



Staff Report

PLANNING DIVISION
DEPARTMENT *of* COMMUNITY *and* NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Sara Javoronok, Senior Planner, sara.javoronok@slcgov.com, 801-535-7625

Date: February 12, 2020

Re: Detached Accessory Dwelling Unit – Conditional Use (PLNPCM2019-01051)

Conditional Use

PROPERTY ADDRESS: 1083 S Blair Street
PARCEL ID: 16-07-405-009-0000
MASTER PLAN: Central Community
ZONING DISTRICT: R-1/5000 (Single Family Residential)

REQUEST: Tom Candee of Brach Design, on behalf of the property owner, Heather Flanders, is requesting Conditional Use approval for a detached Accessory Dwelling Unit (ADU) located in the northern half of the rear yard of the single family dwelling at 1083 S. Blair Street. The property is within the R-1/5000 (Single Family Residential) zoning district which requires Conditional Use approval to construct an ADU.

RECOMMENDATION: Planning Staff finds the project generally meets the applicable standards of approval and therefore recommends the Planning Commission approve the Conditional Use for the ADU with the conditions of approval below. Final approval of the details noted in the following conditions shall be delegated to Planning Staff:

1. The applicant shall comply with the registration process outlined in section 21A.40.200.F of the Salt Lake City zoning ordinance.

Approval is for the specific items discussed and identified in the staff report. All other applicable zoning regulations and requirements from other city departments still apply.

ATTACHMENTS:

- A. [Vicinity Map](#)
- B. [Additional Applicant Information](#)
- C. [Site Photos](#)
- D. [ADU Zoning Standards](#)
- E. [Conditional Use Standards](#)
- F. [Public Process & Comments](#)
- G. [Department Review Comments](#)

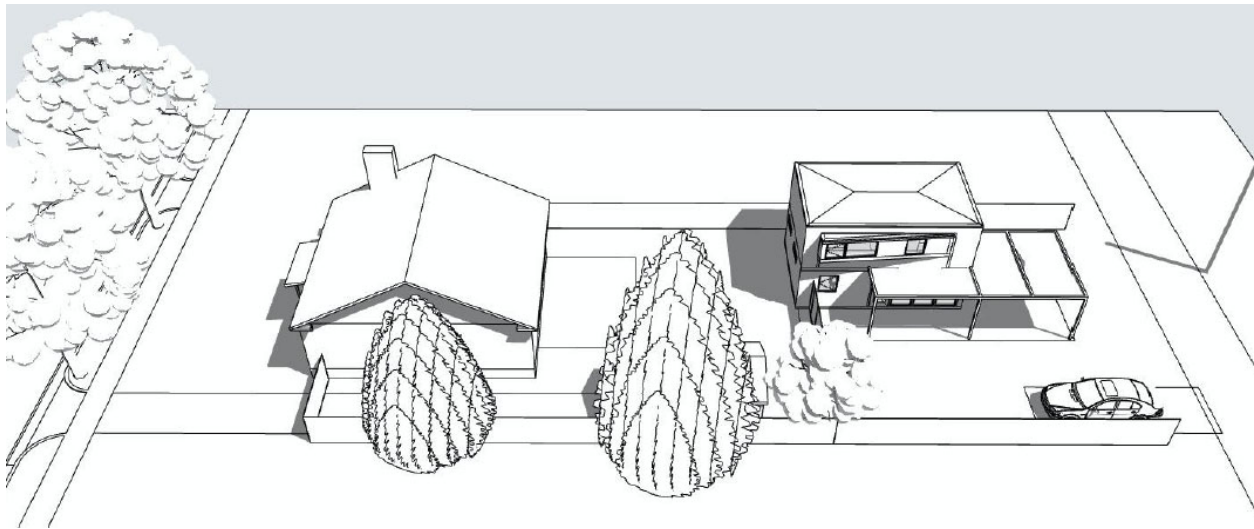
PROJECT DESCRIPTION:

This petition for a Conditional Use is for a detached ADU to be placed in the rear yard of the existing single family dwelling located at approximately 1083 S. Blair St. The property is located in the southern half of the block between Herbert and Harvard Avenues. There is an alley to the rear of the existing residence and a parking space is proposed to be located off of the alley.



The proposed ADU would be located in the northern half of the rear yard. Its footprint is approximately 459 square feet and it has a 186 square foot loft area, for a total of 645 square feet. The dwelling itself would measure approximately 27 feet in length by 17 feet in width. An approximately 375 square feet covered patio is also proposed to the south and east off of the living area. The primary exterior building material is stucco. The structure is the maximum permitted 17 feet in height. This is less than the existing residence on the property, which is approximately 20 feet. The entrance to the proposed ADU faces south to the rear yard. The south elevation has a number of windows including three in the loft area that project outwards from the elevation adding visual interest to the structure. The elevation facing the property to the north has a single clerestory window. The west elevation, facing the existing residence has two longer, narrow windows. The east elevation, which faces the alley, has three windows.

The parking for the existing house is accommodated by an existing single car garage and driveway accessed from Blair Street. The parking spot for the ADU will be located off of the alley and to the south of the ADU. The subject parcel is also located approximately ¼ mile from transit stops on 500 East.



Graphic rendering showing the existing house, proposed ADU, and proposed parking location.

PLANNING COMMISSION REVIEW:

The property is located in the R-1/5000 zoning district, which is a single family zoning district. A Conditional Use process is required for any ADUs that are located in a single family zone. For complete analysis and findings in relation to the Conditional Use standards please refer to [Attachment E](#).

NEXT STEPS:

Approval of Conditional Use

If the request is approved, the applicant must comply with the conditions of approval, including any of the conditions required by other City departments and any added by the Planning Commission. Building permits and certificates of occupancy for the buildings will only be issued once all the conditions of approval are met including the registration process requirements outlined in 21A.40.200.F of the zoning ordinance.

Denial of Conditional Use

State and City code require that a Conditional Use be approved if reasonable conditions can be imposed on the use to mitigate any reasonably anticipated detrimental effects of the use. A Conditional Use can only be denied if the Planning Commission finds that reasonably anticipated detrimental effects cannot be mitigated with the imposition of reasonable conditions.

If the petition is denied, the applicant would not be able to construct an ADU. An accessory structure could still be constructed on the property subject to meeting zoning requirements, however, it could not be used as a dwelling unit. Accessory structures in the R-1/5000 zoning district must be located a minimum of 1 FT from the side and rear property lines, meet the lot coverage requirements, and the permitted maximum height for an accessory building (17' to the midpoint or 12' for a flat roof).

ATTACHMENT A – VICINITY MAP

Vicinity Map



ATTACHMENT B – ADDITIONAL APPLICANT INFORMATION



**357 SOUTH 200 EAST #211
SALT LAKE CITY, UT 84111
WWW.BRACHDESIGN.COM
801-865-7648**

December 23, 2019

Salt Lake City Planning Office
451 South State St.
Room 215

To Whom It May Concern,

The owner of 1083 S. Blair St. seeks to build a detached ADU in the eastern end of the lot. Directly east of the parcel is a public alley.

During our planning phase, we have met with both Fire Plan Checkers as well as Planners in order to meet the requirements of the ordinance. With regard to fire, we have kept the farthest exterior wall no more than 150' away from the fire access lane, which is Blair Street and we have a fire hydrant well within 600' of the ADU.

The ADU height is 17' from the grade and below the existing home's height, which is a shade over 20'.

We have received concerns about the window openings on the ADU. Zoning commented that the window on North elevation is too large. That window has been sized down to 5' wide x 2' tall. This is a clerestory window to let in natural light into the great room area. It is the only window on that elevation and it has a sill height of 12'-8" above the grade.

Other windows are designed to bring in natural light and/or connect the ADU with the outdoors. In all of our designs and especially with ADU designs, we have learned that by strategically placing glass near the floor, it lends a connection to the ground and hence to the outdoors that makes the design feel larger than it really is and that gives the design a more organic feel, connecting it to nature beyond. We have many clients who love this type of move and we recognize its value.

We have made efforts to reduce our opening sizes on this project and to limit windows to the west and north both for privacy purposes as well as strategies for limiting energy use. Our largest openings are at the ground floor south elevation. This is because the ADU outdoor zone is situated to the south where we have 29' before the south property line and because it is the best aspect with regard to controlling the sun. We can shade it during summer or welcome it into the space in the winter.

Let us know if we can provide more info on the windows or other concerns.

Sincerely,

Tom Candee, Licensed Architect
801-258-1028
tom@brachdesign.com

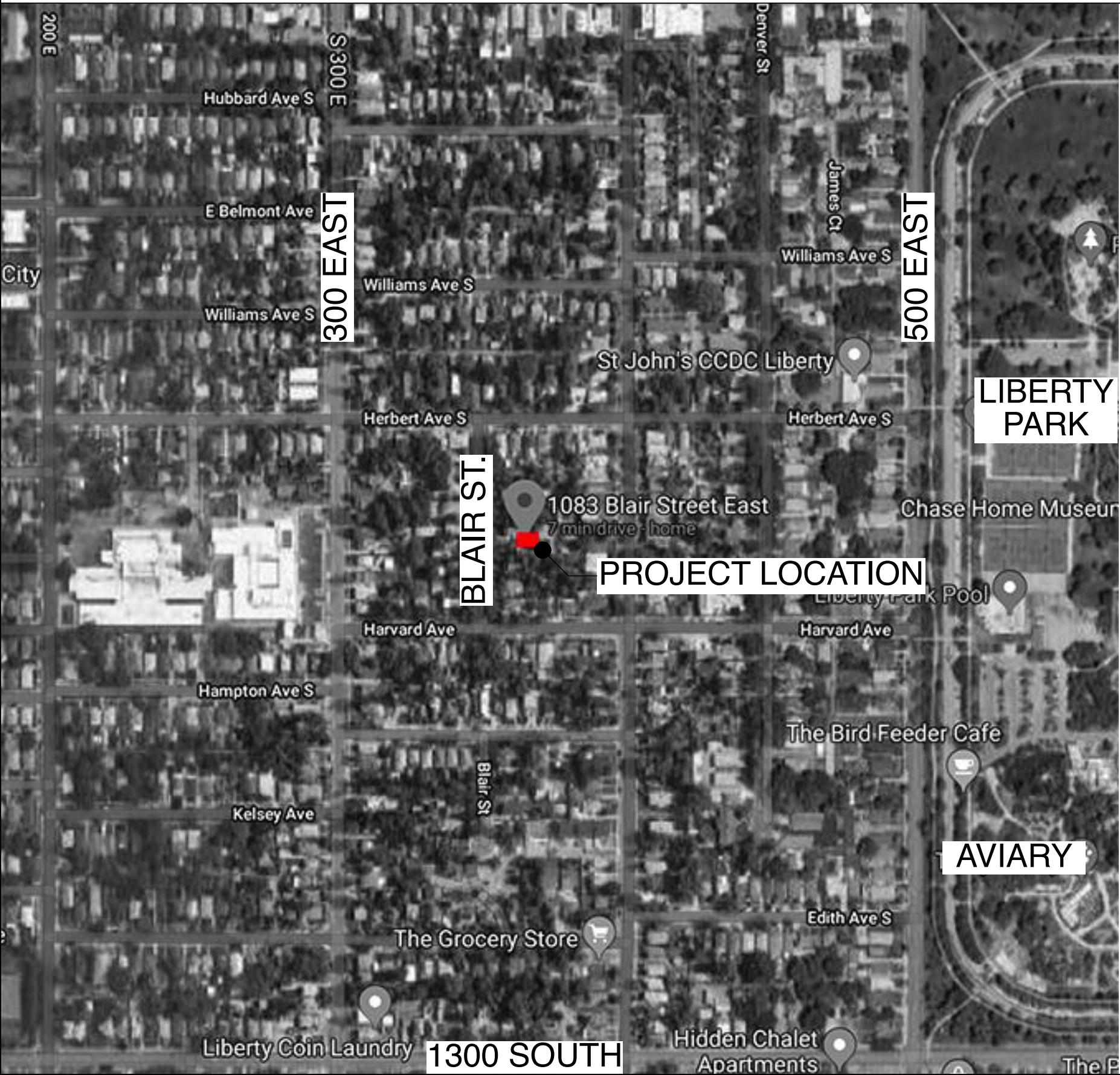
FLANDERS ADU

1083 S. BLAIR ST.
SALT LAKE CITY, UT 84115

PROJECT RENDERING



VICINITY PLAN



SHEET INDEX

PREFIX	ID	Name
	A0.1	COVER SHEET
	A0.2	EXISTING SITE PLAN
	A0.3	NEW SITE PLAN
	A1.1	FLOOR PLANS
	A2.1	NEW ELEVATIONS
	A3.1	BUILDING & STAIR SECTIONS & SCHEDULES
	A4.1	WALL SECTIONS
	MPE.1	ELECTRICAL PLANS
	S0.3	FOOTING, FND AND FRAMING PLANS

GENERAL PROJECT INFO

PROJECT ADDRESS:	1083 S. BLAIR ST. SALT LAKE CITY, UT 84115
SCOPE OF WORK:	NEW DETACHED ADU
ZONING DISTRICT:	R-1-5000
GOVERNING BUILDING CODES:	2015 IRC
CONSTRUCTION:	TYPE VB
OCCUPANCY:	GROUP R-3
ARCHITECT:	BRACH DESIGN LLC DAVE BRACH RA, CPHC 801-865-7648 dave@brachdesign.com
PROJECT AREAS:	LOT AREA SQ. FT. 7,887
	TOTAL BUILT SRFC COVERAGE 1,664
	EXISTING HOUSE 996
	EXISTING GARAGE 209
	NEW ADU 459

PROJECT TEAM

OWNER:	HEATHER FLANDERS 1083 S BLAIR ST. niceleaves@gmail.com
ARCHITECT:	BRACH DESIGN LLC DAVE BRACH RA, CPHC 801-865-7648 dave@brachdesign.com
STRUCTURAL ENGINEER:	COMPASS ENGINEERING WAYNE STAKER, PE compass.eng@hotmail.com



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FLANDERS ADU
1083 S. BLAIR ST.
SALT LAKE CITY, UT 84115

REVISIONS:

PROJECT NO:

DATE: 10/11/19

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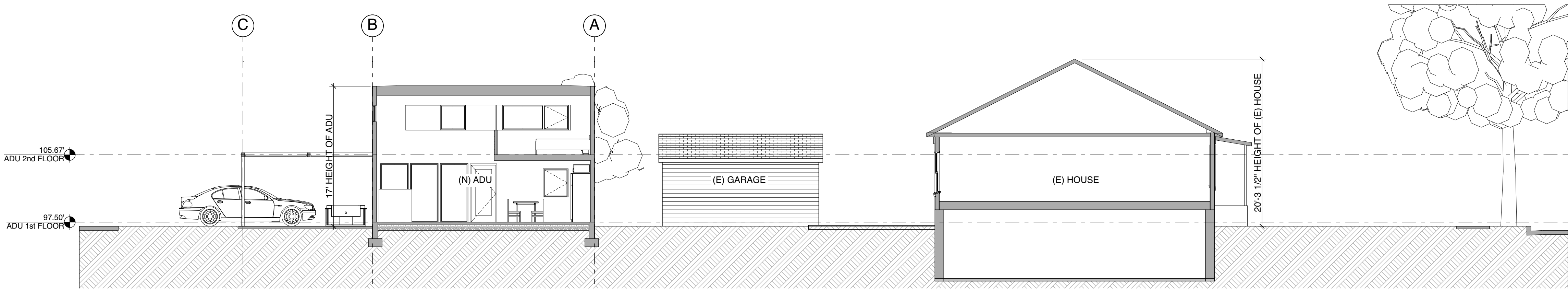
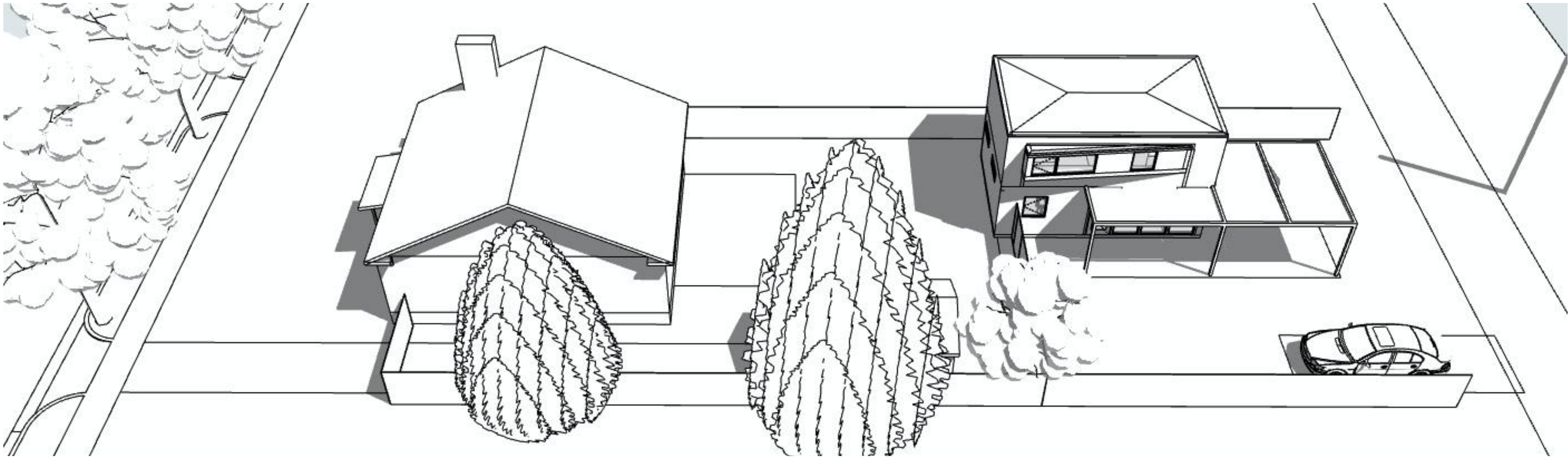
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COVER SHEET
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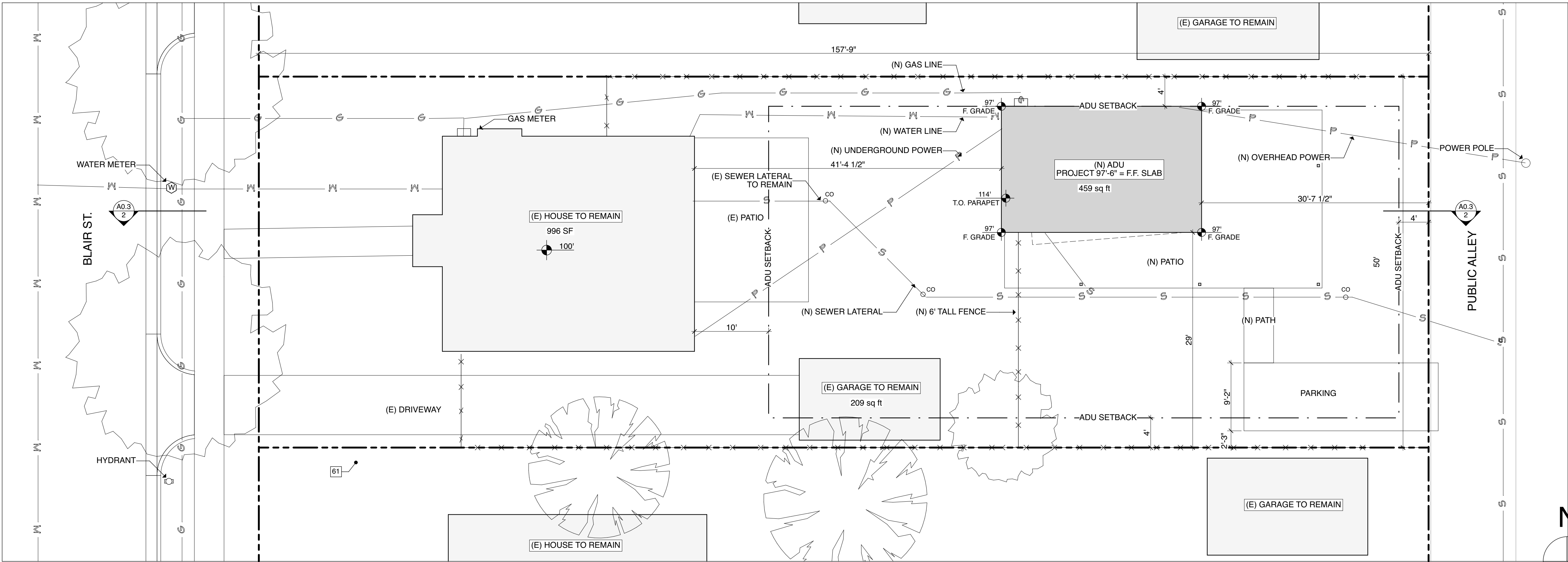
LINETYPE LEGEND	
	PROPERTY LINE
	BUILDING SETBACK LINE
	CONTOUR EXISTING
	CONTOUR NEW
	GAS
	WATER
	SEWER
	POWER
	ROOF LINE
	JOIST CENTERLINE
	BEAM/HEADER CENTERLINE
	HIDDEN LINE

GENERAL PROJECT INFO

PROJECT ADDRESS:	1083 S. BLAIR ST. SALT LAKE CITY, UT 84111
SCOPE OF WORK:	NEW DETACHED ADU
ZONING DISTRICT:	R-1-5000
GOVERNING BUILDING CODES:	2015 IRC
CONSTRUCTION:	TYPE VB
OCCUPANCY:	GROUP R-3
ARCHITECT:	BRACH DESIGN LLC DAVE BRACH RA, CPHC 801-865-7648 dave@brachdesign.com
PROJECT AREAS:	LOT AREA SQ. FT. 7,887
	TOTAL BUILT SRFC COVERAGE 1,664 (21%)
	EXISTING HOUSE 996
	EXISTING GARAGE 209
	NEW ADU 459



2 SITE SECTION
SCALE: 1/8" = 1'-0"



1 SITE-NEW
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

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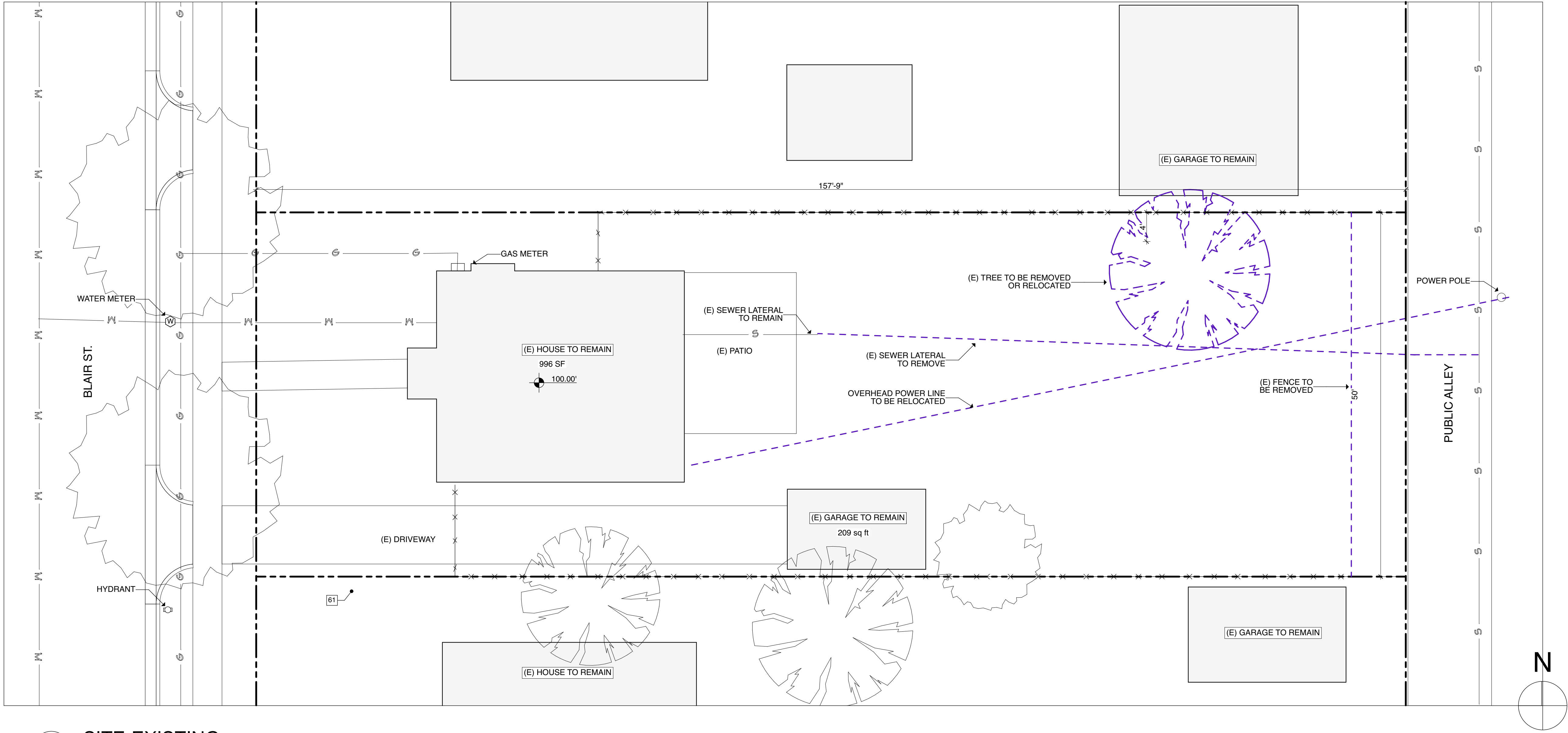
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NEW SITE PLAN
A0.3

SHEET 4 OF 24



LINETYPE LEGEND	
	PROPERTY LINE
	BUILDING SETBACK LINE
	CONTOUR EXISTING
	CONTOUR NEW
	GAS
	WATER
	SEWER
	POWER
	ROOF LINE
	JOIST CENTERLINE
	BEAM/HEADER CENTERLINE
	HIDDEN LINE

1 SITE-EXISTING
SCALE: 1/8" = 1'-0"

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1083 S. BLAIR ST.
SALT LAKE CITY, UT 84111

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PROJECT NO:
DATE: 12/23/19
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**EXISTING SITE
PLAN**
A0.2

SHEET 3 OF 24

GENERAL PROJECT INFO

PROJECT ADDRESS: 1083 S. BLAIR ST.
SALT LAKE CITY, UT 84111

SCOPE OF WORK: NEW DETACHED ADU

ZONING DISTRICT: R-1-5000

GOVERNING BUILDING CODES: 2015 IRC


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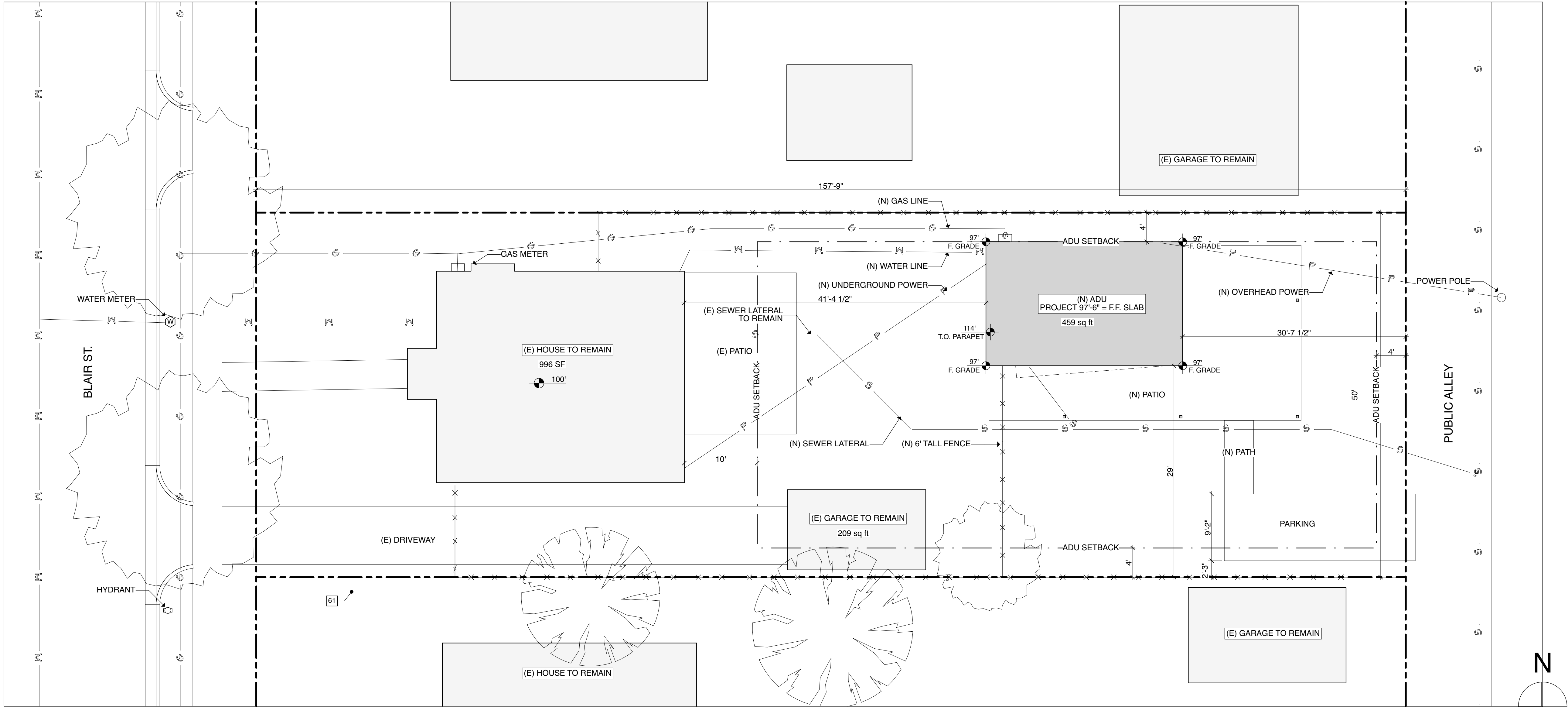
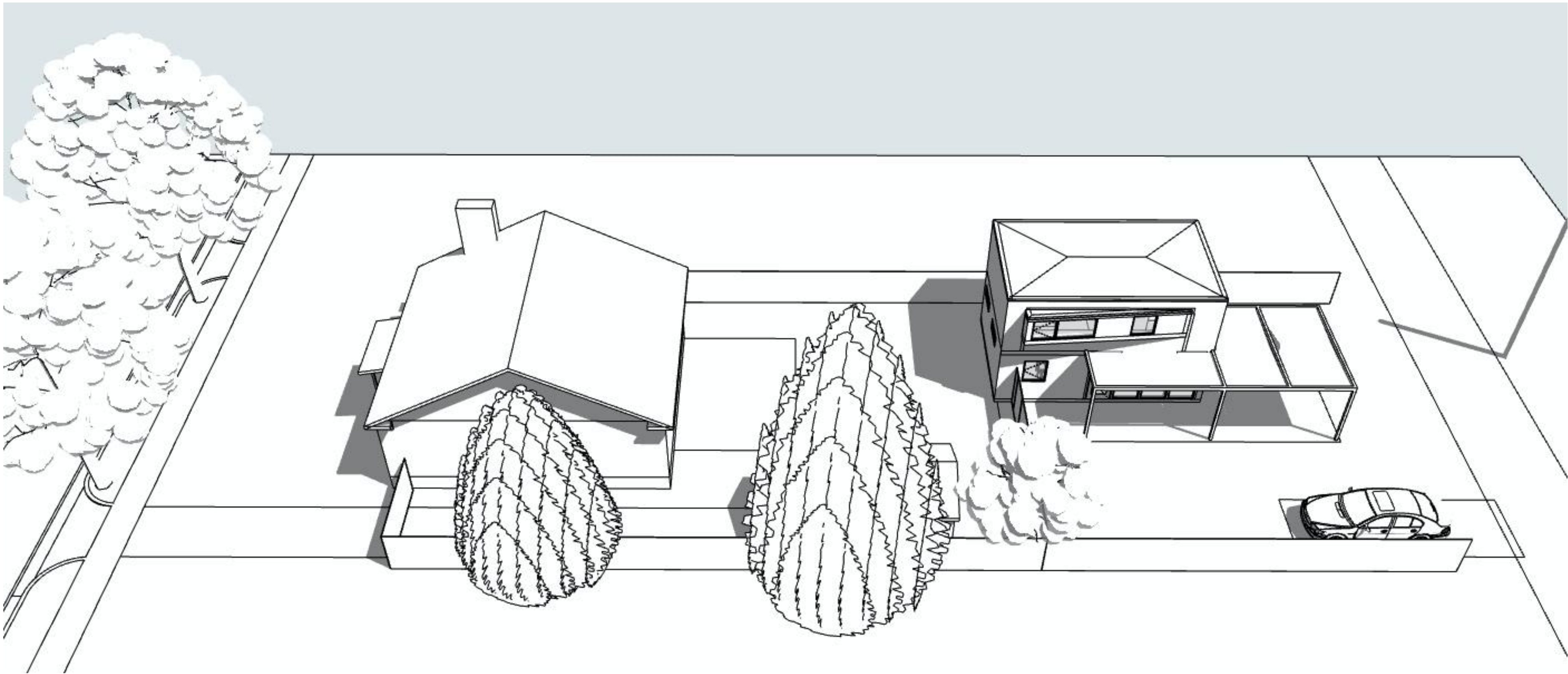
OCCUPANCY: GROUP R-3

ARCHITECT: BRACH DESIGN LLC
DAVE BRACH RA, CPHC
801-865-7648
dave@brachdesign.com

PROJECT AREAS:

LOT AREA	SQ. FT. 7,887
TOTAL BUILT SRFC COVERAGE	1,664
EXISTING HOUSE	996
EXISTING GARAGE	209
NEW ADU	459

LINETYPE LEGEND	
	PROPERTY LINE
	BUILDING SETBACK LINE
	CONTOUR EXISTING
	CONTOUR NEW
	GAS
	WATER
	SEWER
	POWER
	ROOF LINE
	JOIST CENTERLINE
	BEAM/HEADER CENTERLINE
	HIDDEN LINE
	4" PERF PIPE IN GRAVEL BED
	STRAW WATTLE
	TREE PROTECTION FENCE



1 SITE-NEW
SCALE: 1/8" = 1'-0"

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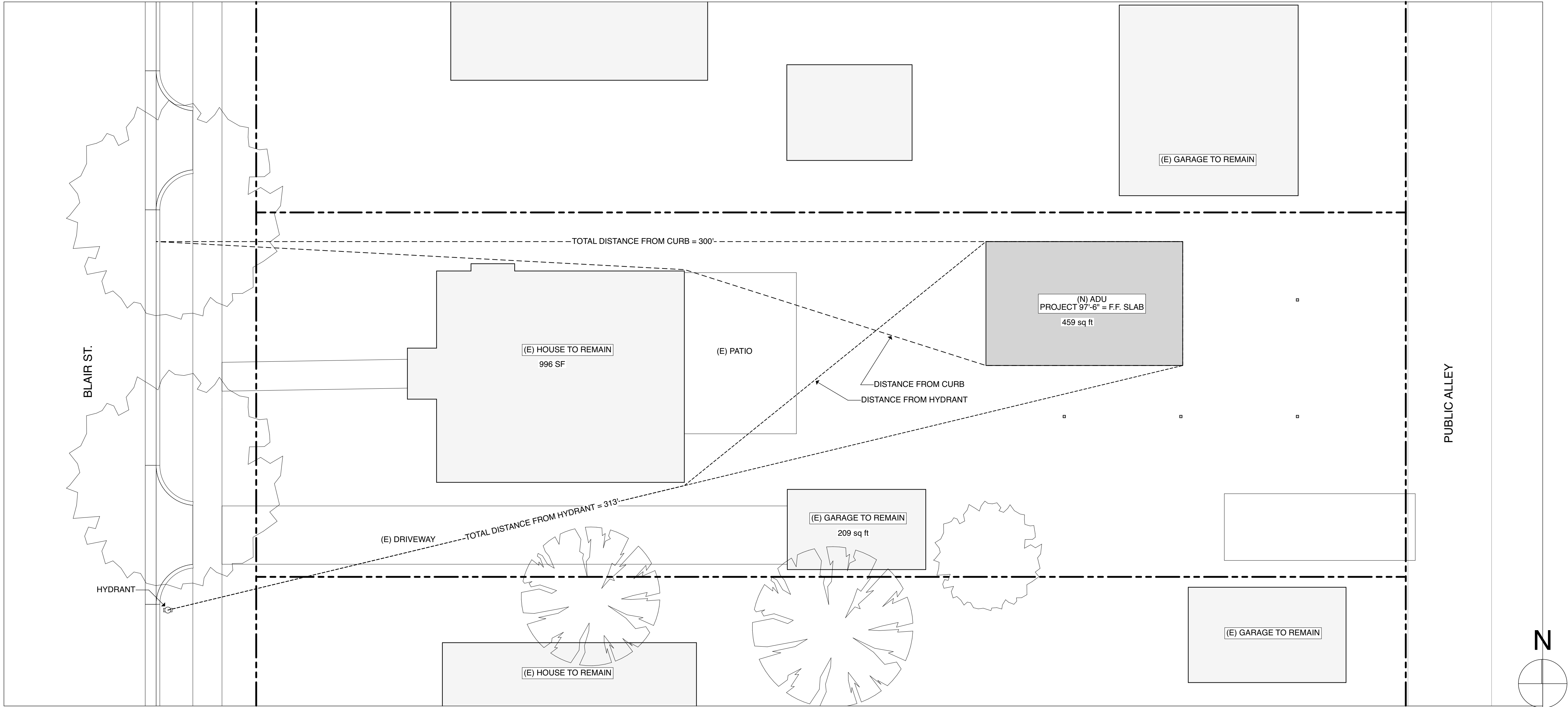
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SALT LAKE CITY, UT 84111

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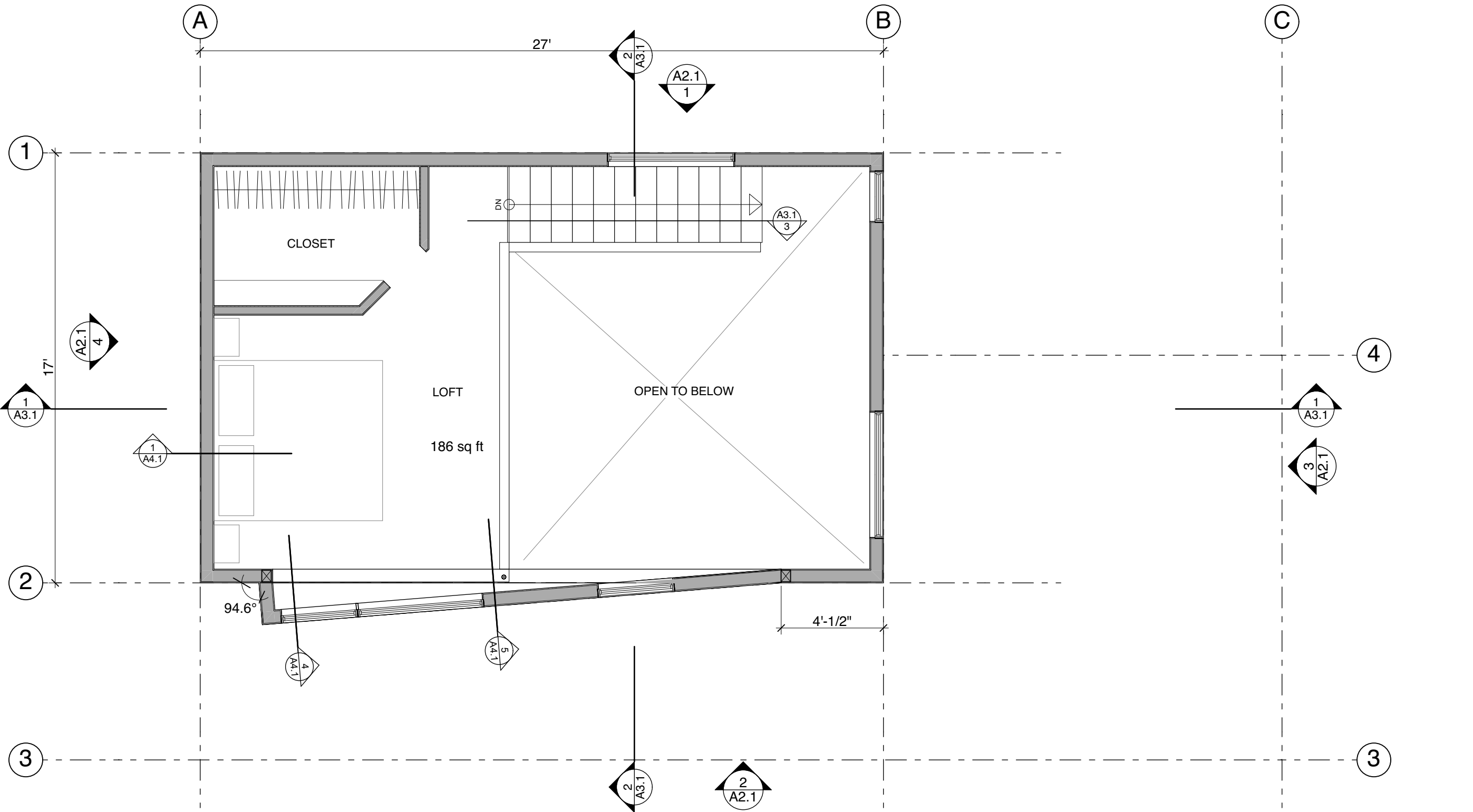
NEW SITE PLAN
A0.3

SHEET 4 OF 24

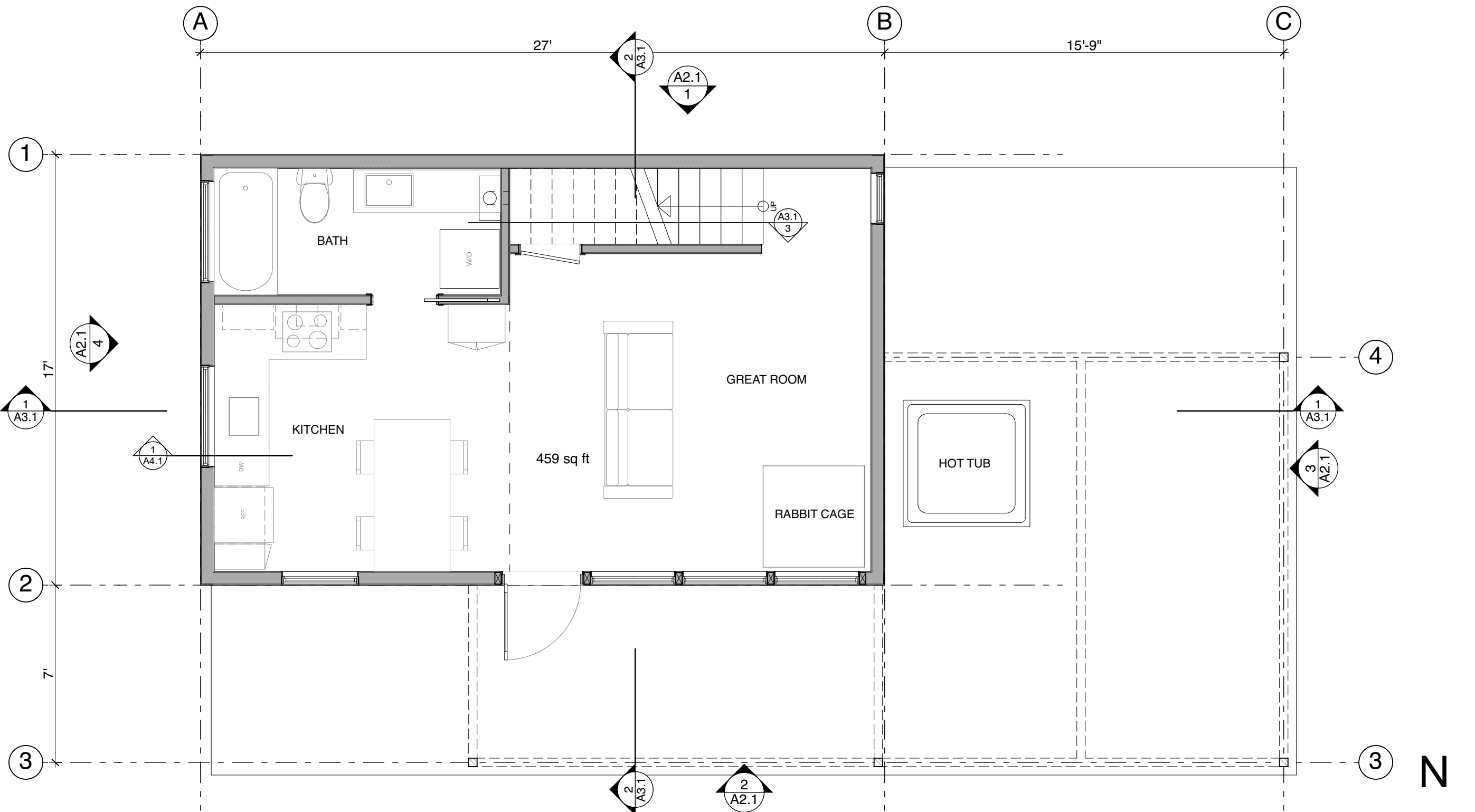


2 SITE-FIRE PLAN
SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
- G1. ALL TUB AND SHOWER FIXTURES TO HAVE APPROVED ANTI SCALD DEVICE.
- G2. GARAGE SHALL BE SEPARATED FROM RESIDENCE BY MIN. 1/2" GYP. BD. APPLIED TO GARAGE SIDE OF COMMON WALL OR APPLIED TO THE CEILING FOR ATTICS. FOR HABITABLE SPACES ABOVE THE GARAGE, MIN. 5/8" TYPE X GYP. BD. SHLL BE APPLIED TO CEILING. ALL STRUCTURAL SUPPORTING ELEMENTS SHALL ALSO BE PROTECTED BY MIN. 1/2" GYPSUM BOARD. INSULATING CONCRETE FORMS, IF PRESENT IN GARAGE, TO BE COVERED WITH 1/2" GYP. BD.
- G3. WASHER VALVES AND DISHWASHERS REQUIRE WATER HAMMER ARRESTORS.
- G4. THE INSTALLATION AND SIZING OF ROOF DRAINS, LEADERS AND CONDUCTORS SHALL COMPLY WITH SECTION 1106 AND 1108 OF THE INTERNATIONAL PLUMBING CODE.
- G5. PROVIDE ATTIC ACCESS W/ R.O. MIN 22" X 30" PER IRC R807
- G6. WINDOW WELL AREA SHALL BE MIN. 9 SQUARE FEET, WITH A MIN. 3 FOOT PROJECTION FROM BUILDING. IF THE VERTICAL DEPTH OF WELL IS GREATER THAN 44", PROVIDE A LADDER PER IRC 310.2.1. CONTRACTOR TO PROVIDE SUFFICIENT DRAINAGE AT BASE OF WINDOW WELL TO DRAIN A 100 YEAR RAIN STORM OF 1.5" PER HOUR.
- G7. TANK TYPE WATER CLOSETS SHALL HAVE A FLOW RATE OF NOT MORE THAN 1.6 GALLONS PER FLUSH, SHOWER HEADS OF NOT MORE THAN 2.5 GALLONS PER MINUTE, AND LAVATORY OR SINK FAUCET OF NOT MORE THAN 2.2 GPM PER P2903.2
- G8. PROVIDE ROOF EAVE AND RIDGE VENTING PER IRC R806.
- G9. INSPECTIONS ARE REQUIRED FOR ALL STUCCO AND EIFS.
- G10. HOSE BIBS SHALL BE NON-FREEZE TYPE AND BACKFLOW PREVENTING AND ARE TO BE EQUIPPED WITH AN ATMOSPHERIC OR PRESSURE TYPE VACUUM BREAKER PER P2903.10
- G11. ROOF VENTILATION OPENINGS SHALL BE NO SMALLER THAN 1/6" LEAST DIMENSION AND NO LARGER THAN 1/4" GREATEST DIMENSION. IF LARGER THAN 1/4" THEN 1/4" MESH SHALL BE USED TO COVER THE OPENING.
- G12. THE TOTAL NET FREE ROOF VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT A REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. AS AN ALTERNATIVE, THE NET FREE CROSS VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.
- G13. ICE AND WATER SHIELD SHALL BE USED UNDER ROOFING AT EAVES AND SHALL EXTEND MIN. 24" PAST THE EXTERIOR WALL TOWARDS THE INSIDE OF THE HOUSE.
- G14. PROVIDE A TILED WALL SURFACE OVER CEMENTITIOUS TILE BACKER BOARD SUBSTRATE TO A MINIMUM HEIGHT OF 6" ABOVE THE SHOWER FLOOR.
- G15. SHOWER DOOR MUST SWING OUTWARDS PER P2708
- G16. MINIMUM CLEARANCES FOR PLUMBING FIXTURES PER R307: 24" IN FRONT OF SHOWER, 30" WIDTH FOR WATER CLOSET, 21" IN FRONT OF CABINETS AND WATER CLOSET.
- G17. 3' DEEP X 2' WIDE MIN DRYWELL WITH FREE DRAINING GRAVEL 1/2" MIN, NO FINES
- G18. PROVIDE ACCESS FOR WHIRLPOOL TYPE TUB CIRCULATION PUMPS PER IRC P2720.1
- G19. FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE LISTED AND LABELED AND INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. INSTALLATION LITERATURE SHALL BE AVAILABLE AT TIME OF INSPECTION.
- G20. NEW TPO OR PVC ROOFING MEMBRANE, MINIMUM 60 MIL THICK. USE TAPERED EPS FOAM TO SLOPE ROOFING 1/4" PER FOOT MINIMUM TO CENTRAL ROOF DRAIN. THERMO PLASTIC SINGLE PLY ROOF COVERINGS SHALL COMPLY WITH ASTM D 4434, ASTM D 6754, ASTM D 6876 OR OSGB 37-GP-54M. MEMBRANE SHALL BE INSTALLED ACCORDING TO IRC 905 AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. OVERFLOW DRAINS HAVING THE SAME SIZE AS THE ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ROOF, OR OVERFLOW SCUPPERS HAVING THREE TIMES THE SIZE OF THE ROOF DRAINS AND HAVING A MINIMUM OPENING HEIGHT OF 4 INCHES SHALL BE INSTALLED IN THE ADJACENT PARAPET WALLS WITH THE INLET FLOW LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ROOF SERVED. THE INSTALLATION AND SIZING OF ROOF DRAINS, OVERFLOW DRAINS, LEADERS AND CONDUCTORS SHALL COMPLY WITH THE INTERNATIONAL PLUMBING CODE.
- G21. 4" PERFORATED DRAIN PIPE AT FOOTING. DRAIN TO DAYLIGHT.
- G22. WATER STORAGE TANKS TO BE STRAPPED ON UPPER AND LOWER THIRD WITH MIN. 22 GAUGE METAL STRAP SECURED TO SOLID BLOCKING ATTACHED TO WALL STRUCTURE.
- G23. PROVIDE EXPANSION TANK ON SUPPLY LINE TO WATER HEATER OR OTHER THERMAL EXPANSION CONTROL PER IRC P2903.4. IF WATER HEATER IS LOCATED ON WOOD FLOOR PROVIDE A DRAINAGE PAN.
- G24. A BACK WATER VALVE IS REQUIRED TO PROTECT PLUMBING FIXTURES THAT ARE LOCATED BELOW THE ELEVATION LEVEL OF THE NEAREST UPSTREAM MAN HOLE COVER. FIXTURES THAT ARE ABOVE THE ELEVATION LEVEL OF THE MANHOLE COVER SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. BACKWATER VALVES SHALL BE INSTALLED SO THAT THE WORKING PARTS ARE ACCESSIBLE FOR SERVICE AND REPAIR.
- G25. SHOWER PAN IS TO BE PROVIDED PER IRC P2709
- G26. DOORS SEPARATING THE RESIDENCE FROM A GARAGE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" THICK OR 20-MINUTE FIRE-RATED DOORS EQUIPPED WITH A SELF-CLOSING DEVICE PER IRC R302.5.1
- G27. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH GYPSUM BOARD PER IRC R302.7
- G28. ALL TUBS AND SHOWERS ARE REQUIRED TO BE EQUIPPED WITH A WATER TEMPERATURE LIMITING DEVICE THAT IS SET TO 120°F MAXIMUM.
- G29. A NONABSORBENT SURFACE SHALL EXTEND TO A MINIMUM 6" ABOVE THE FLOOR AT SHOWER LOCATIONS.
- G30. BACKER BOARD MATERIALS FOR WALL TILE IN TUB AND SHOWER AREAS SHALL BE OF THE FOLLOWING OPTIONS:
(1) GLASS MAT GYPSUM BACKING PANELS, (2) FIBER-REINFORCED GYPSUM PANELS, (3) NON-ASBESTOS FIBER-CEMENT BACK BOARD, (4) NON-ASBESTOS FIBER MAT REINFORCED CEMENTITIOUS BACKER UNITS
- G31. WHERE A STORAGE TANK-TYPE WATER HEATER OR A HOT WATER STORAGE TANK IS INSTALLED IN A LOCATION WHERE WATER LEAKAGE FROM THE TANK WILL CAUSE DAMAGE, THE TANK SHALL BE INSTALLED IN A PAN CONSTRUCTED OF THE FOLLOWING:
(1) GALVANIZED STEEL OR ALUMINUM OF NOT LESS THAN 0.0236 INCH (0.601MM) IN THICKNESS, (2) PLASTIC NOT LESS THAN 0.036 INCH (0.9MM) IN THICKNESS, (3) OTHER APPROVED MATERIALS
- G32. THE SHOWER COMPARTMENT ACCESS AND EGRESS OPENING SHALL HAVE A CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF NOT LESS THAN 2 INCHES.
- G33. POTABLE WATER OUTLETS, STOP-AND-WASTE VALVES, AND FROST-PROOF YARD HYDRANTS SHALL NOT BE INSTALLED UNDERGROUND OR BELOW GRADE UNLESS THE POTABLE WATER SUPPLY TO SUCH HYDRANTS IS PROTECTED UPSTREAM OF THE HYDRANT WITH BACKFLOW PREVENTION IN ACCORDANCE WITH IRC SECTION P2902 AND THE HYDRANTS BE PERMANENTLY IDENTIFIED AS NONPOTABLE OUTLETS BY APPROVED SIGNAGE THAT READS: "CAUTION, NONPOTABLE WATER. DO NOT DRINK."



2 SECOND FLOOR
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION NOT FOR CONSTRUCTION NOT FOR CONSTRUCTION NOT FOR CONSTRUCTION



ARCHITECTURE

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REVISIONS:

PROJECT NO:

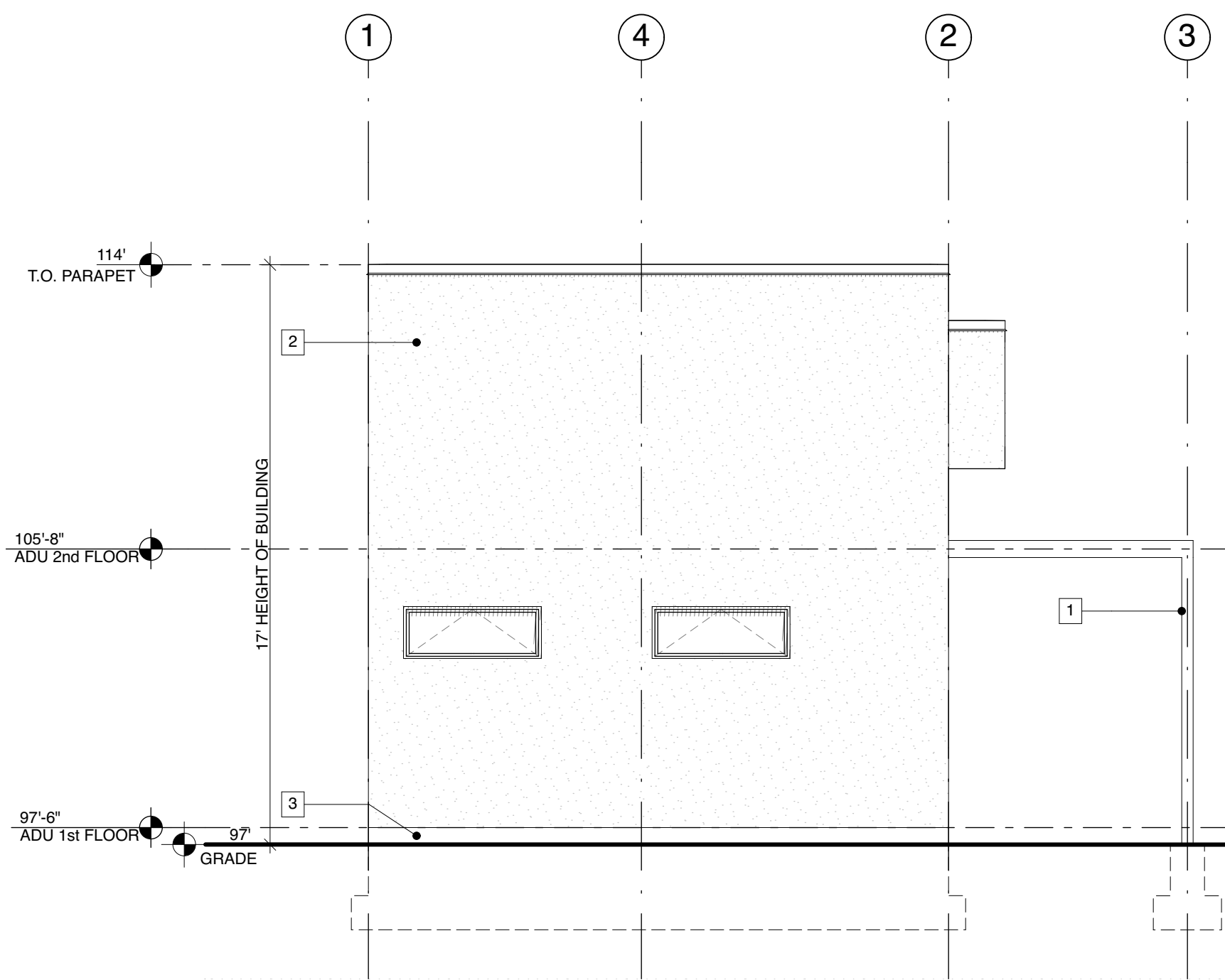
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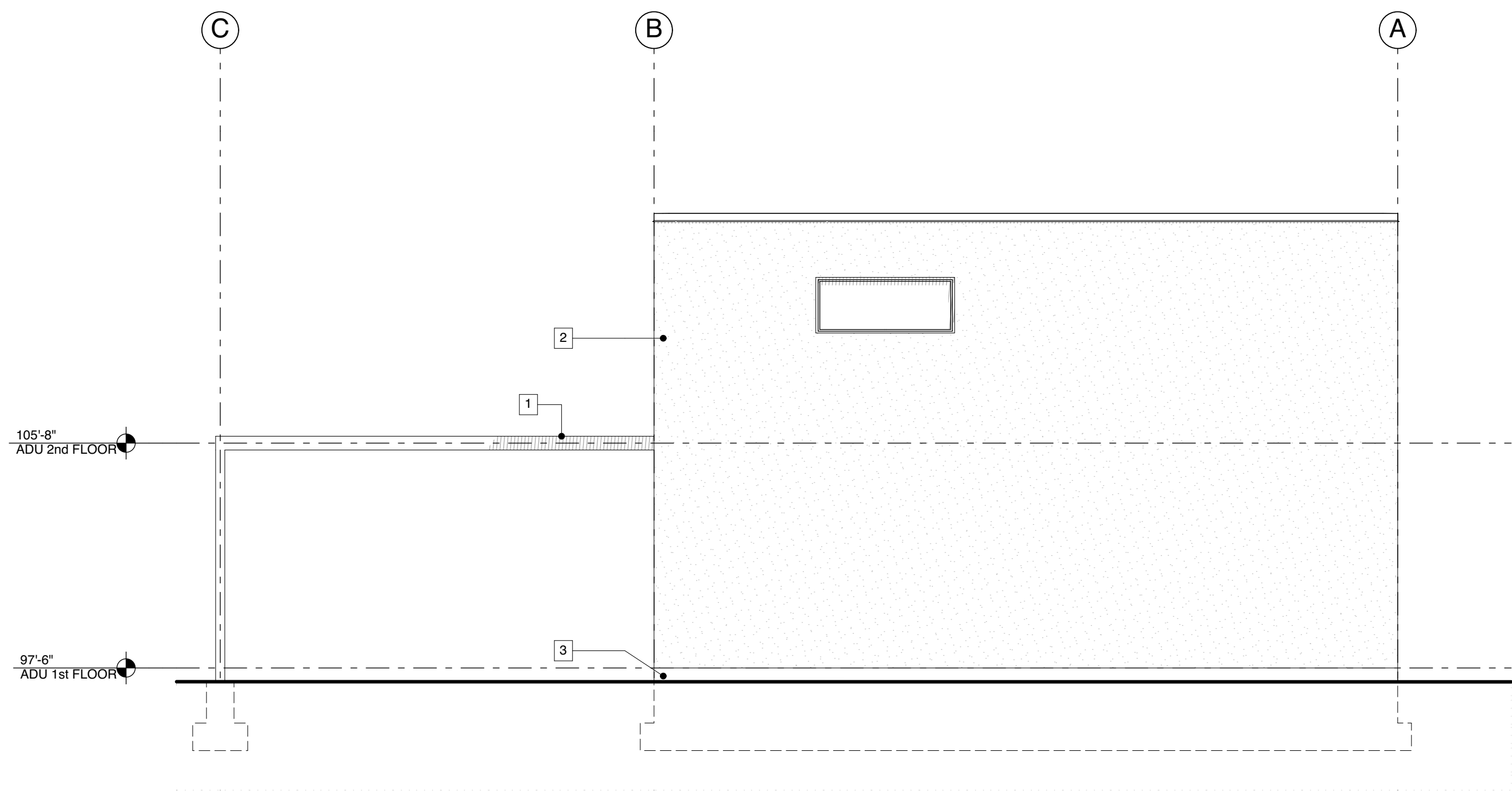
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FLOOR PLANS
A1.1

SHEET 6 OF 24

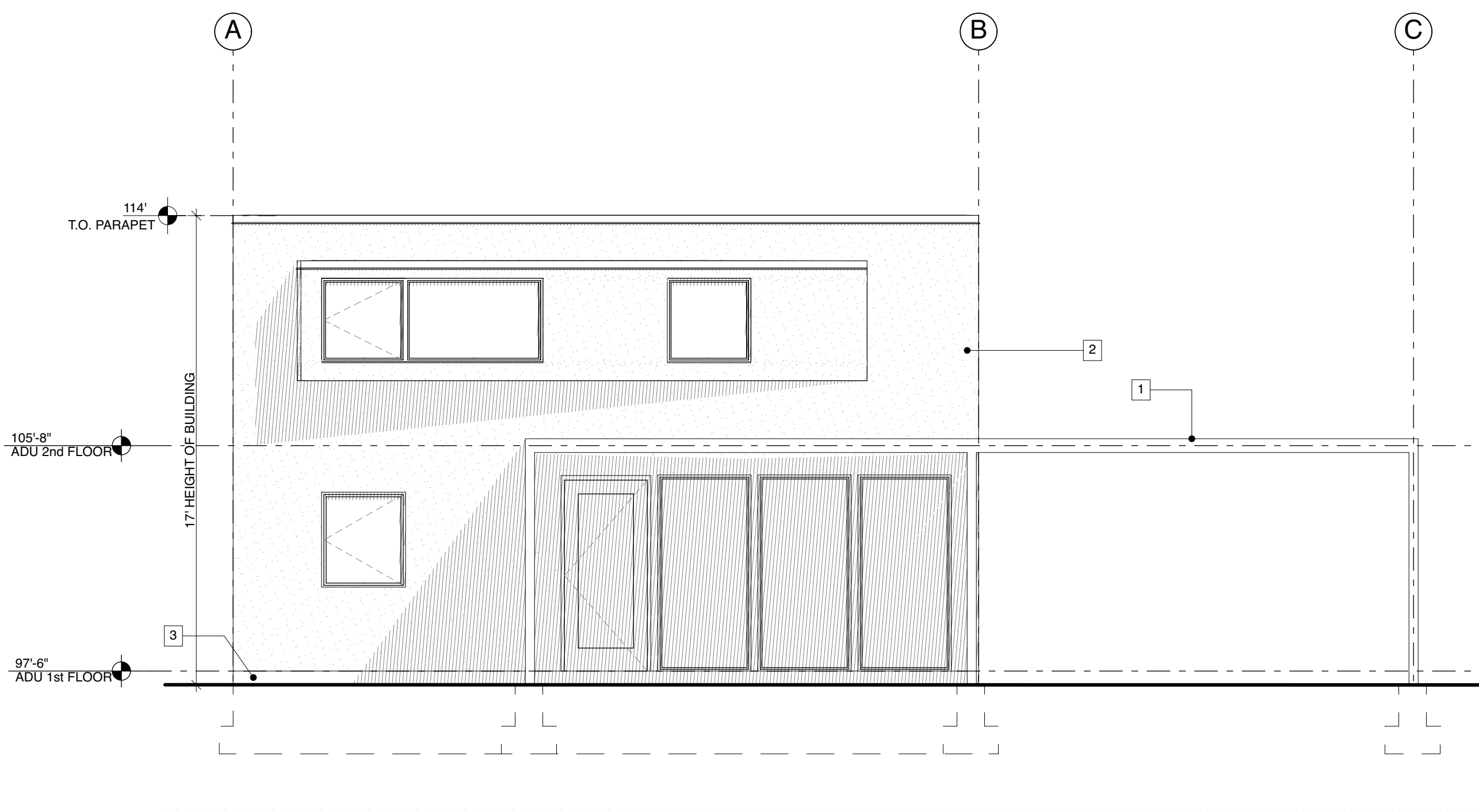


4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

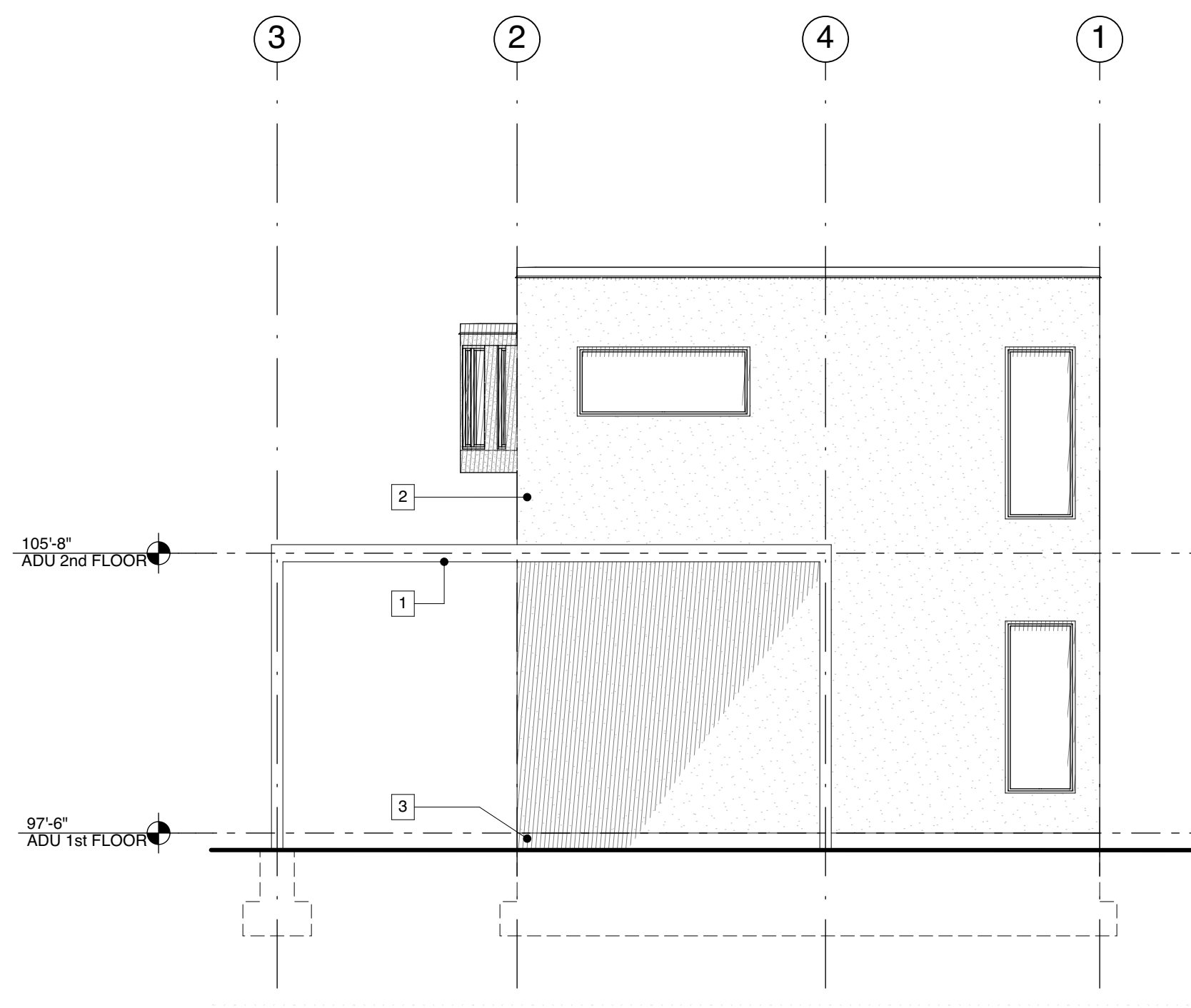


1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES	
1.	STEEL SHADE STRUCTURE
2.	STUCCO SIDING OVER WRB
3.	CAST-IN-PLACE CONCRETE




2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION NOT FOR CONSTRUCTION NOT FOR CONSTRUCTION NOT FOR CONSTRUCTION



ARCHITECTURE

BRACH DESIGN
ARCHITECTURE
801-865-7648
dave@brachdesign.com

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FLANDERS ADU
1083 S. BLAIR ST.
SALT LAKE CITY, UT 84111

REVISIONS:

PROJECT NO:



DATE: 12/23/19










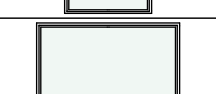



DRAWN BY:

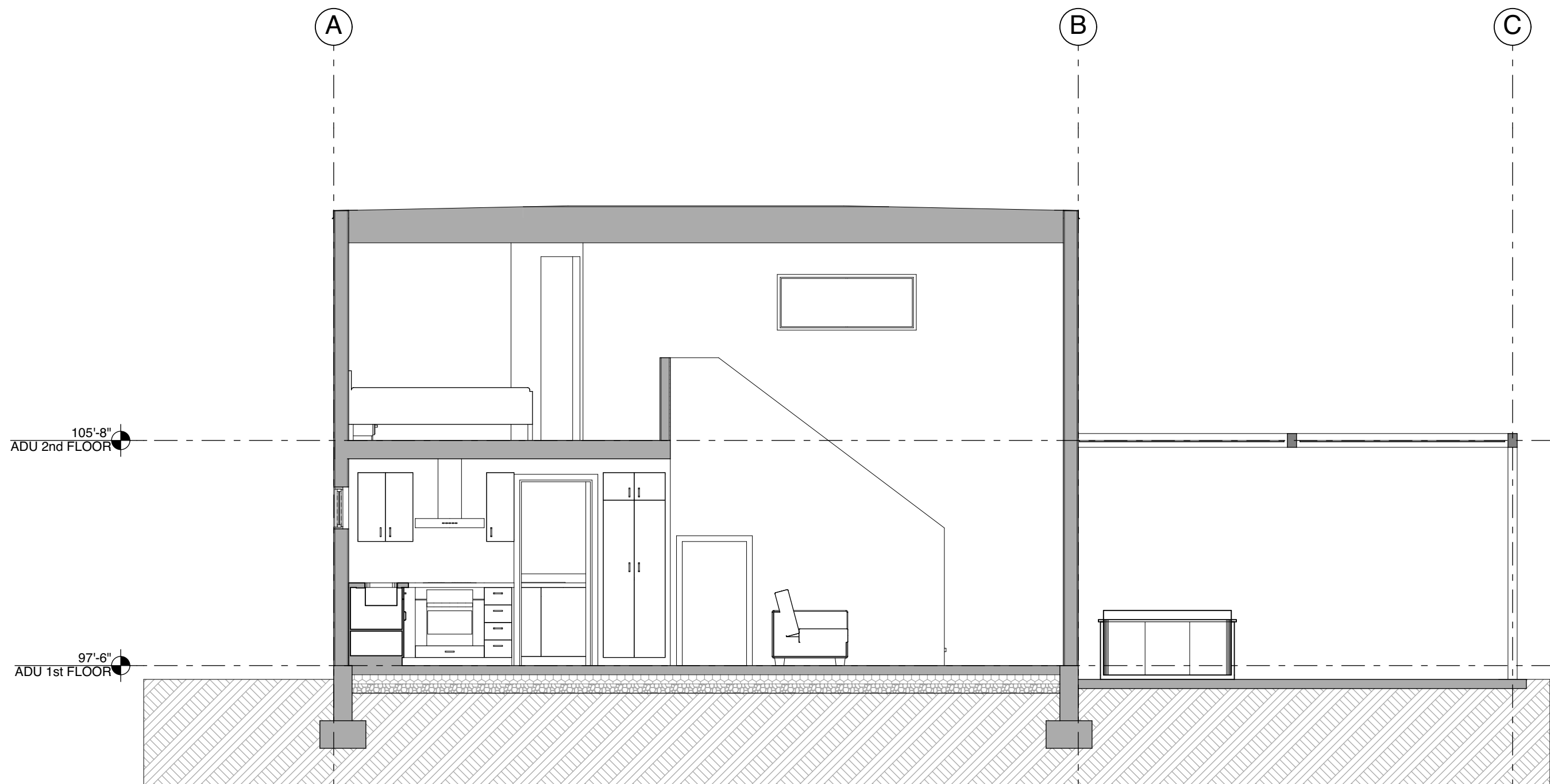
SCALE: AS NOTED IN DRAWING

NEW
ELEVATIONS
A2.1

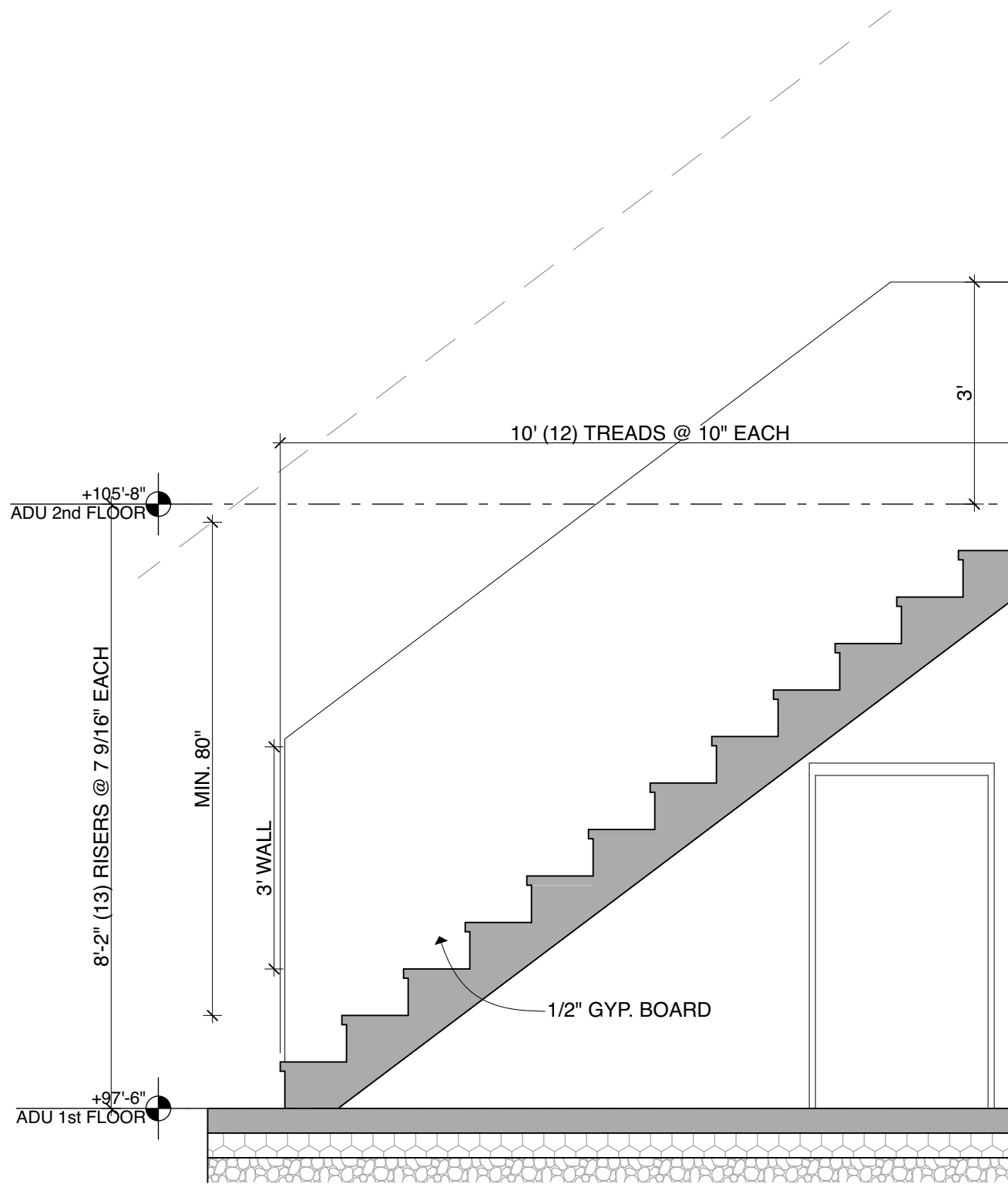
SHEET 7 OF 24

INTERIOR DOOR AND FRAME SCHEDULE								
ID	2D Symbol	Quantity	SIZE		R.O. SIZE		Wall Thickness	NOTES
			WIDTH	HEIGHT	WIDTH	HEIGHT		
A		2	2'-6"	6'-8"	2'-8"	6'-10"	4.50"	
B		2	2'-4"	4'-6"	2'-6"	4'-8"	4.50"	

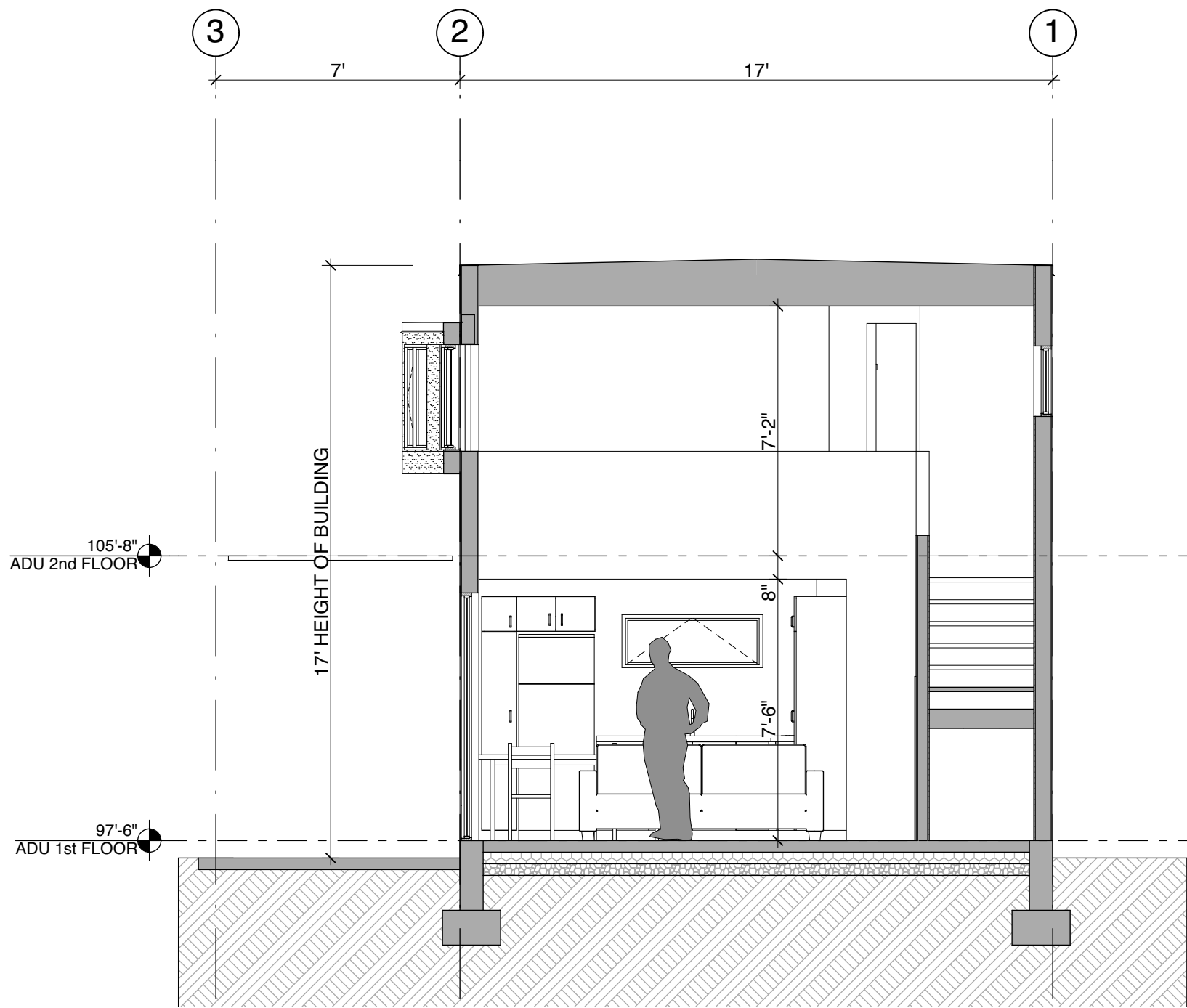
WINDOW AND EXTERIOR DOOR SCHEDULE									
ID	FRONT VIEW	UNIT SIZE		R.O. SIZE		SILL HEIGHT	OPERATION TYPE	TOTAL UNIT U-FACTOR	NOTES
		WIDTH	HEIGHT	WIDTH	HEIGHT				
D01		36"	83"	39"	85"	0"	D1 Entrance 22		
W01		24"	60"	24 1/2"	60 1/4"	14"	W Fixed 22		
W02		40"	85"	40 1/2"	85 1/4"	0"	W Fixed 22		
W02		40"	85"	40 1/2"	85 1/4"	0"	W Fixed 22		
W02		40"	85"	40 1/2"	85 1/4"	0"	W Fixed 22		
W05		36"	41"	36 1/2"	41 1/4"	36 1/2"	W1 Casement 22		
W07		48"	18"	48 1/2"	18 1/4"	59 1/2"	W Awning 1 22		
W08		60"	24"	60 1/2"	24 1/4"	48"	W Fixed 22		
W09		24"	60"	24 1/2"	60 1/4"	12"	W Fixed 22		
W10		60"	24"	60 1/2"	24 1/4"	48"	W Fixed 22		
W11		36"	36"	36 1/2"	36 1/4"	36 1/2"	W Fixed 22		
W12		59 1/2"	36"	60"	36 1/4"	36 1/2"	W Fixed 22		
W13		36"	36"	36 1/2"	36 1/4"	36 1/2"	W1 Casement 22		



1 EW BUILDING SECTION
SCALE: 1/4" = 1'-0"



3 STAIR SECTION
SCALE: 1/2" = 1'-0"



2 NS BUILDING SECTION
SCALE: 1/4" = 1'-0"

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FLANDERS ADU
1083 S. BLAIR ST.
SALT LAKE CITY, UT 84111

REVISIONS:

PROJECT NO:

DATE: 12/23/19

DRAWN BY:

SCALE: AS NOTED IN DRAWING

**BUILDING &
STAIR
SECTIONS &
SCHEDULES**

A3.1

SHEET 8 OF 24

ATTACHMENT C – SITE PHOTOS



View of the front of the existing house from Blair Street and facing east



View of the side and front of the existing house and looking toward the area of the rear yard where the ADU would be located



View of the rear yard where the ADU would be located



View of the alley behind the subject property along with the property's rear yard fence and garage located on the adjacent property to the north.

ATTACHMENT D – ADU ZONING STANDARDS

21A.40.200 – Accessory Dwelling Units

ADU STANDARDS	PROPOSED	COMPLIES Y/N
SIZE ADU footprint can be 50% of the footprint of the primary house up to a maximum of 650 SF .	Primary house is approximately 996 SF, ADU can be 50% of that or approximately 498 SF . Proposed footprint is approximately 459 SF . There is also a 186 SF loft area. These total 645 SF .	Complies
MAXIMUM COVERAGE The surface coverage of all principal and accessory buildings shall not exceed 40% of the lot.	Lot size is approximately 7,887 SF. 40% of the lot is 3,155 SF. Primary House – 996 SF Existing Garage – 209 SF Proposed ADU - 459 SF Covered patio – 375 SF Total coverage – 2,039 SF The surface coverage all principal and accessory buildings (including the proposed ADU) is 26% of the lot.	Complies
HEIGHT 17 FT or the height of the single family dwelling on the property, whichever is less. *If the principal dwelling is over 17 feet in height, the ADU may be equal in height up to a maximum of 24 FT if 10 foot side and rear yard setbacks are provided. The setback for additional height may be reduced to 4' if the side or rear lot line is adjacent to an alley.	17'	Complies
SETBACKS Minimum of 4 FT from any side or rear lot line.	Located 4 FT from the north side lot line and 29 FT from south side lot line and over 30 FT from the rear lot line.	Complies
SEPARATION Located 10 FT from any primary dwelling on the property or adjacent property	Located approximately 41 FT from the primary house on the property and the closest house on an adjacent property is approximately 44 FT .	Complies

<p>ENTRANCE LOCATIONS</p> <p>The entrance to an ADU in an accessory building shall be located:</p> <ul style="list-style-type: none"> • (2) Facing a side or rear property line provided the entrance is located a minimum of ten feet (10') from the side or rear property line. 	<p>The entrance for the proposed ADU faces the south property line and is located approximately 29 FT from the side property line.</p>	<p>Complies</p>
<p>REQUIREMENTS FOR WINDOWS</p> <ul style="list-style-type: none"> • Windows shall be no larger than necessary to comply with the minimum Building Code requirements for egress where required. Skylights, clerestory windows, or obscured glazing shall be used when facing a side or rear property line to comply with minimum Building Code requirements for air and light on building elevations that are within ten feet (10') of a side or rear property line unless the side or rear property line is adjacent to an alley. • Except as required in subsection E3g(1) of this section, windows shall maintain a similar dimension and design as the windows found on the principal structure. 	<p>The north elevation of the ADU is located 4 FT from the property line and one clerestory window is proposed on that elevation.</p> <p>The other elevations are all greater than 10 FT from a property line and have a variety of window sizes and shapes, including clerestory windows. The appearance of the proposed ADU is generally more modern than the existing residence and the variety of window types are compatible with the principal structure.</p> <p>Egress windows are required in habitable space. To meet these requirements, the bottom of the egress window opening can't exceed 44 IN from the finished floor. The minimum opening area of the egress window is 5.7 SF, the minimum egress window opening height is 24 IN high. The minimum egress window opening is 20 IN wide.</p>	<p>Complies</p>
<p>PARKING</p> <p>Minimum of one parking space on site.</p> <p>*This requirement may be waived if there is legal on street parking along the street frontage of the property OR if it's within ¼ mile of a transit stop.</p>	<p>In addition to the parking spaces for the house already provided on the driveway and in the existing detached garage, the ADU will have a parking spot in the southern portion of the rear yard and accessed via the alley.</p> <p>Additionally, on-site parking could be waived because there is on-street parking in front of the property.</p>	<p>Complies</p>

ATTACHMENT E – CONDITIONAL USE STANDARDS

21A.54.080 Standards for Conditional Use

Approval Standards: A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title;

Analysis: The proposed ADU use is located in the R-1/5000 zoning district which allows for an ADU to be approved through the conditional use process subject to meeting the specific regulations for an ADU in section 21A.40.200 of the zoning ordinance. As analyzed in [Attachment E](#), the ADU complies with the requirements of 21A.40.200.

Finding: The proposed use will comply with the applicable provisions of the Salt Lake City Zoning Ordinance.

2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;

Analysis: The proposed ADU use is a small residential unit that should be readily compatible with surrounding uses which are all single family homes. The ADU meets all the requirements in terms of setbacks and separation requirements between adjacent houses and the primary house on the property.

Finding: The proposed use is compatible with the surrounding uses.

3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and

Analysis: The proposed ADU is located in the Liberty neighborhood planning area as established by the *Central Community Master Plan*. This neighborhood extends east from State Street to 700 East and south from 900 South to 2100 South. This area first developed in the 1880s and development continued through the early 20th Century with the development of “streetcar subdivisions”. Much of the area was filled in with modest single-family dwellings and smaller multifamily buildings with architectural styles ranging from cottages to bungalows by 1925. The master plan designates the future land use of this area as low density residential and the existing zoning on the property is R-1/5000, single family residential.

The purpose of the R-1/5,000 Single-Family Residential District is to provide for conventional single-family residential neighborhoods. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

The purpose of accessory dwelling units are to:

- 1) Create new housing units while respecting the appearance and scale of single-family residential development;
- 2) Provide more housing choices in residential districts;
- 3) Allow more efficient use of existing housing stock, public infrastructure, and the embodied energy contained within existing structures;

- 4) Provide housing options for family caregivers, adult children, aging parents, and families seeking smaller households;
- 5) Offer a means for residents, particularly seniors, single parents, and families with grown children, to remain in their homes and neighborhoods, and obtain extra income, security, companionship, and services;
- 6) Broaden the range of affordable housing throughout the City;
- 7) Support sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption;
- 8) Support transit oriented development and reduce auto usage by increasing density near transit; and
- 9) Support the economic viability of historic properties and the City's historic preservation goals by allowing accessory dwellings in historic structures.

The proposed ADU is consistent with the following Residential Land Use Goals included in the Central Community Master Plan:

- Encourage the creation and maintenance of a variety of housing opportunities that meet social needs and income levels of a diverse population.
- Ensure preservation of low-density residential neighborhoods.
- Encourage a mix of rental properties for those who cannot afford or do not choose home ownership.
- Support the efforts of the Housing Division and the Redevelopment Agency to provide residential construction in all qualifying neighborhoods within the Central Community.

The proposal is also consistent with the goals and policies outlined in *Growing SLC: A Five Year Housing Plan* which aims to increase housing options, promote diverse housing stock, and allow for additional units while minimizing neighborhood impacts.

Finding: The uses are consistent with applicable adopted city planning policies, documents, and master plans.

4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions (refer to Detrimental Impacts Chart below for details).

21A.54.080B Detrimental Effects Determination

In analyzing the anticipated detrimental effects of a proposed use, the planning commission shall determine compliance with each of the following:

Criteria	Finding	Rationale
1. This title specifically authorizes the use where it is located	Complies	The proposed ADU is an accessory residential use and is allowed as a conditional use within the R-1/5,000 zoning district. The proposed ADU complies with all specific regulations for an ADU including size, height, setbacks, distance to other houses, etc. as outlined in Attachment D .
2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps	Complies	The uses are located in an area zoned and designated by the associated master plan for low density residential. This land use designation allows moderate sized lots (i.e., 3,000-10,000 square feet with 1-15 dwelling units per acre) where single-family detached homes are the dominant land use. Low-density includes single-family attached

		<p>and detached dwellings as permissible on a single residential lot subject to zoning.</p> <p>As discussed under Conditional Use standard 3 above, the proposed ADU is consistent with the purpose of the ADU ordinance, several residential land use policies in the Central Community Master Plan and supports goals outlined in Growing SLC: a Five Year Housing Plan by providing more housing options, and creating a new housing unit that respects the scale of the neighborhood.</p>
3. The use is well-suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area	Complies	<p>Uses surrounding the property are generally single family residential. The residential lots in this area are large enough to provide separation between the proposed ADU and the house on the property as well as adjacent primary residences. The proposal complies with the size requirements for an ADU which can be up to 50% of the footprint of the primary house up to an overall size of 650 SF and is compatible with the scale of surrounding accessory buildings and adjacent uses.</p>
4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered	Complies	<p>As discussed above, the scale of the proposal is compatible with the main house on the property as well as surrounding structures and meets the footprint and height requirements for an ADU. The ADU is proposed in a location on the site that minimizes impacts to adjacent properties.</p>
5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows	Complies	<p>The main house on the subject property has a driveway located off of Blair Street. The ADU will access a parking space from the alley. The proposed access will not impede traffic flows.</p>
6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic	Complies	<p>The proposed ADU will be accessed from the alley. It is not anticipated that the ADU will create any adverse impacts in terms of motorized, non-motorized and pedestrian traffic.</p>
7. The site is designed to enable access and circulation for pedestrian and bicycles	Complies	<p>The site is designed for pedestrian and bicycle access. The site plan shows a path from the parking space to the ADU.</p>
8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street	Complies	<p>Vehicular access to the site and sufficient parking is existing. There is an existing detached single car garage with additional parking available on the driveway. There is also an additional parking space for the ADU that will be accessed from the alley. No unreasonable impacts to the service level of the adjacent streets is anticipated.</p>

9. The location and design of off-street parking complies with applicable standards of this code	Complies	As discussed in other areas of this analysis, one parking space is provided in the rear yard for the ADU. Additionally, parking for the ADU could be waived because of the availability of off-street parking in front of the subject property.
10. Utility capacity is sufficient to support the use at normal service levels	Complies	The Public Utilities department provided comments on the project. As proposed, the utility plan would be in compliance.
11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts	Complies	The proposed ADU may result in increased activity in the rear yard of the subject property. This must be taken into account for potential impacts to the abutting properties that appear to be single family residences. The property currently has a solid wood fence along the property line and this provides screening from the adjacent properties. Additionally, most of the proposed setbacks exceed the required minimums.
12. The use meets City sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke	Complies	The use does not significantly impact sustainability plans. The project supports sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption.
13. The hours of operation and delivery of the use are compatible with surrounding uses	Complies	The proposed use is an accessory residential structure and is compatible with the surrounding uses that are also residential.
14. Signs and lighting are compatible with, and do not negatively impact surrounding uses	Complies	Signs are not associated with this proposal. Any lighting on the accessory structure is not expected to have a negative impact on the surrounding uses or otherwise cause a nuisance.
15. The proposed use does not undermine preservation of historic resources and structures	Complies	The property is not located within a Local Historic District and the proposal does not involve removal or any historic resources or structures.

Finding: In analyzing the anticipated detrimental effects of the proposed use, Staff finds that with the conditions identified in the analysis, the request complies with the criteria listed above.

ATTACHMENT F – PUBLIC PROCESS & COMMENTS

Notice of Application to Central City and Liberty Wells Community Councils:

A notice of application and submitted materials were sent to the Central City and Liberty Wells Community Council chairpersons, on December 10, 2019. The subject parcel is within the boundaries of both Community Councils. They were each given 45 days to respond with any concerns or request staff to meet with them and discuss the proposed rezoning and text amendment.

Early Notification to Property Owners and Renters within 300' of the Subject Parcel:

An early notification to property owners and renters was also sent out on December 10, 2019. It provided them information about the project with Staff contact information to provide comments or seek additional information. It also let them know that it had been sent to the applicable Community Councils.

Public Open Houses:

An Open House was held on January 16, 2020. Notices were mailed and posted on January 6, 2020. Two residents attended and their comment cards indicating support for the proposal are below.

Notice of the Planning Commission Public Hearing:

Notice of the public hearing scheduled for February 12, 2020 were mailed and posted on the site on January 31, 2020.

Public Input:

No comments were provided from the Central City or Liberty Wells Community Councils. As of the publication of this Staff Report, Staff has received the two written comments from the Open House.

Staff spoke with a nearby property owner that was generally supportive of the proposal.

Staff received a phone call from a nearby property owner whose residence is located close to the alley and who had concerns about additional development in the area because of the potential for additional crime and noise, particularly in the alley. The applicant indicated that the owners of the house plan to live in the ADU potentially decreasing these concerns.

Staff received a phone call from another nearby resident who had concerns with the removal of the existing tree in the rear yard for the construction of the ADU.

If any comments are received after publication of the Staff Report, they will be forwarded to the Planning Commission and included in the public record.

SIGN IN SHEET



SALT LAKE CITY
PLANNING

EVENT NAME: _____

DATE: _____

NAME: Ryan Hines

ADDRESS: 1086 S Blain

ZIP CODE: 84111

EMAIL: _____

NAME: Jeremy King

ADDRESS: 1205 Glendale St.

SLL. ZIP CODE: 84104

EMAIL: _____

NAME: _____

ADDRESS: _____

ZIP CODE: _____

EMAIL: _____

NAME: _____

ADDRESS: _____

ZIP CODE: _____

EMAIL: _____

NAME: _____

ADDRESS: _____

ZIP CODE: _____

EMAIL: _____

LEAVE A COMMENT!

PROJECT NAME:

DATE:

1/16/2020



SALT LAKE CITY
PLANNING

NAME:

Jeremy King

EMAIL:



ADDRESS:

1205 Glendale St.

COMMENTS:

In favor of increasing density with ADU.

STAY INFORMED // Please provide your contact information to be notified of future information and other meetings on this project. You can submit this sheet before the end of the Open House, or provide your comments via email or mail.

SARA JAVORONOK // sara.javoronok@slcgov.com

SALT LAKE CITY PLANNING DIVISION

451 S. State Street // Salt Lake City, UT 84114-5480 // P.O. Box 145480

LEAVE A COMMENT!

PROJECT NAME:

1083 S Blain

DATE:



SALT LAKE CITY
PLANNING

NAME:

Ryan Hines

EMAIL:

ADDRESS:

COMMENTS:

ADUs are a nice addition to our neighborhoods.
Nice project!

STAY INFORMED // Please provide your contact information to be notified of future information and other meetings on this project. You can submit this sheet before the end of the Open House, or provide your comments via email or mail.

SARA JAVORONOK // sara.javoronok@slcgov.com

SALT LAKE CITY PLANNING DIVISION

451 S. State Street // Salt Lake City, UT 84114-5480 // P.O. Box 145480

ATTACHMENT G – DEPARTMENT REVIEW COMMENTS

Planning – Sara Javoronok, sara.javoronok@slcgov.com, 801-535-7625

- Schedule a DRT to identify potential issues with fire, utilities, etc.
- Please provide a more detailed narrative, especially addressing 21A.40.200.E.3.g (1) and (2) regarding the proposed windows.

*Subsequent to sending these comments the Development Review Supervisor indicated that a DRT was not necessary.

Public Utilities – Jason Draper, jason.draper@slcgov.com, 801-483-6751

The sewer lateral for the existing home will need to be replaced and relocated. It looks like their plans address this. If they follow this proposed plan, we have no objections to the conditional use.

Zoning – Scott Browning, scott.browning@slcgov.com, 801-535-7283

1. Required to attend DRT
2. Need an elevation of the entire property – to make sure the ADU is not taller than 17' or the main structure (whichever is taller)
3. Window on the north elevation – “Windows shall be no larger than necessary to comply with the minimum Building Code requirements for egress where required”. (21A.40.200.E.3.g.1)
4. Total lot coverage by solid roofed structures must be on the site plan

Engineering – Scott Weiler, scott.weiler@slcgov.com, 801-535-6159

No objections.

Transportation – Michael Barry, Michael.barry@slcgov.com, 801-535-7147

For an ADU, one additional parking space is required. It appears that this requirement is met with a parking space off the alley.

Fire – Doug Bateman, douglas.bateman@slcgov.com, 801-535-6619

Fire apparatus access road shall extend to within 150-feet of all portions of the building and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building. Fire apparatus access roads shall have a minimum clear width of 20-feet for buildings 30-feet and under; and an unobstructed clear height of 13-feet 6-inches.

For Group R-3 and Group U occupancies, fire hydrants shall be within 600-feet of all exterior portions of the buildings as measured by an approved route around the building. Provide location of existing or proposed fire hydrants.

***"Approved" is defined as the height of the structure times 70 % plus 4 feet will be the dimension measured from the exterior wall.