



MEMORANDUM

PLANNING DIVISION
DEPARTMENT *of* COMMUNITY *and* NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: David J. Gellner, AICP, Principal Planner 385-226-3860, david.gellner@slcgov.com

Date: December 9, 2020

Re: Modifications to the Book Cliffs Apartments at approximately 1159 S. West Temple St.
Conditional Building and Site Design Review PLNPCM2017-00708

PROPERTY ADDRESS: 1159 S. West Temple St.

PARCEL ID: 15-12-431-020

MASTER PLAN: Central Community Master Plan

ZONING DISTRICT: CC (Corridor Commercial)

REQUEST: The Book Cliffs Apartments project previously received Conditional Building and Site Design Review approval from the Planning Commission on December 13, 2017. The applicant has requested modifications to the approved design. These changes are required by ordinance to be reviewed by the Planning Commission as major modifications as only minor modifications can be approved administratively.

ACTION REQUIRED: Review the proposed changes to the design of the project. If the Planning Commission denies the modifications, the project will be required to comply with the original approval.

RECOMMENDATION: Planning Staff recommends that the Planning Commission approve the modifications to PLNPCM2017-00708 Conditional Building and Site Design Review approval for the Book Cliffs Apartments.

ATTACHMENTS:

- A. [Updated Plans](#) Site Plan Added & Elevations Marked with View Directions
- B. [Conditional Building and Design Review Standards from 2017](#)
- C. [Original Planning Commission Staff Report December 13, 2017](#)
- D. [Minutes from December 13, 2017 Planning Commission meeting](#)
- E: [Exterior Building Material Manufacturer Information](#)

BACKGROUND: Joe Post representing the Salt Lake City Housing Authority, requested Conditional Building and Site Design Review approval for a 54-unit apartment building that would be approximately 45 feet in height in the CC (Corridor Commercial District). The request was made to obtain additional 15 feet of building height over the 30 feet allowed by right in the zone. The CC zoning district allows for up to 15 feet in additional height with Conditional Building and Site Design Review approval.

The project was reviewed and approved at the December 13, 2017 Planning Commission meeting. The original Planning Commission approval granted the request for additional building height with the following conditions:

1. Final approval authority for the development shall be delegated to Planning staff based on the applicant's compliance with the standards and conditions of approval as noted within this staff report.
2. The Planning Commission added the additional condition of approval that:

The main entrance be oriented to West Temple such that it is very similar in scale and in look to the existing east façade of the building.

The applicant has submitted building plans seeking a permit to construct the project. Review of the new plans show significant modifications to the design of the structure itself from what was previously approved by the commission. The layout of the site including building outline, parking areas and landscaping had very minor modifications. The approval process for modifications to approved plans is described in the Zoning Ordinance:

21A.59.080: MODIFICATIONS TO APPROVED DESIGN REVIEW PLANS:

A. Minor Modifications: The Planning Director may authorize minor modifications to approved design review applications as listed below.

1. Dimensional requirements that are necessary in order to comply with adopted Building Codes, Fire Codes, or engineering standards. The modification is limited to the minimum amount necessary to comply with the applicable Building Code, Fire Codes, or engineering standard.

2. Minor changes to building materials provided the modification is limited to the dimension of the material, color of material, or texture of material. Changes to a different material shall not be considered a minor modification.

B. Other Modifications: Any other modifications not listed in subsection A of this section shall require a new application.

Some minor changes can be approved administratively by the Planning Director, but those changes are limited. Staff believes that the requested modifications are not considered to be minor in nature and that the Planning Commission should review the updated plans.

APPLICANT'S REQUESTED MODIFICATIONS:

The applicant has requested modifications to the approved design which are required by ordinance to be reviewed by the Planning Commission. The proposed modifications to the approved design are found in the drawings located in [Attachment A](#). Specifically, the following design changes have been proposed by the applicant:

Building Materials & Overall Design

The overall design of the building has been modified since its original approval by the Planning Commission. This includes window shape and size, roof lines, added entrances, different exterior building materials, etc.

Approved by the Planning Commission: The original proposal was a 54-unit, 4 story, 45 foot tall multi-family residential development. Its main entrance was on the east façade facing the parking area in the rear of the property rather than the street. This design was

purposeful as the project was being designed in conjunction with the Urban Indian Center and facing the building east was important to Native American culture.

The exterior building materials consisted of cementitious siding (Hardie board) and stucco (EIFS) with metal railings around the balconies and patio areas. The exterior building materials were consistent on all four sides of the structure.

The proposal also included large art panels on the south and east sides of the structure.



Revised Proposal: The proposed design is similar in shape, site layout, land use and height to the originally approved design. The modifications are primarily focused on the exterior building materials and a redesign of the west façade along West Temple Street in response to the condition placed on the approval by the Commission.

In response to rising construction costs and the owner's preference, the exterior building materials of the revised proposal include those in the original approval but now also include PVC wood siding, faux Corten steel and Terraneo-Dryvit. Dryvit is the name of a company that is often referenced as the product as is Hardie-board and Corten steel. It is an EIFS or stucco product that is often shaped to resemble brick or block walls. More information about the building products from the manufacturers can be found in [Attachment E](#).

During the original hearing, the Planning Commission signaled concern about the west façade along West Temple St. As was discussed before, the main entrance of the original design was facing east due to the desire to be culturally sensitive in their design. The Commission

ultimately approved the project but with the condition that west façade, “is very similar in scale and in look to the existing east façade of the building.”

To respond to that condition the applicant added a series of entrances into private residential units as well as a main entrance into the lobby of the structure along the West Temple St. frontage. These entrances will pull pedestrian traffic directly onto the sidewalk rather than forcing them through the rear parking lot. Increased pedestrian interest will occur by providing 25 percent of glazing on the ground floor. The CC zoning district does not require any glazing on the ground floor of a structure.

Articulation was added to the structure with added depth to the balconies and symmetrical architectural features which frame the windows from the second to the fourth levels of the structure. Adjustments to the roof line were also added providing additional visible interest to the structure. The remaining facades were modified to be compatible with the modifications made to the street facing façade.



DISCUSSION:

The proposed modifications to the Conditional Building and Site Design Review must be in substantial conformity to the original request or should be reviewed as a separate application. In this case staff asserts that the revised overall design is in substantial conformity with the original approval with its condition of a redesign of the west facade along West Temple St.

Staff believes that the proposed modifications are in substantial conformity with the original proposal and will allow for the construction of a better development than was originally approved.

NEXT STEPS:

Modification of a Conditional Building and Site Design Review Approval

If the modification is approved, the applicant may proceed with the project after meeting all standards and conditions required by all City Departments and the Planning Commission to obtain all necessary building permits.

Modification of a Conditional Building and Site Design Review Denial

If the major modification is denied, the applicant may still develop the property as was originally approved by the Planning Commission.

Attachment A: Updated Plans

General Notes - Site Plan

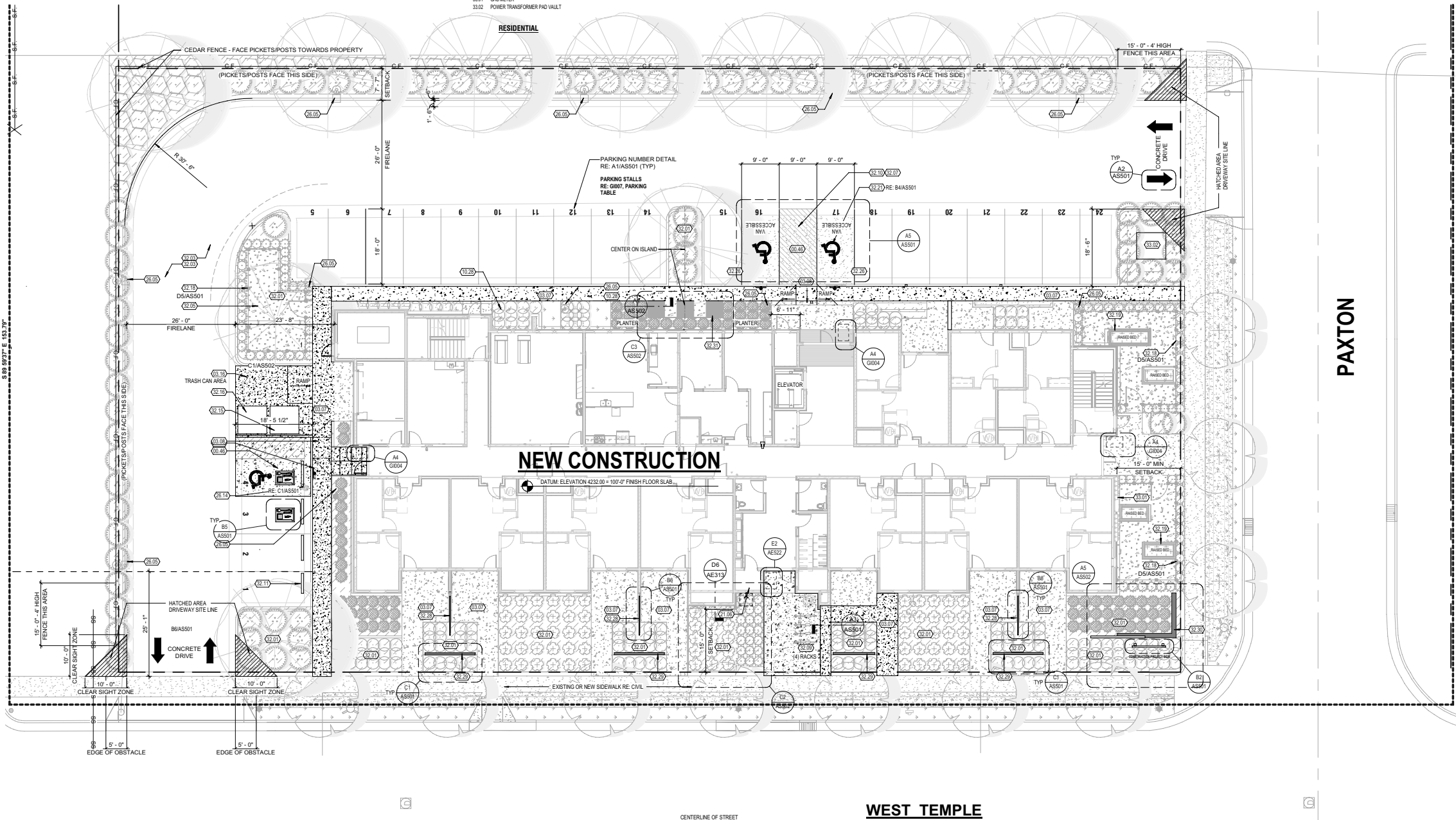
- DO NOT SCALE DRAWINGS
- SEE LANDSCAPE DRAWINGS FOR CONCRETE SIDEWALK SCORING PATTERN
- SEE CODE SHEET SERIES GH00 FOR BREAKDOWN PARKING SPACE QUANTITIES
- STAGING AREA TO BE COORDINATED BY CONTRACTOR WITH AUTHORITIES HAVING JURISDICTION (AHJ)
- SEE CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION AND DETAILS
- SEE MECHANICAL FOR DRAIN AND PLUMBING LOCATIONS
- SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFORMATION
- FOR CONSTRUCTION BOUNDARY AND UTILITIES, RE CIVIL DRAWINGS
- ELECTRICAL VEHICLE CHARGING STATION PARKING SHALL BE NEAREST TO THE ENTRANCE AS POSSIBLE
- ANY AND ALL ACCESSIBLE ROUTE MUST NOT EXCEED A 2% CROSS SLOPE AND MEET THE ADA STANDARDS.

Graphic Legend

FLAT WORK SURFACES RE: CIVIL, LANDSCAPE SHEETS	
PAVED SURFACES RE: CIVIL, LANDSCAPING	
RECYCLE BIN	
TRASH DUMPSTER	
SEWER LINE	
SOLID FENCE (LIGHT-PROOF)	
ORNAMENTAL FENCE, RE:	
OVERHEAD POWER LINE	
EXISTING SEWER MAIN	
EXISTING WATER MAIN	
CEDAR FENCE, RE: B11AS501	

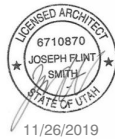
KEYED NOTES

- 00.46 PAINTED LETTERS OR SYMBOLS
03.07 CONCRETE SIDEWALK 5% MAX 2% CROSS SLOPE ON ACCESSIBLE ROUTES
03.08 ACCESS RAMP, RE: CIVIL
03.16 CONCRETE SLAB ON GRADE OVER 4" GRAVEL BED SEE CIVIL
10.28 ACCESSIBLE PARKING SIGNAGE
21.06 FDC CONNECTION, RE: FIRE PROTECTION DRAWINGS
26.05 SITE LIGHT FIXTURE - TYP, SEE ELECTRICAL
26.14 ELECTRICAL CAR CHARGING STATION, SEE ELECTRICAL
32.01 LANDSCAPE AREA, RE: LANDSCAPE
32.03 CONCRETE DRIVE, RE: CIVIL
32.05 DOG PARK (W/ DOG WASTE STATION AND DOG DRINKING FOUNTAIN)
32.07 TRAFFIC / PARKING STRIPING, RE: SPECIFICATIONS
32.08 EXTERIOR BIKE RACK, SEE CIVIL
32.10 ACCESS ASILES, 8" MINIMUM AREA TO BE MARKED, AND SHALL COMPLY TO ANSI 117.1, 2008 SECTION 503.3
32.11 WHEEL STOPS TO PREVENT PARKED CARS FROM ENCRoUCHING UPON ACCESSIBLE ROUTE
32.15 8" THICK CONCRETE WALL 8" HIGH, W/ CHAMFERED CORNERS
32.16 TRASH DUMPSTER LOCATION FOR SITE PICKUP
32.18 4' HIGH CHAIN LINK FENCE - BLACK VINYL COATED
32.19 PAVED GARDEN BED, RE: LANDSCAPING
32.21 HANDICAP PARKING GRAPHIC/SYMBOL
32.26 HANDICAP PARKING SIGNAGE, RE: CIVIL DRAWINGS
32.28 METAL STUD FRAMED PANTO DIVIDER WALL
32.29 METAL STUD FRAMED PONY WALL (W/ APT NO.)
32.30 MONUMENT SIGNAGE
32.31 CONCRETE BENCH W/ WOOD TOPPING SLATS
33.01 GAS METER
33.02 POWER TRANSFORMER PAD VAULT



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salt lake city, utah 84101
801 532 4422

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project:
Book Cliffs
Lodge
Apartments

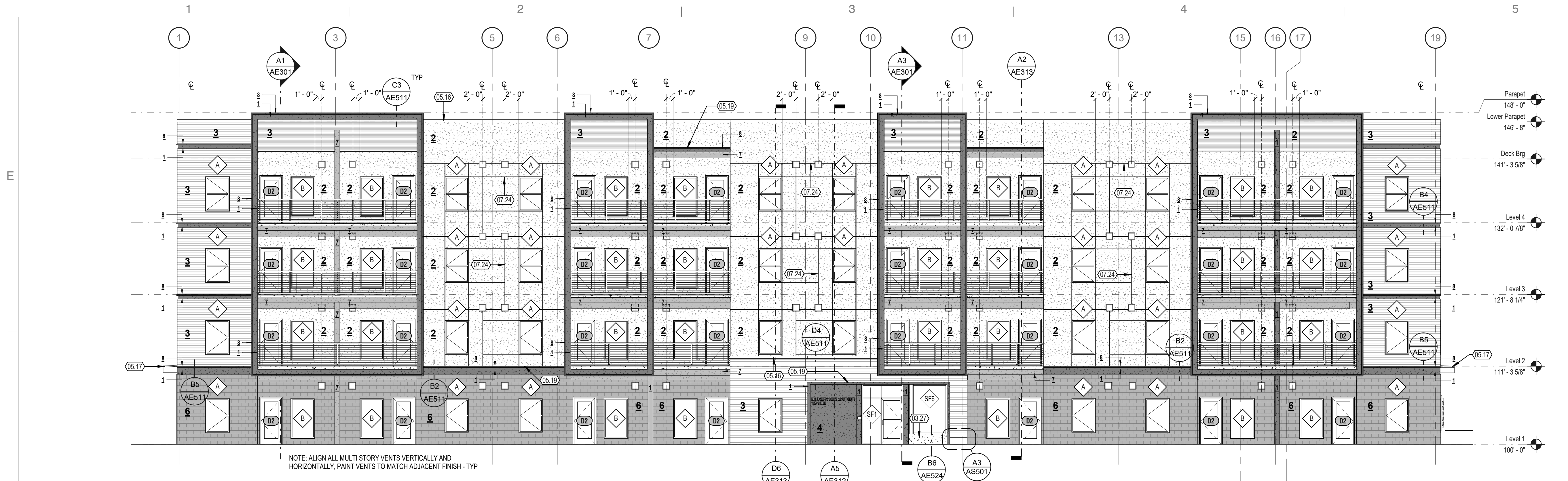
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1159 S. West Temple
Salt Lake City, Utah 84101

project#: 17.0475
date: Jan 20, 2020

revisions :
3 City Review Comments Red 1 TBD

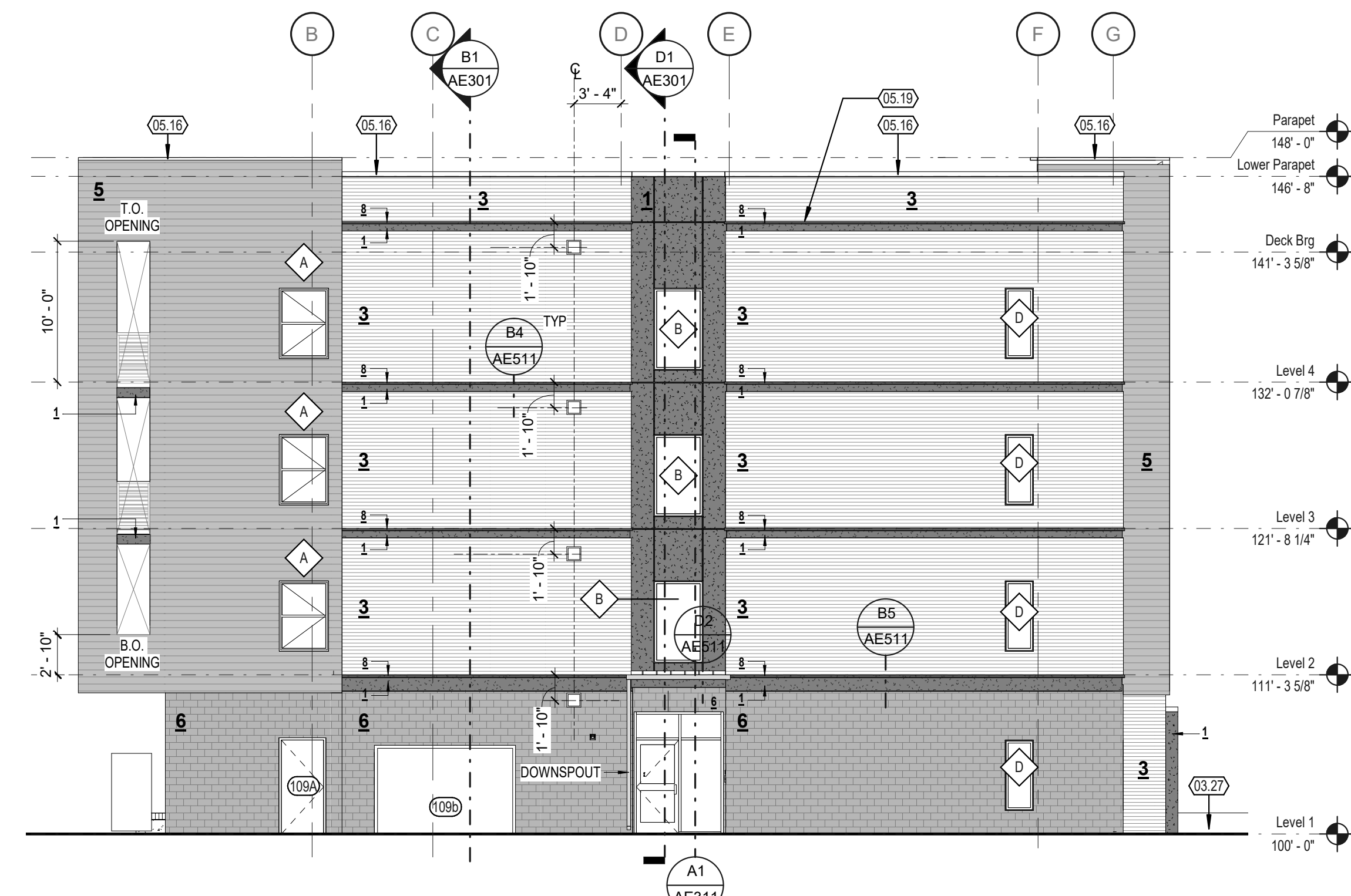
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Architectural
Site Plan

sheet:
AS101
Construction
Documents

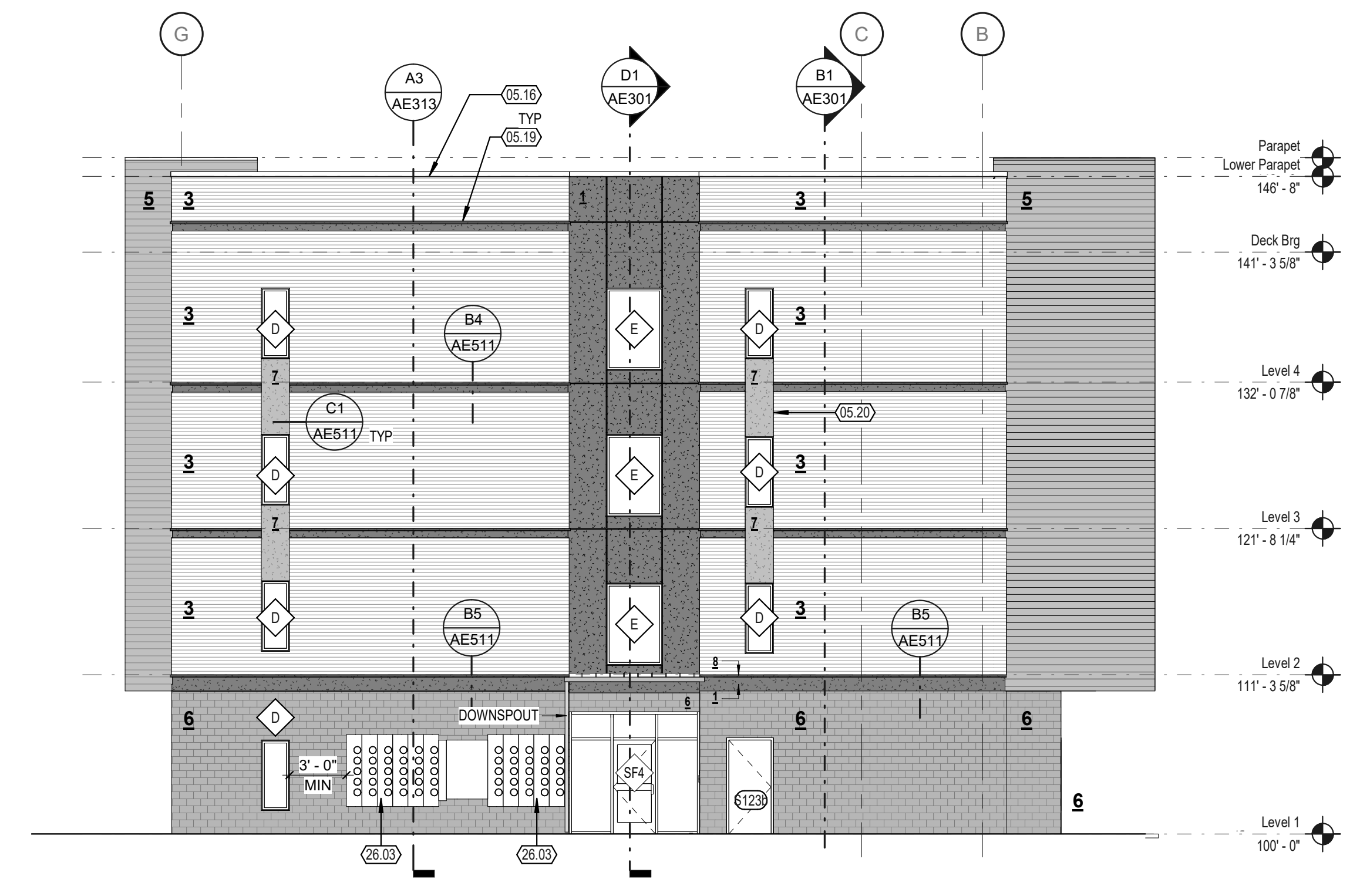


D1 West Exterior Elevation
1/8" = 1'-0"

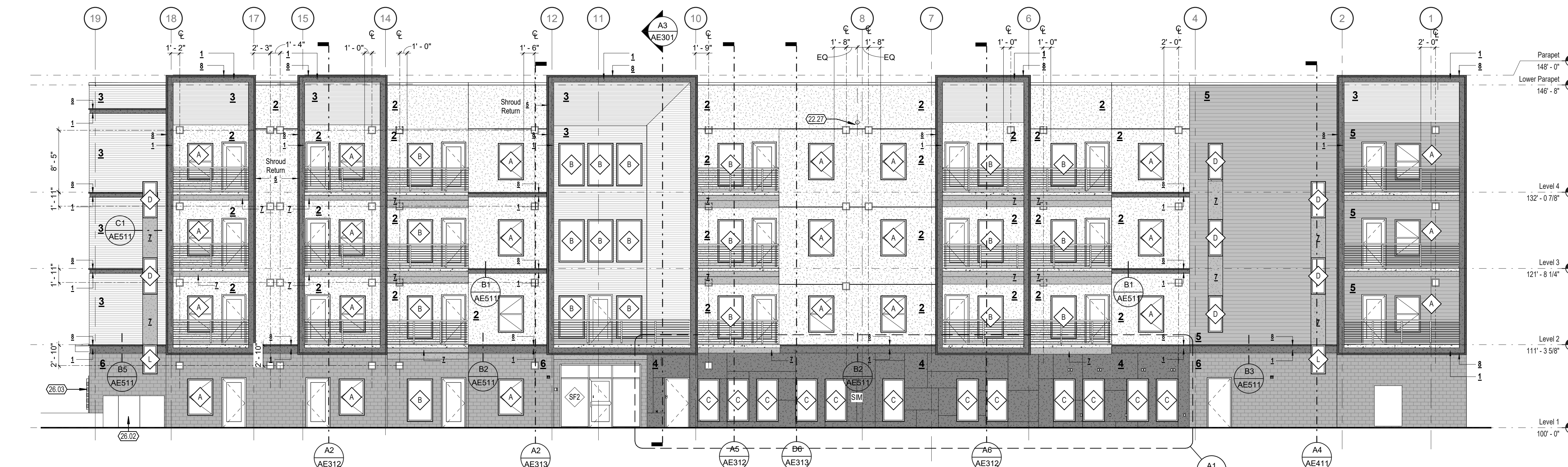
West Temple Entry



C1 North Exterior Elevation
1/8" = 1'-0"



C4 South Exterior Elevation
1/8" = 1'-0"





BOOK CLIFFS LODGE APARTMENTS
EXTERIOR RENDERINGS

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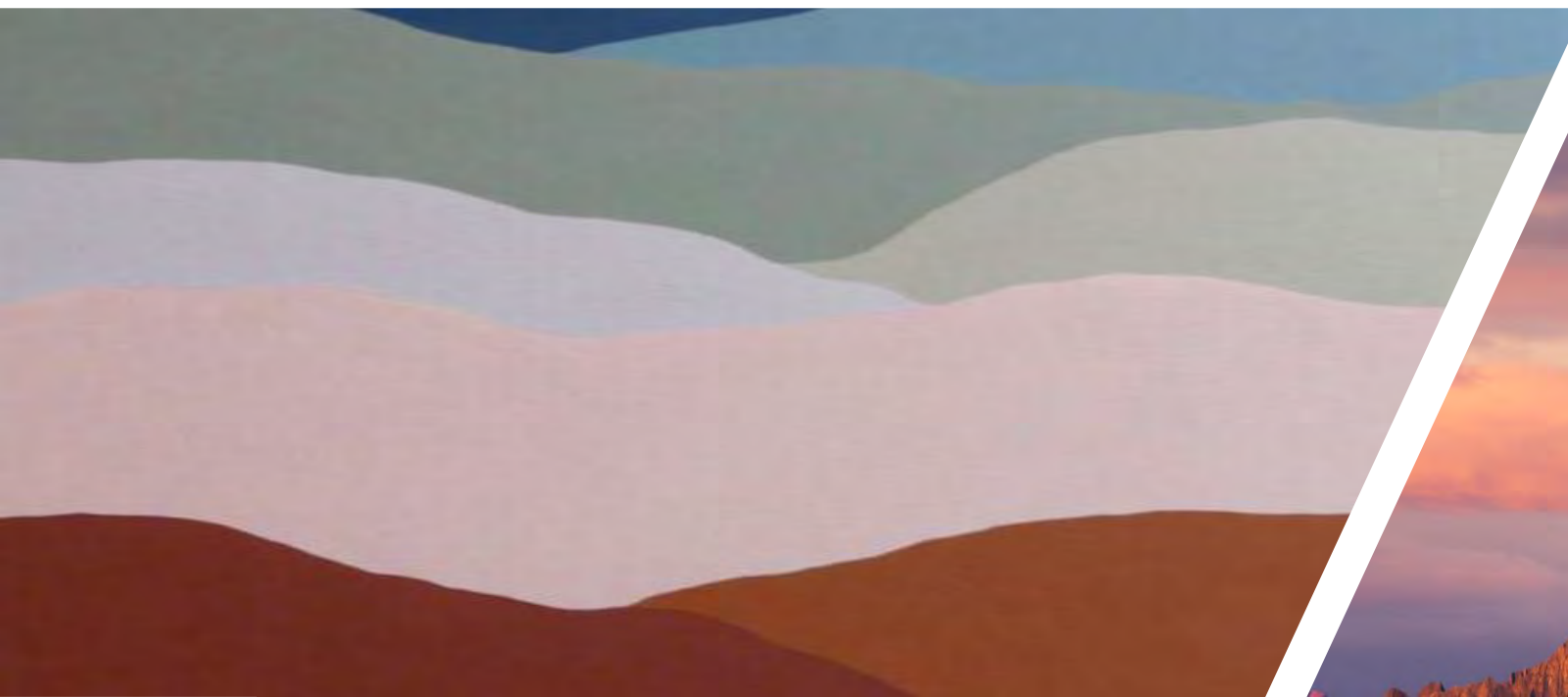






BOOK CLIFFS LODGE APARTMENTS
INTERIORS PRESENTATION

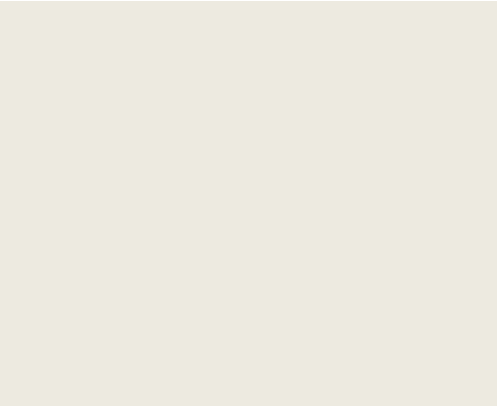
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architecture | interiors | planning



December 2, 2019

COLOR SCHEME

FIELD PAINT

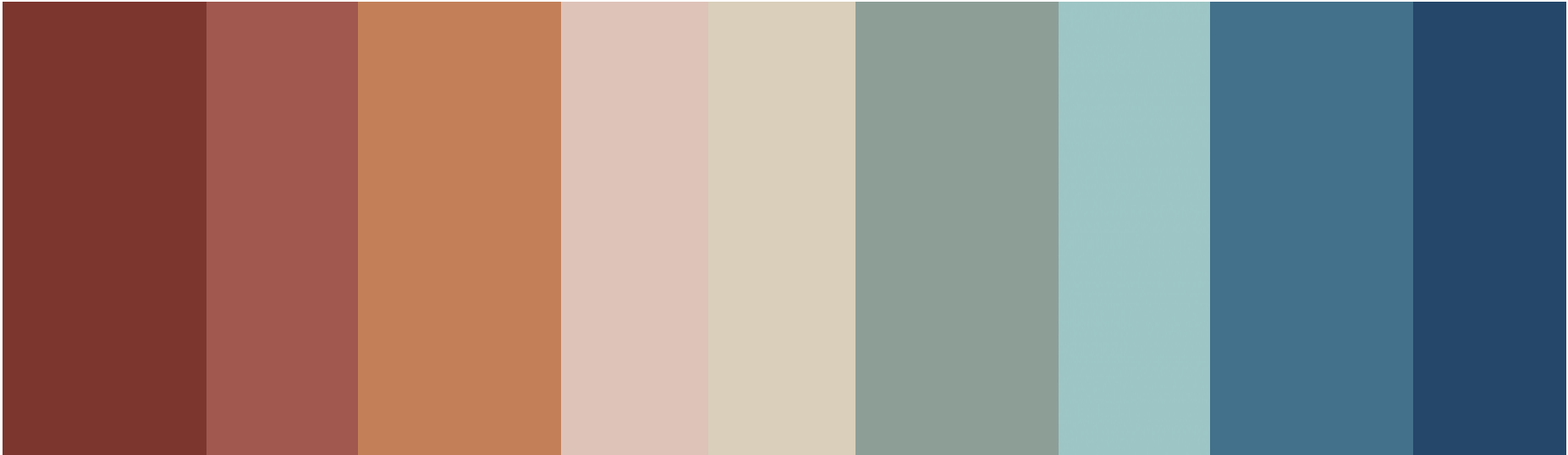


WALLS & DROPPED CEILINGS



CORRIDOR CEILINGS &
ELEVATOR CORE

ACCENT COLORS



LEVEL 1

FITNESS RM

LEVEL 2

SUPPORTING
COLOR
(WALL GRAPHIC)

SUPPORTING
COLOR
(WALL GRAPHIC
& TILE)

LEVEL 3

CLUBHOUSE

LEVEL 4

LEASING
OFFICE

LEVEL 1

PLAN VIEW



BIKE STORAGE
WEST EXTERIOR VIEW



PLAN REFERENCE



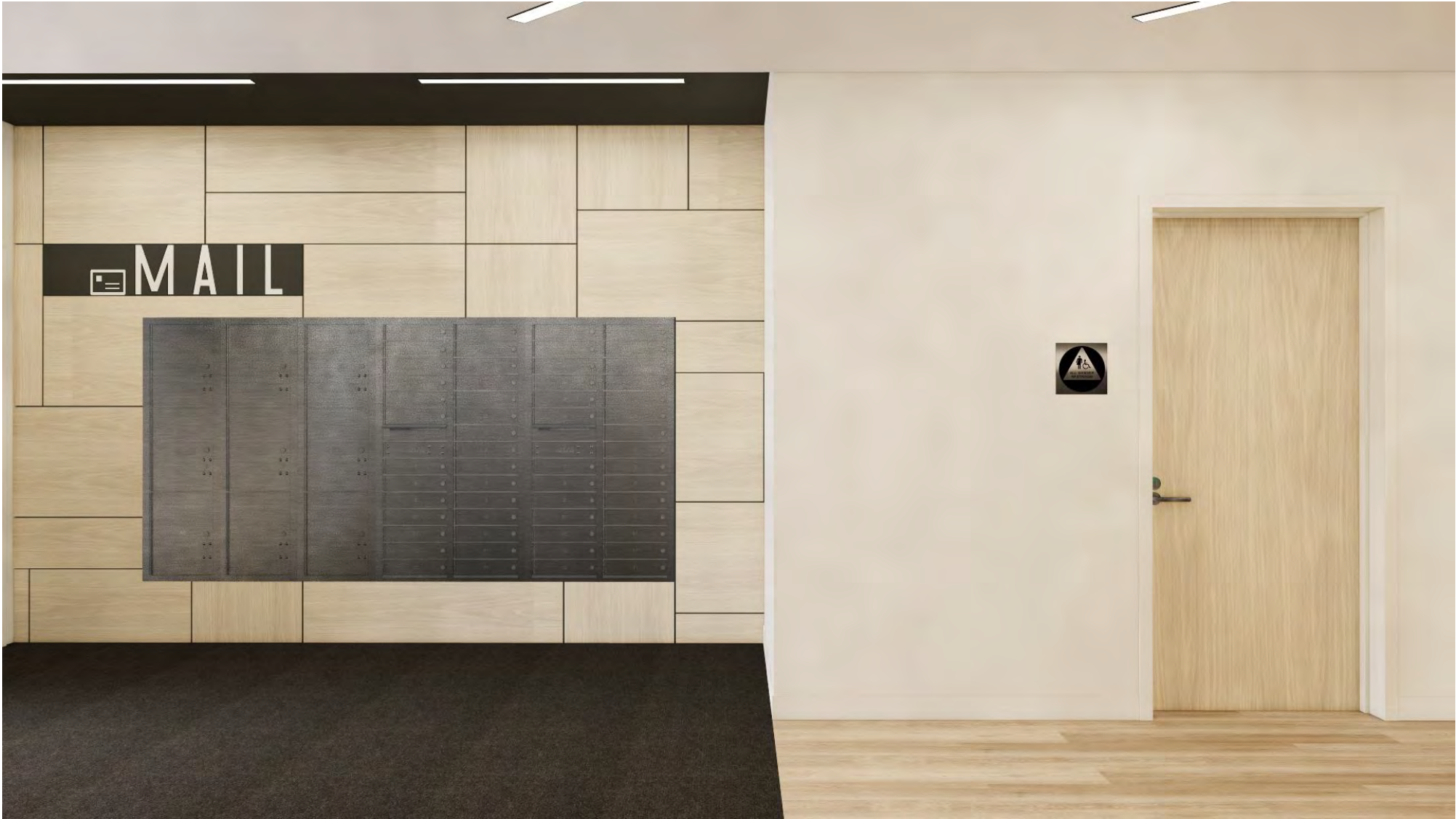
BIKE STORAGE



PLAN REFERENCE



BIKE STORAGE



PLAN REFERENCE

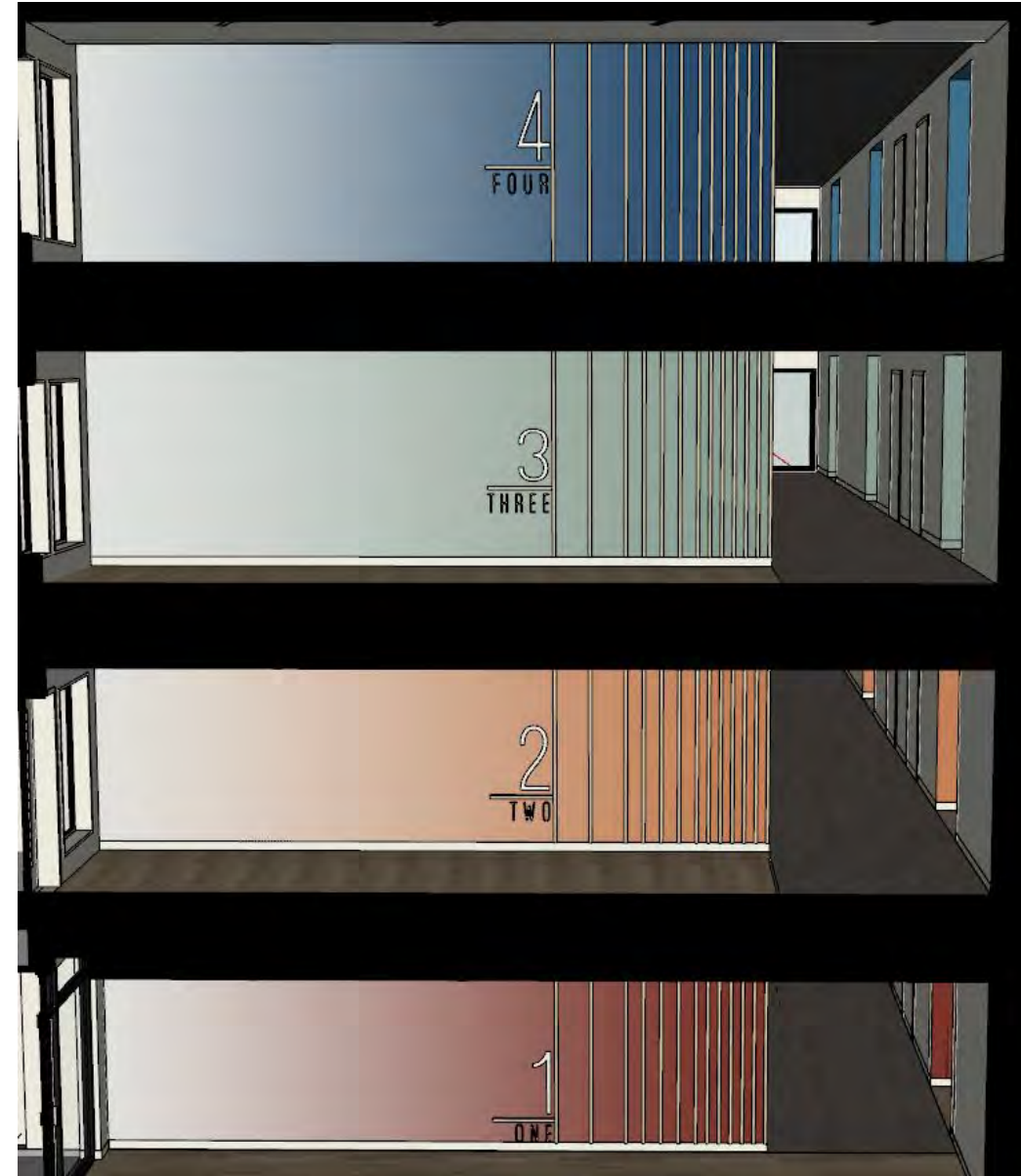


LEVEL 1 INDICATOR WALL



PLAN REFERENCE





LEVEL 1 INDICATOR WALL



AMENITIES CORRIDOR
NORTH



PLAN REFERENCE



CLUB HOUSE / FITNESS ROOM ENTRANCES



December 2, 2019

PLAN REFERENCE



CLUB HOUSE / COMPUTER ROOM



PLAN REFERENCE





CLUB HOUSE / FITNESS ROOM ENTRANCES



PLAN REFERENCE





December 2, 2019

PLAN REFERENCE



TYPICAL UNIT DESIGN - EAST CORRIDOR



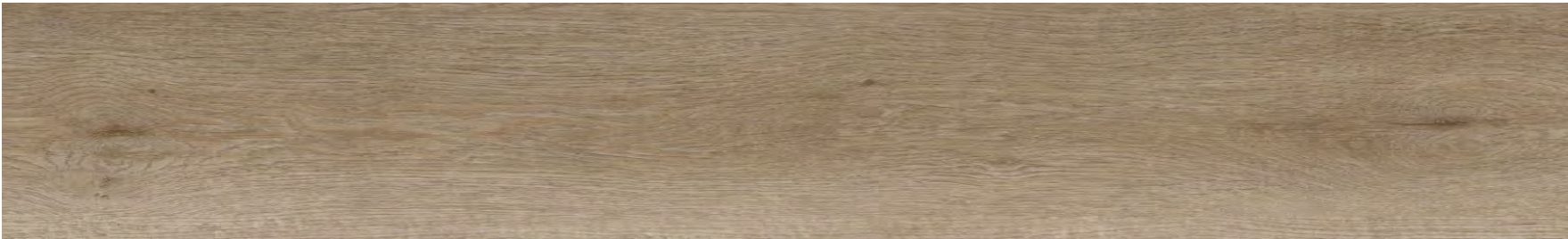
EAST CORRIDOR - ALL FLOORS



FLOOR PLAN REVIEW - LEVEL 1



FLOORING



CORETEC
SHAW CONTRACT
REPOSE - CAPE
7" x 48"

UNITS / ELEVATOR LOBBIES / CLUBHOUSE / WELLNESS
CENTER



ENTRY MATT MAIL / ENTRY
SHAW
WELCOME II - STERLING
24" x 24"



CARPET TILE
SHAW CONTRACT
SUPPORT TILE - INTERACTION
12" x 48"

LEASING OFFICE / CORRIDORS



RUBBER FLOORING FITNESS RM
TARKETT
REPLAY - SPECKLED INFARED
ROLL

FINISHES

WALL TILE

DALTILE - COLORWHEEL

2 1/8" x 8 1/8"



BISCUIT - GLOSSY

BACKSPLASH
THROUGHOUT &
PUBLIC RESTROOMS



URBAN PUTTY - MATTE

PUBLIC RESTROOM TILE
ACCENT

FLOOR TILE

DALTILE - KEYSONES

2" Balanced Hex



BROWNBERRY

PUBLIC RESTROOM
FLOORING

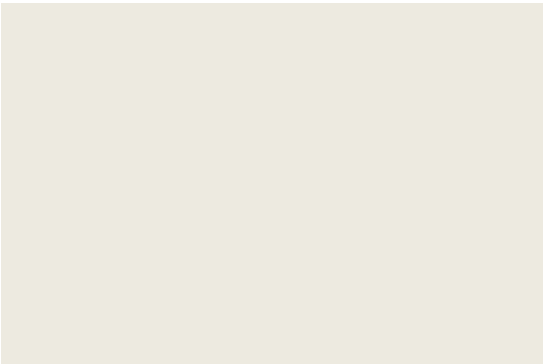


FINISHES

TYPICAL UNITS



UPPER CABINETS
PIONITE
PICNIC IN THE PARK



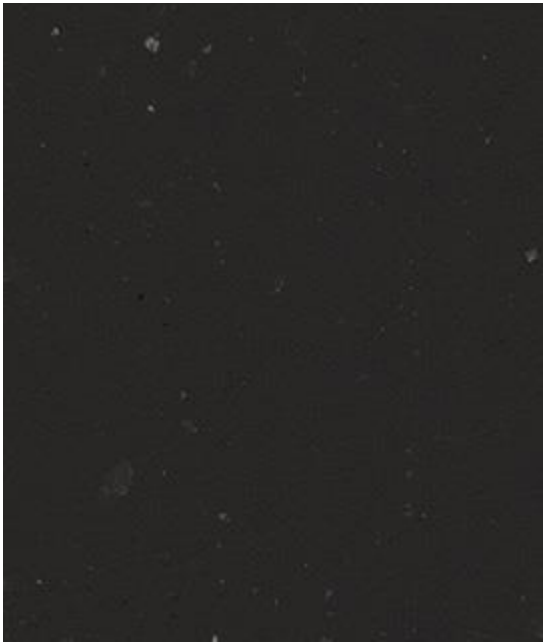
PAINT
SW ALABASTER



BACKSPLASH TILE
BISCUIT GLOSSY
2 X 8



QUARTZ COUNTERTOPS
TAB / CONTEMPO TILE
ARABESCATO LIGHT
2CM



BASE CABINETS
FORMICA
BLACK RECYCLED KRAFT



CORETEC
SHAW CONTRACT
REPOSE - CAPE
7" x 48"

**Attachment B. Conditional Building and Design Review Standards
from 2017**

21A.59.060: STANDARDS FOR DESIGN REVIEW:

In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

- A. Development shall be primarily oriented to the street, not an interior courtyard or parking lot.
- B. Primary access shall be oriented to the pedestrian and mass transit.
- C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.
- D. Architectural detailing shall be included on the ground floor to emphasize the pedestrian level of the building.
- E. Parking lots shall be appropriately screened and landscaped to minimize their impact on adjacent neighborhoods. Parking lot lighting shall be shielded to eliminate excessive glare or light into adjacent neighborhoods.
- F. Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the street or other pedestrian facilities.
- G. Dumpsters and loading docks shall be appropriately screened or located within the structure.
- H. Signage shall emphasize the pedestrian/mass transit orientation.
- I. Lighting shall meet the lighting levels and design requirements set forth in chapter 4 of the Salt Lake City lighting master plan dated May 2006.
- J. Streetscape improvements shall be provided as follows:

1. One street tree chosen from the street tree list consistent with the city's urban forestry guidelines and with the approval of the city's urban forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the city's urban forester.
2. Landscaping material shall be selected that will assure eighty percent (80%) ground coverage occurs within three (3) years.
3. Hardscape (paving material) shall be utilized to designate public spaces. Permitted materials include unit masonry, scored and colored concrete, grasscrete, or combinations of the above.
4. Outdoor storage areas shall be screened from view from adjacent public rights of way. Loading facilities shall be screened and buffered when adjacent to residentially zoned land and any public street.
5. Landscaping design shall include a variety of deciduous and/or evergreen trees, and shrubs and flowering plant species well adapted to the local climate.

- K. The following additional standards shall apply to any large scale developments with a gross floor area exceeding sixty thousand (60,000) square feet:

1. The orientation and scale of the development shall conform to the following requirements:

a. Large building masses shall be divided into heights and sizes that relate to human scale by incorporating changes in building mass or direction, sheltering roofs, a distinct pattern of divisions on surfaces, windows, trees, and small scale lighting.

b. No new buildings or contiguous groups of buildings shall exceed a combined contiguous building length of three hundred feet (300').

2. Public spaces shall be provided as follows:

a. One square foot of plaza, park, or public space shall be required for every ten (10) square feet of gross building floor area.

b. Plazas or public spaces shall incorporate at least three (3) of the five (5) following elements:

(1) Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");

(2) A mixture of areas that provide shade;

(3) Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted;

(4) Water features or public art; and/or

(5) Outdoor eating areas.

L. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as adopted master plan policies, the city's adopted "urban design element" and design guidelines governing the specific area of the proposed development. Where there is a conflict between the standards found in this section and other adopted plans and regulations, the more restrictive regulations shall control. (Ord. 1513, 2013)

21A.59.065: STANDARDS FOR DESIGN REVIEW FOR HEIGHT:

In addition to standards provided in section 21A.59.060 of this chapter, the following standards shall be applied to all applications for conditional building and design review regarding height:

A. The roofline contains architectural features that give it a distinctive form or skyline, or the rooftop is designed for purposes such as rooftop gardens, common space for building occupants or the public, viewing platforms, shading or daylighting structures, renewable energy systems, heliports, and other similar uses, and provided that such uses are not otherwise prohibited.

B. There is architectural detailing at the cornice level, when appropriate to the architectural style of the building.

C. Lighting highlights the architectural detailing of the entire building but shall not exceed the maximum lighting standards as further described elsewhere in this title. (Ord. 1513, 2013)

**Attachment C: Original Planning Commission Staff Report,
November 8, 2017**



Staff Report

PLANNING DIVISION
COMMUNITY & NEIGHORHOOD DEVELOPMENT

To: Salt Lake City Planning Commission

From: JP Goates, 801-535-7236, jp.goates@slcgov.com

Date: December 6, 2017

Re: PLNPCM2017-00708 Salt Lake City Housing Authority – Book Cliffs Lodge Apartments, Conditional Building and Site Design Review

Conditional Building and Site Design Review

PROPERTY ADDRESS: 1149 S. West Temple

PARCEL ID: 15-12-431-009

MASTER PLAN: Central Community

ZONING DISTRICT: CC Corridor Commercial District

REQUEST: Joe Post representing the Salt Lake City Housing Authority, is requesting Conditional Building and Site Design Review approval for a 54 unit apartment building that would be approximately 45 feet in height in a CC, Corridor Commercial District. The request relates to a request for an additional 15 feet in height where 30 feet is typically allowed. The CC zoning district allows for up to 15 feet in additional height with Conditional Building and Site Design Review approval.

RECOMMENDATION (Conditional Building and Site Design Review): Based on the findings listed in the staff report, it is the opinion of Planning Staff that overall, the project meets the applicable standards and therefore, recommends the Planning Commission approve the Conditional Building and Site Design Review request with conditions:

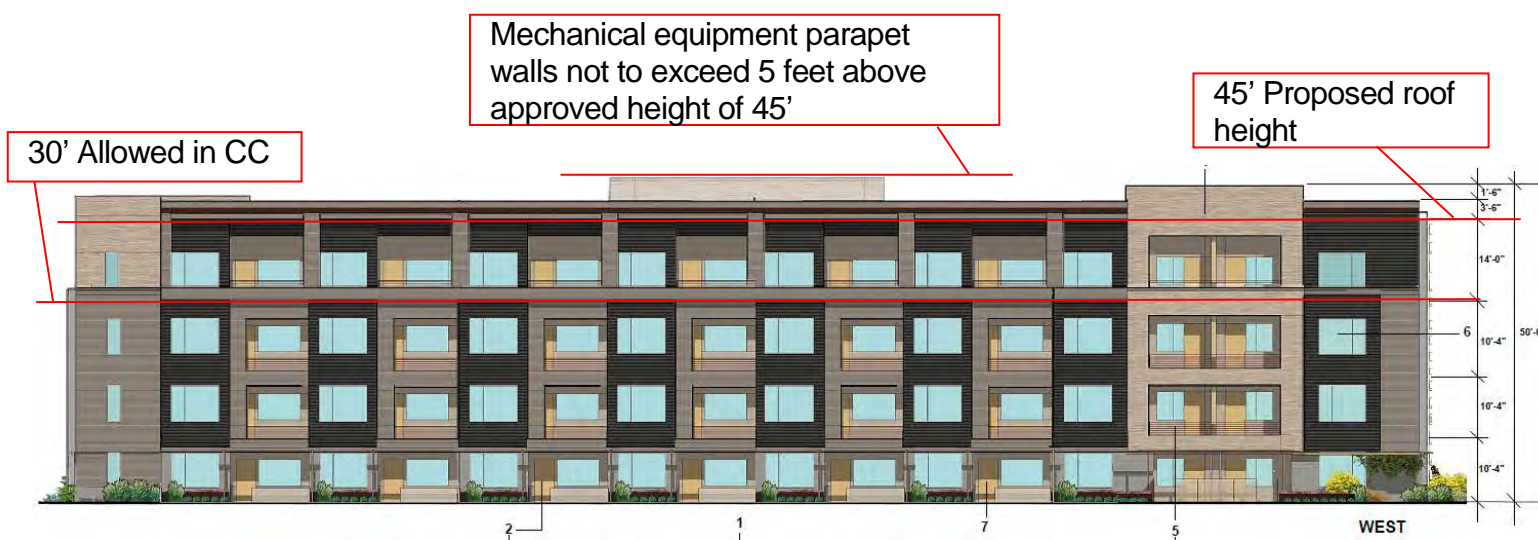
1. Final approval authority for the development shall be delegated to Planning staff based on the applicant's compliance with the standards and conditions of approval as noted within this staff report.

ATTACHMENTS:

- A. Vicinity Map
- B. Site Plans
- C. Building Elevations and Renderings
- D. Additional Applicant Information
- E. Property & Vicinity Photographs
- F. Existing Conditions
- G. Analysis of Standards – Conditional Building and Site Design Review
- H. Public Process and Comments
- I. Department Review Comments

PROJECT DESCRIPTION:

The Housing Authority of Salt Lake City, in partnership with the Urban Indian Center is proposing a 54 unit mixed income apartment building. The total footprint of the proposed building is approximately 12,000 square feet with four floors of living space. The structure will be oriented toward the street at the Southwest corner of West Temple and Paxton Ave. (approximately 1180 South). The parking and loading for the residents will be located behind the building, on the Eastern portion of the lot, with drive access on West Temple and Paxton Ave. The zoning ordinance allows for up to 45 feet building height in the CC, Corridor Commercial District with improved site layout and amenities, and adherence to the Conditional Building and Site Design Review standards of approval. The proposed structure will be approximately 45 feet in height to the top of the roof, with varying heights of parapet walls. Parapet walls are allowed up to five feet in height for the purpose of screening mechanical equipment. The main pedestrian entrance will be located on the East side of the building providing access to building amenities and programs, with additional entrances at the North and South ends. The remaining entrances will provide individual access to all ground floor units. The proposed site plan found in [Attachment B](#) showing building and site dimensions has been reviewed, and found to meet all the requirements of the of the CC, Corridor Commercial District. The elevation drawings can be found in [Attachment C](#). The Planning Commission has the ability to modify all required design standards through the Conditional Building and Site Design process as per 21A.59.020.



West elevation of the project facing West Temple.

KEY ISSUES:

The key issues listed below have been identified through the analysis of the project, neighbor and community input and department review comments.

Issue 1 – Additional building height

The applicant is requesting an additional 15 feet in building height above the typical provision of 30 feet in the CC, Corridor Commercial District. The allowance for an additional 15 feet can be approved by the Planning Commission through the Conditional Building and Site Design Review (CBSDR) process. As part of the CBSDR process, the abutting and adjacent property owners were notified by mail including the Ball Park Community Council through email.

Requests for CBSDR can be approved administratively if no request for a public hearing is made. However, several of the property owners residing in the Rowhaus Townhomes across the street, on the West side of West Temple have responded to notices, expressing concerns, primarily

regarding the additional height. The concerns relating to the additional height were mainly focused on the obstruction of mountain views. There was also some concern about the project casting shadows and blocking of morning sun.

The applicant has been extensively engaged with the community and open to meeting with concerned property owners. The applicant has presented at two of the Ball Park Community Council meetings to discuss the project and concerns of the community. The second presentation to the Community Council was held to specifically address concerns of the residents in the Rowhaus Condominiums and their Home Owners Association. At the meeting, the applicant provided detailed analysis of what can be expected from the development in terms of view obstruction and shadowing. This analysis can be found in Attachment D.

The applicant has not questioned or argued that the additional height will obstruct some views and cast additional shadows during early morning and late evening hours. These phenomena are a reality of any built structure and the additional height would in fact increase this impact beyond the existing condition of smaller scale buildings and vacant property. The CBSDR process however, is intended to *“provide for the flexible implementation of the specific design requirements set forth within individual zoning districts”*. In this case, the intent of allowing additional height in the CC zoning district is improved site layout, pedestrian environment, and enhanced building design among others. This intent of the improvements is not related to protection of viewsheds or shadowing impacts. These building standards can be found in [Attachment G](#). The issue of views and shadows cannot be mitigated when the provision for additional height is utilized by a property owner.

The request will be reviewed against the existing standards for Conditional Building and Site Design. A full review of those standards can be found in Attachment G. Those standards focus heavily on the architectural design, street facing facades, and site design. The feedback received by Staff has also raised concerns of the building scale having an impact on property values, on-street parking, and general impacts of a higher density development. These issues have been noted, and while the concerns are valid and understood, they are not related to standards of the CBSDR review, and all decisions to modify height must relate to, and demonstrate that the standards have been met as well as the intent of the design standards.



The proposed landscaping, site layout, and orientation provides an active ground floor residential setting with abundant landscaping, ground floor entrances, and a high degree of visibility to the street as required by the provisions of the CC district and CBSDR process. The walkway amenities surround the site in its entirety and the location is within 1,000 feet, legal walking distance from the 1300 South TRAX platform.



The image above shows the neighboring properties in on the West side of West Temple in relation to the proposed site.

Issue 2 – Parking

The applicant is proposing 19 parking spaces to accommodate the development (see Attachment F). The proposed parking meets the minimum standards of the ordinance and is not a consideration of CBSDR approval. However, the community has raised the lack of parking as a concern, and is therefore being discussed below.

The ordinance allows for affordable or senior housing of 25% or more to have $\frac{1}{2}$ of a parking space for each dwelling unit. In this case 27 spaces is the minimum requirement. In addition to the minimum requirement, the minimum of 27 spaces may be further reduced for projects located within $\frac{1}{4}$ mile (1,320') from a fixed transit station. The proposed project is approximately 1,000 feet, legal walking distance from the Ball Park TRAX station. This reduction allows for a 50% of the minimum (27) which is rounded to 14. The proposal currently provides 19 spaces.

This project in the proposed location meets the intent of high density residential development found in the guidance of the Master Plan being transitioning low density residential areas to ones of transit-oriented development. The surrounding area is well served by transit, bicycle routes, commercial lots, and on-street parking options. The intent of reduced parking is to make reductions available when this type of project is proposed in this type of location.



The applicant operates a large number of residential facilities, some with greatly reduced parking. To address parking concerns, the applicant has provided the following information that relates to their experience with similar situations:

- “Though the zoning allows for a minimum of 14 stalls, the applicant is proposing 19 stalls to serve the residents who will live at Book Cliffs Lodge (the project).”
- HAME has experience in managing properties with minimal parking including:
 - Pauline Downs Apartments - a 112 unit property with approximately 15 stalls”

- 9th East Lofts at Bennion Plaza – a 68 unit apartment building with 27 parking stalls”
 - “HAME will manage and market the property with the understanding that public transit is encouraged, and parking is very limited. All residents will receive instructions and training on using public transit as a main source of transportation. HAME has found that the demographics of the residents who prefer these transit oriented properties include all walks of life. From the downtown worker to the student and single parent, if the property is presented as a transit oriented community, residents accept that there is limited parking and are inclined to use UTA, Uber, ride sharing or other environmentally conscientious modes of transportation.
 - “Parking will be assigned in accordance with the property’s lease and house rules. All parking rules will be strictly enforced. “
 - “All residents will be required to abide by all civic regulations and laws whether on or off the property or be subject to warnings and actions up to and including eviction, as outlined in the property lease and house rules, if found to be in violation.”
 - “Bike racks and storage will be available for securing resident’s bicycles.”
 - “The proximity to the TRAX station will be included in all marketing literature as will the term “Transit Oriented Development” or “TOD”.”
 - “Salt Lake City Corp has incorporated bike and rideshare programs to minimize the carbon footprint of our citizens. “
 - TODs like this project are encouraged by political leaders.

Salt Lake City has some of the worst air in the country. Projects like this are intended to help reduce the pollution in our city.”

DISCUSSION:

As discussed above and in [Attachments G](#), the proposal generally meets the standards for Conditional Building and Site Design Review. In general, the proposal addresses the pedestrian oriented design standards of the CBSD review and uses an approach to the design that meets the intent of the additional zoning standards in the CC district. Staff further believes that the proposed ground floor features with front porches and residential entrances will create an engaging environment for pedestrians. As such, staff is recommending approval of the proposed development.

NEXT STEPS:

Conditional Building and Site Design Review Approval

If the Conditional Building and Site Design Review is approved, the applicant will need to need to comply with the conditions of approval, including any of the conditions required by City departments and the Planning Commission. The applicant will be able to submit plans for building permits for the development and the plans will need to meet any conditions of approval. Final certificates of occupancy for the buildings will only be issued once all conditions of approval are met.

Conditional Building and Site Design Review Denial

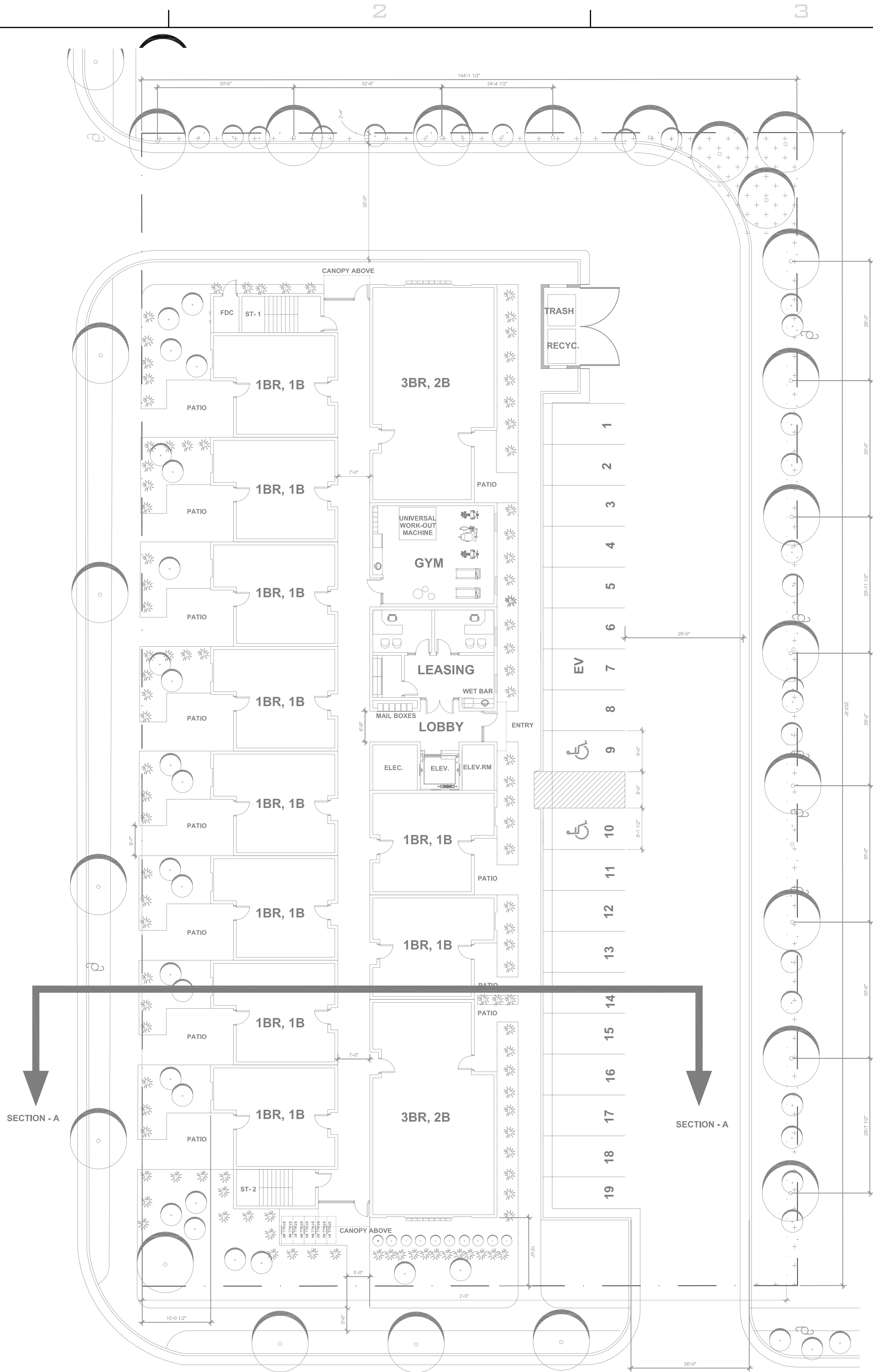
If the Conditional Building and Site Design Review is denied, the applicant will still be able to develop the property by right, with three floors up to 30 feet in height if a new design is submitted that meets all of the standards required by the Zoning Ordinance. That design could be nearly identical but have one less floor which would result in 14 fewer units.

ATTACHMENT A: VICINITY MAP AND ZONING



ATTACHMENT B: SITE PLANS

WEST TEMPLE



PAXTON AVENUE

SITE PLAN & MAIN LEVEL 1 11, 932 GSF MINUS PATIO

UNIT COUNT:

(6) 1,164 SF: 3 BEDROOM, 2.5 BATH AND WASHER AND DRYER IN UNITS.

(48) 519 SF: 1 BEDROOM, 1 BATH AND WASHER AND DRYER IN UNITS

54 UNITS TOTAL

PARKING STALL REQUIREMENT:

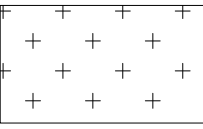
1st FLOOR:	11,932 SF	9 Parking Stalls required
2nd FLOOR:	11,756 SF	10 Parking Stalls required
3rd FLOOR:	11,756 SF	10 Parking Stalls required
4th FLOOR:	11,756 SF	7 Parking Stalls required
Total:	47,200 SF	36 Parking Stalls required

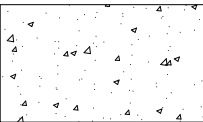
33 Parking Stalls Provided (including 2 Accessible)

SITE PERCENTAGES

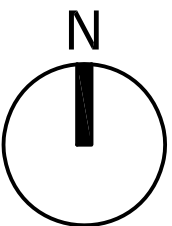
HARDSCAPE	1,960 SF	(5%)
GREENSCAPE	6,201 SF	(17%)
PAVED PARKING	15,503 SF	(43%)
BUILDING FOOTPRINT	12,732 SF	(35%)
TOTAL	36,560 SF	

BICYCLE SPACES: 4
ADA UNITS: 3
HEARING IMPEARED: 1
ELECTRIC CAR CHARGER: 1
TRASH DUMPSTER: 1
RECYCLING DUMPSTER: 1

 Greenscape

 Hardscape

LEVEL 01
PLAN & SITE



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METHODSTUDIO INC.925 south west temple salt lake city, utah 84101phone: (801) 532-4422fax: (801) 328-4187

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BOOK CLIFF LODGE

1149 S. West Temple
Salt Lake City, UT 84101

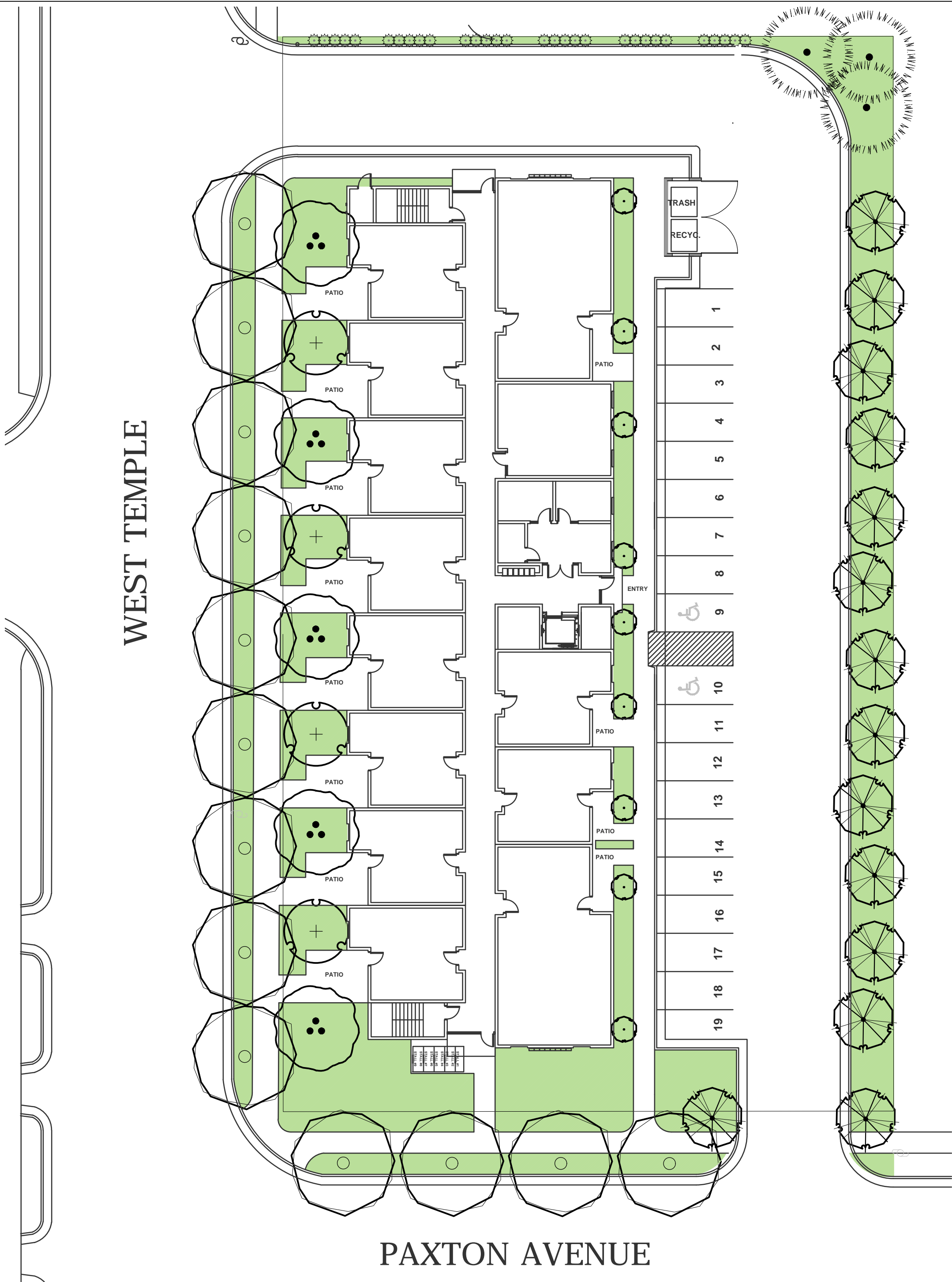
project#: 17.0475
date: NOVEMBER 1, 2017

revisions:


sheet name

sheet number

AE101



PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	SIZE	HYDROZONE	QTY
	ACER GINNALA `RUBY SLIPPERS` / RUBY SLIPPERS AMUR MAPLE	B&B	2" CAL	TD4	5
	ACER GRANDIDENTATUM / BIGTOOTH MAPLE	B&B	2" CAL	TD3	14
	CRATAEGUS CRUS-GALLI INERMIS `CRUSADER` / CRUSADER COCKSPUR HAWTHORN	B&B	2" CAL	TD4	4
	FAGUS SYLVATICA `RED OBELISK` / FASTIGATE PURPLE BEECH	B&B	2" CAL		9
	PINUS NIGRA / AUSTRIAN BLACK PINE	B&B	6" HT MIN.	TE3	3
	ULMUS X `ACCOLADE` / ACCOLADE ELM	B&B	2" CAL	TD3	13
	SHRUB BED - NATIVE AND REGIONALLY ADAPTED PLANT MATERIALS AS SELECTED FROM SALT LAKE CITY'S HYDROZONE DOCUMENT				

SALT LAKE CITY LANDSCAPE SUMMARY TABLE

TOTAL AREA OF PROPOSED LANDSCAPE: 9,297 SF
TOTAL AREA OF PROPOSED TURF: 0 SF (0% OF PROPOSED LANDSCAPE)

PARK STRIP 21A.48.060
1,589 SF - TOTAL AREA
xx SF (xx%) - VEGETATIVE GROUND COVER (MIN. 33% REQUIRED)

PARKWAY TREES 21A.48.060
13 (1/30 LF) TREES PROVIDED (1/30 LF REQUIRED)

INTERIOR PARKING LOT LANDSCAPING 21A.48.070.A
8,220 SF - PARKING AREA TOTAL
544 SF (6.6%) - LANDSCAPE BEDS PROVIDED - 3' OF LANDSCAPE EAST OF PARKING ISLE COUNTED TOWARD TOTAL AS PARKING LOT IS SINGLE LOADED (MIN. 5% REQUIRED)
xx SF (xx%) - VEGETATIVE GROUND COVER (MIN. 50% REQUIRED)
4 (1/103 SF) - TREES PROVIDED (MIN. 1/120 SF REQUIRED)

PERIMETER PARKING LOT LANDSCAPING 21A.48.070.B
26 LF - LINEAL FEET OF FRONT AND CORNER SIDE YARD LANDSCAPE
14' BUFFER PROVIDED (MIN. 7' BUFFER REQUIRED)
2 (1/13 LF) - TREES PROVIDED (MIN. 1/50 LF REQUIRED)
XX (1/XX LF) - SHRUBS PROVIDED (MIN. 1/3 LF ALONG 100% OF LENGTH REQUIRED)

181 LF - LINEAL FEET OF REAR AND INTERIOR SIDE YARD LANDSCAPE
10' BUFFER PROVIDED (MIN. 7' BUFFER REQUIRED)
7 (1/26 LF) - TREES PROVIDED (MIN. 1/30 LF REQUIRED)
XX (1/XX LF) - SHRUBS PROVIDED (MIN. 1/3 LF ALONG 100% OF LENGTH REQUIRED)

DROUGHT TOLERANCE
TOTAL AREA AND PERCENTAGE OF DROUGHT TOLERANT PLANT SPECIES: xx SF (100% OF LANDSCAPE)

ADDITIONAL INFORMATION
-PROJECT EXCEEDS HEIGHT REGULATIONS WITH 11,765 SF OF FLOOR SPACE. PER 21A.26.050.F.2 THIS REQUIRES AN ADDITIONAL 1,177 SF OF LANDSCAPE. THIS IS ACCOUNTED FOR BY 957 SF REQUIRED LANDSCAPE YARDS, 0 SF LANDSCAPE BUFFER YARDS, AND 261 SF PARKING LOT PERIMETER AND INTERIOR LANDSCAPING (1,218 SF PROVIDED).
-PROJECT MEETS WATER EFFICIENT LANDSCAPING REQUIREMENTS AND UTILIZES A

ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST

2.6 PRESERVATION OF AND ACCESS TO OPEN SPACE FOR RURAL/TRIBAL/SMALL TOWNS
SET ASIDE A MINIMUM OF 10% (MINIMUM OF 0.25 ACRE) OF THE TOTAL PROJECT ACREAGE AS NON-PAVED OPEN SPACE FOR USE BY ALL RESIDENTS OR LOCATE THE PROJECT WITHIN A 0.25-MILE WALK DISTANCE OF DEDICATED PUBLIC NON-PAVED OPEN SPACE THAT IS A MINIMUM OF 0.75 ACRES.

PROJECT IS LOCATED WITHIN 0.25-WALK DISTANCE OF JEFFERSON PARK (+/- 3 ACRES)

2.7 PRESERVATION OF AND ACCESS TO OPEN SPACE (OPTIONAL)
SET ASIDE A PERCENTAGE OF NON-PAVED OPEN SPACE FOR USE BY ALL RESIDENTS. 20% (2 POINTS); 30% (4 POINTS); 40%+ WRITTEN STATEMENT OF PRESERVATION/CONSERVATION POLICY FOR SET-ASIDE LAND (6 POINTS).

PENDING REVIEW.....

3.4 LANDSCAPING
IF PROVIDING PLANTINGS, ALL SHOULD BE NATIVE OR ADAPTED TO THE REGION, APPROPRIATE TO THE SITE'S SOIL AND MICROCLIMATE, AND NONE OF THE NEW PLANTS IS AN INVASIVE SPECIES. RESEED OR XERISCAPE ALL DISTURBED AREAS.

ALL PLANT MATERIALS ARE NATIVE OR REGIONALLY ADAPTIVE. PLANT SELECTIONS ARE FROM SALT LAKE CITY'S PLANT LIST & HYDROZONE SCHEDULE OF LANDSCAPE PLANTS FOR WATER CONSERVATION.

3.5A EFFICIENT IRRIGATION AND WATER REUSE
IF IRRIGATION IS USED, INSTALL AN EFFICIENT IRRIGATION OR WATER REUSE SYSTEM PER THE GUIDELINES.

SHRUB BEDS ARE IRRIGATED WITH DRIP IRRIGATION, AREAS ARE GROUPED BY HYDROZONE, CONTROLLER INCLUDES RAIN SENSOR.

3.5B EFFICIENT IRRIGATION AND WATER REUSE (OPTIONAL)
INSTALL AN EFFICIENT IRRIGATION SYSTEM EQUIPPED WITH A WATERSENSE-LABELED WEATHER-BASED IRRIGATION CONTROLLER (WBIC) (4 POINTS) OR AT LEAST 50% OF THE SITE'S IRRIGATION SHOULD BE SATISFIED BY REUSING WATER (8 POINTS).

CONTROLLER IS WEATHER-BASED SMART CONTROLLER (4 POINTS).

ENERGY STAR CERTIFICATION

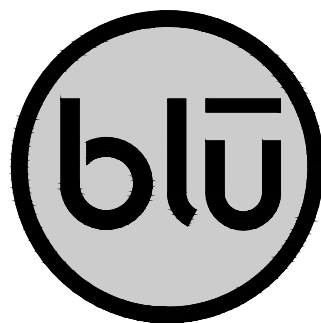
NO APPLICABLE REQUIREMENTS FOR THE LANDSCAPE

WEATHER BASED SMART CONTROLLER WITH R HYDROZONE (SEE IRRIGATION PLANS). IRRIGA METHODS AND EMITTER FLOW RATES DEPEND INDIVIDUAL PLANT TYPES AND SPECIES. -SEE CIVIL DRAWINGS FOR ALL UTILITIES, GRAI

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salt lake city, utah 84101
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blū line designs
planning | landscape architecture | design

8719 S. Sandy Parkway
Sandy, UT 84070
p 801.913.7994

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THE HUB:
MIXED USE
RESIDENTIAL
DEVELOPMENT

3900 SOUTH WEST TEMPLE
SOUTH SALT LAKE, UT 84115

project #: 15.0320
date: DECEMBER 5, 2017

revisions:

sheet number

LANDSCAPE
DRAWINGS

sheet number

L101

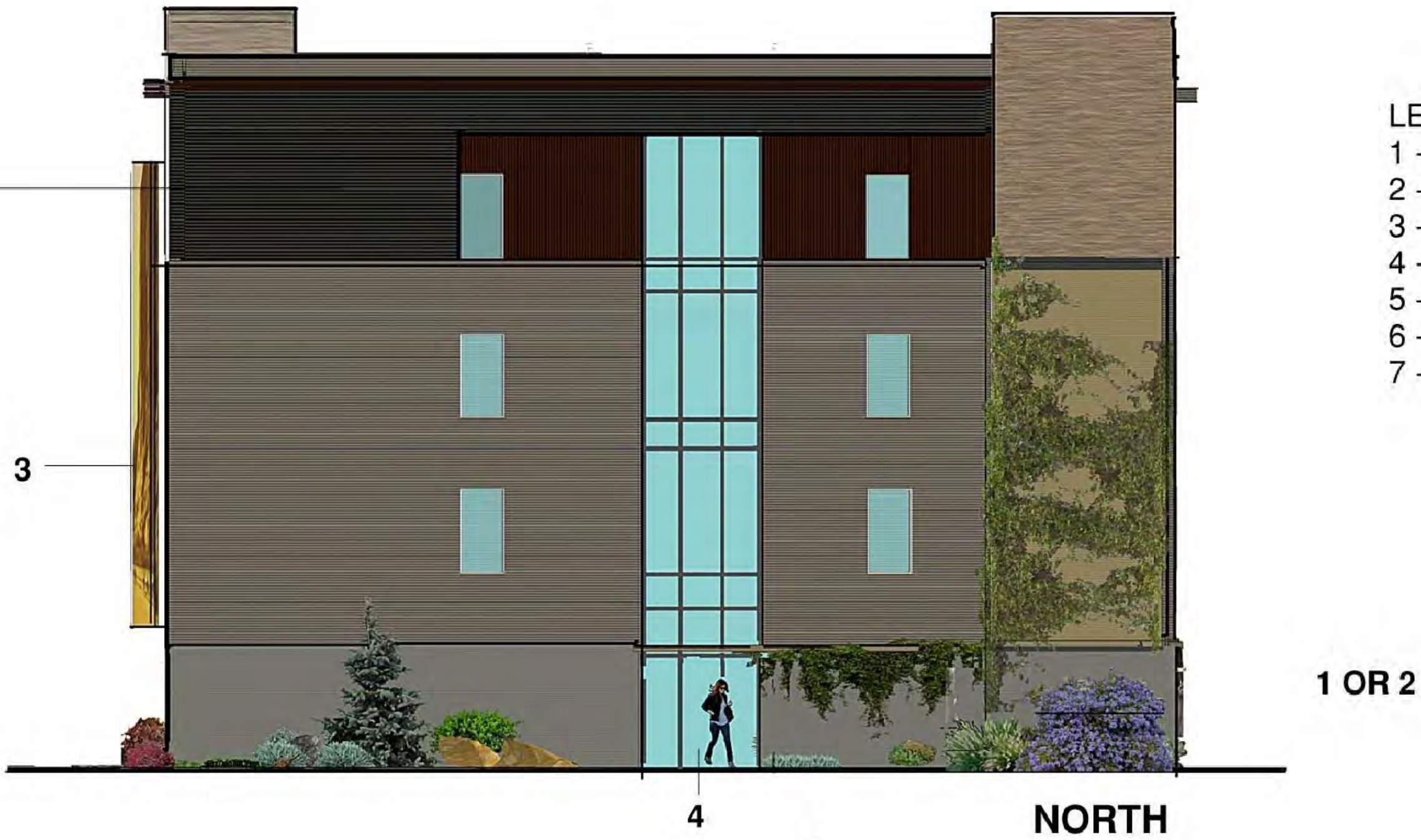


ATTACHMENT C: BUILDING ELEVATIONS

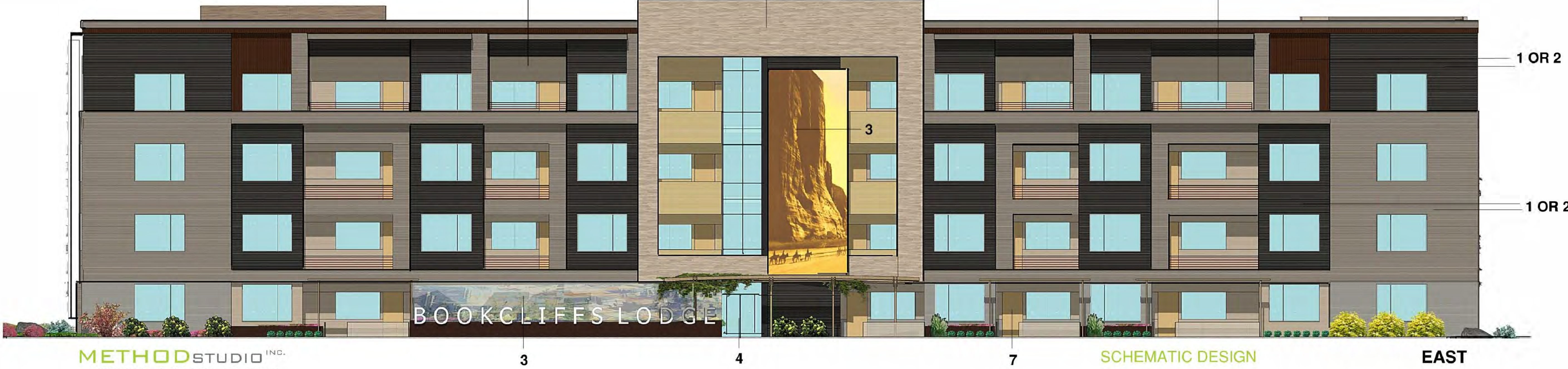


SCHEMATIC DESIGN

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LEGEND:
1 - HARDIE BOARD
2 - EIFS- MULT.COLORS
3 - POSSIBLE ART WORK
4 - ENTRY
5 - METAL RAILING
6 - LOW-E WINDOWS
7 - WALKOUT PATIO



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SCHEMATIC DESIGN

EAST

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BOOK CLIFF
LODGE

1149 S. West Temple
Salt Lake City, UT 84101

project#: 17.0475
date: NOVEMBER 1, 2017

revisions:

sheet name

sheet number

AE201

ATTACHMENT D: APPLICANT INFORMATION

BOOK CLIFFS LODGE APARTMENTS

This will be developed as a partnership between the Urban Indian Center, The Housing Authority of Salt Lake City, and Cardinal Capital of Wisconsin. The site is located on the corner of Paxton Avenue and West Temple in Salt Lake City Utah.

The lot will be approximately 1 Acre, and include a single four story mixed use slab on grade apartment with a floor plate of 12, 228 GSF for a total of 48,912 GSF, with fifty-one units, thirty-nine one bedrooms, eight micro-one bedrooms and four two-bedroom units. All units will be equipped with washer and dryer. The main level will include a community kitchen, exercise room, bike storage, and property manager office. The fourth floor will be home to a wellness clinic, approximately 8,664 SF that will serve the health and welfare of the tenants of this building. The Lodge will include full CCTV and card access to its residents.

Security will be provided by CCTV and card access.

Each residential floor will have a laundry room with 3 washers and dryers, a trash chute, a small community or game room. The building will have a community room, library, computer lab and kitchen. There will be two central elevators. Outdoor spaces will include a community patio and garden.

Possible Building Amenities:

- Workout Gym
- Great room/full kitchen with fire place.
- Wellness room
- Bike storage
- Leasing office
- Recycling and trash chutes
- Indoor mailboxes

Unit amenities:

- Window shades
- Self-Cleaning range
- Carpet or VCT
- Dishwasher
- Refrigerator
- Garbage Disposal
- Microwave
- Air Conditioning
- Cable TV Hook-Up
- High Speed Internet Hook-Up
- Coat Closets
- Certification in Energy Star and EGC or Enterprise Green Communities.

Reason for review process:

1. Add an extra story for a total height of 51'-0" above grade. The fourth floor is approximately 32'-0" above finish grade, the extra height is for the fourth floor residential, commercial component and architectural interest to the roof line.
2. We would like to extend a balcony along the south side, approximately 10'-0" past the setback line.
3. Approval of parking count.

Applicant response to Rowhaus HOA president:

Hello Mr. Quinn,

My name is Joe Post and I represent HAME (Housing Assistance Management Enterprise), an instrumentality of the Salt Lake City Housing Authority.

JP Goates from the City Planning Outreach team has forwarded your email, along with others from your condo community, to inform us of concerns the residents in the neighborhood of our proposed development may have.

And it is very apparent that the residents of Rowhaus have concerns that need to be addressed. We want to let you know that we will work with you and all Ballpark Community members in a very open and transparent way. We are very proud of the development we are hoping to replace the derelict homes and vacant lots at 1149 South West Temple with. There is no question that it will impact some aspects of current views of some neighborhood residents, but we are very confident that the development will help to raise property values as we rehabilitate these blighted parcels. We have a very strong track record of doing just this in the Ballpark neighborhood and will share research gleaned from the University of Utah that supports our success. We are proud to be a partner with the Urban Indian Center that is located just steps from your home. We also are partnering with Cardinal Development, a long time developer of high quality communities. We intend for the new property to be available to help meet the housing needs of all members of the community, with apartments available for all walks of life. For community members that make a little bit less than others, and for those looking for unrestricted market rate apartments. Our rent structure will have apartments available from \$400 month up to nearly \$1400 a month. Some income restricted, some unrestricted.

To give you a little background of our involvement in the neighborhood, and maybe to show just how old I am, I was the director of the property management team of Jefferson School Apartments, located at 1099 South West Temple, when we had our phase II ribbon cutting back in '05.

At the same time, our development team worked with the developers of Rowhaus when their project was trying to find support in the neighborhood. We were quite welcoming to the idea and reality of having a high quality, class A+ condominium community built in the neighborhood. Many existing residents were not. We presented Rowhaus information sheets and presentation boards at our Ribbon Cutting, and introduced the Rowhaus team to the dignitaries gathered at the event. I just looked up an old email from 2006 as well, showing that we had teamed with Rowhaus and other properties in a community walking tour to highlight the transformation of this area. We truly consider Rowhaus a partner in bringing up the livability and quality of the neighborhood!

It is always difficult to develop in any neighborhood, but the responsibility of any good developer is to be a good neighbor and respect those that call the area home. As you know, being a real estate professional yourself, any change to a neighborhood can be met with skepticism and concern. We hope that by meeting with and speaking with you and your neighbors we can clearly show what those changes might be and have an open and productive conversation about the facts and challenges our new development might bring. If it would be acceptable to you, we would like to attend your next HOA board meeting to present the conceptual layout of Book Cliffs Lodge, as well as the potential residential purpose of the new building. We will also bring shadow studies, view corridor studies and traffic impact information to openly discuss the impact this development will have on the community. We will also create study slides and information that SPECIFICALLY shows the impact of sunlight, shadow and view on the Rowhaus community. Straight up. Nothing hidden.

If you would rather, we would invite you to attend the upcoming Ballpark Community Meeting on November 2nd. Our plan is to present the overall view corridor impact our new development will have on the neighborhood and to get feedback from the residents in attendance. This meeting will be held at Taylor Springs Apartments, 1812 South West Temple. We have been informed we would be first on the agenda starting at 6:30 p.m. We have already taken our conceptual renderings and information to a previous Ballpark Community meeting and received feedback from your neighbors that we have already acted on. This includes the investment we have already made in cleaning up the overgrowth at the old office building and assigning a Salt Lake City police officer to assist in helping those homeless individuals and drug pushers that were frequenting the land to find other

accommodations. We continue to patrol and maintain the land in the best way possible to help keep our beautiful neighborhood safe from crime. It was so gratifying to hear a community member thank us for cleaning up the overgrowth there as he stands with his daughter every morning at the bus stop on the corner of Paxton and West Temple. The transient folks and the drug dealers have had to find other places to be.

Thanks for taking time to read this email! The Book Cliffs team is sincerely wanting to create an asset for the whole community. This same team has developed safe and beautiful communities that are assets to neighborhoods throughout Salt Lake City and adjoining states as well. We are honest in our intent to meet with you and your community members to discuss the impact of this new development. Please contact me at the email address above, or call me directly at 801-428-0556.

We look forward to hearing from you.

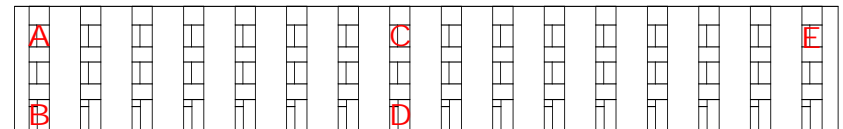
Sincerely,

Joe

Joe Post
Director of Real Estate Development
And Project Management
HASLC
801-428-0556
jpost@haslcutah.org

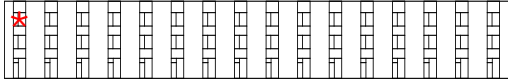


The purpose of this study is to evaluate the visual impact of the proposed Book Cliffs Lodge apartments on the surrounding community. Specifically, views are depicted as if the viewer were observing the eastern horizon line from the vantage point of the Rowhaus apartments. Several vantage points (A-E) are given to assist with impact evaluation.

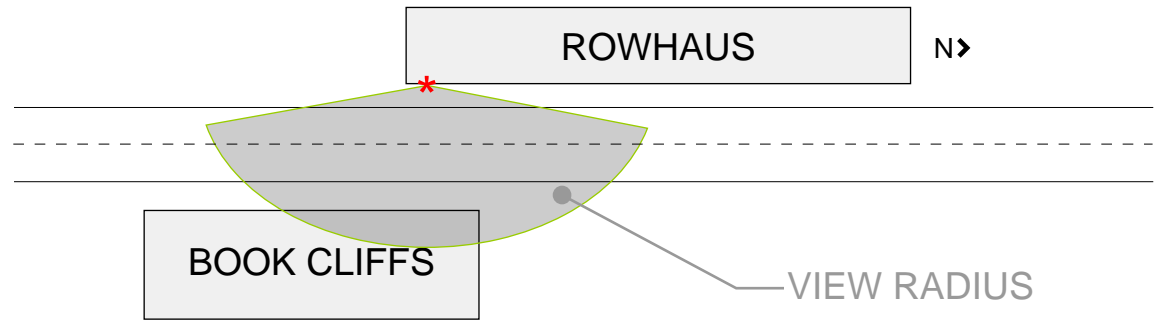


views from R O W H A U S

A



VIEWS FROM ROWHAUS



With Book Cliffs massing



Without massing

UNOBSTRUCTED VIEW

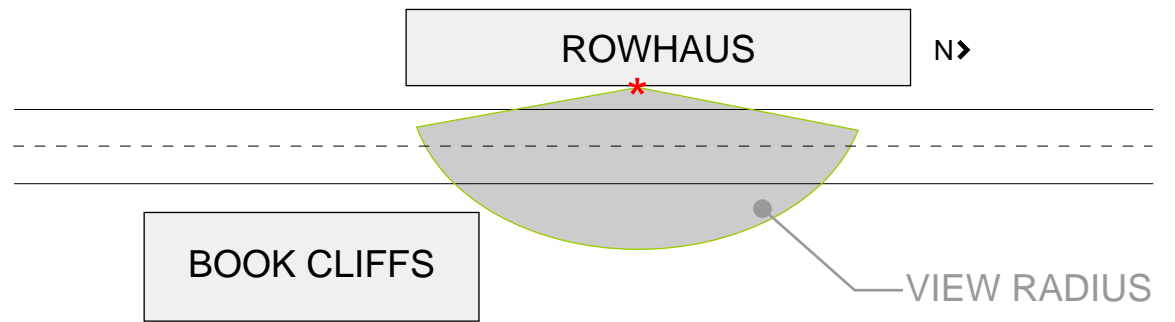
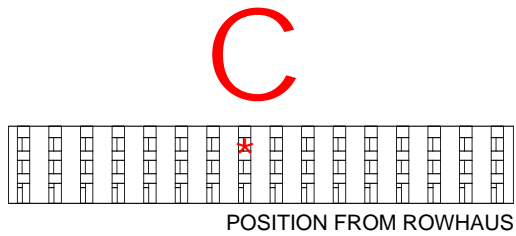
OBSTRUCTED VIEW

UNOBSTRUCTED VIEW



[illegible]

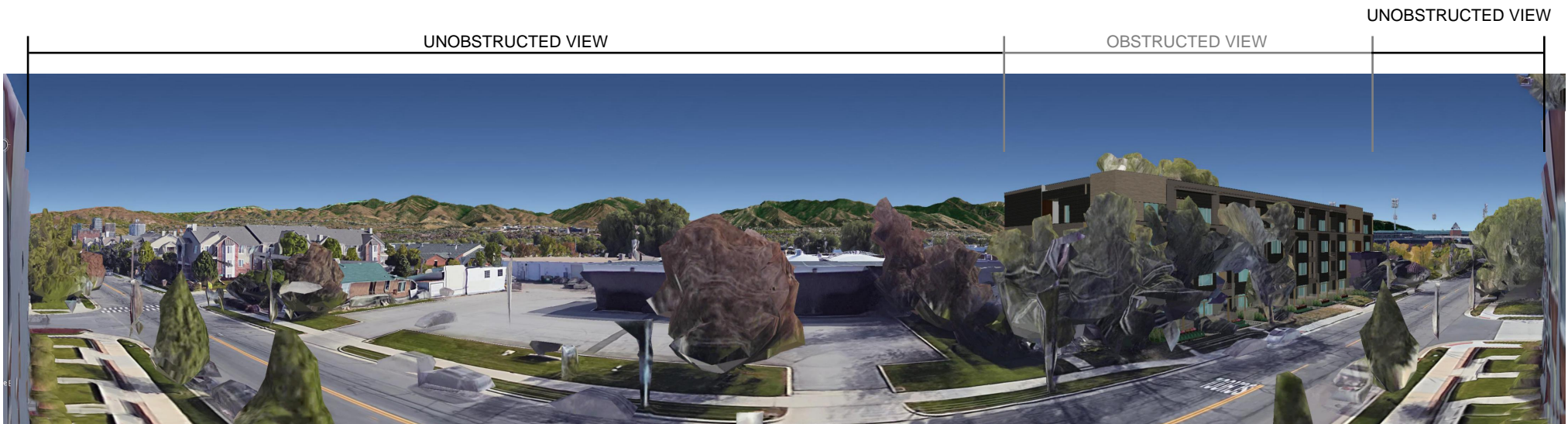
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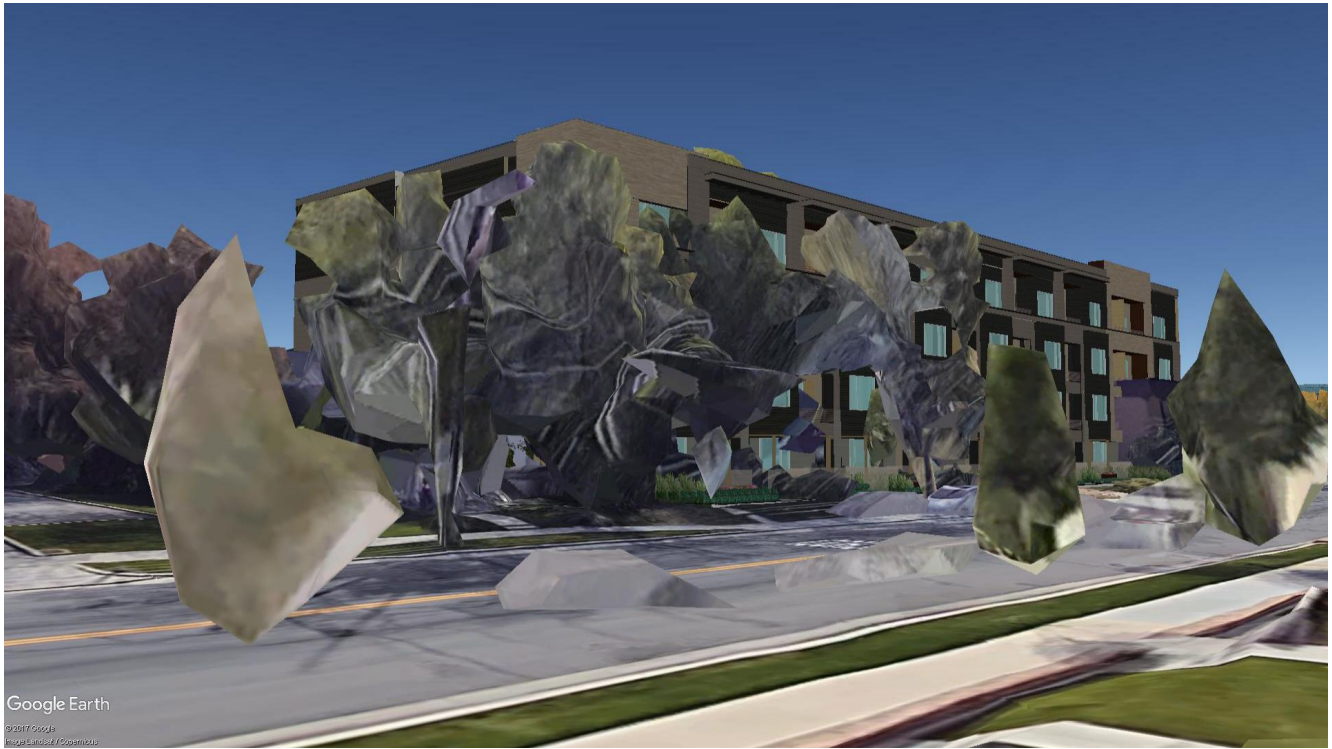


With Book Cliffs massing

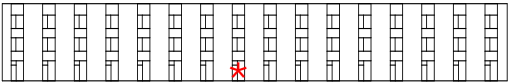


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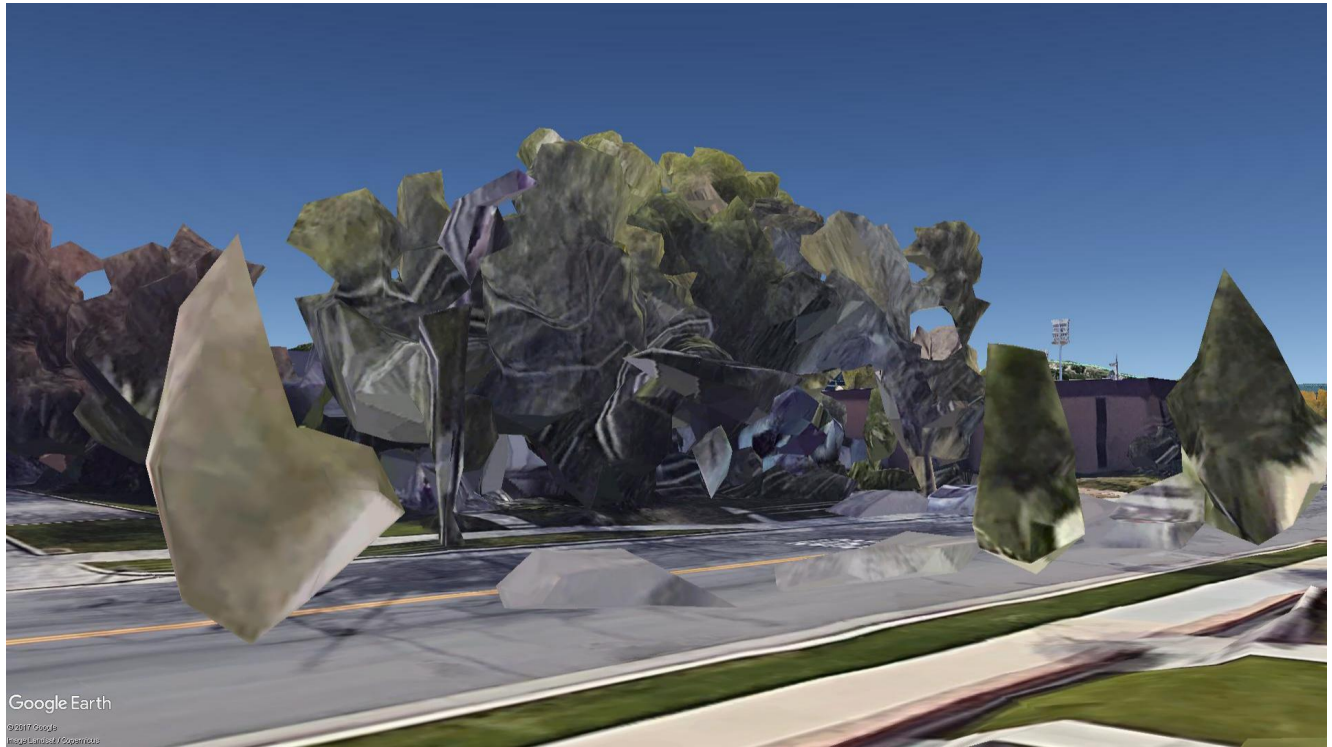




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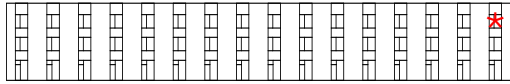


With Book Cliffs massing

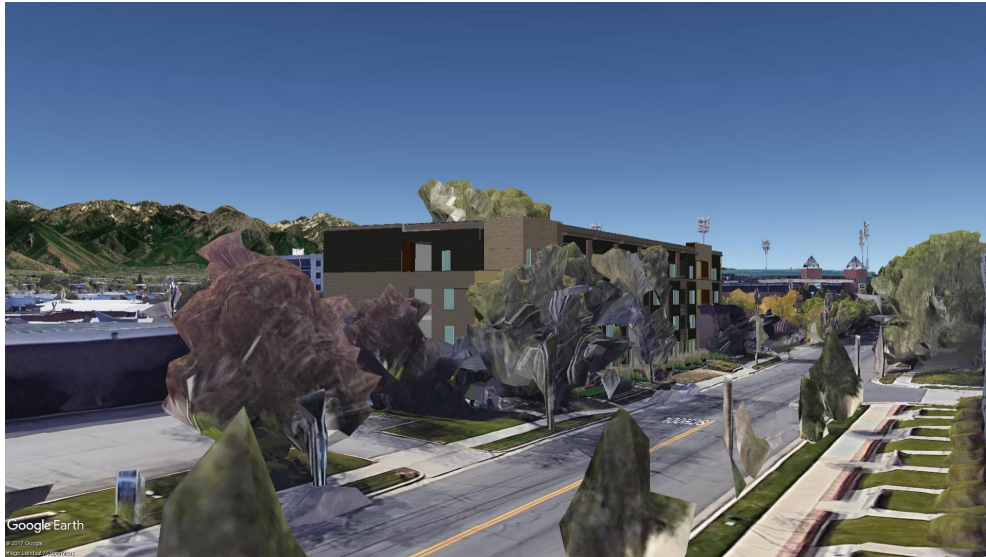
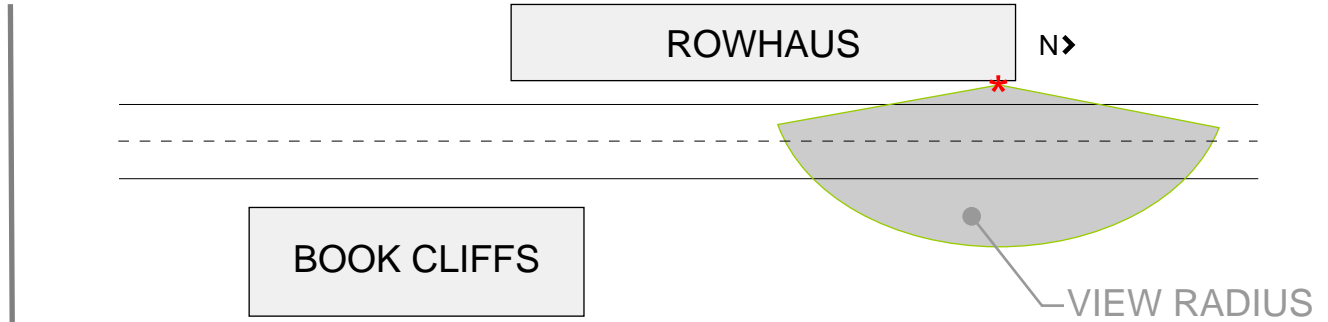


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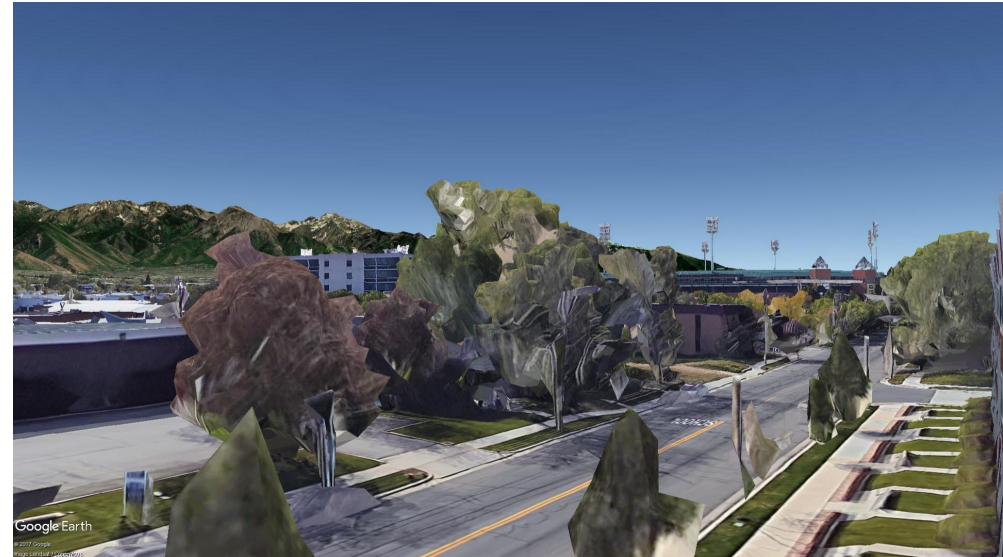
E



VIEWS FROM ROWHAUS



With Book Cliffs massing



Without massing





6 - 7:00 am



7 - 8:00 am



8 - 9:00 am



9 - 10:00 am



10 - 11:00 am



11:00 am - 12:00 pm



12 - 1:00 pm



1 - 2:00 pm



2 - 3:00 pm



3 - 4:00 pm



4 - 5:00 pm



5 - 6:00 pm

SUMMER SOLSTICE (06/21)





7 - 8:00 am



8 - 9:00 am



9 - 10:00 am



10 - 11:00 am



11:00 am - 12:00 pm



12 - 1:00 pm



1 - 2:00 pm



2 - 3:00 pm



3 - 4:00 pm



4 - 5:00 pm

EQUINOX (03/21 - 09/21)





8 - 9:00 am



9 - 10:00 am



10 - 11:00 am



11:00 am - 12:00 pm



12 - 1:00 pm



1 - 2:00 pm



2 - 3:00 pm



3 - 4:00 pm

WINTER SOLSTICE (12/21)



ATTACHMENT E: PHOTOGRAPHS



View from the South side of Paxton at the corner of West Temple and Paxton



View of existing residential structures on West Temple



Vacant property between residential and office structures



Sidewalk fronting the subject property on West Temple

ATTACHMENT F: EXISTING CONDITIONS

Ball Park Community and Central Community Master Plan Discussion

The proposed project is located within the Central Community Master Plan area and the Peoples Freeway Neighborhood section of the plan. The Future Land Use map in the master plan designates the property as High Mixed Use (50 or more dwelling units/acre) and the property has been zoned CC Corridor Commercial District, in compliance with this designation. The proposed residential project is a permitted use in the zone and programs and activities are consistent with the mixed use designation. The proposed 54 units is also consistent with the future land use map and High Mixed use designation as it is a .96 acre site. This site would not likely accommodate the number of units called for in the master plan without the additional height, nor would it be able to accommodate off street parking.

The plan includes the following policies related to the request:

- High Mixed Use (50 or more dwelling units/acre)
- Address ways of transitioning the northern portion of the neighborhood from the historic character of low-density residential development to one of transit-oriented development.
- Improve infrastructure and landscaping of commercial and industrial areas.
- High-Density Residential: High-density residential is located in the Central Business District, Gateway area, and East Downtown, near specified mass transit stations, and incorporated into land use conversion and redevelopment project areas.
- This designation allows mid and high-rise townhouses, condominiums, apartments, and high-density residential structures as the dominant land use.
- Encourage the creation and maintenance of a variety of housing opportunities that meet social needs and income levels of a diverse population.

The proposed project is located over seven single-family parcels that have been consolidated. The current condition of the property consists of vacant property, dilapidated residential structures and a three floor office use. The property fronts West Temple, Paxton Ave., and is backed to the East by a public alley. The sidewalk fronting the property on West Temple curves toward the road without a pedestrian buffer or park strip. The location the property is approximately 1,100 feet, legal walking distance from the Ball Park TRAX station platform. The location and proposed use of the project follows the intent and guidance of the Central Community Master Plan through the zoning that has been put in place and the intent of its high density residential designation and transit orientation found in the Plan.

Applicable General Zoning Standards:

CC Corridor Commercial Standards

Requirement	Standard	Proposed Development	Impact on Development Standards
Front/Corner Side Yard	15' Minimum Setback	Complies	None
Interior Side Yard	None required	Complies	None
Rear Yard	10'	Complies	None
Minimum Lot Area	10,000 square feet	Complies	None
Lot Width	75'	Complies	None
Maximum Height	45' with CBSDR approval	Building is 45' at its highest point or the roof, and has varying parapet walls not to exceed five feet above the roof.	CBSDR approval required and project must meet the standards in Attachment G
Additional Landscaping Requirement	10% of area of the additional floor beyond normal landscape requirement	Complies The additional floor is approximately 11,765 square feet. The additional landscape at the East edge of the parking lot will exceed 1,200 square feet	None
Parking requirement	Multiple-family dwellings ¹ 1. Minimum parking requirements for affordable housing and senior housing: Buildings that have 10 or more residential units with at least 25 percent of the units as either affordable or senior housing shall be allowed to have a minimum of 1/2 of a parking space provided for each dwelling unit. Parking Exemptions For Proximity To Mass Transit: For any new multi-family residential, commercial, office or industrial development within one-fourth (1/4) mile of a fixed transit station, the minimum number of parking spaces required according to section 21A.44.030 of this chapter can be reduced by fifty percent (50%).	Complies 19 spaces proposed	None

ATTACHMENT G: ANALYSIS OF STANDARDS – CONDITIONAL BUILDING AND SITE DESIGN REVIEW

21a.59.060: Standards for Design Review: In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

Standard	Finding	Rationale
A. Development shall be primarily oriented to the street, not an interior courtyard or parking lot.	Complies	The proposed building is generally oriented to West Temple with the structure setback 15 feet from the property line. There are eight ground floor entrances for the units fronting West Temple, and one entrance fronting Paxton Ave. The units fronting West Temple more closely meets the residential nature of the neighboring residential uses. The lobby and leasing area will be located at the West entrance fronting the parking area where loading and other activities that more resemble multi-family uses would happen to the East of the property.
B. Primary access shall be oriented to the pedestrian and mass transit.	Complies	The proposed building faces West Temple and Paxton Ave. The design of the building contains multiple entrances that could be considered primary access for residents. While the leasing area is located at the East side of the building, the Southern access fronts Paxton Ave. All residents of the building may use this access to cross Paxton Ave., leading directly to a crossing on West Temple to Lucy Ave. Lucy Ave. leads directly to the Ball Park TRAX station.
C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.	Complies	The proposed building is being designed with a variety of materials to facilitate pedestrian interest. The detailing and materials include large windows in each unit fronting West Temple. Each unit also provides walk out patio access that generates interaction and interest of pedestrians.
D. Architectural detailing shall be included on the ground floor to emphasize the pedestrian level of the building.	Complies with conditions	The ground floor of the structure is varied in building materials, building articulation and design. The ground floor has significant glazing and entrances to residential spaces along the street to directly engage the public street. Pedestrian focused lighting must be provided in areas of pedestrian interest.
E. Parking lots shall be appropriately screened and landscaped to minimize their impact on adjacent neighborhoods. Parking lot lighting shall be shielded to eliminate excessive glare or light into adjacent neighborhoods.	Complies	The parking lot will be oriented away from the pedestrian environment, behind the building. The nature of the parking lot being completely behind the structure will inherently screen lighting and other parking impacts from the residents to the West.
F. Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the street or other pedestrian facilities.	Complies	The private sidewalks that provide access to each unit and other main entrances will directly connect with the public sidewalk infrastructure without crossing into any parking areas.
G. Dumpsters and loading docks shall be appropriately screened or located within the structure.	Complies	Dumpsters and loading docks are located at the rear of the structure. This area is recessed and walled to minimize the public's view.
H. Signage shall emphasize the pedestrian/mass transit orientation.	Complies	The proposed building sign identifying the "Book Cliffs Lodge" project is located at the Southwest corner facing Paxton Ave. This is directly facing the pedestrian crossing on West Temple across Paxton Ave., and where direct access to the TRAX station on Lucy Ave. is located.

<p>I. Lighting shall meet the lighting levels and design requirements set forth in chapter 4 of the Salt Lake City lighting master plan dated May 2006.</p>	<p>Complies with Conditions</p>	<p>New development is required to upgrade associated right of way elements, including street lighting. The development will need to install new street lighting in conformance with the Salt Lake City lighting master plan.</p>
<p>J. Streetscape improvements shall be provided as follows:</p> <ol style="list-style-type: none"> 1. One street tree chosen from the street tree list consistent with the city's urban forestry guidelines and with the approval of the city's urban forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the city's urban forester. 2. Landscaping material shall be selected that will assure eighty percent (80%) ground coverage occurs within three (3) years. 3. Hardscape (paving material) shall be utilized to designate public spaces. Permitted materials include unit masonry, scored and colored concrete, grasscrete, or combinations of the above. 4. Outdoor storage areas shall be screened from view from adjacent public rights of way. Loading facilities shall be screened and buffered when adjacent to residentially zoned land and any public street. 5. Landscaping design shall include a variety of deciduous and/or evergreen trees, and shrubs and flowering plant species well adapted to the local climate. 	<p>Complies with Conditions</p>	<p>The proposed landscaping plans show new installations of street trees to be located in the park strips on West Temple and Paxton Ave., no less than 30 feet apart. The plan further shows a variety of different plants being utilized in other landscaped areas of the project. The project hardscape will consist of standard gray concrete for the public sidewalks and a combination of gray, enhanced concrete or pavers for entrance areas.</p> <p>Final landscape plans must comply with the requirements of this standard and the provisions of 21A.48.</p> <p>No outdoor storage areas are proposed for this development. Loading facilities, including any required loading berth or docks are required by ordinance to be located away from public streets and compliance will be ensured during the building permit review process.</p>
<p>21A.59.065: In addition to standards provided in section 21A.59.060 of this chapter, the following standards shall be applied to all applications for conditional building and design review regarding height:</p>		

<p>A. The roofline contains architectural features that give it a distinctive form or skyline, or the rooftop is designed for purposes such as rooftop gardens, common space for building occupants or the public, viewing platforms, shading or daylighting structures, renewable energy systems, heliports, and other similar uses, and provided that such uses are not otherwise prohibited.</p>	<p>Complies</p>	<p>The roofline contains distinctive parapet walls and material variation.</p>
<p>B. There is architectural detailing at the cornice level, when appropriate to the architectural style of the building.</p>	<p>Complies</p>	<p>The cornice level of the building contains fascia material that provides contrast with the varied parapet wall detail. The level of overhang provides a subtle shadow that adds additional contrast from the parapet wall facades.</p>
<p>C. Lighting highlights the architectural detailing of the entire building but shall not exceed the maximum lighting standards as further described elsewhere in this title.</p>	<p>Complies with conditions</p>	<p>The lighting of the building will highlight the parapet accents of the structure, and signage of the building, not to conflict with residential units and neighboring properties. Lighting must be shown and approved with final building approval.</p>

ATTACHMENT H: PUBLIC PROCESS AND COMMENTS

Public Notice, Meetings, Comments

Notice of the public hearing for the proposal included:

Public hearing notice mailed on December 3, 2017

Public hearing notice posted on December 1, 2017

Public notice posted on City and State websites and Planning Division list serve on December 1, 2017

Public Input:

Project information was sent to the Ball Park Community Council and to abutting property owners and residents. The project was also presented on two separate occasions at the Ball Park Community Council monthly meetings. The Ball Park Community Council chair has responded with the following comments:

Dear Jonathan

Here are our official comments on this proposal for the Ballpark Community Council. We officially support it as a council because it fits our criterion for the type of development we are looking for in the neighborhood. Specifically we look for the following:

- 1) We are actively encouraging an increase in the residential population of the Ballpark Neighborhood. This is not possible thru single family homes due to the lack of available property and zoning, hence the only way that this will happen is thru higher density developments. This proposal is a higher density development.
- 2) We are encouraging mixed income developments. We want everything from affordable, to market rate and even above market rate. This proposal is a mixed income development.
- 3) We encourage ground floor, street facing commercial space in conjunction with all higher density residential developments or in other words - mixed use developments. The proposal due to financing considerations does not include any commercial uses. We would encourage the developer to consider designing part of the ground floor in such a way as to be easily converted to a commercial use if this becomes an option in the future.

We were contacted by some residents in close proximity to this proposal with some concerns about height and views in particular. I corresponded with them to address those concerns and did not hear back from them. I assume that their concerns were resolved. We also presented this proposal twice in public meetings. Once in September and again in November. The only concerns publicly expressed concerned the 'set asides' for homeless residents and the affordable portion of the development. When it was explained that this was a mixed income development, the questioner seemed satisfied with the answer.

I am aware, that several residents, who expressed concerns about this project contacted the HASLC directly. I specifically requested that they be informed about this meeting and assume they were. Either their concerns were resolved during the meeting or they did not attend.

In conclusion, based on the fact that this proposal meets the majority of the criterion we look for in this type of development, the Ballpark Community Council supports it.

Please contact me if you have any questions.

Best regards
Bill Davis - Chair
Ballpark Community Council

Property owner comments:

As of the finalization of this report, the following emails were received by staff in addition to several calls. The applicant has responded to the homeowners association president elect by email that can be found in Attachment D.

Mr. Goates, Ms. Tuuao, Ms. Mendenhall, and City Council Liasons,

I am a resident of the area in question living at 1188 S West Temple. My neighbors and I have major concerns with the proposed property of low income housing being developed right outside my door along with the drug rehabilitation facility in our residential neighborhood.

Along with others of our neighborhood, our first concern is this building will exceed existing zoning heights, cutting-off views for many in this community, while having insufficient parking for the number of proposed units. Our concern is that a developer shouldn't be able to arbitrarily ignore zoning laws for an individual project. While the developer may see profits, existing residents will be stuck trying to explain to new potential buyers why there is a towering building blocking preexisting views and nowhere to park.

There are no instances where property values increased by losing views, sharing crowded parking, and flooding a neighborhood with more transient, short-term temporary renters. The project has requested a variance that would increase building heights despite existing zoning restrictions. In short, everyone west (east as well) of the this project would lose their valley and mountain views.

This community is trying hard to build a permanent base of owners, long-term renters, and businesses. Surrounding property owners and businesses have spent considerable time, money, and effort to resurrect this neighborhood, including Salt Lake City. This project, as proposed, moves in the opposite direction.

We are already burdened by the new homeless center a few blocks away. We already have a pardons and parole building in the area as well as Valley Mental Health. What about the sexually oriented business that is right by this project?

Our area is doing our share to help the low income population already. It is imperative that you consider the value of our properties and any outside impact that could be made to harm neighborhood ownership. There should be a case study done to investigate the issues and impacts of this project.

Jennifer Luft

I am writing today to express my concerns regarding the new project on the east side of West Temple and Paxton Ave.

I support developing this property for low income housing and drug rehabilitation. I am against the developer's plan to exceed existing zoning heights. I am also very concerned that adequate parking is not in the plan for this development. As the plan stands, there will be fewer parking spots than the proposed number of units.

I live and own my home in the Ballpark neighborhood. Parking is already bad. Drug use, vandalism and theft are already a big problem.

I am concerned that the project as it stands will drive home values down and make living in the Ballpark neighborhood more difficult for existing residents.

I would ask that the development follow existing zoning requirements and should provide parking that would support the number of units planned.

Thank you,

Joseph Buffington

JP Goates,

I am reaching out to express that I oppose the currently proposed Low income housing project on West Temple and Paxton Ave. I also have a few questions I would appreciate answers to.

The few responses my neighbor's have received have been greatly lacking, ambiguously aimless, dismissive, contradictory, and most importantly, never really address any of our real concerns.

1. Why hasn't the city or the developer submitted a case study for a projection on surrounding property values?
2. Why is a variance being offered now when others were not?
3. Are more zoning laws going to be ignored?
4. Does this mean all zoning restrictions and guidelines are now open to change depending on the project and builder?
5. Why specifically must this project be on this street in this neighbor when many other options are open?

Thank you for your time.

--

Best regards,
AnneMarie Jenkins

Dear Mr. Goates,

Good morning!

I am reaching out to express my concerns about the apartment building planned for 1149 S. West Temple.

There are already 388 townhomes/condos/studios that have been build within a five minute walk of this location. None of these projects (except Alinea Lots) have retail space and few have adequate parking.

A 5-story building will mean more traffic, more street parking, more loitering, etc. We deal with crime on a weekly basis in our community, and this project poses a number of concerns if approved.

The complex will be 66 feet from my condo -- I live directly across the street at 1142 S. West Temple -- and the mountain views and morning sunshine will be obliterated if a new height restriction is approved.

I purchased my property 10 years ago when the area was transitional and not desirable for developers or homeowners.

If development is moving into the area, I will strongly advocate developers be held to the heigh restriction of 30' for "CC" zone -- despite it's proximity to the TRAX station or loopholes that allow for higher buildings.

As a community, we have worked tirelessly to make our neighborhood a better/safer place to live. The new homeless shelter is down the street, and this project only adds to the transient population.

This project is not right for our community.

Best,
Jill Gully

Mr. Goates,

While I appreciate your reply, I feel that you have not addressed my concerns. You did not address the issue of loitering or theft in the neighborhood. Your response on the parking is confusing. If I understand your email, the reason this complex is excused from the parking standards is that there is a trax station within .25 miles. I feel that this is a nonsensical argument. The fact that there is a trax station close does not mean that people will move to the complex foregoing their car. There is a parking problem in this area already and we do not need potentially 100 plus more cars to the neighborhood.

We in the neighborhood have not been told what the use of this complex is. This neighborhood has had plenty of additions in the form of apartments. The Ballpark apartments, the new ones

on Goltz street, the ones next to Lowe's and let's not forget the proposed homeless resource center. There are complexes going up all over the city with a variety of uses, what makes this one so special that the city has to grant a zoning variance? We have received no real answer. What we would like is an explanation of the importance of this proposal and what it would bring to our neighborhood.

Thanks,
Matt Haydon

Mr. Goates,

I live at 1142 South West Temple, and I am concerned about the proposed development across the street. While I am for development of the area, I am troubled by this development. This area has been plagued by some problems and calls to the city for help has yielded no results.

The first issue is parking. This proposal does not have enough parking spots for the development. That means people would park on the street, limiting our parking but also creating potential problems. For example there have been a few accidents this year because of poor sight lines and speed. The traffic is already building, and this is before one of the developments in progress comes online. Not to mention the issues the neighborhood has during baseball season. The residents have made calls to parking enforcement and have received mixed results. They sometimes come and other times ignore the call. The second concern is the height. This proposal is asking for a variance on the zoning. The proposed height will block the views of our community. If this development is approved what will prevent another developer from asking for another variance. This would set a dangerous precedent for the city, opening them to potential litigation if they deny another development's request.

The third concern is the loitering issue. There is already a loitering issue in the neighborhood, and the community has had mixed results in solving the problem. Unfortunately, the community has suffered burglaries. The park has needles and is not safe for children. This is before the proposed homeless resource center comes online. Right now there is a transient camping in the proposed development site and the police have not responded. Despite the fact there are posted signs stating that it is private property.

These are a few of the concerns that I have with the proposed development. I feel that many of the members of the community have similar concerns. I look forward to hearing from you and seeing you at the hearing on the 13th.

Best,
Matt Haydon

Dear Mr. Goates,

Good morning!

I am reaching out to express my concerns about the proposed height of the new apartment building planned for 1149 S. West Temple.

The complex will be 66' from my condo -- I live directly across the street at 1142 S. West Temple -- and the mountain views and morning will be eliminated/reduced if a new height restriction is approved.

I purchased my property 10 years ago when the area was transitional and not desirable for developers or many residents.

If development is moving into the area, I will strongly advocate developers be held to the height restriction of 30' for "CC" zone.

I can't stop the development from happening, but developers should not be given exceptions that will affect long-term residents in the community.

A 5-story building will meet more traffic, more street parking, more loitering, etc. I have a number of concerns about this project.

Thank you for hearing my concerns on this matter.

Best,

Jill Gully

Dear Mr. Goates,

I live at 1140 South West Temple. I enjoy my neighborhood, it's recent growth, and thoroughly enjoy my view. I welcome new construction with open arms, but new construction needs to follow the zoning rules. No building should be permitted to build 45 feet, which would then obstruct another building (mine) from having the lovely view of the mountains. To the builder, I say build away, but only per the code. A 15 foot variance is a substantial departure from the neighborhood and should not be allowed regardless of how nice the units may be.

Thank you for reviewing and feel free to reach out.

Sincerely,

David Wulf

I am a resident that lives at 1129 South West Temple. I am also the HOA president elect for Rowhaus as well as a real estate agent here in Salt Lake City. I have reviewed the proposal for the apartment complex being planned directly across the street from my home and strongly disagree with the presented plans. I also strongly object to any plans for a building height variance concerning this project.

I am equally concerned with not only what this project will do to our views, but the negative impact this apartment complex will have on our home values. I would like to be notified of all meetings and correspondence concerning this proposed project. I would like sufficient time to notify everyone in my community and neighborhood so they may submit their written objections and attend all meetings.

Thank you,

Patrick Quinn

My name is Dan Rivers. I live at 1144 S West Temple (the Rowhaus Condos). I have a serious concern with the proposed development across the street from me at 1149 S West Temple (Book Cliff apartments):

The proposed building height of 45 feet tall

Our building is 30 feet tall. If there was a 45-foot tall building across the street...about 66 feet away...the impacts to Rowhaus residents would be:

- (1) No more morning sun. We would be in the shadow of this large building through mid-morning.
- (2) This building would eliminate 1/2 to 3/4 of the Wasatch Mountain views currently enjoyed by Rowhaus residents.

(3) I believe the elimination of these Wasatch Mountain views would negatively impact the Rowhaus residents' property values.

Thank you for your time and I look forward to hearing from you on these issues.

Dan Rivers

ATTACHMENT I: DEPARTMENT REVIEW COMMENTS

Fire (Kenney Christensen, 801-535-6619, kenney.christensen@slcgov.com)
JP,

Development will be subject to all the fire access and fire flow requirements in 2015 IFC and the appendices.

Compliance with the information in this review does not guarantee compliance with the current adopted international fire and building codes; and it does not guarantee issuance of any building permit.

I do not see any red flags that will prevent the proposed development as it has been currently submitted (some details are lacking) PLEASE NOTE, the following items can be clearly addressed during building permit application: the 51 feet tall, four story structure, will require two separate means of aerial fire department access 26 feet wide roadway not including curb and gutter, one of the required aerial access can be no closer than 15 feet and no further than 30 feet from the aerial apparatus to the structure and there shall be no overhead utility lines between the required fire aerial access roads and the structure.

The power lines would not be a deal killer if the developer has the funds to bury the lines underground along the entire length of the property line adjacent to the proposed structure.

Also if they are proposing 25 feet from the structure to the fire aerial apparatus access (with no parking between) that exceeds the 30 feet maximum distance they would have the required aerial access by code.

Thanks,
Kenney

Engineering (Scott Weiler, 801-535-6159, scott.weiler@slcgov.com)

It would help to have a site plan for the Book Cliffs Lodge, I could assign the address on the building/entrance locations. I have based the address on the center of the new parcel created by combining the 7 existing parcels. I have worked up an address of 1159 S West Temple St. You can come in or call to pay the \$10 fee when you are ready to get the Certificate of Address.

Thank you,

ALICE MONTTOYA

Transportation (Michael Barry, 801-535-7147, michael.barry@slcgov.com)
JP,

For a multi-family project, electric vehicle parking is required. Also, at least one bicycle rack is required. Thanks.

Public Utilities (Jason Draper, 801-483-6751, jason.draper@slcgov.com)

Preliminary Review - Comments do not constitute building plan review or utility approval.

Although not in the 100 year floodplain, this is in the 500 year flood plain and subject to flooding under high precipitation events. Finished floor elevations should be above 4321.0 and no basements should be constructed in this area.

Utilities cannot cross property lines without appropriate easements and agreements.

Parcels must be consolidated prior to permitting.

Public Utility permit, connection, survey and inspection fees will apply.

Please submit site utility and grading plans for review. Other plans such as erosion control plans and plumbing plans may also be required depending on the scope of work. Submit supporting documents and calculations along with the plans.

All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.

Storm water treatment is required prior to discharge to the public storm drain. Utilize storm water Best Management Practices (BMPs) to remove solids and oils. Green infrastructure should be used whenever possible. Sand/oil separators are commonly used to treat storm water runoff from uncovered parking areas.

Storm water detention is required for this project. The allowable release rate is 0.2 cfs per acre. Detention must be sized using the 100 year 3 hour design storm using the farmer Fletcher rainfall distribution. Provide a complete Technical Drainage Study including all calculations, figures, model output, certification, summary and discussion.

Contact SLCPU Street Light Program Manager, Dave Pearson (801-483-6738), for information regarding street lights.

Projects larger than one acre require that a Storm Water Pollution Prevention Plan (SWPPP) and Technical Drainage Study are submitted for review.

All utilities must be separated by a minimum of 3ft horizontally and 18" vertically. Water and sewer lines require 10ft minimum horizontal separation.

One culinary water meter and one fire line are permitted per parcel. If the parcel is larger than 0.5 acres, a separate irrigation meter is also permitted. Each service must have a separate tap to the main.

The existing 6" main is likely insufficient to provide fire flow and cannot support additional hydrants. A water main extension will be required to upsize the main. Applicant must provide fire flow and culinary water demands to SLCPU for review. The public water system will be modeled with these demands. If the demand is not adequately delivered, a water main upsizing will be required at the property owner's expense. Required improvements on the public water system will be determined by the Development Review Engineer. New water mains must cross the entire frontage of the property.

A plan and profile and Engineer's cost estimate must be submitted for review. The property owner is required to bond for the amount of the approved cost estimate.

Zoning (Alan Michelson, 801-535-7142, alan.michelson@slcgov.com)
JP,

I took a look at this project and uploaded standard review comments to ACCELA. I have listed them below for your reference and convenience .

- See Site Plan Review section 21A.58.020, and schedule a DRT meeting.
- Any public way encroachments will need to be discussed with the SLC Real Property Div. in Room #425 at 451 S. State St. 801-535-7133.
- A demolition permit will be required for the removal of the existing building.
- A Certified Address is to be obtained from the Engineering Dept. for use in the plan review and permit issuance process.
- See 21A.24, 26, 27, 28, 30, 31 and 32 for general and specific regulations of the zoning district.
- See 21A.36.250 for a permanent recycling collection station.
- See 21A.37 for Design Standards for the C-C design standards.
- See 21A.40 for Accessory Uses, Buildings and Structures, and including ground mounted utility boxes.
- See 21A.44 for parking and maneuvering, including parking calculations that address the minimum required and provided parking for automobiles, bicycles, electric vehicles and accessibly stalls along with any method of reducing or increasing the parking requirement as well as clear pedestrian pathways from the parking lot to the entry of the building and the public sidewalk.
- See 21A.48 for interior/perimeter parking lot landscaping, special C-C front yard landscaping and parking strip landscaping as well as removal/protection of private property trees. A tree removal/protection/planting will need to be evaluated by Urban Forestry.
- Any public way encroachments will need to be discussed with the SLC Real Property Div. in Room #425 at 451 S. State St. 801-535-7133.
- A demolition permit will be required for the removal of the existing building.
- A Certified Address is to be obtained from the Engineering Dept. for use in the plan review and permit issuance process.
- See 21A.24, 26, 27, 28, 30, 31 and 32 for general and specific regulations of the zoning district.
- See 21A.36.250 for a permanent recycling collection station.
- See 21A.37 for Design Standards for the C-C design standards.
- See 21A.40 for Accessory Uses, Buildings and Structures, and including ground mounted utility boxes.
- See 21A.44 for parking and maneuvering, including parking calculations that address the minimum required and provided parking for automobiles, bicycles, electric vehicles and accessibly stalls along with any method of reducing or increasing the parking requirement as well as clear pedestrian pathways from the parking lot to the entry of the building and the public sidewalk.
- See 21A.48 for interior/perimeter parking lot landscaping, special C-C front yard landscaping and parking strip landscaping as well as removal/protection of private property trees. A tree removal/protection/planting will need to be evaluated by Urban Forestry.

Attachment D: Minutes from November 8, 2017

City & County Building
451 South State Street, Room 326, Salt Lake City, Utah
Wednesday, December 13, 2017

A roll is being kept of all who attended the Planning Commission Meeting. The meeting was called to order at [5:36:15 PM](#). Audio recordings of the Planning Commission meetings are retained for a period of time.

Present for the Planning Commission meeting were: Chairperson Weston Clark, Vice Chairperson Ivis Garcia; Commissioners Maurine Bachman, Matt Lyon, Clark Ruttinger and Brenda Scheer. Commissioners Carolyn Hoskins, Emily Drown, Sara Urquhart and Andres Paredes were excused.

Planning Staff members present at the meeting were Wayne Mills, Planning Manager; John Anderson, Senior Planner; Doug Dansie, Senior Planner; Molly Robinson, Urban Designer; David Gellner, Principal Planner; JP Goates, Principal Planner Michelle Poland, Administrative Secretary and Paul Nielson, Senior City Attorney.

Field Trip

A field trip was held prior to the work session. Planning Commissioners present were: Weston Clark, Maurine Bachman, Clark Ruttinger and Brenda Scheer. Staff members in attendance were Wayne Mills, John Anderson, JP Goates and Doug Dansie.

- **744 West Jackson Avenue** - Staff gave an overview of the proposal.
- **1710 S. West Temple** - Staff gave an overview of the proposal.
- **1149 S West Temple** - Staff gave an overview of the proposal.
- **230 W 200 S** - Staff gave an overview of the proposal.

APPROVAL OF THE NOVEMBER 29, 2017, MEETING MINUTES. [5:36:26 PM](#)
MOTION [5:36:29 PM](#)

Commissioner Bachman moved to approve the November 29, 2017, meeting minutes. Commissioner Garcia seconded the motion. Commissioners Bachman, Garcia, Lyon, and Scheer voted “aye”. Commissioners Lyon and Ruttinger abstained from voting as they were not present at the subject meeting. The motion passed unanimously.

REPORT OF THE CHAIR AND VICE CHAIR [5:36:54 PM](#)

Chairperson Clark stated he had nothing to report.

Vice Chairperson Garcia stated she had nothing to report.

REPORT OF THE DIRECTOR [5:37:01 PM](#)

Mr. Wayne Mills, Planning Manager, reviewed the planning items the City Council had reviewed and stated a more formal report would be given at the beginning of 2018.

[6:35:31 PM](#)

Book Cliffs Lodge Conditional Building and Site Design Review at approximately 1149 S West Temple - The Housing Authority of Salt Lake City, represented by Joe Post, is requesting approval of a Conditional Building and Site Design Review application to develop a 54 unit apartment building located at the above listed address. The proposed development would be approximately 45 feet in height with a varied parapet up to five additional feet. The proposed 15 feet of additional height requires Conditional Building and Site Design Review approval. The subject property is located with the CC (Corridor Commercial) zoning district. The property is located within Council District 5, represented by Erin Mendenhall. (Staff Contact: JP Goates (801)535-7236 or jp.goates@slcgov.com.) Case number: PLNPCM2017-00708 (Administrative matter)

Mr. JP Goates, Principal Planner, reviewed the petition as outlined in the Staff Report (located in the case file). He stated Staff recommended that the Planning Commission approve the petition as outlined in the Staff Report.

The Commission and Staff discussed the following:

- The next steps for the petition.

Mr. Dan Nakerman, Mr. Jeff Leonardo and Mr. Anthony Buzman, applicants, reviewed the proposal, the affordability of the units, the public outreach, the condition of the site and how the proposal would help improve the area. They reviewed the design, architecture, why the additional height was required for the proposal and the people that would be using the facility.

PUBLIC HEARING [6:48:53 PM](#)

Chairperson Clark opened the Public Hearing.

The following individuals spoke to the petition: Mr. Matt Haydon. Mr. Patrick Quinn, Mr. Dan Rivers, Ms. Michelle Cook, Mr. Anthony Buzman, Mr. Derk Babbit and Ms. Jennifer Love.

The following comments were made:

- The neighborhood was opposed to the proposal.
- The building would shadow the surrounding properties.
- The development would increase the parking issues in the area.
- The views from neighboring buildings would be lost.
- The proposal would negatively affect property values in the area.
- The area was a single family neighborhood and did not have the ability to handle the development.
- Would love the improvement but there was no need for mixed income housing.
- The project would ruin the neighborhood.
- The development would be a great addition to the area.
- The shadows are not an issue and the development would provide housing for a unique group of people.

- The proposal would be a perfect addition to the area and no negative impacts would be created.
- The infrastructure was a concern.
- How would the influx of people be policed?
- Mixed income properties helped diversify communities.
- Parking in the area was limited but street parking was not an entitlement.
- The concerns are trivial as there is a housing crisis in Salt Lake City.

Chairperson Clark read the following cards

- Mr. Jerel McShane - My partner and I both disagree with the height of the structure-obstruction, and parking provided, not enough to prevent parking issues in immediate area.
- Mr. Joe Schmidt - Maintain esthetic and comply with setback with limited parking for one quarter residences and no commercial, eliminate fourth floor and reduce height, mixed income needs for parking.

Chairperson Clark closed the Public Hearing.

The Commission, Applicant and Staff discussed the following:

- The parking requirements for the proposal.
- The Commission's purview over property values and views.
- The nature of the area and how it had changed over time.
- The proposal for the neighborhood under the Master Plan.
- The distance to the public transit from the development.
- The shadow study conducted for the proposal and surrounding area.
- The view impact to the neighborhood.
- If there was a view requirement or shadow standard.
- The impact of a shorter building.
- The length of the building.
- The access to the residential units.
- The use of the ground floor.
- The roof line and how it was or was not unique in design.
- If there would be a clinic on the fourth floor.
 - No, that was a previous proposal.
- The number of one and three bedroom units in the home.
- The measurements for building and ceiling height.

The Commission discussed and stated the following:

- The affordable housing portion of the proposal was appreciated.
- If the project met or did not meet each of the standards.

MOTION [7:40:38 PM](#)

Commission Lyon stated based on the findings listed in the Staff Report, the information presented, and the input received during the Public Hearing, he moved Planning Commission deny Petition PLNPCM2017-00708 the Conditional Building

and Site Design Review because the evidence has not been presented that demonstrates the proposal applies to the following standards:

- a. Development shall be primarily oriented to the street, not an interior courtyard or parking lot.
 - i. The lobby, leasing office and the gym, residential access are oriented at the rear of the building and not on West Temple.
- b. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.
 - i. The way the building is designed with private courtyards, patios that are unlikely to be used, these are no entrance ways that people will be moving in and out of. The building is a pretty long building more or less being pretty consistent along the bottom and not broken up therefore it is not interesting pedestrian building with a lot of interaction along the street.

21A.59.065: A- The roofline contains architectural features that give it a distinctive form or skyline

- i. The building is pretty much a straight flat top, there is no creative use of the roofline, there is certainly no public viewing platforms, shading or daylighting, rooftop garden etc. it is just an additional part of the building.

Therefore the petition should be denied.

The motion died due to a lack of a second.

MOTION [7:44:36 PM](#)

Commissioner Ruttinger stated based on the findings listed in the Staff Report, the Commissions discussion, the testimony presented, he moved Planning Commission approve the Conditional Building and Site Design Review PLNPCM2017-00708 Salt Lake City Housing Authority Book Cliff Apartments request with conditions:

1. The proposal meets standard A with the eight different entrances.
2. The roof line standards is met with the use of the word “or”. Staff determined it met the standard with the use of the parapet wall.

Commissioner Garcia seconded the motion.

Commissioner Scheer asked to amend the motion to state the Planning Commission approved the project with the condition that the main entrance be oriented to West Temple such that it is very similar in scale and in look to the existing east façade of the building.

Commissioner Ruttinger accepted the amendment to the motion.

Commissioner Garcia seconded the amendment.

The Commission and Applicant discussed if they would be willing to change the building orientation.

Commissioners Garcia, Bachman, Ruttinger and Scheer voted “aye”. Commission Lyon voted “nay”. The motion passed 4-1.

Attachment E: Exterior Building Material Manufacturer Information



SPECIALTY FINISHES



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Albuquerque, NM



Hyatt Summerfield Suites
Charlotte, NC

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DRYVIT OUTSULATION SYSTEMS WITH A SPECIALTY FINISH... DEMONSTRABLY SUPERIOR...

ENERGY EFFICIENCY – Outsulation systems meet the continuous insulation requirements of the 2012 IECC, ASHRAE 189.1, California Title 24, and can contribute significantly to LEED 4.0 certification.

COST EFFECTIVE – An Outsulation system weighs a fraction of other heavier claddings allowing for savings in concrete, structural steel, and transportation.

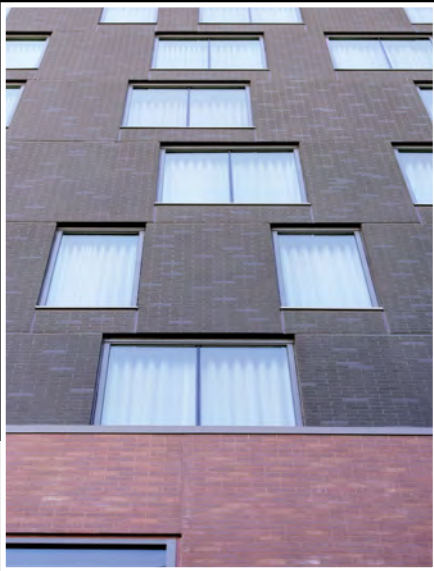
VISUAL APPEAL – A wide range of textures, finishes, colors and techniques are available for maximum curb appeal.

AVAILABILITY – Five North American manufacturing locations and over 200 distribution outlets ensure all materials are on the job within days. Custom samples are never a problem.

COST EFFECTIVE – Entire cladding and various finishes are all installed by a single contractor, with single-source manufacturer warranty!

QUALITY – All Dryvit manufacturing facilities are ISO 9001:2008 and 14001:2004 certified.

ENVIRONMENTAL SUSTAINABILITY – NIST LCA shows Outsulation systems have a smaller environmental impact than other common claddings.



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BRICK™

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Used Wall Brick



Brooklyn Brick



Utility Brick



Multi-Family
Cincinnati, OH

LYMESTONE™

ELEGANT AND DISTINCTIVE



Find out more
about Limestone

Similar to brick, limestone is another heavy material from a bygone era that is energy intensive to harvest, shape and transport. Limestone finish by Dryvit, however, is not. Limestone finish is comprised of natural minerals, blended with 100% acrylic polymers and long-lasting pigments, and is readily available in an infinite color selection.

LYMESTONE FINISH EXAMPLES

A full Limestone brochure can be obtained on our website at dryvit.com.



Limestone

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Tuscan Glaze over Limestone Finish

Limestone is the perfect finish on which to apply Dryvit Tuscan Glaze – resulting in an old-world plaster appearance.



Brick Veneer Limestone

The smooth Limestone finish complements Dryvit's Brick Veneer – the better brick.



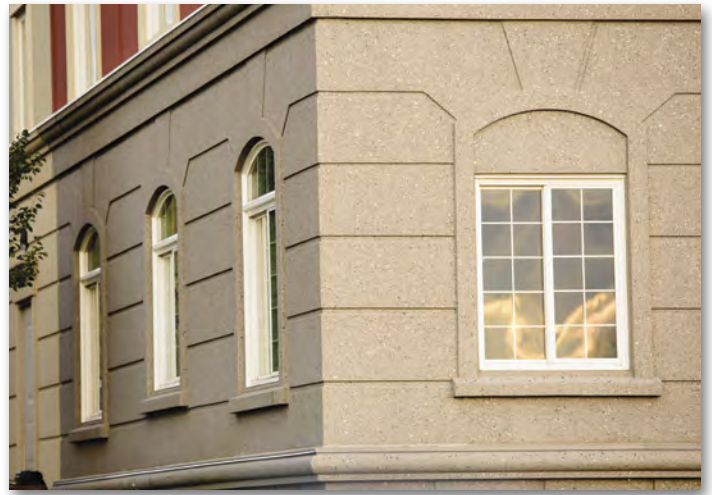
Tenn Care Building
Nashville, TN



Technical School
Oklahoma City, OK



Medical Facility
Salt Lake City, UT



Assisted Living Facility
Cincinnati, OH

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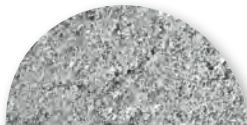
Incorporating a blend of quartz, minerals and mica, Dryvit's TerraNeo finish is an environmentally sustainable, 21st-century alternative – allowing you to create the appearance you want without the cost, duration and environmental impact associated with heavier materials.

STANDARD TERRANEO COLORS

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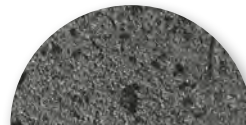
Everest



Glacier



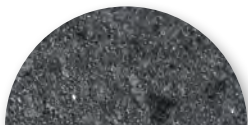
Andes



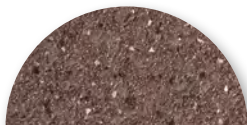
Amazon



Serengeti



Vesuvius



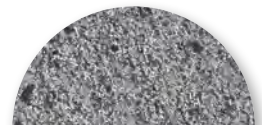
Sonora



Teton

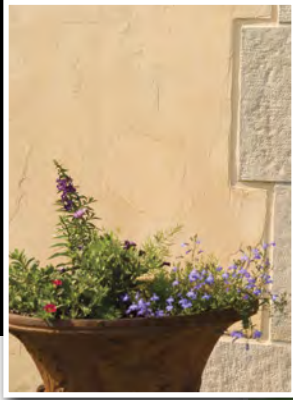


Zanzibar



Gibraltar

Mica Colors: Available in silver/white, gold and black.



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Morning Petal



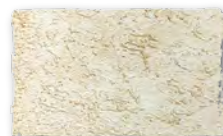
Metropolitan



Maple Walnut



Heather



Bermuda Sand



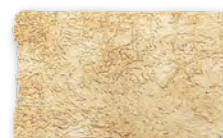
Sage



Platinum Grey



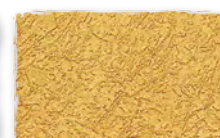
Northern Grey



Cool Mist



Buttercup



Salmon



Blue Haze



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St. Louis, MO



Hotel
Charlotte, NC

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Reflectit™



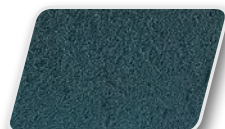
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about Reflectit

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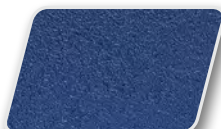
An array of textures, including smooth, is available and color options are nearly limitless.

STANDARD REFLECTIT COLORS

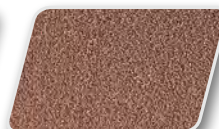
A full Reflectit coating brochure can be obtained on our website at dryvit.com.



250
Teal Magnolia



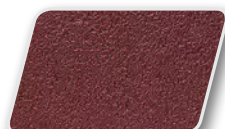
251
Starry Night



252
Hammered Copper



253
Cleopatra



254
Sierra Rose



255
Tin Man



256
Mediterranean



257
Champagne



258
Barney



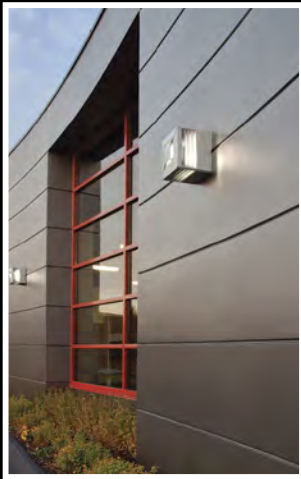
259
Maize



260
Caribbean



261
Chili Pepper



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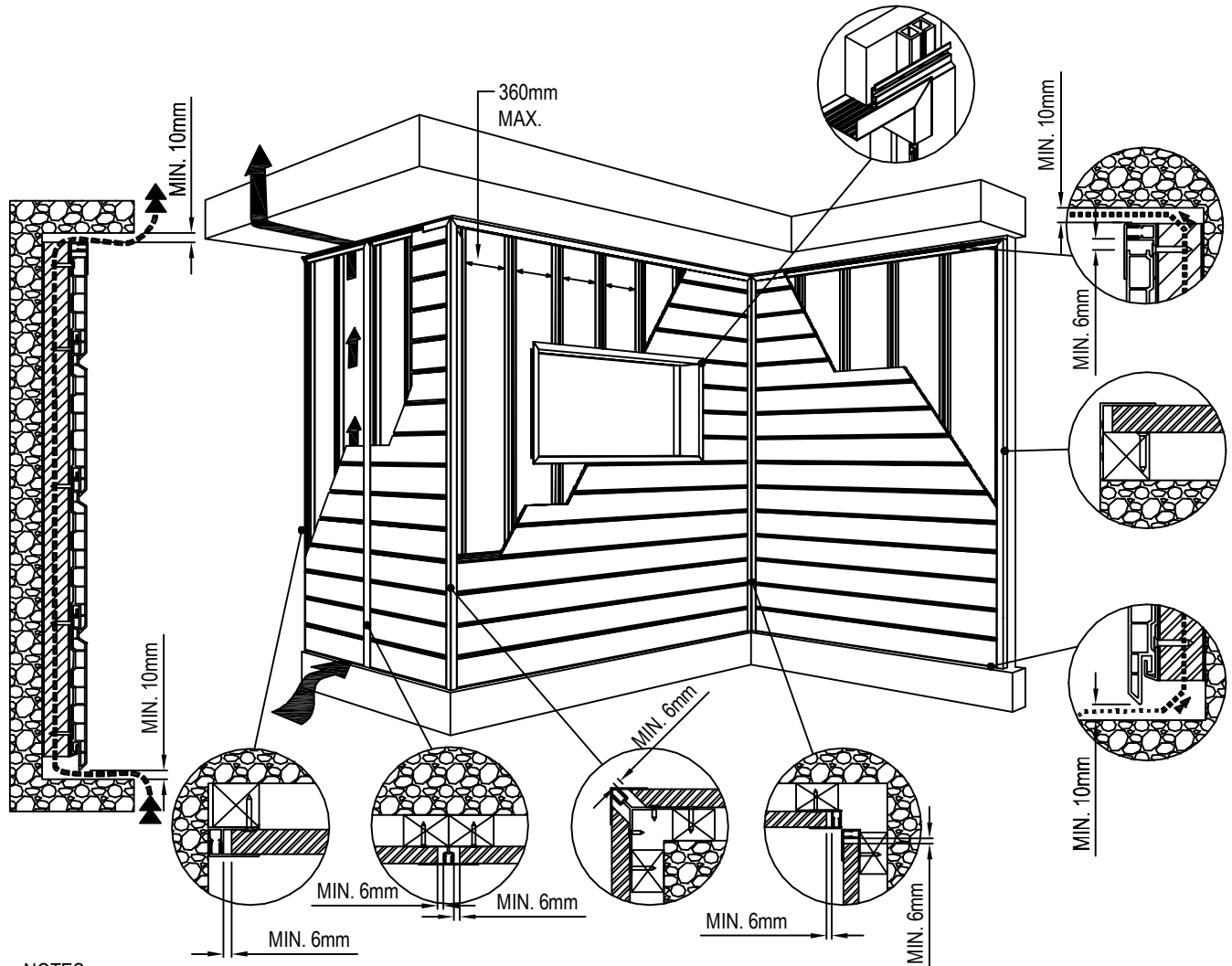
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DETAIL

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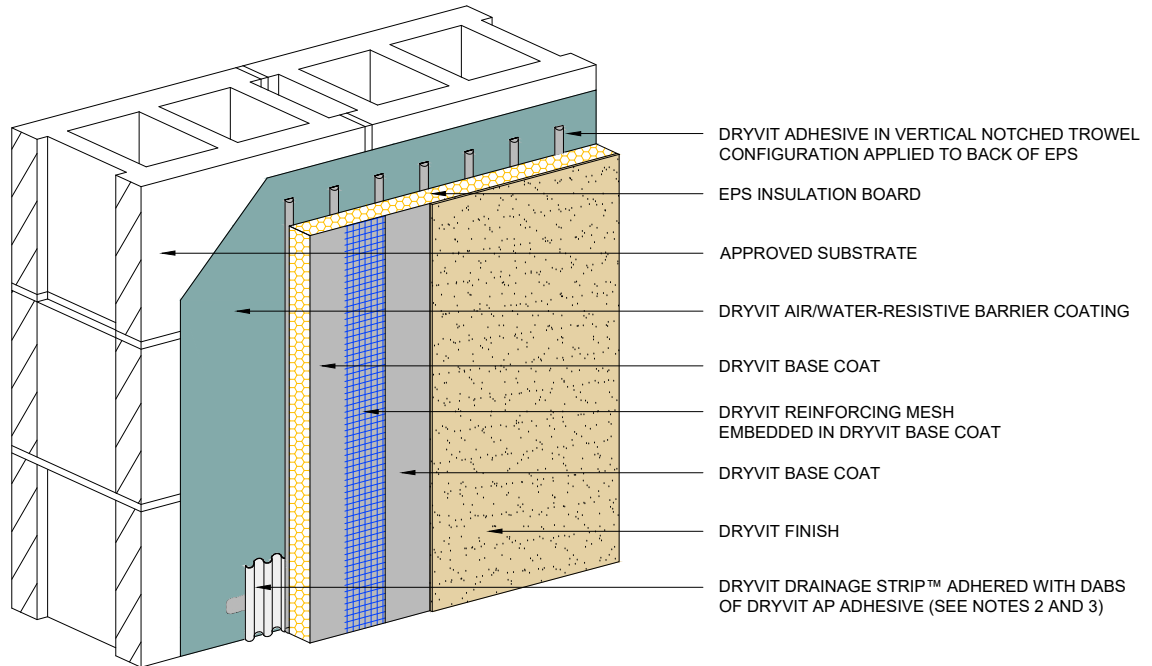
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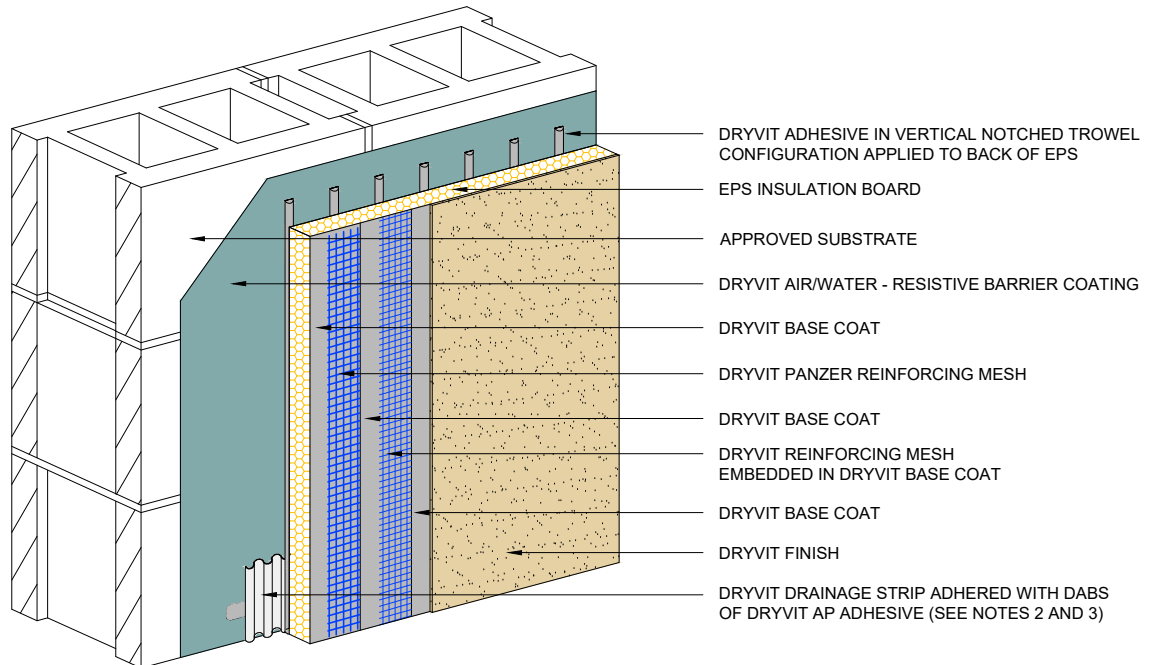
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NORMAL IMPACT



HIGH IMPACT



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Outsulation Plus MD System

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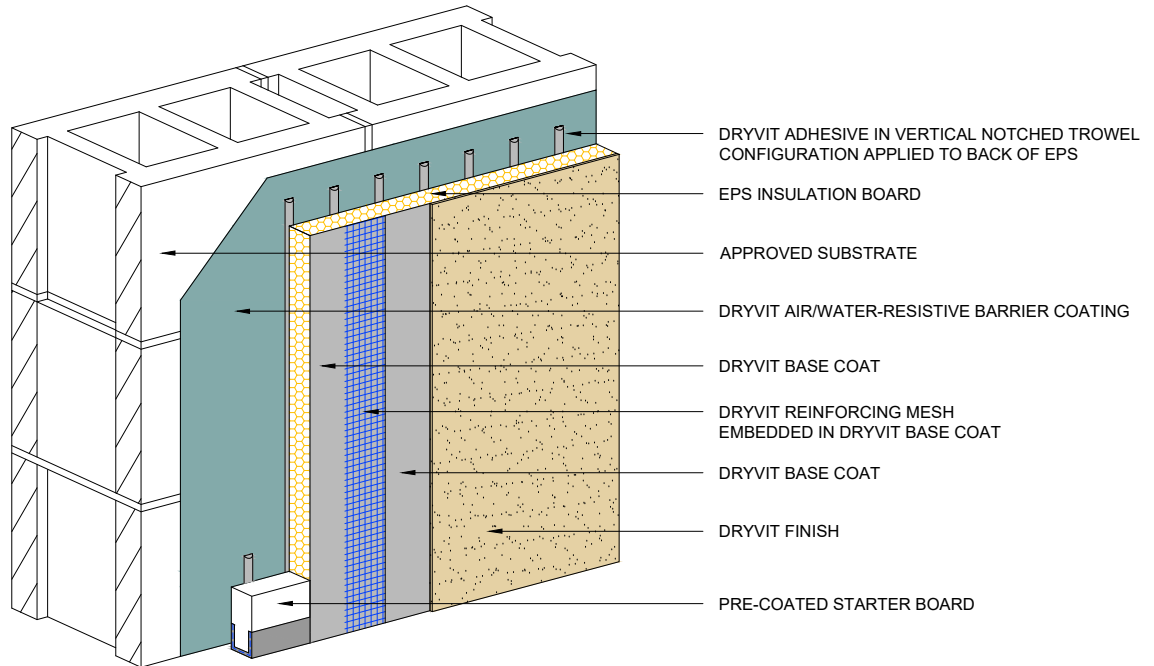
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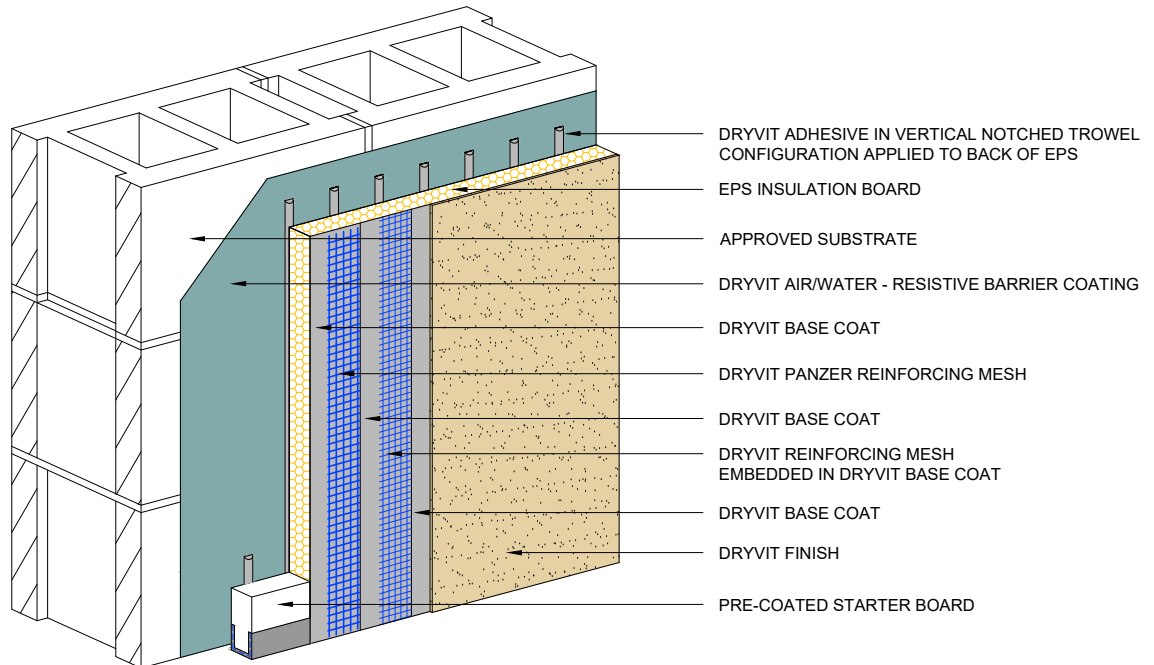
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NORMAL IMPACT



HIGH IMPACT

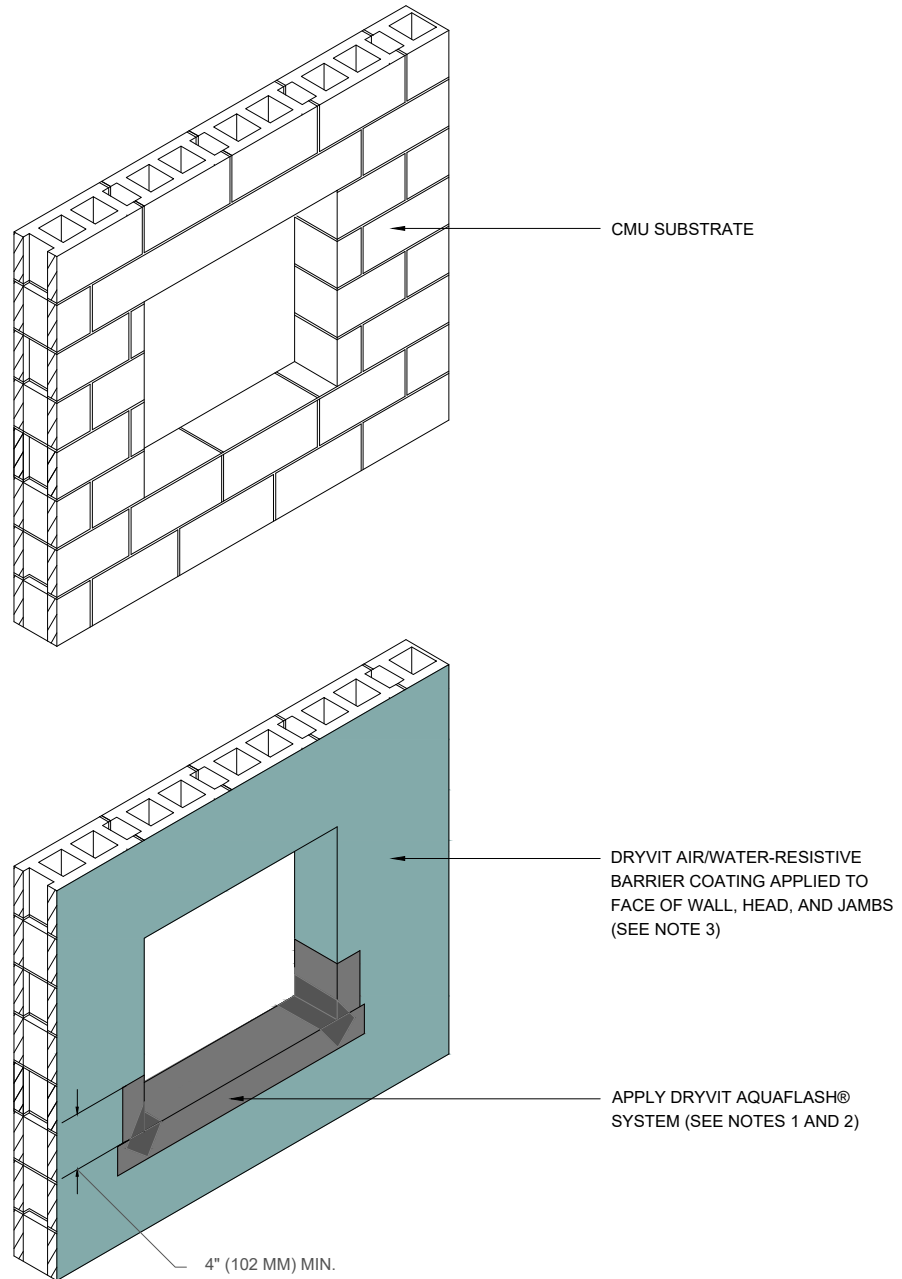


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Outsulation Plus MD System Starter Board Option

NOTE:
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Opening Preparation - Backstop® NT™ Option

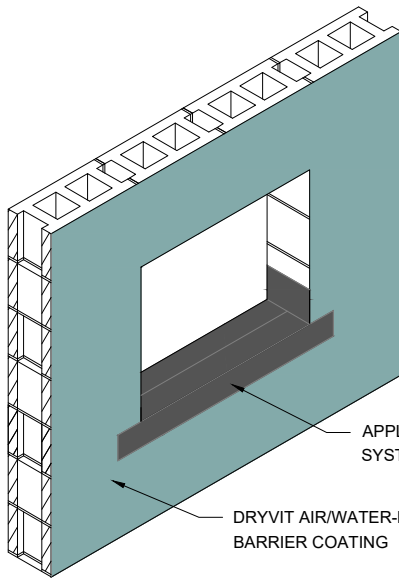
NOTE:

1. INSTALL WINDOW UNIT AND ASSOCIATED FLASHING PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND PROJECT DOCUMENTS.

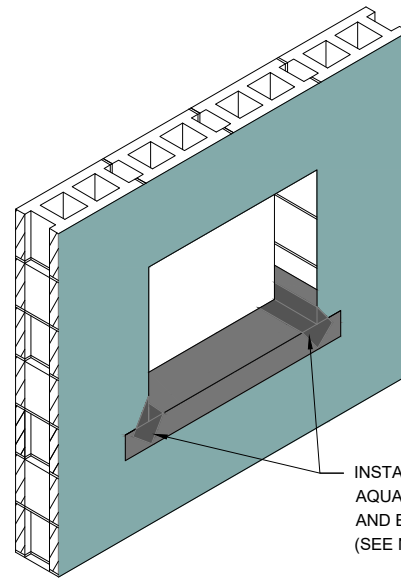
2. REFER TO HEAD, SILL, AND JAMB DETAILS FOR FLASHING INTEGRATION.

3. FOR ADDITIONAL AIR/WATER-RESISTIVE BARRIER DETAILS, REFER TO DRYVIT PUBLICATION DS840.

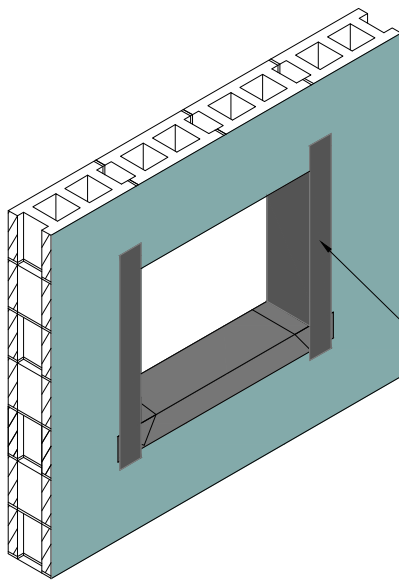
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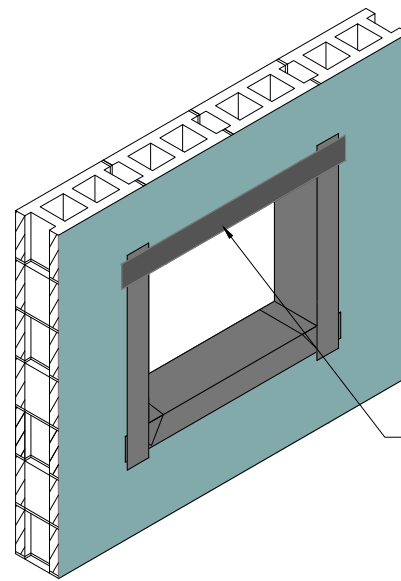
STEP #1



STEP #2



STEP #3



STEP #4

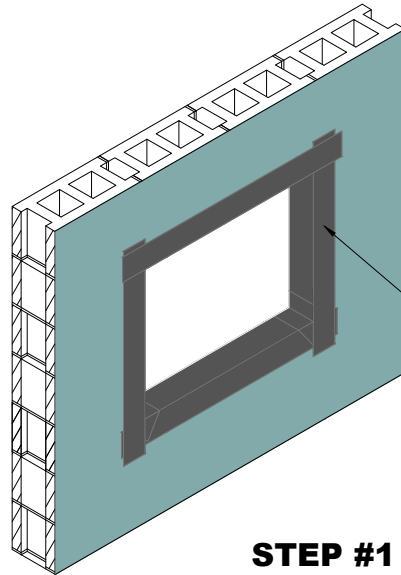
Outsulation[®] Plus MD System[®]

Opening Preparation - AquaFlash[®] System⁵ Option

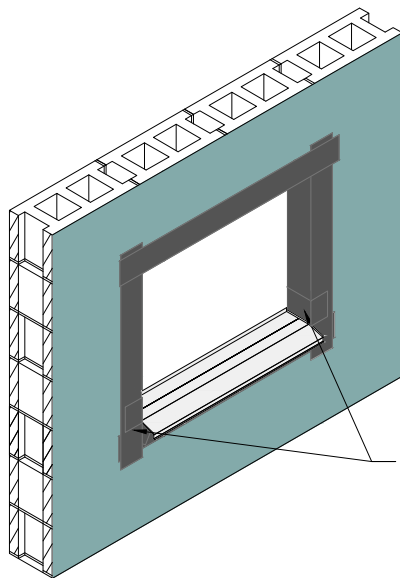
NOTE:

1. DRYVIT AQUAFLASH SHALL EXTEND TO INTERIOR FACE OF OPENING.
2. REFER TO HEAD, SILL AND JAMB DETAILS FOR FLASHING INTEGRATION.
3. DRYVIT FLASHING TAPE SURFACE CONDITIONER[™] AND DRYVIT FLASHING TAPE[™] MAY BE USED IN LIEU OF DRYVIT AQUAFLASH SYSTEM.
4. INSTALL WINDOW UNIT AND ASSOCIATED FLASHING PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND PROJECT DOCUMENTS.
5. AQUAFLASH SYSTEM CONSISTS OF AQUAFLASH MESH AND AQUAFLASH LIQUID.
6. FOR ADDITIONAL AIR/WATER-RESISTIVE BARRIER DETAILS, REFER TO DRYVIT PUBLICATION DS840.

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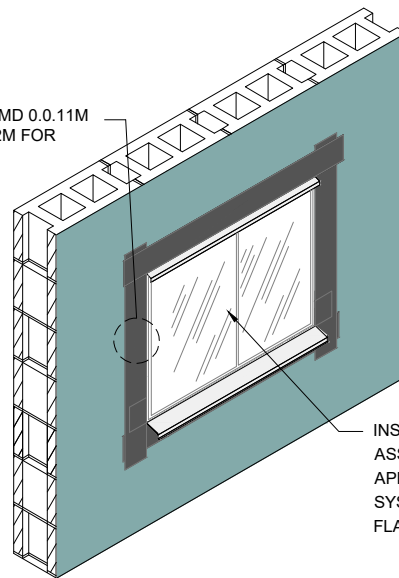


STEP #1



STEP #2

REFER TO OPMD 0.0.11M
& OPMD 0.0.12M FOR
JAMB DETAIL



STEP #3

Outsulation® Plus MD System®

Opening Flashing Integration

NOTE:

1. REFER TO OPMD 0.0.11M AND OPMD 0.0.12M FOR INTEGRATION OF FLASHING.

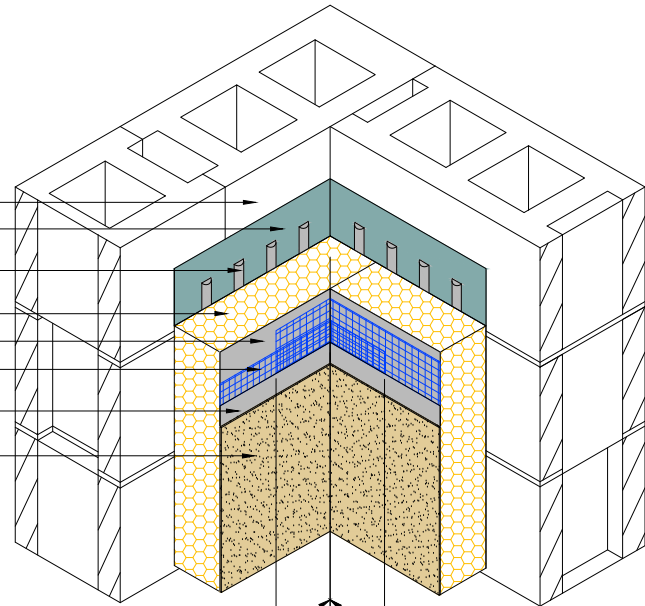
2. DRYVIT FLASHING TAPE SURFACE CONDITIONER™ AND DRYVIT FLASHING TAPE™ MAY BE USED IN LIEU OF DRYVIT AQUAFLASH SYSTEM.

3. FOR ADDITIONAL AIR/WATER-RESISTIVE BARRIER DETAILS, REFER TO DRYVIT PUBLICATION DS840.

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APPROVED SUBSTRATE
 DRYVIT AIR/WATER-RESISTIVE
 BARRIER COATING
 DRYVIT ADHESIVE IN VERTICAL NOTCHED TROWEL
 CONFIGURATION APPLIED TO BACK OF EPS
 EPS INSULATION
 DRYVIT BASE COAT
 DRYVIT REINFORCING MESH
 EMBEDDED IN DRYVIT BASE COAT
 DRYVIT BASE COAT
 DRYVIT FINISH

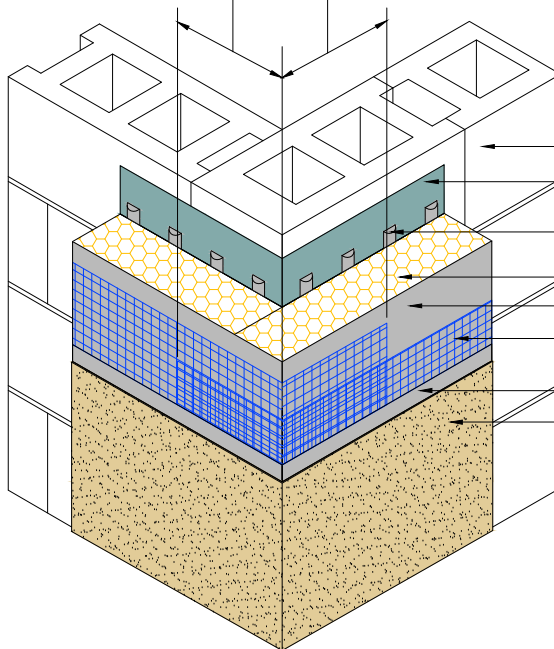


MUST OVERLAP
 8" (203 MM) MIN.
 (SEE NOTES 2, 3 AND 4)

8" (203 MM) MIN.

8" (203 MM) MIN.

MUST OVERLAP
 8" (203 MM) MIN.
 SEE NOTE 3



APPROVED SUBSTRATE
 DRYVIT AIR/WATER-RESISTIVE
 BARRIER COATING
 DRYVIT ADHESIVE IN VERTICAL NOTCHED TROWEL
 CONFIGURATION APPLIED TO BACK OF EPS
 EPS INSULATION
 DRYVIT BASE COAT
 DRYVIT REINFORCING MESH
 EMBEDDED IN DRYVIT BASE COAT
 DRYVIT BASE COAT
 DRYVIT FINISH

Outsulation[®] Plus MD System[®]

Inside/Outside Corners

NOTE:

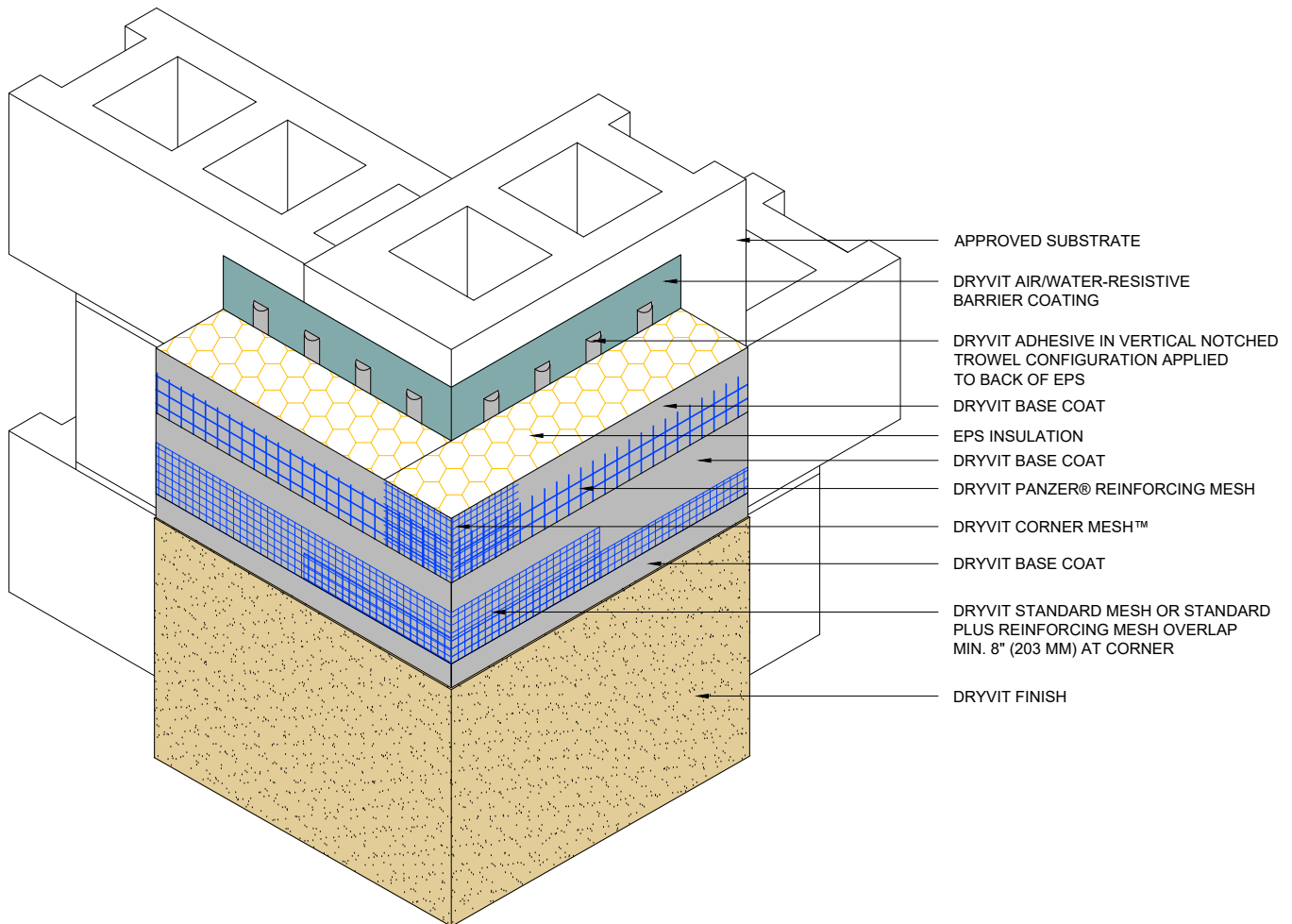
1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER[®] MESH PRIOR TO STANDARD[™] OR STANDARD PLUS[™] MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.

2. DOUBLE WRAP OUTSIDE CORNERS WITH REINFORCING MESH OR USE CORNER MESH.

3. DO NOT LAP REINFORCING MESH WITHIN 8" (203 MM) OF A CORNER.

4. OUTSIDE INSULATION BOARD EDGES SHALL BE OFFSET.

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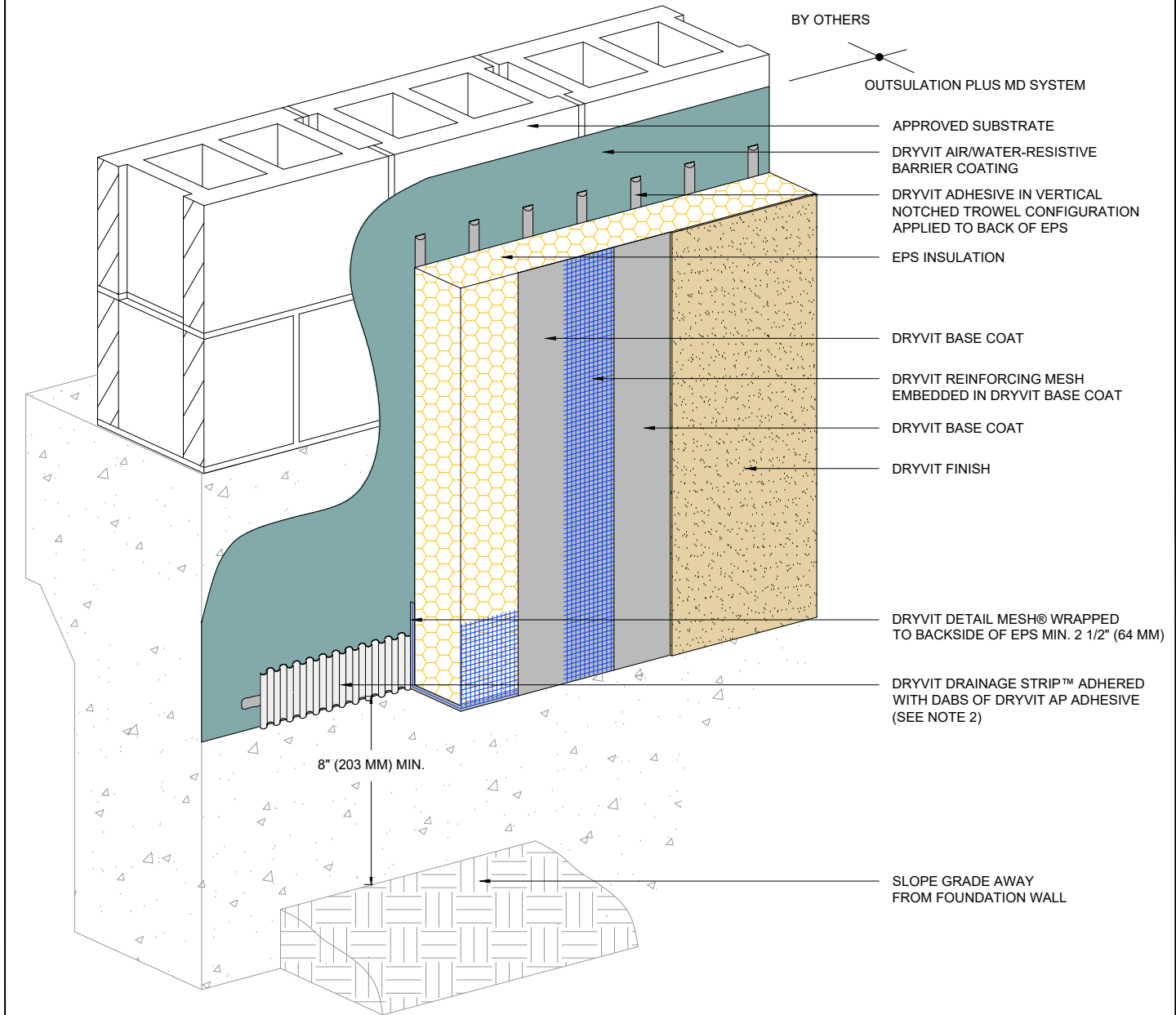
Outside Corner - High Impact

NOTE:

1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD™ OR STANDARD PLUS™ MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.

2. OUTSIDE INSULATION BOARD EDGES SHALL BE OFFSET.

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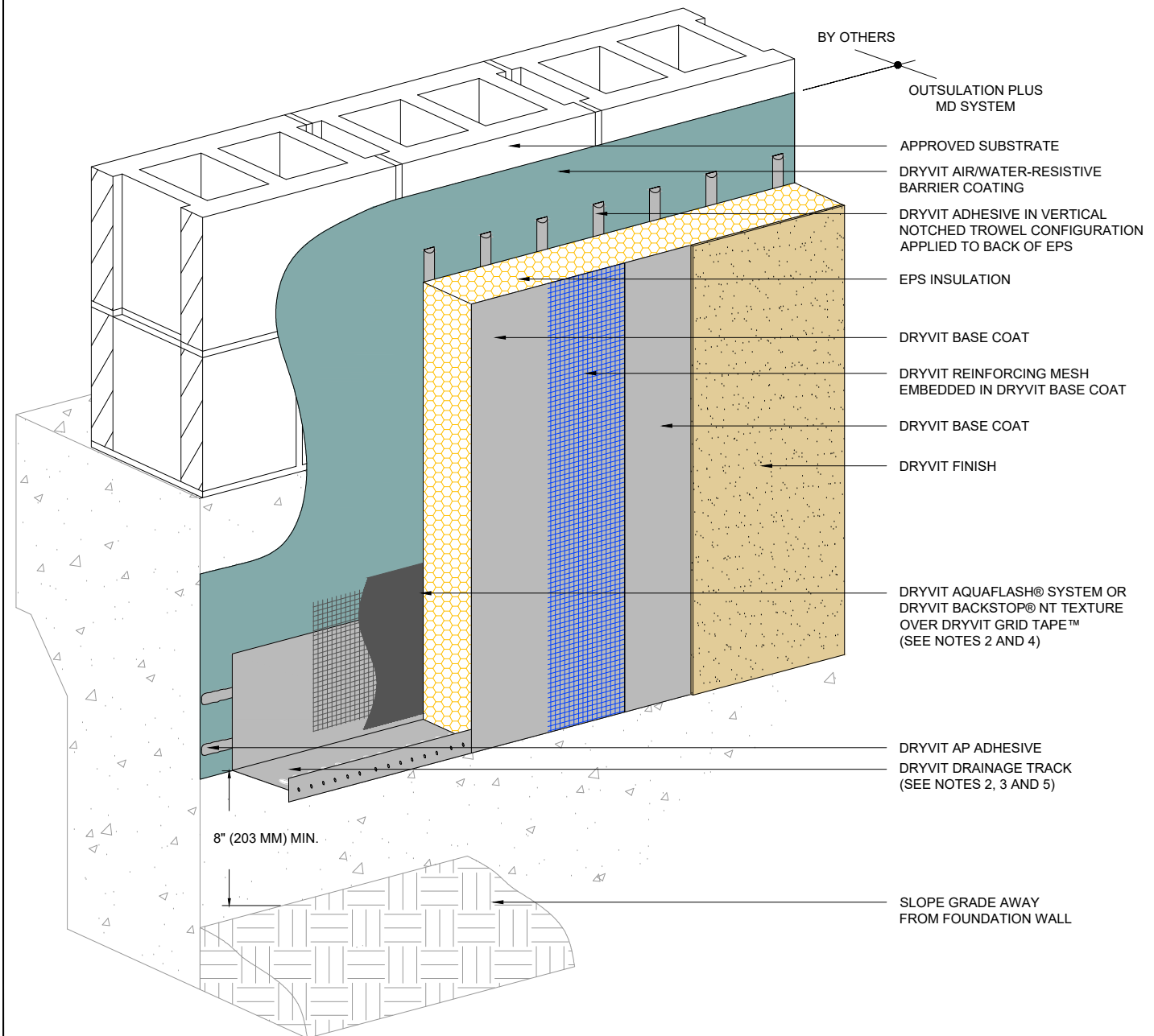
Grade Termination with Drainage Strip

NOTE:

1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD™ OR STANDARD PLUS™ MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.

2. ENSURE BOTTOM EDGE OF DRAINAGE STRIP IS LEFT FREE TO DRAIN.

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Grade Termination with Drainage Track

NOTE:

1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD™ OR STANDARD PLUS™ MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.

2. LIGHTLY SAND SURFACE OF DRAINAGE TRACK TO MAXIMIZE ADHESION.

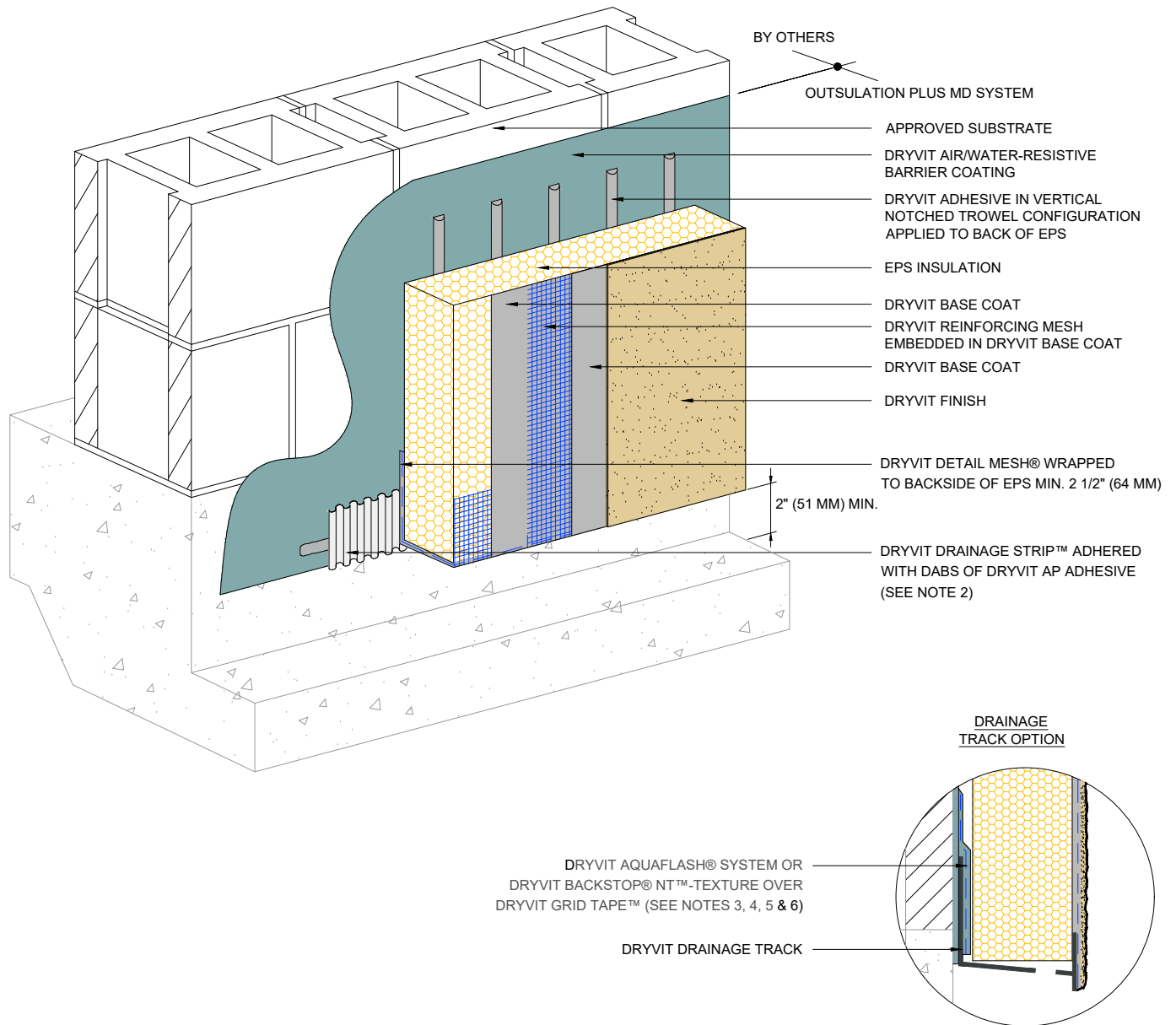
3. DRYVIT DRAINAGE STRIP MAY BE SUBSTITUTED FOR DRYVIT DRAINAGE TRACK. IF DRYVIT DRAINAGE STRIP IS USED, EPS INSULATION MUST BE BACK WRAPPED WITH DRYVIT REINFORCING MESH AND DRYVIT BASE COAT (SEE OPMD 0.0.07M).

4. DRYVIT FLASHING TAPE SURFACE CONDITIONER™ AND DRYVIT FLASHING TAPE™ MAY BE USED IN LIEU OF DRYVIT AQUAFLASH SYSTEM.

5. DRAINAGE TRACK USAGE IS LIMITED TO THE BASE OF THE SYSTEM AT FINISHED GRADE LEVEL.

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Outsulation® Plus MD System®

Termination At Concrete Curb

NOTE:

1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD™ OR STANDARD PLUS™ MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.

2. ENSURE BOTTOM EDGE OF DRAINAGE STRIP IS LEFT FREE TO DRAIN.

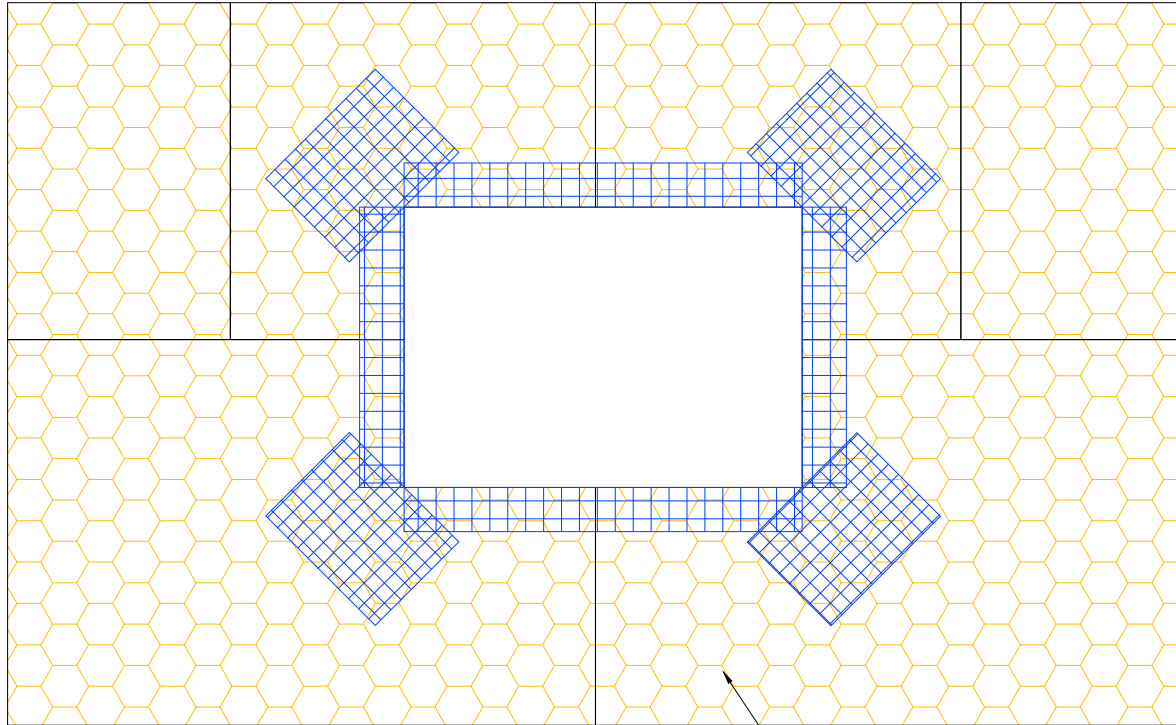
3. AS AN OPTION DRYVIT DRAINAGE TRACK CAN BE USED AT SYSTEM TERMINATION AT GRADE. REFER TO OPMD 0.0.08M FOR CONFIGURATION

4. LIGHTLY SAND SURFACE OF DRAINAGE TRACK TO MAXIMIZE ADHESION.

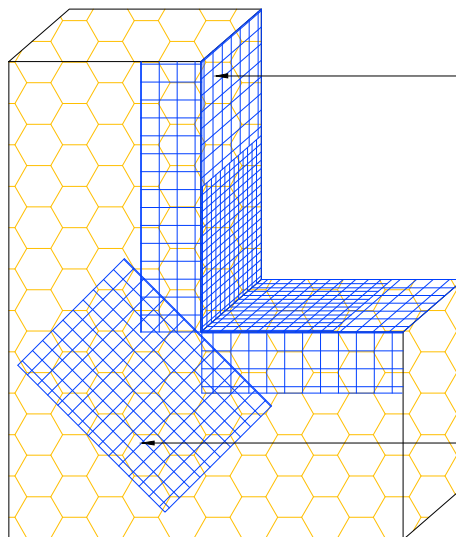
5. DRYVIT FLASHING TAPE SURFACE CONDITIONER™ AND DRYVIT FLASHING TAPE™ MAY BE USED IN LIEU OF DRYVIT AQUAFLASH SYSTEM.

6. DRYVIT DRAINAGE TRACK SHALL ONLY BE USED AT GRADE LEVEL TERMINATIONS.

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EPS INSULATION (SEE NOTE 2)



DRYVIT DETAIL MESH® WRAPPED
TO BACKSIDE OF EPS MIN. 2 1/2" (64 MM)

DRYVIT DETAIL REINFORCING MESH
9 1/2" (241 MM) X 12" (305 MM) (TYP.)
(SEE NOTE 3)

Outsulation® Plus MD System®

EPS Preparation At Wall Penetrations

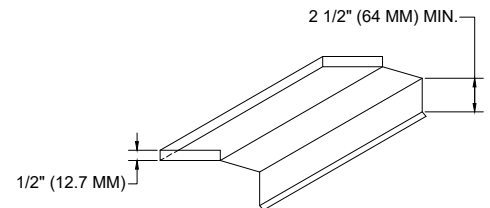
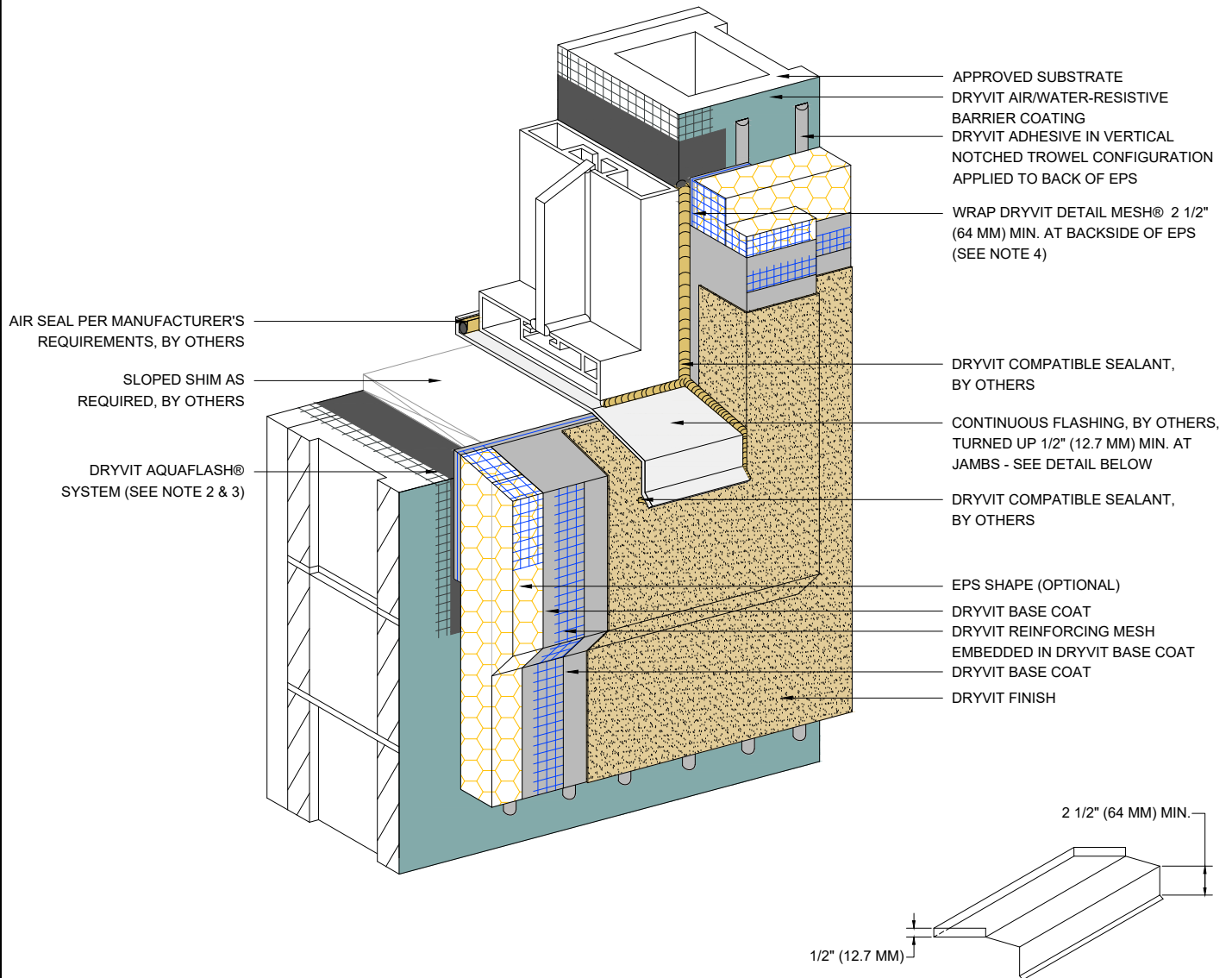
NOTE:

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2. LOCATE INSULATION BOARDS SUCH THAT BOARD EDGES DO NOT ALIGN WITH CORNERS OF PENETRATION.

3. APPLY A PIECE OF 9 1/2" (241 MM) X 12" (305 MM) DETAIL REINFORCING MESH DIAGONALLY AT EACH CORNER.

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**SILL PAN FLASHING
DETAIL**

Outsulation® Plus MD System®

Storefront Window Sill - Jamb

NOTE:

1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD™ OR STANDARD PLUS™ MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.

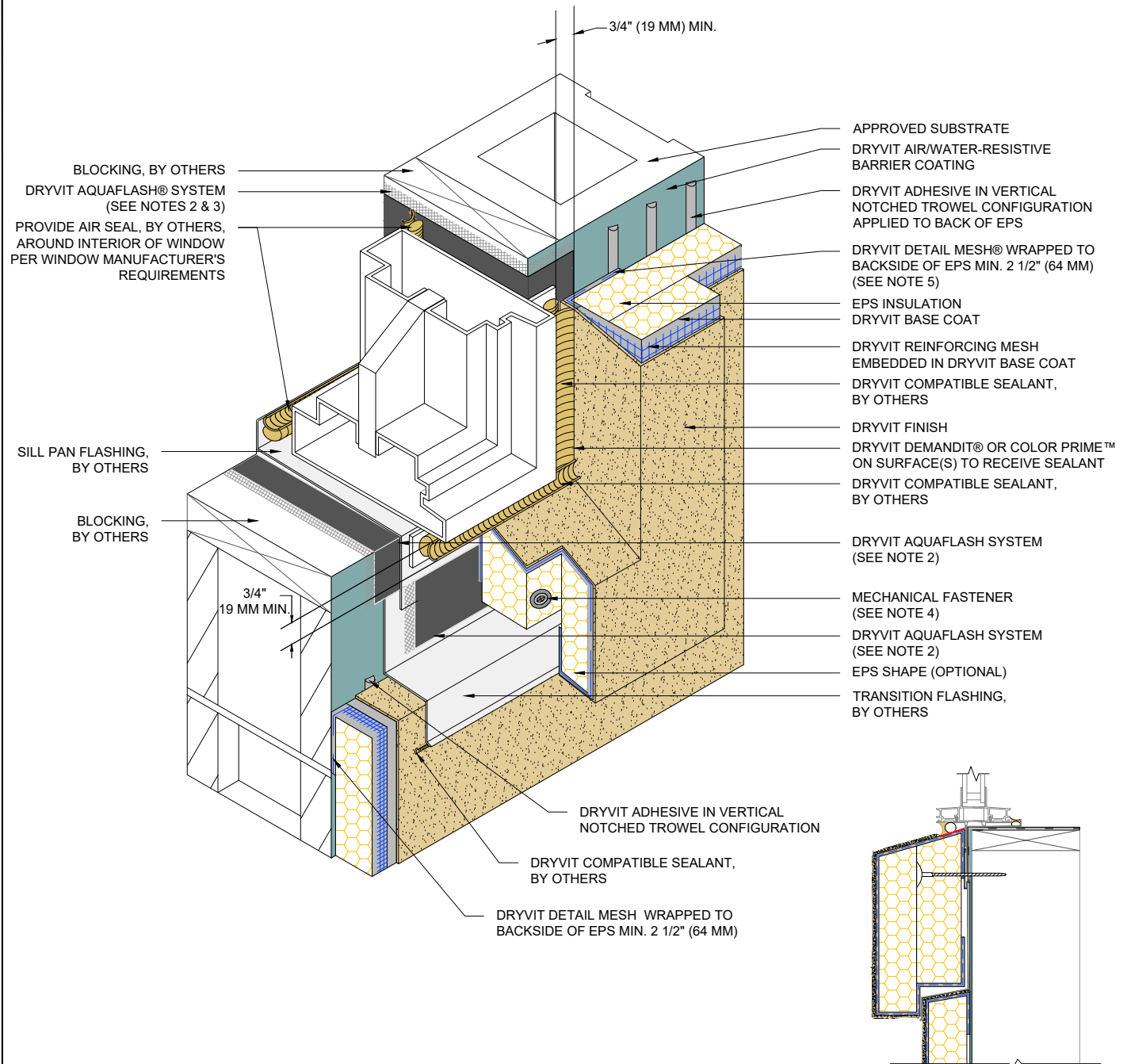
2. DRYVIT FLASHING TAPE SURFACE CONDITIONER™ AND DRYVIT FLASHING TAPE™ MAY BE USED IN LIEU OF DRYVIT AQUAFLASH SYSTEM.

3. DRYVIT BACKSTOP® NT IS AN ALTERNATIVE OPTION AT JAMB AND HEAD CONDITION PER DETAIL OPMD 0.0.02M.

4. EDGE WRAPPING METHOD IS ACCEPTABLE AT SILL AND JAMB IN LIEU OF BACK WRAPPING. REINFORCING MESH MUST BE FULLY EMBEDDED IN BASE COAT AT EPS EDGE AND MUST EXTEND ONTO SUBSTRATE 2 1/2" (64 MM) MIN.

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Outsulation® Plus MD System®

Self Flashing Window Sill - Jamb

NOTE:

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2. DRYVIT FLASHING TAPE SURFACE CONDITIONER™ AND DRYVIT FLASHING TAPE™ MAY BE USED IN LIEU OF DRYVIT AQUAFLASH SYSTEM.

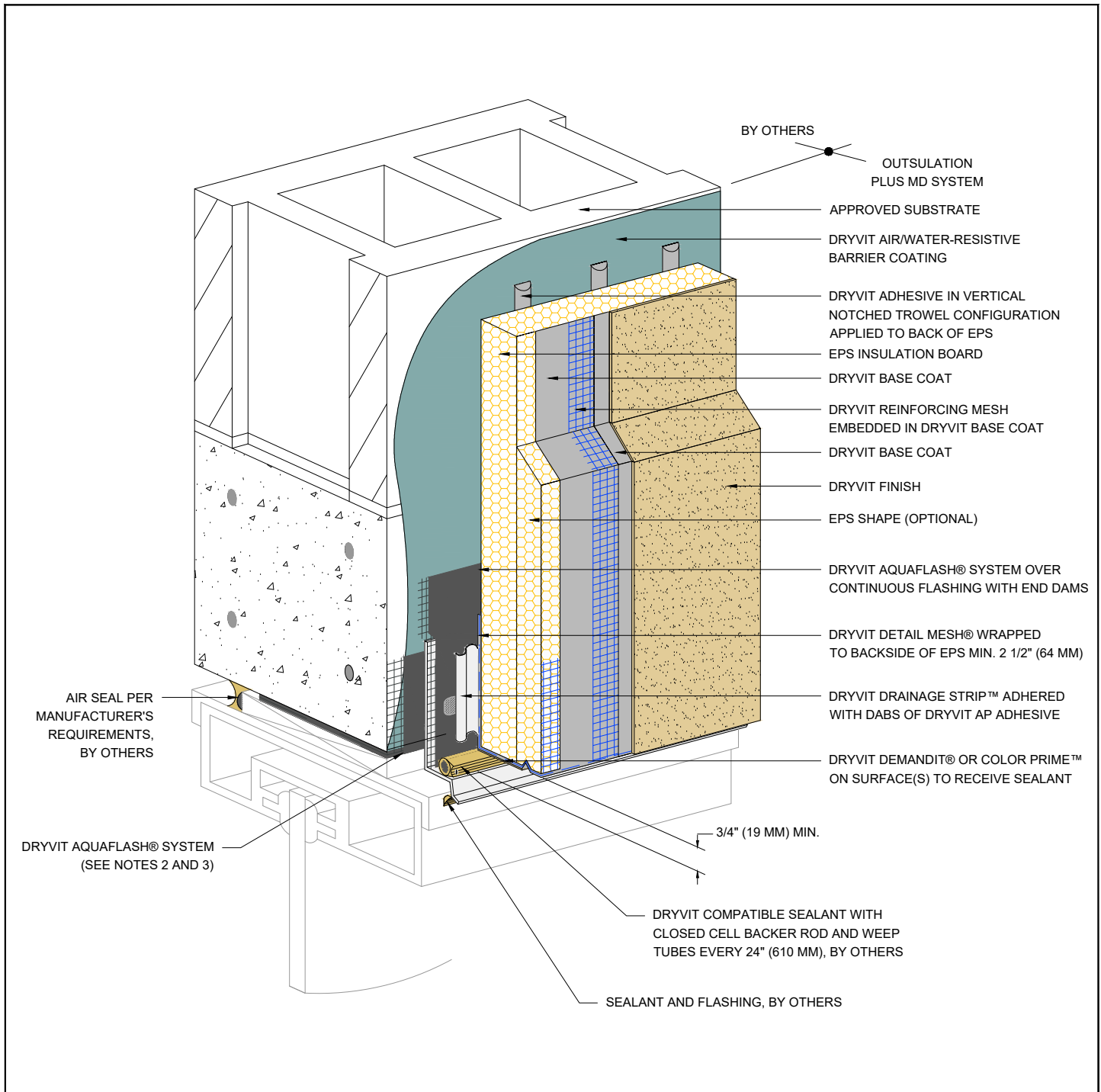
3. DRYVIT BACKSTOP® NT IS AN ALTERNATIVE OPTION AT JAMB AND HEAD CONDITION PER DETAIL OPMD 0.0.02M.

4. ADHESIVE ONLY APPLICATION IS ACCEPTABLE WHEN USING DRYVIT AQUAFLASH SYSTEM.

5. EDGE WRAPPING METHOD IS ACCEPTABLE AT SILL AND JAMB IN LIEU OF BACK WRAPPING. REINFORCING MESH MUST BE FULLY EMBEDDED IN BASE COAT AT EPS EDGE AND MUST EXTEND ONTO SUBSTRATE 2 1/2" (64 MM) MIN.

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Storefront Window Head

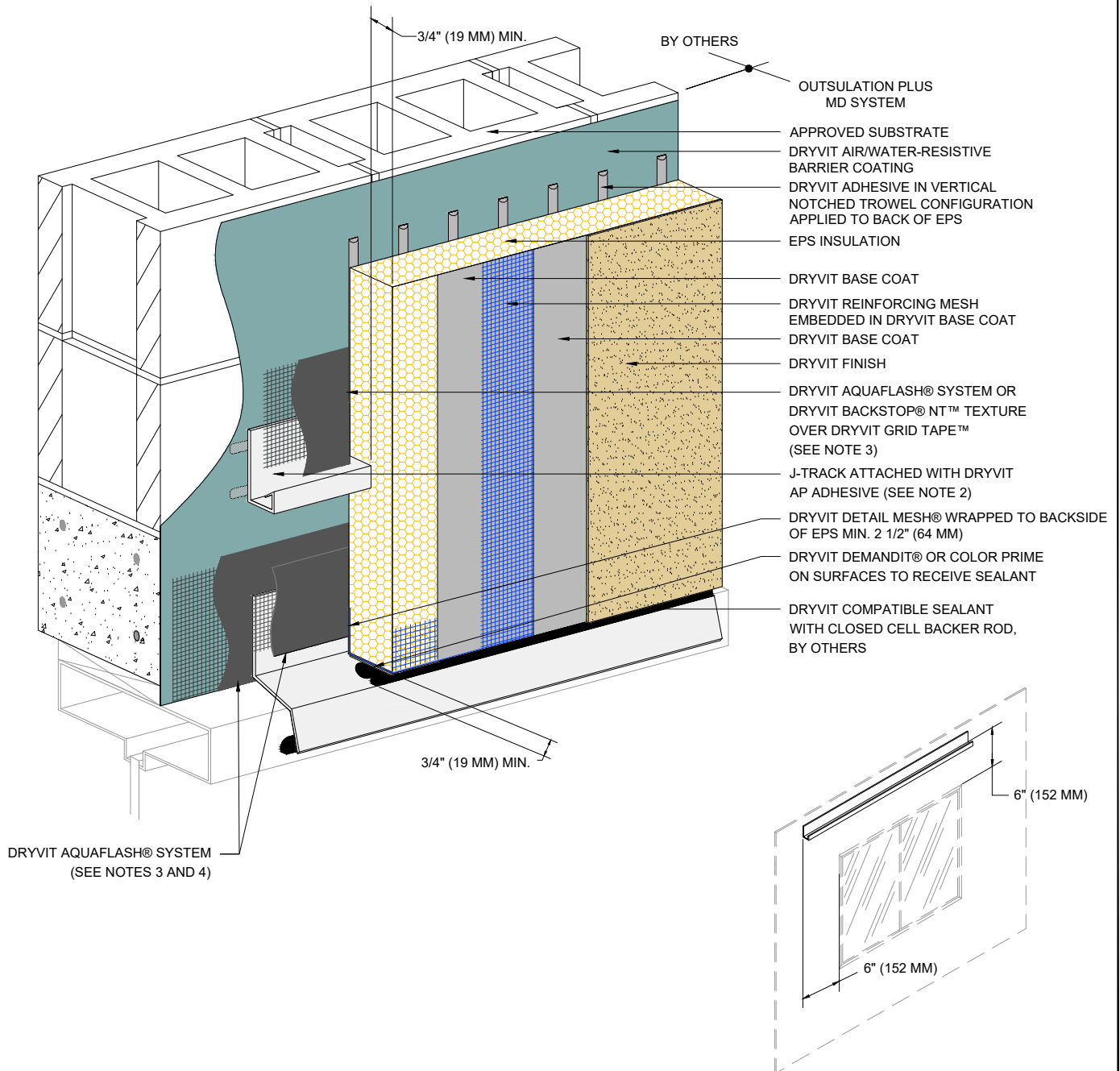
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2. DRYVIT FLASHING TAPE SURFACE CONDITIONER™ AND DRYVIT FLASHING TAPE™ MAY BE USED IN LIEU OF DRYVIT AQUAFLASH SYSTEM.

3. DRYVIT AIR/WATER-RESISTIVE BARRIER COATING IS AN ALTERNATE OPTION AT JAMB AND HEAD CONDITION PER DETAIL OPMD 0.0.02M.

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Outsulation® Plus MD System®

Head J-Track Option

NOTE:

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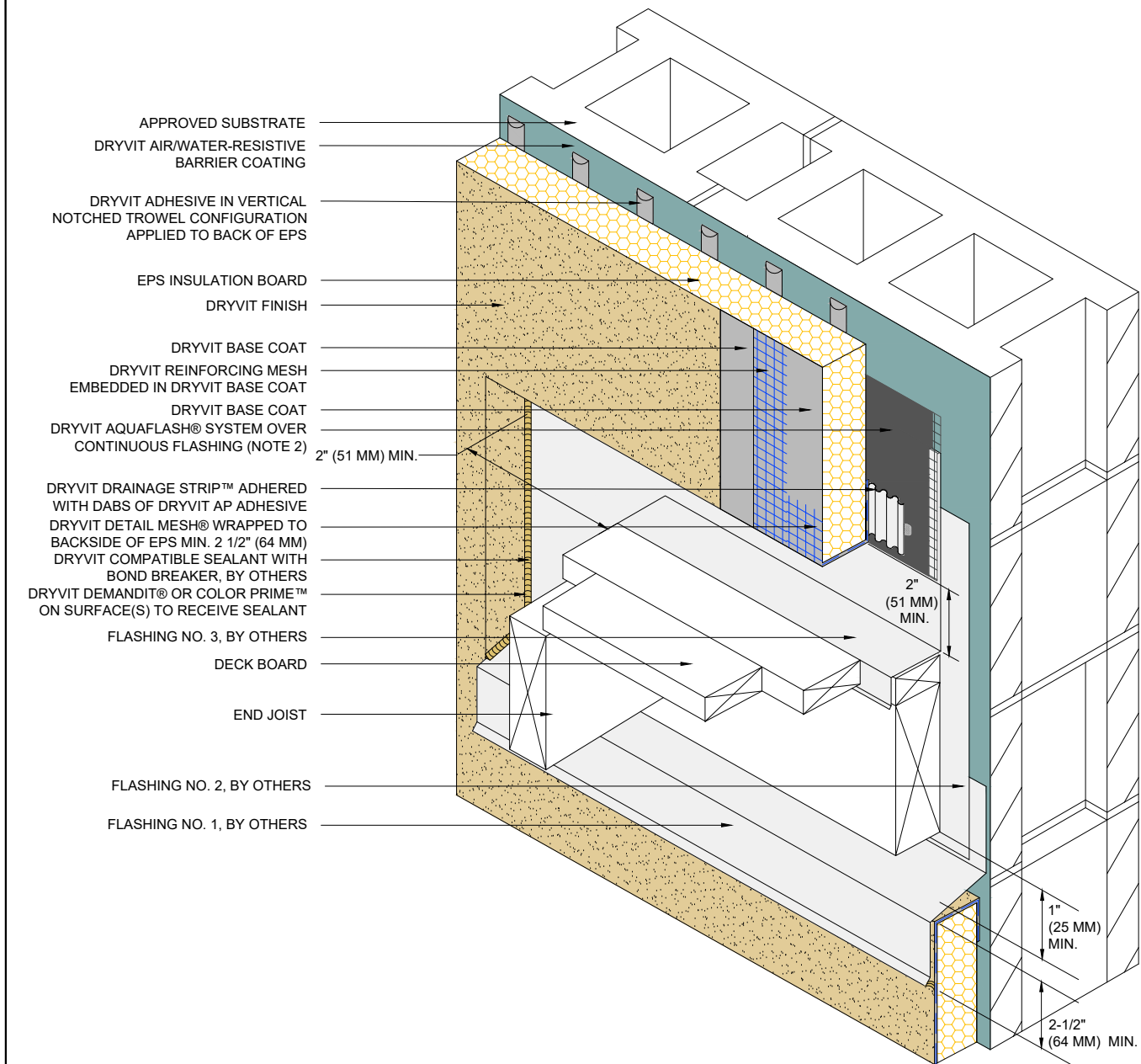
2. LIGHTLY SAND SURFACE OF J-TRACK TO MAXIMIZE ADHESION.

3. DRYVIT FLASHING TAPE SURFACE CONDITIONER™ AND DRYVIT FLASHING TAPE™ MAY BE USED IN LIEU OF DRYVIT AQUAFASH SYSTEM.

4. DRYVIT AIR/WATER-RESISTIVE BARRIER COATING IS AN ALTERNATIVE OPTION AT JAMB AND HEAD CONDITION PER DETAIL OPMD 0.0.02M.

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NOTE:

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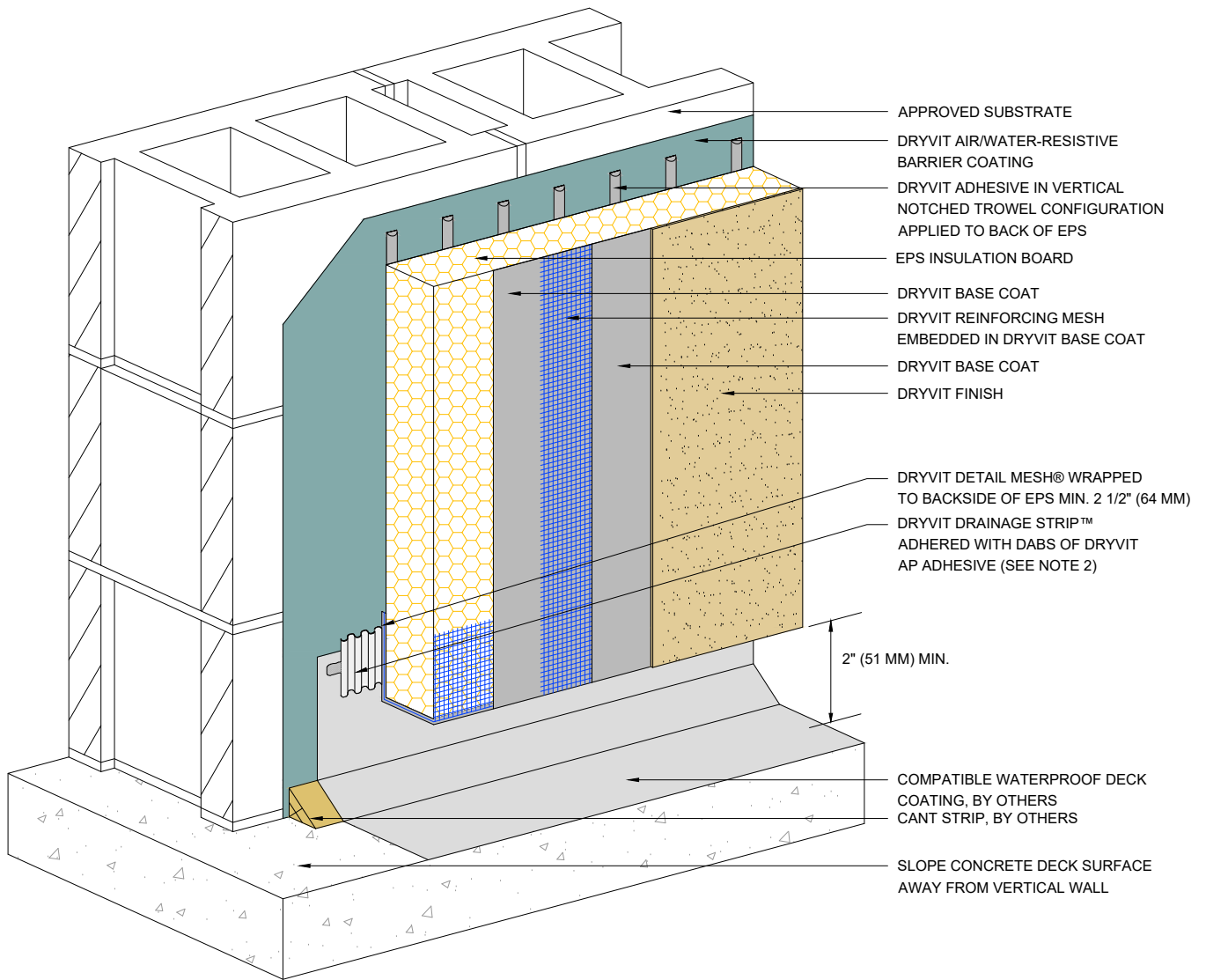
2. DRYVIT FLASHING TAPE SURFACE CONDITIONER™ AND DRYVIT FLASHING TAPE™ MAY BE USED IN LIEU OF DRYVIT AQUAFASH SYSTEM.

3. DETAIL DOES NOT APPLY TO CANTILEVERED DECKS. CANTILEVERED DECKS REQUIRE JOB SPECIFIC FLASHING DETAILS.

Termination at Wood Framed Deck

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Outsulation® Plus MD System®

Termination at Waterproof Deck

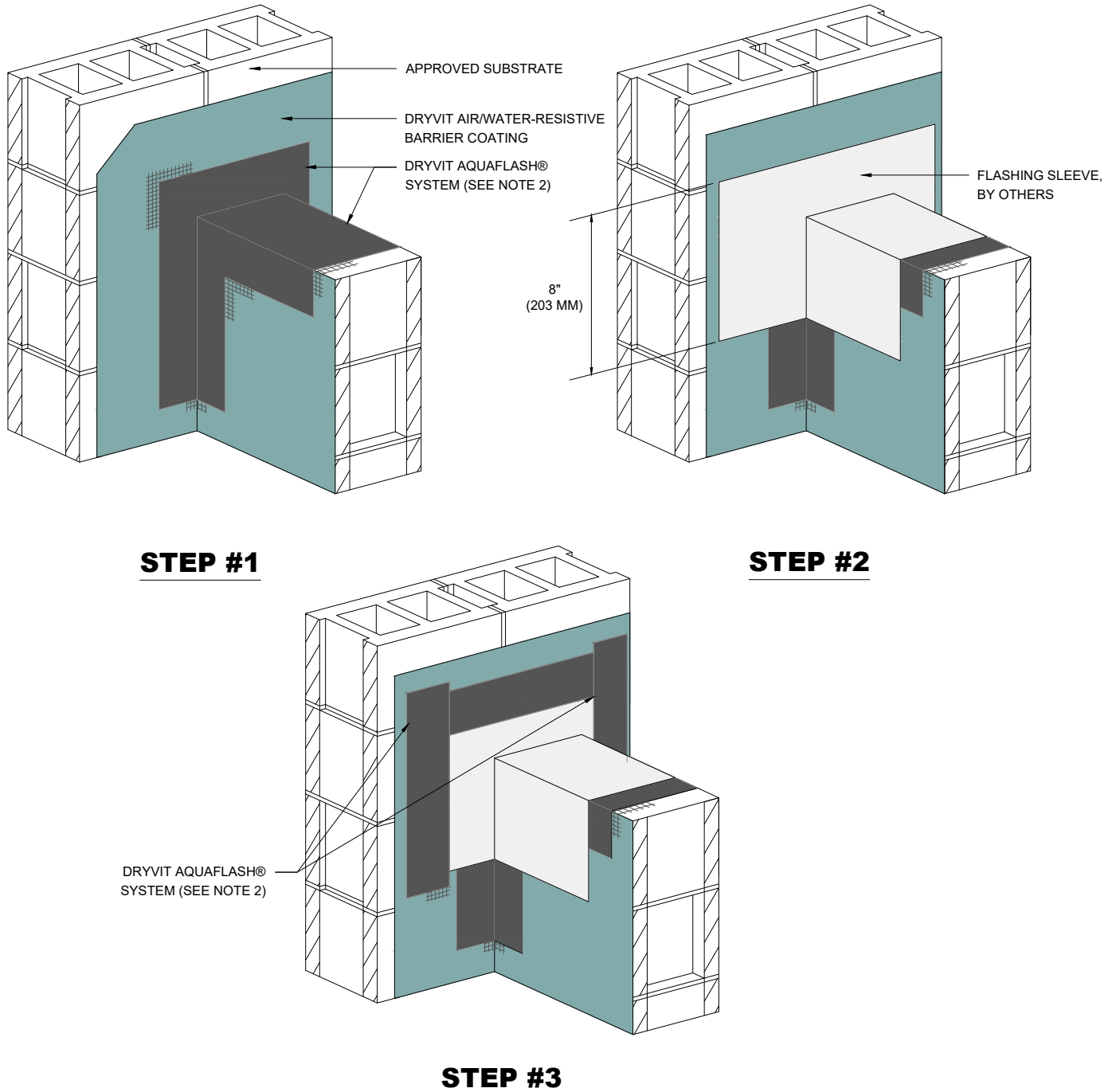
NOTE:

1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD™ OR STANDARD PLUS™ MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.

2. ENSURE BOTTOM EDGE OF DRAINAGE STRIP IS LEFT FREE TO DRAIN.

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Outsulation® Plus MD System® Preparation At Parapet/ Wall Intersection

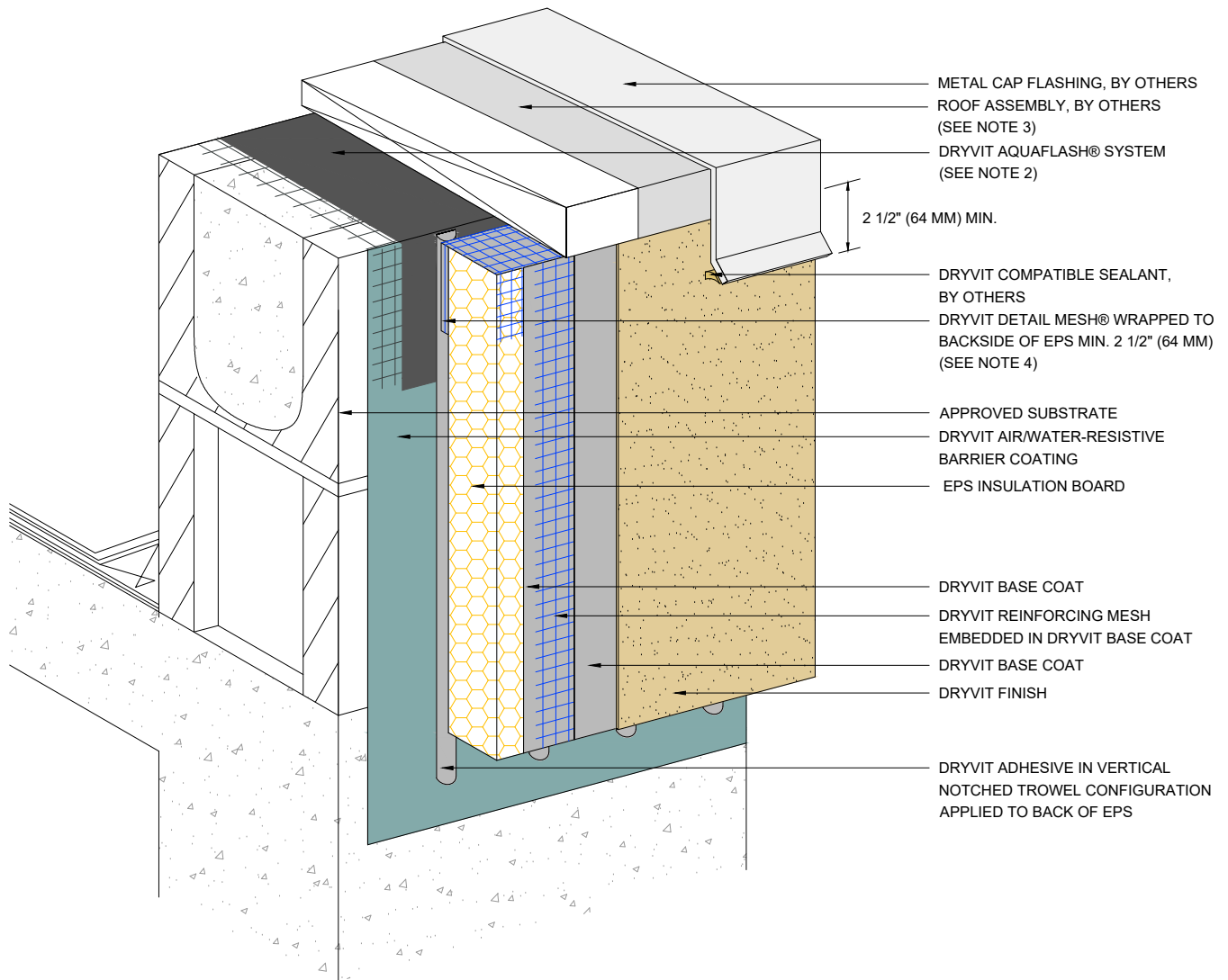
NOTE:

1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD™ OR STANDARD PLUS™ MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.

2. DRYVIT FLASHING TAPE SURFACE CONDITIONER™ AND DRYVIT FLASHING TAPE™ MAY BE USED IN LIEU OF DRYVIT AQUAFLASH SYSTEM.

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Outsulation® Plus MD System®

Termination At Parapet - Cap Flashing

NOTE:

1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD™ OR STANDARD PLUS™ MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS

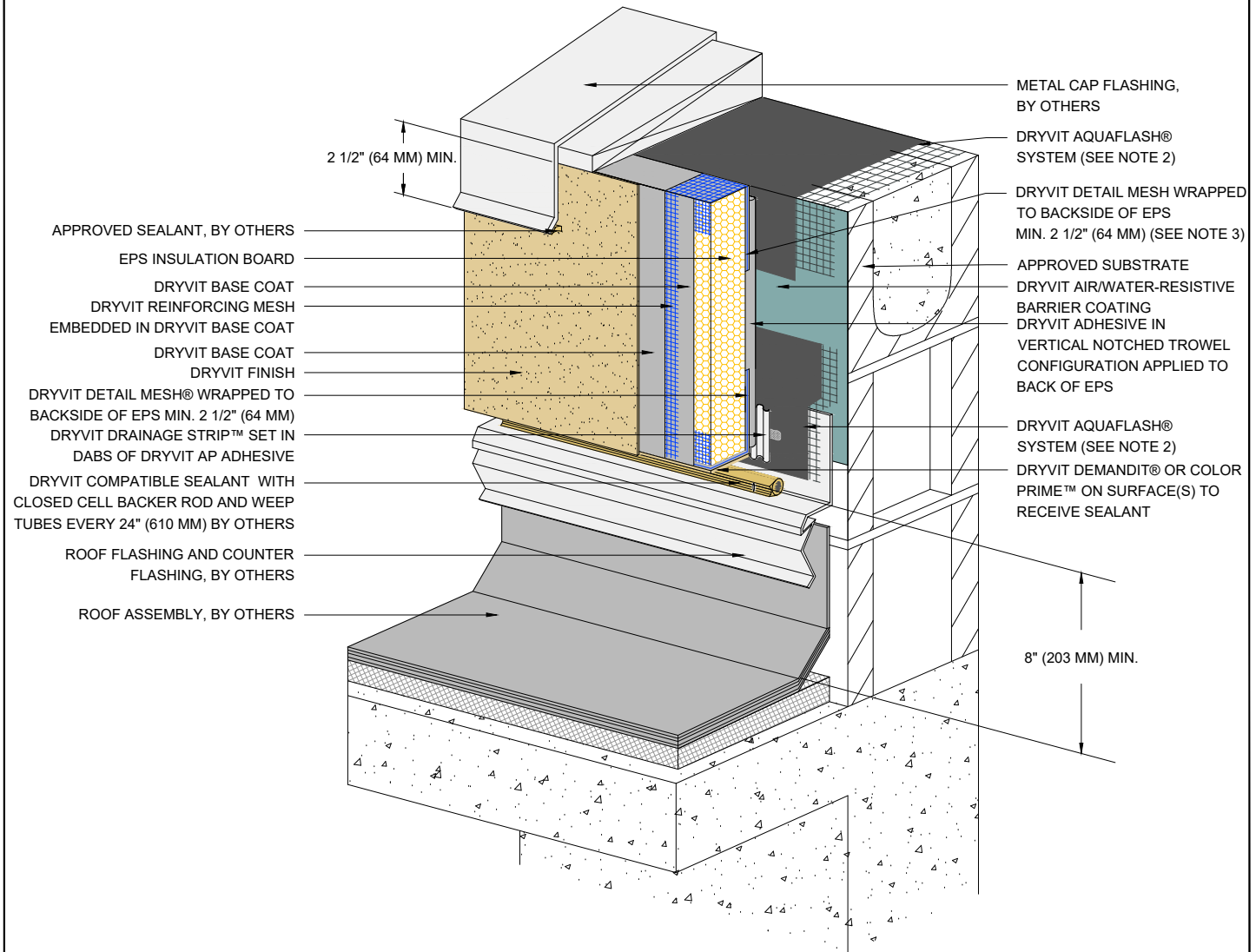
2. DRYVIT FLASHING TAPE SURFACE CONDITIONER™ AND DRYVIT FLASHING TAPE™ MAY BE USED IN LIEU OF DRYVIT AQUAFASH SYSTEM.

3. EXTEND ROOFING MEMBRANE ACROSS TOP OF PARAPET AND DOWN FACE OF WALL (BY OTHERS).

4. EDGE WRAPPING METHOD IS ACCEPTABLE IN LIEU OF BACK WRAPPING. REINFORCING MESH MUST BE FULLY EMBEDDED IN BASE COAT AT EPS EDGE AND MUST EXTEND ONTO SUBSTRATE 2 1/2" (64 MM) MIN.

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Termination At Parapet - Roof Flashing

NOTE:

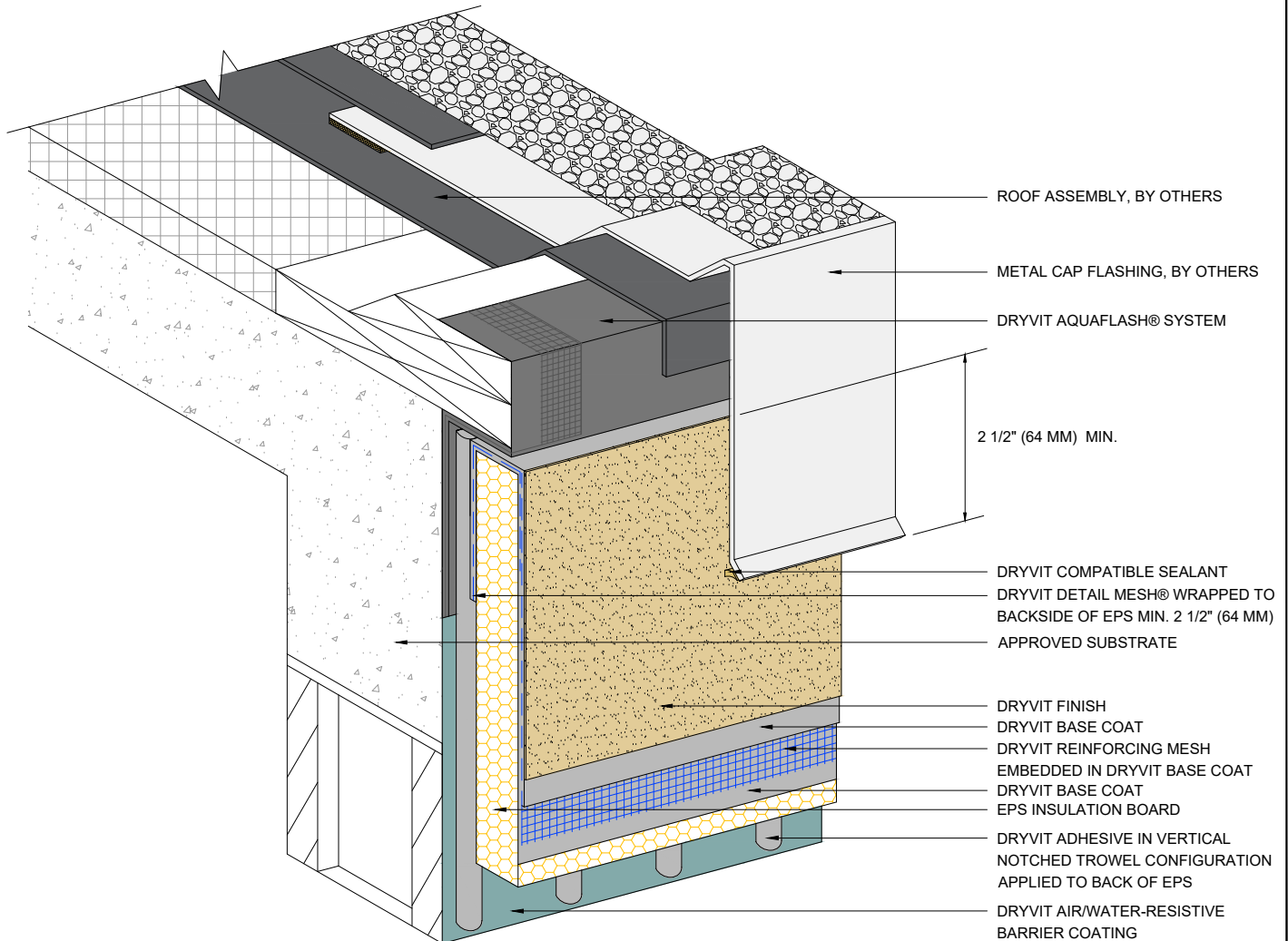
1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD™ OR STANDARD PLUS™ MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.

2. DRYVIT FLASHING TAPE SURFACE CONDITIONER™ AND DRYVIT FLASHING TAPE™ MAY BE USED IN LIEU OF DRYVIT AQUAFLASH SYSTEM.

3. EDGE WRAPPING METHOD IS ACCEPTABLE IN LIEU OF BACK WRAPPING. REINFORCING MESH MUST BE FULLY EMBEDDED IN BASE COAT AT EPS EDGE AND MUST EXTEND ONTO SUBSTRATE 2 1/2" (64 MM) MIN.

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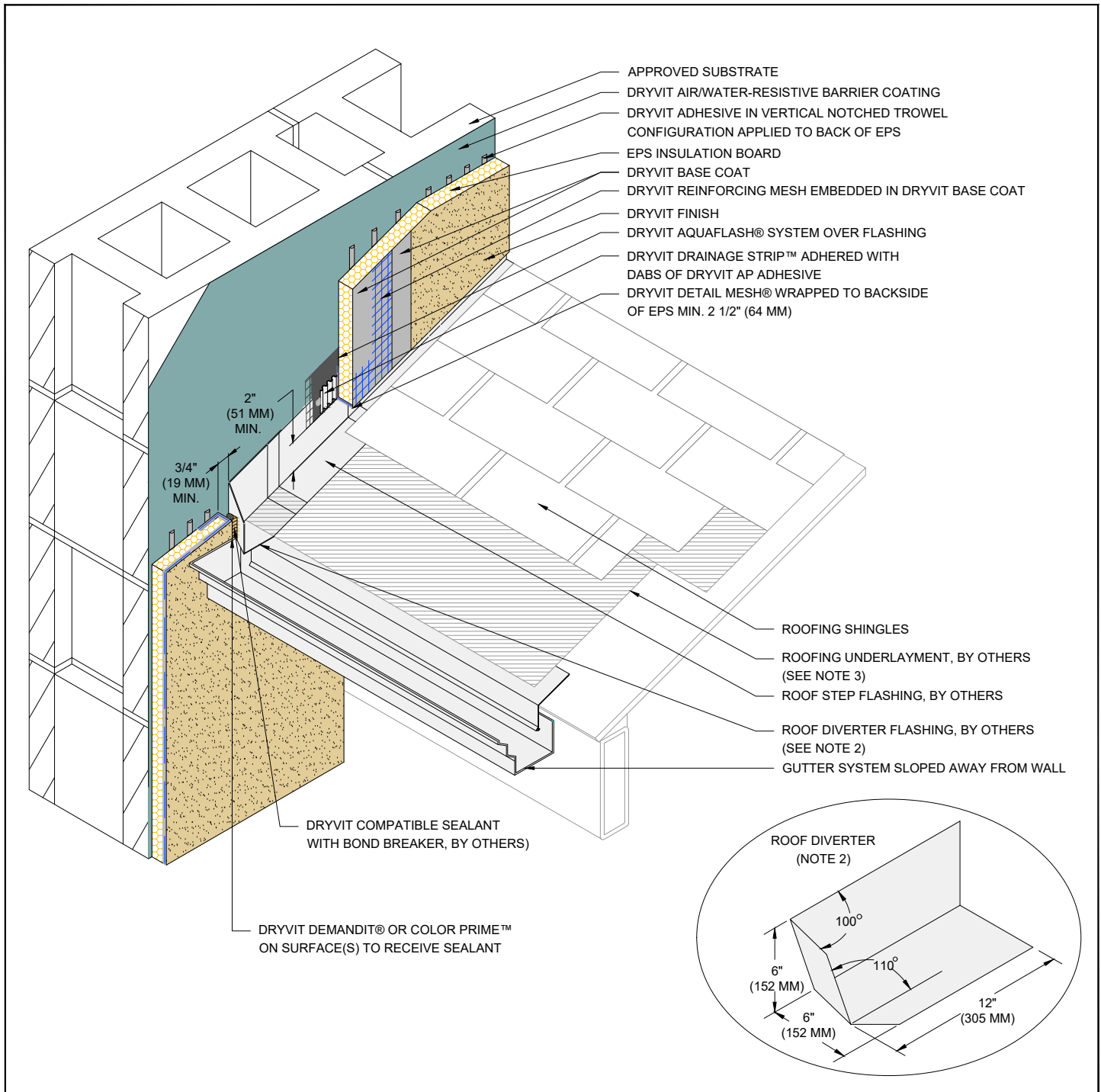


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Termination At Roof Gravel Stop

NOTE:
1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER[®] MESH PRIOR TO STANDARD[™] OR STANDARD PLUS[™] MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.

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Termination at Sloped Roof

NOTE:

1. EXTEND DIVERter FLASHING (KICKOUT) A MINIMUM OF 1" (25 MM) BEYOND FACE OF THE SYSTEM.

2. ROOF DIVERter TO BE MADE FROM CORROSION RESISTANT MATERIAL MIN. 24 GAGE WITH WATER TIGHT SEAMS.

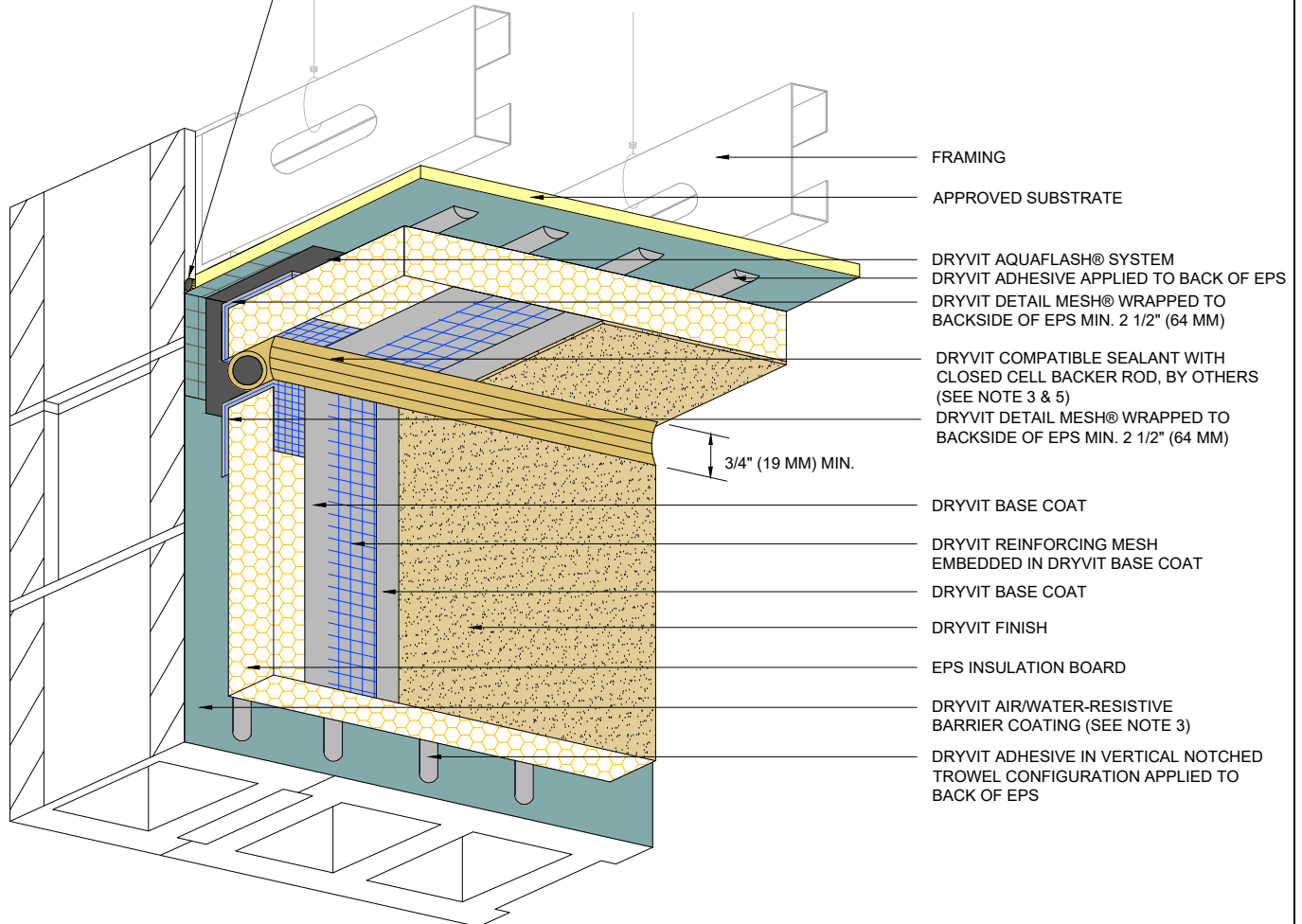
3. EXTEND ROOFING UNDERLAYMENT 5" (127 MM) UP VERTICAL WALL BEHIND METAL FLASHING.

4. METAL FLASHINGS ARE 10" (254 MM) X 2 1/2" (64 MM) LONGER THAN THE EXPOSED PORTION OF THE ROOFING SHINGLE AND ARE BENT IN HALF TO ALLOW FOR TWO 5" (127 MM) LEGS. ALTHOUGH NOT SHOWN, METAL FLASHINGS ARE STEP FLASHED (INTERWOVEN) WITH ROOFING SHINGLES.

5. FOR ADDITIONAL SLOPED ROOF DETAILS, REFER TO DRYVIT PUBLICATION DS106.

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DRYVIT COMPATIBLE SEALANT
WITH CLOSED CELL BACKER ROD,
BY OTHERS (SEE NOTE 2 & 4)



Outsulation[®] Plus MD System[®] Vertical Wall/ Suspended Soffit Transition

NOTE:

1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD™ OR STANDARD PLUS™ MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.

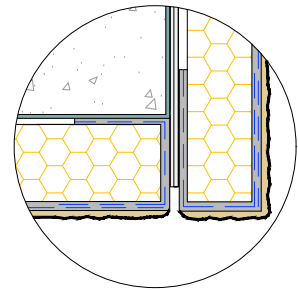
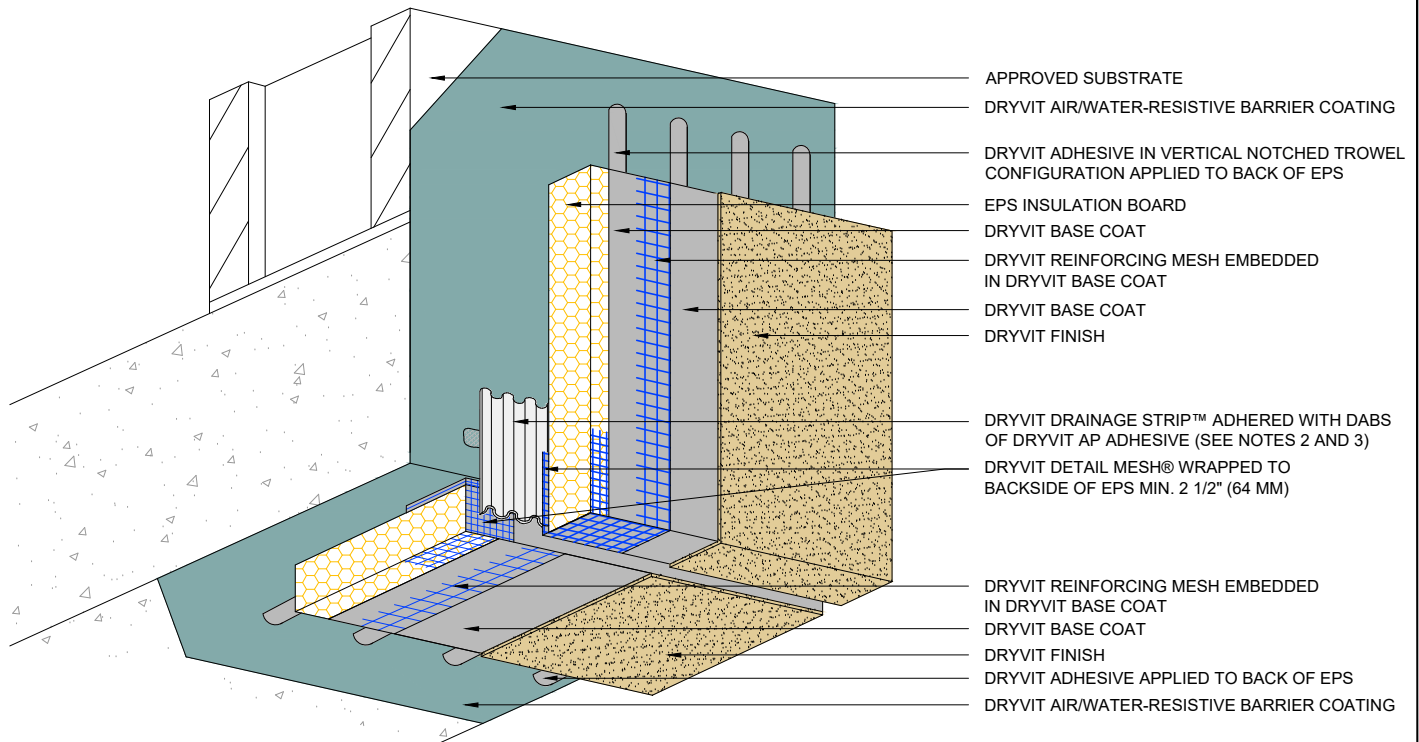
2. DRYVIT DEMANDIT® OR COLOR PRIME™ ON SURFACES TO RECEIVE SEALANT.

3. DRYVIT AIR/WATER-RESISTIVE BARRIER IS REQUIRED OVER VERTICAL SUBSTRATES. APPLICATION OVER HORIZONTAL SOFFIT SUBSTRATE IS OPTIONAL UNLESS REQUIRED AS PART OF A CONTINUOUS AIR BARRIER SYSTEM.

4. SEALANT JOINT IS REQUIRED FOR SUSPENDED SOFFITS. OPTIONAL FOR RIGIDLY FRAMED.

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Transition At Soffit/ Fascia Intersection

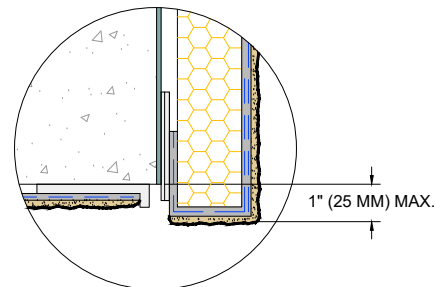
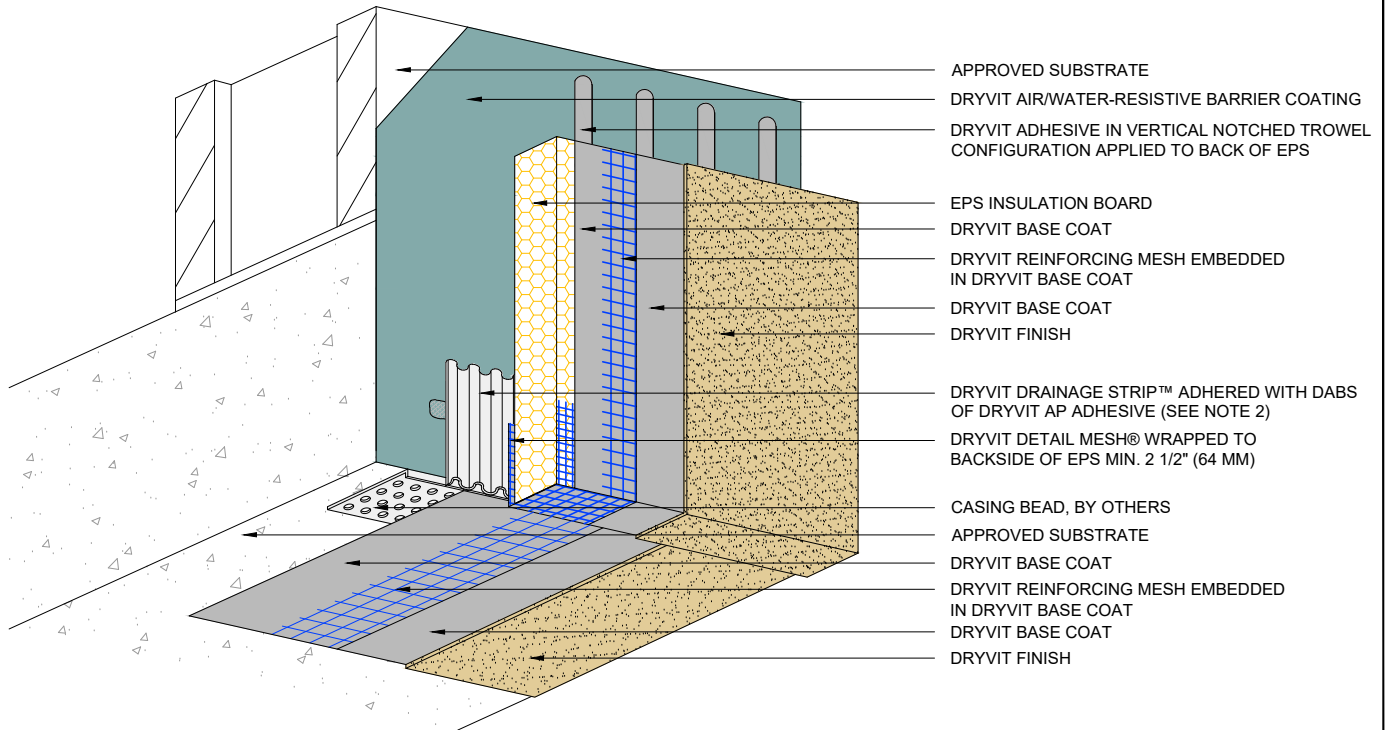
NOTE:

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2. ENSURE BOTTOM EDGE OF DRAINAGE STRIP IS LEFT FREE TO DRAIN.

3. DRYVIT AIR/WATER-RESISTIVE BARRIER IS REQUIRED OVER VERTICAL SUBSTRATES, APPLICATION OVER HORIZONTAL SOFFIT SUBSTRATE IS OPTIONAL UNLESS REQUIRED AS PART OF A CONTINUOUS AIR BARRIER SYSTEM.

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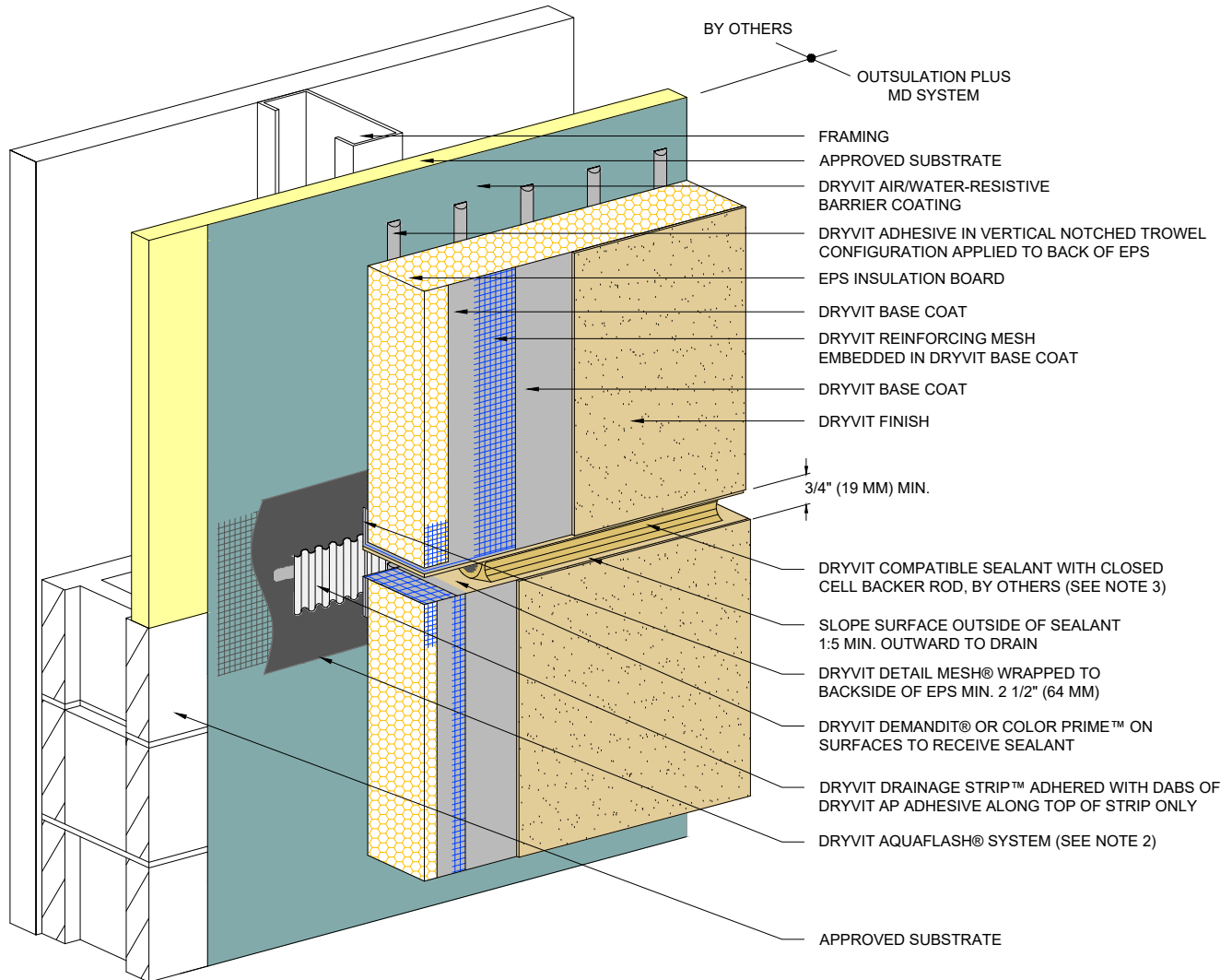
Fascia/ Uninsulated Soffit Transition

NOTE:

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2. ENSURE BOTTOM EDGE OF DRAINAGE STRIP IS LEFT FREE TO DRAIN.

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Horizontal Joint - Substrate Change

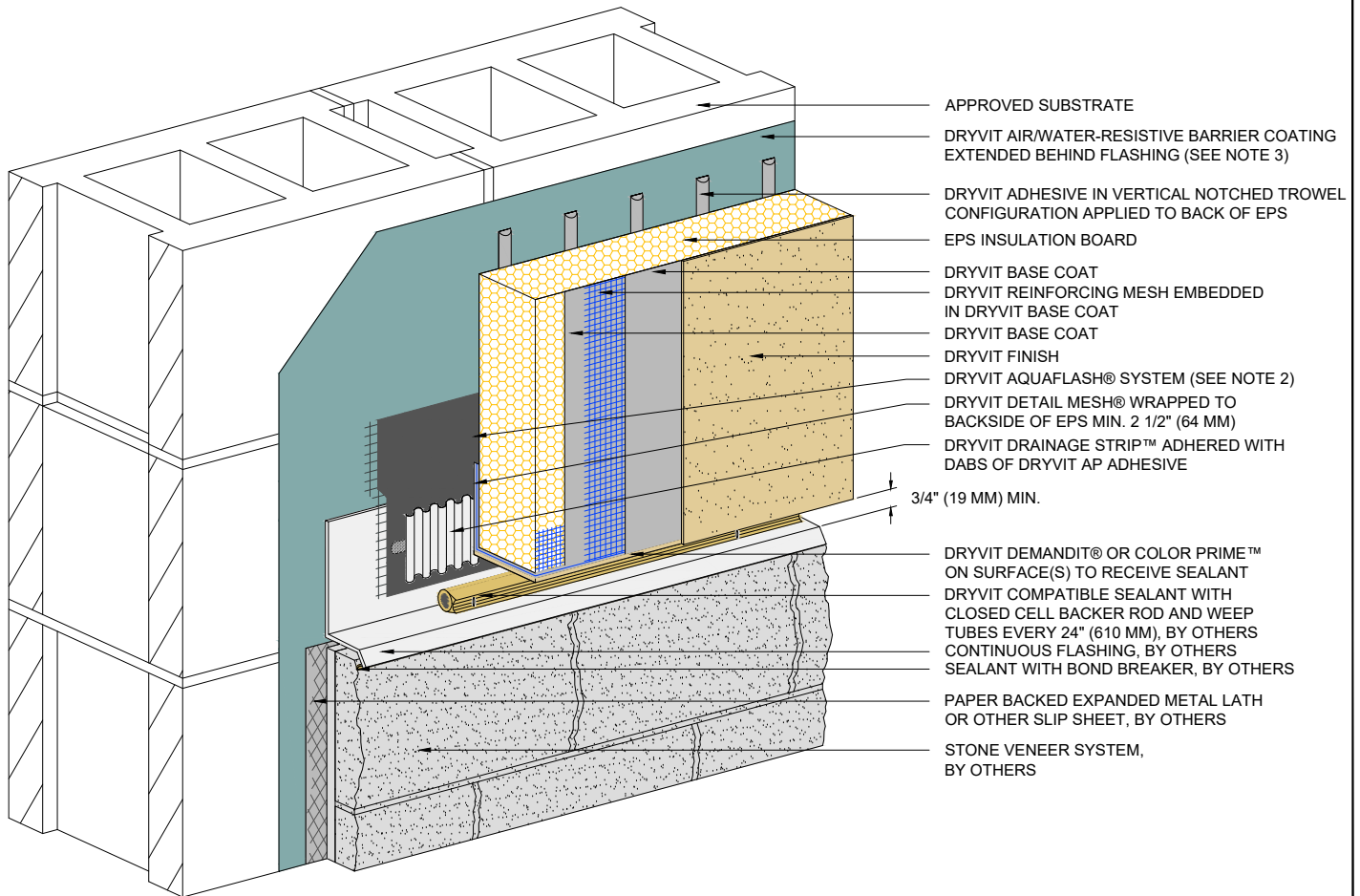
NOTE:

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2. DRYVIT FLASHING TAPE SURFACE CONDITIONER[™] AND DRYVIT FLASHING TAPE[™] MAY BE USED IN LIEU OF DRYVIT AQUAFASH SYSTEM OVER PREPARED JOINT AT CHANGE IN SUBSTRATE.

3. SEALANT SHALL NOT BE IN DIRECT CONTACT WITH ASPHALTIC ADHESIVE ON DRYVIT FLASHING TAPE. COVER DRYVIT FLASHING TAPE LAPS WITH POLYETHYLENE TAPE OR BACKER ROD.

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Horizontal Termination at Stone Veneer

NOTE:

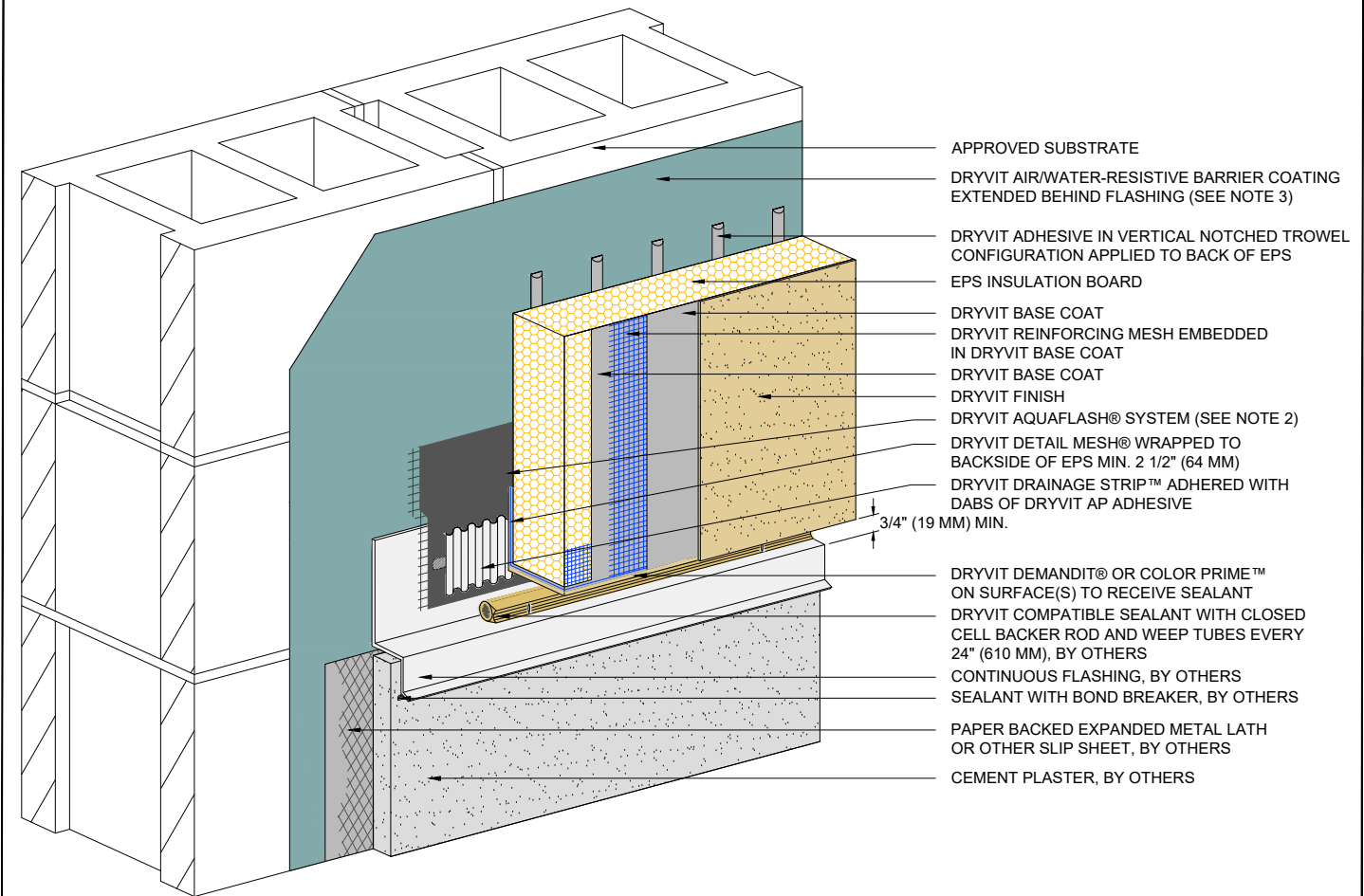
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2. DRYVIT FLASHING TAPE SURFACE CONDITIONER™ AND DRYVIT FLASHING TAPE™ MAY BE USED IN LIEU OF DRYVIT AQUAFLASH SYSTEM.

3. FOR INSTALLATION OF DRYVIT AIR/WATER-RESISTIVE BARRIER COATING BENEATH CLADDINGS OTHER THAN DRYVIT EIFS, REFER TO DRYVIT PUBLICATION DS840.

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Horizontal Termination at Stucco

NOTE:

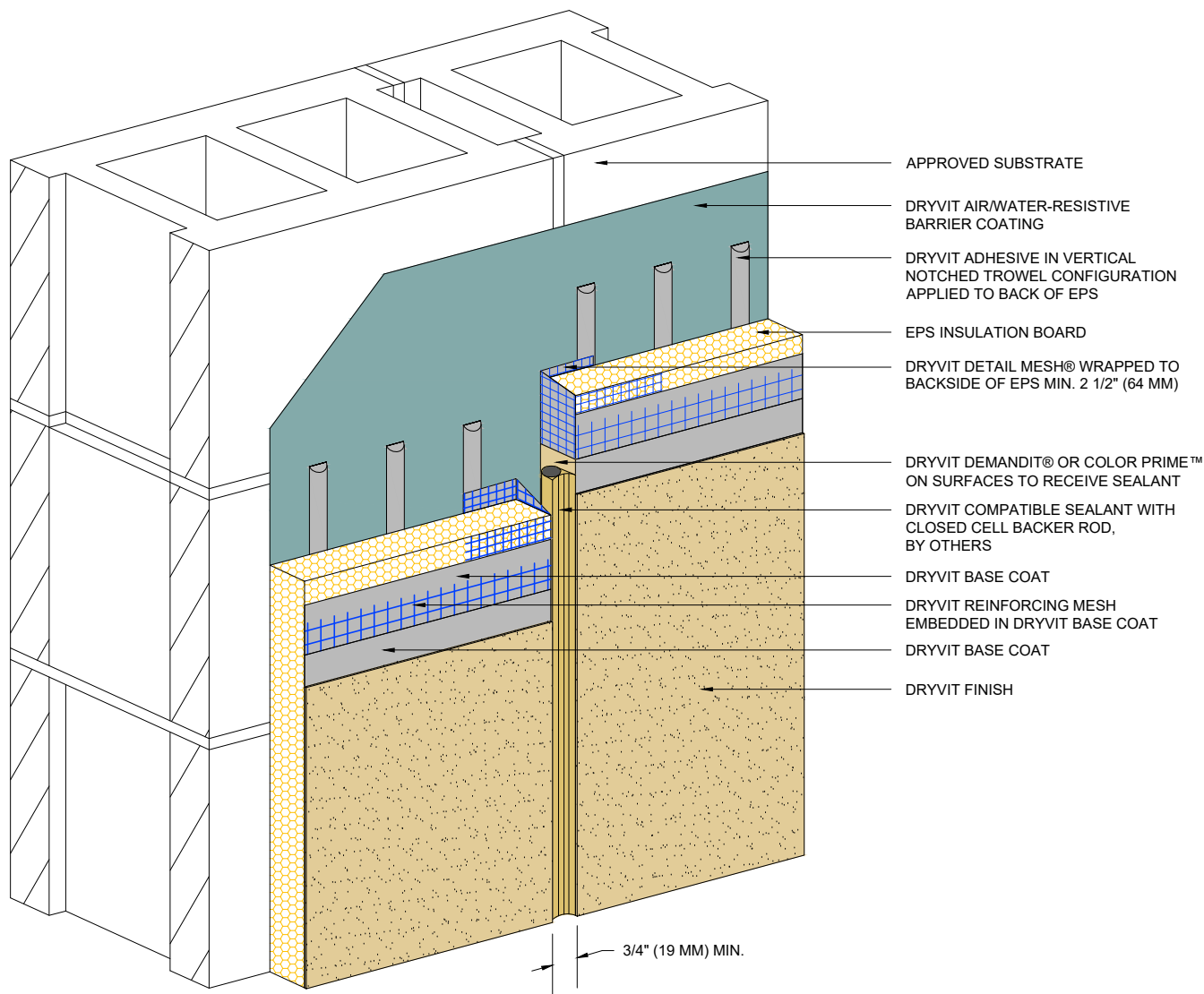
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2. DRYVIT FLASHING TAPE SURFACE CONDITIONER[™] AND DRYVIT FLASHING TAPE[™] MAY BE USED IN LIEU OF DRYVIT AQUAFLASH SYSTEM.

3. FOR INSTALLATION OF DRYVIT AIR/WATER-RESISTIVE BARRIER COATING BENEATH CLADDINGS OTHER THAN DRYVIT EIFS, REFER TO DRYVIT PUBLICATION DS840.

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Vertical Expansion Joint - EIFS²

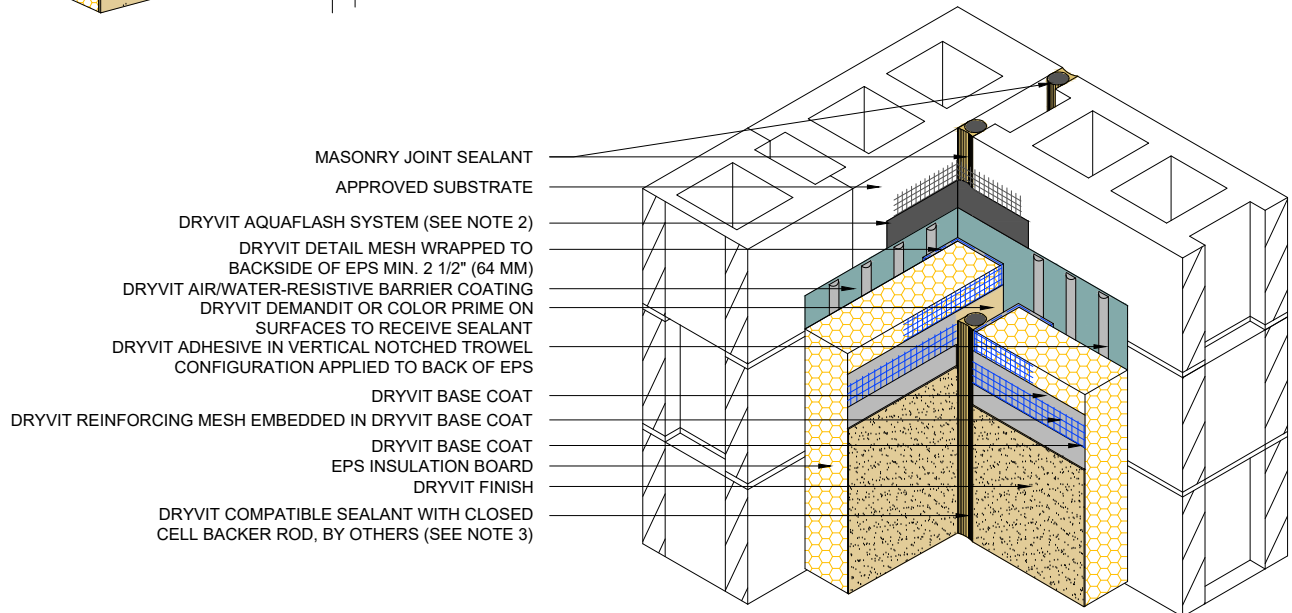
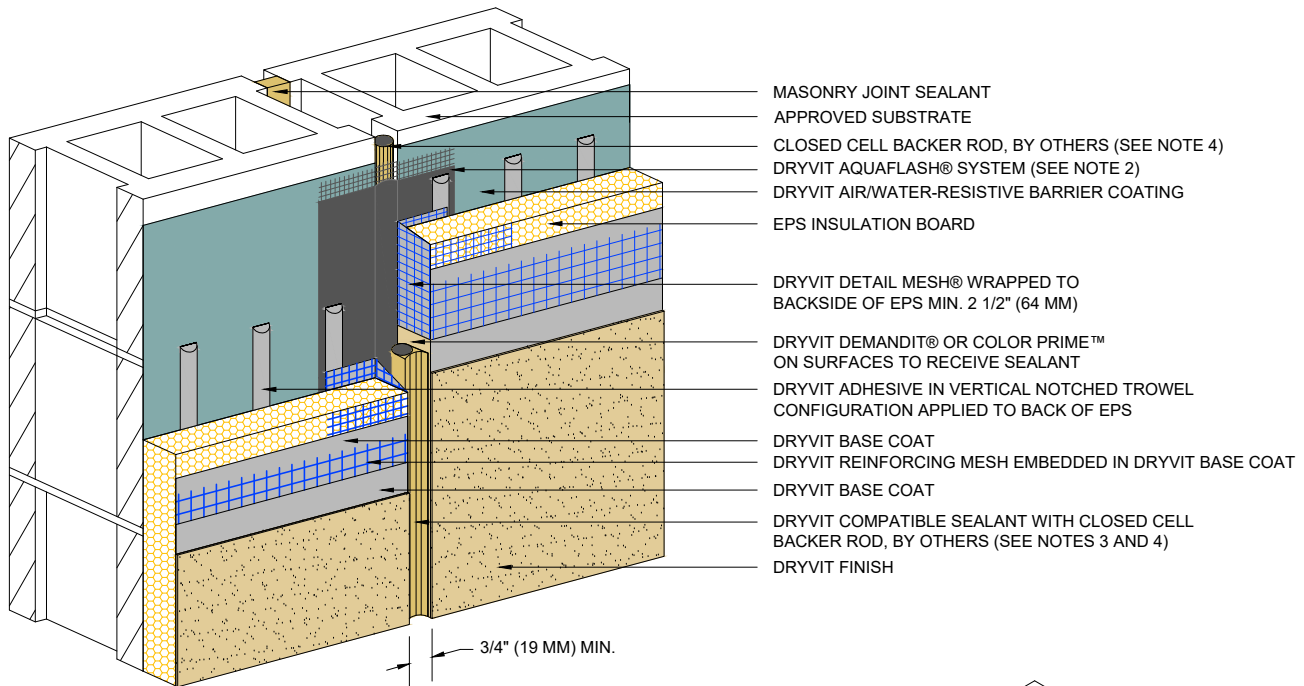
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2. EIFS EXPANSION JOINTS ARE REQUIRED IN CONTINUOUS ELEVATIONS AT INTERVALS NOT EXCEEDING 75 FT (23 M).

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Masonry Control Joints

NOTE:

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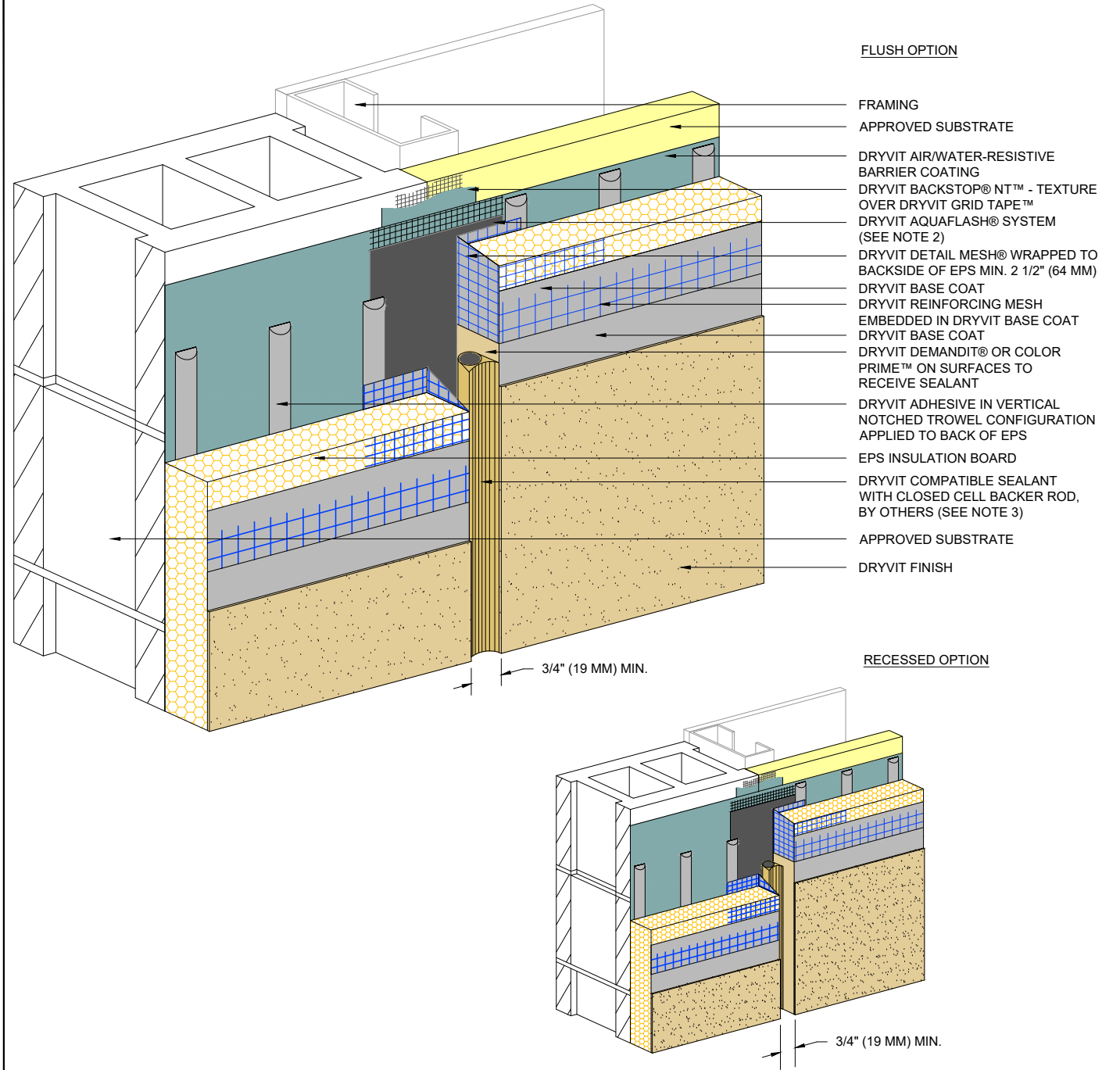
2. DRYVIT FLASHING TAPE SURFACE CONDITIONER[™] AND DRYVIT FLASHING TAPE[™] MAY BE USED IN LIEU OF DRYVIT AQUAFLASH SYSTEM.

3. SEALANT SHALL NOT BE IN DIRECT CONTACT WITH ASPHALTIC ADHESIVE ON DRYVIT FLASHING TAPE. COVER DRYVIT FLASHING TAPE LAPS WITH POLYETHYLENE TAPE OR BACKER ROD.

4. LOCATE EXTERNAL SEALANT JOINT WITHIN 2 1/2" (64 MM) OF SUBSTRATE JOINT.

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Vertical Expansion Joints

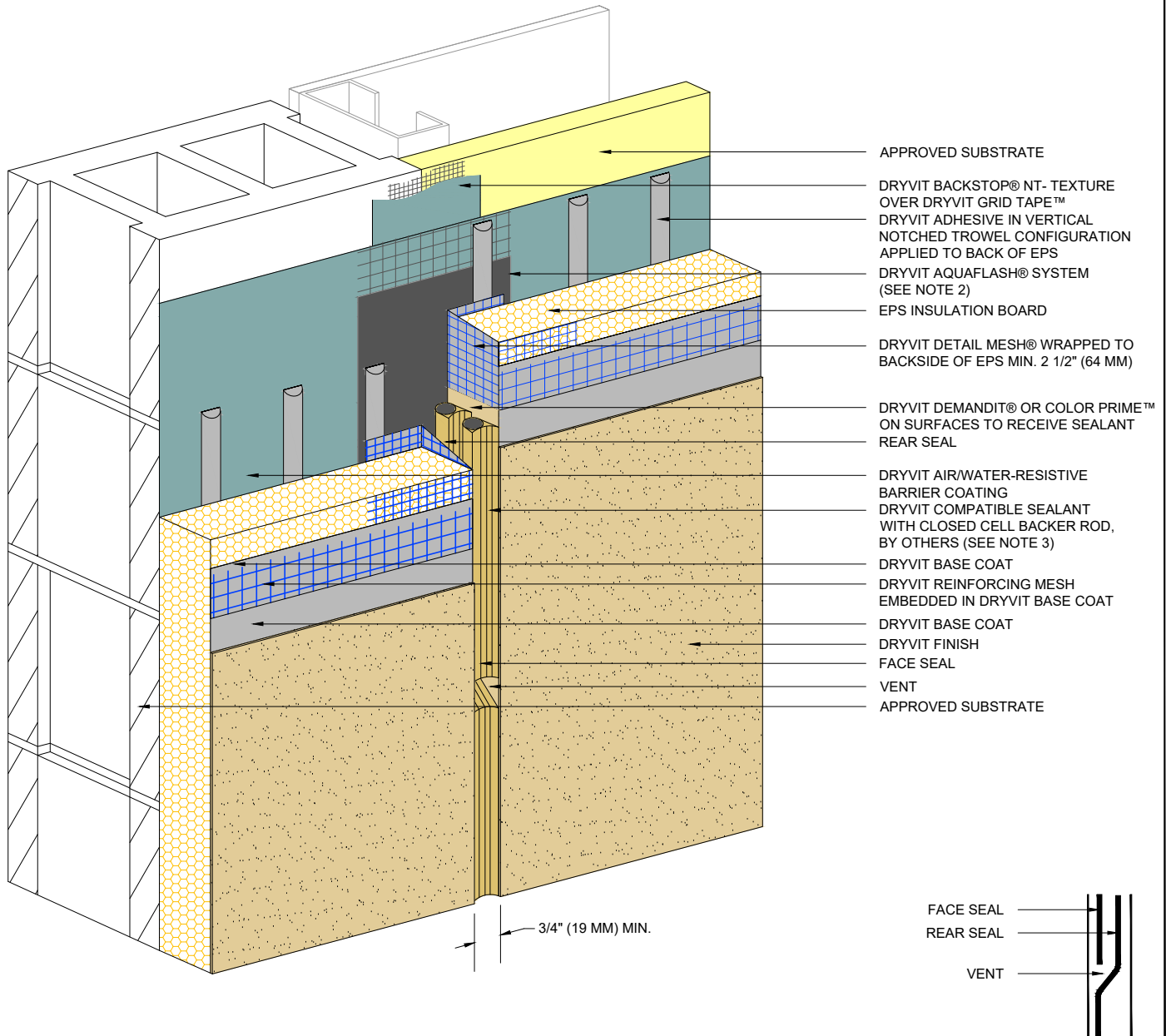
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2. DRYVIT FLASHING TAPE SURFACE CONDITIONER™ AND DRYVIT FLASHING TAPE™ MAY BE USED IN LIEU OF DRYVIT AQUAFLASH SYSTEM.

3. SEALANT SHALL NOT BE IN DIRECT CONTACT WITH ASPHALTIC ADHESIVE ON DRYVIT FLASHING TAPE. COVER DRYVIT FLASHING TAPE LAPS WITH POLYETHYLENE TAPE OR BACKER ROD.

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Vertical Expansion Joint - Double Seal Option

NOTE:

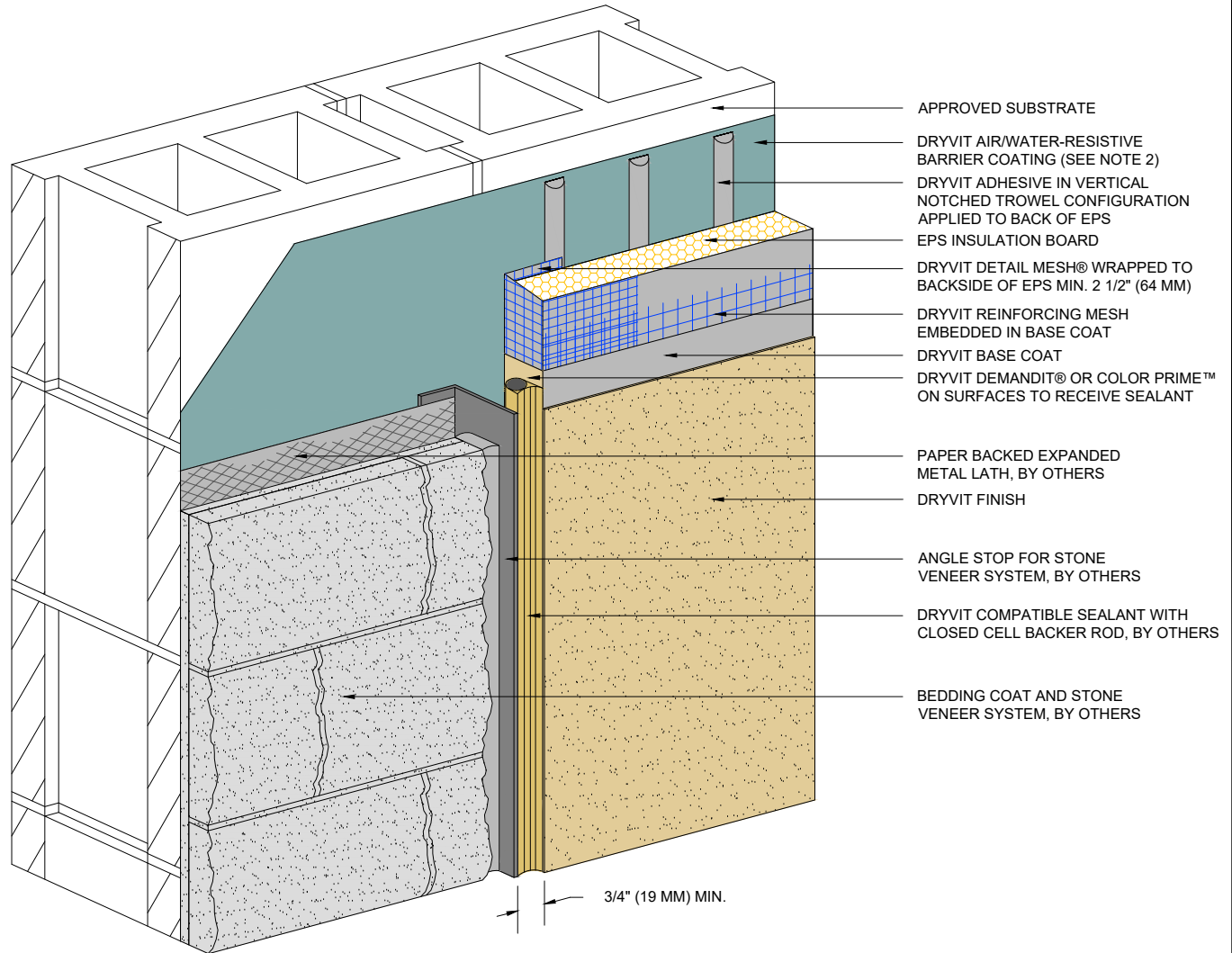
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2. DRYVIT FLASHING TAPE SURFACE CONDITIONER™ AND DRYVIT FLASHING TAPE™ MAY BE USED IN LIEU OF DRYVIT AQUAFLASH SYSTEM.

3. SEALANT SHALL NOT BE IN DIRECT CONTACT WITH ASPHALTIC ADHESIVE ON DRYVIT FLASHING TAPE. COVER DRYVIT FLASHING TAPE LAPS WITH POLYETHYLENE TAPE OR BACKER ROD.

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NOTE:

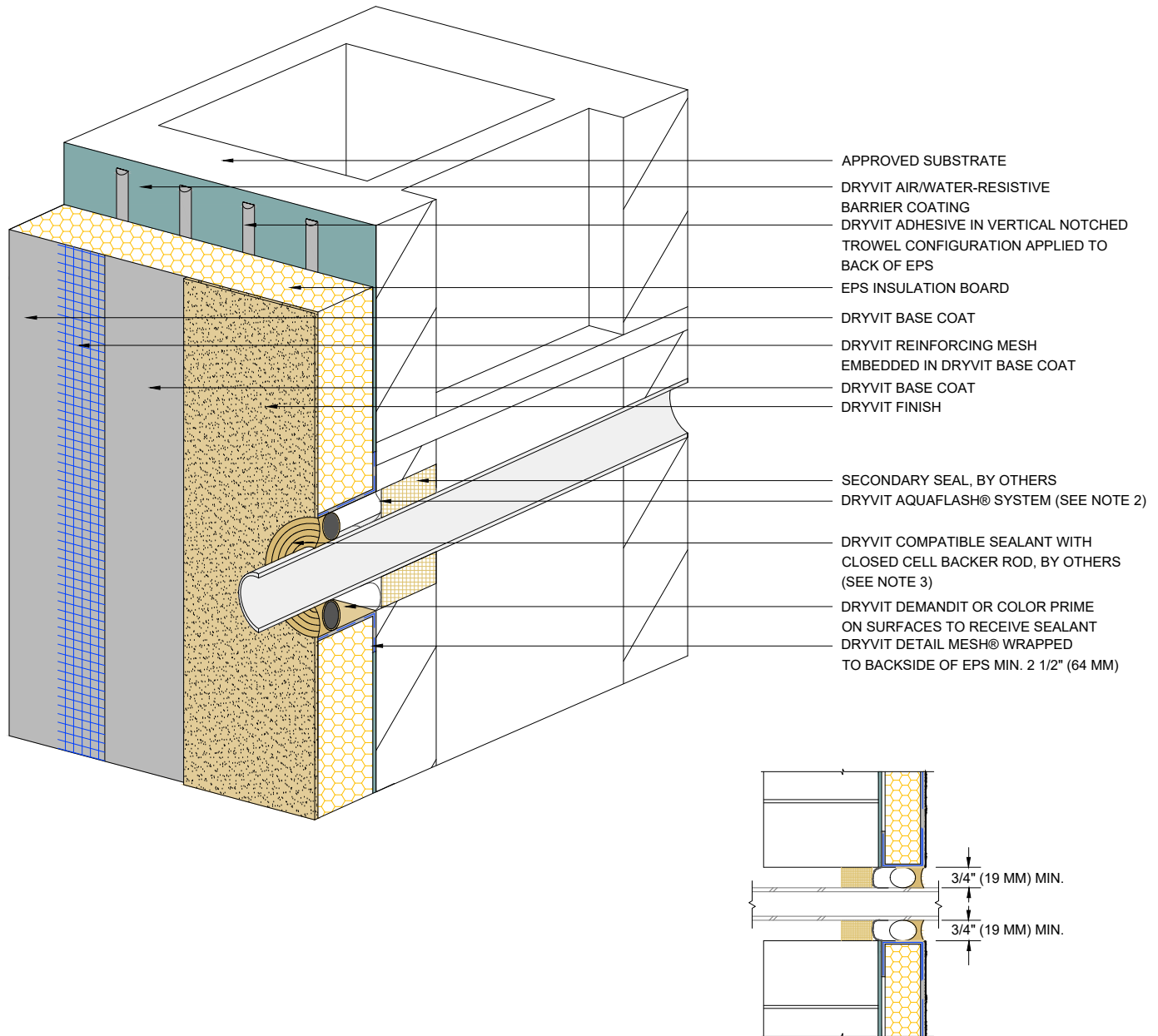
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2. FOR INSTALLATION OF DRYVIT AIR/WATER-RESISTIVE BARRIER COATING BENEATH CLADDINGS OTHER THAN DRYVIT EIFS, REFER TO DRYVIT PUBLICATION DS840.

Vertical Termination At Stone Veneer

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Penetrations

NOTE:

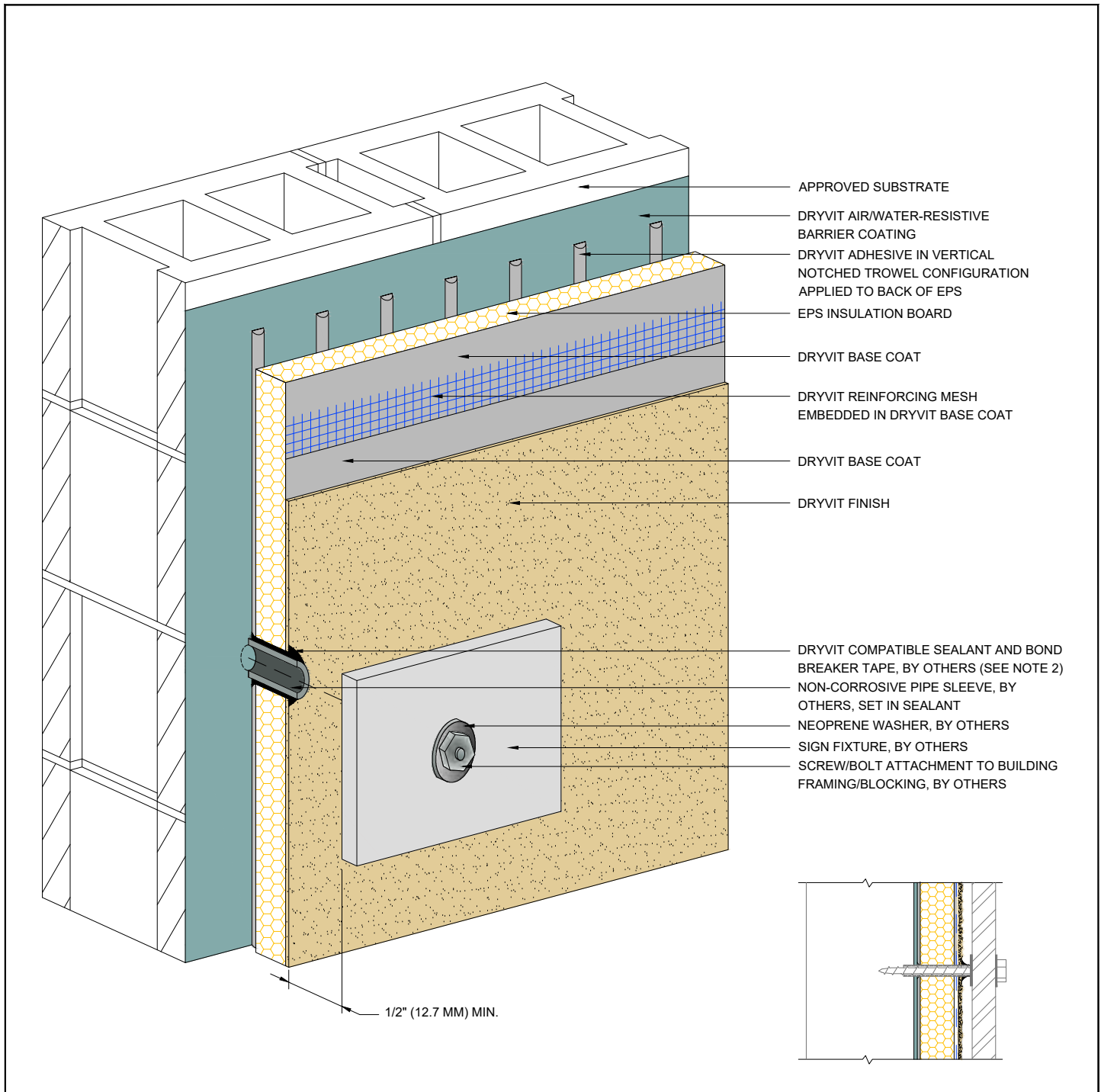
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3. SEALANT SHALL NOT BE IN DIRECT CONTACT WITH ASPHALTIC ADHESIVE ON DRYVIT FLASHING TAPE. COVER DRYVIT FLASHING TAPE LAPS WITH POLYETHYLENE TAPE OR BACKER ROD.

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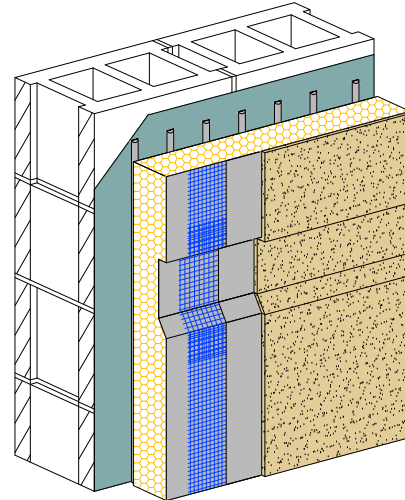
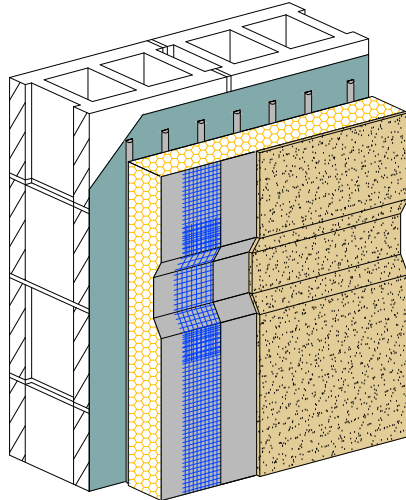
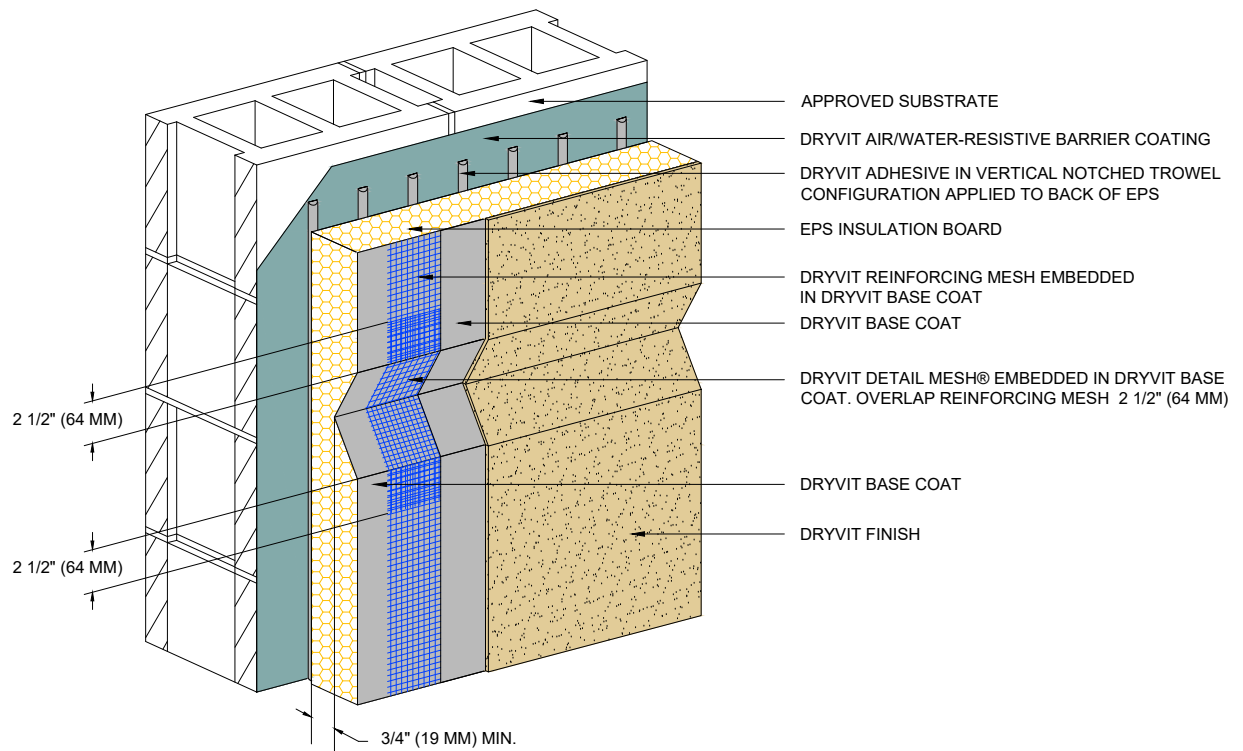
Sign Attachment

NOTE:
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2. PERIMETER OF PIPE SLEEVE IS CAULKED TO PREVENT WATER ENTRY INTO WALL.

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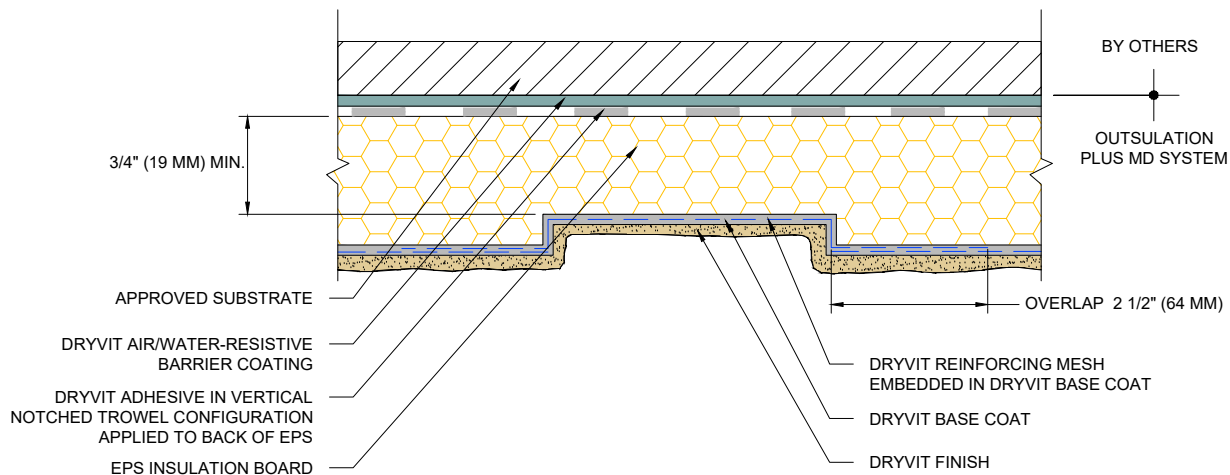
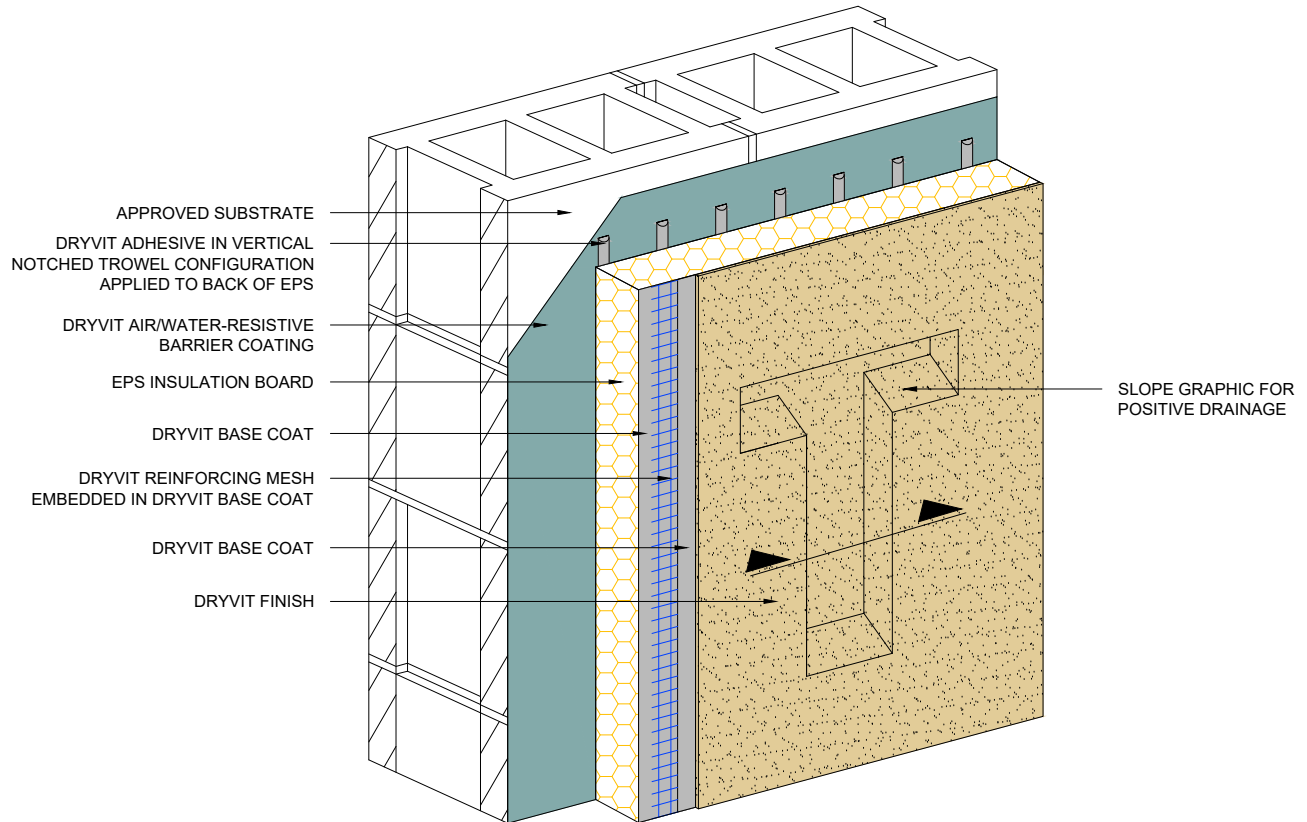
Aesthetic Reveals

NOTE:

1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD™ OR STANDARD PLUS™ MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.

2. SLOPE BOTTOM EDGE OF REVEAL FOR POSITIVE DRAINAGE.

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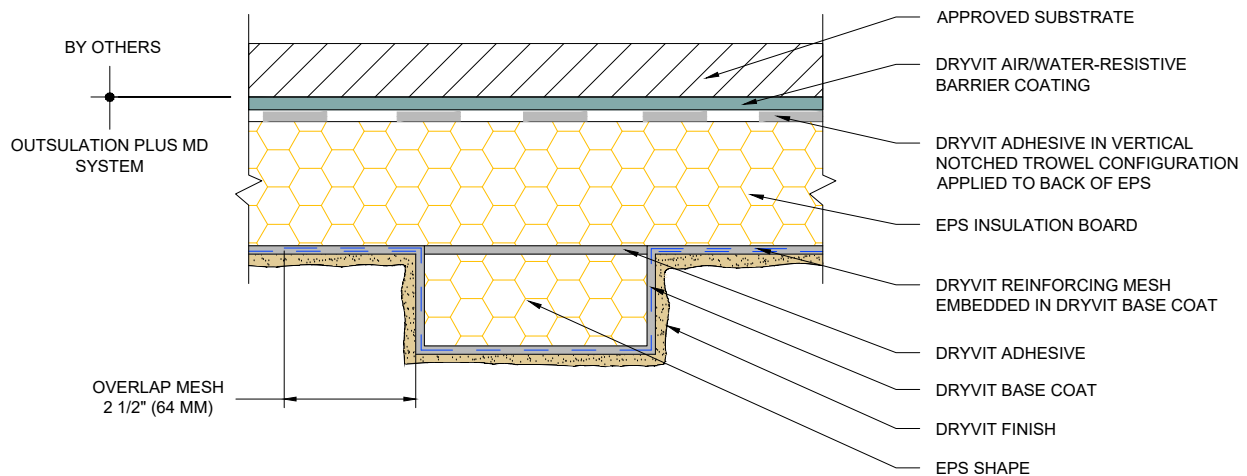
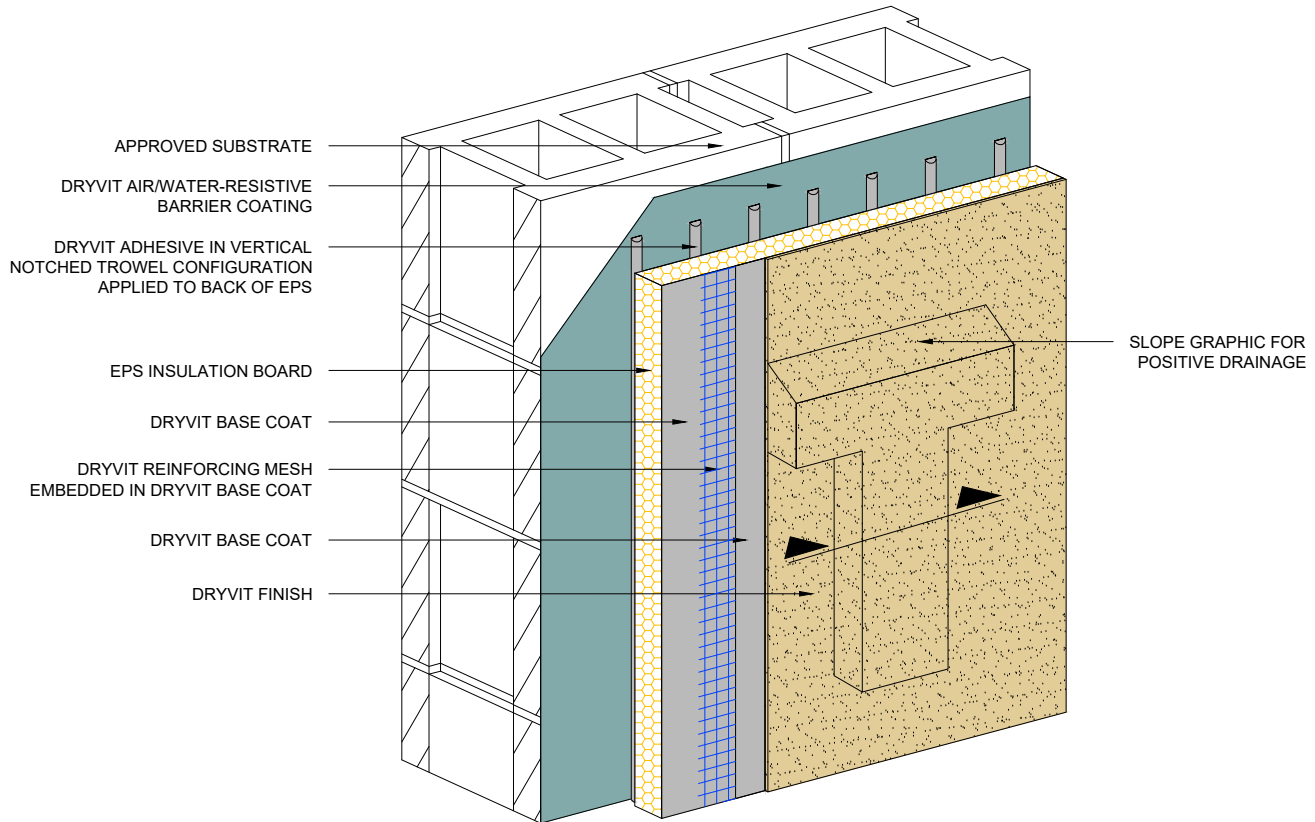


Outsulation[®] Plus MD System[®]

Recessed Graphics

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Projecting Graphics

NOTE:
1. MAXIMUM THICKNESS OF EPS BUILT OUT SHAPES SHALL NOT EXCEED 13 INCHES (330 MM) AT ANY POINT MEASURED FROM THE SUBSTRATE.

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