



Staff Report

PLANNING DIVISION
DEPARTMENT OF COMMUNITY & NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Krissy Gilmore, Principal Planner, (801) 535-7780 or
kristina.gilmore@slcgov.com

Date: October 14, 2020

Re: PLNPCM2020-00639 – 333 N Federal Heights Circle

Special Exception

PROPERTY ADDRESS: 333 N Federal Heights Circle
PARCEL ID: 09-33-401-003-0000
MASTER PLAN: Avenues Master Plan
ZONING DISTRICT: FR-3/12,000 Foothills Residential District

REQUEST: Scott and Jennifer Huntsman, the property owners, are requesting special exception approval to construct a new single-family home that exceeds the maximum permitted building height and maximum allowable grade changes in the FR-3/12,000 Foothills Residential District. The subject property is located at 333 N Federal Heights Circle and is currently vacant. The FR-3/12,000 (Foothills Residential District) permits a building height of 28 feet (28'). The proposed structure exceeds the maximum height at the south facing roof overhangs by 2' and 4'-9". The requested grade changes exceed the allowed 4' in the rear yard and 6' in the buildable area. The Planning Commission has final decision-making authority for requested special exceptions.

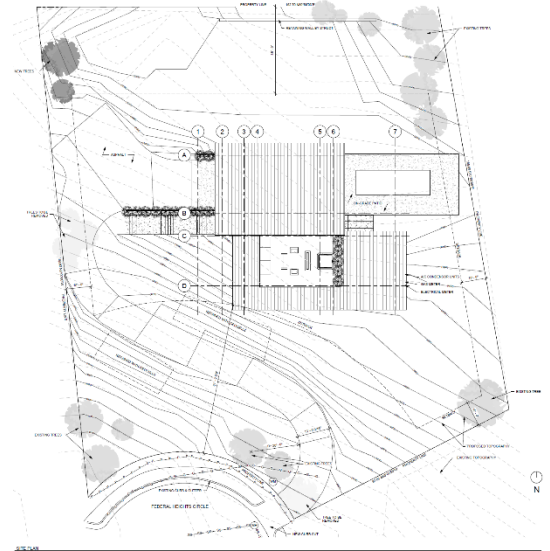
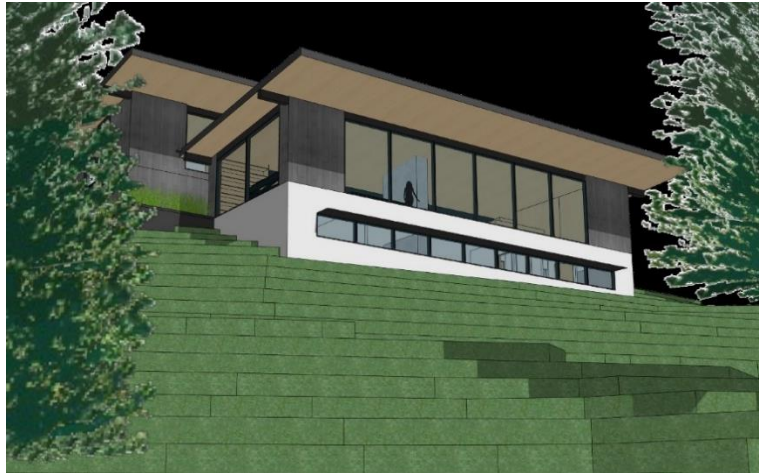
RECOMMENDATION: Based on the information in this staff report, it is Planning Staff's opinion that the requested special exceptions for additional building height and grade changes in the FR-3/12,000 zoning district complies with the standards of approval, and recommends approval.

ATTACHMENTS:

- A. [Application Materials](#)
- B. [Site Photographs](#)
- C. [FR-3 Lot and Bulk Requirements](#)
- D. [Analysis of Special Exception Standards](#)
- E. [Analysis of Standards for Additional Height](#)
- F. [Public Process and Comments](#)

PROJECT DESCRIPTION:

The applicant is requesting approval for the special exceptions in order to construct a new three-story single-family residence that is approximately 4,891 square feet in size. Due to the size of the subject lot, 31,363 square feet in size, the proposed construction covers approximately 16% of the subject property. The proposed design complies with the FR zoning district design requirements found in Chapter 21A.24.010.P3 which includes exterior building colors, exterior glass, roof materials and colors, mechanical equipment, exterior lighting and fence material. Additionally, the applicant is also proposing to maintain most of the trees at the front and east sides of the property to provide a visual buffer.



View of home from Federal Heights Circle/ Site plan

The Special Foothills Regulations:

FR-3/12,000 Purpose Statement

The purpose of the FR-3/12,000 Foothills Residential District is to promote environmentally sensitive and visually compatible development of lots not less than twelve thousand (12,000) square feet in size, suitable for foothills locations as indicated in the applicable community Master Plan. The district is intended to minimize flooding, erosion, and other environmental hazards; to protect the natural scenic character of foothill areas by limiting development; to promote the safety and wellbeing of present and future residents of foothill areas; to protect wildlife habitat; and to ensure the efficient expenditure of public funds.

The FR-3/12,000 zoning district permits single-family residential development to reach 28 feet in height with a limited wall height of 25 feet for the front and rear elevations. This zoning district has specific special exception standards for additional height in the Foothills Residential Zoning District. Building height is measured from established (existing) grade and wall height is measured from the finished grade in the Foothills Residential District.

The permitted development is prescribed to follow specific regulations that limit grade changes in the front, side and rear yards to 4 feet in dimension and grade changes in the buildable area to 6 feet in dimension. All proposed cuts and fills in the FR districts that exceed 2 feet in dimension are required to be retained with a retaining wall.

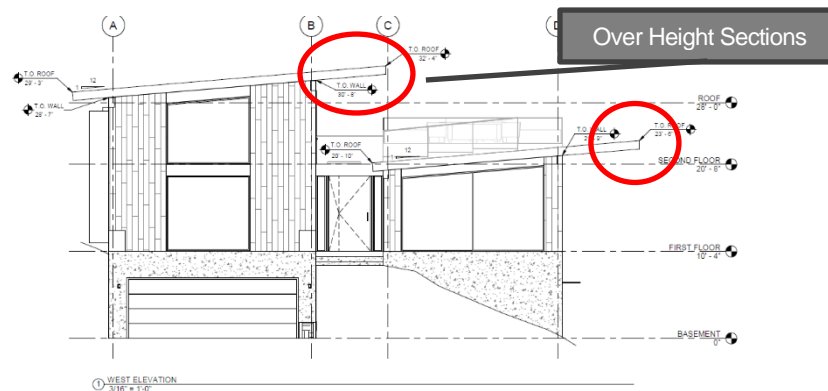
The FR-3 zoning district permits a building height of 28' from established grade. The FR-3 zoning district does not distinguish between building heights for flat or pitched roofs. Both roof types are limited to 28' measured from established grade. Per the following definition:

HEIGHT, BUILDING - IN THE FR, FP, R-1, R-2, AND SR DISTRICTS: The vertical distance between the top of the roof and established grade at any given point of building coverage.

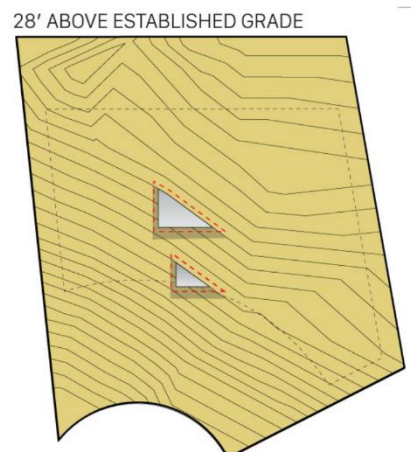
Established grade is further defined in section 21A.62.040:

GRADE, ESTABLISHED - grade of a property prior to the most recent proposed development or construction activity.

The proposed single-family residence has a shed roof with a stepped design to include a lower height at the street facing elevation. The areas that exceed the height limitation are the corners of the south facing overhangs of the roof. As described in the applicant's submittal, the south-facing overhangs are sized to allow for maximum sun in the winter and block sun during the summer. This long overhang, combined with the steep slope of the site, causes the southwest corner of each overhang to exceed the established grade height restriction by 2' on the first floor, and 4'-9" on the second floor roof. Everything other than a very small area of one corner of the overhangs is within the 28' height restriction.

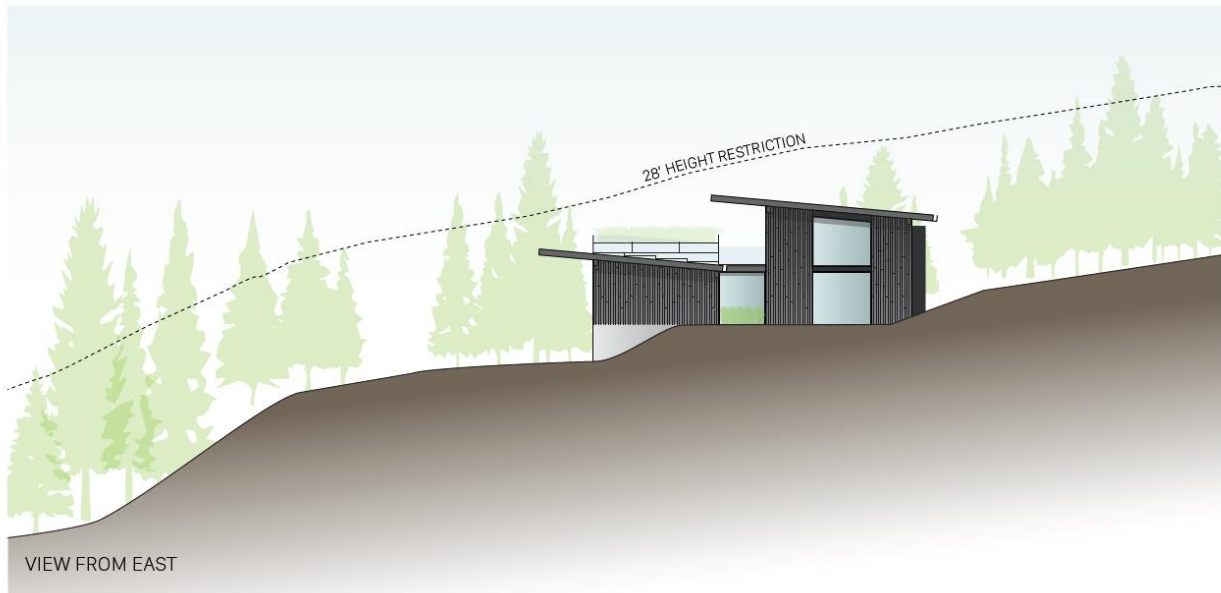


West Elevation/Main Entrance



View from above showing portion of roof that exceed 28' from established grade

Due to the slope of the site the building height should have minimal visual impact to the surrounding properties. The above ground portion to the east will appear to meet the height regulations, as shown on the graphics below.



East Elevation

Height Exceptions Discussion

As noted in the applicant's narrative, the applicant was purposeful in the siting of the home on the site to minimize site disturbance and impact to neighboring properties by moving the garages to the side of the site, as well as building at a smaller footprint that the zoning parameters of the site could allow. The applicant submitted revised versions to planning staff to minimize the special exceptions required. The requested height exceptions provide for a context sensitive development and those exceptions should have minimal visual impact to the neighboring properties, given the orientation and placement of the home on the site.

FR-3/12,000 Grade Change & Retaining Wall Special Exception

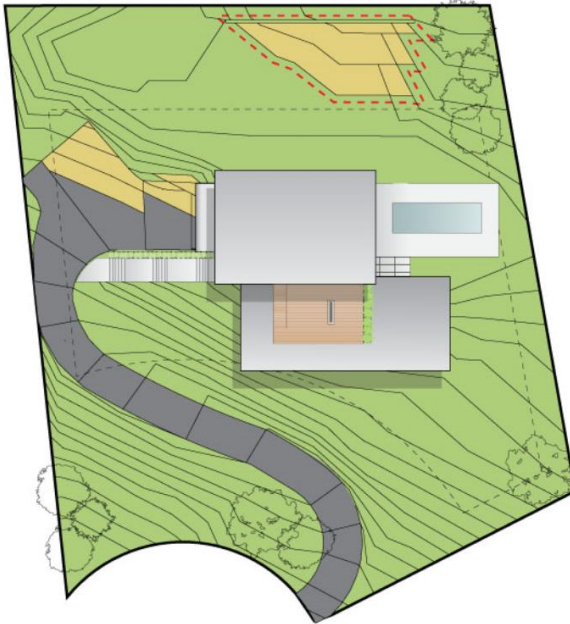
Due to the existing slope of the property, the proposed construction requires some fill and cutting that exceeds the 4' limitation in the required rear yard. The grade changes that exceed 4' in the rear yard are intended to provide an area of flat, useable lawn (shown below in red). The grade change goes from 2' to 8' below established grade and will require an 8' – 10' retaining wall.



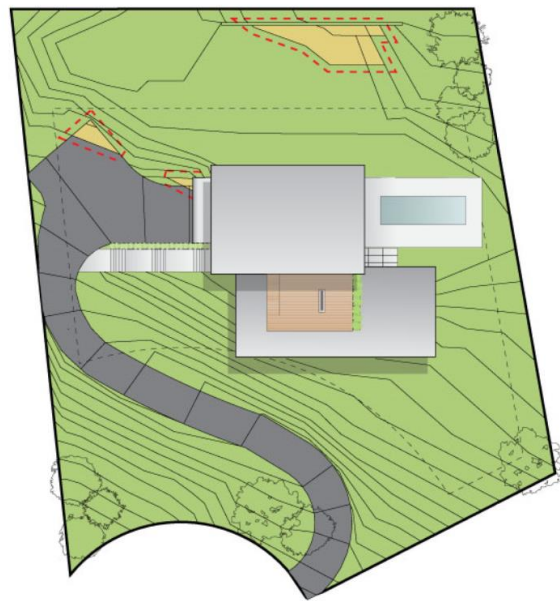
Grade change requiring exception in the rear yard

The requested grade changes in the buildable area that exceed 6' in dimension are located at the rear of the property to accommodate the slope of the driveway. The proposed driveway closely follows the existing grade and maintains a manageable slope of under 10% without large retaining walls visible from the street. Locating the garage on the side of the house would require some small areas around the garage to be 8-10' below established grade (shown in red below).

4' BELOW ESTABLISHED GRADE



6' BELOW ESTABLISHED GRADE



Slope/Grade Exhibits showing areas that exceed allowed grade changes in the rear yard and buildable area

Grade Change Discussion

Staff is of the opinion that the requested grade changes and retaining wall minimally disturb the street facing views of the site and those of neighboring properties, while allowing the garages and lawn area to be hidden from street view. The applicant has revised their plans to remove any additional excessive grade changes to minimize disturbance to the site, this includes incorporating a longer driveway to maintain the steep slope, while making the drive approach manageable. Additionally, if the applicant were to remove the grade change special exception and build within the rear yard 4' grade change limitations, they would likely expand the lawn area and increase disturbance to the site. Staff recommends approval of these requested exceptions.

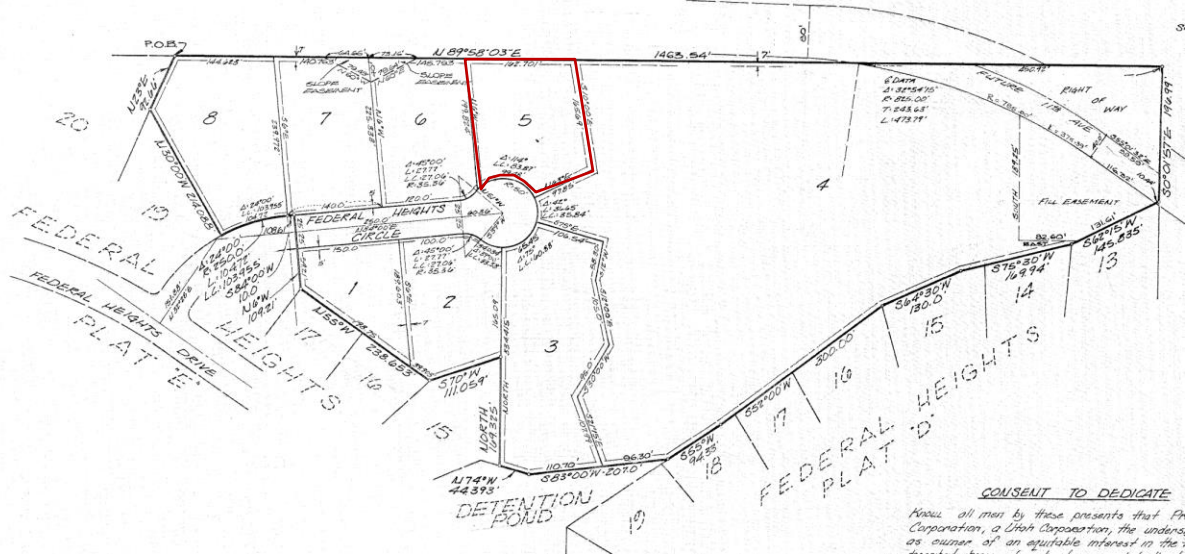
KEY CONSIDERATIONS:

The key consideration listed below has been identified through the analysis of the project.

1. Federal Heights Plat F Subdivision

The subject property is vacant lot 5 in the Federal Heights Plat F subdivision, recorded in 1976. The Federal Heights Plat F Subdivision encompasses all the properties within Federal Heights Circle. Federal Heights Circle is located within the Foothills of Salt Lake City and has significantly steep slopes. The subject property, which is located on the north side of Federal Heights Circle, has an average slope from 20% - 35%, with a small portion up to 101%, throughout the site (see Attachment A). 21A.24.040.G of the Zoning Ordinance states, "For lots subdivided after

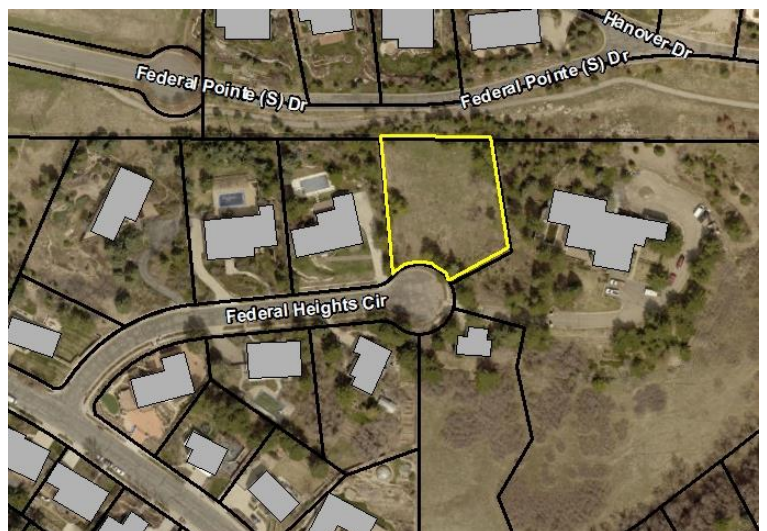
November 4, 1994, no building shall be constructed on any portion of the site that exceeds a thirty percent (30%) slope.” The City approved the Subdivision as designed in 1976, meaning that the property owner maintains the right to build on the subject property. That said, the home as proposed is setback on the lot to minimize development to the areas of significant slope. Additionally, the Federal Heights Plat F Subdivision did not specify buildable or undevelopable area on the plat. The subject property is required to comply with the underlying zoning district, which is the FR-3/12,000 (Foothills Residential District).



Federal Heights Plat F Subdivision Plat

2. Development Pattern

The subject property is the last vacant lot in Federal Heights Circle. In regard to existing grade, the Federal Heights Circle slopes downward toward the South West and slopes upward towards the North East. The existing development pattern of Federal Heights Circle includes single-family detached structures oriented toward the public street. The lots on the north are buffered by open space (Popperton Park) or the Bonneville Shoreline Trail at the rear. Even with the closer placement to the street of some of the homes, each lot has substantial grading for the driveway and pedestrian access. As mentioned, the placement of the proposed single-family structure preserves the steeper slopes and grade of the lot.



Federal Heights Circle

3. Compliance with the Avenues Community Master Plan

The most recent Avenues Community Master Plan was adopted in 1987. While dated, it places an emphasis on regulating foothill development and protection. Zoning districts within the Avenues were different at the time, but residents were already contemplating how best to limit density within “sloping

foothill areas” with “geologic and other physical problems” (p. 4). A prohibition on the development of steep slopes was not yet being considered, but the Plan stresses the need for larger lot size requirements to mitigate challenges of developing on steep topography. At the time, planners felt that larger lot size requirements would also address concerns expressed by residents related to the following:

- Problems imposed on neighboring properties such as loss of views; and
- Visual appearance of the foothills from areas below.

The Plan also includes the following Land Use Recommendation/Strategy:

Reduce Building Height Potential – *Many of the incompatibility problems created by new construction in residential areas are associated with excessive building height; new dwellings that tower over adjacent homes...A recently adopted ordinance will reduce height potential in areas encompassed by the ‘F-1’ Foothill Development Overlay Zone. This ‘view protection’ clause will limit building heights to a 25 foot maximum for a flat-roofed structure and 30 feet to the peak of a structure with a pitched roof” (p. 2).*

The proposed development of the vacant parcel located at 333 N Federal Heights Circle is generally in compliance with the adopted Avenues Master Plan as written. Though the Master Plan shows concern for potential impacts that new construction could have on views of and from the foothills from surrounding areas, as well as impacts on views from neighboring properties, the proposed development of the single-family residence attempts to limit the disruption of the existing grade and significant slope, as well as the impact to neighboring properties. The development recognizes the existing development pattern that characterizes the neighborhood.

DISCUSSION:

The request for additional building height in the FR-3 zoning district is subject to two sets of standards of approval: the general standards applied to all types of special exception requests (21A.52.060), as well as an additional set of standards that are specific to requests for additional building height in the Foothills Residential zones (21A.24.P.2).

The request for grade changes beyond the permitted dimensions in the required yards and buildable area are subject to the general standards applied to all types of special exception requests (21A.52.060). For the full analysis of the requested special exceptions, please refer to Attachments D and D.

NEXT STEPS:

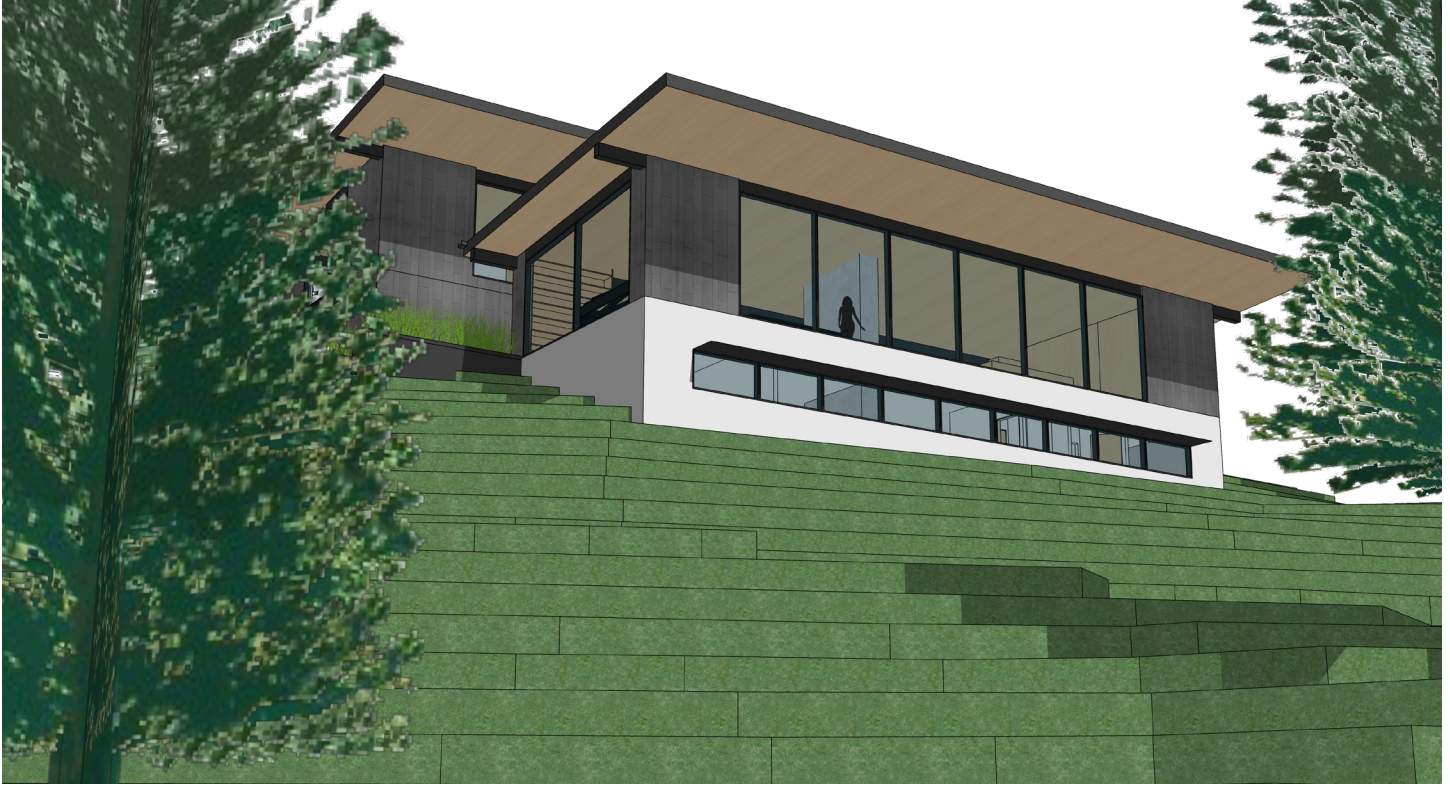
If the requested Special Exceptions are approved (Staff recommendation), the applicants would need to proceed with applying for a building permit to construct a new single-family dwelling.

If the requested Special Exception is denied, the applicants would need to redesign the proposed single-family structure to comply with all zoning and building regulations.

ATTACHMENT A: APPLICATION MATERIALS

SCOTT & JENNIFER HUNTSMAN HOME

333 Federal Heights Circle, Salt Lake City, UT 84103

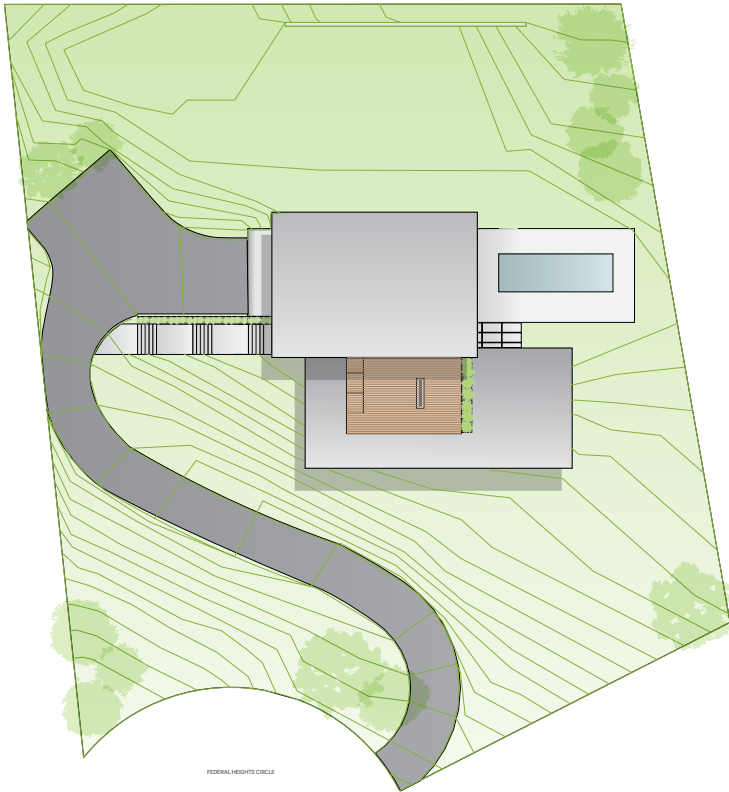


View from Federal Heights Circle



View from West

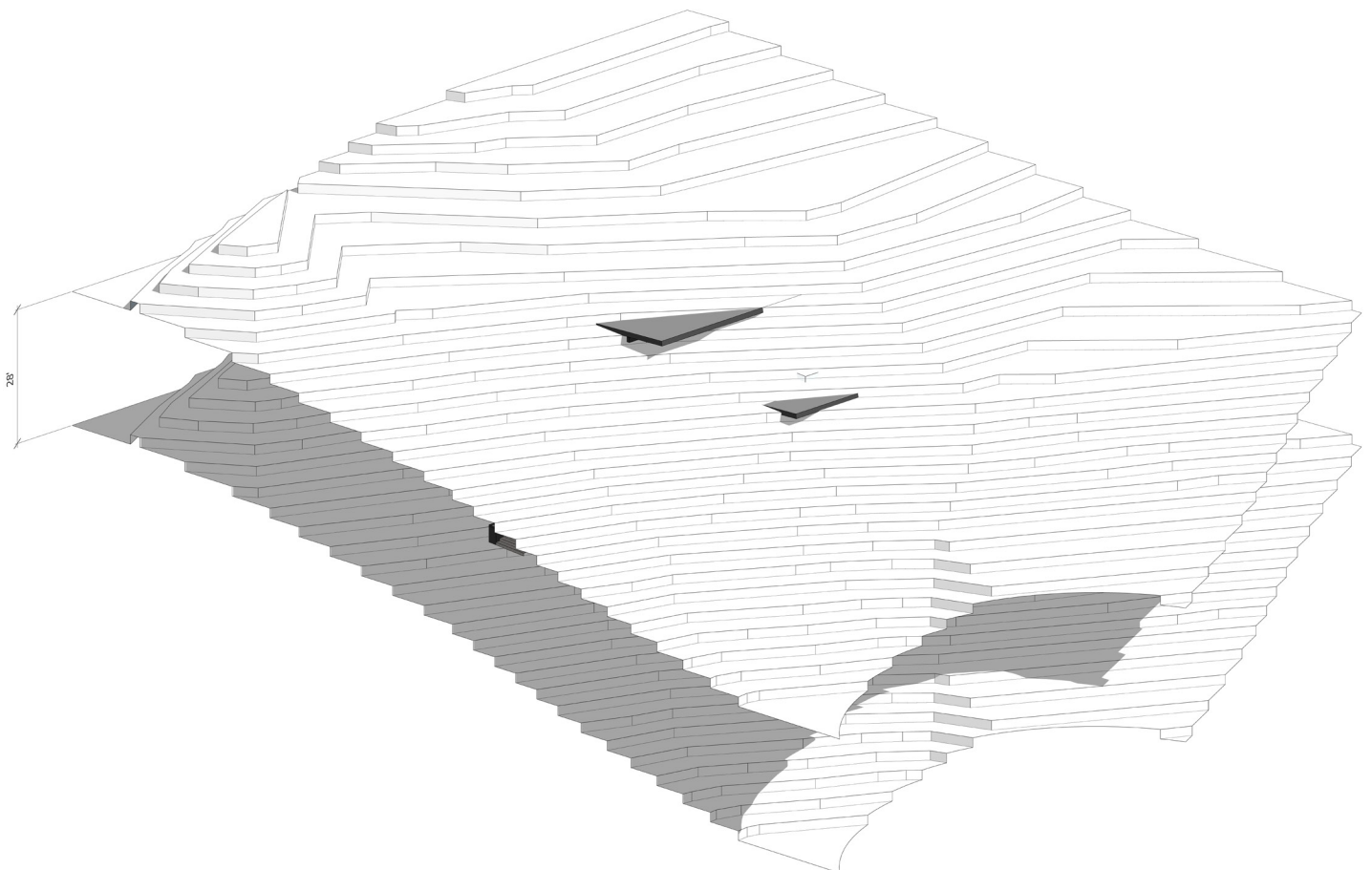
We would like to request an exception to the FR-3 height restrictions found in 21A.24.010 P.1.b to allow for a design that we believe is preferable to the city, the neighborhood, and the owners—and that we believe satisfies the necessary criteria in 21A.24.010 P.2.b.

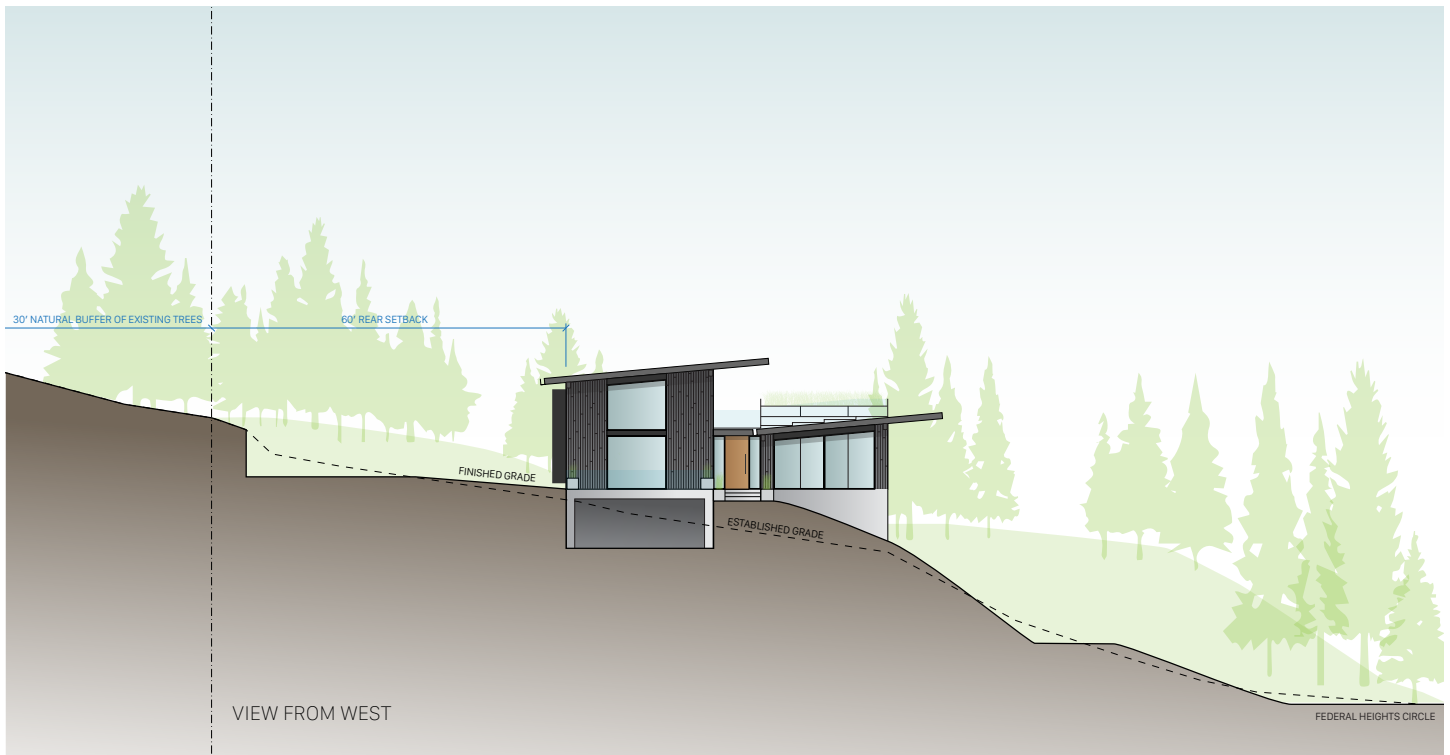


The south-facing overhangs are sized to allow for maximum sun in the winter and block all sun during the summer. This long overhang, combined with the steep slope of the site, causes the southwest corner of each overhang to exceed the established grade height restriction by 2' on the first floor, and 4'9" on the second floor roof. Everything other than a very small area of one corner of the overhangs is within the 28' height restriction.

We have made a sincere effort to minimize the overall height of the house by stepping each floor in relationship to the site, having modest ceiling heights, and by using a small portion of the site's buildable area.

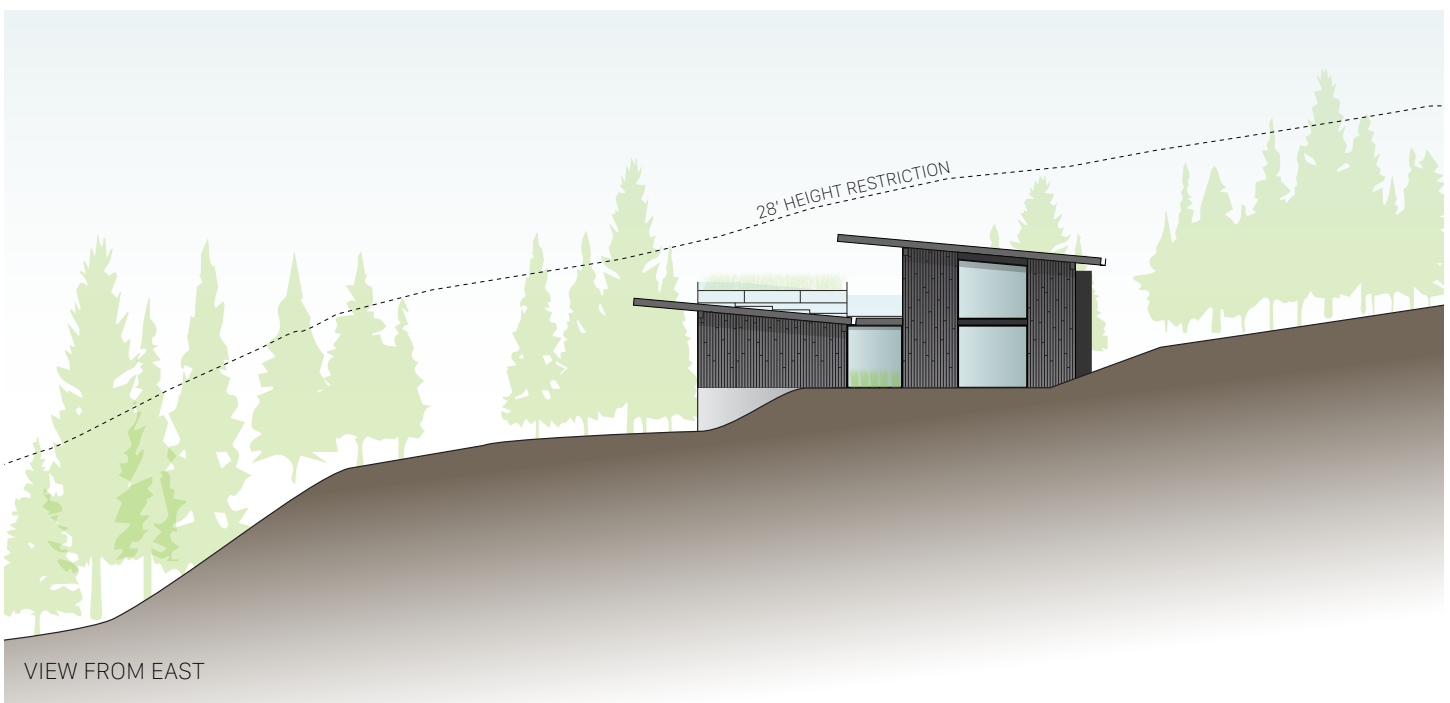
As part of this design, we would like to build one retaining wall (8-10') behind the house, close to the northern property boundary, in order to preserve usable backyard space on a steep lot. This wall is almost completely hidden from the street and from neighbors on all sides.



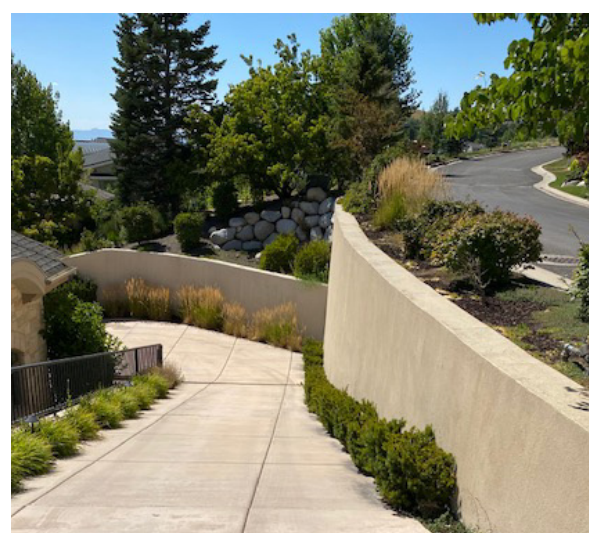
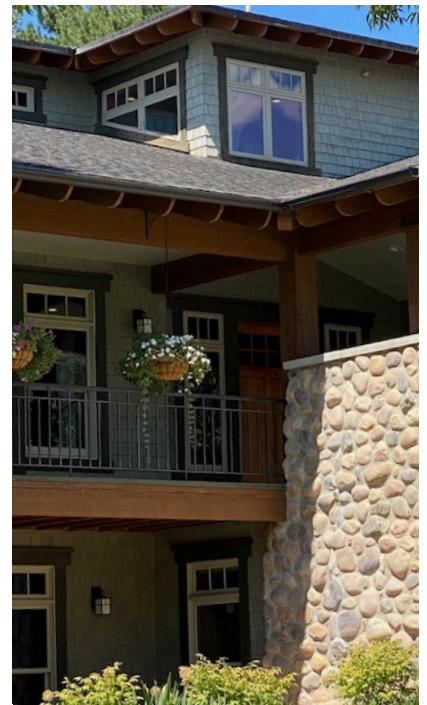


We would like to place the garage on the side of the house and obscure it from view of the neighbors and street. This has the added benefit of extra length for the driveway. The proposed driveway closely follows the existing grade and maintains a manageable slope of under 10% without large retaining walls visible from the street. Locating the garage on the side of the house would require some small areas around the garage to be 8-10' below established grade. We have also decided to have a two-car garage—rather than three which would be ideal—to minimize the necessary grade changes.

We think the impact on our neighbors would be minimal. There is an existing natural buffer of mature trees, approximately 30' in length, between the northern property line and the Bonneville Shoreline Trail. In addition, the placement of the house would allow for a 60' rear setback. The view for neighbors to the east is not impacted as that portion of the house is never closer than 4' to the 28' height restriction.

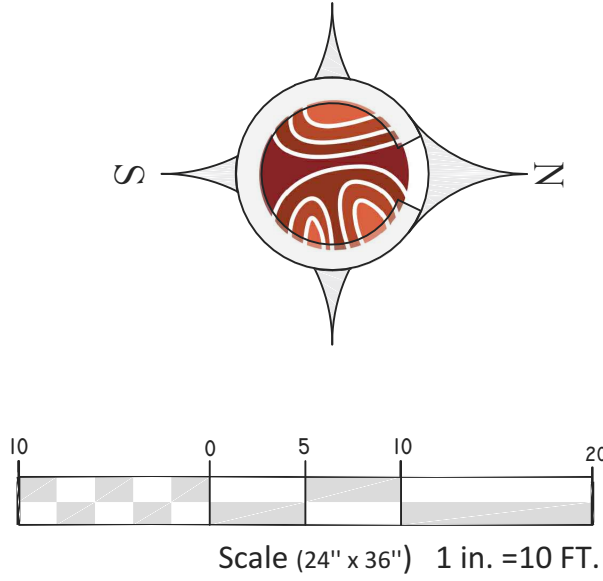


Reviewing houses around our site, we feel that this design is respectful of our neighbors and the intent of the height restriction. We believe this exception will have no negative impact on the neighborhood, and, in fact, would be preferable to what is more common with houses built on a steep site (i.e., large retaining walls along the driveway and prominent garages).





SLOPE ANALYSIS
333 FEDERAL HEIGHT CIRCLE
SALT LAKE CITY, UTAH

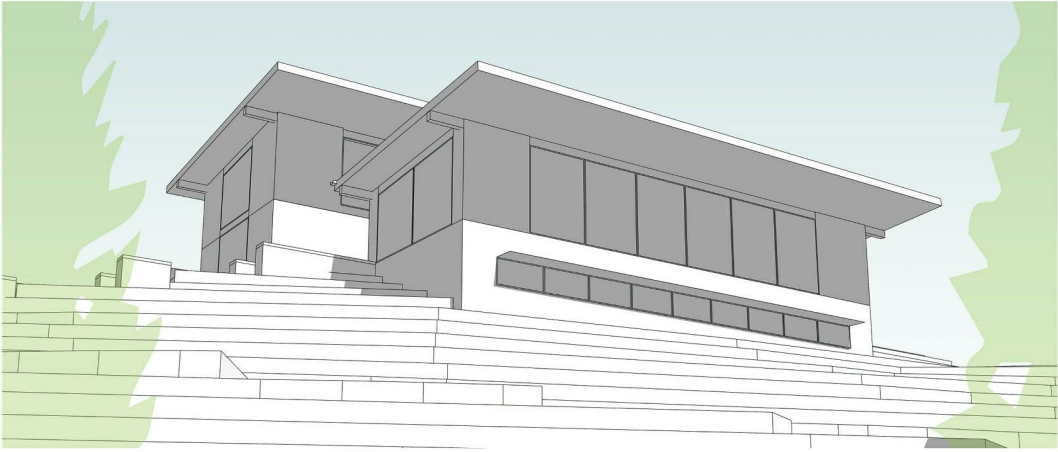


Slopes Table				
Number	Minimum Slope	Maximum Slope	Area	Color
1	2.96%	20.00%	13928.46	
2	20.00%	30.00%	12114.93	
3	30.00%	35.00%	8565.24	
4	35.00%	101.31%	8224.30	

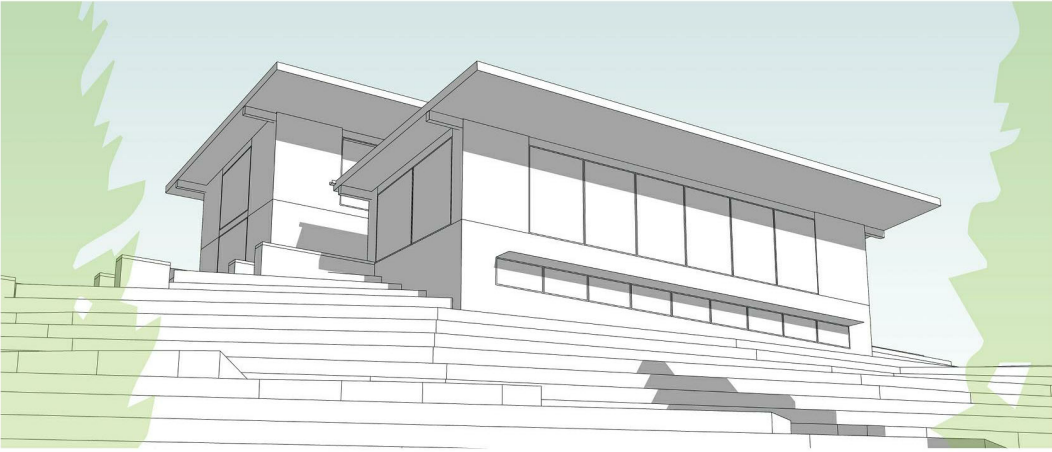
OWNER
Scott Huntsman
1739 Mohawk Way
801-891-9840



PASSIVE SOLAR: SHADE IN THE SUMMER, SUN IN THE WINTER



Fall Equinox, September 21st



Winter Solstice, December 21st

LIGHT AND DARK WOOD



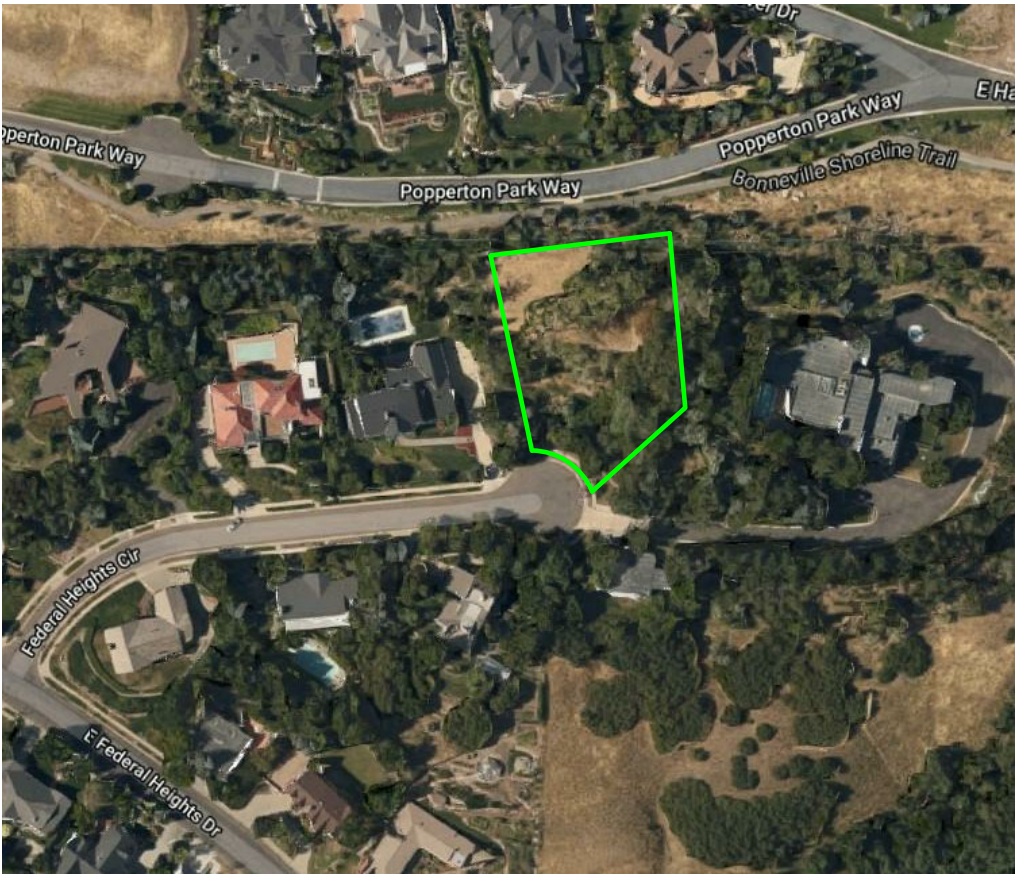
GENERAL NOTES

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

AREA MAP



PROJECT INFORMATION

PARCEL ID:	09-33-401-003
ZONE:	FR-3
BUILDING USE:	SINGLE FAMILY DWELLING
OCCUPANCY TYPE:	FR-3
STORIES ABOVE GRADE:	2
LOT AREA:	31,363.2 SF
ALLOWABLE HEIGHT:	28' FROM GRADE
ACTUAL HEIGHT:	28' FROM GRADE
SETBACKS:	FRONT 71.5' (AVERAGE FRONT YARD ON THE BLOCK)
	SIDE 10'
	REAR 35'
AREA:	BASEMENT FLOOR CONDITIONED 1,575 SF
	MAIN FLOOR CONDITIONED 2,313 SF
	UPPER FLOOR CONDITIONED 1,003 SF
	TOTAL 4,891 SF

APPLICABLE CODES:
2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
2017 NATIONAL ELECTRICAL CODE (NEC)
2018 INTERNATIONAL PLUMBING CODE (IPC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2018 INTERNATIONAL SLC ZONING ORDINANCE (TITLE 21A)

PROJECT TEAM

OWNER
SCOTT & JENNIFER HUNTSMAN
1739 MOHAWK WAY
SALT LAKE CITY, UT 84108

CONTRACTOR
CONTACT: CHRIS NIELSON
EVERGREEN CONSTRUCTION
571 EAST 600 SOUTH
SALT LAKE CITY, UT 84102

STRUCTURAL
MJ STRUCTURAL ENGINEERING
CONTACT: MATT JACKSON
PHONE: (801) 905-1097
5673 S. REDWOOD ROAD, #22
SALT LAKE CITY, UT 84123

SHEET INDEX

GENERAL INFORMATION

G1	COVER SHEET
G2	NOTES

SITE DRAWINGS

SD100	SITE PLAN
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A202	BUILDING ELEVATIONS
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A303	FIRST FLOOR GAS PLAN
A304	SECOND FLOOR GAS PLAN
A305	DOOR AND WINDOW SCHEDULES
A601	WALL TYPES

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E1	FIRST FLOOR ELECTRICAL PLAN
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S601	FLOOR FRAMING DETAILS
S701	ROOF FRAMING DETAILS

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SCOTT & JENNIFER HUNTSMAN HOME
333 Federal Heights Circle
Salt Lake City, UT 84103

Date	
Description	
No.	
Date	8/5/2020
Project number	54-HUNT
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Sheet Name	
COVER SHEET	
G1	

GENERAL CONSTRUCTION

1. This plan shall be designed and reviewed under 2015 IRC.
2. The contractor shall be responsible for obtaining all permits required for construction by the permitting authorities having jurisdiction.
3. The contractor shall carefully read, study, and understand all plans and specifications for trades. Coordination between trades will be necessary and the responsibility of the contractor, any questions that arise shall be clarified by the architect prior to construction.
4. Drawings are not to be scaled. Dimensional discrepancies are to be clarified with the architect before proceeding with construction.
5. The contractor shall verify existing power, water, data cable and other utilities prior to excavation. Contact blue-stakes or authorities having jurisdiction prior to any excavation. 208-2100
6. The contractor shall notify the designer of discrepancies in the documents, and of any field conditions that deviate from the documents.
7. The architects approval must be obtained for any deviations from the construction documents, including but not limited to changes in dimensions, design, materials, products, and finishes. In no case may the contractor make these changes without the approval of the architect.
8. Shop drawings and other submittals are to be submitted for approval by the architect with sufficient time for review prior to execution of work. Submittals must conform to the requirements indicated on construction documents, structural notes, and specifications.
9. See door and window schedule for sizes, types, and finishes.
10. All construction shall conform to and strictly comply with all applicable codes, covenants, restrictions, and Weber County building standards.
11. In no event shall the contractor substitute a standard construction detail for a detail specified in these documents. The contractor shall bring all work into conformity with the construction documents, as the designer orders, before approval of that construction will be granted.
12. The contractor is to verify all dimensions, datum & levels prior to construction. Exterior walls are dimensioned from face of exterior wall sheathing or face of concrete unless otherwise noted. Exterior wall studs at heated spaces shall be 2x6 except as noted. All other wall studs shall be 2x4 except where noted otherwise on construction documents.
13. Glazing in locations subject to human impact such as panes in doors, glazing within 12" of door opening, glazing within 18" of floor, and shower doors shall be tempered or laminated safety glass as per 2015 IRC.
14. Provide and install smoke detectors as per 2015 IRC.
15. Provide attic access, minimum 22" x 30" with minimum 30" headroom at unobstructed readily accessible opening as per 2015 IRC.
16. Building shall comply with Utah State Energy Code. The contractor is to seal and caulk all cracks to prevent air infiltration. The contractor shall insulate the walls to R-20+5 or equivalent, ceilings to R-49, and floors over unheated spaces to R-30 unless otherwise noted.
17. These drawings are the exclusive property of Lloyd Architects and may be reproduced only with the written permission of the architect. Authorized reproductions must bear the name of the architect.
18. Fireplaces shall conform to 2015 IRC. UL listing on fireplaces are as follows: Wood burning units, UL#MH5850 Enclosed gas units; ICBO #4030
19. SITE PLAN & GRADING: remove stumps, shrubs and clear and grub site near house as indicated on site plans including legal off-site disposal of all debris and unusable fill. Scrape topsoil layer before excavation and place onsite for finish landscape use. Excavate, trench, and backfill as required for footings, foundations, slabs, utility lines, mechanical, electrical and other work below grade required to complete the project. Maintain excavation free of water and provide an adequate system for the handling and removal of surface water.
20. Contact the Utah Division of Air Quality on all remodel projects: 536-4000

FOUNDATION

1. GEOTECHNICAL: SOIL BEARING: Assume 1500 psf soil load pressure per R401.4. CONCRETE: See structural for concrete.
2. CONCRETE FOOTING SIZES AND DEPTH: see footing schedule on structural sheets (minimum footing size 9" by 20", minimum depth 30" below grade). MINIMUM REBAR: see structural sheets for minimum reinforcing requirements.
3. ANCHOR BOLTS TO FOUNDATION: minimum 7" embedment per R403.1.6 (maximum spacing allowed by code is 32" O.C.)
4. CONCRETE FOUNDATION WALLS: see structural drawings for size and reinforcing.
5. HEIGHT ABOVE FINISHED GRADE: concrete foundation wall to be 6" minimum above finish grade. Use treated sill plate where required.
6. FOUNDATION WALL DAMP-PROOFING AND FOUNDATION DRAIN: bituminous coating or equal to be applied on basement walls per R406. Foundation drain to be installed by new footings per R405.
7. PLATE WASHERS: All plate washers to be 3"x3"x.227" (1/4") square slotted plate per R602.11.1
8. WINDOW WELLS AND LADDERS: 9 sq ft min area, 36 inches out from window, if deeper than 44 inches affix a ladder.

CONSTRUCTION

1. EMERGENCY ESCAPE AND RESCUE OPENINGS: 44 inches max above floor, in every sleeping room, 5.7 sq ft or 5 sq ft if within 44 inches of grade, 20 inch min width, 24 inch min height.
2. EXIT DOORS AND HALLWAYS: one 3'-0" x 6'-8" door required, 36 inch min. width in hallways.
3. LANDINGS AT DOORS AND STAIRWAYS: 36" min. out from door and door width minimum.
4. RAMPS, SLOPES AND RAILS: maximum slope 1 in 8, railing required on ramps over 1 in 12 slope.
5. STAIRWAYS: 36" width minimum, TREADS AND RISERS: 8" rise and 9" tread minimum, HEADROOM: 6'- 8" minimum, UNDER STAIR PROTECTION: 1/2" GWB, HANDRAILS: required with (2) or more risers, 34" to 38" in height and 1 1/4 to 2 5/8" in diameter if circular.
6. GUARDRAILS (GUARDS): required at floors over 30" above grade, 36" min. height, a 4" sphere shall not pass through with design as to eliminate ladder effect.
7. LUMBER PROTECTION AGAINST DECAY: 18" minimum to grade under floor joists, 12" minimum to grade under floor girders. Provide treated plate on concrete slab less than 8" above exposed ground and framing and siding less than 6" from the ground. All lumber in contact with concrete, earth, or within 18" of finish grade shall be pressure treated. Pressure treat above ground items with water-borne preservatives complying with AWPB LP-2. Wood members in contact with ground shall be pressure treated with water-borne preservative complying AWPB LP-22.
8. WOOD COLUMNS: required to be 1" above the floor or finish grade, See structural for connection to foundation or slab.
9. MINIMUM AREA DIMENSIONS AND HEIGHTS: see all plan sheets for room sizes. All room minimums shall be: (1) 120 sf room, 70 sf bedrooms, 50 sf kitchen, 7 foot min. heights, sloping to 5 feet min. 3 foot min. passageways in kitchens
10. INTERIOR MOISTURE VAPOR RETARDERS: on "warm-in-winter" side of wall.

WALL CONSTRUCTION

1. INTERIOR WALL COVERINGS: 5/8" GWB. Green Gyp. board to be limited to R702.3.8.1 for no direct contact to moisture.
2. INTERIOR WALL COVERINGS 5/8" cement backer board shall be used at all shower and wet wall locations or approved equal.
3. EXTERIOR WALL COVERINGS AND WEATHER BARRIERS: 15# felt paper or approved equal.
4. STRUCTURAL COLUMNS: see structural sheets for all column sizes and locations.
5. MID-HEIGHT BRIDGING: in unfinished walls
6. BRACED WALL LINES AND PANELS: see structural notes. Minimum requirement are to provide within 12'-6" of wall corner, at 4'-0" in length for plywood w/ nailing @ 6" O.C. @ edges and 12" O.C. in field, at 8'-0" for GWB w/ screws @ 7" O.C. @ edges and field.
- DOORS AND WINDOWS
7. HABITABLE ROOMS AND BATHROOMS: 8% of area in glazing, 4% in openings, and 3 sf window in bedrooms or bathrooms to have exhaust fan per IRC 303.3
8. GARAGE SEPARATION FROM DWELLING: 1 hour separation. Walls shall have 1/2" GWB on walls and attic. If garage is below habitable rooms the ceiling shall have 5/8" type "X" GWB. Door shall have a 20 min. fire-resistance rating and shall be self-closing.

FLOOR CONSTRUCTION

1. FLOOR JOISTS: double joists under bearing partitions and blocking shall be installed at bearing walls.
2. DRAFT-STOPPING: shall be installed in all concealed spaces over 1,000 sq ft.
3. FIREBLOCKING: shall be installed in all concealed spaces at 10'-0" O.C.
4. SUBFLOOR SHEATHING: see structural sheets for all floor sheathing.
5. FLOOR JOISTS SUPPORTING BEARING PARTITIONS OFFSETS: offset minimum floor joist depth.
6. EXPOSED LAMINATED TIMBERS: ATIC Rated Architectural grade
Glu-laminated Timbers: See structural sheets for sizes and locations, not applicable

ROOF CONSTRUCTION

1. **ROOF FRAMING:** see structural sheets pre-engineered truss type and layout. Submit shop drawings to architect/engineer for approval.
2. **ATTIC VENTILATION:** Provide a 1 to 150 sq.ft. (or 1 to 300 if 50% is in soffit and 50-80% located more than 3'0" above soffits) of the attic area in ventilation. Provide insulation baffles to insure air flow through space. Cut or drill holes in truss blocking for vent air passage from soffit vents.
3. **ROOF SLOPES and DRAINAGE:** felt paper, 1/4" per foot minimum. provide "ice and water shield" at all valleys U.N.O.
4. **ICE DAM PROTECTION:** "ice and water shield" at eaves to 36" inside the wall plane of the building
5. **CHIMNEY TERMINATION:** chimney for fire burning fireplace shall be 2'-0" higher than any portion of building within 10'-0", 3'-0" tall minimum.
6. **GREEN ROOF:** Contractor to follow installation instruction for Carlisle Shallow, Ultra-extensive, roof garden system.

MASONRY

1. MASONRY VENEERS, AND TIES: see structural sheets, provide minimum brick ties at 16 inches on center in either direction, with horizontal 9 gage wire mechanically attached to ties (if applicable)
 2. LINTELS: see structural drawings for lintel sizes and locations.
- SHEARWALLS & HOLDDOWN SCHEDULE: see structural sheets.

MECHANICAL

1. GAS FIREPLACE: ICBO #4030 on typical gas unit
2. FIREPLACE HEARTH: Extend 20" min. from front of firebox and 12" min. extension on both sides.
3. RES-CHECK: 2015 IECC See attached REScheck report.
4. CENTRAL FURNACE, CLEARANCE, ACCESS, PLATFORM, LIGHT: provide 3" side and rear of platform, space is 12 inches wider than furnace, 6 inches in front if door or 30 inches in front, 30 x 30 inch access platform with light for servicing
5. BTU SIZES OF WATER HEATERS, FURNACES: see mechanical drawings for all mechanical sizing.
6. COMBUSTION AIR: provide duct or opening within 12 inches of ceiling and size of 1 sq inch for every 3000 btu/h.
7. ELEVATION OF COMBUSTION SOURCE OF APPLIANCES: see floor plans for floor heights.
8. APPLIANCE PROTECTION FROM IMPACT: Appliances shall be installed per IRC 1307 with approved barriers or if ignition is present 18" above the floor.
9. CONDENSATE DISPOSAL: provide an indirect drain, secondary condensate if located in attic or on wood floor (to be trap seal primer type)
10. GAS LINE SCHEMATIC: See mechanical sheets.

- 11. WATER HEATERS, LOCATIONS, EXPANSION TANKS, AND PRESSURE RELIEF VALVES:** can not be located in closets, bedrooms, or bathrooms. If located within sealed enclosures provide combustion air vent. Direct-vent water heaters are okay. Provide and install high-efficiency radiant hydronic heat system including connection of hot water storage tank, gas hot water heaters and piping from the hot water tank to all fixtures as indicated in drawings. Installation shall conform to all local codes, ordinances and regulations pertaining to this work. Manifold and thermostat locations to be approved by the Architect. Provide trap seal primer type drain at water heaters.

12. WATER HEATER ANCHORAGE, FLOOR DRAIN, AND PANS FOR DRAINAGE: provide seismic strap to top third and bottom third of water heater. Provide an indirect drain for water heaters. Provide pan for water heaters on wood floors.

13. CLOTHES DRYER EXHAUST: maximum 25'-0" to outside with 5'-0" reduction for 90 degree bends, see product recommended by requirements.

14. EXHAUST VENT TERMINATIONS: 4'-0" below or beside and 1'-0" above doors or windows, 12" above grade

15. SHOWER SIZE AND DOOR: 900 sq inches and 30" diameter, door swings outward

16. HEATING: new construction to have a gas fired forced air furnace with air conditioning condenser unit. Heating facility to maintain 68 degrees.

17. DUCT TESTING: Shall be required where air handlers, or more than 35% of the ductwork is outside of the thermal envelope.

18. OPEN COMBUSTION AIR DUCTS: Where open air ducts provide combustion air to open combustion fuel burning appliances, the duct and appliance shall be located outside of the building thermal envelope or enclosed and isolated from the thermal envelope. Such rooms shall be sealed and insulated per table N1102.1.2. The door into the room shall be fully gasket which could require changes to the door schedule, and any water lines and duct in the room insulated per N1103

19. MAKE-UP AIR: Where exhaust hood systems capable of exhausting in excess of 400 cfm, makeup air shall be provided at a rate equal to the exhaust air rate. Such makeup air systems shall be equipped with a means of closure and shall be automatically controlled to start and operate simultaneously with the exhaust system.

20. DUCT EXHAUST AND RUN LENGTH: See exhaust duct and duct opening table from section M1506 for reference.

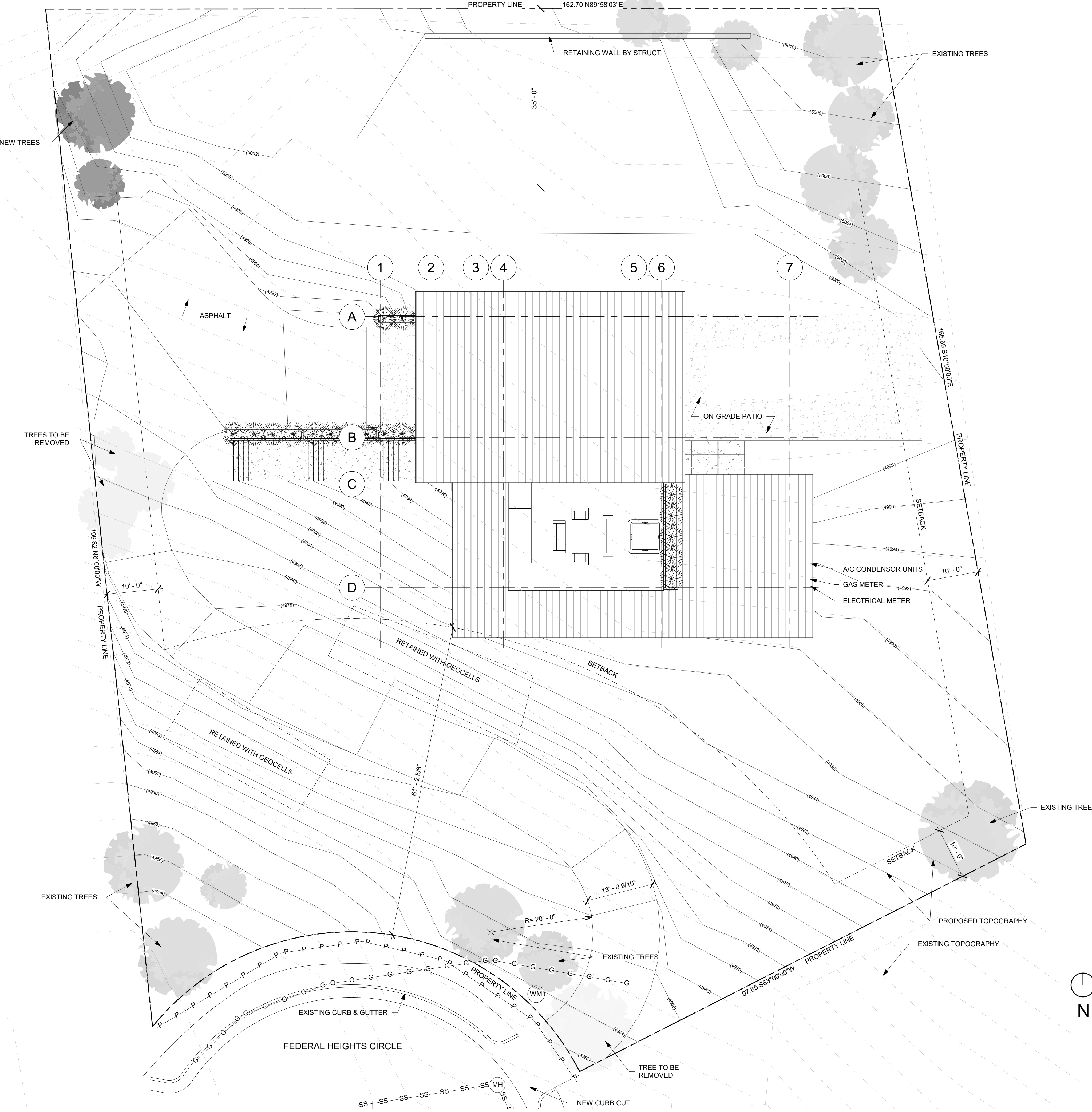
PLUMBING

1. WATER PIPING: Shall be pex.
2. VENT PIPING: shall be ABS.
3. HOSE CONNECTION BACKFLOW PREVENTER: provide at all exterior hose bib locations. Use frostproof type with vacuum breaker.
4. FLOOR DRAINS: Deep seal or Trap seal primer required in laundry or/and mechanical rooms per lbc 3201.2
5. WASTE INTERIOR TO BE ABS, WASTE INTERIOR UNDER SLAB AND EXTERIOR TO BE ABS.

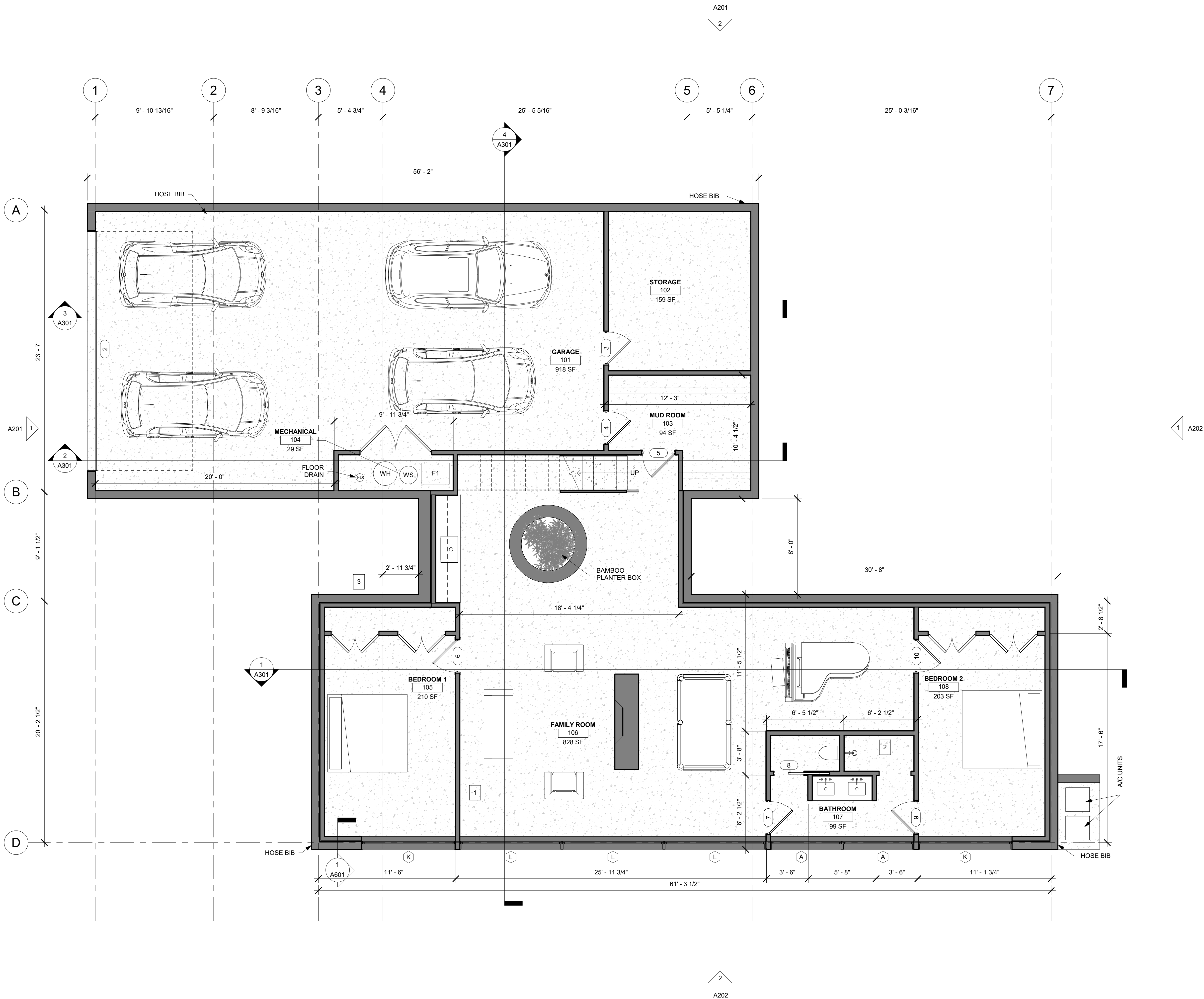
ELECTRICAL

1. WHIRLPOOL BATHTUB ACCESS PANEL: see plans for size and locations.
2. ELECTRICAL SERVICE PANEL LOCATION: shall not be located in bathrooms or firewalls, provide 30" clearance side to side and 36" clearance in front. Provide a minimum of 6'-6" in height.
3. RECEPTACLE OUTLETS: see electrical drawings for all outlet locations. Electrical sub-contractor to walk through project with owner to verify all electrical fixture locations prior to commencing work. Follow all local electrical codes.
4. ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION: provide in bedrooms.
5. GFCI PROTECTION: see electrical sheets for all locations. Provide in bathrooms and jetted tub motors, garage, outdoor, crawlspace, kitchen counters, kitchen islands, and wet-bar.
6. LIGHTING WALL SWITCHES: see electrical drawings for all switch locations. Electrical sub-contractor to walk through project with owner to verify all electrical fixture locations prior to commencing work. Follow all local electrical codes.
7. RECEPTACLES AND LIGHTING IN DAMP AND WET LOCATIONS: provide weatherproof covers for outlets, lighting to be listed for wet or damp locations.
8. LIGHT FIXTURES IN CLOSETS: incandescent fixtures 12" minimum to storage, fluorescent fixtures 6" minimum to storage
9. SUPPORT OF CEILING FANS: as per manufacturer's recommendations.
10. ELECTRICAL: all wiring to be in accordance with the National Electrical Code and applicable local codes. Locate main panel and meter where indicated on the Drawings. Provide underground power connection from source to main panel.80.
11. SMOKE DETECTORS: locate (1) inside each sleeping room, in corridors outside sleeping rooms, and on each level. All smoke detectors to be wired in series.
12. CO2 DETECTORS: Locate (1) on each level

FRONT SETBACK ANALYSIS	
ADDRESS	DIMENSION (FT.)
325 N. FEDERAL HEIGHTS CIR.	54.39
315 N. FEDERAL HEIGHTS CIR.	53
299 N. FEDERAL HEIGHTS CIR.	118.65
314 N. FEDERAL HEIGHTS CIR.	26.96
328 N. FEDERAL HEIGHTS CIR.	35.17
342 N. FEDERAL HEIGHTS CIR.	34.32
350 N. FEDERAL HEIGHTS CIR.	178.03
AVERAGE	71.5
Key Name	



SITE PLAN
SCALE: 1" = 10'-0"

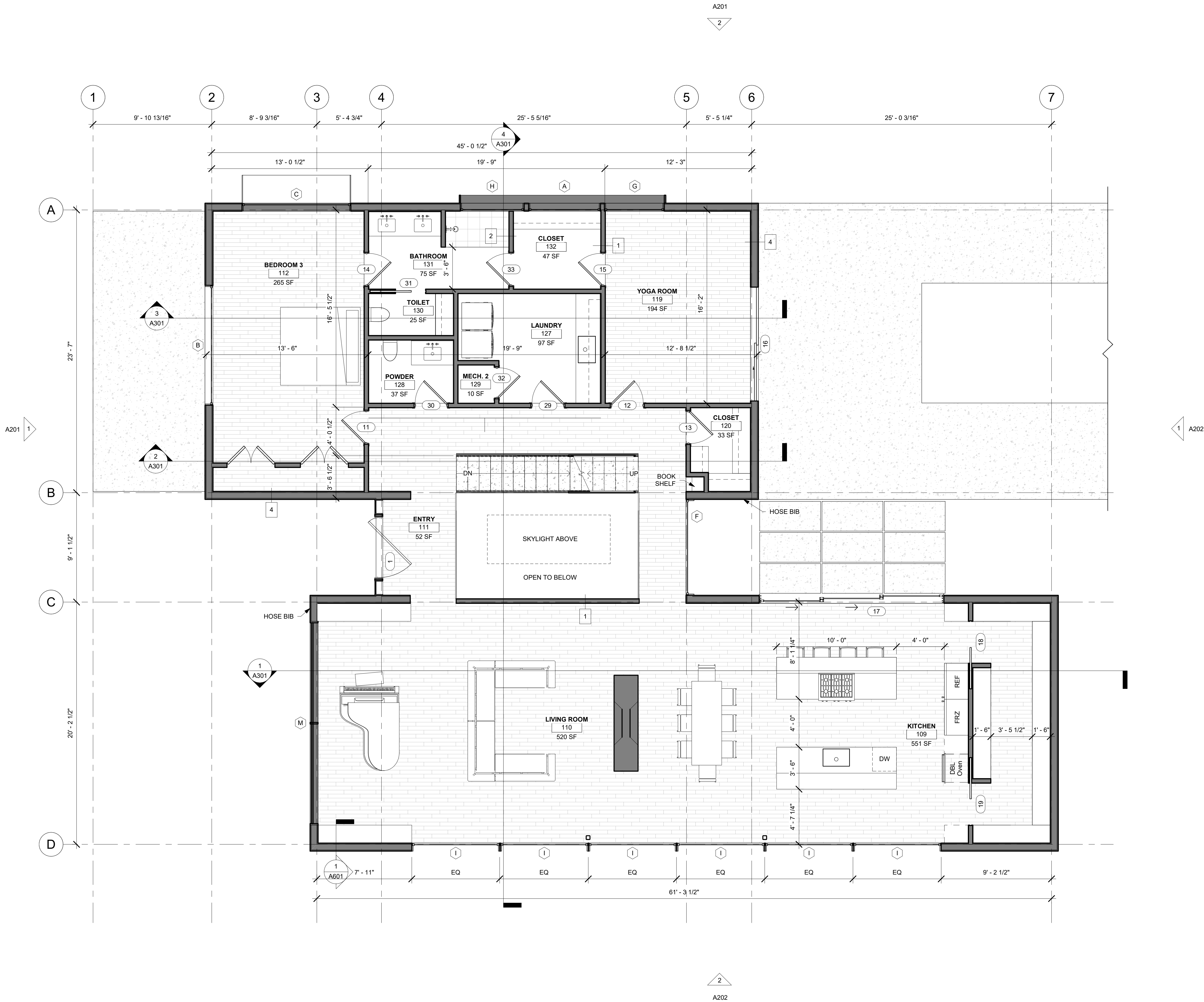


BASEMENT
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:
1. ALL EXTERIOR DIMENSIONS ARE TO THE MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE CENTERS. INTERIOR DIMENSIONS ARE TO THE STUDS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

INSPECTION NOTES:
1. PROVIDE SPECIAL INSPECTION, SPECIAL TESTING, REPORTING AND COMPLIANCE PROCEDURES ACCORDING TO THE LOCAL BUILDING CODE.
2. SPECIAL INSPECTOR QUALIFICATIONS: DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION IN QUESTION. PRIOR TO THE BEGINNING OF CONSTRUCTION, REVIEW THE SPECIAL INSPECTION REQUIREMENTS WITH THE ARCHITECT, ENGINEER, BUILDING OFFICIAL, GENERAL CONTRACTOR AND SPECIAL INSPECTORS. DUTIES OF THE SPECIAL INSPECTOR INCLUDE, BUT ARE NOT LIMITED TO:
A. OBSERVE THE WORK FOR CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS. BRING DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR BUILDING OFFICIAL.
B. FURNISH INSPECTION REPORTS FOR EACH INSPECTION TO THE BUILDING OFFICIAL, ARCHITECT, ENGINEER, GENERAL CONTRACTOR AND OWNER IN A TIMELY MANNER.
C. SUBMIT A FINAL REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS INSPECTED, AND WHETHER THE WORK IS IN CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS.

DUTIES OF THE CONTRACTOR INCLUDE, BUT ARE NOT LIMITED TO:
1. NOTIFY SPECIAL INSPECTOR THAT WORK IS READY FOR INSPECTION AT LEAST 24 HOURS BEFORE THE INSPECTION IS REQUIRED.
2. MAINTAIN ACCESS TO WORK REQUIRING SPECIAL INSPECTION UNTIL IT HAS BEEN OBSERVED AND INDICATED TO BE IN CONFORMANCE BY THE SPECIAL INSPECTOR AND APPROVED BY THE BUILDING OFFICIAL.
3. PROVIDE THE SPECIAL INSPECTOR WITH ACCESS TO APPROVED PERMIT DRAWINGS AND SPECIFICATIONS AT THE JOB SITE.
4. MAINTAIN JOB-SITE COPIES OF ALL REPORTS SUBMITTED BY THE SPECIAL INSPECTOR.



FLOOR PLAN NOTES:

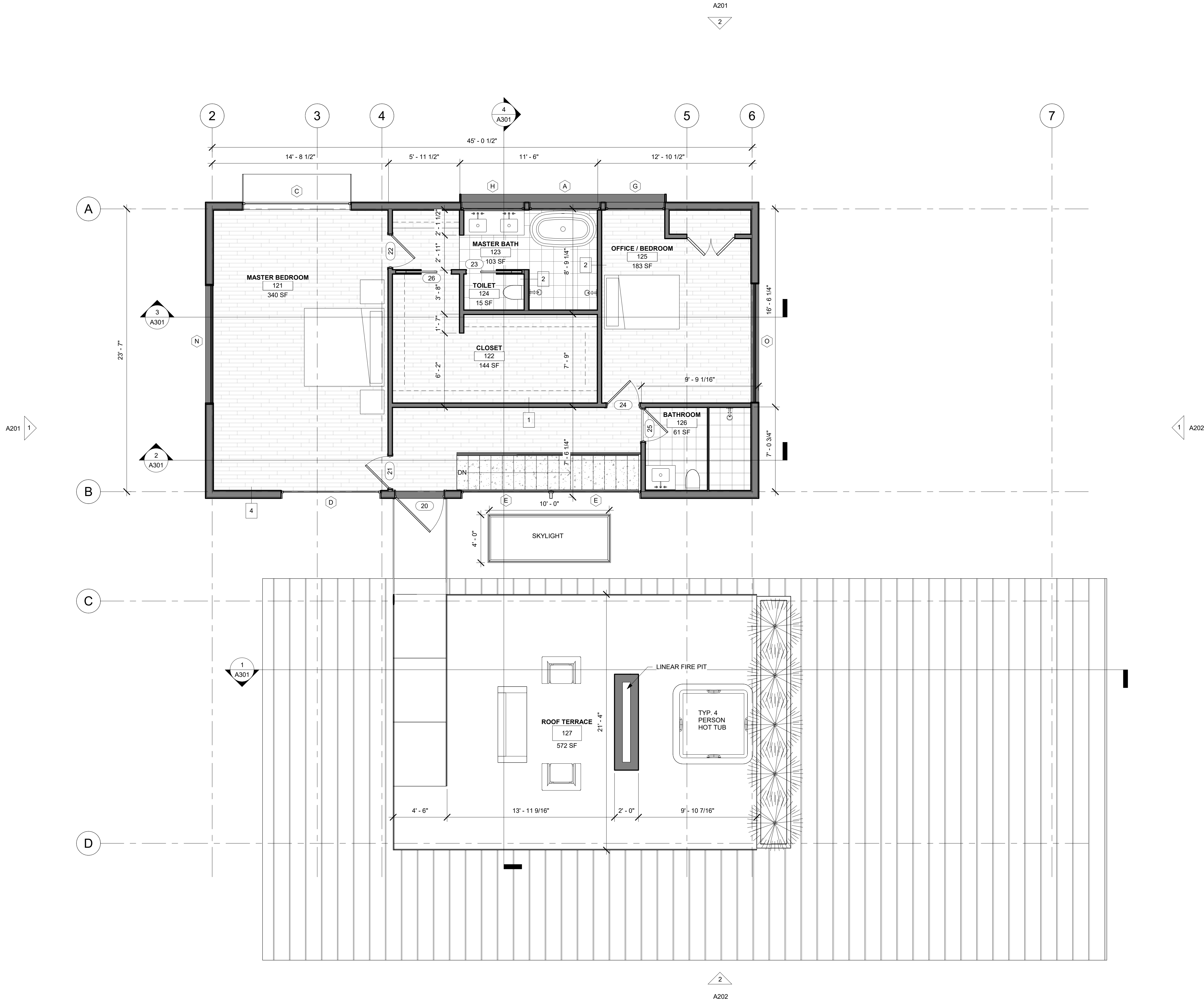
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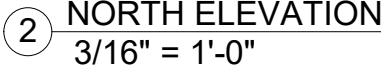
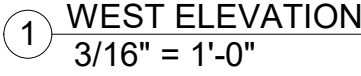


SECOND FLOOR
SCALE: 1/4" = 1'-0"

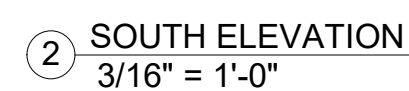
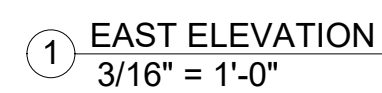
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A201



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SCOTT & JENKINS
333 Federal Heights Circle
Salt Lake City, UT 84103

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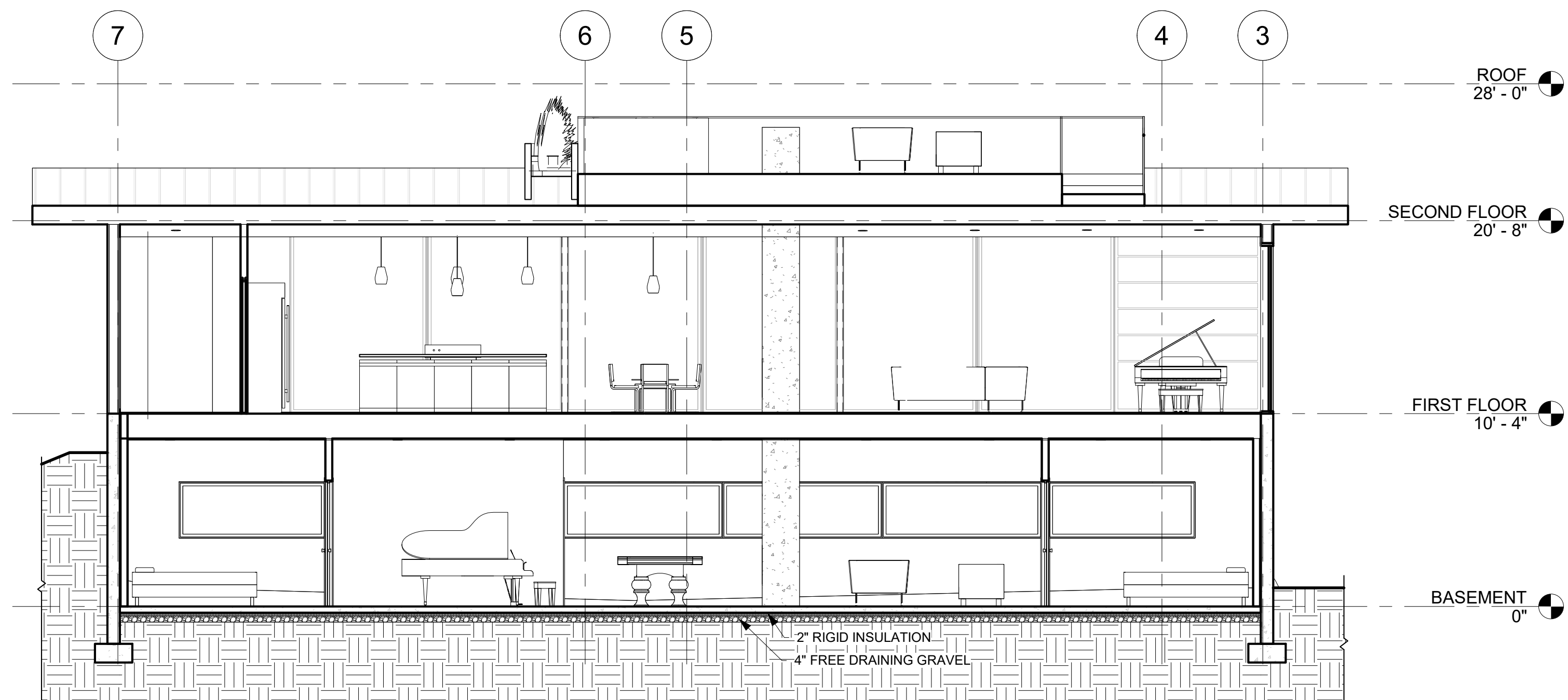
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BUILDING
ELEVATIONS

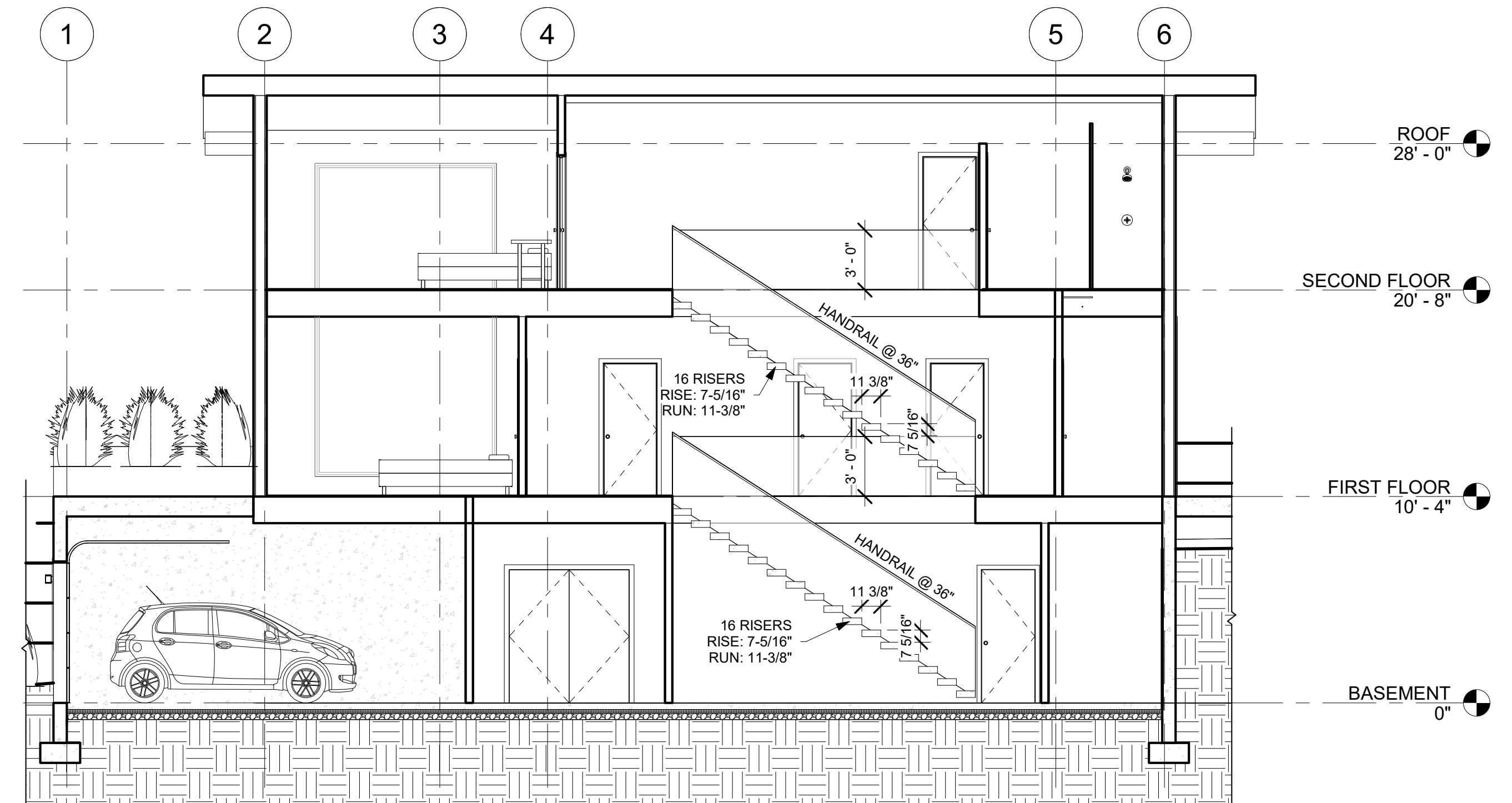
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NOTES

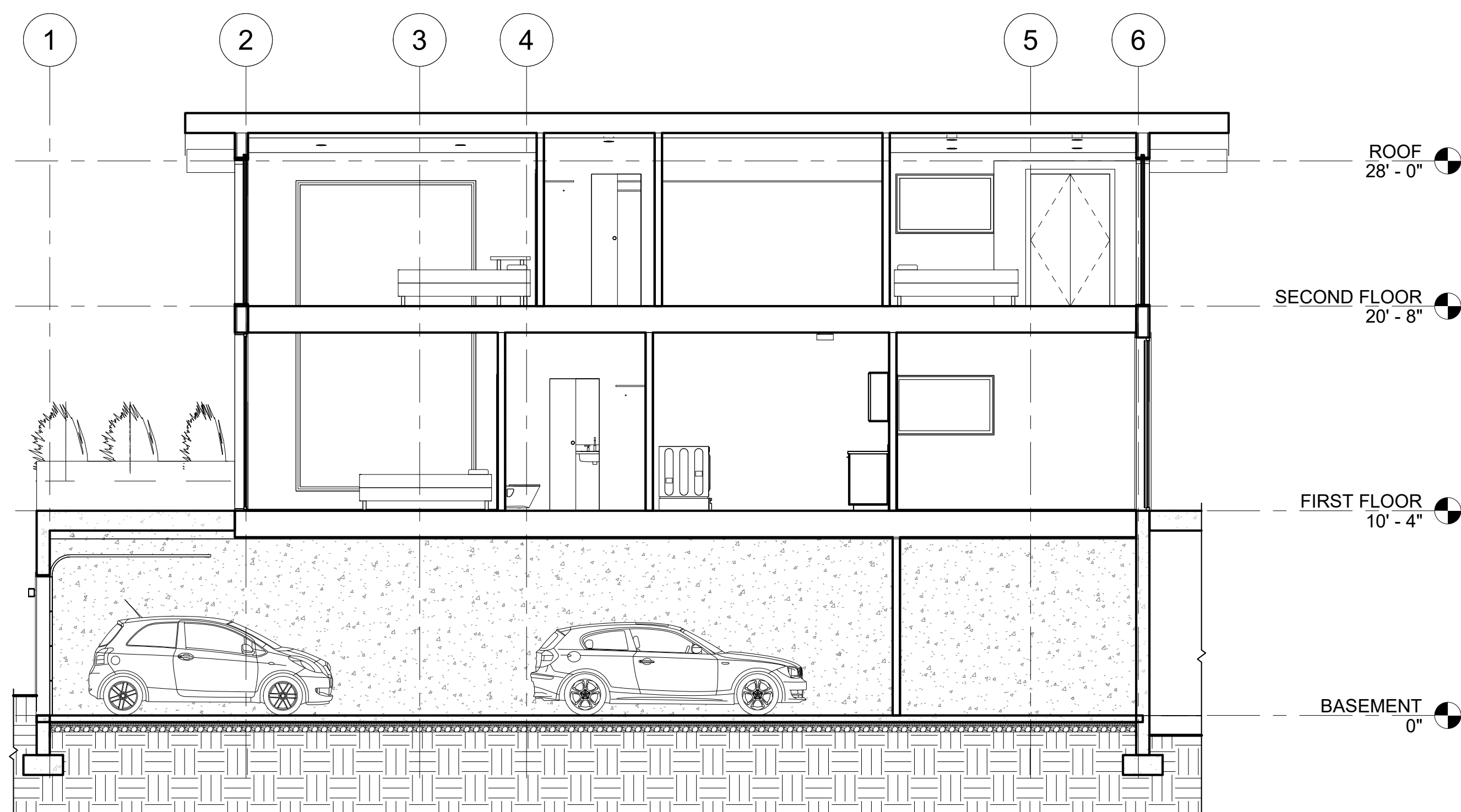
- a. **Exterior Building Colors:** The exterior of any building or structure shall blend with the natural materials and predominant colors and hues of the surrounding foothills. Colors permitted include grays, browns, greens, tans and other earth tones. White or bright colors shall be limited to window casings, doors, eaves and other trim areas.
- b. **Exterior Building Glass:** Windows and other glass surfaces shall have an outdoor visible light reflective value no more than eighteen percent (18%) as defined and measured by ASTM E308-90 or its successor.
- c. **Roof Materials and Colors:** Roof colors shall be earth tones. White, bright and reflective materials are prohibited for roofs. Tile, slate, architectural asphalt shingles and fire-retardant wood are permitted as roofing materials.
- d. **Mechanical Equipment:** Mechanical equipment including, without limitation, swamp coolers, air conditioning equipment, heat pumps, vents, blowers and fans shall be screened from view or painted to match the building color adjacent to the equipment. Roof mounted mechanical equipment, excluding solar panels which are subject to section 21A.40.190 <code>\\cedlbarly.amegal.com\\codes\\sallakecity\\latest\\sallakecity_ut\\0-0-68776#JD_Chapter21A.40.190</code> of this title, shall not extend above the highest roof ridge line.
- e. **Satellite Antennas:** In addition to the regulations contained in chapter 21A.40 <code>\\cedlbarly.amegal.com\\codes\\sallakecity\\latest\\sallakecity_ut\\0-0-68338#JD_Chapter21A.40</code> of this title, satellite antennas shall be painted nonreflective black or other dark earth tone colors.
- f. **Exterior Lighting:** Floodlighting of buildings and structures is prohibited. Exterior lighting shall be architecturally integrated decorative lighting. Yard areas may be lit only with "directional" lighting and no direct light beam may impact any other property, except for security lights intended to be activated only at limited times as necessary for immediate security.



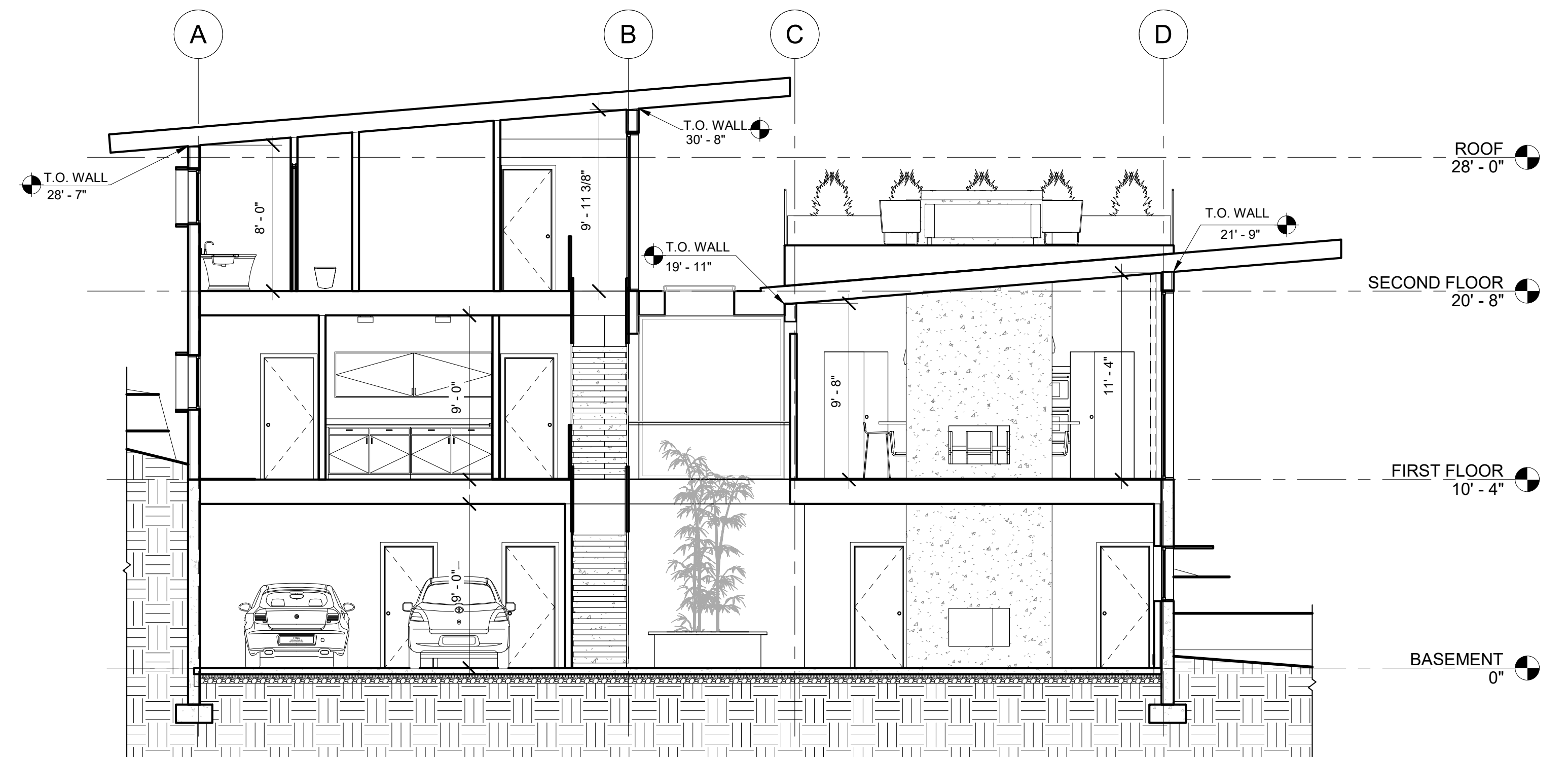
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3/16" = 1'-0"



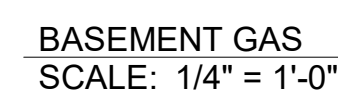
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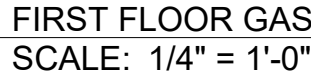


3 SECTION 3
3/16" = 1'-0"



4 SECTION 4
3/16" = 1'-0"

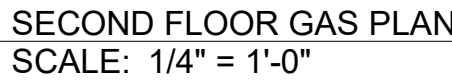




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Date	Description	No.
Date	8/5/2020	
Project number	54-HUNT	
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Sheet Name		
FIRST FLOOR GAS PLAN		
A303		



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SECOND FLOOR GAS PLAN

A304

A304

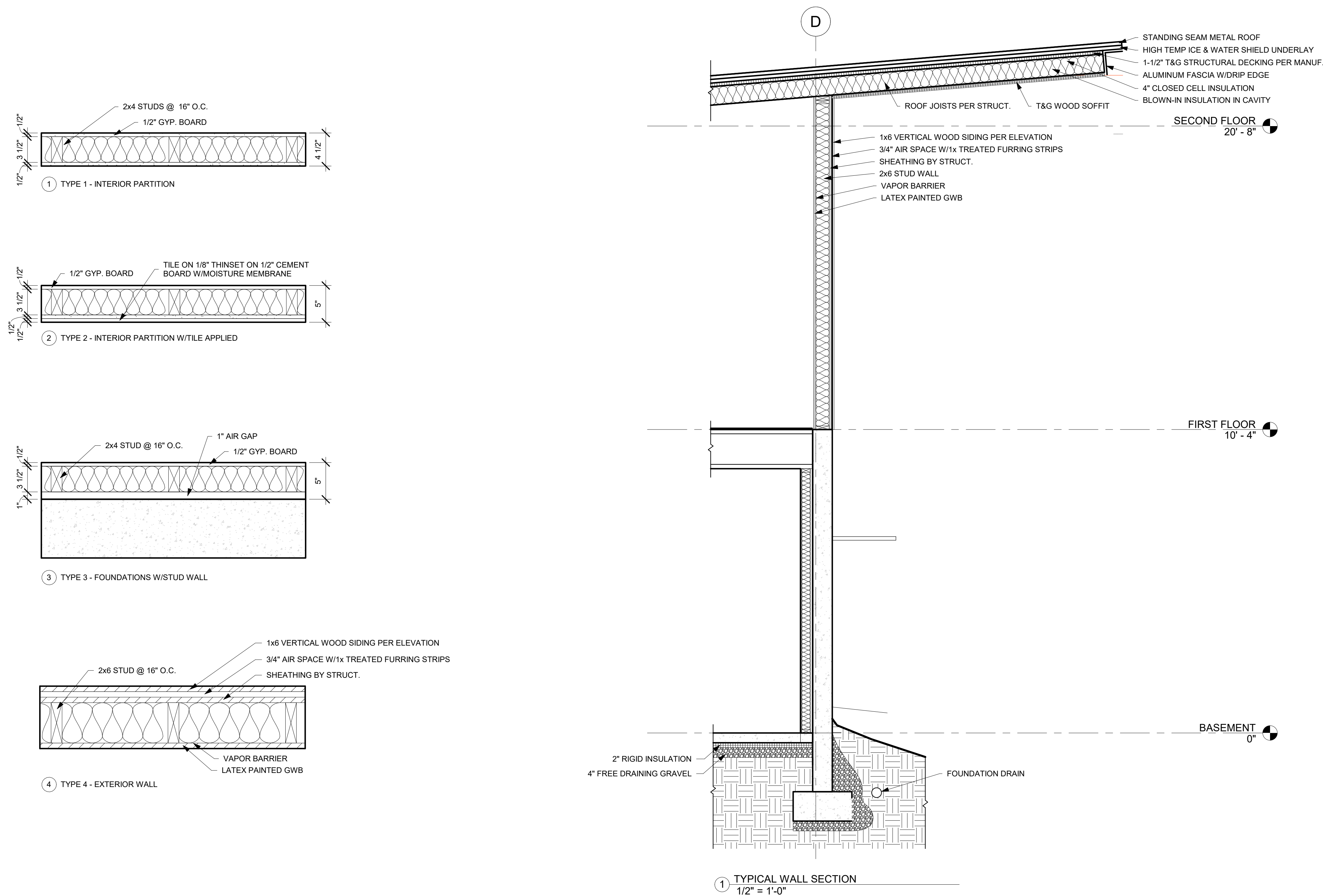
SCOTT & JENNIFER HUNTSMAN HOME
333 Federal Heights Circle
Salt Lake City, UT 84103

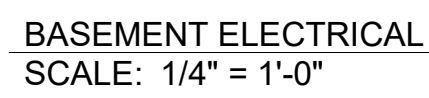
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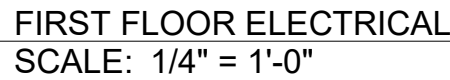
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WALL TYPES

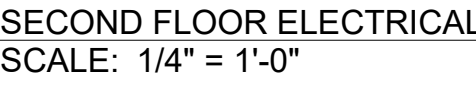
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Sheet Name

SECOND FLOOR ELECTRICAL PLAN

E2

ATTACHMENT B: SITE PHOTOGRAPHS



Photos of Subject Property



View from bottom of Federal Heights Circle



Home on Federal Heights Circle



Adjacent Property on Federal Heights Circle

ATTACHMENT C: FR-3/12,000 LOT AND BULK REQUIREMENTS

FR-3/12,000 Foothills Residential District

Purpose Statement: The purpose of the FR-3/12,000 Foothills Residential District is to promote environmentally sensitive and visually compatible development of lots not less than twelve thousand (12,000) square feet in size, suitable for foothills locations as indicated in the applicable community Master Plan. The district is intended to minimize flooding, erosion, and other environmental hazards; to protect the natural scenic character of the foothill areas by limiting development; to promote the safety and wellbeing of present and future residents of foothill areas; to protect wildlife habitat; and to ensure the efficient expenditure of public funds. The FR-3/12,000 Foothills Residential District is intended for application in most areas of foothills development existing as of April 12, 1995.

Standard	Finding	Proposed
Minimum Lot Area: 12,000 sq ft Minimum Lot Width: 80 ft	Complies	The subject lot is 31,363 square feet in size. The subject lot is 100 feet wide.
Maximum building Height: In the FR-2, FR-3 and FP Districts, the maximum building height shall be twenty-eight (28') measured from finished grade. The front and rear vertical building walls shall not exceed twenty five feet (25') measured from established grade. On a corner lot, roof gable ends which face onto either the front or corner side yard, but not both, are permitted to a height of twenty-eight feet (28').	Requires Special Exception Approval	The applicant is requesting additional building height. The requested height is approximately an additional 4' -9". The home is stepped with a front section and middle section. The additional height is for two sections of the roof overhangs. For additional information on this exception, refer to page 7 of the Staff Report.
Front Yard: The minimum depth of the front yard for all principal buildings shall be equal to the average of the front yards of existing buildings within the block face. Where there are no existing buildings within the block face, the minimum depth shall be twenty feet (20'). Where the minimum front yard is specified in the recorded subdivision plat., the requirement specified on the plat shall prevail. For buildings legally existing on April 12, 1995, the required front yard shall be no greater than the established setback line of the existing building.	Complies	The proposed front yard setback is 61'. The setback is larger than many of the homes in the circle, as there is one home that is has a setback of 178', which brings the average up to 71'. Without that home, the average is 53'.

Interior Side Yards: Ten feet (10')	Complies	The provided side yard setbacks are 10'.
Rear Yard: Thirty-five feet (35')	Complies	The provided rear yard will not encroach into the required 35'. The design is approximately 60' to the rear of the home.
Building Coverage: The surface coverage of all principal and accessory buildings shall not exceed thirty five percent (35%) of the lot area.	Complies	The proposed construction covers approximately 16% of the subject property.
Slope Restrictions: For lots subdivided after November 4, 1994, no building shall be constructed on any portion of the site that exceeds a thirty percent (30%) slope. All faces of buildings and structures shall be set back from any non- buildable area line, as shown on the plat if any, a minimum of ten feet (10') and an average of twenty feet (20').	NA	The lot was subdivided before 1994 and the plat does not reference development restrictions.
<p>Standards for Attached Garages:</p> <p>1. Width of an attached garage: The width of an attached garage facing the street may not exceed fifty percent (50%) of the width of the front façade of the house. The width of the garage is equal to the width of the garage door, or in the case of multiple garage doors, the sum of the widths of each garage door plus the width of any intervening wall elements between garage doors.</p> <p>2. Located behind or in line with the front line of the building: No attached garage shall be constructed forward of the front line of the building” (as defined in section 21A.62.040 of this title), unless:</p> <p>a. A new garage is constructed to replace an existing garage that is forward of the “front line of the building.” In this case, the new garage shall be constructed in the same location with the same dimensions as the garage being replaced;</p>	Complies	The proposed single-family structure includes an attached garage, which faces the side yard.

<p>b. At least sixty percent (60%) of the existing garages on the block face are located forward of the “front line of the building”, or</p> <p>c. The garage doors will face a corner side lot line.</p>		
<p>Grading Changes: No grading shall be permitted prior to the issuance of a building permit. The grade of any lot shall not be altered above or below established grade more than four feet (4’) at any point for the construction of any structure or improvement except:</p> <ul style="list-style-type: none"> a. Within the buildable area. Proposals to modify established grade more than six feet (6’) shall be reviewed as a special exception subject to the standards in chapter 21A.52 of this title. Grade change transition areas between a yard area and the buildable area shall be within the buildable area; b. Within the front, corner side, side and rear yard areas, proposal to modify established grade more than four feet (4’) shall be reviewed as a special exception subject to the standards found in Chapter 21A.52 of this title; and c. As necessary to construct driveway access from the street to the garage or parking area grade changes and/or retaining walls up to six feet (6’) from the established grade shall be reviewed as a special exception subject to the standards in 21A.52. 	<p>Requires Special Exception Approval</p>	<p>The proposed construction of the single-family residence includes grade changes beyond 6’ in areas of the buildable area. Additionally, the grade changes within the rear yard extend beyond 4’ in the areas specified on the submitted plans. For additional information on this requested exception, refer to page 4 of the Staff Report.</p>

ATTACHMENT D: SPECIAL EXCEPTION STANDARDS

21A.52.060: General Standards and Considerations for Special Exceptions:

No application for a special exception shall be approved unless the planning commission or the planning director determines that the proposed special exception is appropriate in the location proposed based upon its consideration of the general standards set forth below and, where applicable, the specific conditions for certain special exceptions.

Standard	Finding	Rationale
A. Compliance with Zoning Ordinance and District Purposes: The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.	Special Exception for Additional Height: Complies Special Exception for Grading: Complies	<p>The proposed Special Exceptions are generally in harmony with, and does not hinder, the overall intent of the zoning ordinance found in 21A.02.030.</p> <p><i>“The purpose of the FR-3/12,000 Foothills Residential District is to promote environmentally sensitive and visually compatible development of lots not less than twelve thousand (12,000) square feet in size, suitable for foothills locations as indicated in the applicable community Master Plan. The district is intended to minimize flooding, erosion, and other environmental hazards; to protect the natural scenic character of foothill areas by limiting development; to promote the safety and wellbeing of present and future residents of foothill areas; to protect wildlife habitat; and to ensure the efficient expenditure of public funds. The FR-3/12,000 Foothills Residential District is intended for application in most areas of foothills development existing as of April 12, 1995.”</i></p> <p>Staff finds that the proposed special exceptions comply with the purpose statement of the FR-3 zoning district. The proposed construction attempts minimal grading to achieve a development that is similar to what is found in the neighborhood. The proposed construction reduces extensive grading by requesting for additional height to achieve the three story single-family structure. The proposal aligns with the natural slope of the subject property while also allowing for reasonable development.</p> <p>Overall, the design, siting and orientation attempts to preserve the steepest part of the existing slope, while creating a buildable area for the proposal. Additionally, the proposed</p>

		<p>structure is visually compatible with the nearby development, as many of those properties were developed under previous versions of the ordinance, and appears to exceed the current height and grading restrictions.</p> <p>Staff finds that this standard has been met.</p>
<p>B. No Substantial Impairment of Property Value: The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.</p>	<p>Special Exception for Grading: Complies</p> <p>Special Exception for Additional Height: Complies</p>	<p>The subject property has been vacant since the Federal Heights Plat F Subdivision was platted in 1976, and is the last parcel to be developed in the circle. The project maintains the single family use typically found in the neighborhood. Staff has found no evidence indicating that the development would diminish or impair the property in the neighborhood.</p>
<p>C. No Undue Adverse Impact: The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.</p>	<p>Special Exception for Grading: Complies</p> <p>Special Exception for Additional Height: Complies</p>	<p>The property owners are requesting to construct a single family home on a parcel that is surrounded by other single family homes. If the Special Exception is granted, the height of the structure of the street facing elevation would not be taller than what would be permitted by code. Due to the way building height is calculated in the FR-3 Zoning District, and the design of the house in two wings, the visual impact will be similar to as if the exception was not granted.</p> <p>Additionally, the properties along the circle have significant slopes, which required substantial grading for development. The requests are not out of character for the area.</p> <p>Staff finds that the proposal would not have a material adverse effect upon the character of the area or the public health, safety and general welfare. This standard is met.</p>
<p>D. Compatible with Surrounding Development: The proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.</p>	<p>Special Exception for Grading: Complies</p> <p>Special Exception for</p>	<p>The applicants are requesting a special exception for additional building height and grading.</p> <p>From a street view perspective, the proposed structure maintains the appearance of a one-story structure. This is compatible with the majority of the surrounding development.</p>

	Additional Height: Complies	Additionally, the excess grading is at the rear of the lot and will be minimally visible. Staff finds that the project complies with this standard.
E. No Destruction Of Significant Features: The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.	Special Exception for Grading: Complies Special Exception for Additional Height: Complies	Staff finds that the property does contain several large, mature trees. The proposal attempts to maintain most of the large trees at the perimeter of the lot, maintaining the visual significance.
F. No Material Pollution of Environment: The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.	Special Exception for Grading: Complies Special Exception for Additional Height: Complies	There is no foreseen material pollution of the environment. This standard is met.
G. Compliance with Standards: The proposed use and development complies with all additional standards imposed on it pursuant to this chapter.	D Special Exception for Grading: Complies Special Exception for Additional Height: Complies	The table in the next attachment analyzes the proposal's compliance with the special exception standards for additional building height, which are specific to requests being made for developments within the Foothills Residential zones. Staff finds that the project is in compliance with all of those standards.

ATTACHMENT E: STANDARDS FOR ADDITIONAL HEIGHT

21A.24.P.2: Height Special Exception: The Planning Commission, as a special exception to the height regulations of the applicable district, may approve a permit to exceed the maximum building height but shall not have the authority to grant additional stories. To grant a height special exception the Planning Commission must find the proposed plan:

Standard	Finding	Rationale
a. Is a design better suited to the site than can be achieved by strict compliance to these regulations; and	Complies	In the submitted narrative, the applicant claims that the proposed structure and requested height minimizes the degree of slope disturbance on the property. If the height was lowered, the degree of grade changes would increase, as the building footprint would likely expand to fill the buildable area. Staff finds that the proposal complies with this standard, since the area of greatest height is on the rear wing of the structure and is intended to screen the garages from public view.
b. Satisfies the following criteria: (1) The topography of the lot presents difficulties for construction when the foothill height limitations are applied, (2) The structure has been designed for the topographic conditions existing on the particular lot, and (3) The impact of additional height on neighboring properties has been identified and reasonably mitigated.	(1) Complies (2) Complies (3) Complies	<p>In regard to topographical challenges, the subject property has a slope between 20 - 35%. The degree of existing grade poses difficulties for construction. The proposed structure is placed on the lesser degree of slope, so that the remaining existing topography is not disrupted. Additional difficulties arise, due to the direction of the slope and the limited wall height allowance for the front and rear vertical walls. The proposed design limits the degree of slope disturbance and maintains the wall height requirement by requesting the additional building height and grading.</p> <p>The requested additional height to accommodate the structure without increasing the degree of grade change. The tallest portion of the structure is located at the middle of the structure. The height will not be read as significantly taller than the permitted height of 28', due to the change from the existing to established grade on the lot. The grade slopes upward towards the south east. Additionally, the subject property abuts open space north of the lot. The applicant is also proposing to maintain most of the trees at the front of the property to provide a visual buffer. Staff finds that there is no impact to neighboring properties.</p>

<p>c. In making these considerations the Planning Commission can consider the size of the lot upon which the structure is proposed.</p>	<p>Complies</p>	<p>The subject property is approximately 31,363 square feet in size. The majority of the square footage of the lot includes slopes from 30%. The steepest area of slope is at the front of the parcel, which limits the area that can be reasonably developed toward the front portion of the lot. Due to the large lot size, the structure can be sited in the middle of the lot, rather than near the steepest portions near the street. The requested additional height reflects the established grade of the proposed area for development.</p>
<p>d. The burden of proof is upon the applicant to submit sufficient data to persuade the Planning Commission that the criteria have been satisfied.</p>	<p>Complies.</p>	<p>The difficulties of the existing slope directed the applicants to request the special exceptions to accommodate the development. The applicant has provided a slope analysis, as well as description of their design process to thoughtfully consider the context of the site. Staff believes that the applicant has met this burden of proof.</p>
<p>e. The Planning Commission may deny an application for a height special exception if: (1) The architectural plans submitted are designed for structures on level, or nearly level, ground, and the design is transposed to hillside lots requiring support foundations such that the structure exceeds the height limits of these regulations; (2) The additional height can be reduced by modifying the design of the structure through the use of stepping or terracing or by altering the placement of the structure on the lot; (3) The additional height will substantially impair the views from adjacent lots, and the impairment can be avoided by modification; or (4) The proposal is not in keeping with the character of the neighborhood.</p>	<p>Complies</p>	<ol style="list-style-type: none"> 1. The stepped design of the home and orientation minimized the requested exceptions. 2. This proposal illustrates a structure and placement to decrease the requested height exceptions to two minor areas of the structure. 3. Staff has not found that the height will impact or impair views from adjacent lots. This requested height will not differ visually from the permitted 28'. 4. The proposal is in keeping with the character of the neighborhood. As discussed above, the applicant submitted supporting photos of similar structures and heights in the neighborhood. The proposed single-family residence is in keeping with the existing character.

ATTACHMENT F: PUBLIC PROCESS AND COMMENTS

Public Process:

- Notice of Application mailed on August 26, 2020
 - Staff originally approved the Special Exception request for additional height administratively. Following that approval, Staff received one comment from an abutting property owner (attached) with concern regarding the proposed development and concern with the public comment period. After reviewing the public noticing process, Staff determined that due to delayed mail, the September windstorm, and corresponding power outages, the comment deadline should be extended. Staff then revoked the initial administrative approval due to the noticing errors described above, and the request was subsequently scheduled for a public hearing.
- Public hearing noticed mailed on October 2, 2020
- Public hearing notice posted on the City and State websites on October 2, 2020
- Public hearing sign posted on the property on October 2, 2020

From: [Roger Whitehouse](#)
To: [Zoning; Gilmore, Kristina](#)
Subject: (EXTERNAL) Appeal of administrative decision on Petition Number PLNPCM2020-00639
Date: Monday, September 14, 2020 12:29:12 PM
Attachments: [image005.png](#)
[image004.emz](#)
[image006.png](#)

Kristina/Planning Commission Members,

Sent via email to Kristina Gilmore (Kristina.gilmore@slcgov.com) and to general zoning email address of zoning@slcgov.com; also delivered in person to the Planning Division offices at 451 S. State Street Room 406, Salt Lake City, UT 84114-5480 and mailed to PO Box 145480, Salt Lake City, UT 84114-5480

I am appealing the petition for height exception (petition number PLNPCM2020-00639) for the property located at 333 N. Federal Heights Circle, Salt Lake City, UT 84103.

This appeal is submitted for three primary reasons; I can provide more if needed.

First, the change allowed by this exception would directly impact the view from my home, and lead to significant decrease in my property value.

- In reviewing the General Standards and Considerations for Special Exceptions (21A.52.060), point B highlights that “substantial impairment of property value” is a main determinant in *NOT* granting exceptions.
- My home sits directly east of the mentioned property. An increase of any height of the home on 333 N. Federal Heights Circle will have a direct impact on my property’s and home’s views.
- The requested exception is to a “rear wall” of the home—which is the portion of their home that will most impact my views. The requested 3’ 7” height exception represents a **14%** increase over the 25’ maximum permitted building height.
- A primary reason for the value of my home and for those in the surrounding area is the views we all have of the valley, downtown, the mountains, and the Great Salt Lake. This is the main reason I myself bought my home.
- I have enclosed photos showing the direct impact to my views.

Second, a lack of timely notification of the petition.

- The Notice itself states that “The Planning Director is required to provide a twelve (12) day public notice period prior to taking action on this application.”
- The postmarked date on the envelope in which the Notice was received is August 31, 2020. See the photo of that envelope on the following pages.
- Per the Citizen’s Access Portal information (screenshots on following pages), the item was marked as “Decision” on September 9th. This means that between when the notice was put in the mail by the Planning Division, and when the system was noted as “decided,” only 10 days—including the Labor Day weekend—elapsed. This does not even include any reasonable time between the initial postmark and the actual delivery of the notification.
- On Thursday, September 3rd, I received a Notice of Application in the mail.
- No publication of this has ever been noted on the Planning Commission’s website with proposed meeting agendas and minutes. See (<https://www.slc.gov/planning/public-meetings/planning-commission-agendas-minutes/>). See screenshot of the agenda for the meetings held on August 28th and September 11th—the two meetings closest in time to the marked “decision” on September 9th. The minutes from these same two meetings show no agenda item nor call for Public Hearing on the item.

Third, the ability of others in my neighborhood to react to this petition. Since receiving the notice, I have reached out to multiple neighbors who are likewise upset about the seeming decision. Many of them are also opposed to this height exception being granted, but have not had time to react. One of the neighbors who is just one house away from this property has never received the Notice. I will be working with my neighbors to better inform the Planning Commission about our concerns and desires.

Finally, I would ask that those considering this appeal also consider the entire purpose for height restrictions—which is to protect against encroachment of the views which we all share and cherish in our city. Particularly on the benches, where views become an increasingly important element in establishing property values, the height restrictions are one of the most important protections that the zoning ordinances provide. Exceptions for one lead to exceptions for many.

I request that this petition be put on the agenda for a Planning Commission meeting, and that the Public be able to provide input at that time.

Please let me know if I can provide any further information, and what the next steps will be.


I can be reached in the following ways:

- 1. Via phone: [REDACTED]
- 2. Via email: [REDACTED]
- 3. Via mail: [REDACTED]

Thank you for your consideration,

Roger F Whitehouse II

Postmarked envelope which included the Notification:



Citizen Access Portal

AnnouncementsRegister for an AccountReceipts/Requests

Search

HomeBuildingBusiness LicenseCivil EnforcementEngineeringEventsFireFix the BricksPlanningProperty Managementmore

Check/Research Petitions

Record PLNPCM2020-00639:
Planning Commission - Special Exception
Record Status: Closed

Record Info

Payments

Work Location
333 N FEDERAL HEIGHTS Cir
Salt Lake City UT 841034440

Record Details

Applicant: Scott Huntsman HUNTSMAN, SCOTT, JT HUNTSMAN, JENNIFER, JT 333 N FEDERAL HEIGHTS CIR SALT LAKE CITY, UT, 841034440 Phone8018919840 scotthuntsman@martindoor.com	Project Description: Height Exception	Owner: HUNTSMAN, SCOTT, JT HUNTSMAN, JENNIFER, JT 333 N FEDERAL HEIGHTS CIR SALT LAKE CITY UT 841034440
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4:36 PM Sat Sep 12 citizenportal.slcgov.com 77%

Record PLNPCM2020-00639:
Planning Commission - Special Exception
Record Status: Closed

Record Info Payments

Processing Status

- Pre-Screen
- Staff Assignment
 - Transportation Staff Review
 - Sustainability Review
 - Public Utility Review
 - Engineering Review
 - Fire Code Review
 - Police Review
- Planning Staff Review
- Zoning Review
- Building Review
- Staff Report
- Administrative Decision
 - Due on 09/09/2020, assigned to Kristina Gilmore
Marked as Decision on 09/09/2020 by Kristina Gilmore
- Findings
 - Due on 09/09/2020, assigned to Kristina Gilmore
Marked as Findings Recorded on 09/09/2020 by Kristina Gilmore
 - Due on 09/09/2020, assigned to Kristina Gilmore
Marked as Findings Recorded on 09/09/2020 by Kristina Gilmore
Comment: approved

From Planning Commission meeting Agendas:

slc.gov/planning/public-meetings/planning-commission-agendas-minutes/2019-planning-commission-meeting-records/

	Oct 9 Agenda	<ul style="list-style-type: none"> Edison House Conditional Use at 335 South 200 West <ul style="list-style-type: none"> Motion Sheet Conditional Use for a Fuel Station at approximately 938 North 900 West <ul style="list-style-type: none"> Motion Sheet Denver Street Planned Development <ul style="list-style-type: none"> Motion Sheet 	October 9 ROD	Minutes
	Sept 25 Agenda	<ul style="list-style-type: none"> Hopkins Estate Planned Development <ul style="list-style-type: none"> Motion Sheet Text Amendments to the RMF-30 Low Density Multi-Family Residential District <ul style="list-style-type: none"> Motion Sheet HAND Consolidated Master Plan briefing – NOT A PUBLIC HEARING Off-Street Parking Chapter Ordinance Revision – Work Session Only 	September 25 ROD	Minutes
	Sept 11 Agenda	<ul style="list-style-type: none"> Ninth West Townhome Planned Development Time Extension Request – NOT A PUBLIC HEARING AT&T Wireless Communication Facility Conditional Use <ul style="list-style-type: none"> Motion Sheet Design Review at approximately 1465 South 700 East <ul style="list-style-type: none"> Motion Sheet Carrigan Canyon PD Lot 5 Setback modification at approximately 3116 Carrigan Canyon Drive <ul style="list-style-type: none"> Motion Sheet Off-Street Parking Chapter Ordinance Revision – Work Session Only 	September 11 ROD	Minutes
	Aug 28 Agenda (amended)	<ul style="list-style-type: none"> Maplewood Addition Street Closure and Subdivision Amendment at approximately 6780 W North Temple – POSTPONED Zoning Map Amendment at approximately 1790 W Associated Ave <ul style="list-style-type: none"> Motion Sheet Zoning Map Amendment at approximately 2064 N 2200 W and 2066 N 2000 W <ul style="list-style-type: none"> Motion Sheet Salt Lake City Water Reclamation Facility Conditional Use for a New Sewage Treatment Plant at approximately 1365 W 2300 N <ul style="list-style-type: none"> Motion Sheet 	August 28 ROD	Minutes

Roger Whitehouse
President, Primus Healthcare Consulting
350 N Federal Heights Circle
Salt Lake City, UT 84103

[REDACTED]
[REDACTED]