Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Linda Mitchell, Principal Planner, linda.mitchell@slcgov.com

Date: May 7, 2020

Re: PLNPCM2019-01147 – *Detached Accessory Dwelling Unit*

Conditional Use

PROPERTY ADDRESS: 1371 South 500 East
PARCEL ID: 16-18-226-004-0000
MASTER PLAN: Central Community – Low Density Residential
ZONING DISTRICT: R-1/5,000 Single-Family Residential

REQUEST: Alexis Suggs, property owner representative, is requesting Conditional Use approval for a detached accessory dwelling unit (ADU) on a property located at approximately 1371 South 500 East. The detached ADU would have a gross floor area of approximately 650 square feet. The property is zoned R-1/5,000 Single-Family Residential, which requires Conditional Use approval for the construction of an ADU.

RECOMMENDATION: Based on the information in this staff report, Staff recommends that the Planning Commission approve the Conditional Use request as proposed, and subject to complying with the following conditions:

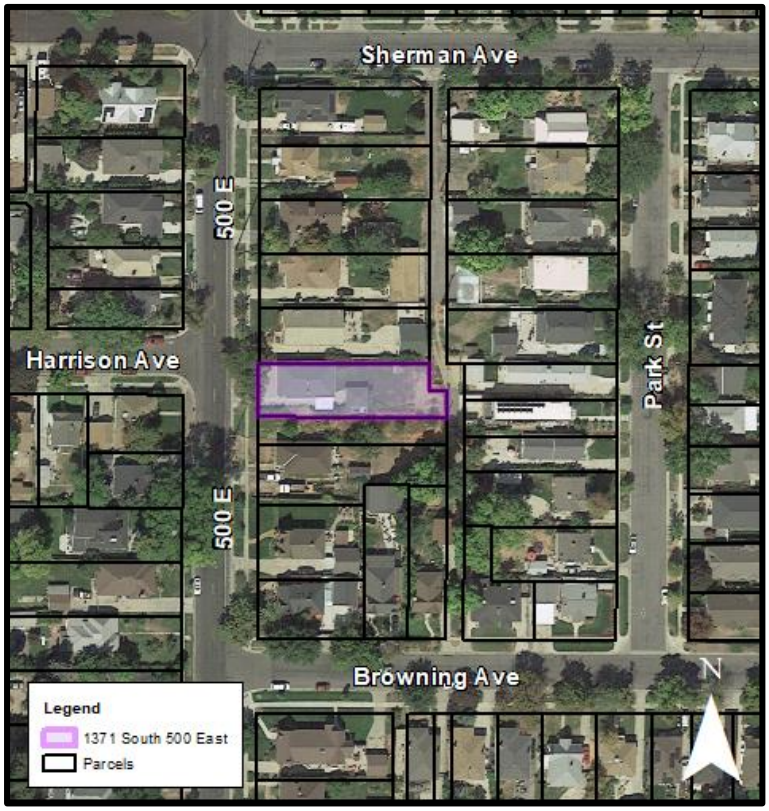
1. Compliance with all Department/Division comments and conditions as noted in Attachment G.
2. The property owner shall comply with the registration process as outlined in section 21A.40.200F of the Salt Lake City Zoning Ordinance.

ATTACHMENTS:

A. Vicinity Map
B. Plans
C. Site Visit Photographs
D. Analysis of Standards - Accessory Dwelling Units
E. Analysis of Standards – Conditional Use
F. Public Process and Comments
G. Department Review Comments

PROJECT DESCRIPTION:

This petition for a Conditional Use is for a detached ADU to be placed in the rear yard of the existing single-family dwelling located at approximately 1371 South 500 East. The subject parcel is located on 500 East, between Harrison Avenue and Browning Avenue.



The proposed detached ADU would be located in the southeast corner of the rear yard. The existing detached shed would be removed. The existing detached garage would be demolished and replaced. The building footprint is approximately 650 square feet. It would be a one-story structure containing one (1) bedroom and one (1) bathroom with a shed roof measured approximately 14 feet 3 inches (14' - 3") in height. The primary exterior building material is six inch (6") vertical wood siding. The proposed detached ADU has a patio area that would be screened by a new six-feet (6') high wooden fence. The ADU entrance would face the south interior lot line (Figure 1). There are several windows on the south and west elevations (Figure 2). The proposed window on the north elevation will be within 10 feet of the side property line; therefore, it is an obscured window. The proposed windows are similar in size and profile as the windows found on the principal structure. The pedestrian access goes through the proposed concrete walkway to the existing driveway, starting from the [west] ADU patio gate to 500 East.

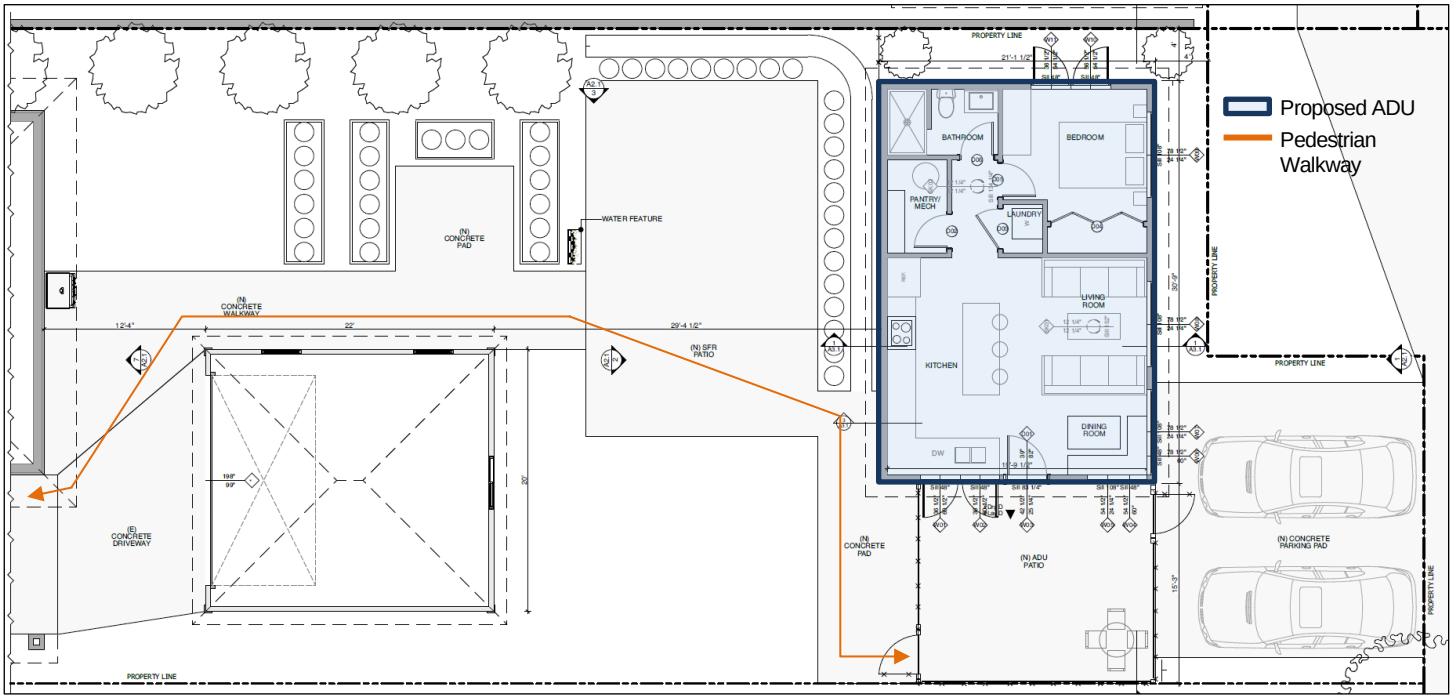


Figure 1. Rear Yard Site Plan

The parking for the existing house is accommodated by two (2) off-street parking spaces in the detached garage and an additional parking space under the attached carport, both accessed from 500 East. The proposal would provide two (2) parking spaces for the ADU, where only one (1) parking space is required and it would be located off-street in the rear yard with access from the alley.

Figure 2. Project Renderings (Top: Southwest Elevation; Bottom: Southeast Elevation)

KEY CONSIDERATIONS:

1. **Parking Location**
   The Zoning Ordinance requires one (1) parking space for an ADU. The required parking space may be located on the property or on the street, if legal on-street parking space is available in the front of the property. In this case, two (2) off-street parking spaces would be provided in the rear yard with access from the alley.

2. **Housing Goals**
   The proposed ADU is consistent with the goals and policies outlined within The Growing SLC Housing Plan. One of the goals outlined in the Housing Plan, includes; increasing housing options. Accessory dwelling units provide and promote diverse housing stock through providing additional units, while minimizing neighborhood impacts. The proposed ADU is in-line with the goals established within the Housing Plan. Housing goals are also addressed under Standard 3 within Attachment E.

3. **Central Community Master Plan**
The proposed ADU is consistent with the following Residential Land Use Goals/Policies included in the Central Community Master Plan:

- Encourage the creation and maintenance of a variety of housing opportunities that meet social needs and income levels of a diverse population.
- Ensure preservation of low-density residential neighborhoods.
- Encourage a mix of rental properties for those who cannot afford or do not choose home ownership (RLU-3.2).
- Support the efforts of the Housing Division and the Redevelopment Agency to provide residential construction in all qualifying neighborhoods within the Central Community (RLU3.5).

The proposed ADU is consistent with the Central Community Master Plans as discussed in Attachment E.

PLANNING COMMISSION REVIEW:
The property is zoned R-1/5,000 Single-Family Residential. A Conditional Use approval is required for any ADUs that are located in a single-family zoning district. For complete analysis and findings for compliance with zoning standards for Accessory Dwelling Units and Conditional Use standards, please refer to Attachment D and Attachment E.

NEXT STEPS:
Approval of Conditional Use
If approved, the applicant may proceed with the project, subject to all conditions imposed by City departments and/or the Planning Commission and will be required to obtain all necessary permits. Building permits and certificate of occupancy for the building would only be issued contingent upon all conditions of approval are met, including the registration process requirements outlined in 21A.40.200F of the zoning ordinance.

Denial of Conditional Use
State and City code require that a Conditional Use be approved if reasonable conditions can be imposed on the use to mitigate any reasonably anticipated detrimental effects of the use. A Conditional Use can only be denied if the Planning Commission finds that reasonably anticipated detrimental effects cannot be mitigated with the imposition of reasonable conditions.

If denied, the applicant would not be permitted to construct an ADU. An accessory building would be permitted on the property subject to compliance with the development standards and requirements of the R-1/5,000 Single-Family Residential District; however, no portion of the building may be used as a dwelling unit.

ATTACHMENT A: VICINITY MAP

GUIDO ADU

1371 S 500 E
SALT LAKE CITY, UT 84105

PROJECT TEAM

OWNER:	CHRIS & ROB GUIDO 1371 S 500 E SALT LAKE CITY, UT 84105 robguido@gmail.com
ARCHITECT:	BRACH DESIGN LLC DAVE BRACH RA, CPHC 801-865-7648 dave@brachdesign.com
STRUCTURAL ENGINEER:	COMPASS ENGINEERING WAYNE STAKER, PE, SE 801-864-2197 compassengr@hotmail.com

ENERGY REQUIREMENTS

BUILDING ENVELOPE REQUIREMENTS - CLIMATE ZONE 5

WINDOW U-FACTOR	0.32
SKYLIGHT U-FACTOR	0.55
WINDOW SHGC	NOT REQUIRED
ROOF R-VALUE	R-49
WOOD FRAME WALL R-VALUE	R-20 OR R13 CAVITY + 5 CONTINUOUS
CRAWLSPACE WALL R-VALUE	R-15 CONTINUOUS OR R-19 CAVITY
FLOOR R-VALUE	R-30
SLAB	R-10, 2' DEEP
MASS WALL	R-13 OR R-17 WHEN MORE THAN HALF THE INSULATION IS ON THE INT. OF THE WALL
BASEMENT WALL *SOURCE: IRC TABLE N1102.1.2*	R-15 CONTINUOUS OR R-19 CAVITY

GUIDO ADU BUILDING ENVELOPE

WINDOW U-FACTOR	0.32
SKYLIGHT U-FACTOR	0.55
WINDOW SHGC	NOT REQUIRED
ROOF R-VALUE	R-56
WOOD FRAME WALL R-VALUE	R-21
CRAWLSPACE WALL R-VALUE	N/A
FLOOR R-VALUE	N/A
SLAB	R-10, 2' DEEP
MASS WALL	N/A
BASEMENT WALL *SOURCE: IRC TABLE N1102.1.2*	N/A

UTAH ENERGY CODE

PROJECT MUST BE IN COMPLIANCE WITH ALL CRITERIA LISTED IN TABLE R402.4.1.1 - AIR BARRIER AND INSULATION INSTALLATION PROVIDED IN UTAH AMENDMENTS TO CHAPTER 4 OF THE 2012 IECC.

AIR LEAKAGE

PROJECT MUST BE IN COMPLIANCE WITH ALL CRITERIA LISTED IN IRC SECTION N1102.4 (IECC 402.4.1.1) & TABLE N1102.4.1.1, AS WELL AS ALL UTAH STATE CODE AMENDMENTS TO IRC & IECC.

THE BUILDING SHALL BE TESTED & VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR AT 50Pa (ACH50).

PROJECT RENDERING

VICINITY PLAN

SHEET INDEX

PREFIX	ID	Name
0001		SHEET INDEX
0002	A0.1	COVER SHEET
0003	A0.3	3D VIEWS
0004	A0.4	SITE PLAN
0005	A0.5	SITE PLAN
0006	A0.6	FIRE ACCESS PLAN
0007	A1.1	FIRST FLOOR PLAN
0008	A2.1	NEW ELEVATIONS
0009	A3.1	BUILDING SECTION
0010	MPE.1	ELECTRICAL/PLUMBING PLANS
0011	S0.1	GENERAL STRUCTURAL NOTES
0012	S0.2	STRUCTURAL PLANS
0013	S1.1	STRUCTURAL DETAILS

GENERAL PROJECT INFO

PROJECT ADDRESS:	1371 S 500 E SALT LAKE CITY, UT 84105	
SCOPE OF WORK:	NEW ADU	
ZONING DISTRICT:	R-1-5000	
GOVERNING BUILDING CODES:	2015 IRC	
CONSTRUCTION:	TYPE VB	
OCCUPANCY:	GROUP R-3	
ARCHITECT:	BRACH DESIGN LLC DAVE BRACH RA, CPHC 801-865-7648 dave@brachdesign.com	
STRUCTURAL ENGINEER:	COMPASS ENGINEERING WAYNE STAKER, PE, SE 801-864-2197 compassengr@hotmail.com	
PROJECT AREAS:		SQ. FT.
	LOT AREA	8262.5
	TOTAL EXISTING BUILT SURFACE COVERAGE	2040 24.7%
	TOTAL NEW BUILT SURFACE COVERAGE	2627 31.8%
	MAX ALLOWED TOTAL SURFACE COVERAGE	3306 40%
	NEW REAR YARD SURFACE COVERAGE	1090 22.4%
	EXISTING HOUSE EXISTING COVERED PORCH EXISTING CARPORT EXISTING GARAGE EXISTING SHED NEW ADU	1227 139 190 440 63 650

Blue Stakes of UTAH811
Bluestakes.org

ARCHITECTURE

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GUIDO ADU
1371 S 500 E
SALT LAKE CITY, UT 84105

REVISIONS:

PROJECT NO:

DATE: 5/5/20

DRAWN BY:

SCALE: AS NOTED IN DRAWING

COVER SHEET
A0.1

ARCHITECTURE

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REVISIONS:

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SCALE: AS NOTED IN DRAWING

3D VIEWS
A0.3

LINETYPE LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- CONTOUR EXISTING
- CONTOUR NEW
- G — GAS
- W — WATER
- S — SEWER
- P — POWER
- ROOF LINE
- JOIST CENTERLINE
- BEAM/HEADER CENTERLINE
- HIDDEN LINE
- 4" PERF PIPE IN GRAVEL BED
- STRAW WATTLE
- TREE PROTECTION FENCE
- FIRE SPRINKLER

SITE & UTILITY NOTES

S1. FOOTINGS SHALL BEAR ON FIRM UNDISTURBED NATIVE SOIL, OR COMPACTED ENGINEERED FILL PER CIVIL ENGINEER'S SPECIFICATIONS. IF ORGANIC MATERIAL, SILT OR CLAY IS ENCOUNTERED DURING EXCAVATION, NOTIFY ARCHITECT.

S2. THE OWNER AND ARCHITECT SHALL DETERMINE WHICH TREES ARE TO BE TRANSPLANTED OR MAINTAINED DURING CONSTRUCTION. ALL TREES DESIGNATED FOR REMOVAL SHALL BE MARKED FOR REVIEW BY THE OWNER OR ARCHITECT.

S3. TOPSOIL AND LARGE BOULDERS SHALL BE STOCKPILED FOR FUTURE USE BY THE OWNER.

S4. OBTAIN TOPSOIL FROM LOCAL SOURCES. NO TOPSOIL SHALL BE OBTAINED FROM BOGS OR MARSHES.

S5. SURFACE WATER SHALL DRAWIN AWAY FROM HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR TO AN APPROVED DRAINAGE COURSE BUT NOT ONTO NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.

S6. TREE STUMPS AND ALL DEAD FOLIAGE SHOULD BE FULLY REMOVED FROM AROUND AND UNDER THE BUILDING SITE AND DISPOSED OF OFFSITE SO THAT THEY DO NOT ATTRACT TERMITES AND OTHER PESTS.

S7. COMPACT UNDER-SLAB AREAS TO MINIMUM 95% DENSITY. BACKFILL AREAS NOT UNDER SLABS OR FOUNDATIONS TO MINIMUM 90% ASTM D-685. PRIOR TO BACKFILLING, WALLS SHALL BE LATERALLY BRACED BY THE FLOOR FRAMING AT THE TOP AND THE BASEMENT SLAB AT THE BOTTOM, OR OTHER ADEQUATE TEMPORARY SHORING WHERE APPLICABLE. FILL WHICH IS DIRECTLY UNDER CONCRETE SLABS ON GRADE SHALL BE A MINIMUM FOUR INCHES OF COMPACTED GRANULAR FILL. BASE FILL FOR CONCRETE SLABS AND WALK TO BE GRADED SAND, FREE OF ORGANIC MATTER. BACKFILL EXCAVATIONS AS PROMPTLY AS WORK PERMITS WITH SUBSOIL GRADED FREE OF LUMPS LARGER THAN 6" ROCKS LARGER THAN 3" AND DEBRIS. BACKFILL AROUND BUILDING AND UP TO EDGE OF WALKS TO DRAIN WATER AWAY FROM BUILDING. LEAVE FINAL GRADED AREAS RAKED SMOOTH. BACKFILLING MATERIAL TO BE FREE OF DEBRIS, ORGANIC MATERIAL AND SILT. BACKFILL TO BE GOOD QUALITY WELL DRAINING SAND OR GRAVEL FOR A MINIMUM 1.5 FEET BACK FROM FACE OF WALL.

S8. PROVIDE NECESSARY CAUTIONS TO PREVENT SOIL EROSION.

S9. COMPLY WITH IRC CHAPTER 4 FOR EXCAVATIONS, FILLS, CUTS AND GRADING. FOR CUT SLOPES AND GRADE FILL STEEPER THAN 2:1, REFER TO STRUCTURAL NOTES/DETAILS.

S10. BALANCE CUT AND FILL FOR SLABS ON GRADE AND DRIVEWAY TO REDUCE EXPORT FROM SITE.

S11. THE CONSTRUCTION AREA AND ACCESS TO THE CONSTRUCTION AREA SHALL BE AS SMALL AS REASONABLE TO FACILITATE CONSTRUCTION. THIS AREA IS TO BE CLEARLY DEMARCATED AND ROPED OFF TO PREVENT ANY DESTRUCTION OF NATURAL TERRAIN OUTSIDE OF CONSTRUCTION AREA BY CONSTRUCTION VEHICLES.

S12. THE OWNER AND ARCHITECT SHALL APPROVE THE SITE LAYOUT PRIOR TO DIGGING THE FOOTINGS.

S13. DIRECT ROOF WATER RUNOFF AND SURFACE RUNOFF AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL MIN. 6" IN THE FIRST 10 FEET. WHERE PROXIMITY TO LOT LINES PROHIBITS THIS, DRAINS OR SWALES SHALL BE USED.

← ARROW INDICATES DIRECTION OF SURFACE DRAINAGE

S14. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL SLOPE 2% MIN.

S15. SURFACE DRAINAGE SHALL BE DIVERTED TO STORM SEWERS OR DRYWELLS, NOT ONTO NEIGHBORING PROPERTIES.

S16. ELEVATION POINTS AT CORNERS OF BUILDINGS AND LOT REFER TO ESTABLISHED GRADE. ELEVATION POINTS AT ROOF LINES REFER TO RIDGES.

S17. CONTACT ROCKY MOUNTAIN POWER TO COORDINATE THE RELOCATION OF EXISTING ELECTRICAL SERVICE DROPS AND TO ESTABLISH TEMPORARY SERVICE.

S18. CALL BLUE STAKES BEFORE ANY DIGGING OR EXCAVATING. 811 OR 1-800-662-4111

S20. NOT USED

SITE & UTILITY NOTES

S21. ALL WORK IN THE PUBLIC WAY SHALL CONFORM TO APWA 2012 STANDARD PLANS AND SPECIFICATIONS.

S22. PRIOR TO ANY WORK IN THE PUBLIC WAY, A LICENSED, BONDED, AND INSURED CONTRACTOR MUST FIRST OBTAIN A PUBLIC WAY PERMIT FROM SLC ENGINEERING PERMITS OFFICE. A TRAFFIC CONTROL PERMIT MAY BE REQUIRED FROM SLC TRANSPORTATION.

S23. ALL UTILITIES ONTO SITE WILL BE PLACED WITHIN EASEMENTS OR PLACED UNDERGROUND. UTILITY BOX LOCATIONS MUST MEET 21A.40.160.D OR A CONDITIONAL USE APPLICATION IS NEEDED.

S24. CONTRACTOR TO CONTACT PUBLIC UTILITIES TO OBTAIN UTILITY PERMIT AND TO SCHEDULE SURVEY, INSPECTIONS, AND WYE CONNECTION 1530 S WEST TEMPLE – 801-483-6727.

S25. MUD TRACKED ONTO THE STREET MUST BE CLEANED PRIOR TO THE END OF THE WORKDAY.

S26. CONSTRUCTION SITE MUST BE MAINTAINED IN A NEAT MANNER. TRASH AND OTHER DEBRIS MAY NOT ACCUMULATE OUTSIDE THE DUMPSTER.

S27. ROADSIDE PARKING IS NOT ALLOWED FROM NOV. 1 THRU APRL 1.

S28. NOT USED

S29. ALL UTILITY TRENCH WORK AND TRENCH RESTORATION IN THE PUBLIC WAY SHALL BE CONSTRUCTED AS PER APWA STANDARD PLAN 255. (FOR ANY NEW TRENCH WORK IN STREET)

S30. NOT USED

S31. THE DRIVE APPROACH SHALL BE CONSTRUCTED AS PER APWA 225.

S32. PRIOR TO OCCUPANCY PERMIT BEING ISSUED, IT IS RECOMMENDED THAT ALL TRIP HAZARDS ON THE PUBLIC SIDEWALK BE REMOVED.

S33. NOT USED

S34. NOT USED

S35. NOT USED

S36. ALL NEW SEWER LINES TO BE 4" PVC-SDR 35 AT MIN. 2% SLOPE

S37. CONTRACTOR IS TO ABIDE BY THE UTAH DIVISION OF AIR QUALITY REQUIREMENTS AND SHALL CONTACT THE UTAH DIVISION OF AIR QUALITY AT 801-536-4000.

S38. TRENCH RESTORATION PER APWA STANDARD PLAN 255.

S39. ALL GRADING AROUND THE HOME WILL SLOPE AT LEAST 5% AWAY FROM THE HOME FOR PROPER DRAINAGE AS REQUIRED BY IRC R401.3

S40. INSTALL SEWER CLEAN-OUTS AT PROPERTY LINES, AT ALL CHANGES IN DIRECTION OF SEWER PIPES, AND EVERY 50' OF PIPE.

S41. PUBLIC WAY PERMIT REQUIRED TO TERMINATE/CAP/KILL ANY EXISTING SERVICES IN THE PUBLIC WAY.

S42. PROTECT EXISTING DRIVE APPROACH, SIDEWALK, AND CURB AND GUTTER. DAMAGE SHALL BE REPLACED TO THE NEAREST JOINT PER APWA STANDARDS.

S43. LANDSCAPE DESIGN IS NOT INCLUDED IN THIS DOCUMENT. LANDSCAPING, LANDSCAPE ACCESSORIES, AND SITE FURNISHINGS WILL BE UNDER SEPARATE CONTRACT BETWEEN OWNDER AND LANDSCAPE CONTRACTOR. EXCEPTION: SOIL AND SITE IMPROVEMENTS REQUIRED FOR BUILDING CONSTRUCTION TO BE INCLUDED IN THIS CONTRACT.

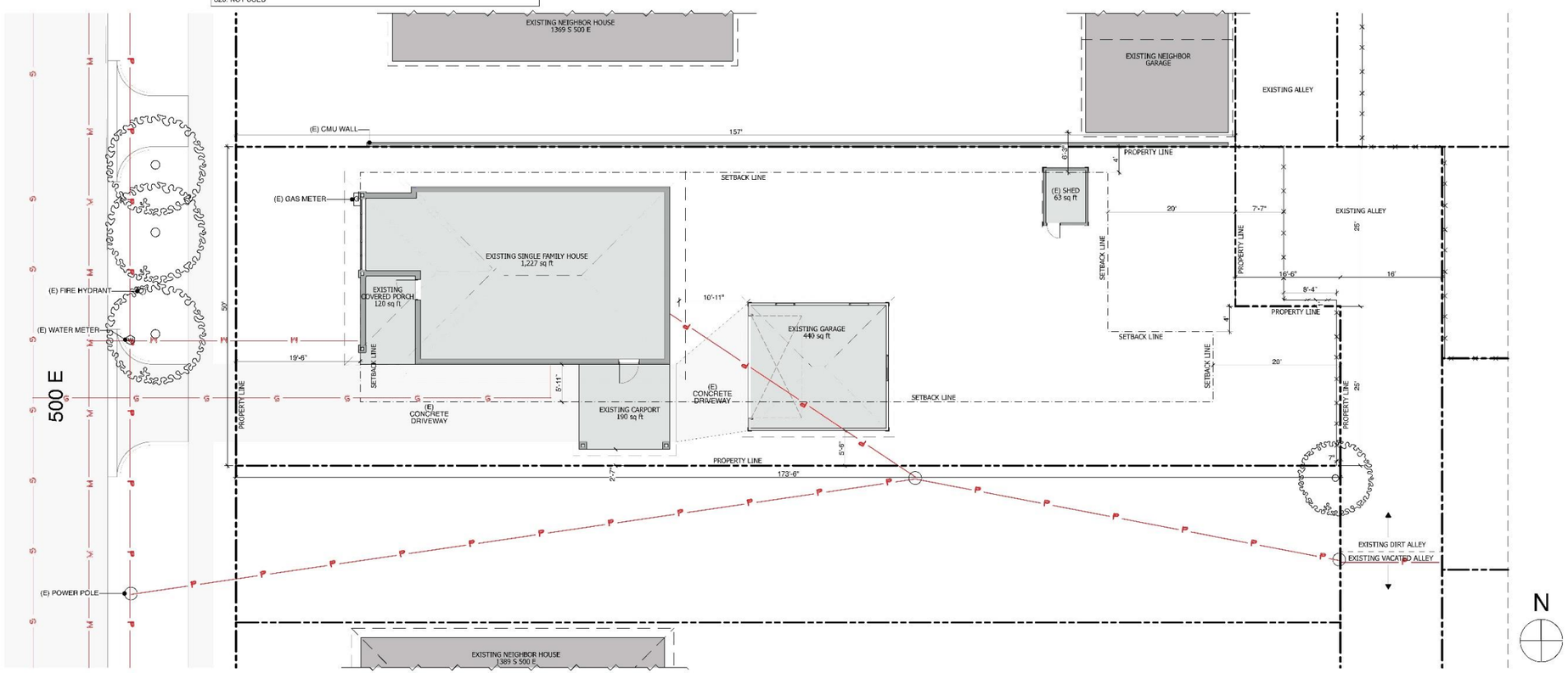
S44. USE A BARRIER CLOTH UNDER EXTERIOR WALKWAYS TO PREVENT OVERGROWTH. PROTECT EXISTING TREES AND VEGETATION, WHICH ARE TO REMAIN. REPAIR OR REPLACE ANY DAMAGED VEGETATION OR TERRAIN THAT IS INDICATED TO BE PROTECTED OR IS MORE THAN EIGHT FEET FROM THE EDGE OF ANY SPECIFIED CONSTRUCTION AREA.

SITE & UTILITY NOTES

S45. A DRAINAGE SYSTEM SHALL BE INSTALLED AROUND THE PERIMETER OF THE FOUNDATION FOOTING. THE DRAINAGE SYSTEM SHALL CONSIST OF THE FOLLOWING ITEMS: DAMP-PROOFING SHALL BE CAREFULLY APPLIED ACCORDING TO MANUFACTURER'S DIRECTIONS TO COVER ALL BELOW GRADE SURFACES TO FORM A WATERTIGHT BARRIER. CARE SHALL BE TAKEN DURING BACKFILLING AND OTHER CONSTRUCTION TO PREVENT DAMAGE TO THE DAMP-PROOFED SURFACE; A FREE-DRAINING BACKFILL OF 3/4" MINIMUM CRUSHED STONE OR GRAVEL THAT IS FREE OF SMALLER PARTICLES SHALL BE USED TO LINE AND FILL THE EXCAVATION FOR ALL BELOW-GRADE WALLS: AN ENGINEERED DRAINAGE SYSTEM MAY BE SUBSTITUTED FOR A FREE DRAINING BACKFILL; A FRENCH DRAIN SHALL BE INSTALLED SO THAT ALL PERFORATED PIPES ARE LOCATED BELOW THE LEVEL OF THE BOTTOM SURFACE OF THE FOOTING. FRENCH DRAIN PERFORATED PIPES SHALL BE INSTALLED WITH THE HOLES DWON TO ALLOW WATER TO RISE INTO THE PIPE. THE PERFORATED PIPE SHALL BE SURROUNDED AND SET IN A MINIMUM OF 2" DEPTH BED CONSISTING OF 3/4" MIN. CRUSHED STONE FREE OF SMALLER PARTICLES; THE PERFORATED PIPE AND CRUSHED STONE SHALL BE SURROUNDED BY A FILTER MEMBRANE TO PREVENT ADJACENT SOIL FROM WASHING INTO AND CLOGGING THE FRENCH DRAIN SYSTEM; FRENCH DRAINS SHALL BE SLOPED DOWNWARD A MINIMUM OF 1/4" PER FOOT OF RUN AND CONNECTED TO DAYLIGHT.

S46. RADON CONTROL SYSTEM: A 4" LAYER OF AGGREGATE IS PLACED UNDER THE BUILDING ENVELOPE. A 4" DIAMETER PERFORATED PIPE IS LAID ON THE AGGREGATE THROUGH THE CENTER OF THE STRUCTURE. THE PIPE IS CONNECTED TO AN UN-PERFORATED RISER TUBE THAT VENTS TO THE OUTSIDE. SEAL ALL SLAB PENETRATIONS AND PIPE SEAMS COMPLETELY. ACTIVE OR PASSIVE RADON MITIGATION INSTALLED PER EPA GUIDELINES.

S47. FRONT AND CORNER SIDE YARDS SHALL BE MAINTAINED AS LANDSCAPED YARDS PER SLC CODE 21A.48.090 AND PARK STRIP SHALL BE LANDSCAPED PER 21A.48.060



4 SITE-EXISTING
SCALE: 1/8" = 1'-0"

BRACH DESIGN
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GUIDO ADU
1371 S 500 E
SALT LAKE CITY, UT 84105

REVISIONS:

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DRAWN BY:

SCALE: AS NOTED IN DRAWING

SITE PLAN
A0.4

LINETYPE LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- CONTOUR EXISTING
- CONTOUR NEW
- GAS
- WATER
- SEWER
- POWER
- ROOF LINE
- JOIST CENTERLINE
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S15. SURFACE DRAINAGE SHALL BE DIVERTED TO STORM SEWERS OR DRYWELLS, NOT ONTO NEIGHBORING PROPERTIES.

S16. ELEVATION POINTS AT CORNERS OF BUILDINGS AND LOT REFER TO ESTABLISHED GRADE. ELEVATION POINTS AT ROOF LINES REFER TO RIDGES.

S17. CONTACT ROCKY MOUNTAIN POWER TO COORDINATE THE RELOCATION OF EXISTING ELECTRICAL SERVICE DROPS AND TO ESTABLISH TEMPORARY SERVICE.

S18. CALL BLUE STAKES BEFORE ANY DIGGING OR EXCAVATING. 811 OR 1-800-662-4111

S20. NOT USED

SITE & UTILITY NOTES

S21. ALL WORK IN THE PUBLIC WAY SHALL CONFORM TO APWA 2012 STANDARD PLANS AND SPECIFICATIONS.

S22. PRIOR TO ANY WORK IN THE PUBLIC WAY, A LICENSED, BONDED, AND INSURED CONTRACTOR MUST FIRST OBTAIN A PUBLIC WAY PERMIT FROM SLC ENGINEERING PERMITS OFFICE. A TRAFFIC CONTROL PERMIT MAY BE REQUIRED FROM SLC TRANSPORTATION.

S23. ALL UTILITIES ONTO SITE WILL BE PLACED WITHIN EASEMENTS OR PLACED UNDERGROUND. UTILITY BOX LOCATIONS MUST MEET 21A.40.160.D OR A CONDITIONAL USE APPLICATION IS NEEDED.

S24. CONTRACTOR TO CONTACT PUBLIC UTILITIES TO OBTAIN UTILITY PERMIT AND TO SCHEDULE SURVEY, INSPECTIONS, AND WYE CONNECTION 1530 S WEST TEMPLE – 801-483-6727.

S25. MUD TRACKED ONTO THE STREET MUST BE CLEANED PRIOR TO THE END OF THE WORKDAY.

S26. CONSTRUCTION SITE MUST BE MAINTAINED IN A NEAT MANNER. TRASH AND OTHER DEBRIS MAY NOT ACCUMULATE OUTSIDE THE DUMPSTER.

S27. ROADSIDE PARKING IS NOT ALLOWED FROM NOV. 1 THRU APR. 1.

S28. NOT USED

S29. ALL UTILITY TRENCH WORK AND TRENCH RESTORATION IN THE PUBLIC WAY SHALL BE CONSTRUCTED AS PER APWA STANDARD PLAN 255. (FOR ANY NEW TRENCH WORK IN STREET)

S30. NOT USED

S31. THE DRIVE APPROACH SHALL BE CONSTRUCTED AS PER APWA 225.

S32. PRIOR TO OCCUPANCY PERMIT BEING ISSUED, IT IS RECOMMENDED THAT ALL TRIP HAZARDS ON THE PUBLIC SIDEWALK BE REMOVED.

S33. NOT USED

S34. NOT USED

S35. NOT USED

S36. ALL NEW SEWER LINES TO BE 4" PVC-SDR 35 AT MIN. 2% SLOPE

S37. CONTRACTOR IS TO ABIDE BY THE UTAH DIVISION OF AIR QUALITY REQUIREMENTS AND SHALL CONTACT THE UTAH DIVISION OF AIR QUALITY AT 801-536-4000.

S38. TRENCH RESTORATION PER APWA STANDARD PLAN 255.

S39. ALL GRADING AROUND THE HOME WILL SLOPE AT LEAST 5% AWAY FROM THE HOME FOR PROPER DRAINAGE AS REQUIRED BY IRC R401.3

S40. INSTALL SEWER CLEAN-OUTS AT PROPERTY LINES, AT ALL CHANGES IN DIRECTION OF SEWER PIPES, AND EVERY 50' OF PIPE.

S41. PUBLIC WAY PERMIT REQUIRED TO TERMINATE/CAP/KILL ANY EXISTING SERVICES IN THE PUBLIC WAY.

S42. PROTECT EXISTING DRIVE APPROACH, SIDEWALK, AND CURB AND GUTTER. DAMAGE SHALL BE REPLACED TO THE NEAREST JOINT PER APWA STANDARDS.

S43. LANDSCAPE DESIGN IS NOT INCLUDED IN THIS DOCUMENT. LANDSCAPING, LANDSCAPE ACCESSORIES, AND SITE FURNISHINGS WILL BE UNDER SEPARATE CONTRACT BETWEEN OWNDER AND LANDSCAPE CONTRACTOR. EXCEPTION: SOIL AND SITE IMPROVEMENTS REQUIRED FOR BUILDING CONSTRUCTION TO BE INCLUDED IN THIS CONTRACT.

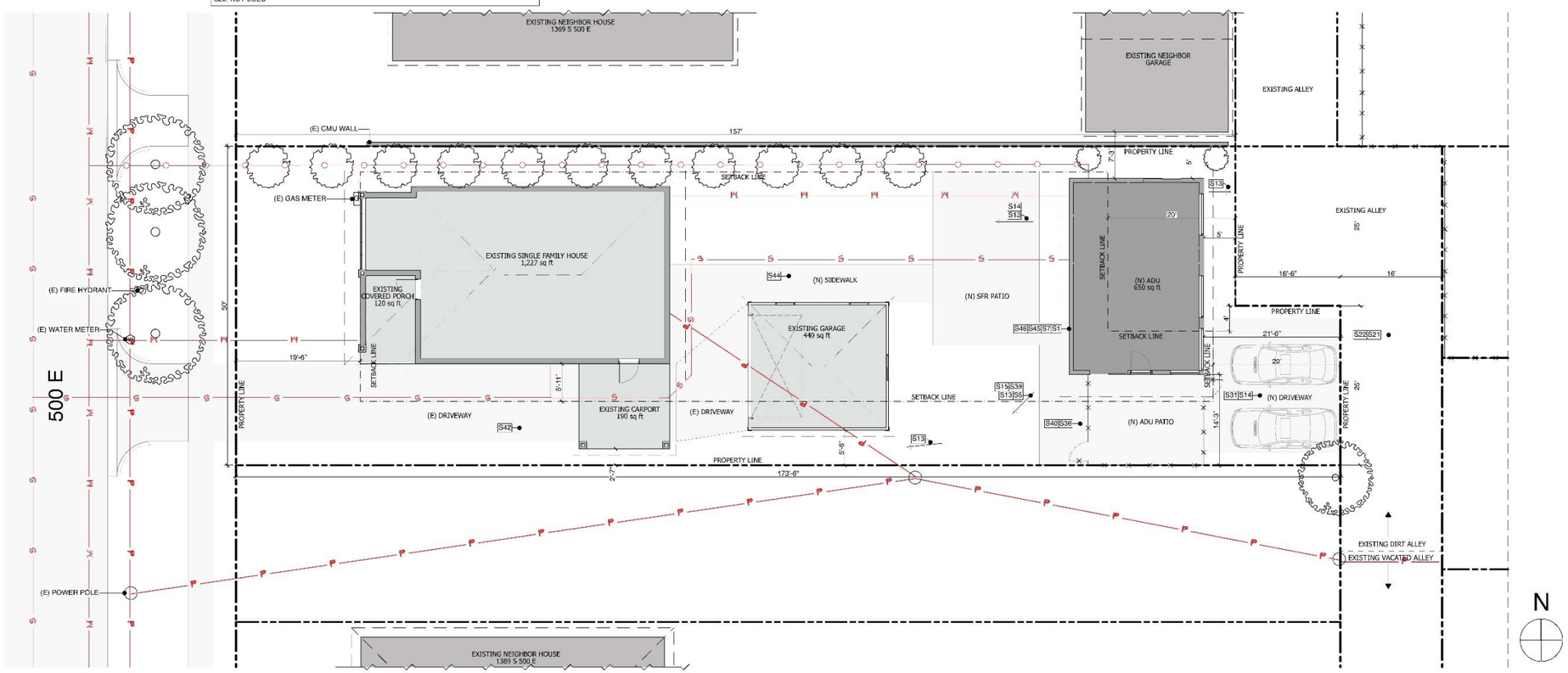
S44. USE A BARRIER CLOTH UNDER EXTERIOR WALKWAYS TO PREVENT OVERGROWTH. PROTECT EXISTING TREES AND VEGETATION, WHICH ARE TO REMAIN. REPAIR OR REPLACE ANY DAMAGED VEGETATION OR TERRAIN THAT IS INDICATED TO BE PROTECTED OR IS MORE THAN EIGHT FEET FROM THE EDGE OF ANY SPECIFIED CONSTRUCTION AREA.

SITE & UTILITY NOTES

S45. A DRAINAGE SYSTEM SHALL BE INSTALLED AROUND THE PERIMETER OF THE FOUNDATION FOOTING. THE DRAINAGE SYSTEM SHALL CONSIST OF THE FOLLOWING ITEMS: DAMP-PROOFING SHALL BE CAREFULLY APPLIED ACCORDING TO MANUFACTURER'S DIRECTIONS TO COVER ALL BELOW GRADE SURFACES TO FORM A WATERTIGHT BARRIER. CARE SHALL BE TAKEN DURING BACKFILLING AND OTHER CONSTRUCTION TO PREVENT DAMAGE TO THE DAMP-PROOFED SURFACE; A FREE-DRAINING BACKFILL OF 3/4" MINIMUM CRUSHED STONE OR GRAVEL THAT IS FREE OF SMALLER PARTICLES SHALL BE USED TO LINE AND FILL THE EXCAVATION FOR ALL BELOW-GRADE WALLS; AN ENGINEERED DRAINAGE SYSTEM MAY BE SUBSTITUTED FOR A FREE DRAINING BACKFILL; A FRENCH DRAIN SHALL BE INSTALLED SO THAT ALL PERFORATED PIPES ARE LOCATED BELOW THE LEVEL OF THE BOTTOM SURFACE OF THE FOOTING. FRENCH DRAIN PERFORATED PIPES SHALL BE INSTALLED WITH THE HOLES DWON TO ALLOW WATER TO RISE INTO THE PIPE. THE PERFORATED PIPE SHALL BE SURROUNDED AND SET IN A MINIMUM OF 2" DEPTH BED CONSISTING OF 3/4" MIN. CRUSHED STONE FREE OF SMALLER PARTICLES; THE PERFORATED PIPE AND CRUSHED STONE SHALL BE SURROUNDED BY A FILTER MEMBRANE TO PREVENT ADJACENT SOIL FROM WASHING INTO AND CLOGGING THE FRENCH DRAIN SYSTEM; FRENCH DRAINS SHALL BE SLOPED DOWNWARD A MINIMUM OF 1/4" PER FOOT OF RUN AND CONNECTED TO DAYLIGHT.

S46. RADON CONTROL SYSTEM: A 4" LAYER OF AGGREGATE IS PLACED UNDER THE BUILDING ENVELOPE. A 4" DIAMETER PERFORATED PIPE IS LAID ON THE AGGREGATE THROUGH THE CENTER OF THE STRUCTURE. THE PIPE IS CONNECTED TO AN UN-PERFORATED RISER TUBE THAT VENTS TO THE OUTSIDE. SEAL ALL SLAB PENETRATIONS AND PIPE SEAMS COMPLETELY. ACTIVE OR PASSIVE RADON MITIGATION INSTALLED PER EPA GUIDELINES.

S47. FRONT AND CORNER SIDE YARDS SHALL BE MAINTAINED AS LANDSCAPED YARDS PER SLC CODE 21A.48.090 AND PARK STRIP SHALL BE LANDSCAPED PER 21A.48.060



2 SITE-NEW
SCALE: 1/8" = 1'-0"

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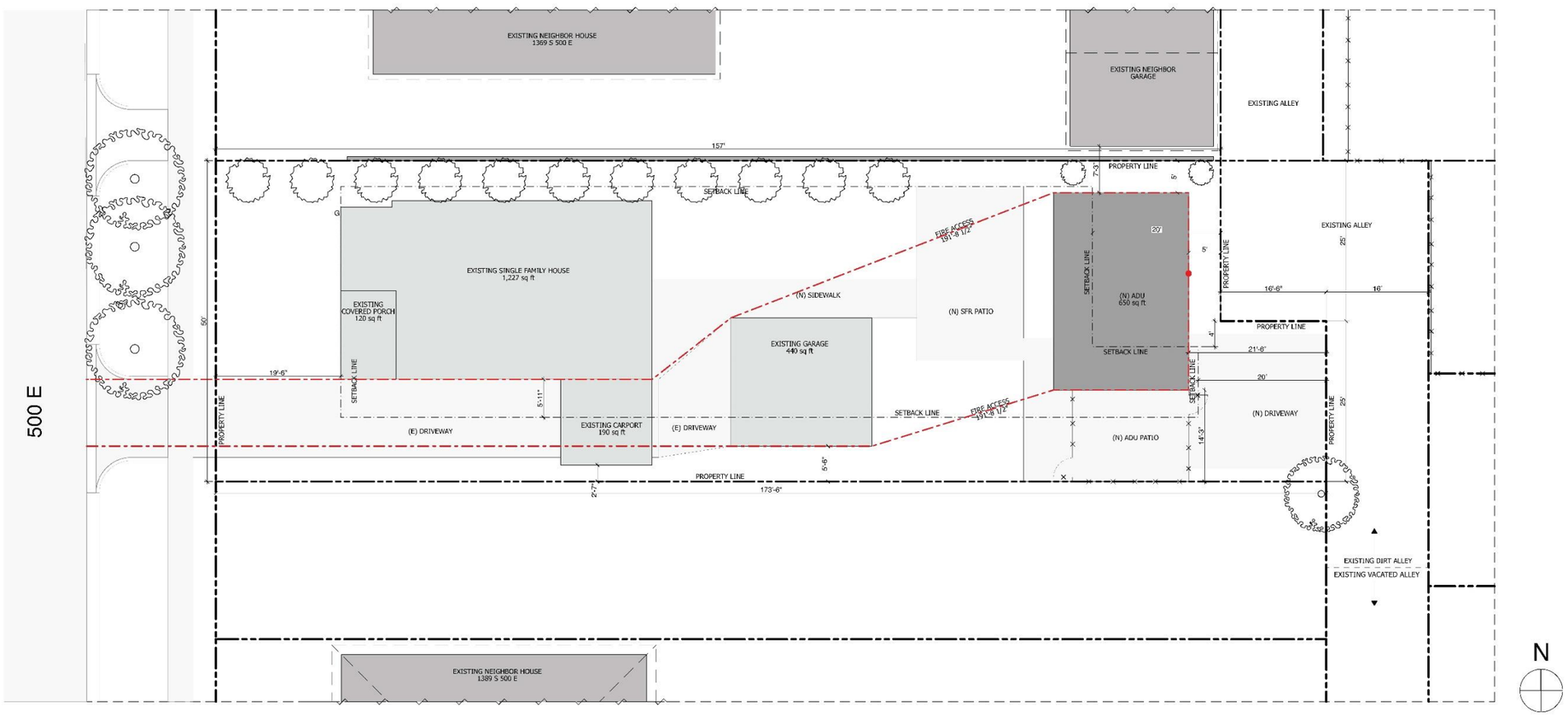
SCALE: AS NOTED IN DRAWING

SITE PLAN
A0.5

LINETYPE LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- CONTOUR EXISTING
- CONTOUR NEW
- G — GAS
- W — WATER
- S — SEWER
- P — POWER
- ROOF LINE
- JOIST CENTERLINE
- BEAM/HEADER CENTERLINE
- HIDDEN LINE
- 4" PERF PIPE IN GRAVEL BED
- STRAW WATTLE
- TREE PROTECTION FENCE
- FIRE SPRINKLER



2 FIRE ACCESS PLAN
SCALE: 1/8" = 1'-0"

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FIRE ACCESS PLAN
A0.6

DEMO LEGEND & KEYNOTES

TO BE DEMOLISHED	
TO REMAIN/EXISTING	
NEW CONSTRUCTION	

GENERAL NOTES

G1. ALL TUB AND SHOWER FIXTURES TO HAVE APPROVED ANTI SCALD DEVICE.

G2. NOT USED

G3. WASHER VALVES AND DISHWASHERS REQUIRE WATER HAMMER ARRESTORS.

G4. THE INSTALLATION AND SIZING OF ROOF DRAINS, LEADERS AND CONDUCTORS SHALL COMPLY WITH SECTION 1106 AND 1108 OF THE INTERNATIONAL PLUMBING CODE.

G5. NOT USED

G6. NOT USED

G7. TANK TYPE WATER CLOSETS SHALL HAVE A FLOW RATE OF NOT MORE THAN 1.6 GALLONS PER FLUSH, SHOWER HEADS OF NOT MORE THAN 2.5 GALLONS PER MINUTE, AND LAVATORY OR SINK FAUCET OF NOT MORE THAN 2.2 GPM PER P2903.2

G8. PROVIDE ROOF EAVE AND RIDGE VENTING PER IRC R806.

G9. NOT USED

G10. HOSE BIBS SHALL BE NON-FREEZE TYPE AND BACKFLOW PREVENTING AND ARE TO BE EQUIPPED WITH AN ATMOSPHERIC OR PRESSURE TYPE VACUUM BREAKER PER P2903.10

G11. ROOF VENTILATION OPENINGS SHALL BE NO SMALLER THAN 1/6" LEAST DIMENSION AND NO LARGER THAN 1/4" GREATEST DIMENSION. IF LARGER THAN 1/4" THEN 1/4" MESH SHALL BE USED TO COVER THE OPENING.

G12. THE TOTAL NET FREE ROOF VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT A REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. AS AN ALTERNATIVE, THE NET FREE CROSS VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.

G13. ICE AND WATER SHIELD SHALL BE USED UNDER ROOFING AT EAVES AND SHALL EXTEND MIN. 24" PAST THE EXTERIOR WALL TOWARDS THE INSIDE OF THE HOUSE.

G14. PROVIDE A TILED WALL SURFACE OVER CEMENTITICIUS TILE BACKER BOARD SUBSTRATE TO A MINIMUM HEIGHT OF 6' ABOVE THE SHOWER FLOOR.

G15. SHOWER DOOR MUST SWING OUTWARDS PER P2708

G16. MINIMUM CLEARANCES FOR PLUMBING FIXTURES PER R307: 24" IN FRONT OF SHOWER, 30" WIDTH FOR WATER CLOSET, 21" IN FRONT OF CABINETS AND WATER CLOSET.

GENERAL NOTES

G17. NOT USED

G18. NOT USED

G19. NOT USED

G20. NOT USED

G21. 4" PERFORATED DRAIN PIPE AT FOOTING. DRAIN TO DAYLIGHT.

G22. WATER STORAGE TANKS TO BE STRAPPED ON UPPER AND LOWER THIRD WITH MIN. 22 GAUGE METAL STRAP SECURED TO SOLID BLOCKING ATTACHED TO WALL STRUCTURE.

G23. PROVIDE EXPANSION TANK ON SUPPLY LINE TO WATER HEATER OR OTHER THERMAL EXPANSION CONTROL PER IRC P2903.4. IF WATER HEATER IS LOCATED ON WOOD FLOOR PROVIDE A DRAINAGE PAN.

G24. NOT USED

G25. SHOWER PAN IS TO BE PROVIDED PER IRC P2709

G26. NOT USED

G27. NOT USED

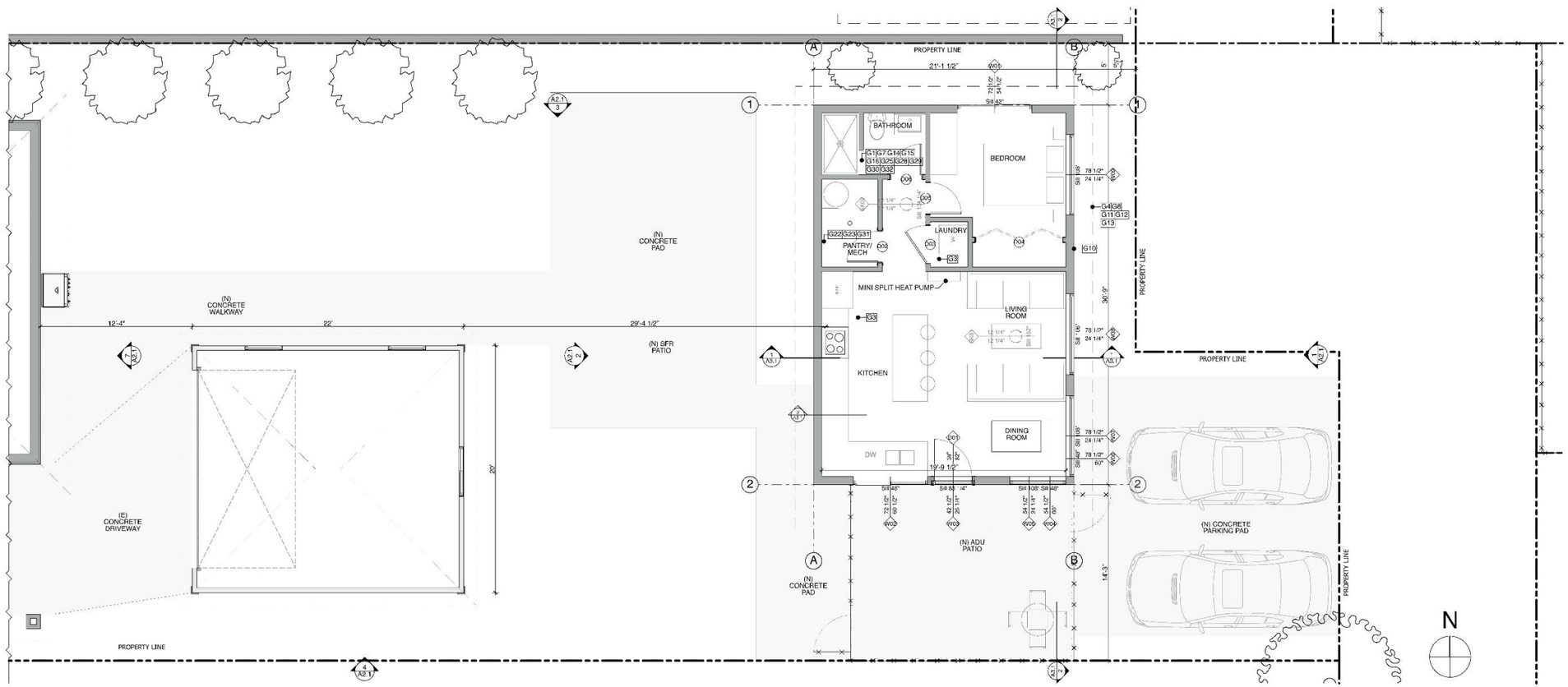
G28. ALL TUBS AND SHOWERS ARE REQUIRED TO BE EQUIPPED WITH A WATER TEMPERATURE LIMITING DEVICE THAT IS SET TO 120°F MAXIMUM.

G29. A NONABSORBENT SURFACE SHALL EXTEND TO A MINIMUM 6' ABOVE THE FLOOR AT SHOWER LOCATIONS.

G30. BACKER BOARD MATERIALS FOR WALL TILE IN TUB AND SHOWER AREAS SHALL BE OF THE FOLLOWING OPTIONS:
(1) GLASS MAT GYPSUM BACKING PANELS, (2) FIBER-REINFORCED GYPSUM PANELS, (3) NON-ASBESTOS FIBER-CEMENT BACK BOARD, (4) NON-ASBESTOS FIBER MAT REINFORCED CEMENTITICIUS BACKER UNITS

G31. WHERE A STORAGE TANK-TYPE WATER HEATER OR A HOT WATER STORAGE TANK IS INSTALLED IN A LOCATION WHERE WATER LEAKAGE FROM THE TANK WILL CAUSE DAMAGE, THE TANK SHALL BE INSTALLED IN A PAN CONSTRUCTED OF THE FOLLOWING:
(1) GALVANIZED STEEL OR ALUMINUM OF NOT LESS THAN 0.0236 INCH (0.601MM) IN THICKNESS, (2) PLASTIC NOT LESS THAN 0.036 INCH (0.9MM) IN THICKNESS, (3) OTHER APPROVED MATERIALS

G32. THE SHOWER COMPARTMENT ACCESS AND EGRESS OPENING SHALL HAVE A CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF NOT LESS THAN 24 INCHES.



1 FIRST FLOOR NEW
SCALE: 1/4" = 1'-0"

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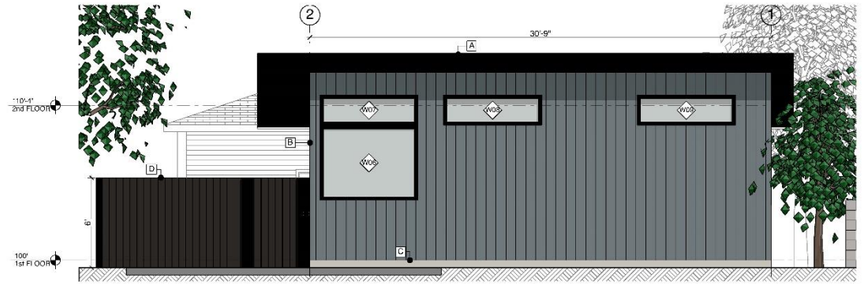
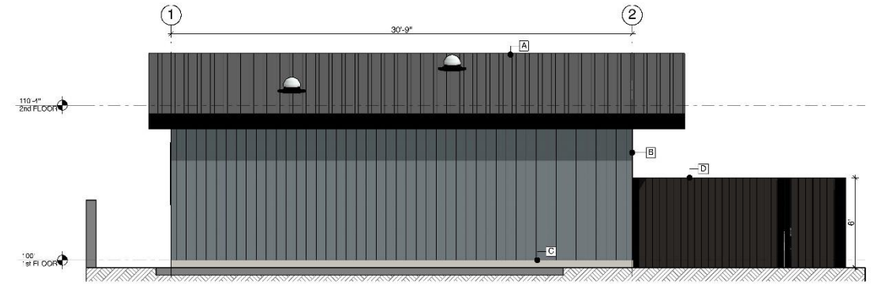
FIRST FLOOR PLAN
A1.1



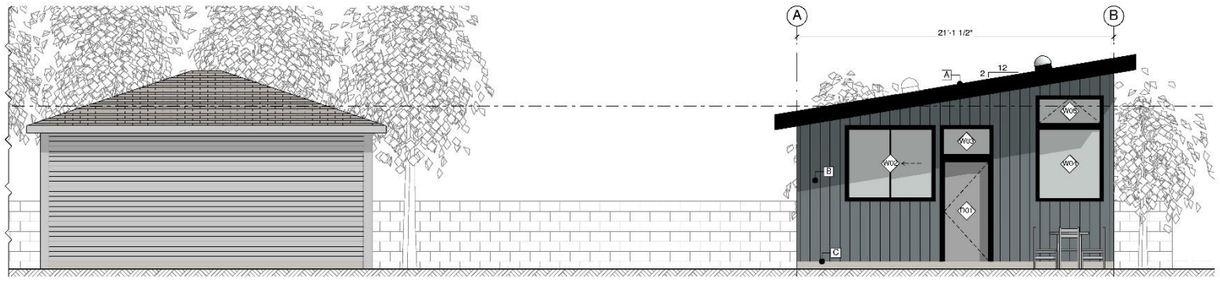
1 NEW EAST ELEVATION
SCALE: 1/4" = 1'-0"



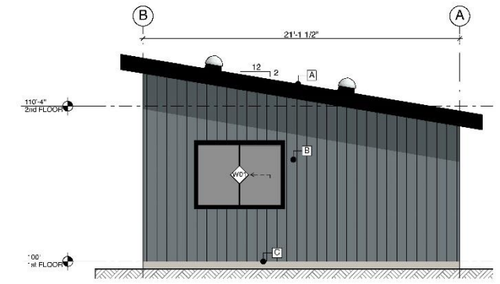
2 NEW WEST ELEVATION
SCALE: 1/4" = 1'-0"

6 NEW SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

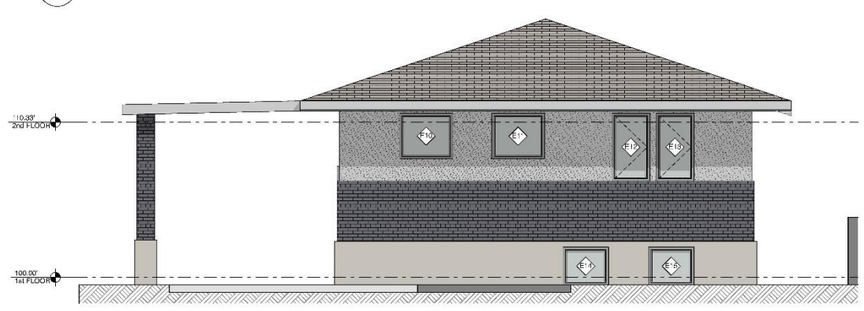
ELEVATION KEYNOTES	
A.	STANDING SEAM ROOF
B.	VERTICAL SIDING
C.	CONCRETE FOUNDATION WALL
D.	6' TALL WOOD FENCE



4 NEW SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 NEW NORTH ELEVATION
SCALE: 1/4" = 1'-0"



7 HOUSE EAST ELEVATION
SCALE: 1/4" = 1'-0"

8 HOUSE WEST ELEVATION
SCALE: 1/4" = 1'-0"

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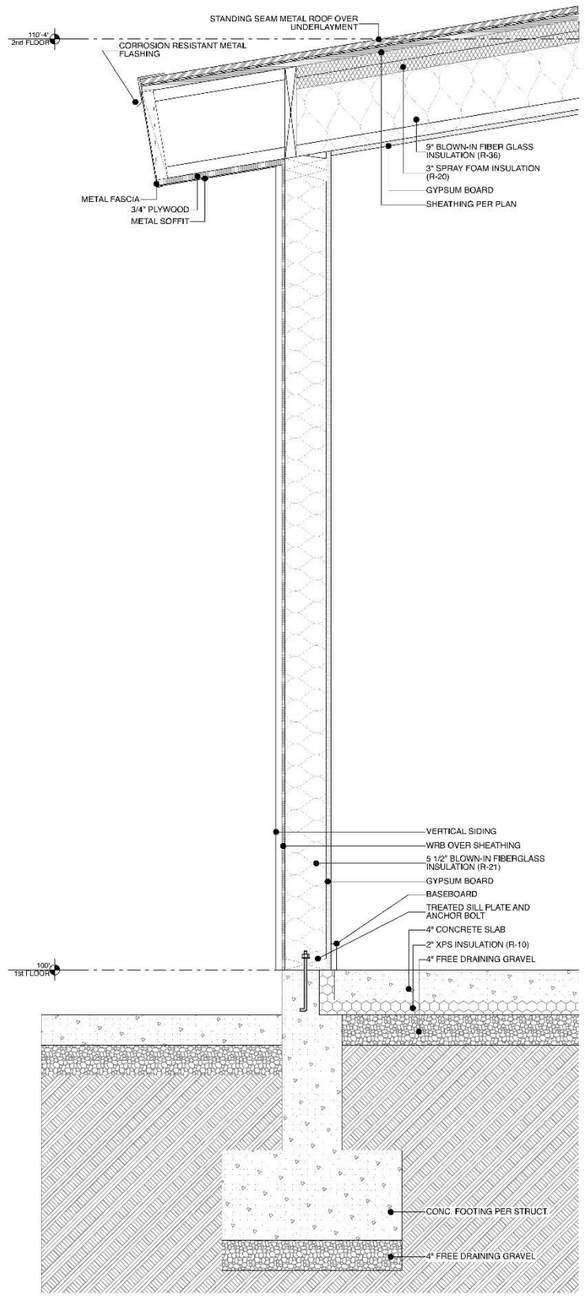
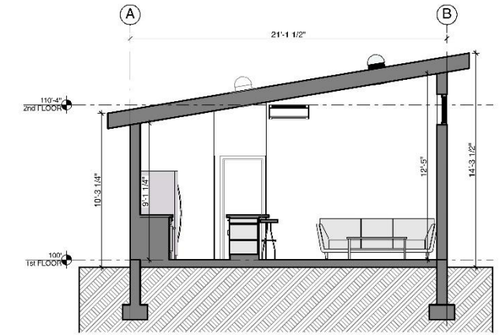
NEW ELEVATIONS
A2.1



3 ADU TYPICAL WALL
SCALE: 1 1/2"= 1'-0"

2 ADU NS BUILDING SECTION
SCALE: 1/4" = 1'-0"



1 ADU EW BUILDING SECTION
SCALE: 1/4" = 1'-0"

WINDOW AND EXTERIOR DOOR SCHEDULE

ID	FRONT VIEW	UNIT SIZE		R.O. SIZE		SILL HEIGHT	OPERATION TYPE	NOTES
		WIDTH	HEIGHT	WIDTH	HEIGHT			
D01		3'	6'-8"	3'-3"	6'-10"		D1 Entrance 22	
SK01		---	---	---	---	---	Solatube #1631	
SK02		---	---	---	---	---	Solatube #1631	
W01		6'	4'-6"	6'-1/2"	4'-6 1/2"	3'-6"	W Sliding2 22	FROSTED GLAZING
W02		6'	5'	6'-1/2"	5'-1/2"	4'	W Sliding2 22	TEMPERED
W03		3'-6"	2'-1"	3'-6 1/2"	2'-1 1/4"	6'-11 1/4"	W Fixed 22	
W04		4'-6"	4'-11 3/4"	4'-6 1/2"	5'	4'	W Fixed 22	
W05		4'-6"	2'	4'-6 1/2"	2'-1/4"	9'	W Awning 1 22	
W06		6'-6"	4'-11 3/4"	6'-6 1/2"	5'	4'	W Fixed 22	
W07		6'-6"	2'	6'-6 1/2"	2'-1/4"	9'	W Fixed 22	
W08		6'-6"	2'	6'-6 1/2"	2'-1/4"	9'	W Fixed 22	
W09		6'-6"	2'	6'-6 1/2"	2'-1/4"	9'	W Fixed 22	

INTERIOR DOOR AND FRAME SCHEDULE

ID	2D Symbol	Quantity	SIZE		R.O. SIZE		Wall Thickness	NOTES
			WIDTH	HEIGHT	WIDTH	HEIGHT		
D02		1	2'-6"	6'-8"	2'-8"	6'-10"	4.50"	
D03		1	3'	6'-8"	3'-2"	6'-10"	4.50"	
D04		1	7'	6'-8"	7'-2"	6'-10"	4.50"	
D05		1	2'-6"	6'-8"	2'-8"	6'-10"	4.50"	
D06		1	2'-6"	6'-8"	2'-8"	6'-10"	4.50"	

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BUILDING SECTION
A3.1

ATTACHMENT C: SITE VISIT PHOTOGRAPHS

Top Left:
Southwest Elevation of Principal Building from 500 East

Top Right:
Northwest Elevation of Principal Building from 500 East

Bottom Left:
View of rear year from alley

Bottom Right:
View of rear yard from proposed ADU parking spaces

Top Left:
Rear yard facing the adjacent property to the north

Top Right:
Rear yard facing the adjacent property to the south

Bottom Left:
View of alley abutting the subject property

Bottom Right:
View of alley and properties east of the subject property

ATTACHMENT D: ANALYSIS OF STANDARDS - ACCESSORY DWELLING UNITS

21A.40.200: Accessory Dwelling Units

Standard	Proposed	Findings
Size *An ADU shall not have a footprint that is greater than fifty percent (50%) of the footprint of the principal dwelling, and shall not exceed six hundred fifty (650) square feet (SF).*	Principal dwelling (included covered porch) is approximately 1,347 SF. Fifty percent (50%) of principal dwelling equals approximately 673 SF. Proposed ADU is approximately **650 SF**.	Complies
Maximum Coverage *The surface coverage of all principal and accessory buildings shall not exceed forty percent (40%) of the lot.* *[Rear] Yard Coverage: In residential districts, any portion of an accessory building, excluding hoop houses, greenhouses, and cold frames associated solely with growing food and/or plants, shall occupy not more than fifty percent (50%) of the total area located between the rear façade of the principal building and the rear lot line.*	Lot size is approximately 8,262 SF. Forty percent (40%) of the lot is approximately 3,304 SF. Primary Dwelling: 1,227 SF Covered Porch: 120 SF Attached Carport: 190 SF Detached Garage: 440 SF Proposed ADU: 650 SF Total Coverage: 2,627 SF The surface coverage of all principal and accessory buildings (including the proposed ADU) is approximately **32%** of the lot. Rear yard area: 4,862 SF Detached Garage: 440 SF Proposed ADU: 650 SF Yard Coverage: **24%**	Complies
Building Height *The maximum height of an accessory building containing an ADU shall not exceed the height of the single family dwelling on the property or exceed seventeen feet (17') in height, whichever is less.*	Height of proposed ADU is approximately **14' - 3**".	Complies
Side or Rear Yard Setbacks *New Accessory Buildings [ADU] shall be located a minimum of four feet (4') from any side or rear lot line.*	Side [North/East] Lot Line: **4 feet** Side [South] Lot Line: **15' - 3"** Rear [East] Lot Line: **20' - 6"**	Complies

Separation *All ADUs [located in an accessory building] shall be located a minimum of ten feet (10') from the single family dwelling located on the same parcel and any single family dwelling on an adjacent property.*	The proposed ADU is approximately **63' - 8"** from the principal dwelling on the same parcel. The nearest single-family dwelling on an adjacent property is approximately **56' - 8"**.	Complies
Entrance Locations *The entrance to an ADU in an accessory building shall be located:* *(1) Facing a side or rear property line provided the entrance is located a minimum of ten feet (10') from the side or rear property line.*	The entrance for the proposed ADU is oriented towards the side [south] property line. The entrance is approximately **15' - 3"** from the side property line.	Complies
Requirement for Windows *Windows on an accessory building containing an ADU shall comply with the following standards:* *(1) Windows shall be no larger than necessary to comply with the minimum Building Code requirements for egress where required.* *(2) Skylights, clerestory windows, or obscured glazing shall be used when facing a side or rear property line to comply with minimum Building Code requirements for air and light on building elevations that are within ten feet (10') of a side or rear property line unless the side or rear property line is adjacent to an alley.* *(3) Except as required in subsection E3g(1) of this section, windows shall maintain a similar dimension and design as the windows found on the principal structure.*	There are several windows on the south and west elevations (Window Schedule in Attachment B on Sheet A3.1). The proposed windows are similar in size and profile as the windows found on the principal structure. The proposed window on the north elevation will be within 10 feet of the side property line; therefore, it is an obscured window.	Complies
Parking *An ADU shall require a minimum of one on-site parking space.*	The principal dwelling has two (2) off-street parking spaces in the detached garage and an additional parking space under the attached carport, both accessed from the 500 East. The proposal would provide two (2) off-street parking spaces where a minimum of one (1) parking space is required for an ADU.	Complies

ATTACHMENT E: ANALYSIS OF STANDARDS – CONDITIONAL USE

21A.54.080: Standards for Conditional Uses

A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title;

   Analysis: The proposed ADU use is located in the R-1/5,000 zoning district, which allows for an ADU to be approved through the conditional use process, subject to meeting the specific regulations for an ADU in section 21A.40.200 of the zoning ordinance. As analyzed in Attachment D, the ADU complies with the requirements of 21A.40.200.

   Finding: The proposed use will comply with the applicable provisions of the Salt Lake City Zoning Ordinance.

2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;

   Analysis: The proposed ADU use is a small residential unit that should be readily compatible with surrounding uses, which are all single-family homes. The proposed ADU meets all the requirements in terms of setbacks and separation requirements between adjacent houses and the principal dwelling on the property.

   Finding: The proposed use is compatible with the surrounding uses.

3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and

   Analysis: The proposal is located in the Liberty neighborhood planning area as established by the Central Community Master Plan. The master plan designates the future land use of this area as low density residential and the existing zoning on the property is R-1/5,000 Single-Family Residential.

The purpose of the R-1/5,000 Single-Family Residential District is to provide for conventional single-family residential neighborhoods. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

The purpose of accessory dwelling units are to:

1) Create new housing units while respecting the appearance and scale of single-family residential development;
2) Provide more housing choices in residential districts;

3) Allow more efficient use of existing housing stock, public infrastructure, and the embodied energy contained within existing structures;
4) Provide housing options for family caregivers, adult children, aging parents, and families seeking smaller households;
5) Offer a means for residents, particularly seniors, single parents, and families with grown children, to remain in their homes and neighborhoods, and obtain extra income, security, companionship, and services;
6) Broaden the range of affordable housing throughout the City;
7) Support sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption;
8) Support transit-oriented development and reduce auto usage by increasing density near transit; and
9) Support the economic viability of historic properties and the City's historic preservation goals by allowing accessory dwellings in historic structures.

The proposed ADU is consistent with the following Residential Land Use Goals/Policies included in the Central Community Master Plan:

- Encourage the creation and maintenance of a variety of housing opportunities that meet social needs and income levels of a diverse population.
- Ensure preservation of low-density residential neighborhoods.
- Encourage a mix of rental properties for those who cannot afford or do not choose home ownership (RLU-3.2).
- Support the efforts of the Housing Division and the Redevelopment Agency to provide residential construction in all qualifying neighborhoods within the Central Community (RLU-3.5).

The proposal is also consistent with the goals and policies outlined in ***Growing SLC: A Five Year Housing Plan*** which aims to increase housing options, promote diverse housing stock, and allow for additional units while minimizing neighborhood impacts.

Finding: The uses are consistent with applicable adopted city planning policies, documents, and master plans.

4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions (refer to Detrimental Effects Determination analysis below).

21A.54.080B: Detrimental Effects Determination

In analyzing the anticipated detrimental effects of a proposed use, the planning commission, or in the case of administrative conditional uses, the planning director or designee, shall determine compliance with each of the following:

Standards	Finding	Rationale
1. This title specifically authorizes the use where it is located;	Complies	The proposed ADU is an accessory residential use and is allowed as a conditional use within the R-1/5,000 zoning district. The proposed ADU complies with all specific regulations for an ADU including size, height,

		setbacks, distance to other houses, etc. as outlined in Attachment D.
2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps;	Complies	The uses are located in an area zoned and designated by the associated master plan for low density residential. This land use designation allows moderate sized lots (i.e., 3,000-10,000 square feet) where single-family detached homes are the dominant land use. Low-density includes single-family attached and detached dwellings as permissible on a single residential lot subject to zoning requirements.
3. The use is well suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area;	Complies	Uses surrounding the subject property are generally single-family residential properties. The residential lots in this area are large enough to provide separation between the proposed ADU and the principal dwelling on the property as well as adjacent primary residences. The proposal complies with the size requirements for an ADU, which can be up to 50% of the footprint of the primary house up to 650 SF and is compatible with the scale of surrounding accessory buildings and adjacent uses.
4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered;	Complies	As discussed above, the scale of the proposal is compatible with the principal dwelling on the property as well as surrounding structures. The proposal also meets the building footprint and height requirements for an ADU. An ADU may have a maximum of 17 feet; however, the proposed ADU would have a building height of 14'- 3". The proposed ADU is located in the rear yard of the site that minimizes impacts to adjacent properties.
5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows;	Complies	The subject property has an existing driveway off 500 East. The proposed ADU will utilize the proposed off-street parking in the rear yard with access from the alley. No new access points are proposed and the proposal would not impede traffic flows.
6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, nonmotorized, and pedestrian traffic;	Complies	The proposed ADU would be accessible from the alley. It is not anticipated that the proposed ADU would create any adverse impacts in terms of motorized, nonmotorized and pedestrian traffic.

7. The site is designed to enable access and circulation for pedestrian and bicycles;	Complies	The site is designed for pedestrian and bicycle access. There is a path from ADU patio area to 500 East through the subject property along the proposed concrete walkway.
8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street;	Complies	There is vehicular access to the site. No unreasonable impacts to the service level of the adjacent streets is anticipated.
9. The location and design of off-street parking complies with applicable standards of this code;	Complies	Two (2) off-street parking spaces for the proposed ADU would be provided in the rear yard with access from the alley.
10. Utility capacity is sufficient to support the use at normal service levels;	Complies	The Public Utilities department had no comments on the project.
11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts;	Complies	The proposed ADU may result in increased activity in the rear yard of the subject property. This must be taken into account for potential impacts to the abutting properties that appear to be single family residences. The proposal includes a new six-feet (6') wooden fence to enclose the ADU patio area and this would provide screening from the adjacent property.
12. The use meets city sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke;	Complies	The project supports sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption.
13. The hours of operation and delivery of the use are compatible with surrounding uses;	Complies	The proposed use is an accessory residential structure and is compatible with the surrounding uses that are also residential.
14. Signs and lighting are compatible with, and do not negatively impact surrounding uses; and	Complies	Signs are not associated with this proposal. Any lighting on the accessory structure is not expected to have a negative impact on the surrounding uses or otherwise cause a nuisance.
15. The proposed use does not undermine preservation of historic resources and structures.	Complies	The property is not located within a Local Historic District and the proposal does not involve removal or any historic resources or structures.

Finding: In analyzing the anticipated detrimental effects of the proposed ADU, Staff finds that with the conditions identified in the analysis, the request complies with the criteria listed above.

ATTACHMENT F: PUBLIC PROCESS AND COMMENTS

Meetings:

- December 24, 2019 – Notice of the project was provided to the Liberty Wells Community Council as well as property owners and residents within 300 feet of the subject property. The community council did not ask the applicant or staff to present or provide formal input on the proposal.

Public Notice:

- Early notice of application mailed on December 19, 2019
- Public hearing notice mailed on May 1, 2020
- Public hearing sign posted on the property on May 1, 2020
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on May 1, 2020

Public Comments:

Staff has received two (2) public comments regarding the proposal, an email and a phone call. The phone call had general questions regarding the proposal and did not indicate a position. The email received was in opposition of the proposal (see attached).

Any public comments received up to the public hearing meeting will be forwarded to the Planning Commission and included in the public record.

Mitchell, Linda

From: [redacted]
Sent: Saturday, December 28, 2019 12:09 PM
To: Mitchell, Linda
Subject: (EXTERNAL) Accessory Dwelling Unit

Follow Up Flag: Follow up
Flag Status: Flagged

This email is in regards to the ACU proposal at 1371 south 500 east. I am writing to request information as to when and if this matter will be discussed at an upcoming meeting, as well as to preemptively voice disapproval for this plan. I feel that if residents are incentivized to chop our properties into smaller pieces in order to monetize them through rent, and or lodging fees via air bnb style rental that it will drastically upset the character and comfort of our neighborhood. This being the first of what will presumably be many such applications with the new rulings from the city will set an example of what is to come. The accessory dwelling will require access via an alleyway which already receives too little maintenance from the city to support more traffic. It will also incentivize more building, which will pollute our field of view, require parking therefore congesting our roads. On the long term, It will further gentrify our neighborhood to a point of no return. Permitting for these types of structures, which are ultimately businesses should be granted to few, and far between. It is permissible by law, but that doesn't mean it should become the norm for the city. It is pandoras box. And once we start there is no going back. We need to consider the long term consequences to our daily lives, our community, and potential to paint ourselves into a corner so to speak, with over developing an already crowding, and gentrifying city.

I thank you for your time in considering my thoughts on this matter.

[redacted]

[redacted]

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ATTACHMENT G: DEPARTMENT REVIEW COMMENTS

Fire (Doug Bateman at douglas.bateman@slcgov.com)

The ADU will be provided with fire sprinklers per the approved Alternate Means and Methods.