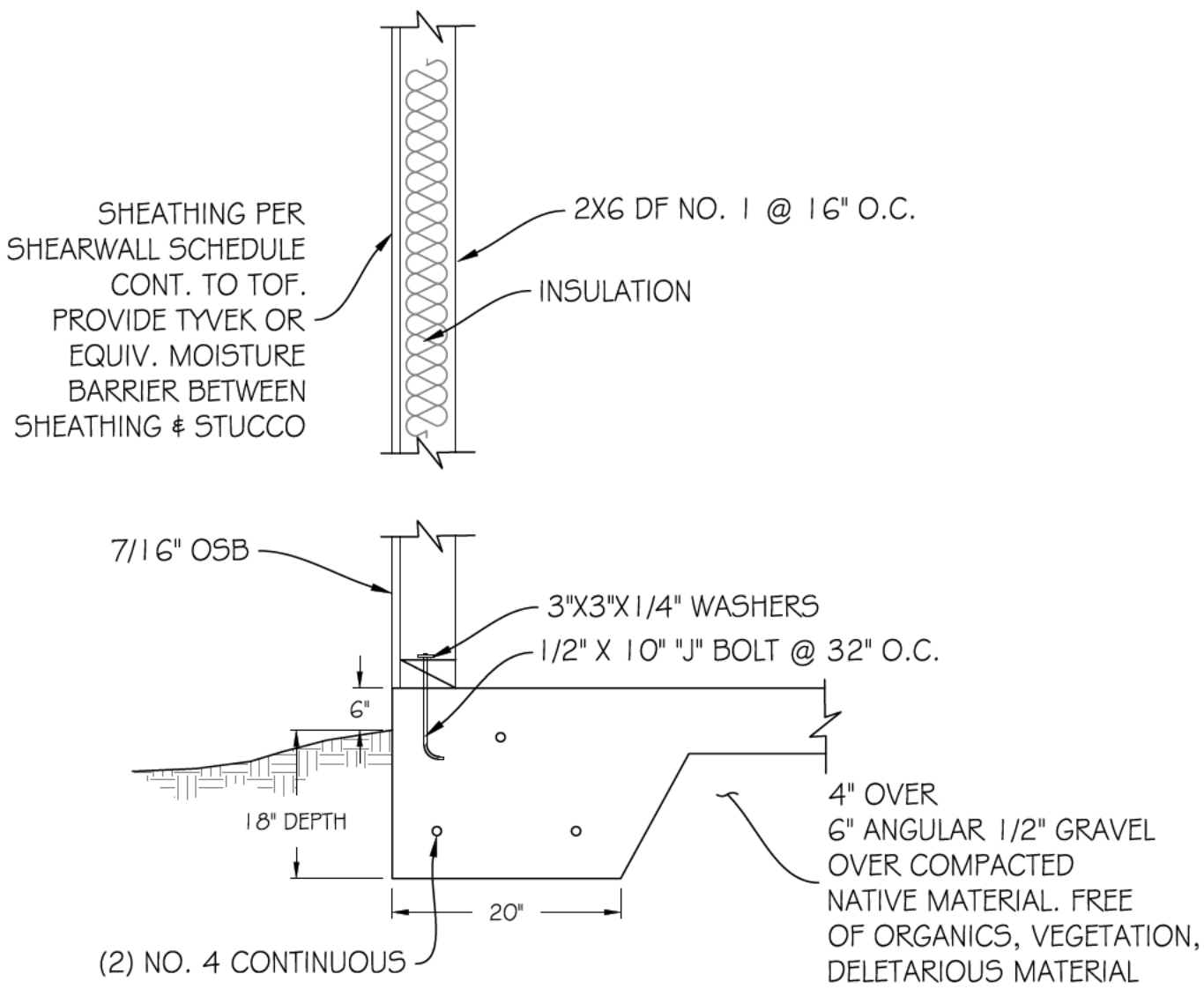
FRAMING SPECIFICATION	MAXIMUM STUD HEIGHT
2x4's @ 16" O.C.	9'-6"
2x4's @ 12" O.C.	10'-6"
2x4's @ 8" O.C. or (2) 2x4's @ 16" O.C.	12'-6"
2x6's @ 16" O.C.	15'-0"
2x6's @ 12" O.C.	17'-0"



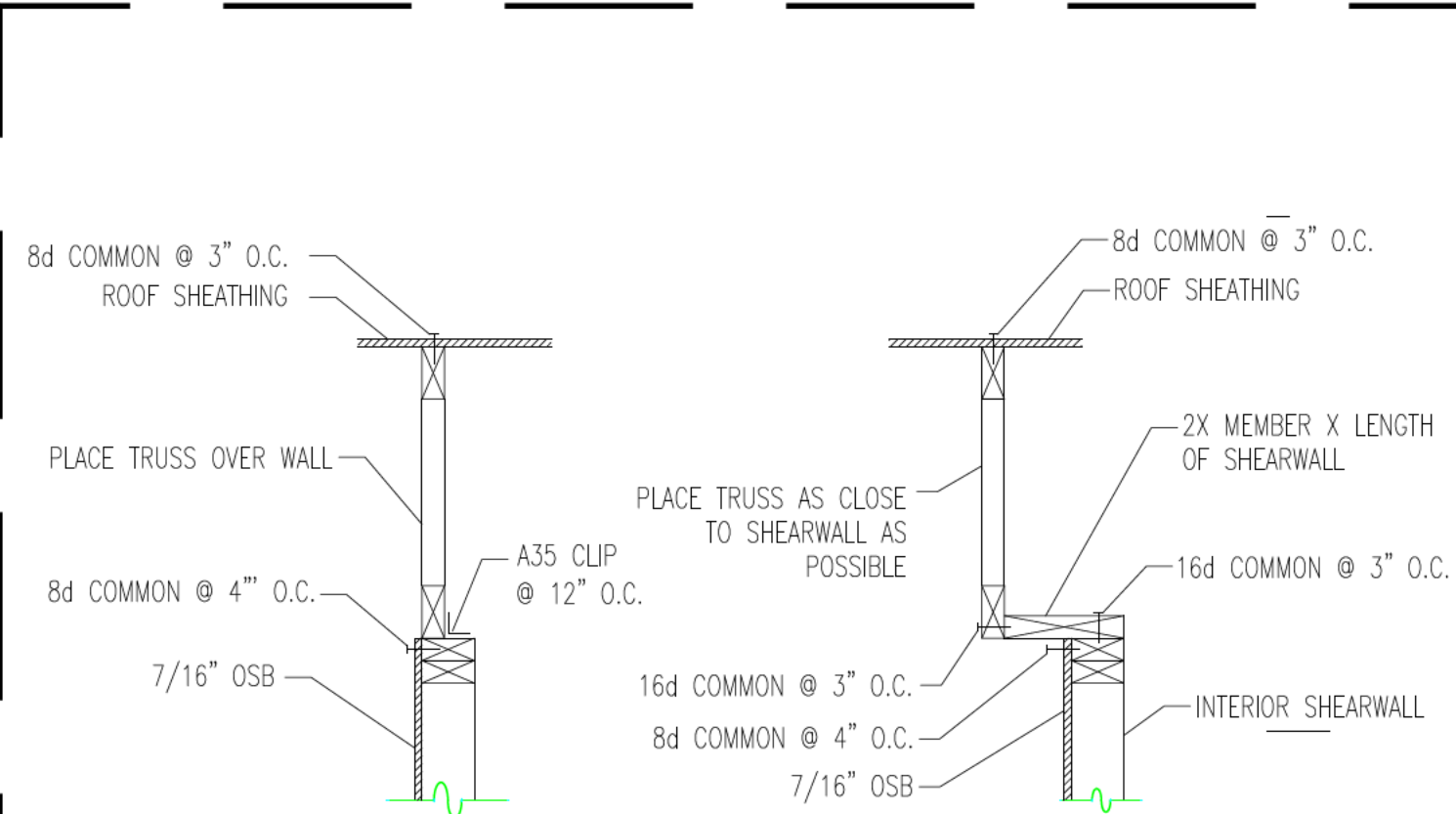
7	ROOF / SOFFIT / FASCIA / BLOCKING DETAIL
-	2x SCALE LISTED IN TITLEBLOCK



5	SIMPSON HOLDDOWN DETAIL (STHD)
-	N.T.S.

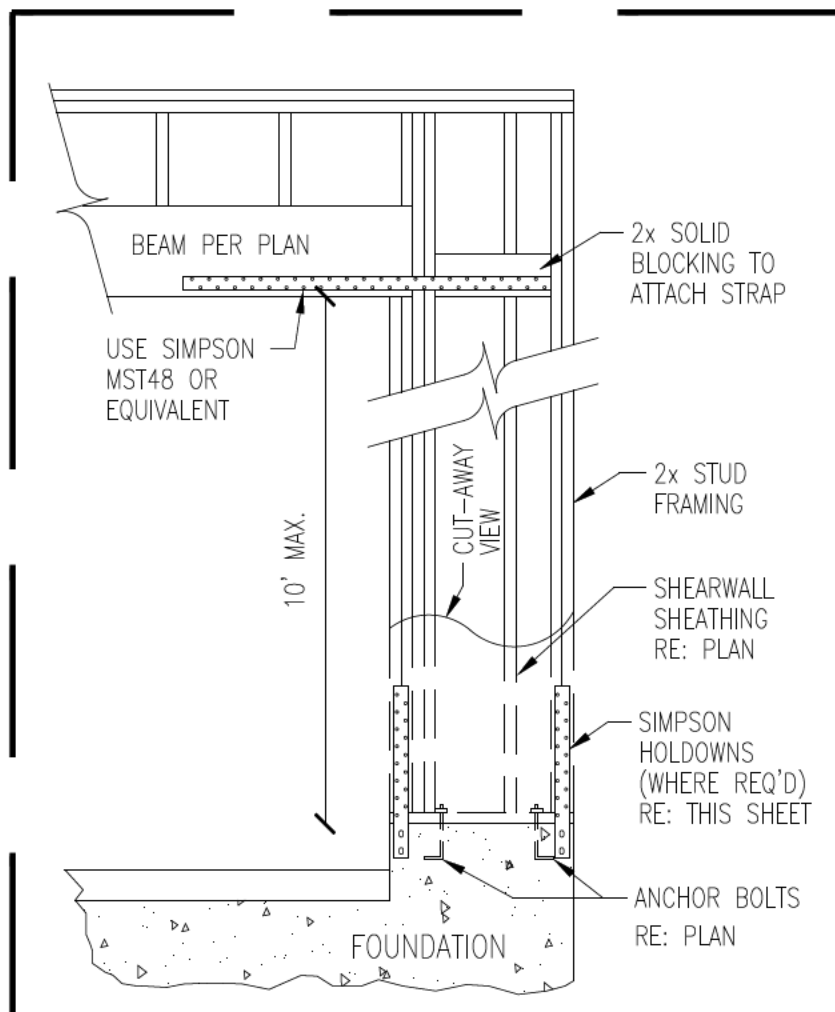


4 WALL SECTION



TRUSS OVER WALL (PREFERRED)

TRUSS OFFSET FROM WALL



1	GARAGE RETURN DETAIL
S101	2x SCALE LISTED IN TITLEBLOCK

S100

**CONSULTING ENGINEERS AND SURVEYORS**
12401 South 450 E. - C-2
1971 Turnbury Court
Midway, Utah 84049
Office - 801-571-3414

Amy Nobis
2280 E Zermatt Circle
Sandy, Utah 84093
801-750-4020
amynobisdrafting@gmail.com

ADU - R1-7,000 zone

Contacts: --
Email: --

STRUCTURAL NOTES AND DETAILS

Wesley Brown
1792 South 2100 East
Salt Lake City, UT

REVISIONS

DATE:

12/7/2020

SCALE: (11x17)

N/A

SCALE: (22x34)

N/A

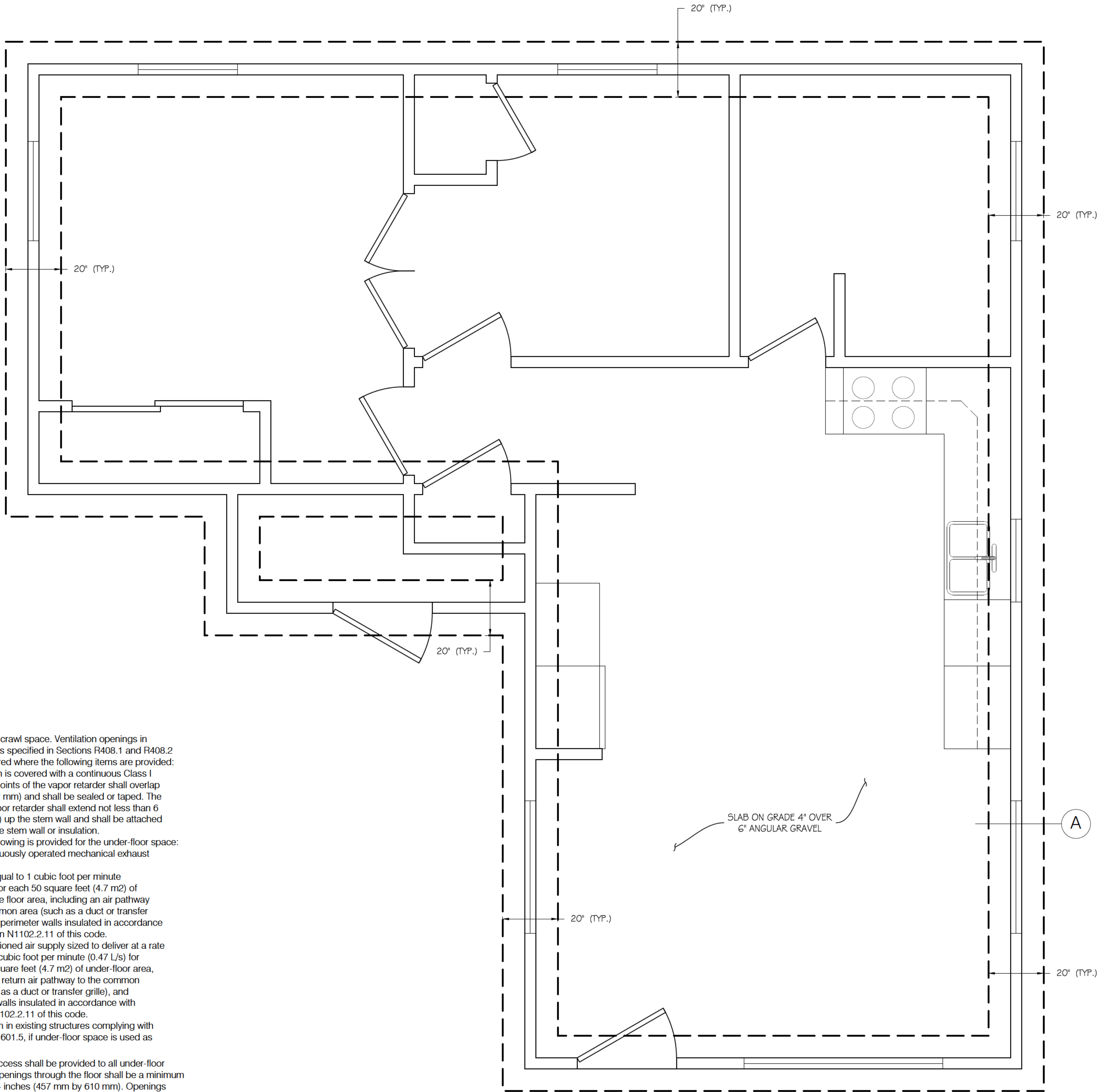
SHEET NO

S100

R408.3 Unvented crawl space. Ventilation openings in under-floor spaces specified in Sections R408.1 and R408.2 shall not be required where the following items are provided:

- Exposed earth is covered with a continuous Class I vapor retarder. Joints of the vapor retarder shall overlap by 6 inches (152 mm) and shall be sealed or taped. The edges of the vapor retarder shall extend not less than 6 inches (152 mm) up the stem wall and shall be attached and sealed to the stem wall or insulation.
- One of the following is provided for the under-floor space:
 - Continuously operated mechanical exhaust ventilation at a rate equal to 1 cubic foot per minute (0.47 L/s) for each 50 square feet (4.7 m2) of crawl space floor area, including an air pathway to the common area (such as a duct or transfer grille), and perimeter walls insulated in accordance with Section N1102.2.11 of this code.
 - Conditioned air supply sized to deliver at a rate equal to 1 cubic foot per minute (0.47 L/s) for each 50 square feet (4.7 m2) of under-floor area, including a return air pathway to the common area (such as a duct or transfer grille), and perimeter walls insulated in accordance with Section N1102.2.11 of this code.
 - Plenum in existing structures complying with Section M1601.5, if under-floor space is used as a plenum.

R408.4 Access. Access shall be provided to all under-floor spaces. Access openings through the floor shall be a minimum of 18 inches by 24 inches (457 mm by 610 mm). Openings through a perimeter wall shall be not less than 16 inches by 24 inches (407 mm by 610 mm). Where any portion of the through-wall access is below grade, an areaway not less than 16 inches by 24 inches (407 mm by 610 mm) shall be provided. The bottom of the areaway shall be below the threshold of the access opening. Through wall access openings shall not be located under a door to the residence. See Section M1305.1.4 for access requirements where mechanical equipment is located under floors.



FLOOR NOTES:

- ALL EXTERIOR WALLS TO BE:
2x6 (RE: PLANS) SHEATHED PER S.W. SCHEDULE. WIND:
115 (3 SEC. GUST).
- SEISMIC CATEGORY (SEE ENGINEERING CALCS)
- GLUE & NAIL FLOOR DIAPHRAGMS TO JOISTS & PONY WALLS PER CODE
- PONY WALLS TO BE 2x4 OR 2x6 STUDS @ 16" O.C.
- STIFF BACKING, ROTATIONAL & LATERAL BLOCKING REQUIRED AS PER TRUSS MANUFACTURE SPECIFICATIONS
- EXTERIOR SHEATHING UNDER ALL WINDOWS TO BE CONTINUOUS DOWN TO TREATED PLATE.

FLOOR DIAPHRAGMS:

- PROVIDE 3/4" or THICKER APA RATED T&G PANEL GLUED & NAILED w/ 10d RING SHANK NAILS OR SCREWS @ 6" O.C. EDGE & 12" O.C. FIELD.

ALL EXTERIOR WALLS TO BE [SW-1] UNLESS OTHERWISE NOTED

INDICATES INTERIOR SHEARWALL

SHEARWALL SCHEDULE

MARK	SIZE	TYPE	GRADE	8d NAILS TO BE 2 1/2" LONG (MINIMUM)		REMARKS
				EDGE	FIELD	
SW-1	7/16"	CDX OR O.S.B.	APA RATED C-C, C-D	8d @ 4" O.C.	8d @ 12" O.C.	1, 2, 3
SW-2	7/16"	CDX OR O.S.B.	APA RATED C-C, C-D	8d @ 3" O.C.	8d @ 12" O.C.	1, 2, 3

1. USE COMMON OR GALVANIZED BOX NAILS.
2. BLOCK ALL EDGES.
3. SEE SHEET S100 FOR STAPLE EQUIV. CHART.

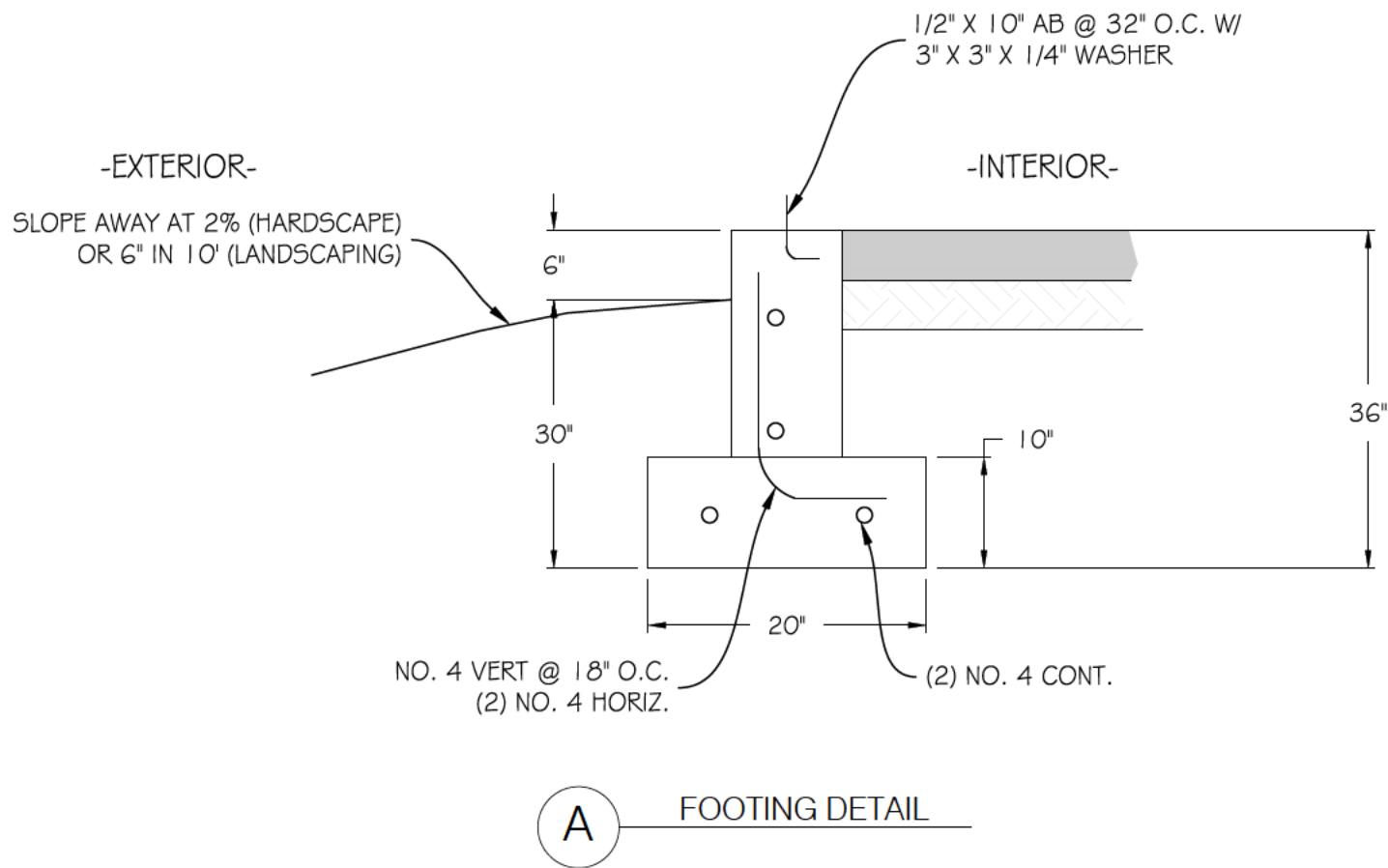
BEAM SCHEDULE

MARK	BEAM TYPE & SIZE	TRIMMERS (DF #2)
FB-1	(2) 2x6's (DF #2)	(2) 2x4's Minimum
FB-2	(3) 2x6's (DF #2) or (2) 2x8's (DF #2)	(2) 2x4's Minimum
GB-1	W10x22 STEEL BEAM	CONC. PKT

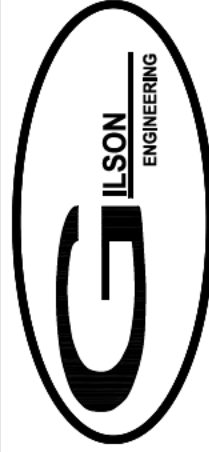
** NAIL (1) 2x6 KING STUD IN ADDITION TO THE TRIMMERS SPECIFIED IN PARENTHESIS ABOVE W/ 16d COMMON @ 4" O.C.

FLOOR FRAMING KEY NOTES:

- 2x12 LEDGER BOLTED TO RIM JOIST WITH 1/2" x 6" LONG CONCRETE ANCHORS @ 16" O.C. STAGGER BOLTS 2" FROM TOP & BOTTOM OF LEDGER. (TYPICAL AROUND PERIMETER OF FLOOR SPACE).
- TOILET FIXTURE OR SHOWER / TUB DRAIN ABOVE.
- PROVIDE SOLID BLOCKING BETWEEN JOISTS OR TRUSSES AT ALL BEARING WALLS & BEARING BEAMS & UNDER SHEARWALLS ABOVE.
- PROVIDE CONNECTION FOR SHEARWALL ABOVE TO FLOOR PER INTERIOR SHEARWALL CONNECTION TO FLOOR NOTES ON THIS SHEET.
- 2x6 PONY WALL, TREATED BOTTOM PLATE & DOUBLE TOP PLATE. WALL HEIGHT VARIES WITH CRAWLSPACE HEIGHT.
- PROVIDE SIMPSON 11 7/8" T.J. JOIST HANGER.
- UNDER FLOOR SPACE:
PROVIDE VENTILATION PER R408.1 OR PROVIDE UNVENTED CRAWLSPACE WITH VAPOR RETARDER PER R408.3
UNDER FLOOR VENTILATION:
MINIMUM 1 S.F. FOR EACH 150 S.F. OF UNDER FLOOR AREA. ON SUCH VENTILATING OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE STRUCTURE
- IRC R408
CRAWLSPACE ACCESS:
CRAWLSPACE ACCESS TO MEET THE REQUIREMENTS OF IRC R408.4 & INSULATED (R-30 REQUIRED).



FOUNDATION PLAN



CONSULTING ENGINEERS AND SURVEYORS
12401 South 469 E. - C-2
Draper, Utah 84026
Office - 801-571-9414

Amy Nobis
2280 E Zermatt Circle
Sandy, Utah 84093
801-750-4020
amynobisdrafting@gmail.com

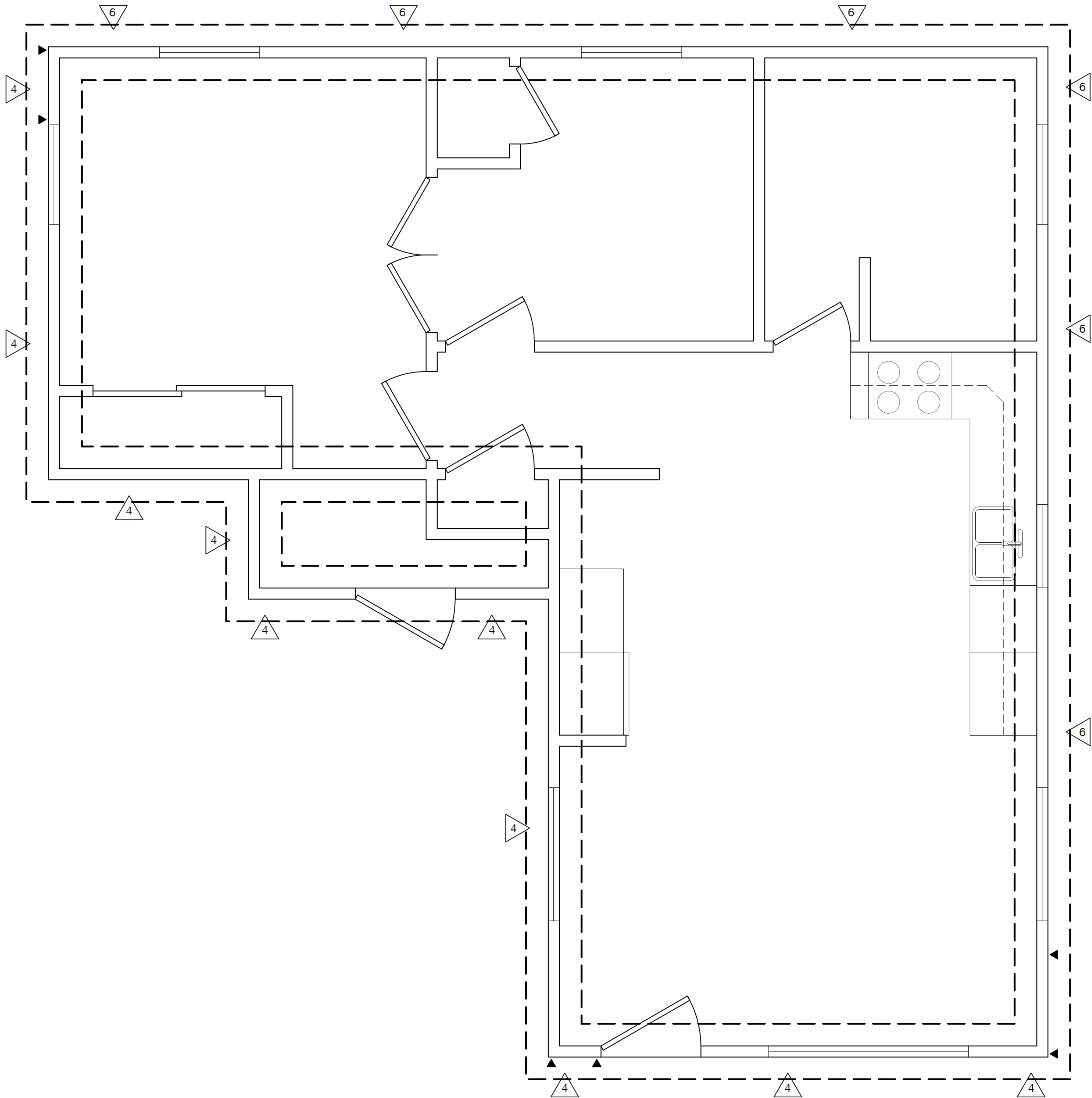
ADU - R1-7,000 zone
Contacts:
--
Email: --

FOUNDATION PLAN

Wesley Brown
1792 South 2100 East
Salt Lake City, UT

REVISIONS

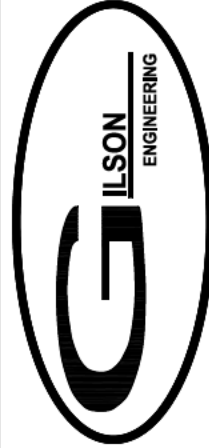
DATE:
12/7/2020
SCALE: (11x17)
1/4" = 1'
SCALE: (22x34)
1/2" = 1'
SHEET NO.
S101



▲ SIMPSON STHD14(RJ) HOLDOWN STRAPS, ONLY USE (RJ)
MODEL WHERE STRAP OVERLAPS A FLOOR RIM JOIST.

△/X SHEARWALL EDGE NAILING SPACING IN INCHES 8d

SHEARWALL PLAN



CONSULTING ENGINEERS AND SURVEYORS
12401 South 480 E. - C-2
Draper, Utah 84026
Office - 801-571-3414

Amy Nobis
2280 E Zermatt Circle
Sandy, Utah 84093
801-750-4020
amynobisdrafting@gmail.com

ADU - R1-7,000 zone

Contacts: --
-- Email: --

SHEARWALL PLAN

Wesley Brown
1792 South 2100 East
Salt Lake City, UT

REVISIONS

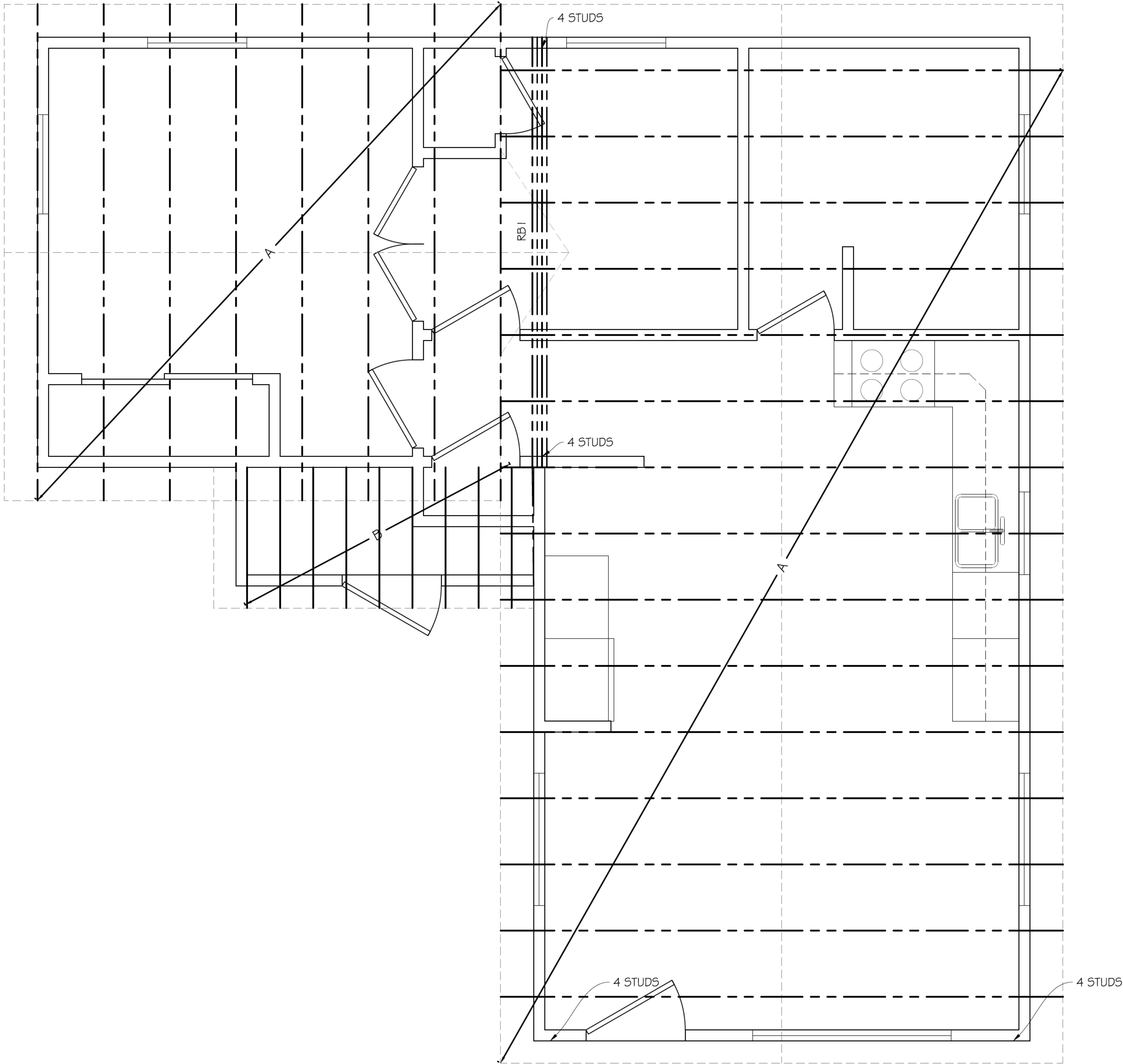
DATE: 12/7/2020

SCALE: (11x17)
1/4" = 1'

SCALE: (22x34)
1/2" = 1'

SHEET NO.

S102



ROOF NOTES:

- ALL ROOF TRUSSES TO BE ENGINEERED FOR:
30 LB SNOW LOAD & 15 LB. DEAD LOAD.
WIND: 115 (3 SEC. GUST).
SEISMIC CATEGORY (SEE ENGINEERING CALCS).
- ROTATIONAL BLOCK BOTH ENDS & ALL MIDPOINT BEARING OF TRUSSES
- HURRICANE CLIPS AT EVERY TRUSS (ALTERNATING SIDES).
- OVERBUILD FRAMING TO TRANSFER LOAD TO SHEATHED TRUSSES AT 4' INTERVALS.
- SECURE VALLEY RAFTERS TO VALLEY BOARD OF >= 2x10.
- SUPPORT ALL GIRDER TRUSSES w/ (3) 2x4's or (3) 2x6's (MIN).
- LOADS FROM MAIN & UPPER FLOORS & ROOF BEAMS MUST BE CARRIED DOWN THROUGH TRIMMERS SPECIFIED TO FLOOR. SQUASH BLOCKING OR POSTS MUST BE INSTALLED UP TO THE UNDER-SIDE OF THE FLOOR DIAPHRAGM MUST BE PROVIDED TO TRANSFER THE LOAD THROUGH THE FLOOR AREA. POST OR TRIMMER OF EQUAL OR GREATER SIZE MUST BE PROVIDE TO CARRY THE LOAD DOWN TO A FOUNDATION WALL / FOOTING.
- TJI HANGER NOTE: WHERE TJI HANGERS ARE USED, WEB FILLER MAY BE REQUIRED BY HANGER MFR.
- GABLE END VENTS or TURTLE VENTS OVER TRUSS AREAS TO BE 1:150 w/o SOFFIT VENTING, 1:300 w/ SOFFIT VENTING.
- PLUMB. VENTS TO BE AT REAR SIDE OF ROOF, IF POSSIBLE.

ROOF OVERBUILD:

OVERBUILD AREA:
2x4's SUPPORTED
@ 4'-0" O.C. MAXIMUM.

BEAM SCHEDULE

MARK	BEAM TYPE & SIZE	TRIMMERS (DF #2)
RB-1	(3) 1 3/4" X 14" LVL'S OR GIRDER TRUSS	SEE PLAN
RB-2	(2) 2 X 10 DF NO. 1	SEE PLAN

** NAIL (1) 2x6 KING STUD IN ADDITION TO THE TRIMMERS SPECIFIED IN PARENTHESIS ABOVE W/ 16d COMMON @ 4" O.C.

A - PRE-FAB ROOF TRUSSES @ 24" O.C.

B - 2 X 8 @ 24" O.C. W/ 2 X 8 LEDGER ATTACHED W/ 1/2" X 5" LAG @ 12" O.C.

ROOF SHEATHING:

- PROVIDE 7/16" APA RATED PANEL w/ 8d COMMON NAILING @ 6" O.C. EDGE / 12" O.C. FIELD NAILING, or (16 GAUGE 1 1/2" STAPLES @ 6" O.C. FIELD & 4" O.C. EDGE).
- PROVIDE 1" CLIPS AT ALL UNSUPPORTED EDGES.
- 1/8" GAP BETWEEN PANELS AT INSTALLATION.
- SHEATH UNDER ALL OVERBUILD AREAS.
- NAIL SHEATHING INTO ROTATIONAL BLOCKING WITH THE SAME NAILING / STAPLE PATTERN AS ABOVE.

LSO
ENGINEERING

CONSULTING ENGINEERS AND SURVEYORS

12401 South 469 E - C-2
Sandy, Utah 84093
Phone: 801-571-3414
Office: 801-571-3414

Amy Nobis

2280 E Zermatt Circle
Sandy, Utah 84093
801-750-4020
amynobisdrafting@gmail.com

ADU - R1-7,000 zone

Contacts:
-- Email: --

ROOF FRAMING
PLAN &
SHEARWALL

Wesley Brown
1792 South 2100 East
Salt Lake City, UT

REVISIONS

DATE:

12/7/2020

SCALE: (11x17)

1/4" = 1'

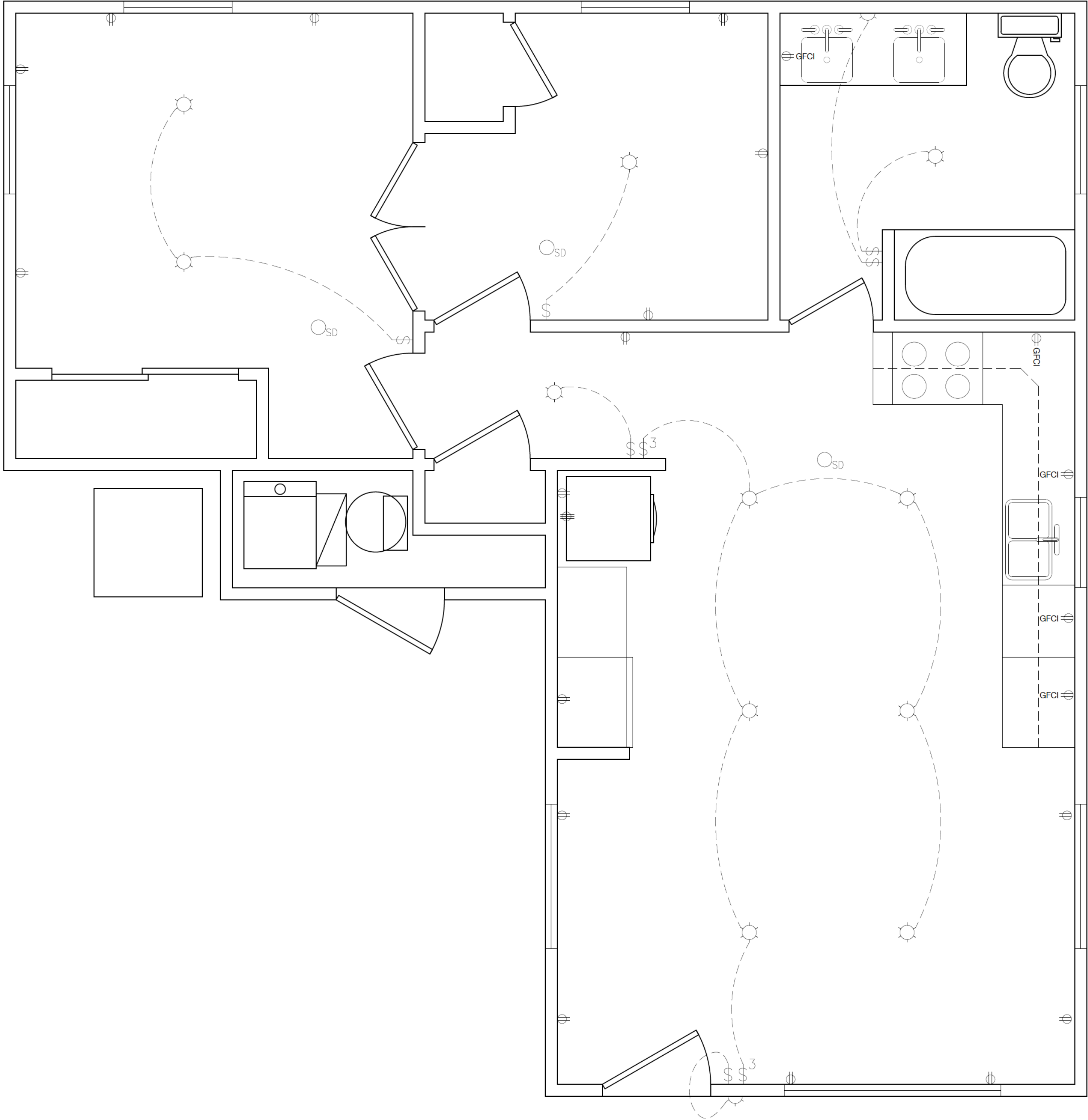
SCALE: (22x34)

1/2" = 1'

SHEET NO.

S103

ROOF FRAMING PLAN & SHEARWALL



ELECTRICAL SYMBOLS	
LIGHT FIXTURES	
	LIGHT FIXTURE
OUTLETS	
ALL RECEPTACLES TO BE TAMPER PROOF.	
	110V. DUPLEX OUTLET
	220V. OUTLET
	GFCI GROUNDFAULT OUTLET
SWITCHES	
	SINGLE POLE SWITCH
	THREE WAY SWITCH
GENERAL	
	CEILING EXHAUST FAN
	SMOKE DETECTOR W/110V. JUNCTION BOX
	CEILING FAN

- ELECTRICAL NOTES:
- ALL RECEPTACLES IN KITCHEN, GARAGE, BATHS, OUTSIDE GRADE LEVEL & IN UNFINISHED AREAS TO BE GFCI PROTECTED.
 - LIGHTS IN CLOSETS SHALL BE IDENTIFIED AS SUITABLE FOR INSTALLATION WITHIN CLOSET/STORAGE AREA & COMPLY WITH IRC E4003.12 & HAVE PROPER CLEARANCE BETWEEN THE FIXTURE & THE NEAREST POINT OF STORAGE.
 - ELECTRICAL PANELS TO COMPLY WITH LOCAL CODE. (MINIMUM CLEARANCE IN FRONT 30" WIDE x 72" HIGH).
 - SMOKE DETECTORS TO COMPLY WITH IRC R317.1 PLACE ON ALL LEVELS & AS SHOWN ON PLANS. ALL SMOKE DETECTORS & CO TO BE HARD WIRED WITH BATTERY BACKUP & BE INTER-CONNECTED PER IRC-R314.3.1. (ONE GOES OFF, ALL GO OFF).
 - MINIMUM OF TWO 20-AMPERE-RATED BRANCH CIRCUITS ARE REQUIRE FOR THE KITCHEN COUNTERTOP RECEPTACLES. THE FRIDGE CAN ALSO BE ON ONE OF THESE CIRCUITS, OR COULD BE ON A SEPARATE 15 AMP OR GREATER CIRCUIT (IRC E3703.2).
 - RECEPTS & CONN. IN GARAGE MUST BE MIN. OF 18" ABOVE FLOOR.
 - PROVIDE A RECEPTACLE IN ALL HALLWAYS OVER 10' IN LENGTH.
 - PROVIDE ARC-FAULT PROTECTION BREAKERS FOR ALL BEDROOMS (INCLUDING: LIGHTS, SWITCHES, SMOKE DETECTORS & RECEPT.).
 - EXTERIOR GFCI OUTLET REQUIRED (FRONT & BACK) PER E3902.3 & TO HAVE A WEATHERPROOF ENCL. PER IRC E4002.9 or E4002.10.
 - INSTALL WEATHERPROOF BUBBLE COVERS ON ALL EXTERIOR OUTLETS NOT PROTECTED BY PORCH OR SIMILAR AREA.
 - PROVIDE A CONCRETE ENCASED ELECTRODE FOR USE AS A GROUNDING ELECTRODE FOR HOUSE WHICH MEETS THE REQUIREMENTS OF SECTION 250-50 (C) OF THE 2015 NEC.
 - AN EXTERNAL ACCESSIBLE INTERSYSTEM BONDING TERMINAL FOR THE GROUNDING & BONDING OF COMMUNICATIONS SYSTEMS IS REQUIRE AT THE SERVICE EQUIPMENT. NEC 250.94.
 - PROVIDE A 110 VOLT ELECTRICAL OUTLET WITHIN 25' OF A/C UNIT.
 - BATHROOM EXHAUST FAN DUCTS MUST DISCHARGE DIRECTLY TO THE OUTSIDE OF THE STRUCTURE PER IRC R303.3 & M1506.2. CLOSE PROXIMITY TO ATTIC &/OR SOFFIT AREAS ARE PROHIBITED. ALL EXHAUST DUCTS MUST CONNECT TO AN OPENING WITH PROPER SCREEN FOR TERMINATORS IN SOFFIT & WALL AREAS & TO AN APPROVED THROUGH THE ROOF DISCHARGE FITTING INSTALLED AS NOT TO BLOCK OR BE STOPPED BY SNOW OR ICE.
 - TAMPER RESISTANT RECEPTACLES ARE REQUIRED FOR ALL RECEPTACLES PER IRC 2015, INCL. GFCI PROTECTED OUTLETS.
 - AFCI CIRCUITS ARE REQUIRED ON ALL KITCHEN & LAUNDRY 15A & 20A CIRCUITS PER IRC E3902.16 IN ADDITION TO GFCI REQUIREMENTS PER IRC E3902.6 & E3209.6.
 - OUTLETS MOUNTED UNDER THE KITCHEN ISLAND COUNTERTOP ARE TO BE NOT MORE THAN 12" BELOW THE TOP OF COUNTERTOP & CANNOT BE LOCATED WHERE THE COUNTERTOP EXTENDS MORE THAN 6" BEYOND ITS SUPPORT BASE (IRC E3901.4.5).
 - CEILING FAN BOXES SHALL BE MARKED BY THEIR MFR. AS SUITABLE FOR THIS PURPOSE (IRC E3905.8).
 - DISHWASHER SHALL HAVE A GFCI OUTLET PER E3903.3 & PROVIDE AN OUTLET RECEPTACLE & PIGTAIL PER IRC E4101.5.
 - RECESSED LIGHTS MUST BE SEALED PER IRC N1102.4.5 & IC RATED WHERE IN DIRECT CONTACT WITH INSULATION PER IRC E404.9.
 - GENERAL PURPOSE RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE OF A WALL SPACE (2' OR MORE IN WIDTH IS MORE THAN 6' FROM A RECEPTACLE OUTLET PER IRC E3901.2).

ELECTRICAL PLAN

CONSULTING ENGINEERS AND SURVEYORS
12401 South 460 E. - C-2
Draper, Utah 84020
Office - 801-571-3414

Amy Nobis
2280 E Zermatt Circle
Sandy, Utah 84093
801-750-4020
amynobisdrafting@gmail.com

ADU - R1-7,000 zone

Contacts:
- Email: --

ELECTRICAL PLAN

Wesley Brown
1792 South 2100 East
Salt Lake City, UT

REVISIONS

DATE:
12/7/2020

SCALE: (11x17)
1/4" = 1'

SCALE: (22x34)
1/2" = 1'

SHEET NO.
E101

ATTACHMENT C: SITE VISIT PHOTOGRAPHS



Top Left:
Principal Building on subject property. Driveway to ADU is shown.



Top Right:
Rear yard where the ADU will be placed



Bottom Left:
Abutting Property to South (duplex). The ADU will be placed behind this property.



Bottom Right:
Abutting Property to North



Top Left:
2100 East looking
south (photo take at
noon)

Top Right:
2100 East looking
north (photo taken at
noon)

ATTACHMENT D: ANALYSIS OF STANDARDS - ACCESSORY DWELLING UNITS

21A.40.200: Accessory Dwelling Units

Standard	Proposed	Findings
Size <i>A [detached] ADU shall not have a footprint that is greater than fifty percent (50%) of the footprint of the principal dwelling, and shall not exceed six hundred fifty (650) square feet (SF).</i>	Principal dwelling is approximately 2,000 SF. Fifty percent (50%) of principal dwelling equals approximately 1,000 SF. Proposed ADU is approximately 650 SF .	Complies
Maximum Coverage <i>The surface coverage of all principal and accessory buildings shall not exceed forty percent (40%) of the lot.</i>	Lot size is approximately 15,064 SF. Forty percent (40%) of the lot is approximately 6,026 SF. Primary Dwelling: 2,000 SF Existing Garage: 530 SF Shed: 80 SF Proposed ADU: 650 SF Total Coverage: 3,260 SF The surface coverage of all principal and accessory buildings (including the proposed ADU) is approximately 21% of the lot.	Complies
Building Height <i>Exception: If the single family dwelling on the property is over seventeen feet (17') in height, an accessory building containing an accessory dwelling unit may be equal to the height of the single family dwelling up to a maximum building height of twenty four feet (24') for an accessory building with a pitched roof or twenty feet (20') for an accessory building with a flat roof provided the accessory building is set back a minimum of ten feet (10') from a side or rear property line. The setback for additional height may be reduced to four feet (4') if the side or rear lot line is adjacent to an alley.</i>	The proposed structure containing the ADU has a pitched roof. Height of proposed ADU pitched roof is approximately 17' .	Complies
Side or Rear Yard Setbacks	Side [North] Lot Line: 104 feet Side [South] Lot Line: 5 feet	Complies

<p><i>A second story addition to an existing accessory building is permitted provided the second story has a minimum setback of ten feet (10') from a side or rear property line and the second story addition complies with all applicable regulations for accessory dwelling units located on a second floor of a detached accessory building. If the side or rear lot line is adjacent to an alley, the setback may be reduced to four feet (4').</i></p>	<p>Side [East] Lot Line: 5 feet Rear [West] Lot Line: 5 feet</p>	
<p>Separation <i>All ADUs [located in an accessory building] shall be located a minimum of ten feet (10') from the single family dwelling located on the same parcel and any single family dwelling on an adjacent property.</i></p>	<p>The proposed ADU is approximately 50 feet from the principal dwelling on the same parcel.</p> <p>The nearest single-family dwelling on an adjacent property is approximately 72'.</p>	<p>Complies</p>
<p>Entrance Locations <i>The entrance to an ADU in an accessory building shall be located:</i></p> <p>(1) <i>Facing a side or rear property line provided the entrance is located a minimum of ten feet (10') from the side or rear property line.</i></p>	<p>The entrance for the proposed ADU is oriented towards the side [north] property line. The entrance is approximately 104" from the side property line.</p>	<p>Complies</p>
<p>Requirement for Windows <i>Windows on an accessory building containing an ADU shall comply with the following standards:</i></p> <p>(1) <i>Windows shall be no larger than necessary to comply with the minimum Building Code requirements for egress where required.</i></p> <p>(2) <i>Skylights, clerestory windows, or obscured glazing shall be used when facing a side or rear property line to comply with minimum Building Code requirements for air and light on building elevations that are within ten feet (10') of a side or rear property line unless the side or rear property line is adjacent to an alley.</i></p> <p>(3) <i>Except as required in subsection E3g(1) of this section, windows shall maintain a similar dimension and design as the</i></p>	<p>There are several windows on all elevations. The proposed windows are similar in size and profile as the windows found on the principal structure.</p> <p>There are several windows proposed within ten feet of a side property line. The proposed windows will be glazed to comply with the ADU ordinance.</p>	<p>Complies</p>

<i>windows found on the principal structure.</i>		
Parking <i>An ADU shall require a minimum of one on-site parking space.</i>	<p>The principal dwelling would have two (2) off-street parking spaces in the existing detached 2-car garage.</p> <p>The proposal would provide two (2) off-street parking spaces for the proposed ADU in the rear yard adjacent to the ADU.</p>	Complies

ATTACHMENT E: ANALYSIS OF STANDARDS – CONDITIONAL USE

21A.54.080: Standards for Conditional Uses

A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title;

Analysis: The proposed ADU use is located in the R-1/7,000 zoning district, which allows for an ADU to be approved through the conditional use process, subject to meeting the specific regulations for an ADU in section 21A.40.200 of the zoning ordinance. As analyzed in [Attachment D](#), the ADU complies with the requirements of 21A.40.200.

Finding: The proposed use will comply with the applicable provisions of the Salt Lake City Zoning Ordinance.

2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;

Analysis: The proposed ADU use is a small residential unit that should be readily compatible with surrounding uses, which are all single-family homes. The proposed ADU meets all the requirements in terms of setbacks and separation requirements between adjacent houses and the principal dwelling on the property. Additionally, the lot is much larger than the typical lot size found in the R-1/7,000 zoning district at 15,064 square feet, leaving adequate space to accommodate the ADU.

Finding: The proposed use is compatible with the surrounding uses.

3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and

Analysis: The proposal is located in the Low-Density Residential neighborhood as established by the Sugar House Master Plan. The master plan designates the future land use of this area as low density residential and the existing zoning on the property is R-1/7,000 Single-Family Residential.

The purpose of the R-1/7,000 Single-Family Residential District is to provide for conventional single-family residential neighborhoods with lots not less than seven thousand (7,000) square feet in size. This district is appropriate in areas of the City as identified in the applicable community Master Plan. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

The purpose of accessory dwelling units are to:

- 1) Create new housing units while respecting the appearance and scale of single-family residential development;
- 2) Provide more housing choices in residential districts;
- 3) Allow more efficient use of existing housing stock, public infrastructure, and the embodied energy contained within existing structures;
- 4) Provide housing options for family caregivers, adult children, aging parents, and families seeking smaller households;
- 5) Offer a means for residents, particularly seniors, single parents, and families with grown children, to remain in their homes and neighborhoods, and obtain extra income, security, companionship, and services;
- 6) Broaden the range of affordable housing throughout the City;
- 7) Support sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption;
- 8) Support transit-oriented development and reduce auto usage by increasing density near transit; and
- 9) Support the economic viability of historic properties and the City's historic preservation goals by allowing accessory dwellings in historic structures.

The proposed ADU is consistent with the following Residential Land Use Goals/Policies included in the Sugar House Master Plan:

- Strengthen and support existing neighborhoods by:
 - Considering appropriate adjacent land uses;
- Design new developments with the following in mind:
 - Creating more affordable housing;
- Provide a diversity of housing types, sizes, and prices in the community as a whole.

The proposal is also consistent with the goals and policies outlined in ***Growing SLC: A Five Year Housing Plan*** which aims to increase housing options, promote diverse housing stock, and allow for additional units while minimizing neighborhood impacts.

Finding: The uses are consistent with applicable adopted city planning policies, documents, and master plans.

4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions (refer to Detrimental Effects Determination analysis below).

21A.54.080B: Detrimental Effects Determination

In analyzing the anticipated detrimental effects of a proposed use, the planning commission, or in the case of administrative conditional uses, the planning director or designee, shall determine compliance with each of the following:

Standards	Finding	Rationale
1. This title specifically authorizes the use where it is located;	Complies	The proposed ADU is an accessory residential use and is allowed as a conditional use within the R-1/7,000 zoning district. The proposed ADU complies with all specific regulations for an ADU including size, height,

		setbacks, distance to other houses, etc. as outlined in Attachment D .
2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps;	Complies	The uses are located in an area zoned and designated by the associated master plan for low density residential. This land use designation allows moderate sized lots (i.e., 5,000-8,000 square feet) where single-family detached homes are the dominant land use. Low-density includes single-family attached and detached dwellings as permissible on a single residential lot subject to zoning requirements.
3. The use is well suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area;	Complies	Uses surrounding the subject property are generally single-family residential properties. The residential lots in this area are large enough to provide separation between the proposed ADU and the principal dwelling on the property as well as adjacent primary residences. The proposal complies with the size requirements for an ADU, which can be up to 50% of the footprint of the primary house up to 650 SF and is compatible with the scale of surrounding accessory buildings and adjacent uses.
4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered;	Complies	As discussed above, the scale of the proposal is compatible with the principal dwelling on the property as well as surrounding structures. The proposal also meets the building footprint and height requirements for an ADU.
5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows;	Complies	The proposal would utilize the existing driveway and parking area in the rear yard. The proposal would not impede traffic flows and no new access points or driveways are proposed.
6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, nonmotorized, and pedestrian traffic;	Complies	It is not anticipated that the proposed ADU would create any adverse impacts in terms of motorized, nonmotorized and pedestrian traffic.
7. The site is designed to enable access and circulation for pedestrian and bicycles;	Complies	The site is designed for pedestrian and bicycle access. There is a path from proposed concrete driveway/pad to the public street.
8. Access to the site does not unreasonably impact the service	Complies	There is vehicular access to the site. No unreasonable impacts to the service

level of any abutting or adjacent street;		level of the adjacent streets is anticipated.
9. The location and design of off-street parking complies with applicable standards of this code;	Complies	Two off-street parking spaces for the proposed ADU would be provided in the rear yard.
10. Utility capacity is sufficient to support the use at normal service levels;	Complies	The Public Utilities provided comments which will need to be addressed during the building permit phase. No capacity issues were identified.
11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts;	Complies	The proposed ADU may result in increased activity in the rear yard of the subject property. The ADU is buffered by a 6 foot tall fence and is more than 30 feet from any adjacent primary dwellings.
12. The use meets city sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke;	Complies	The project supports sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption.
13. The hours of operation and delivery of the use are compatible with surrounding uses;	Complies	The proposed use is an accessory residential structure and is compatible with the surrounding uses that are also residential.
14. Signs and lighting are compatible with, and do not negatively impact surrounding uses; and	Complies	Signs are not associated with this proposal. Any lighting on the accessory structure is not expected to have a negative impact on the surrounding uses or otherwise cause a nuisance.
15. The proposed use does not undermine preservation of historic resources and structures.	Complies	The property is not located within a Local Historic District and the proposal does not involve removal or any historic resources or structures.

Finding: In analyzing the anticipated detrimental effects of the proposed ADU, Staff finds that with the conditions identified in the analysis, the request complies with the criteria listed above.

ATTACHMENT F: PUBLIC PROCESS AND COMMENTS

Public Meetings:

- Sugar House Community Council held a Land Use and Zoning Committee meeting on December 8, 2020. Discussion focused on parking concerns on 2100 East. The applicant is providing two off-street parking spaces to help mitigate the concern of tenants parking on the street. Sugar House Community Council provided a letter which indicates they recommend approval of the project. Please see attached.

Public Notice:

- Early notice of application mailed on November 9, 2020
- Public hearing notice mailed on January 15, 2021
- Public hearing sign posted on the property on January 15, 2021
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on January 15, 2021

Public Comments:

As of the publication of this Staff Report, Staff has received two comments. The first comment was by phone with a follow-up email. The primary concerns discussed were related to parking, traffic, and general neighborhood character. In addition, Staff received an email from a concerned neighbor regarding if the proposed ADU would impact their ability to keep chickens on the neighboring property. Staff determined that it would not impact the ability to keep their chicken coop in the same location. However, if the coop was moved, they would lose the ability to rebuild it. Email correspondence for both comments is included on the following pages.

Any public comments received up to the public hearing meeting will be forwarded to the Planning Commission and included in the public record.

January 20, 2021



TO: Salt Lake City Planning Commission

FROM: Judi Short, Vice Chari and Land Use Chair,
Sugar House Community Council

RE: PLNOCM2020-00830 1972 South 2100 East ADU

When we received notification, we put this project on our website, with a comment form. Then we put it in the SHCC newsletter, and also put flyers (attached) on the porches of neighbors surrounding this project. It was reviewed on December 8 at our Land Use and Zoning committee meeting. The petitioner attended the meeting.

This ADU is to be located in the rear of the L-shaped lot. At some point in the past, the owner of 1972 purchased a piece of the back yard of the parcel next door at 1802 S 2100 East. The ADU will be located in that small portion of the rear yard of 1792, making that lot .35 of an acre, which caused some confusion for the neighbors. The duplex at 1802 was demolished and rebuilt as a duplex last summer, and neighbors thought this would be a third unit on the 1802 parcel. The petitioner was able to clarify that and you can see that in the parcel map included in your packet. The home on 1792 has two big front doors, which makes it look like a duplex. The owner, Wesley Brown, clarified that it is a single-family house, the double doors open on the entryway, which has a stairway up to the first floor, and down to the lower level. And there are two kitchens. Mr. Brown clarified that the basement has a smaller kitchenette. He has a large family, and often his children will come for a visit and bring their children, so an extra kitchen makes that more convenient for everyone. He clarified that it is not a duplex, and not intended to be one. He said he has an aging mother, and at some point, they might want her to live in the basement, or the ADU.

The ADU will be 650 square feet with 2 bedrooms and one bath. The second bedroom is smaller, so it could be a study, or an office, or room for a second person. Double doors go between the two so it could function as one big room. Neighbors were concerned that the ADU would mean additional cars parked on the street, which they say is already overcrowded. Mr. Brown said there were two parking spaces available for the ADU on his property. He also said that he had a very wide driveway that could accommodate visitors to the ADU or his family members or other visitors to the property. There would be no parking on the street.

The neighbors were made aware that they could watch to see that the main home does not turn into a duplex, in addition to having the ADU on the property. This project seems to fit all the criteria and we recommend approval.

Attachment: SHCC Letter, Flyer, and Comments Received

2321 WINDSOR ST ACCESSORY DWELLING UNIT



This is a conditional use request to add an accessory dwelling unit to the property at 1792 South 2100 East. in the R 1/7000 zoning district. It will be detached from the house, and will be located in the rear yard. The ADU will be 650 square feet, including two bedrooms, and 17' in height A single family house is currently on the subject property. One parking space is provided on-site for the ADU. A single parking space will be included on the parcel.

Please read the proposal on our website, and give us your feedback using the comment form. We will send comments along with our letter to the Planning Commission. This proposal will be on the agenda of the Sugar House Community

Council Land Use and Zoning Committee November 16 at 6 p.m. This will be a virtual meeting. **If you provide a comment, we will give you the link to join the meeting using Zoom**

This will be on the agenda at approximately 6:10 pm and if we don't have any comments, we may skip over it. Written comments will be taken any time in the next few weeks.

The plans and the regulations for an Accessory Dwelling Unit are below:

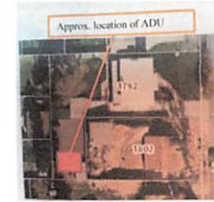
Go here to review the plans and provide a comment.

<https://www.sugarhousecouncil.org/adu-at-1792-south-2100-east/>



www.sugarhousecouncil.org

2321 WINDSOR ST ACCESSORY DWELLING UNIT



This is a conditional use request to add an accessory dwelling unit to the property at 1792 South 2100 East. in the R 1/7000 zoning district. It will be detached from the house, and will be located in the rear yard. The ADU will be 650 square feet, including two bedrooms, and 17' in height A single family house is currently on the subject property. One parking space is provided on-site for the ADU. A single parking space will be included on the parcel.

Please read the proposal on our website, and give us your feedback using the comment form. We will send comments along with our letter to the Planning Commission. This proposal will be on the agenda of the Sugar House Community

Council Land Use and Zoning Committee November 16 at 6 p.m. This will be a virtual meeting. **If you provide a comment, we will give you the link to join the meeting using Zoom**

This will be on the agenda at approximately 6:10 pm and if we don't have any comments, we may skip over it. Written comments will be taken any time in the next few weeks.

The plans and the regulations for an Accessory Dwelling Unit are below:

Go here to review the plans and provide a comment.

<https://www.sugarhousecouncil.org/adu-at-1792-south-2100-east/>



www.sugarhousecouncil.org

COMMENTS RELATED TO ACCESSORY DWELLING UNIT AT 1792 SOUTH 2100 EAST

BRANDON HILL – I don't have any issues with the ADU proposal on 2100 East.

From: Ashleigh Rose <[REDACTED]>
Sent: Wednesday, November 18, 2020 9:37 AM
To: Gilmore, Kristina <Kristina.Gilmore@slcgov.com>; Sugar House <Minnesotaute76@gmail.com>
Subject: (EXTERNAL) Accessory dwelling- 1792 S 2100 E

Hi Krissy and Landon, I am concerned about an accessory dwelling request from a neighbor of mine. I really adore the Browns they are fabulous people and I wish them all the best. However, I am extremely concerned about them putting an accessory dwelling in their backyard. We lived in a once very affluent neighborhood in Southern California that came to its demise after people started to put accessory dwelling's on their properties to help offset the expensive land/housing cost. Once one neighbor put in an accessory dwelling a flood gate was opened and over the course of five years you had thousands of accessory dwelling's going up in the neighborhood. The streets became so crowded with cars that you were having to park two and three deep in your own driveway because you couldn't park your second car out on the street because all of the people renting the accessory dwelling's were taking up parking on the street. It led to single families moving out of the neighborhoods because they got so frustrated. Eventually it lead to both buildings on the plot of land being rented both the main home and the accessory dwelling. In that very same area of Whittier California a neighboring city called Friendly Hills decided to deny accessory dwelling permits and the neighborhood remained really nice and families occupied the homes and then took part in being good community citizens involved in the schools, community councils, caring about the streets the light posts what happened to the trees, etc all the things that the renters in Whittier really didn't care about at all. It wasn't long before the city of Whittier started to deny new accessory dwelling's but by then 65 to 70% of the homes had accessory dwellings and it was just too late before the city Council realized what had been done a decade earlier by people who didn't even live in the area anymore and decided to move to friendly Hills because of what had happened. I am assuming that both of you live in our neighborhood, if not I absolutely must request that this really accessory dwelling permit request be seen by a local counsel of people who live here in this very neighborhood because this is an issue that will affect us tremendously!

Can you please let me know how I put in a formal request that the permit be denied and or that it be taken to a city Council and when that meeting will be?

Thank you,
Ashleigh Rose

Hi Judi and Landon, I just got off the phone with Krissy Gilmore at the planning department of the city she told me that you guys actually already had a meeting about this particular ADU located at 1792 South 2100 E. Permit #PLNPCM2020-00830 On Monday and the neighbors who are actually supposed to have had an opportunity to speak at that community Council meeting or make our concerns known only received our notices in the mail today! I need to find out what happened at that meeting and why it was held before you had an opportunity to hear any input from the community. Can you help me understand what happened? Perhaps I'm not familiar with the entire process Krissy did say it seemed unusual.

My main concern is that the Browns have more than one parking space for their ADU as they are located on a very busy street. When renters take up parking they usually do it on the east side of the street and make it impossible to turn right or left out of Wilson Avenue because they block the intersection and there's no parking or at least not sufficient parking on the west side of the street where the actual plot is located so people park across the street. It has become hazardous with the building project that is happening right next-door to Wes Brown who is the owner of the lot. [REDACTED]

Dayna McKee via sugarhousecouncilorg.kinstamailservice.com 11:38 AM (2 minutes ago)

to me

From: Dayna McKee <[REDACTED]> <2312 S Green St>
Subject: ADU 1792 South 2100 East

My biggest concern for all ADU properties seeking approval is that they actually contribute to the housing stock and are not just turned into short term rentals. The city needs an enforcement mechanism to ensure that these do not become AirBNB properties or the like.

Thank you.

Dayna McKee

From: Xiomara Aranda <[REDACTED]> <1826 S 2100 East>
Subject: ADU 1792 South 2100 East

Please clarify. Over the summer, a duplex was built on this property, not the single family dwelling represented here. Additionally, They have already started an additional structure in the back of the property that does not look like the diagram included in the proposal. Are they expecting 3 dwellings on the property? I hope that proper investigation and a more honest proposal is submitted.

From: [Gilmore, Kristina](#)
To: ["Andrew Scott-Busenbark"](#)
Subject: RE: (EXTERNAL) 1792 S 2100 E
Date: Monday, November 16, 2020 10:03:00 AM

Hi Andrew,

I discussed with my coworkers, and we determined that since the chicken coop is there first, the ADU construction cannot take away your right to have the coop where it is already located. That said, per the non-conforming use chapter, if the coop was removed and not replaced within one year, you would not be able to put it back up, and the new structure would need to meet the setback requirements. This is assuming that we consider an ADU a dwelling, which is up for debate in our office and would need a formal decision by the Zoning Administrator. If we do not consider it a dwelling, then the construction of the ADU shouldn't impact your chicken coop at all.

I hope that is helpful. Please let me know if you have other questions.

Thank you,

KRISSY GILMORE, AICP
Principal Planner
Planning Division

DEPARTMENT of COMMUNITY and NEIGHBORHOODS
SALT LAKE CITY CORPORATION

TEL 801-535-7780
CELL 801-641-9714
Email Kristina.gilmore@slcgov.com

WWW.SLC.GOV/PLANNING

From: Andrew Scott-Busenbark <[REDACTED]>
Sent: Thursday, November 12, 2020 4:30 PM
To: Gilmore, Kristina <Kristina.Gilmore@slcgov.com>
Subject: Re: (EXTERNAL) 1792 S 2100 E

Krissy,

Thank you for doing some investigating and letting me know. I also forgot to mention that my coop is a permanent structure and unable to be moved. Thank you.

Andrew

Sent from my iPhone

Sent from my iPhone

On Nov 12, 2020, at 16:04, Gilmore, Kristina <Kristina.Gilmore@slcgov.com> wrote:

Hi Andrew,

That is a good question. I'm not sure the answer. Let me do some research, and I will get back to you.

Thank you,

KRISSY GILMORE, AICP

Principal Planner
Planning Division

DEPARTMENT of COMMUNITY and NEIGHBORHOODS
SALT LAKE CITY CORPORATION

TEL 801-535-7780
CELL 801-641-9714
Email Kristina.gilmore@slcgov.com

WWW.SLC.GOV/PLANNING

From: Andrew Scott-Busenbark <[REDACTED]@[REDACTED].com>

Sent: Thursday, November 12, 2020 4:07 PM

To: Gilmore, Kristina <Kristina.Gilmore@slcgov.com>

Subject: (EXTERNAL) 1792 S 2100 E

Hi Kristina,

My name is Andrew Scott-Busenbark and I am the homeowner of 1801 Yuma St. I just received the accessory dwelling notification for the property mentioned above. It backs up to my property and the dwelling in question will actually only be 4 or 6 ft from my fence it looks like. My issue and question is: I have a chicken coop located in my back yard and I have an existing permit for them, but the permit does not permit them to be within 50 ft of a dwelling. Currently they meet that requirement, however now they would be way too close to qualify. Does my existing permit allow them to stay and allow them to be grandfathered there? As mentioned, the coop would be within 10 ft of their new dwelling, so it would not be eligible for ANY chicken permit available, either the 25 ft or 50 ft one. What do we do here? Feel free to contact me by email or at [REDACTED]. Thanks.

From: [Gilmore, Kristina](#)
To: ["Ashleigh Rose"](#)
Cc: [Sugar House](#); ["Judi Short"](#)
Subject: RE: (EXTERNAL) Accessory dwelling- 1792 S 2100 E
Date: Wednesday, November 18, 2020 11:33:00 AM
Attachments: [ADU TRACKING SHEET 10-20-2020.pdf](#)

Hi Ashleigh,

To follow up on our phone conversation, here are few resources:

- I have attached a list of all ADU applications that have been submitted. This is current as of October 20, 2020.
 - The first 60% or so were submitted before 2020 (primarily 2019), and those highlighted in blue were submitted for in 2020.
 - If they are highlighted in yellow it means that they have actually been built.
 - If they are crossed out in red, they withdrew their request.
- 2019 ADU Annual Report:
http://www.slcdocs.com/Planning/Reports/2019/adus_annual_report_2019.pdf
 - We will produce a 2020 annual report in early 2021. There is a map on page 7 that shows where ADUs were built in 2019. You are in District #6.
- To understand the requirements of ADUs in Salt Lake City, here is the guidebook:
http://www.slcdocs.com/Planning/Guides/ADU_handbook.pdf
- Councilmember Dan Dugan represents you on the City Council: dan.dugan@slcgov.com/ 801-535-7784

I don't believe I was able to tell you this on the phone, but for your information, the proposed ADU at 1792 S 2100 E will likely go before the Planning Commission at either their January 13th meeting or January 27th meeting. You will have a chance to speak at that meeting during the public hearing portion of the agenda. You can also submit comments to me via email that I will include in my report to them (I can include your original email or you are welcome to revise it, or I can include both).

Please let me know if you have any questions.

Thank you,

KRISSY GILMORE, AICP
Principal Planner
Planning Division

DEPARTMENT of COMMUNITY and NEIGHBORHOODS
SALT LAKE CITY CORPORATION

TEL 801-535-7780
CELL 801-641-9714
Email Kristina.gilmore@slcgov.com

WWW.SLC.GOV/PLANNING

From: Ashleigh Rose [REDACTED] >

Sent: Wednesday, November 18, 2020 9:37 AM

To: Gilmore, Kristina <Kristina.Gilmore@slcgov.com>; Sugar House <Minnesotaute76@gmail.com>

Subject: (EXTERNAL) Accessory dwelling- 1792 S 2100 E

Hi Krissy and Landon, I am concerned about an accessory dwelling request from a neighbor of mine. I really adore the Browns they are fabulous people and I wish them all the best. However, I am extremely concerned about them putting an accessory dwelling in their backyard. We lived in a once very affluent neighborhood in Southern California that came to its demise after people started to put accessory dwelling's on their properties to help offset the expensive land/housing cost. Once one neighbor put in an accessory dwelling a flood gate was opened and over the course of five years you had thousands of accessory dwelling's going up in the neighborhood. The streets became so crowded with cars that you were having to park two and three deep in your own driveway because you couldn't park your second car out on the street because all of the people renting the accessory dwelling's were taking up parking on the street. It led to single families moving out of the neighborhoods because they got so frustrated. Eventually it lead to both buildings on the plot of land being rented both the main home and the accessory dwelling. In that very same area of Whittier California a neighboring city called Friendly Hills decided to deny accessory dwelling permits and the neighborhood remained really nice and families occupied the homes and then took part in being good community citizens involved in the schools, community councils, caring about the streets the light posts what happened to the trees, etc all the things that the renters in Whittier really didn't care about at all. It wasn't long before the city of Whittier started to deny new accessory dwelling's but by then 65 to 70% of the homes had accessory dwellings and it was just too late before the city Council realized what had been done a decade earlier by people who didn't even live in the area anymore and decided to move to friendly Hills because of what had happened. I am assuming that both of you live in our neighborhood, if not I absolutely must request that this really accessory dwelling permit request be seen by a local counsel of people who live here in this very neighborhood because this is an issue that will affect us tremendously!

Can you please let me know how I put in a formal request that the permit be denied and or that it be taken to a city Council and when that meeting will be?

Thank you,
Ashleigh Rose

ATTACHMENT G: DEPARTMENT REVIEW COMMENTS

Public Utilities (Jason Draper at jason.draper@slcgov.com or 801-483-6751)

Public Utilities has no issues with the proposed detached ADU. Comments describing Public Utilities requirements have been included to assist applicant in the building permit process.

- Public Utility permit, connection, survey, and inspection fees will apply.
 - All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.
 - All utilities must meet horizontal and vertical clearance requirements. Water and sewer lines require 10 ft minimum horizontal separation and 18" minimum vertical separation. Sewer must maintain 5 ft minimum horizontal separation and 12" vertical separation from any non-water utilities. Water must maintain 3 ft minimum horizontal separation and 12" vertical separation from any non-sewer utilities.
 - Only one culinary water meter is permitted per parcel. The existing water meter and service will be required to be used/extended to the proposed ADU. SLCPU will allow a separately connected fire line from the 8" public water main, if required for fire suppression. Fire suppression and culinary water must be separate and require entirely independent connections to the public main.
 - The existing sanitary sewer lateral will need to be televised prior to permitting a sewer connection to the existing lateral from the ADU. Alternatively, a second sewer lateral may be installed from the ADU to the 8" public sewer main to supply gravity sewer to the ADU.
 - The ADU cannot be serviced by a sewer ejector pump.
 - Utilities cannot cross property lines without appropriate easements and agreements between property owners.
 - Site stormwater must be collected on site and routed to the public storm drain system. Stormwater cannot discharge across property lines or public sidewalks.

Engineering (Scott Weiler at scott.weiler@slcgov.com or 801-535-6159)

No comments

Transportation (Michael Barry at michael.barry@slcgov.com or 801-535-7147)

The parking appears to be acceptable.

Fire (Douglas Bateman at douglas.bateman@slcgov.com)

The ADU shall meet the following section of the International Fire Code Section, 503.1.1 Buildings and facilities. ("Approved" is defined as the height of the structure times 70 % plus 4 feet will be the dimension measured from the exterior wall. This definition was placed in affect as per FPB (6-8-18)) Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Exceptions: 1. The fire code official is authorized to increase the dimension of 150 feet (45 720 mm) where any of the following conditions occur: 1.1. The building is equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3. 1.2. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided. 1.3. There are not more than two

Group R-3 or Group U occupancies. Also a fire hydrant shall be within 600' of all exterior walls of the first floor. 507.5.1 Where required. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exceptions: 1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet (183 m). 2. For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet (183 m).

Any structure outside of the 150-foot from fire access road shall be provided with fire sprinklers, which shall be supplied from an independent water source (fire line) that is a minimum of 2-inches. Alternate Means and methods application will be necessary to be applied for related to the fire sprinklers.

Zoning (Scott Browning at scott.browning@slcgov.com or 801-535-6000)

1. Does the 650 ft.² include the covered porch area? Covered porches are required to be included in the dimensions: *The floor area of a building shall include basement floor area, penthouses, attic space having headroom of seven feet (7') or more, interior balconies and mezzanines, enclosed porches, and floor area devoted to accessory uses. Space devoted to open air off street parking or loading shall not be included in floor area.*

Planning response: Applicant revised plans to comply with 650 SF requirement.

2. Need to see setbacks of the ADU from adjacent property lines.

Planning response: setbacks are shown. They are 5' and meet the requirement.

3. Need to see location of windows – If that portion of the lot is 40' and the ADU is 34.16", it does not meet the setback requirements for Windows:

(1) Windows shall be no larger than necessary to comply with the minimum Building Code requirements for egress where required. Skylights, clerestory windows, or obscured glazing shall be used when facing a side or rear property line to comply with minimum Building Code requirements for air and light on building elevations that are within ten feet (10') of a side or rear property line unless the side or rear property line is adjacent to an alley.

Planning response to applicant: Windows were revised and will be glazed to comply.

4. Need to see location of AC unit for ADU along with its dimension to the adjacent property line.

Planning response: AC unit shown on site plan.

5. Need an elevation drawing of the ADU and the main dwelling. The height of the ADU may not exceed 17' – 24' or be taller than the main dwelling on the property.

Planning Response: Elevation was provided on page 3 of the plan set. ADU meets requirement of 17'.

Building

No comments at this time.