



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Chris Earl, Associate Planner, christopher.earl@slcgov.com, 801-535-7932

Date: July 29, 2020

Re: Detached Accessory Dwelling Unit – Conditional Use (PLNPCM2020-00429)

Conditional Use

PROPERTY ADDRESS: 1072 S Jeremy Street
PARCEL IDS: 15-11-404-012-0000
MASTER PLAN: Westside - Neighborhood
ZONING DISTRICT: R-1/5,000 Single-Family Residential

REQUEST: Andrea Palmer with Modal, representing the property owner, is seeking Conditional Use approval for an Accessory Dwelling Unit (ADU) in a detached structure at approximately 1072 S Jeremy Street in the R-1/5,000 Single-Family Residential zoning district. The ADU will be located in the southwest corner of the rear yard of the subject property. The ADU will measure approximately 425 square feet and will measure a height of approximately 12 feet.

RECOMMENDATION: Based on the information in this staff report, Staff recommends that the Planning Commission approve the Conditional Use request as proposed, and subject to complying with the following conditions:

1. Compliance with all Department/Division comments and conditions as noted in [Attachment H](#).
2. The property owner shall comply with the registration process as outlined in section 21A.40.200F of the Salt Lake City Zoning Ordinance.
3. Rental dwellings must be rented for a period of one month or longer as outlined in chapter 5.14 of the Salt Lake City Rental Dwellings Ordinance. Short term rentals of a period less than one month shall not be permitted.
4. Final approval for the development shall be delegated to Planning staff based on the applicant's compliance with the standards and conditions of approval as noted within this staff report.

ATTACHMENTS:

- A. [Vicinity Map](#)
- B. [Plans](#)
- C. [Additional Applicant Information](#)
- D. [Site Visit Photographs](#)
- E. [Analysis of Standards - Accessory Dwelling Units](#)
- F. [Analysis of Standards – Conditional Use](#)
- G. [Public Process and Comments](#)
- H. [Department Review Comments](#)

PROJECT DESCRIPTION:

This proposal is for the construction of a detached accessory dwelling unit (ADU) located in the rear, southwest corner of the property at approximately 1072 S Jeremy Street. The ADU will be approximately 425 square feet in area with a living room, bedroom, and bathroom all on the same floor. It features a flat roof and is approximately 12 feet in height.

The primary exterior building material is cement board painted white with vertical cedar accents. A sliding entrance door and window will be located on the front of the ADU facing the east property line and the primary dwelling unit. A smaller horizontally oriented clerestory window will be located on the north side of the ADU facing the northern property line.

The ADU itself sits 5 feet from the rear (west) property line, 5 feet from the side (south) property line, and 23 feet 2 inches from the side (north) property line. Single-family homes are located to the north, south, and west of the subject property. The property to the west is separated by an alley.

The parking for the existing house is accommodated by two (2) off-street parking spaces within an existing detached garage with driveway access from Jeremy Street. A legal off-street parking space for the ADU will be provided on the existing driveway. Legal on-street parking is available along Jeremy Street. The subject property is also located within one-quarter (1/4) mile of a transit stop, with the nearest bus stop located at approximately 900 W Fremont Avenue.

PLANNING COMMISSION REVIEW:

The property is zoned R-1/5,000 Single-Family Residential. A Conditional Use approval is required for any ADUs that are located in a single-family zoning district. For complete analysis and findings for compliance with zoning standards for Accessory Dwelling Units and Conditional Use standards, please refer to [Attachment E](#) and [Attachment F](#).

NEXT STEPS:***Approval of Conditional Use***

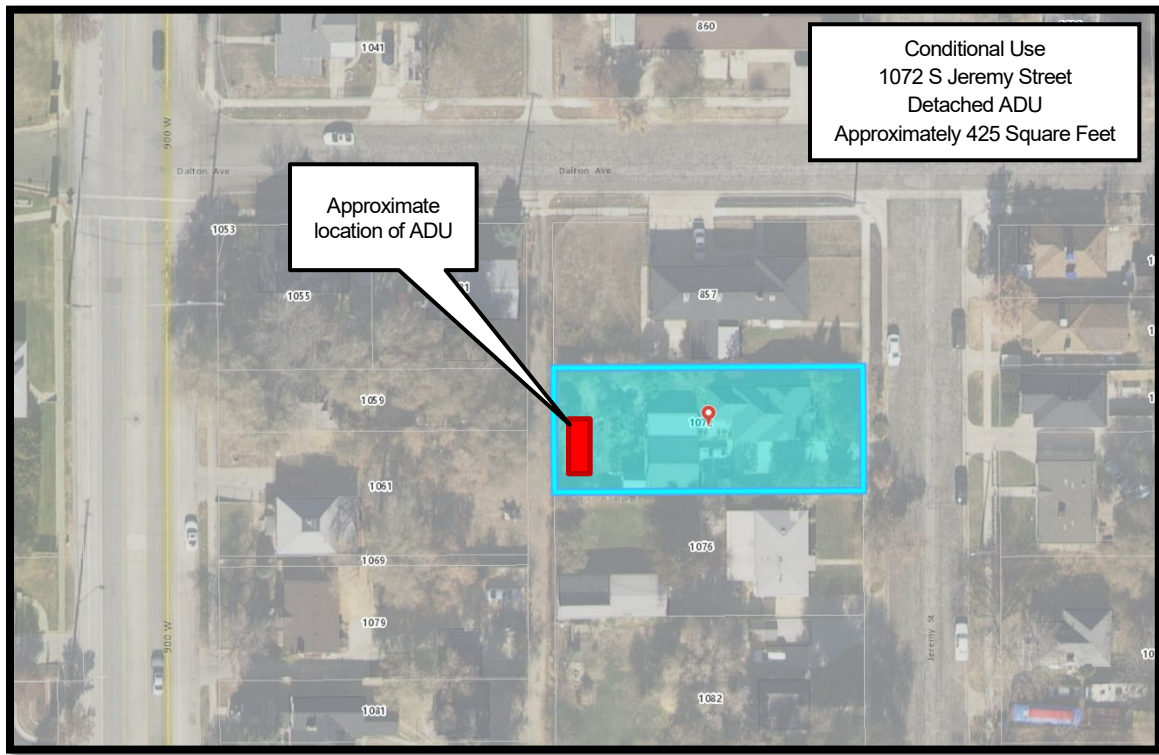
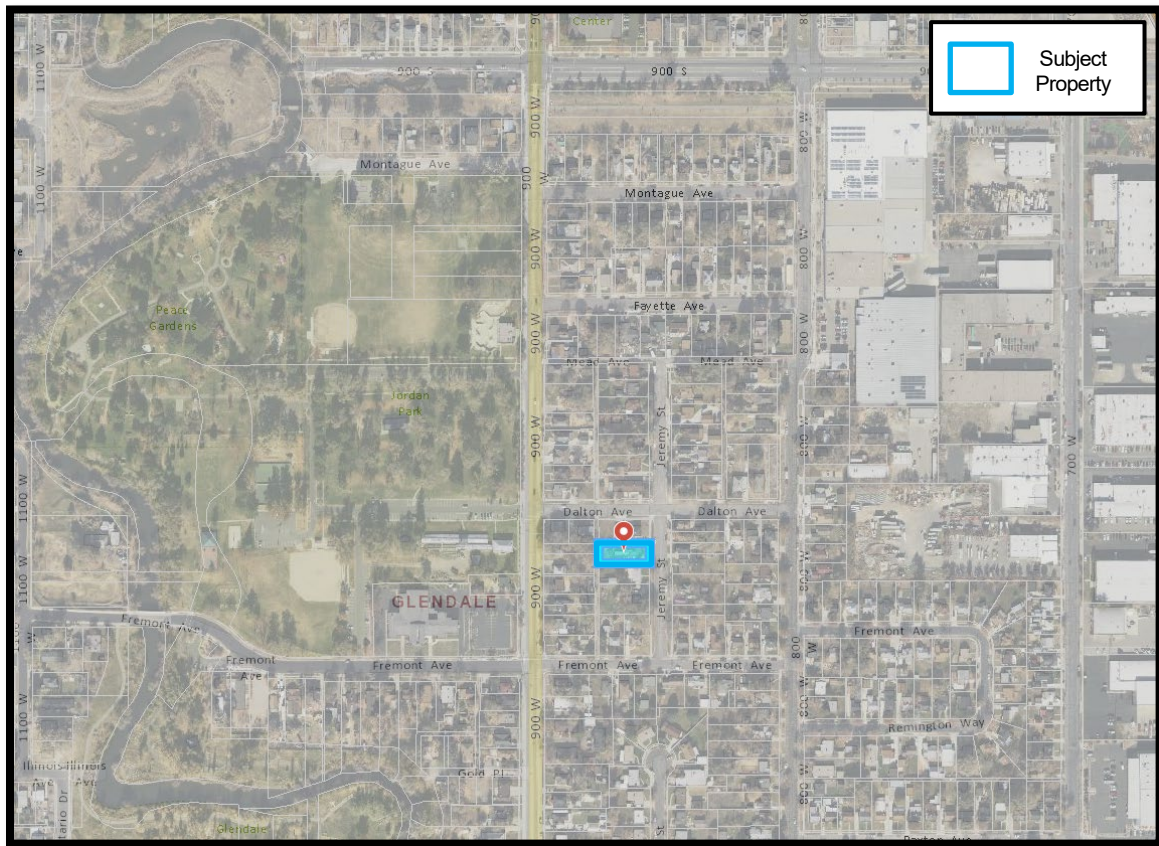
If approved, the applicant may proceed with the project, subject to all conditions imposed by City departments and/or the Planning Commission and will be required to obtain all necessary permits. Building permits and certificate of occupancy for the building would only be issued contingent upon all conditions of approval are met, including the registration process requirements outlined in 21A.40.200F of the zoning ordinance.

Denial of Conditional Use

State and City code require that a Conditional Use be approved if reasonable conditions can be imposed on the use to mitigate any reasonably anticipated detrimental effects of the use. A Conditional Use can only be denied if the Planning Commission finds that reasonably anticipated detrimental effects cannot be mitigated with the imposition of reasonable conditions.

If denied, the applicant would not be permitted to construct an ADU. An accessory structure could still be constructed on the property subject to meeting zoning requirements; however, it could not be used as an accessory dwelling. Accessory structures in the R-1/5,000 zoning district must be located a minimum of 1 FT from the side and rear property lines, meet the lot coverage requirements, and the permitted maximum height for a pitched roof accessory building is 17 FT for a pitched roof or 12 FT for a flat roof.

ATTACHMENT A: VICINITY MAP



ATTACHMENT B: PLANS

MODAL 01 ADU - WILLIAMS

1072 S Jeremy St., Salt Lake City, UT 84104

PROJECT TEAM

PROJECT OWNER	MODULAR BUILDING MANUFACTURER
-	LiveModal
Mary Jane Fine mjfine@unphe.org 1072 S Jeremy Street Salt Lake City, UT 84104 Ph. 801.301.1891	Attn: Andrea Palmer andrea@livemodal.com 150 S State Street Salt Lake City, UT 84102 Ph. 801.864.1761

CIVIL ENGINEER	3RD PARTY BUILDING INSPECTOR
WARD ENGINEERING John Bond jbond@wardeng.com 231 W 800 S, Ste. A Salt Lake City, UT 84101 Ph. 801.487.8040	FORSGREEN BUILDING INSPECTION Attn: Curt Allen ICC Certification #: 1016602 curtallenwb@gmail.com - Ph. 801.487.8040

PROJECT ARCHITECT	STRUCTURAL & M.E.P. ENGINEERS	GENERAL CONTRACTOR
RANGE Architecture + Design Attn: Ian Kaplan ikaplan@rangearchitecture.com 1068 E 2100 S Salt Lake City, UT 84106 Ph. 585.261.1856	EPIC Engineering Attn: John Riley jriley@epiceng.net 3341 S 4000 W, Suite D West Valley City, UT 84120 Ph. 435.654.6600	CLASSIC EXCAVATION, LLC RUSSELL D. JOLLEY russdjolley@hotmail.com 4297 SCENIC ACRES DRIVE RIVERTON, UT 84096 Ph. 385.218.7446

GENERAL NOTE:
MODULAR UNIT TO BE PRE-MANUFACTURED IN FACTORY. ALL APPLICABLE THIRD PARTY INSPECTIONS & REPORTS TO BE COORDINATED WITH THE AUTHORITY HAVING JURISDICTION AND PROVIDED BY MODULAR BUILDING MANUFACTURER.

VICINITY MAP



PROJECT INFORMATION

ADDRESS:	1072 S Jeremy St. Salt Lake City, UT 84104
PARCEL RECORD #:	15114040120000
AUTHORITY W/ JURISDICTION:	Salt Lake City
SITE AREA:	.21 ACRES (9,013 SF)
DESCRIPTION:	MODULAR DETACHED ACCESSORY DWELLING UNIT TO BE ADDED TO EXISTING SINGLE FAMILY RESIDENCE PROPERTY.
CONSTRUCTION TYPE:	VB (WOOD FRAME)

ZONING INFORMATION

R-1-5000 - 21A.24.070	REQUIRED	COMPLIANCE
SURFACE COVERAGE:	40% MAX	YES
Lot Size:	9,013 SF	
Structure Coverage:		
Existing House:	1,009 SF	
Existing Garage:	581 SF	
New ADU:	425 SF	
Total:	2,015 SF (22%)	
ACCESSORY DWELLING UNITS - 21A.40.200		
PARKING:	REQUIRED *1	COMPLIANCE YES
	*Not required if 1/4 mile from mass transit *On street parking may comply	
SIZE:	50% of existing dwelling area	YES
Existing House:	1,009 SF	
Proposed ADU:	425 SF (42% of existing) < 650 SF?	YES
SURFACE COVERAGE	50% MAX OF REAR YARD	YES
Rear Yard Size:	4,525 SF	
Structure coverage:		
Existing Garage:	581 SF	
Existing Shed:	85 SF	
New ADU:	425 SF	
Total:	1,091 SF	
SETBACKS (DETACHED ADU):		
From S.F.R.	10'	YES
Side:	*4'	YES
	*10' Required if unit faces side property line, includes access stairway	
Rear:	4'	YES
STRUCTURE HEIGHT:	17' OR HEIGHT OF EXISTING SFR	YES

SHEET INDEX

GENERAL	TITLE SHEET, SITE PLAN NOTES, ABBREVIATIONS, SYMBOLS, GENERAL NOTES	MECHANICAL	MECHANICAL GENERAL NOTES FIRST LEVEL MECHANICAL PLAN, DETAILS & SCHEDULES
G001	TITLE SHEET, SITE PLAN	M001	MECHANICAL GENERAL NOTES
G002	NOTES, ABBREVIATIONS, SYMBOLS, GENERAL NOTES	M101	FIRST LEVEL MECHANICAL PLAN, DETAILS & SCHEDULES
G003	ASSEMBLIES		
		PLUMBING	PLUMBING GENERAL NOTES PLUMBING & SANITARY PLANS, DETAILS & SCHEDULES
CIVIL			
C0.0	CERTIFIED SURVEY		
		ELECTRICAL	ELECTRICAL SYMBOLS & NOTES E002 ELECTRICAL GENERAL NOTES E101 ELECTRICAL & LIGHTING PLAN E201 ELECTRICAL DETAILS
STRUCTURAL			
S0.0	GENERAL NOTES		
S1.0	STRUCTURAL PLANS		
S1.1	DETAILS		
ARCHITECTURAL			
A200	FLOOR PLAN, ROOF PLAN, INTERIOR ELEVATIONS		
A201	FINISH & REFLECTING CEILING PLANS, SCHEDULES		
A300	BUILDING ELEVATIONS & 3D VIEWS		
A350	BUILDING SECTIONS		
A400	BUILDING DETAILS		

NOTICE TO ALL:

IT IS THE RESPONSIBILITY OF EACH AND EVERY CONTRACTOR, SUB-CONTRACTOR, AND/OR TRADE TO VERIFY ALL ASPECTS OF THESE DRAWINGS AND TO MAKE ANY AND ALL CORRECTIONS, ALTERATIONS, AND/OR CHANGES NECESSARY TO COMPLY WITH ALL CODE REQUIREMENTS, LOCAL REGULATIONS, AND PROPER DESIGN CRITERIA, UPON NOTIFICATION OF THE GENERAL CONTRACTOR AND DESIGNER AND TO ASSURE THE FUNCTION AND/OR OPERATION OF THE SAME, TO A REASONABLE STANDARD, AS REQUIRED BY LAW.

APPLICABLE CODES:

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES:

- 2015 INTERNATIONAL RESIDENTIAL CODE AS AMENDED BY THE STATE OF UTAH (IRC)
- 2018 INTERNATIONAL FIRE CODE (IFC)

DEFERRED SUBMITTALS:

DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO RANGE ARCHITECTURE AND DESIGN, WHO SHALL REVIEW AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTED DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

THE FOLLOWING ARE DEFERRED SUBMITTAL ITEMS:

- FIRE SPRINKLING SYSTEM

GENERAL NOTES - SITE PLAN

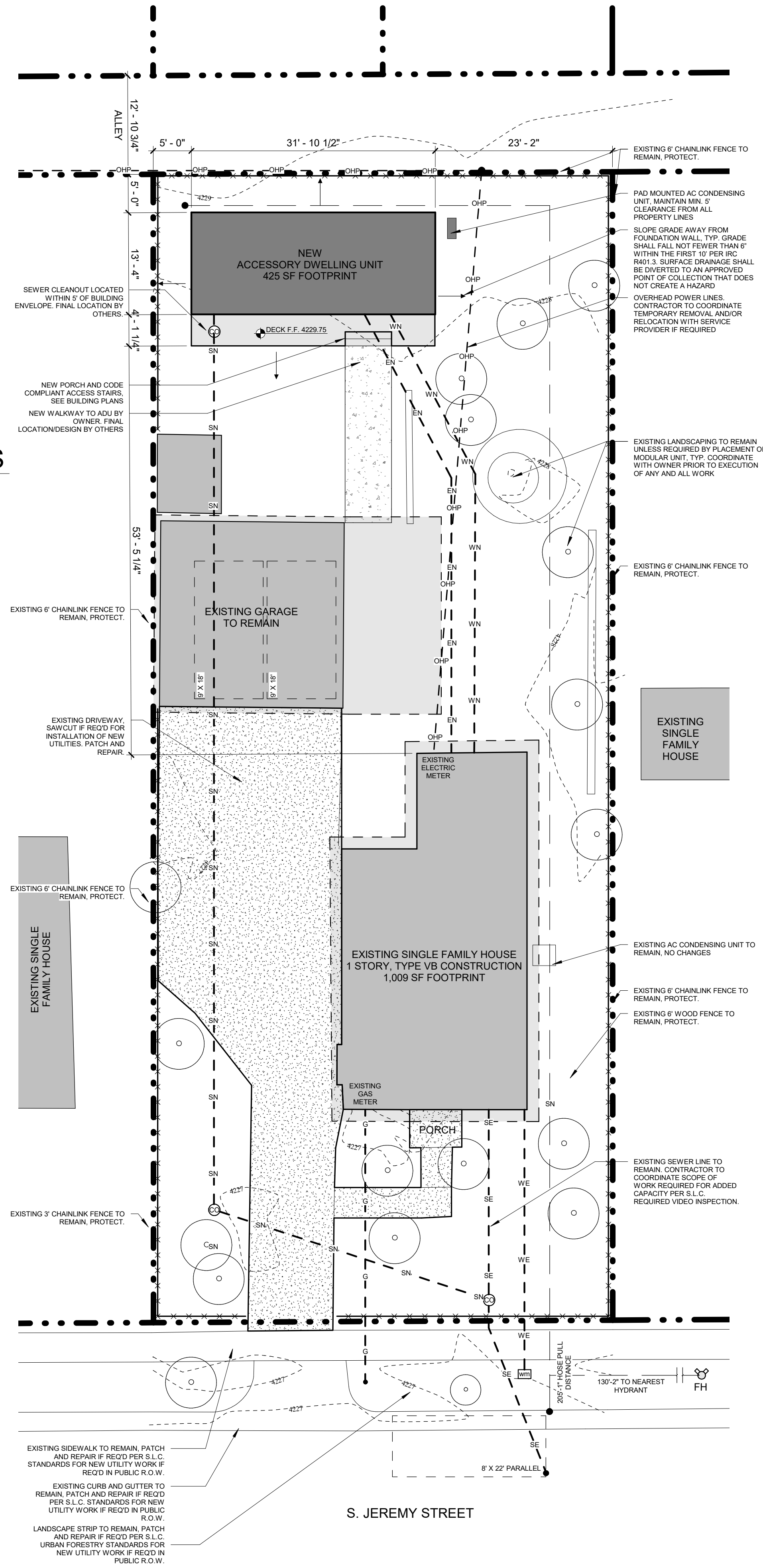
- UTILITY LOCATIONS ARE SHOWN SCHEMATICALLY. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO THE EXECUTION OF ANY WORK.
- WHEN SHOWN IN SITE PLAN, ALL DIMENSIONS ARE TO FACE OF FINISH TO PROPERTY LINES, IMAGINARY LINES, SETBACKS, ETC., U.N.O.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- SEE BUILDING PLANS FOR ALL OTHER NOTES AND DIMENSIONS NOT SHOWN HERE.
- NO PART OF RETAINING WALLS AND FOOTINGS SHALL ENCR OACH INTO ADJACENT PROPERTIES OR EASEMENTS.
- THE PROPERTY OWNER SHALL MAINTAIN ALL DRAINAGE FACILITIES LOCATED WITHIN THE PARCEL AND BE RESPONSIBLE TO PREVENT DAMAGE TO DOWNSTREAM PROPERTIES.
- CONTRACTOR IS TO CONTACT AND ABIDE BY THE RULES OF THE UTAH DIVISION OF AIR QUALITY, (801) 536-4000.
- IF NO GAS UTILITY LINE OR METER ARE SHOWN ON THESE DRAWINGS THEN THERE IS NO GAS SERVICE PROVIDED TO THE SUBJECT PROPERTY.
- ALL UTILITY TRENCHING MUST BE PER SLOPU STANDARD PRACTICE NO. 1.
- ALL UTILITIES MUST MEET HORIZONTAL AND VERTICAL CLEARANCE REQUIREMENTS PER CODE. WATER & SEWER LINES REQUIRE 10' MIN. HORIZONTAL SEPARATION AND 18" MIN VERTICAL SEPARATION. SEWER MUST MAINTAIN 5' MIN. HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM ANY NON-WATER UTILITIES. WATER MUST MAINTAIN 3' MINIMUM HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM ANY NON-SEWER UTILITIES.
- A MINIMUM OF ONE EXTERIOR CLEANOUT IS REQUIRED ON THE SEWER LATERAL WITHIN 5' OF THE BUILDING. ADDITIONAL CLEANOUTS ARE REQUIRED AT EACH BEND AND AT LEAST ONE EVERY 50' FOR 4" LATERALS AND ONE EVERY 100' FOR 6" LATERALS.
- SALT LAKE CITY PUBLIC UTILITIES GENERAL NOTES ARE INCORPORATED AS PART OF THIS PLAN SET.
- SEWER LATERAL MUST GRAVITY DRAIN ALL FLOORS AND MEET MINIMUM SLOPE REQUIREMENTS (2% FOR 4" LATERALS, 1% FOR 6" LATERALS).
- POWER COMPANY, GAS COMPANY AND COMMUNICATION COMPANIES ARE RESPONSIBLE FOR SUBMITTING DESIGN PLANS AS REQUIRED BY TITLE 14 CHAPTER 32 OF THE REVISED ORDINANCES OF SALT LAKE CITY FOR ALL PROPOSED WORK FOR THEIR RESPECTIVE UTILITY LINES FOR THIS PROJECT IN OR ADJACENT TO THE CITY ROW OR A PUBLIC UTILITIES ROW. PLAN REVIEWS ARE REQUIRED BY THE PUBLIC UTILITIES DEPT., UTILITY COORDINATOR AND HTE CITY ENGINEERING PUBLIC WAY PERMIT PLAN REVIEWER.
- ELECTRICAL SERVICE CONDUCTORS MUST BE A MINIMUM OF 8' ABOVE ANY PORTION OF THE ADU.

CONTRACTOR RESPONSIBILITIES

THE PROVIDED SITE PLAN IS DRAWN SCHEMATICALLY. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR (GC) TO EXECUTE ANY/ALL REQUIRED SITE UTILITY & PREPARATION WORK IN ACCORDANCE WITH ALL APPLICABLE CODES & THE AUTHORITY HAVING JURISDICTION (AHJ). GENERALLY, THE GC SHALL BE RESPONSIBLE FOR THE COORDINATION, EXECUTION AND APPROVAL OF ALL WORK OUTSIDE OF THE MODULAR UNIT BUILDING ENVELOPE.

LEGEND - SITE PLAN

	MODULAR BUILDING FOOTPRINT
	EXISTING STRUCTURE FOOTPRINT
	NEW DECK/STAIRS FOOTPRINT
	ROOF OVERHANG ABOVE
	EXISTING DRIVEWAY
	DEMOLISH EXISTING STRUCTURE/HARDSCAPE
	PROPERTY LINE
	SETBACK LINES
	FIRE HOSE PULL/HYDRANT DISTANCE
	SEWER CLEAN-OUT. CLEANOUTS LOCATED ON DRIVE-WAY REQUIRE TRAFFIC RATED COVER.
	APPROX. EXISTING SEWER LINE - CONTRATOR TO FIELD LOCATE PER CODE
	APPROX. NEW SEWER LINE - CONTRACTOR TO FIELD LOCATE PER CODE. 4" SDR35 REQUIRED.
	APPROX. EXISTING WATER LINE - CONTRACTOR TO FIELD LOCATE PER CODE
	APPROX. NEW WATER LINE - CONTRACTOR TO FIELD LOCATE PER CODE. 3/4" HDPE MIN. FIELD VERIFY SIZE TO MATCH EXISTING LATERAL FROM HOUSE TO METER.
	APPROX. EXISTING GAS LINE - CONTRACTOR TO FIELD LOCATE PER CODE
	APPROX. EXISTING BURRIED ELECTRICAL/ TELECOMMUNICATIONS LINE - CONTRACTOR TO FIELD LOCATE PER CODE
	APPROX. NEW ELECTRICAL/ TELECOMMUNICATIONS LINE - CONTRACTOR TO FIELD LOCATE - TRENCH & INSTALLATION SEPARATION PER UTILITY REQUIREMENTS & CODE



01 Site Plan
1" = 10'-0"

THE DESIGN AND IDEAS SHOWN AND HEREIN DESCRIBED, THE TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION, AND MODELS THEREOF HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THIS SOLE PROJECT AND SHALL REMAIN THE SOLE PROPERTY OF RANGE ARCHITECTURE AND DESIGN AND THEIR CONSULTANTS. WITHOUT THE SOLE AND EXPRESSED WRITTEN PERMISSION OF RANGE ARCHITECTURE AND DESIGN, REPRODUCTION, DUPLICATION, COPYING, IMITATION, COMMERCIAL EXPLOITATION, OR USE FOR ANY OTHER PURPOSE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED. PROHIBITED USE OF THE DESIGN OR THESE DRAWINGS IS SUBJECT TO THE FULL EXTENT OF LEGAL ACTION.

ABBREVIATIONS

A.B.	Anchor Bolt	Jan.	Janitor
A.B.C.	Aggregate Base Course	Jst.	Joist
AC.	Air Conditioning	JT.	Joint
Acoust.	Acoustical		
A.D.	Access Door, Area Drain	Kit.	Kitchen
Add.	Addendum, Addition	M.D.	Keyed Joint
Adj.	Adjustable	K.O.	Knock Out
A.F.F.	Above Finish Floor		
AL or Alum.	Aluminum	Lam.	Laminated
Alt.	Alternate	Lav.	Lavatory
&	And	L.B.	Lag Bolt
<	Angle	L.L.	Live Load
Anod.	Anodized	L.L.H.	Long Leg Horizontal
Arch.	Architectural	L.L.V.	Long Leg Vertical
Assy.	Assembly	Longit.	Longitudinal
		L.P.	Low Point
		L.W.C.	Light Weight Concrete
BD.	Board		
Btwn.	Between	Mas.	Masonry
B.O.F.	Bottom of Footing	MDF.	Medium Density Fiberboard
Bldg.	Building	M.D.O.	Medium Density Fiberboard-Outdoor
Blkg.	Blocking	M.O.	Masonry Opening
BM.	Bolt	Mtl.	Material
B.N.	Boundary Nail	Max.	Maximum
B.O.	Bottom of	Mech.	Mechanical
Bot.	Bottom	Memb.	Membrane
Brg.	Bearing	Mfr.	Metal
B.S.	Both Sides	Mfr.	Manufacturer
B.U.	Built-up	Min.	Minimum
		Misc.	Miscellaneous
C.(or I)	Channel		
CBC	California Building Code	N.	North
Cer.	Ceramic	N.A.	Not Applicable
C.B.	Catch Basin	N.I.C.	Not in Contract
CIP	Cast-in-place	N.T.S.	Not to Scale
C.J.	Control Joint	N.O.	Number
CL	Centerline		
Clg.	Ceiling	O.C.	On Center
Clr.	Clear(ance)	O.D.	Outside Diameter
CMU	Concrete Masonry Unit	O.F.	Overflow, Outside Face
Clos.	Closet	O.F.C.I.	Owner Furnished/Contractor Installed
C.O.	Clean-out	O.H.	Opposite Hand
Col.	Column	Opg.	Opening
Comp.	Composite	Opp.	Opposite
Conc.	Concrete		
Const.	Construction	PL.	Plate
Cont.	Continuous	Perim.	Perimeter
Coord.	Coordinate	Perp.	Perpendicular
Corr.	Corridor	P.Lam.	Plastic Laminate
Cr.	Center	Plas.	Plaster
		Plast.	Plastic
d	Penney (nail size)	P.D.	Planter Drain
D.P.	Damp Proofing	P.L.F.	Per Lineal Foot
DBA.	Dark Bronze Anodized	Plywd.	Plywood
D.F.	Douglas Fir	P.S.F.	Pounds Per Square Foot
Dbl.	Double	P.S.I.	Pounds Per Square Inch
Dia.	Diameter	P.T.	Pressure Treated, Post-tensioned
Diag.	Diagonal	P.T.S.	Post-tensioned Slab
Diaphragm	Diaphragm	PV	Photovoltaic
Dim	Dimension	PVC	Polyvinyl Chloride
D.L.	Dead Load		
DN	Down	R.C.P.	Reflected Ceiling Plan
DR.	Door	R.D.	Roof Drain
D.S.	Downspout	Ref.	Refer(ence)
Dtl.	Detail	Reinf.	Reinforcing
Dwg.	Drawing	Reqd.	Required
Dwls.	Dowels	Rqmt.	Requirements
		Resil.	Resilient
E	East	Retain(ing)	Retain(ing)
EA.	Each	RM.	Room
E.B.	Expansion Bolt	R.O.	Rough Opening
E.J.	Expansion Joint		
Elec.	Electric(al)	S.	South
Elev.	Elevation	SC.	Scale, Screw, Solid Core
EN	Edge Nail	Sched.	Schedule
Encl.	Enclosure	SQF.	Square Feet
EQ.	Equipment	Sht.	Sheet
Equip.	Equipment	Sim.	Similar
E.W.	Each Way	SH.	Single Hung
Ext.	Exterior	Sldr.	Slider
Exist.	Existing	S.M.F.E.	Surface-mounted Fire Extinguisher
		Spec.	Specification
FACP	Fire Access Control Panel	Sq.	Square
F.B.	Flat Bar	S.S.	Stainless Steel
F.D.	Floor Drain	Stagg.	Staggered
Fdn.	Foundation	Std.	Standard
F.E.C.	Fire Extinguisher Cabinet	Stiff.	Stiffener
F.F.	Finish Floor, Factory Finish	Stor.	Storage, Storefront
F.F.E.	Finished Floor Elevation	Str.	Structural
F.G.	Finished Grade	Str.	Steel
	Pultruded Fiberglass	Sym.	Symmetrical
F.H.C.	Fire Hose Cabinet		
F.H.(M.J.S.)	Flat Head Screw	T.	Tread, Tempered
Fin.	Finish	T&G	Tongue and Groove
Flr.	Floor	Thr.	Threshold
Fluor.	Fluorescent	T.I.	Tenant Improvement
F.M.C.	Floor Material Change	T.J.	Tooled Joint
F.N.	Field Nailing	T.N.	Toe Nailed
F.O.	Face of (specify item)	T.O.	Top of (specify item)
F.O.B.	Face of Brick	T.O.C.	Top of Curb
F.O.C.	Face of Concrete	T.O.G.	Top of Grate
F.O.F.	Face of Finish	T.O.P.	Top of Plate
F.O.M.	Face of Masonry	T.O.S.	Top of Sheathing
F.O.P.	Face of Panel	T.O.W.	Top of Wall
F.O.S.	Face of Stud	Typ.	Typical
FT.	Foot, Feet		
Ftg.	Footing	U.N.O.	Unless Noted Otherwise
F.S.	Finish Surface, Floor Sink	U.L.	Undersinkers Laboratory
		URM	Unreinforced Masonry
GA.	Gauge		
Galv.	Galvanized	Vent.	Ventilator, Ventilation
G.I.	Galvanized Iron	Vert.	Vertical
GL.	Glass	V.R.	Vapor Retarder
G.L.B.	Glu-lam beam	V.T.R.	Vent Through Roof
GWB	Gypsum Wall Board	V.T.W.	Vent Through Wall
		VN.	Vinyl
H.B.	Hose bibb	V.W.C.	Vinyl Wall Covering
HC.	Hollow Core	V.C.L.	Vinyl Chain Link
HCMB.	Honeycomb Core	V.C.T.	Vinyl Composition Tile
HD.	Head		
Hdr.	Header	W.	West
Hdwr.	Hardware	Wdw.	Window
Hgr.	Hanger	W/	With
Horiz.	Horizontal	W/GL.	Wire Glass
HR.	Hour	W.H.	Water Heater
HM.	Hollow Metal	W/O	Without
H.S.S.	Hollow Structural Section	WP.	Waterproof
HT.	Height	W.P.J.	Weakened Plane Joint
HVAC	Heating, Ventilation and Air Conditioning	W.R.	Water Resistant
	Hot Water	WT.	Weight
H.W.		W.W.F.	Welded Wire Fabric
		W.W.M.	Welded Wire Mesh
I.D.	Inside Diameter	WD.	Wood
IN.	Inch		
Incl.	Included		
Insul.	Insulation		
Int.	Interior		

LEGEND - PROJECT SYMBOLS

	Keynote
	Window/Storefront Tag
	Door Tag
	Wall/Floor/Ceiling/Roof Type
	Wall, Floor, Base, Ceiling Finish Tag. This symbol when attached to a wall shall indicate this finish for entire length of wall from one intersection to the next and not be terminated by windows or doors U.N.O.
	Datum Tag Indicates Item or Floor Level Being Referenced Elevation Datum
	Revision Tag Delta Symbol & Revision Number Revision Cloud Around Area of Change
	Enlarged Drawing/Detail Reference Detail Number Sht. No. Detailed Area
	Building Section Reference Dwg. No. Sht. No.
	Wall Section Reference Dwg. No. Sht. No.
	Elevation Tag Dwg. No. Sht. No.
	Finish Tag Corresponding Wall Finishes Base Finish Floor Finish
	Grid Line Reference - Wood Structure
	Dimension - Denoting Face of Structure/Framing U.N.O.
	Dimension - Denoting Centerline
	Dimension - Denoting Face of Finish/Clear
	Shaft or Opening

GENERAL RESIDENTIAL NOTES

- It is the responsibility of the contractor to become fully aware of any and all conditions related to the site and existing conditions that may effect the cost of scheduling construction activities, prior to submitting a bid.
- Contractor shall be responsible for verifying all dimensions and conditions at the job site including soil conditions, and other conditions related to the existing utilities and services prior to commencing work.
- Do not scale drawings or details - use given dimensions. Check details for location of all items not dimensioned on plans. Dimensions on plans are to face of framing, exterior face of foundation, or centerline of columns, unless noted otherwise.
- Doors and cased openings without dimensions are to be four and one half (4-1/2) inches from face of adjacent wall or centered between walls.
- The drawings indicate general and typical details of construction. Where conditions are not specifically indicated but are of similar character to details shown, similar details of construction shall be used, subject to review and approval by the architect and structural engineer.
- Building systems and components not specifically detailed shall be installed, as per minimum manufacturer recommendations. Contractor shall notify the architect of any resulting conflicts prior to commencing work.
- All work shall conform to applicable building codes and ordinances. In case of any conflict wherein the methods or standards of installation or the materials specified do not equal or exceed the requirements of the laws or ordinances, the laws or ordinances shall govern.
- Consulting engineer(s) drawings are supplementary to the architectural drawings. It shall be in the responsibility of each contractor to check with the architectural drawings before installation of their work. Any discrepancy between the architectural drawings and the consulting engineer(s) or other supplementary drawings shall be brought to the architect and owner's attention in writing. Any dimensions, tags or details not shown shall be requested by the contractor to the architect.
- This project contains glazing that will be subject to federal and local glazing standards and the glazing subcontractor shall be responsible for adherence to these requirements. If the glazing subcontractor finds discrepancies in the documents not in compliance with the standards, he/she shall bring discrepancies to the attention of the architect before proceeding.
- All glazing in hazardous locations, defined by IRC R308.4, shall be safety glazing, including but not limited to the safety glazing identified in the construction documents.
- Install dust barriers and other protection as required to protect installed finishes and facilities.
- There shall be no exposed pipe, conduits, ducts, vents, etc. All such lines shall be concealed or furred and finished, unless noted as exposed construction on drawings. Offset studs where required, so that finished wall surface will be flush.
- Contractor shall provide temporary bracing for the structure and structural components until all final connections have been completed in accordance with the plans.
- Carry all footings to solid, undisturbed original earth. Removal all suitable material under footings and slab and replace with concrete or compacted fill as directed by engineer and architect.
- All wood framing details not shown otherwise shall be constructed to the minimum standards of the IRC.
- All wood in direct contact with concrete or exposed to weather shall be pressure treated with an approved preservative unless decay resistant heartwood of cedar or redwood is used. Fasteners for pressure treated wood shall be hot dipped galvanized steel, stainless steel, silicon bronze, or copper.
- Nail gypsum wallboard to all studs, top and bottom plates and blocking with cooler nails @ 7" o.c. maximum spacing unless shown otherwise. Use 5d for 1/2" wallboard, 6d for 5/8" wallboard.
- Provide galvanic insulation between dissimilar metals.
- The contractor is to verify the location of all utilities and services to the site prior to beginning any site improvements.
- No materials from the work are to be stock piled on public right-of-ways. All rubbish and debris is to be removed from the site.
- Adjacent properties, streets and walks are to be protected from damage at all times.
- The contractor shall secure permits required by the fire department prior to building occupation.
- The contractor shall take all necessary precautions to ensure the safety of the occupants and workers at all times during the course of the project.
- Approved plans shall be kept in a plan box and shall not be used by any workmen. All construction sets shall reflect the same information. The contractor shall also maintain in good condition, one complete set of plans with all revisions, addenda and change orders on the premises at all times. Said plans are to be under the care of the job superintendent. The contractor and/or the sub-contractors shall apply for, obtain, and pay for all required permits and fees except for the building permit.
- Construction hours, per jurisdiction, are to be observed for all phases of the project.
- Class "A" roofing is required for fire protection.
- Remove all vegetation, organic material and wood formwork from under-floor grade before the building is occupied for any reason.
- Fireblocking shall be provided to cut off all concealed draft openings (both vertical & horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space, including the following: vertically at ceiling and floor levels, horizontally at intervals not exceeding 10 feet, at all interconnections between concealed vertical & horizontal spaces such as soffits, drop and cove ceilings, in concealed spaces between stair stringers at the top and bottom of the run, and at openings around vents, pipes, and ducts at ceiling and floor level with an approved material to resist the free passage of flame.
- Wall covering products sensitive to adverse weather shall not be installed until adequate weather protection for the installation is provided. Exterior sheathing shall be dry before applying exterior cover.
- Interior coverings or wall finishes shall be installed in accordance with IRC chapter 7 and tables R702.1(1), R702.1(2), R702.1(3) and R702.3.5. Interior masonry veneer shall comply with the requirements of R703.7.1 for support and section R703.7.4 for anchorage, except an air space is not required. Interior finishes and materials shall conform to the flame spread and smoke density requirements of R302.9.
- Unless specified otherwise, all coverings shall be fastened in accordance with table R703.3 or with other approved aluminum, stainless steel, zinc-coated or other corrosion-resistive fasteners.
- Installation of appliances shall conform to the conditions of their listing and label and manufacturer's installation instructions. The manufacturer's operating and installation instructions shall remain attached to the appliance.
- A permanent factory-applied nameplate shall be affixed to appliances on which shall appear, in legible lettering, the manufacturers name or trademark, the model number, serial number, and the seal or mark of the testing agency. The hourly rate in btu/h(w), type of fuel or electrical rating and other information as described in IRC M1303.1 and G2404.3 shall be required on the label.
- Where conflicts occur between the IRC and the conditions of listing or the manufacturer's installation instructions occur, the provisions of the code shall apply.
- Fuel-fired appliances shall be designed for use with the type of fuel to which they will be connected and the altitude at which they are installed. Appliances that comprise parts of the building mechanical system shall not be converted. The fuel input rate shall not be increased or decreased beyond the limit rating for the altitude at which the appliance is installed.
- The building or structure shall not be weakened by the installation of mechanical systems. Where floors, walls, ceilings or any other portion of the building or structure are required to be altered or replaced in the process of installing or repairing any system, the building or structure shall be left in a safe structural condition in accordance with the IRC.
- Heat-producing equipment and appliances shall be installed to maintain the required clearances to combustible construction as specified in the listing and manufacturer's instructions. Reduction of clearances shall be in accordance with manufacturer's instructions and IRC table M1306.2 or IMC section 308. Clearances to combustibles shall include such considerations as door swing, shutters, coverings and drapes. Devices such as door stops or limits, closers, drapery ties or guards shall not be used to provide adequate clearances.

MODAL 01 ADU - WILLIAMS
1072 S. Jeremy St., Salt Lake City, UT 84104

PERMIT SET 05/14/2020

REVISION SETS

MARK DATE

PLOT DATE 05/14/2020

PROJECT 2023

DRAWN BY IK

CHECKED BY N/A

SHEET TITLE

NOTES,
ABBREVIATIONS,
SYMBOLS, GENERAL
NOTES

G002

950 S. STATE ST. SUITE 100
SALT LAKE CITY, UT 84103
WWW.RANGEARCHITECTURE.COM

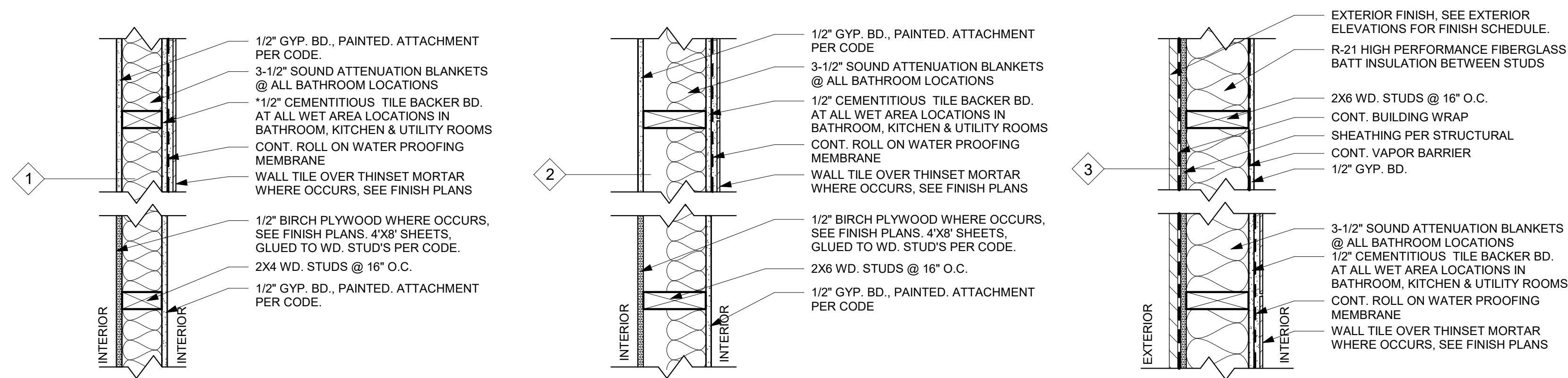


RANGE

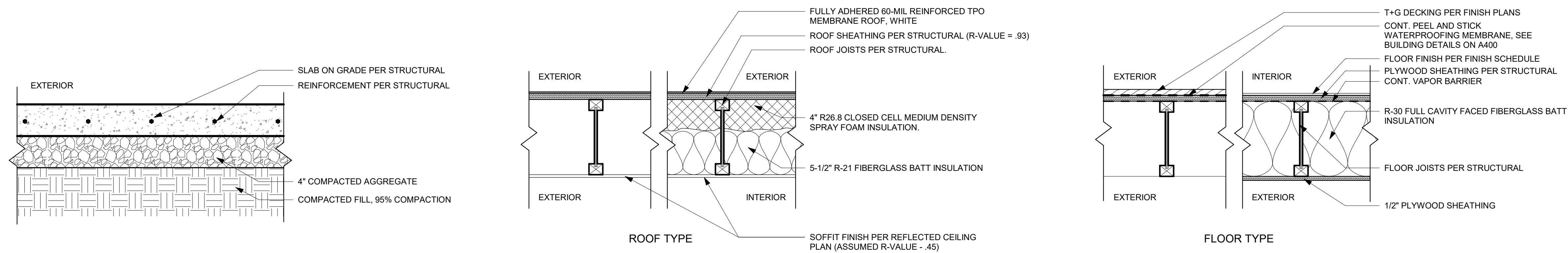
RANGE ARCHITECTURE & DESIGN
3155 EAST HENRIE DRIVE SUITE 100
SALT LAKE CITY, UT 84106
WWW.RANGEARCHITECTURE.COM

Modal

THE DESIGN AND IDEAS SHOWN AND HEREIN DESCRIBED, THE TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION, AND MODELS THEREOF HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THIS SOLE PROJECT AND SHALL REMAIN THE SOLE PROPERTY OF RANGE ARCHITECTURE AND DESIGN AND THEIR CONSULTANTS. WITHOUT THE SOLE AND EXpressed WRITTEN PERMISSION OF RANGE ARCHITECTURE AND DESIGN, REPRODUCTION, DUPLICATION, COPYING, IMITATION, COMMERCIAL EXPLOITATION, OR USE FOR ANY OTHER PURPOSE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED. THE FULL EXTENT OF LEGAL ACTION

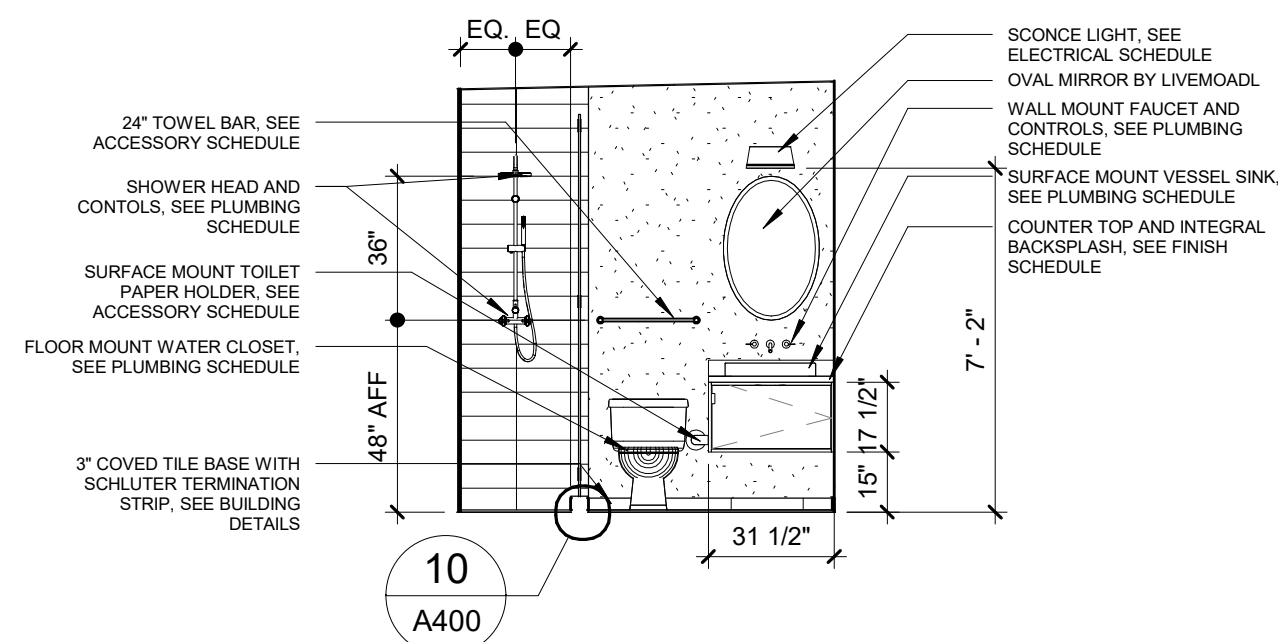


LEGEND - WALL TYPES

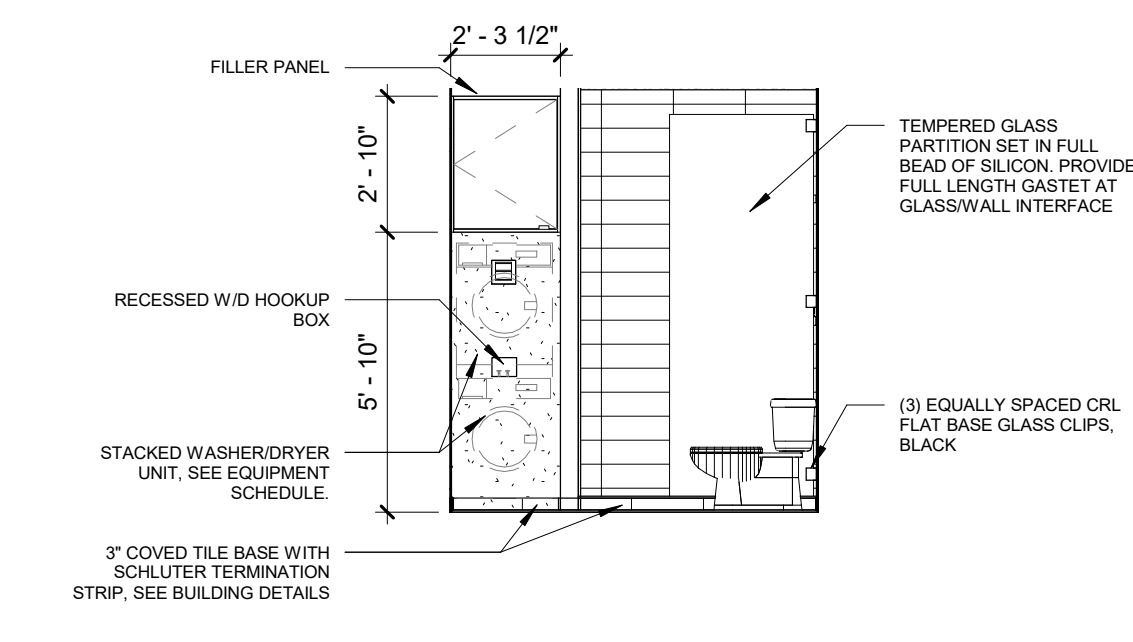


LEGEND - FLOOR & ROOF TYPES

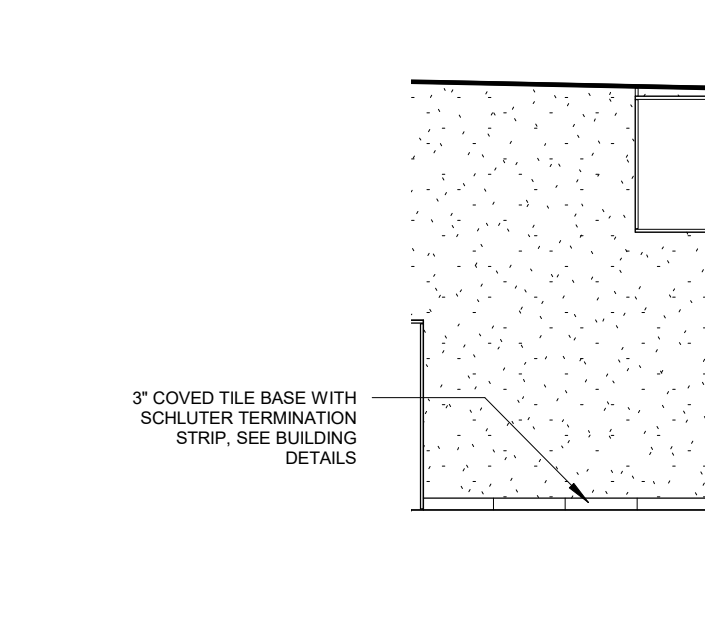
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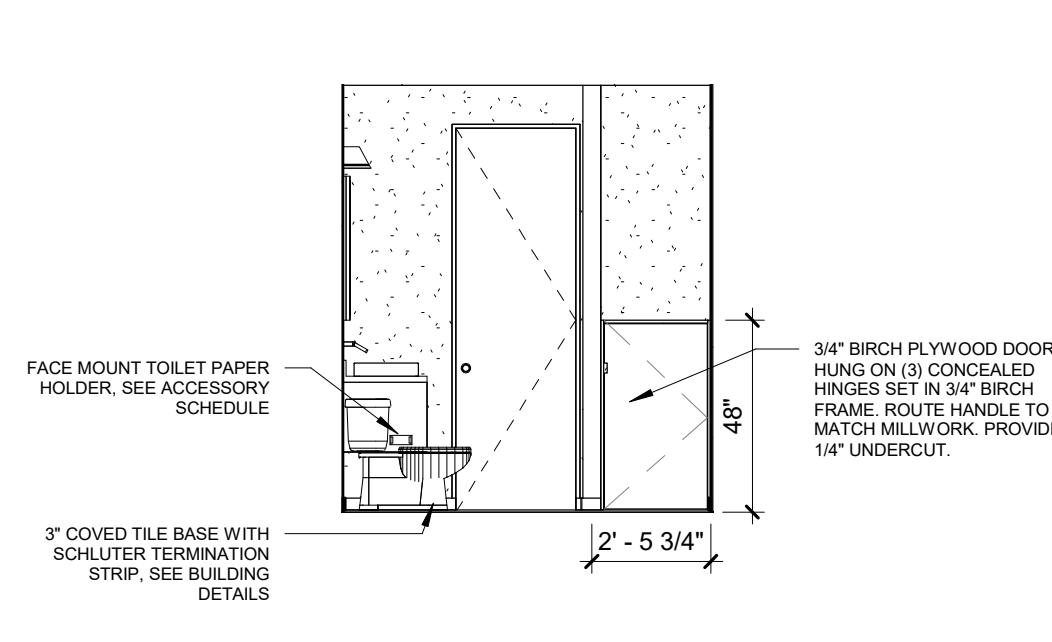
15 Bathroom - West
1/4" = 1'-0"



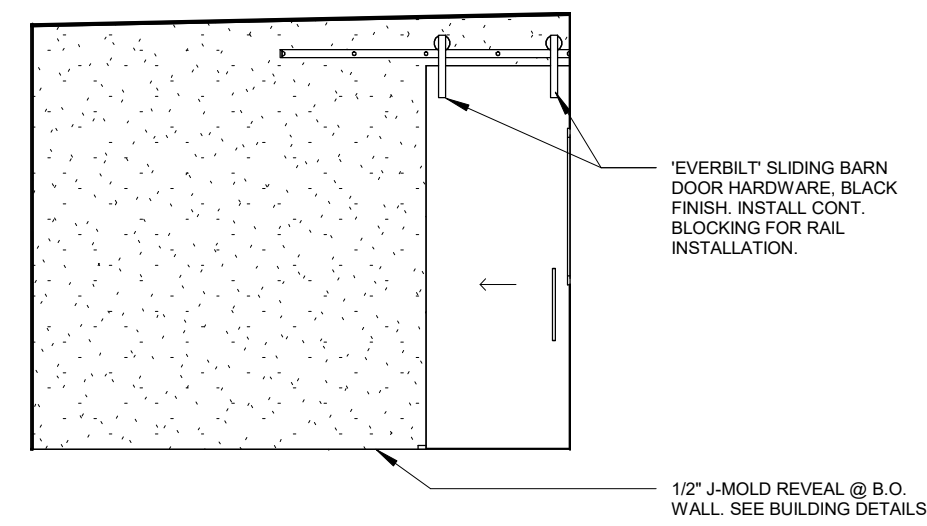
14 Bathroom North
1/4" = 1'-0"



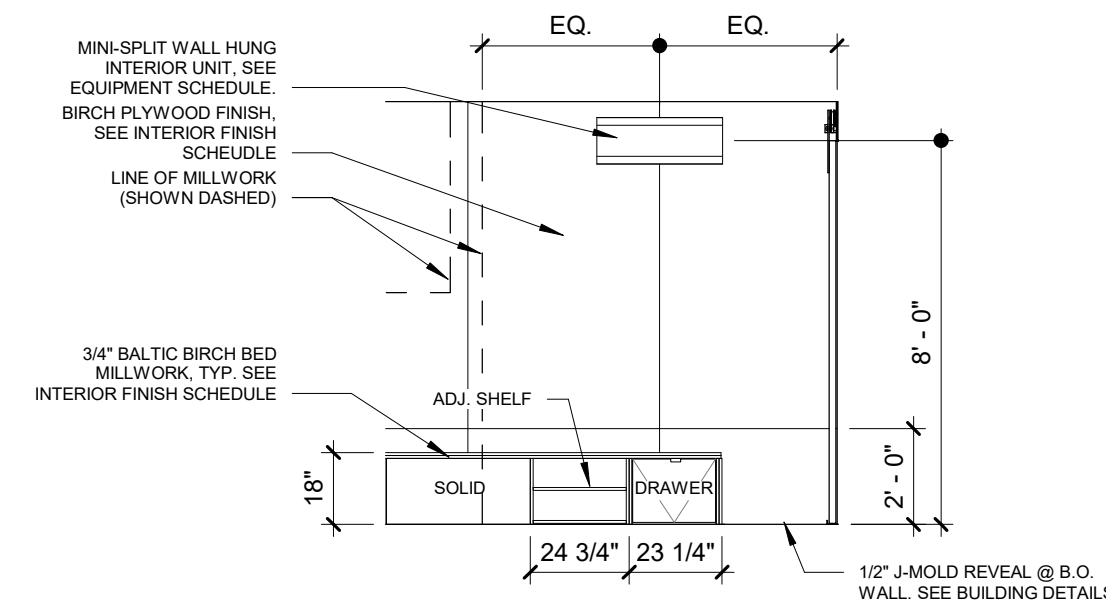
13 Bathroom - East
1/4" = 1'-0"



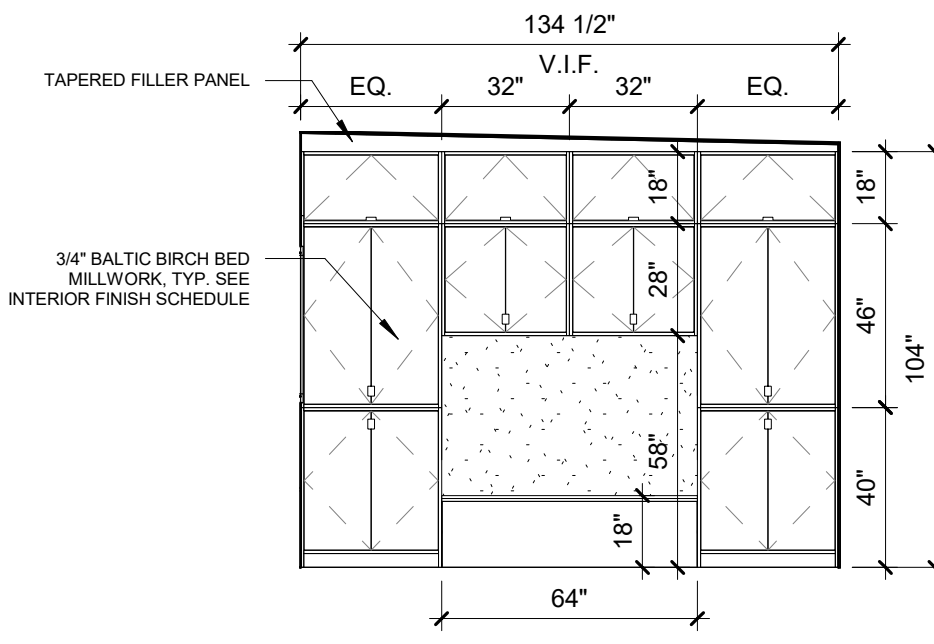
12 Bathroom - South
1/4" = 1'-0"



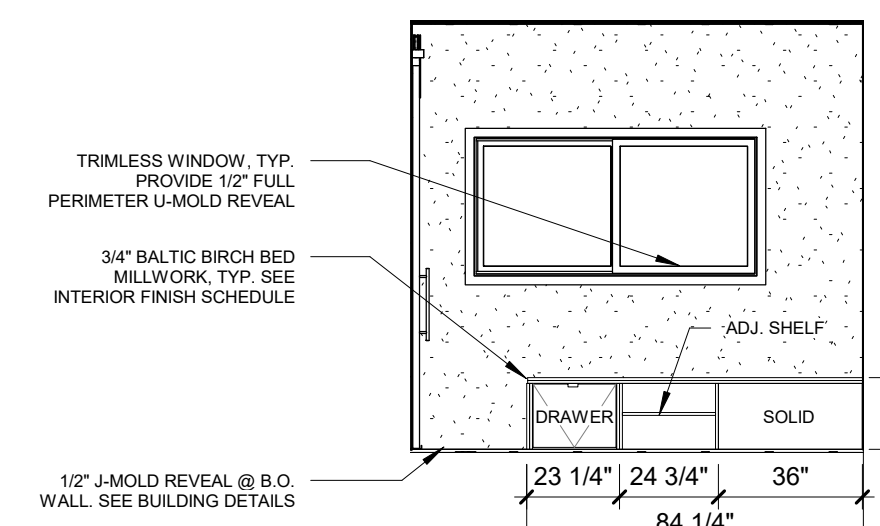
11 Bedroom - West
1/4" = 1'-0"



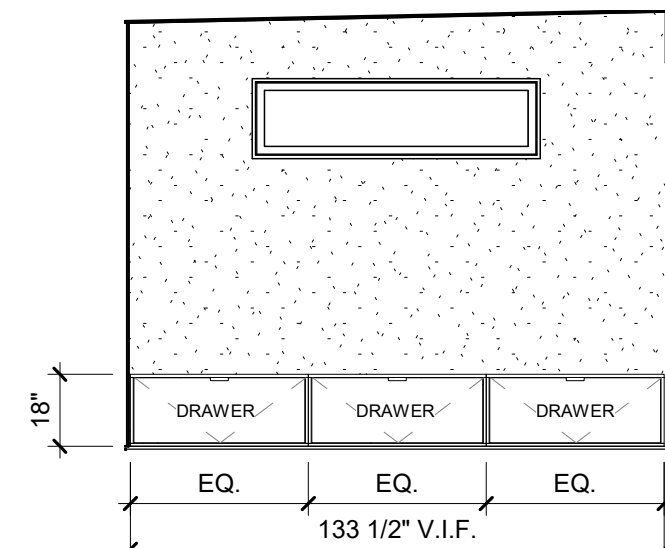
10 Bedroom - North
1/4" = 1'-0"



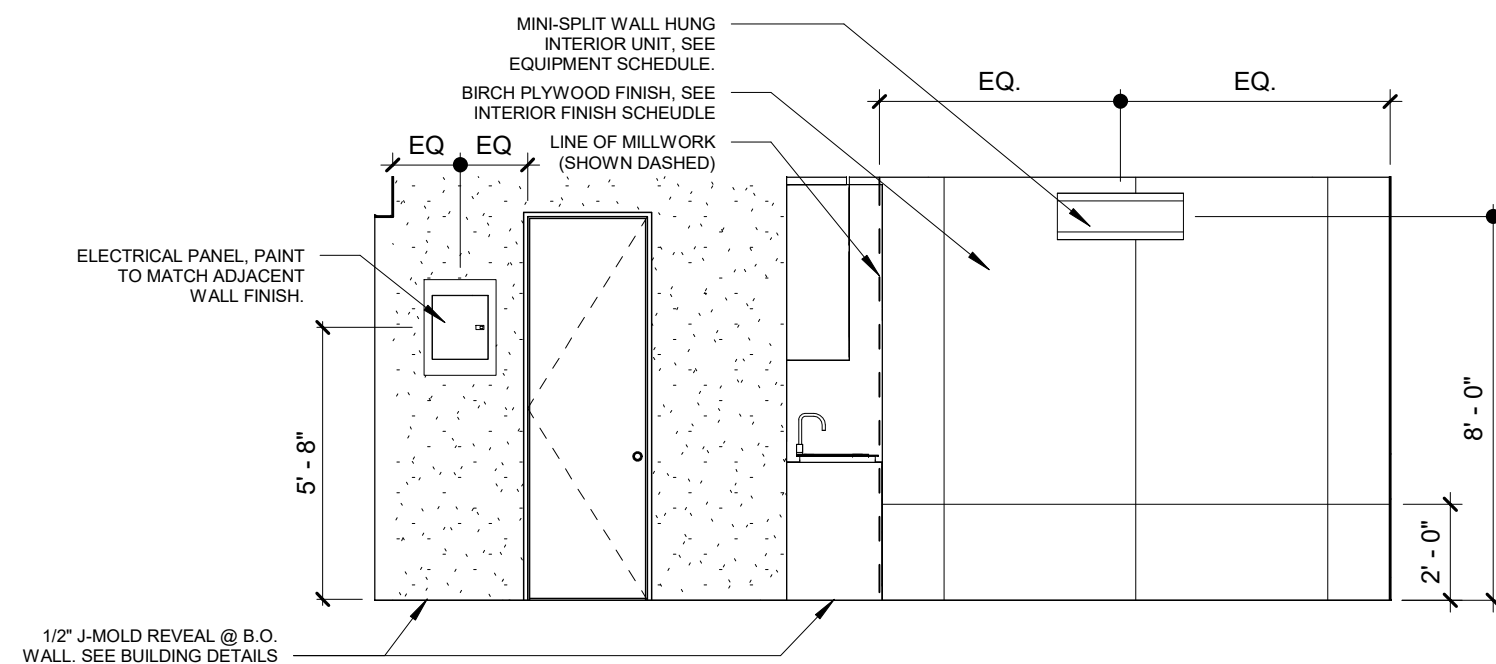
09 Bedroom - East
1/4" = 1'-0"



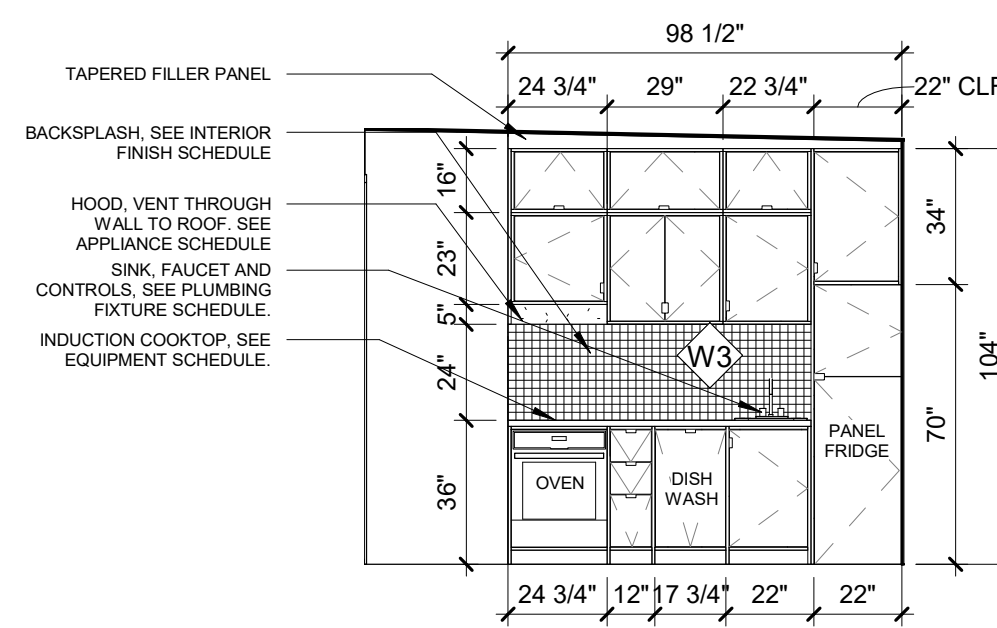
08 Bedroom - South
1/4" = 1'-0"



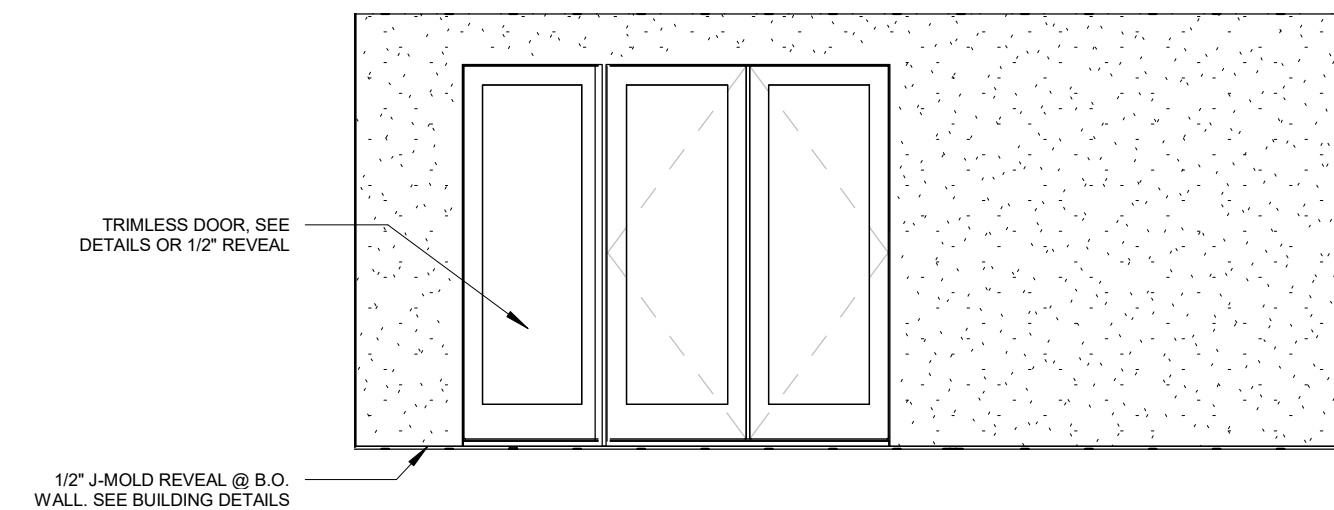
07 Living - West
1/4" = 1'-0"



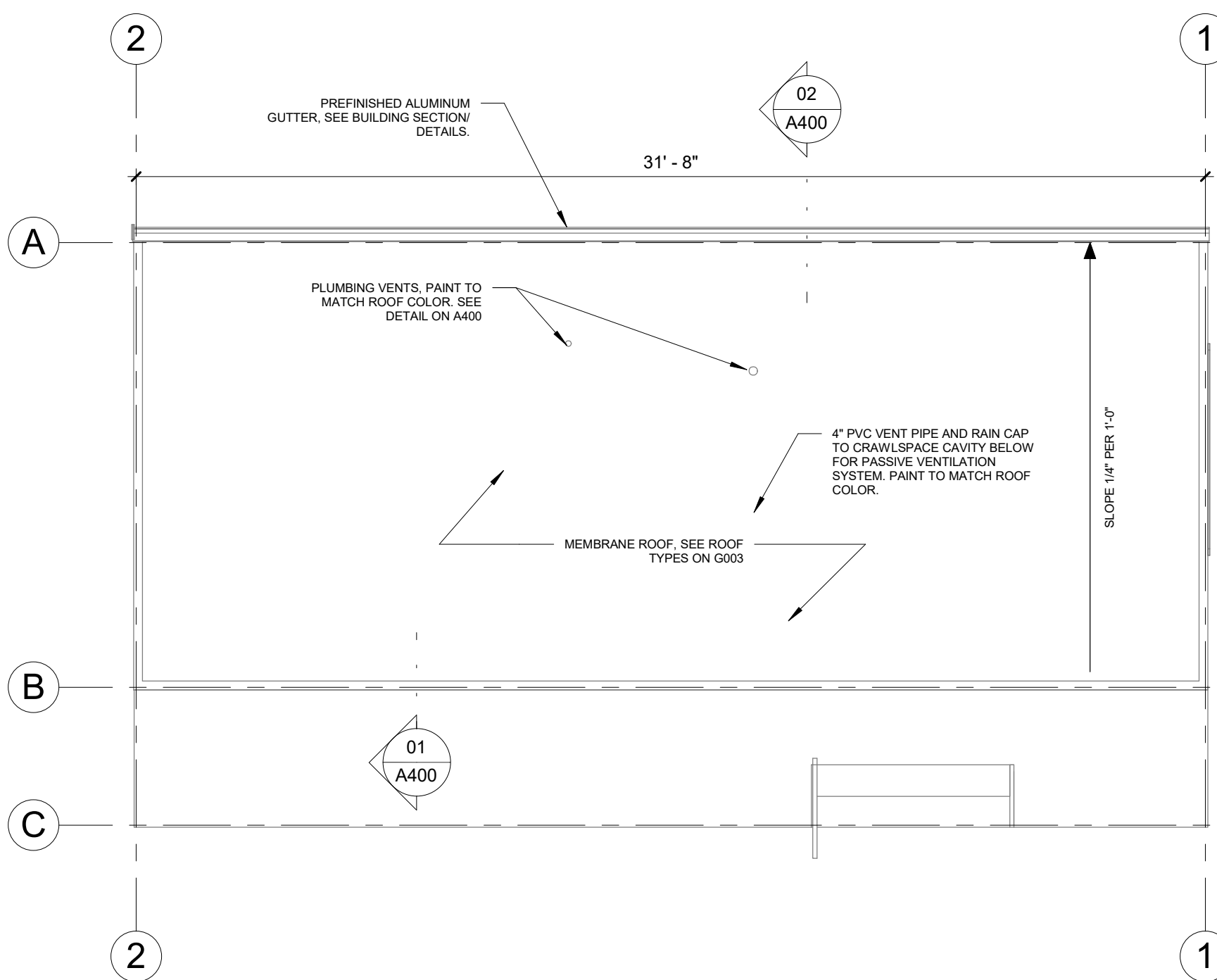
06 Living - North
1/4" = 1'-0"



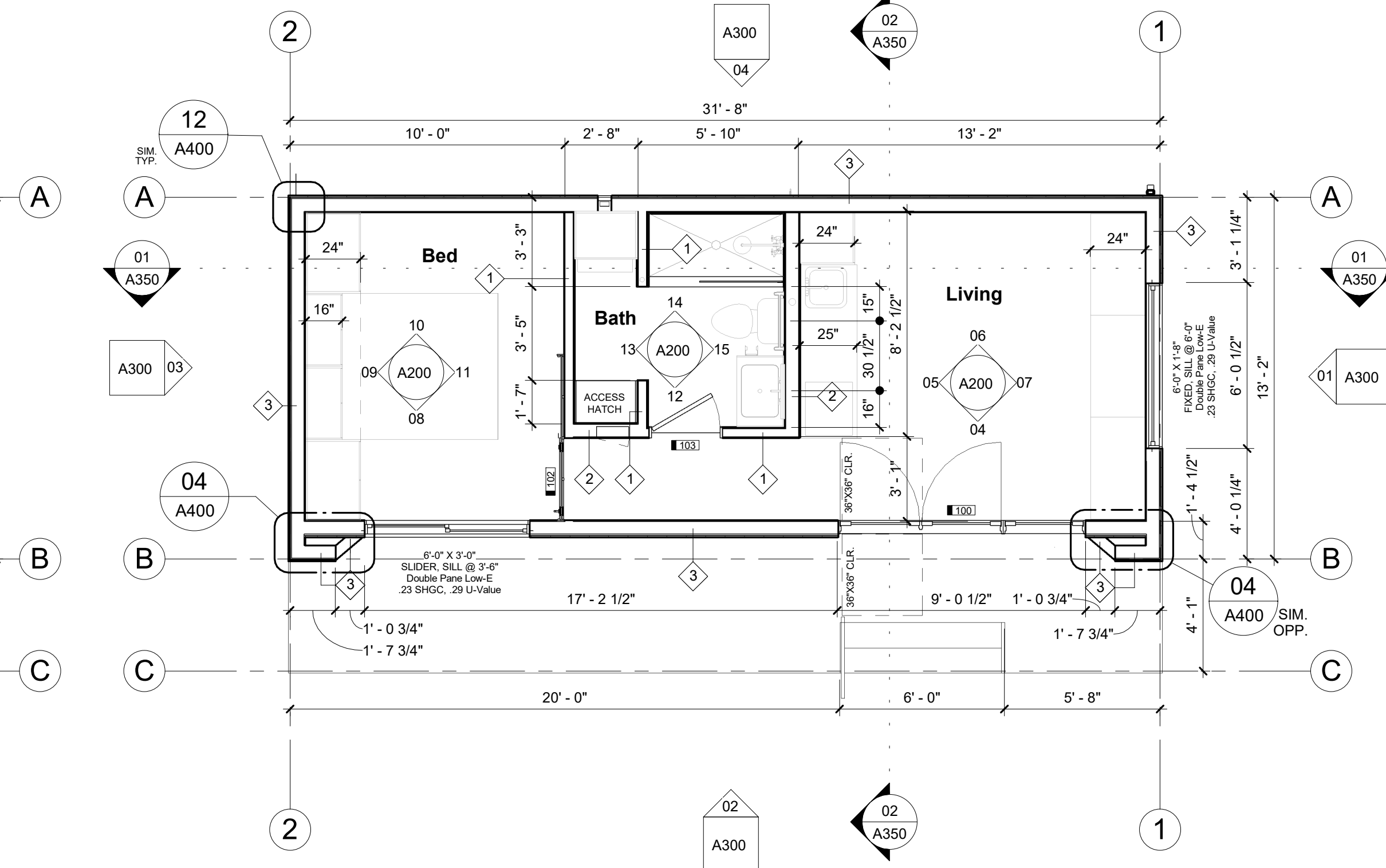
05 Living - East
1/4" = 1'-0"



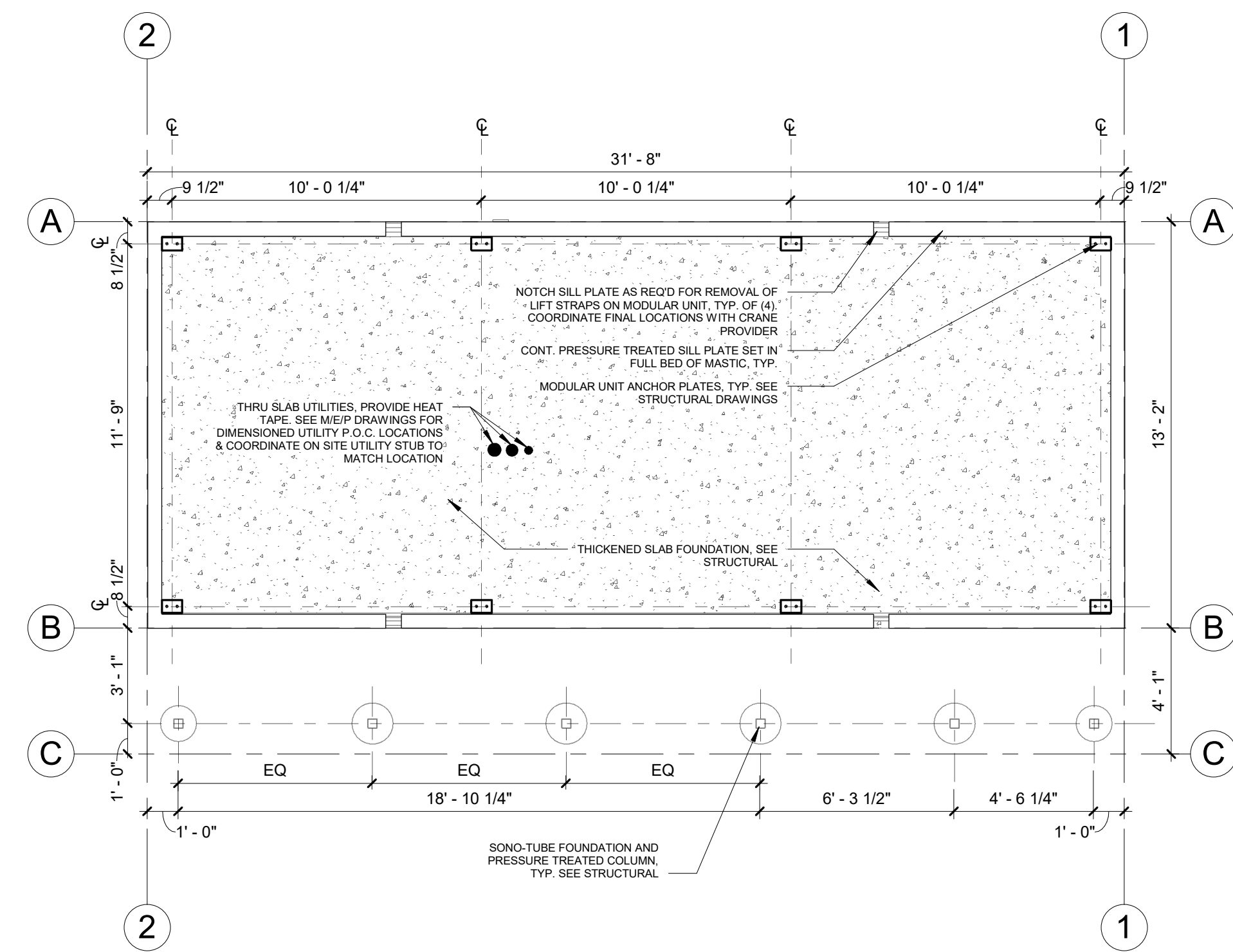
04 Living - South
1/4" = 1'-0"



03 Roof Plan
1/4" = 1'-0"



02 Floor Plan
1/4" = 1'-0"

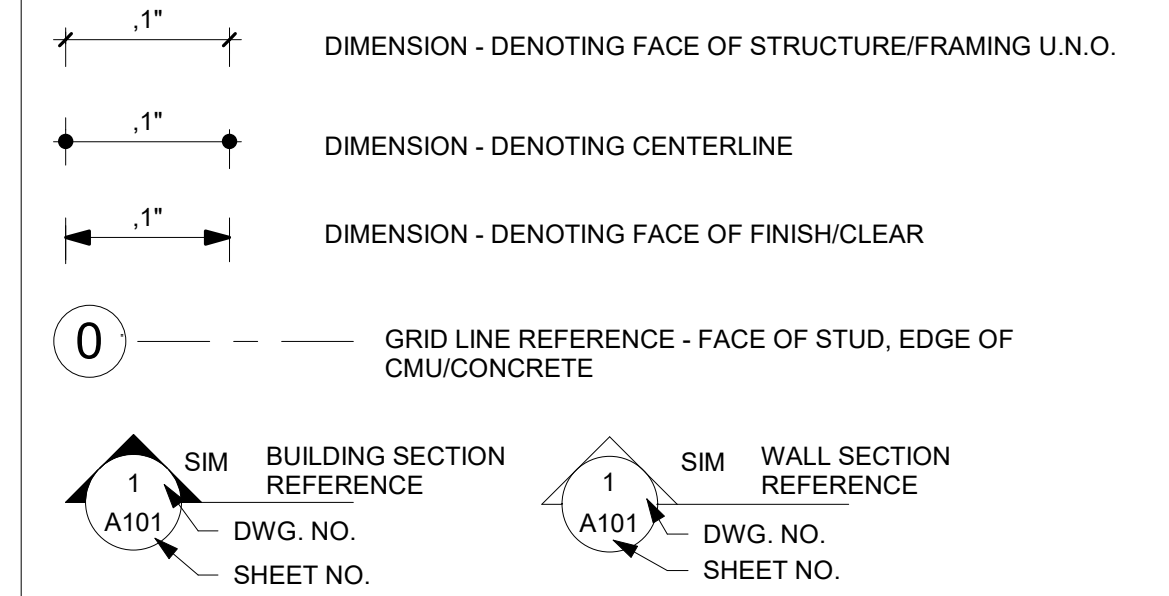


01 Foundation Plan
1/4" = 1'-0"

GENERAL NOTES - FLOOR PLAN

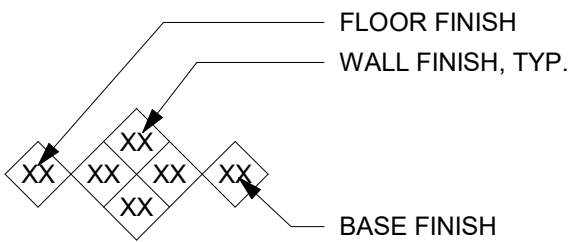
1. WHEN SHOWN IN PLAN, ALL DIMENSIONS ARE TO FACE OF STUD. FACE OF CONCRETE, CENTERLINE OF COLUMNS, OR CENTERLINE OF WALL ASSEMBLIES, U.N.O.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
3. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.
4. SEE SITE PLAN FOR OVERALL SITE DIMENSIONS AND NOTES NOT SHOWN. ALL GRID LINES INDICATE CENTER OF STRUCTURAL WALL OR FACE OF STRUCTURAL MATERIAL, U.N.O.
5. WINDOW TYPES AND LOCATIONS SHALL BE AS PER BUILDING PLANS, NOT ENLARGED PLANS.
7. SEE ENLARGED PLANS FOR DIMENSIONS, TAGS, KEYNOTES, NOTES, ETC. NOT SHOWN.
8. SEE FINISH LEGEND FOR TYPICAL FINISHES, U.N.O.
9. SEE REFLECTED CEILING PLANS FOR LOCATIONS AND DIMENSIONS OF SOFFITED AREAS.
10. PROVIDE AND INSTALL 2X FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
11. ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
12. AT AREAS OF TRANSITION BETWEEN DIFFERENT WALL ASSEMBLIES, CONTINUE THICKER LAYER OF SUBSTRATE OR FINISH TO PROVIDE A FLUSH FINISHED SURFACE IN ALL DIRECTIONS TO NEAREST PERPENDICULAR SURFACE (WALL, CEILING, ETC.), U.N.O.
13. PROVIDE BATT INSULATION AT INTERIOR WALLS FOR ACOUSTIC PURPOSES AT BATHROOMS, LAUNDRY ROOMS AND MECHANICAL ROOMS, U.N.O.
14. ALL BLOCKOUTS IN SLABS, WALLS, FLOORS AND G.T. SLABS WHERE OCCUR SHALL BE COORDINATED AND PROVIDED, EVEN IF NOT SPECIFICALLY SHOWN ON DRAWINGS.

LEGEND - FLOOR PLAN

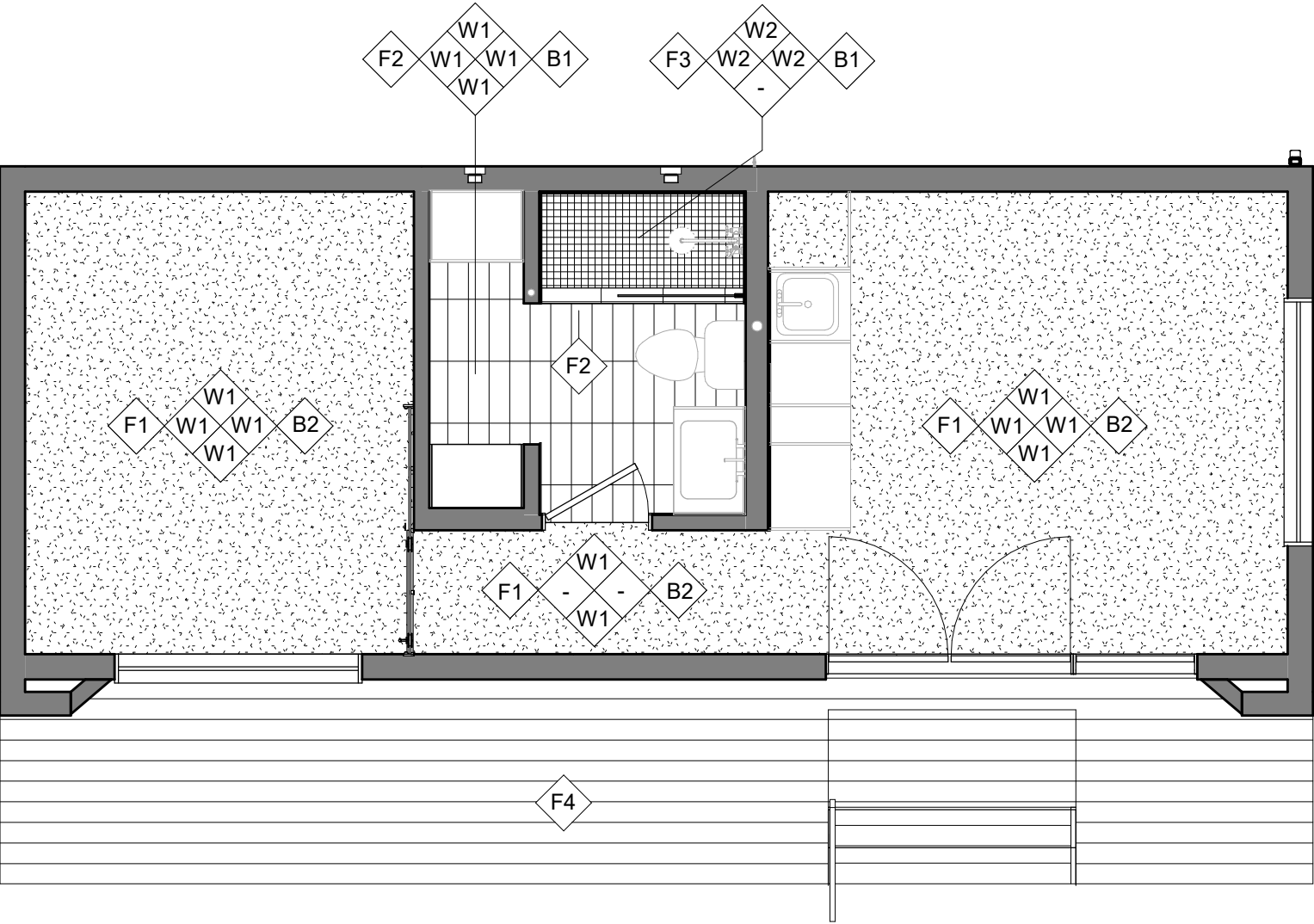


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MARK	MATERIAL	MANUFACTURER	COLOR / MODEL #
FLOOR			
F1	LINOLEUM	FORBO	MARMOLEUM - CONCRETE
F2	TILE	TBD	WHITE
F3	TILE - ACCENT	TBD	WHITE
F4	EXTERIOR DECKING	TREX	COLOR TO MATCH EXTERIOR SIDING
BASE			
B1	3" COVED TILE	TBD	WHITE
B2	1/2" GYP. BD. REVEAL	TBD	TBD
WALLS			
W1	GYP. BD. - PAINTED	TBD	TBD
W2	TILE	TBD	WHITE
W3	TILE - ACCENT	TBD	WHITE
W4	NOT USED	N/A	N/A
W5	1/2" BIRCH PLYWOOD	TBD	CLEAR COAT
CEILING/SOFFITS			
C1	GYPBOARD - PAINTED	TBD	TBD
C2	1/2" BIRCH PLYWOOD	TBD	CLEAR COAT
COUNTERS			
CT1	QUARTZ	TBD	WHITE
CT2	TBD	N/A	N/A
MILLWORK			
M1	BIRCH PLYWOOD - SEALED	TBD	CLEAR COAT SEALANT
M2	NOT USED	N/A	N/A

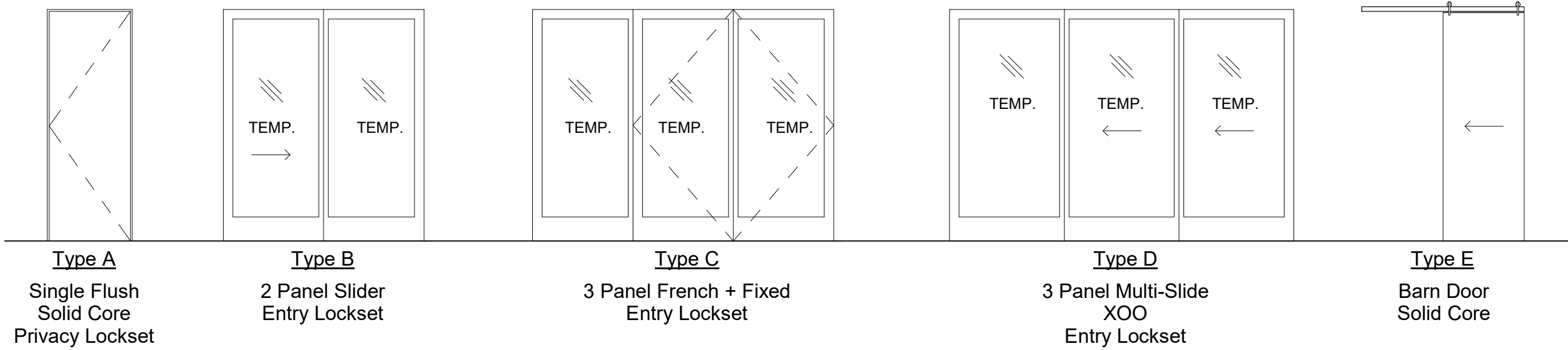


INTERIOR FINISH SCHEDULE & LEGEND

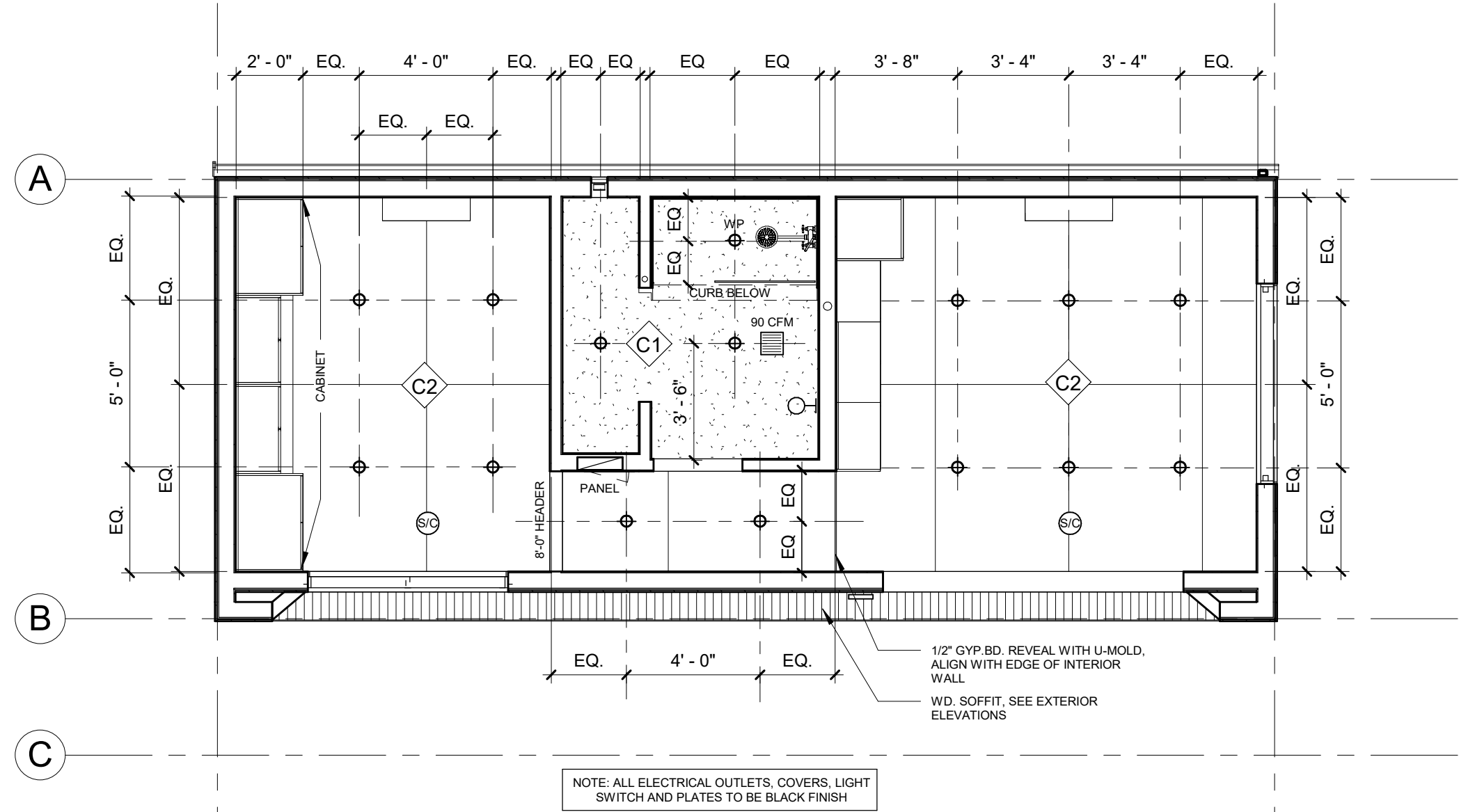


02 Finish Plan & Schedule
1/4" = 1'-0"

DOOR SCHEDULE									
Mark	Type	Door			Material	Finish	Frame		Comments
		Width	Height	Thickness			Material	Finish	
100	C	9' - 0"	8' - 0"	0' - 1 3/4"	ALUMINUM CLAD WOOD & GLASS	BLACK	ALUMINUM CLAD WOOD - EXTERIOR, FRAMLESS W/ 1/2" REVEAL - INTERIOR	BLACK	.18 SHCG, .29 U-VALUE
102	E	3' - 0"	8' - 0"	0' - 1 3/4"	SOLID CORE - WOOD	PAINTED - WHITE	N/A	N/A	PROVIDE FULL BLOCKING AT HEAD RAIL INSTALLATION LOCATION
103	A	2' - 6"	8' - 0"	0' - 1 3/4"	SOLID CORE - WOOD	PAINTED - WHITE	FRAMELESS W/ 1/2" REVEAL	N/A	



DOOR LEGEND



01 Reflected Ceiling Plan
1/4" = 1'-0"

GENERAL NOTES - RCP

- ALL DIMENSIONS TO FACE OF STRUCTURAL MATERIAL, U.N.O.
- ALL GRID LINES INDICATE CENTER OF STRUCTURAL WALL OR FACE OF STRUCTURAL MATERIAL, U.N.O.
- WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. SUBCONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES. REFER TO FRAMING PLANS AND SECTIONS FOR CLARIFICATION AND DIMENSIONS OF SOFFITTED AREAS.
- FOR ALL DOOR, WINDOW & WALL TYPES REFER TO FLOOR PLANS AND ENLARGED PLANS.
- REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION ON ACCESS PANELS AND GRILLE SIZES.
- PROVIDE CONCEALED PENDANT TYPE SPRINKLER HEADS AT ALL UNIT LOCATIONS.

LEGEND - RCP

- | | |
|--|--|
| | GYP. BD. CEILING |
| | 3" CEDAR, SEE EXTERIOR FINISH SCHEDULE |
| | 1/2" BIRCH PLYWOOD, SEE INTERIOR FINISH SCHEDULE |
| | 4" RECESSED LED DOWNLIGHT, MATT BLACK. WATER PROOFED WHERE INDICATED |
| | VANITY LIGHT |
| | EXTERIOR CUSTOM LIGHT, SEE EXTERIOR ELEVATIONS |
| | 90 CFM EXHAUST FAN |
| | HARDWIRED COMBINATION SMOKE & CO SENSOR |

MODAL 01 ADU - WILLIAMS
1072 S Jeremy St., Salt Lake City, UT 84104

PERMIT SET 05/14/2020

REVISION SETS

MARK DATE

PLOT DATE 05/14/2020

PROJECT 2033

DRAWN BY IK

CHECKED BY N/A

SHEET TITLE

FINISH &
REFLECTING CEILING
PLANS, SCHEDULES

A201

LIVERMORE, CA 94542
950 S. 1ST STREET
WWW.RANGEARCHITECTURE.COM

Modal

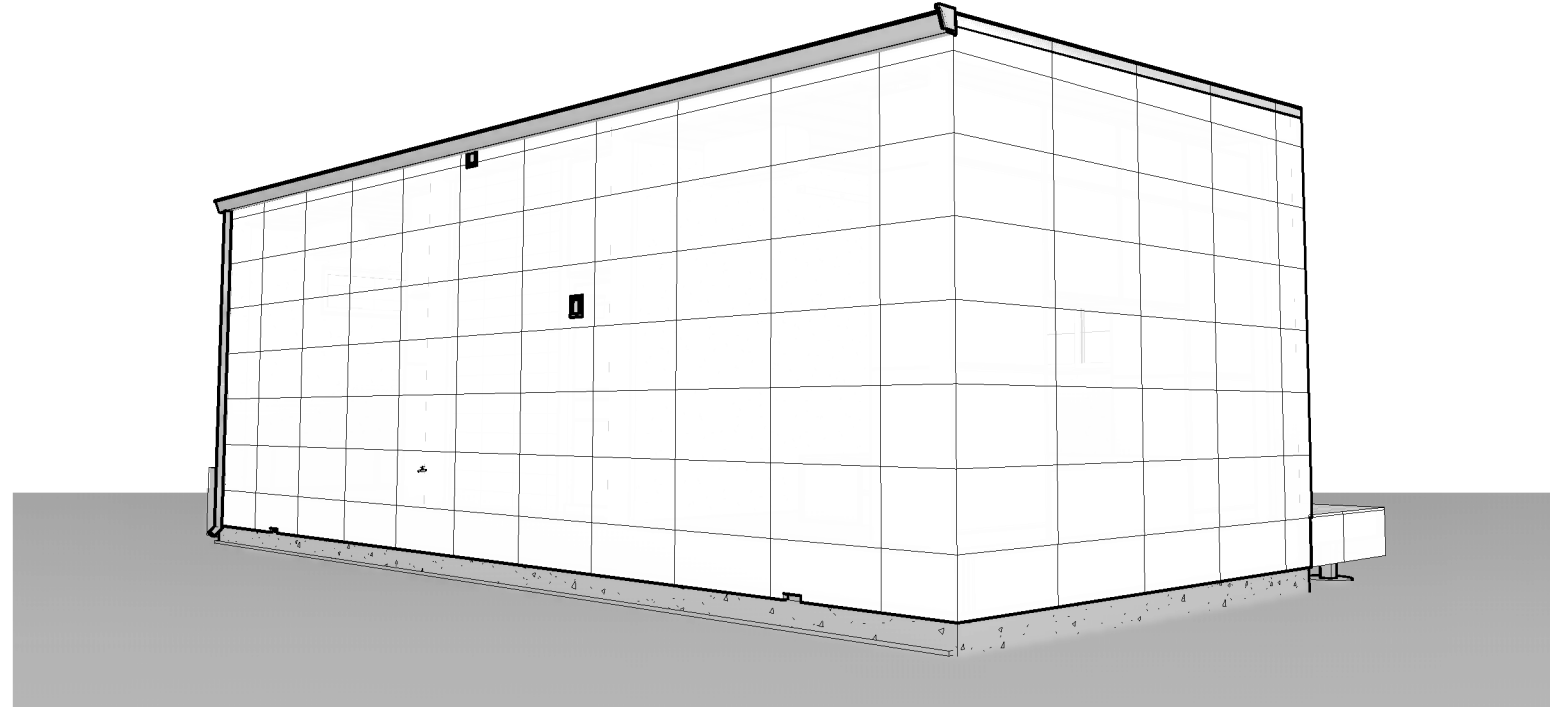


RANGE
ARCHITECTURE & DESIGN
3115 EAST HENRIE DRIVE SALT LAKE CITY, UT 84143
WWW.RANGEARCHITECTURE.COM 801.454.9550

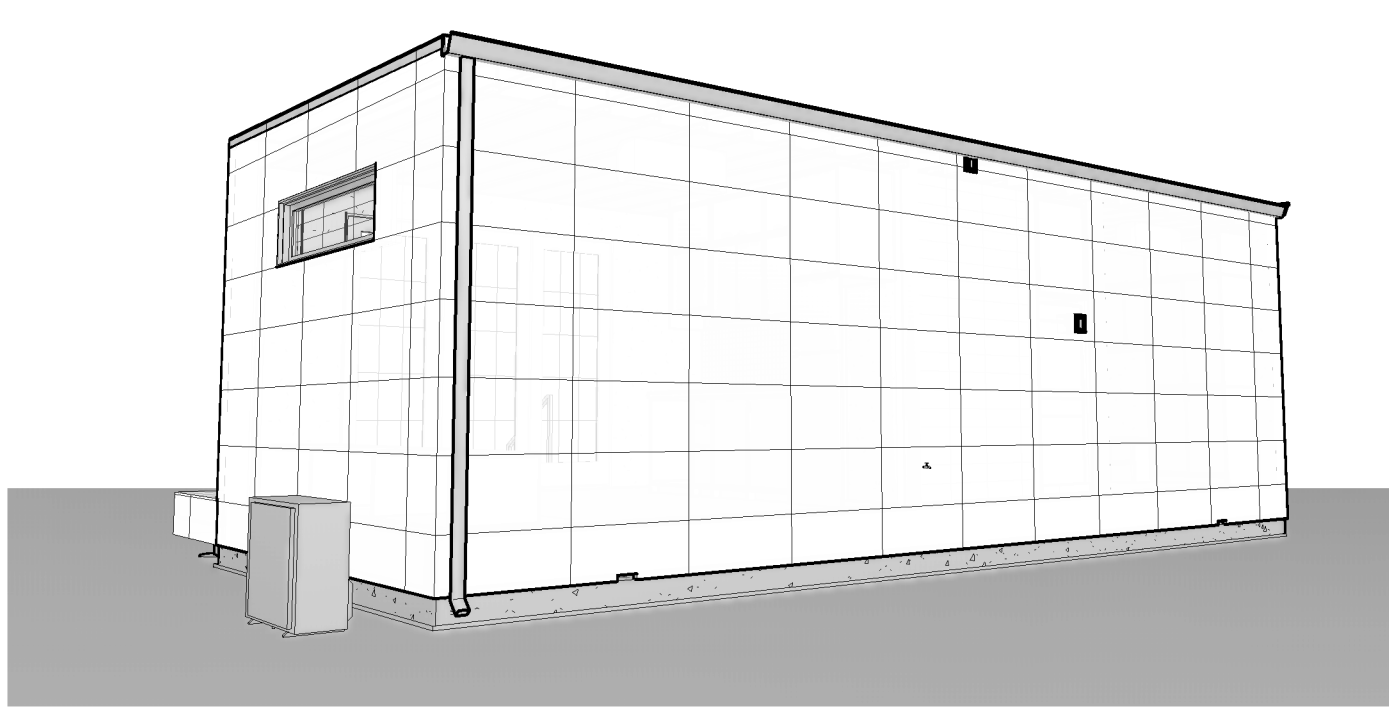
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MARK	MATERIAL	MANUFACTURER	COLOR / MODEL #
1	NOT USED	N/A	N/A
2	NOT USED	N/A	N/A
3	VERTICAL CEDAR SIDING - 3"	TBD	STAINED - CLEAR COAT
4	HORIZONTAL CEDAR SIDING - 3"	TBD	STAINED - CLEAR COAT
5	CEMENT BOARD	TBD	WHITE
6	PLASTERED FOUNDATION WALL	TBD	COLOR TO MATCH EXTERIOR SIDING
7	MTL. ROOF FLASHING	TBD	BLACK
8	ALUM. GUTTER AND DOWNSPOUT	TBD	BLACK
9	STEEL HANDRAIL	TBD	POWDERCOAT BLACK
10	STAIR RISER	TBD	STAIN TO MATCH DECK FINISH

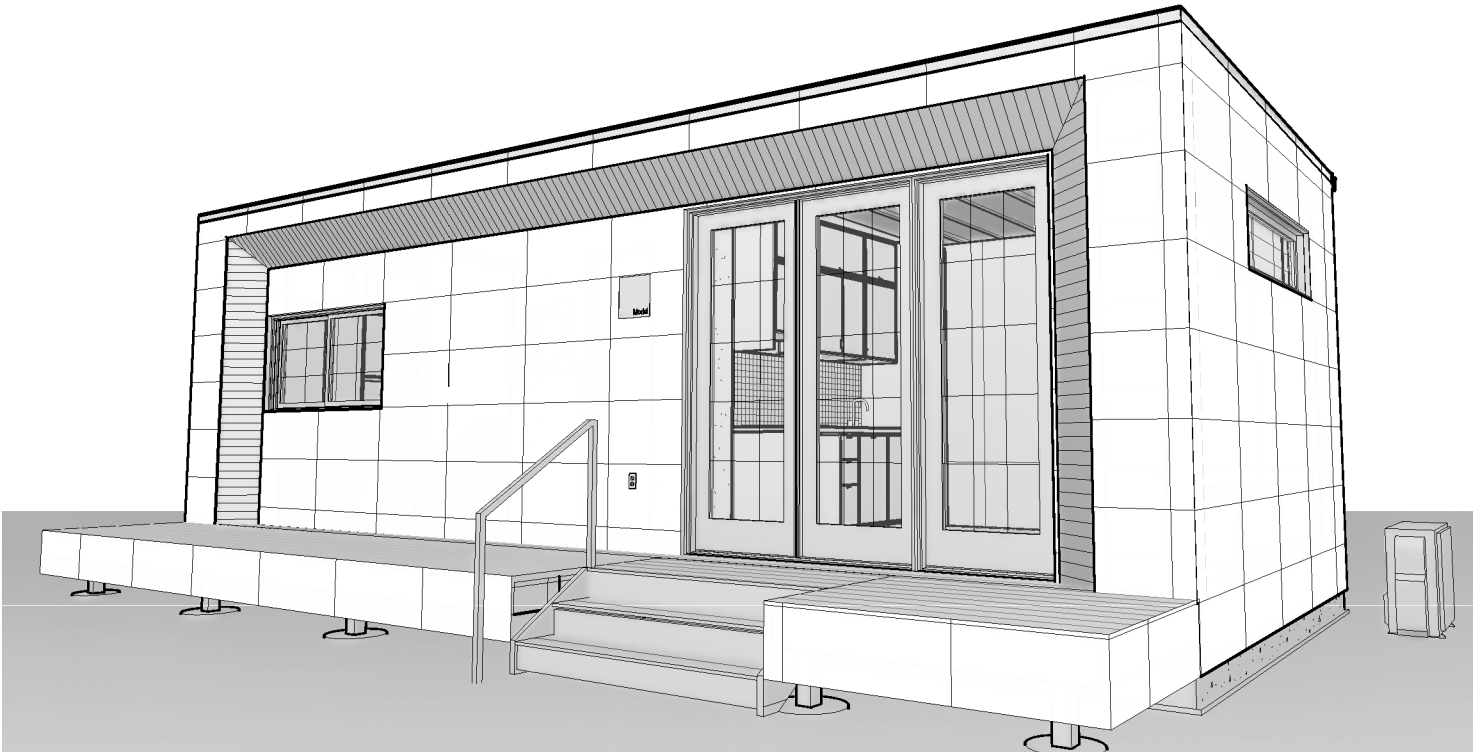
EXTERIOR FINISH SCHEDULE



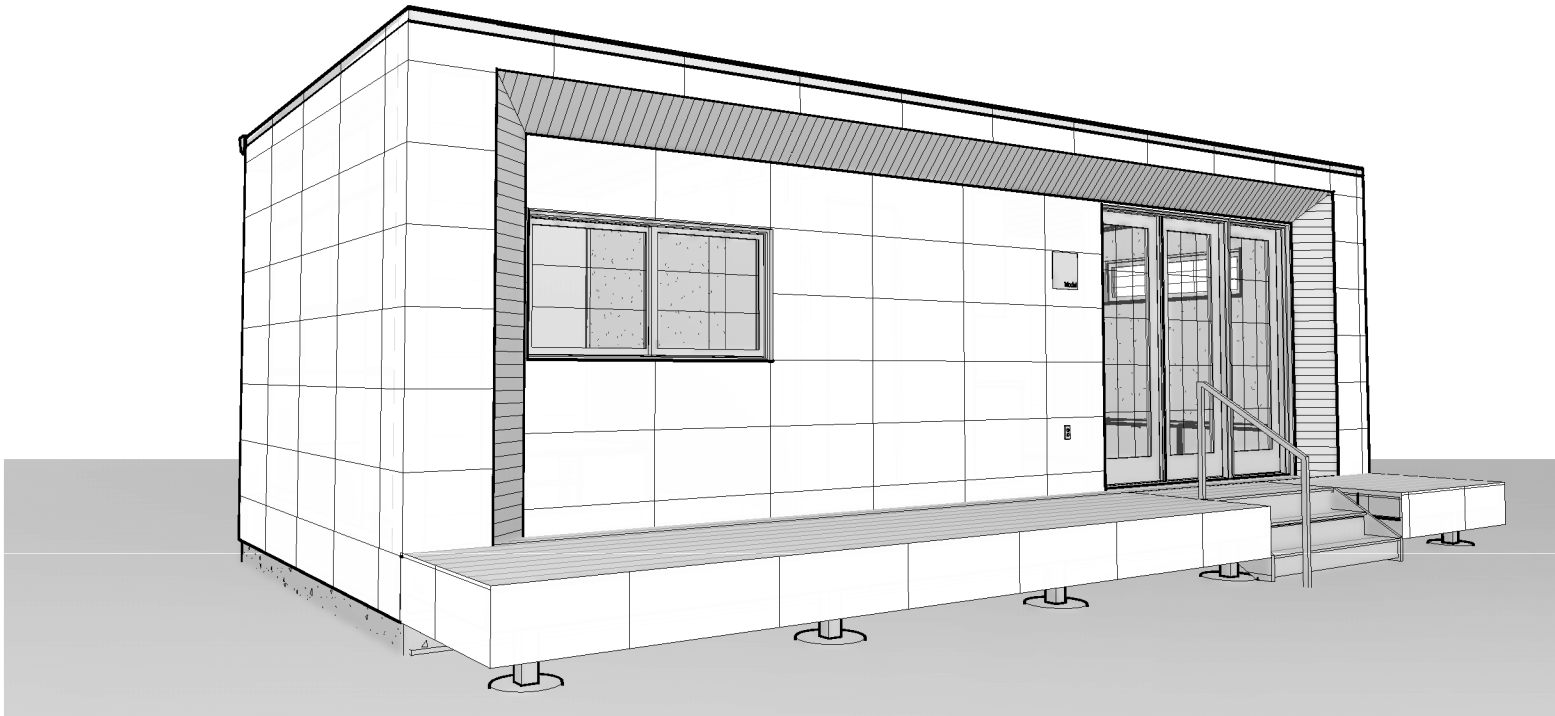
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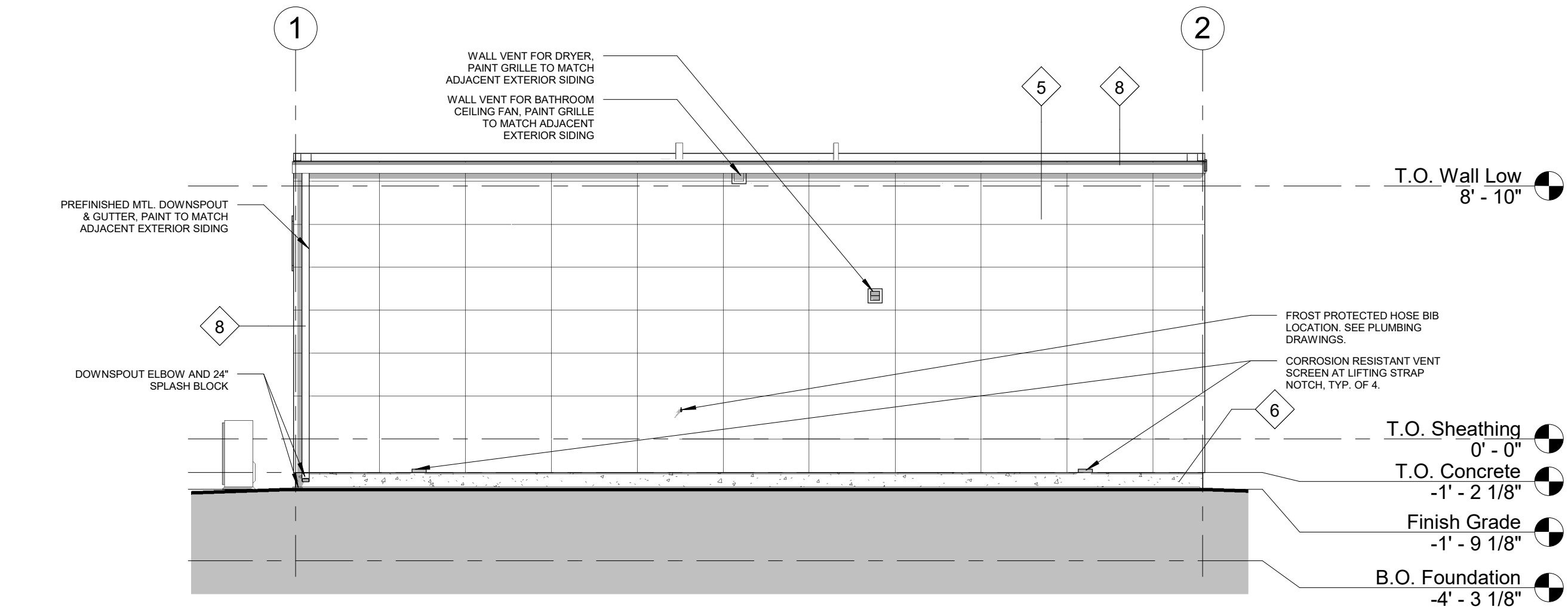
PERSPECTIVE 3



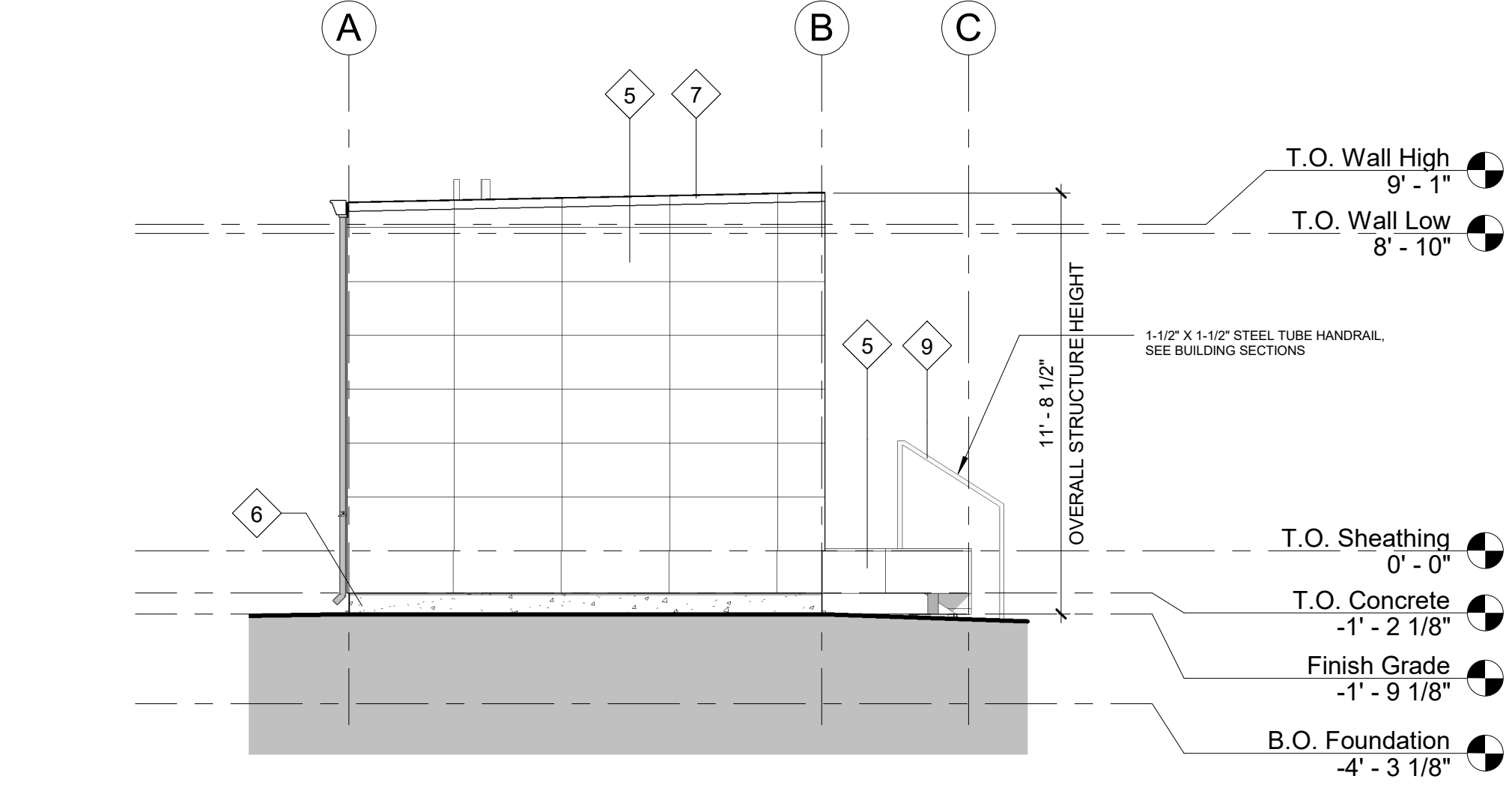
PERSPECTIVE 2



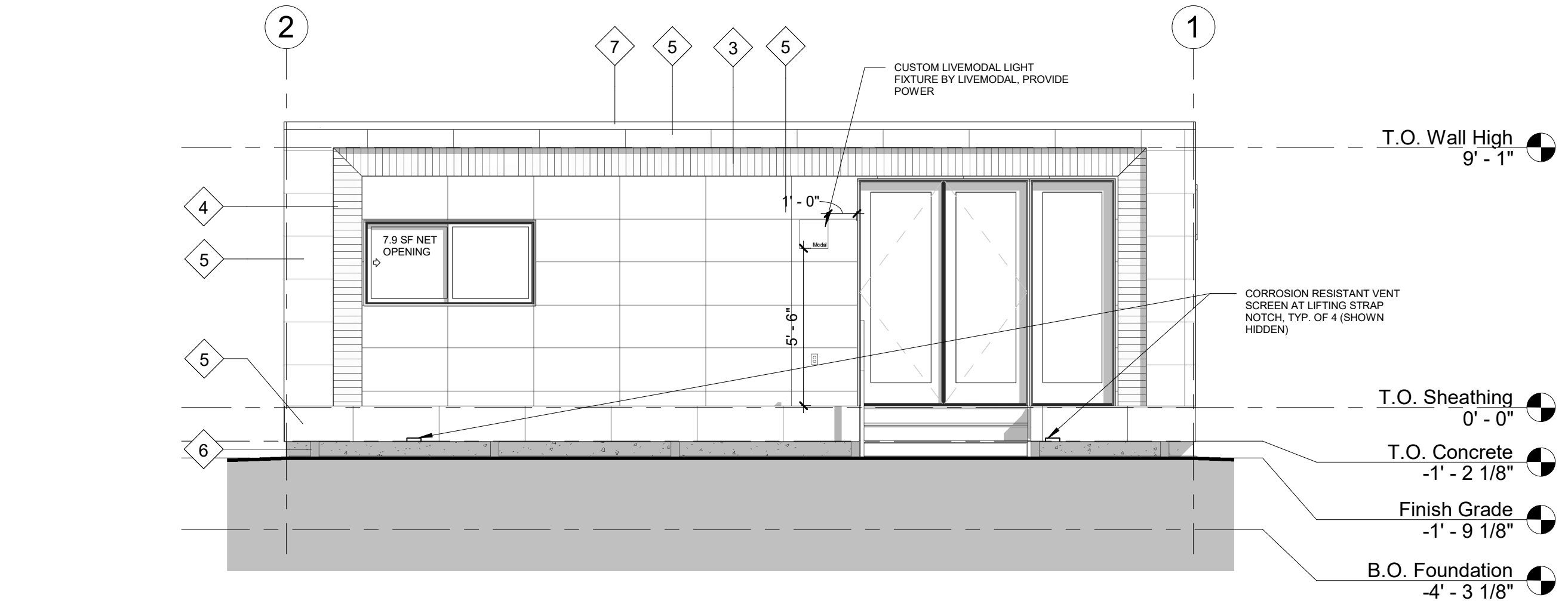
PERSPECTIVE 1



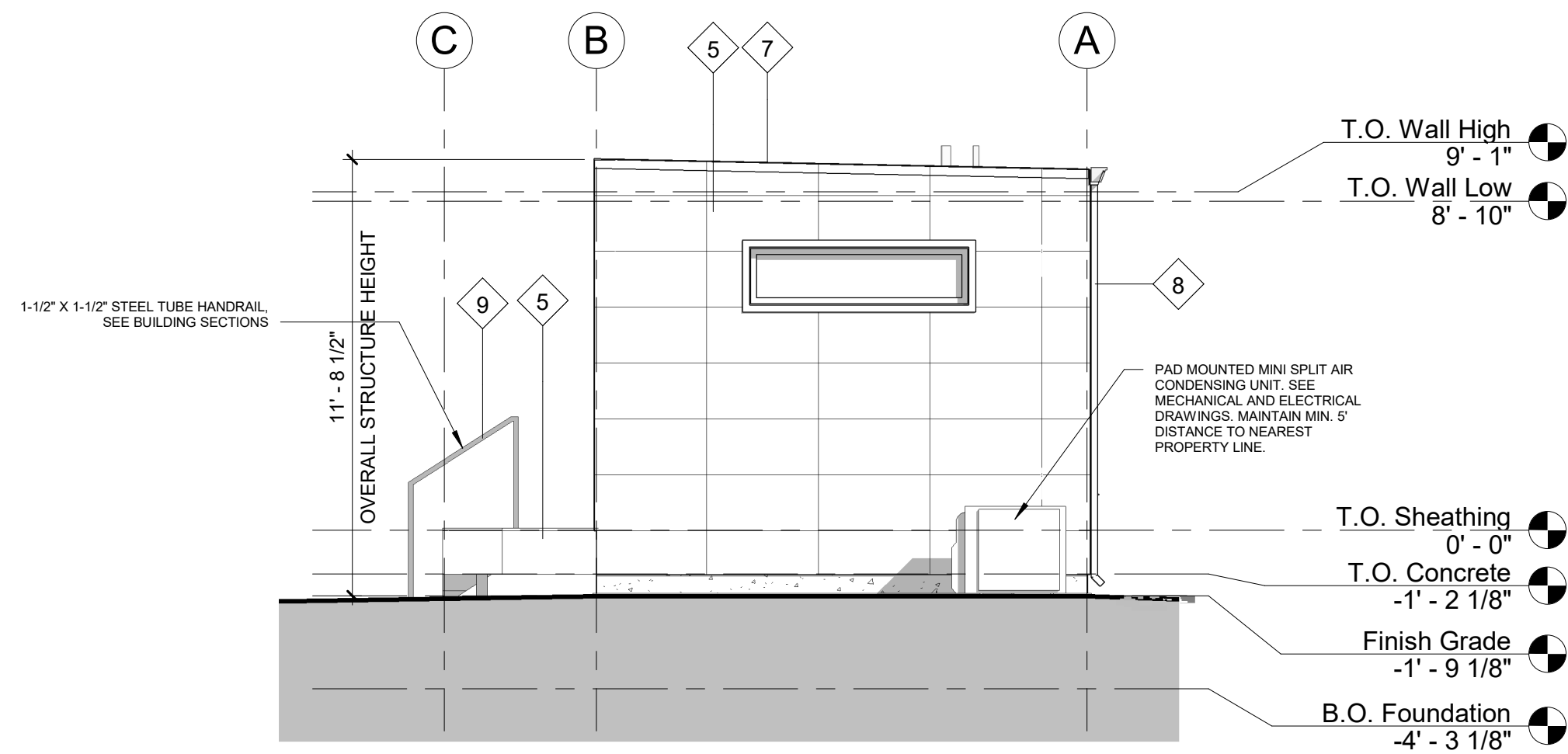
04 WEST ELEVATION
1/4" = 1'-0"



03 SOUTH ELEVATION
1/4" = 1'-0"



02 EAST ELEVATION
1/4" = 1'-0"



01 NORTH ELEVATION
1/4" = 1'-0"

GENERAL NOTES - ELEVATIONS

1. WHEN SHOWN IN ELEVATION OR SECTION, ALL DIMENSIONS ARE TO TOP OF PLATE, TOP OF CONCRETE OR TOP OF CEMENT-BASED UNDERLAYMENT, U.N.O.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMESNSIONS GOVERN.
3. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.

RANGE

STATE OF UTAH
TERRY WILSON
6590833-0301
05/14/2020
LICENSED ARCHITECT

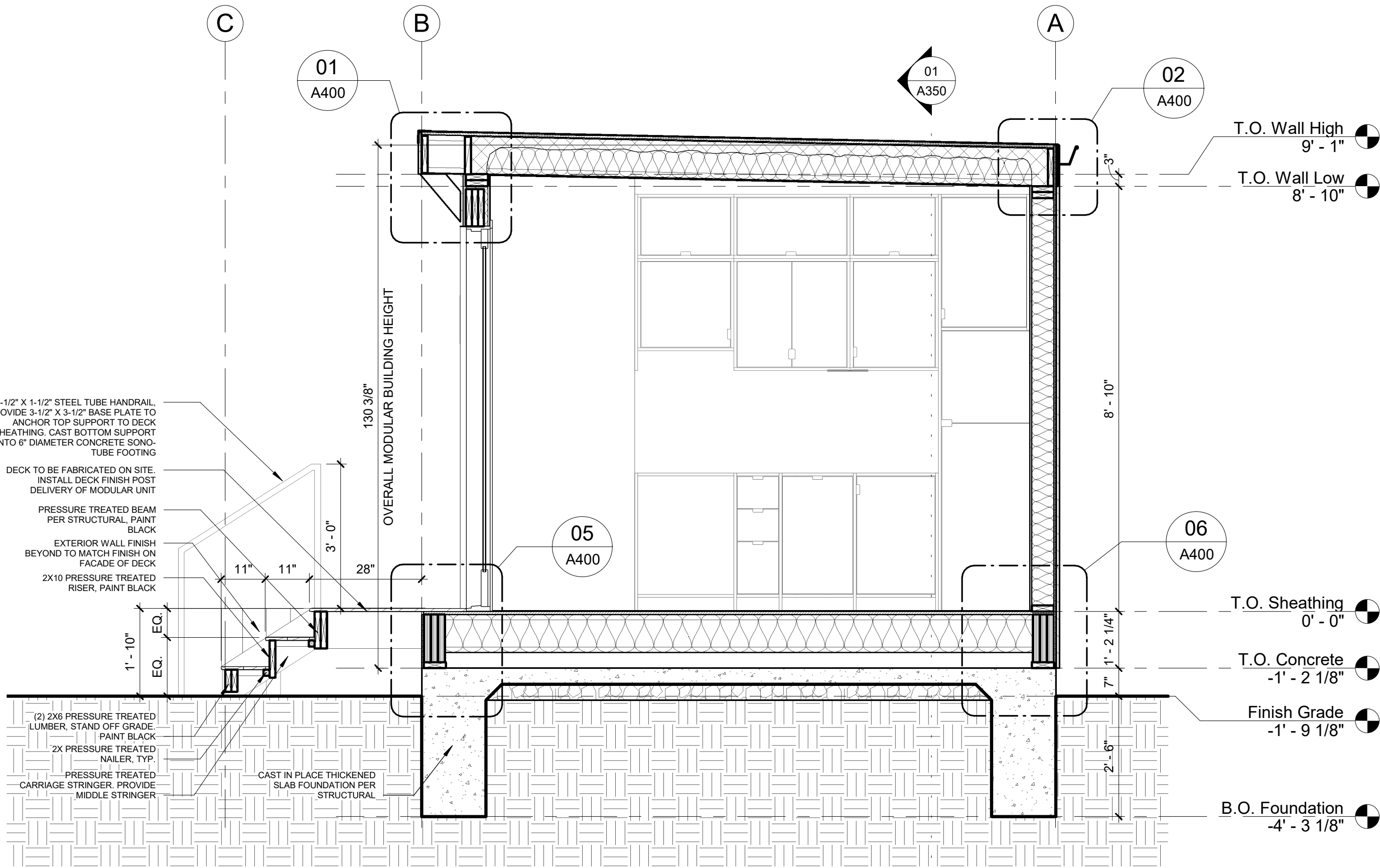
950 S. EAST AVE. SUITE 100
LIVERMOR, UTAH 84043
WWW.RANGEARCHITECTURE.COM

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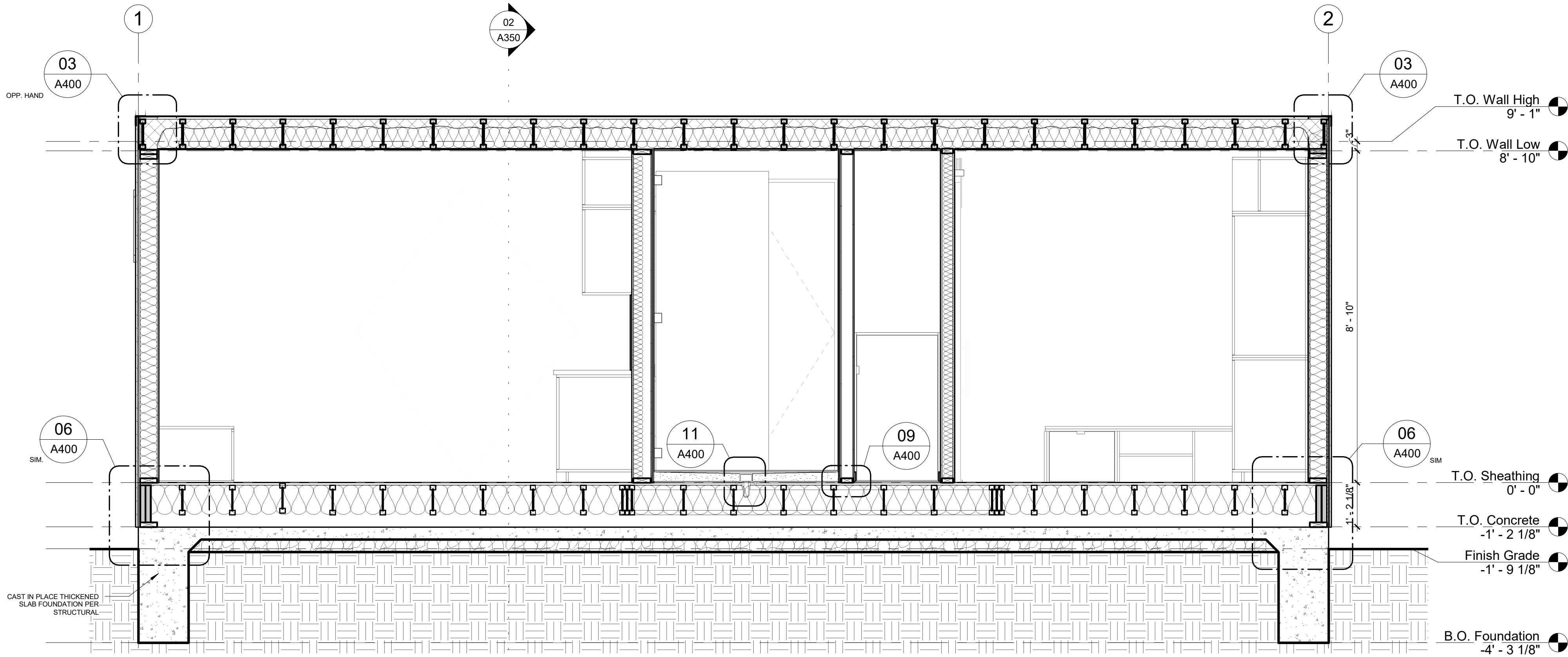
MODAL 01 ADU - WILLIAMS
1072 S Jeremy St., Salt Lake City, UT 84104

PERMIT SET 05/14/2020
REVISION SETS
MARK DATE
PLOT DATE 05/14/2020
PROJECT 2033
DRAWN BY IK
CHECKED BY N/A
SHEET TITLE
BUILDING
ELEVATIONS & 3D
VIEWS
A300

THE DESIGN AND IDEAS SHOWN AND HEREIN DESCRIBED, THE TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION, AND MODELS THEREOF HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THIS SOLE PROJECT AND SHALL REMAIN THE SOLE PROPERTY OF RANGE ARCHITECTURE AND DESIGN AND THEIR CONSULTANTS. WITHOUT THE SOLE AND EXCLUSIVE WRITTEN PERMISSION OF RANGE ARCHITECTURE AND DESIGN, REPRODUCTION, DUPLICATION, COPYING, IMITATION, COMMERCIAL EXPLOITATION, OR USE FOR ANY OTHER PURPOSE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED. PROHIBITED USE OF THE DESIGN OR THESE DRAWINGS IS SUBJECT TO THE FULL EXTENT OF LEGAL ACTION.



02 Section 2
1/2" = 1'-0"

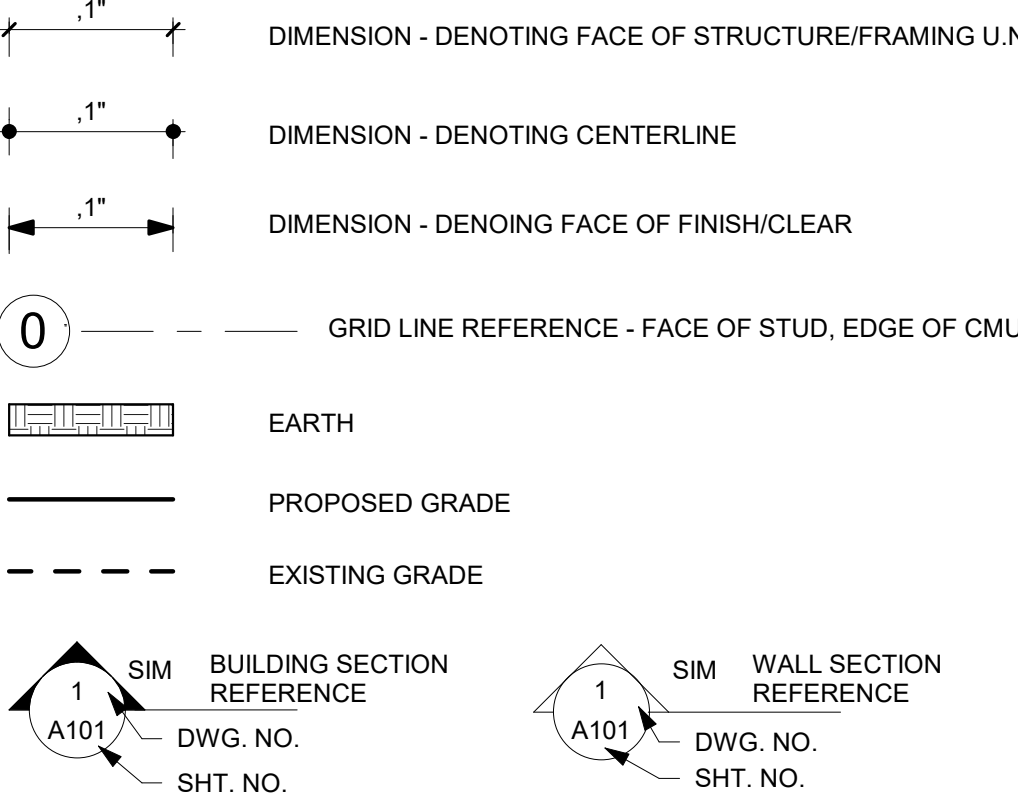


01 Section 1
1/2" = 1'-0"

GENERAL NOTES - SECTIONS

- THESE BUILDING SECTIONS ARE SHOWN FOR SPACIAL RELATIONSHIPS ONLY AND SHOULD NOT BE SOLE BASIS FOR JOINING MATERIALS. REFER TO CALLOUT DETAILS OR ASK ARCHITECT IF UNCERTAIN OR IF CONFLICTS OCCUR.
- WHEN SHOWN IN ELEVATION OR SECTION, ALL DIMENSIONS ARE TO TOP OF PLATE, TOP OF CONCRETE, U.N.O.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.

LEGEND - SECTIONS



MODAL 01 ADU - WILLIAMS
1072 S Jeremy St., Salt Lake City, UT 84104

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MARK DATE

PLOT DATE 05/14/2020

PROJECT 2033

DRAWN BY IK

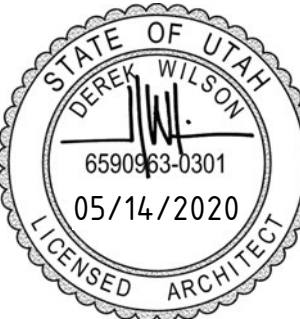
CHECKED BY N/A

SHEET TITLE

BUILDING SECTIONS

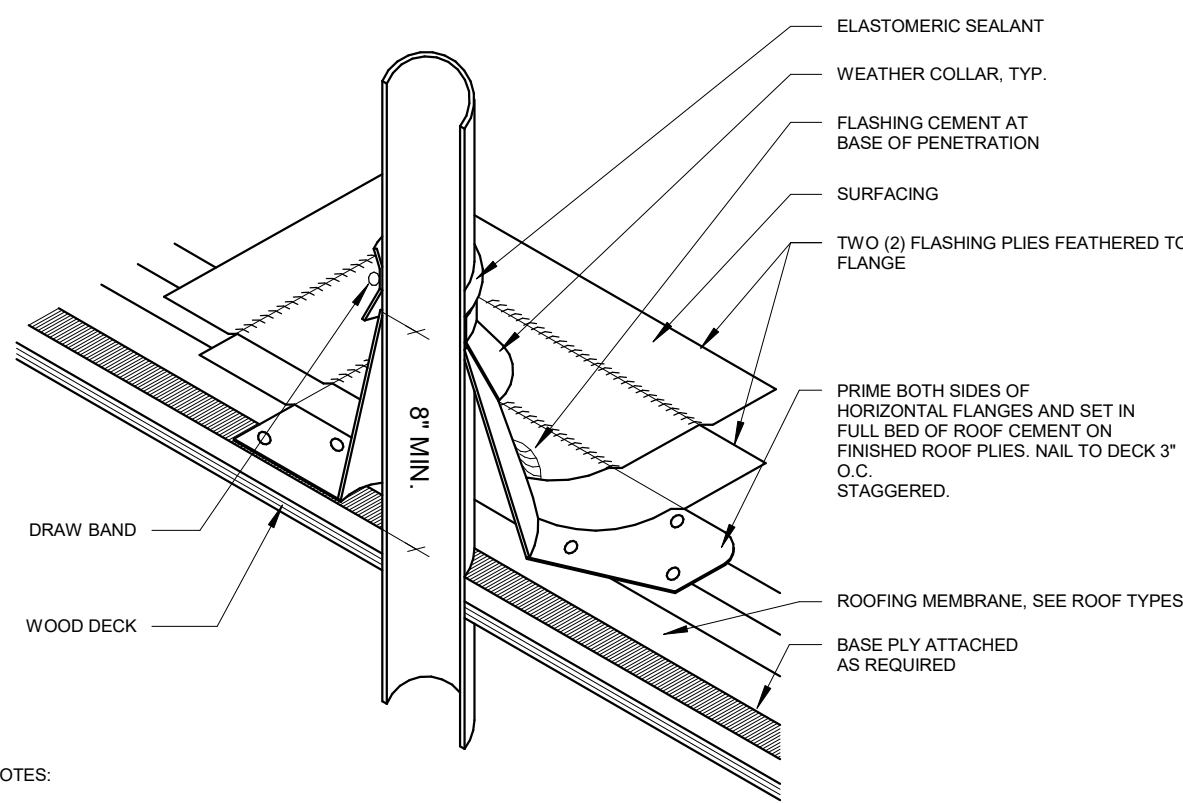
A350

RANGE
RANGE ARCHITECTURE | DESIGN
3145 EAST HENRIE DRIVE SALT LAKE CITY, UT 84143
WWW.RANGEARCHITECTURE.COM 801.454.350



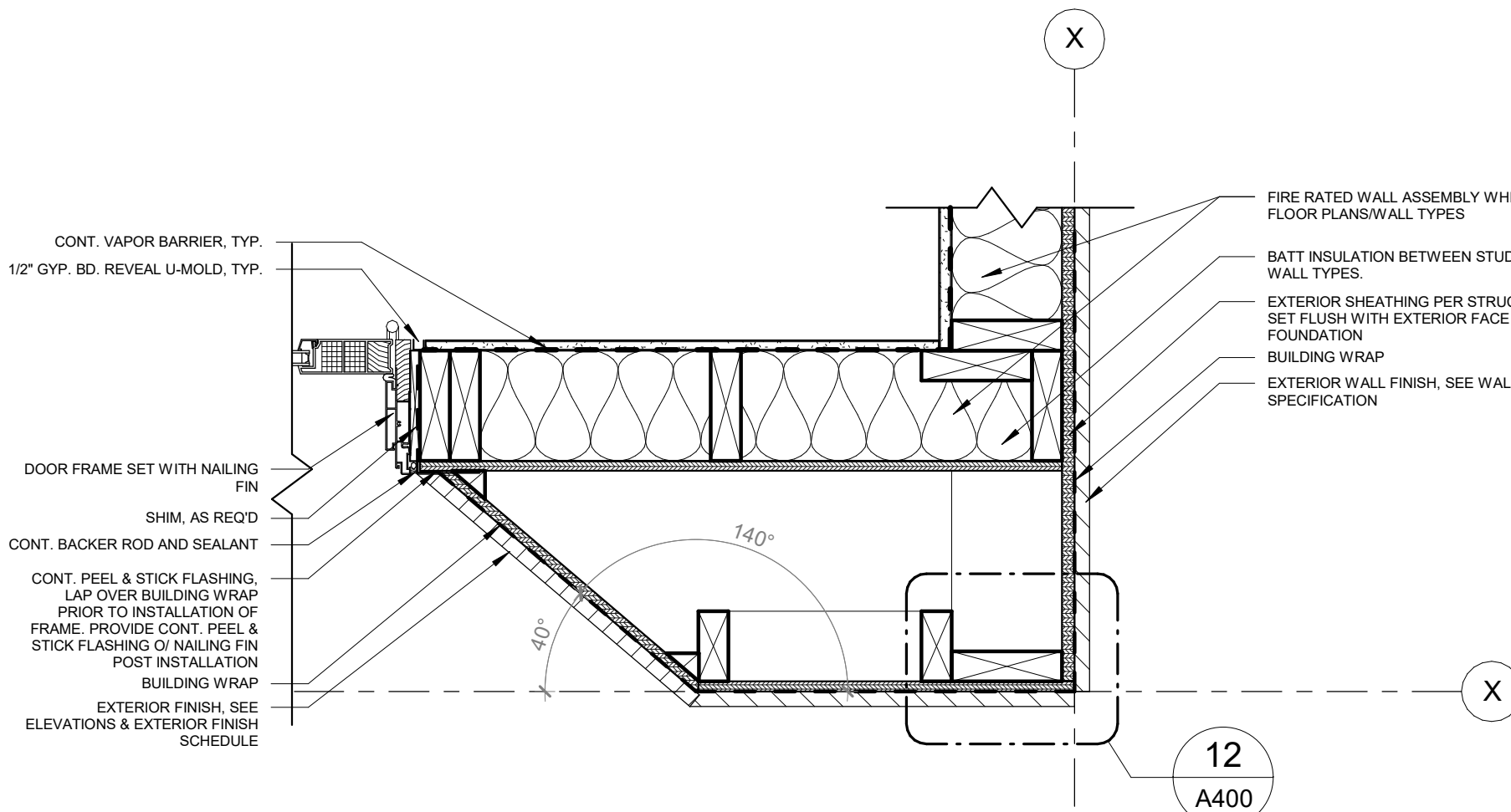
Modal
950 S. EAST STREET, SUITE 100
SALT LAKE CITY, UT 84103
WWW.MODALUTAH.COM

THE DESIGN AND IDEAS SHOWN AND HEREIN DESCRIBED, THE TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION, AND MODELS THEREOF HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THIS SOLE PROJECT AND SHALL REMAIN THE SOLE PROPERTY OF RANGE ARCHITECTURE AND DESIGN AND THEIR CONSULTANTS. WITHOUT THE SOLE AND EXPRESSED WRITTEN PERMISSION OF RANGE ARCHITECTURE AND DESIGN, REPRODUCTION, DUPLICATION, COPYING, IMITATION, COMMERCIAL EXPLOITATION, OR USE FOR ANY OTHER PURPOSE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED. PROHIBITED USE OF THESE DRAWINGS IS SUBJECT TO THE FULL EXTENT OF LEGAL ACTION.

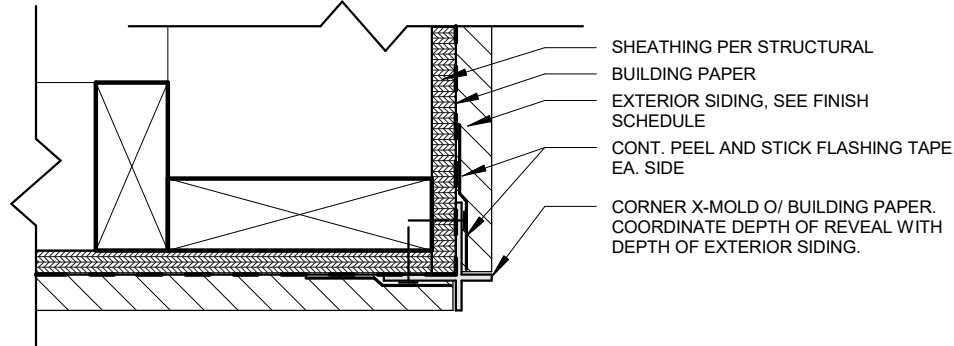


- NOTES:
1. DIMENSIONS SHOWN ARE MINIMUMS.
 2. THIS DETAIL IS SUITABLE FOR ELECTRICAL CONDUIT, WATER LINES, GAS LINES, SHEET METAL FLUES, VENTS, AND SIMILAR PENETRATIONS. IT IS NOT TO BE USED FOR SOIL VENT FLASHINGS.
 3. HORIZONTAL DECK FLANGES SHALL BE 3\"/>
 4. SET METAL ON FINISHED ROOF PLYS BEFORE SURFACING.

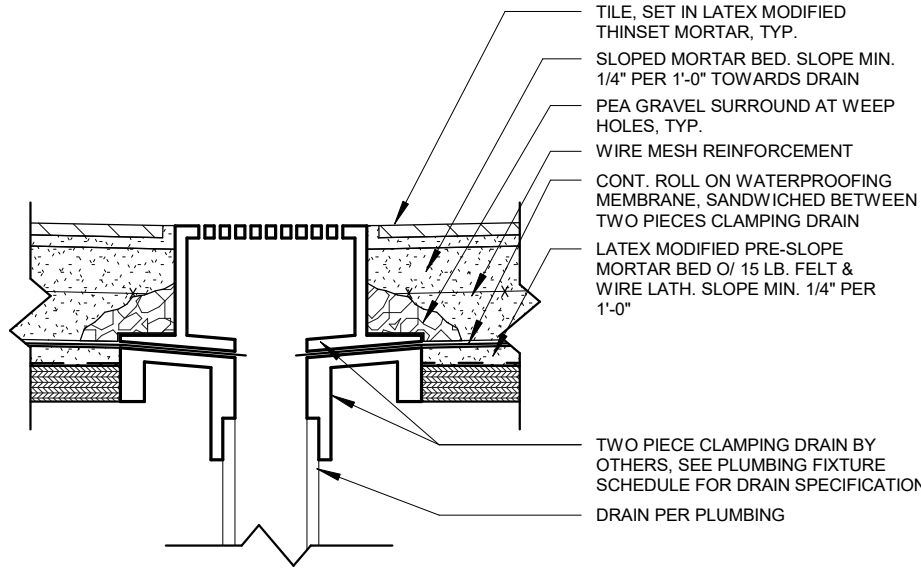
08 Vent Penetration
1 1/2" = 1'-0"



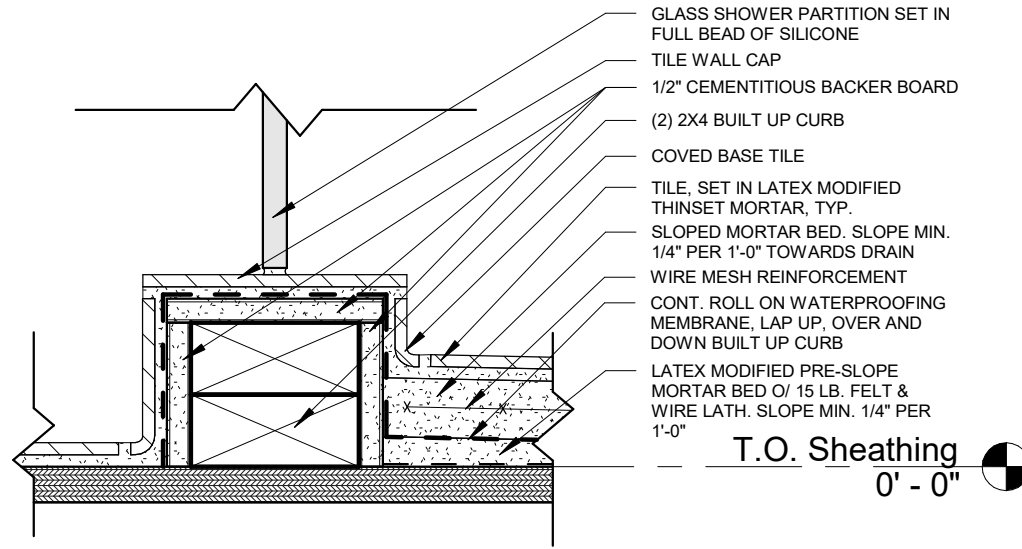
04 Corner Detail
1 1/2" = 1'-0"



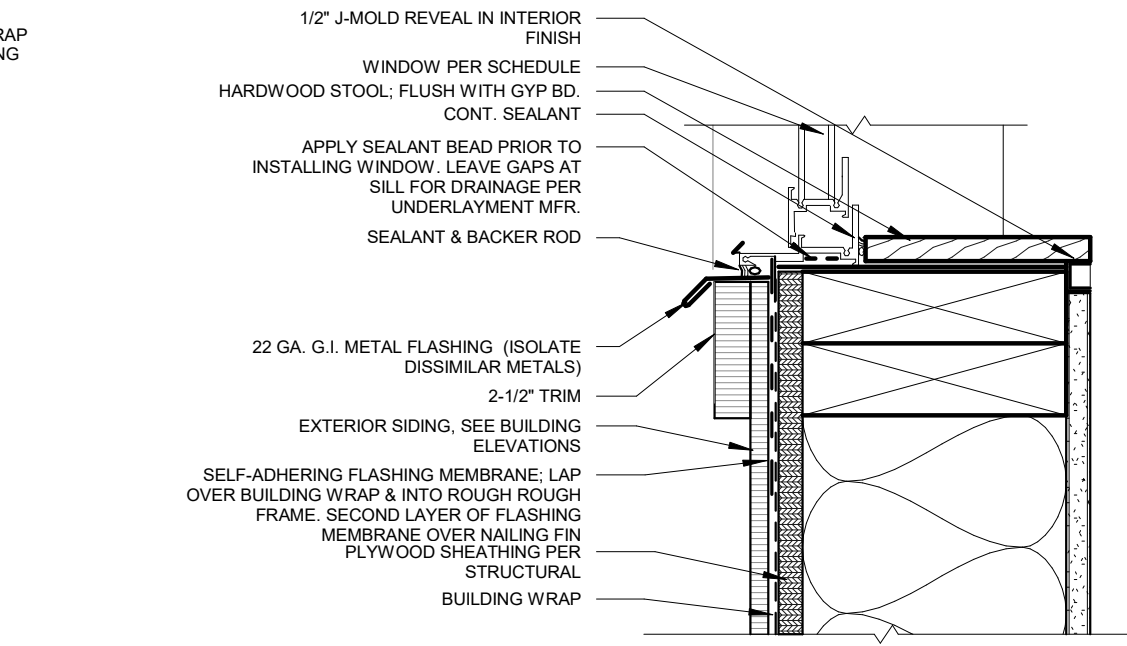
12 Enlarged Corner
3" = 1'-0"



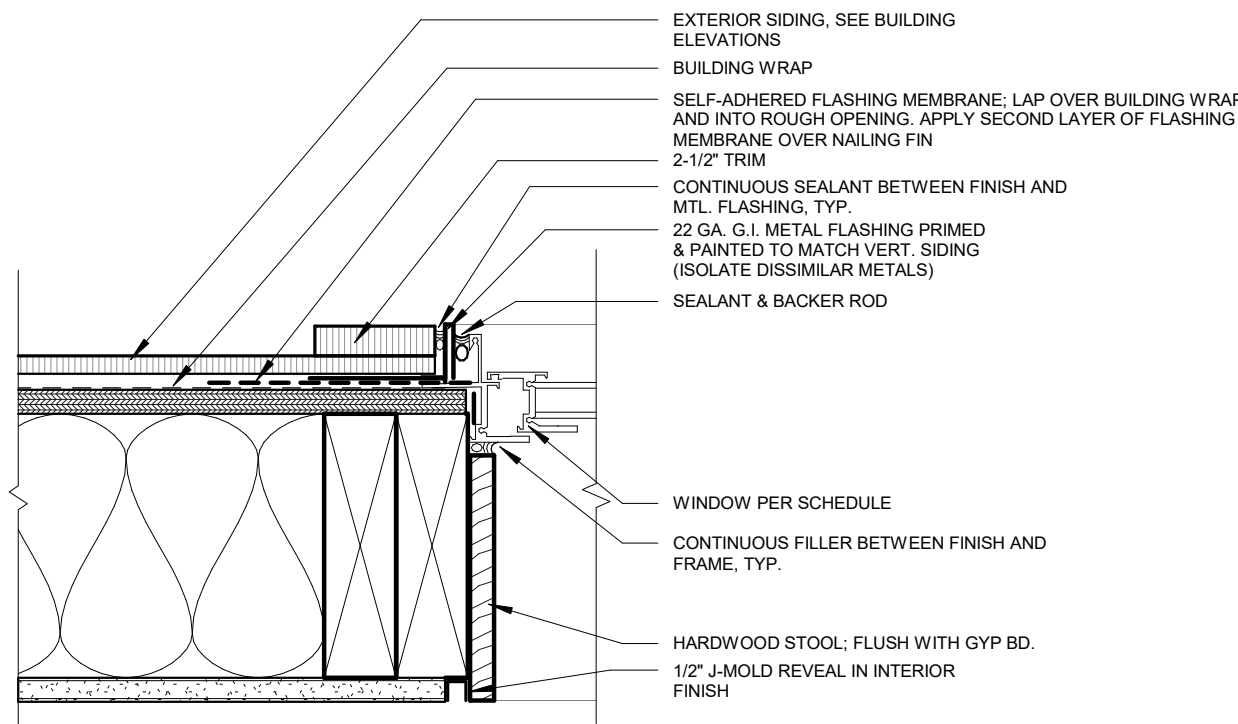
11 Shower Drain
3" = 1'-0"



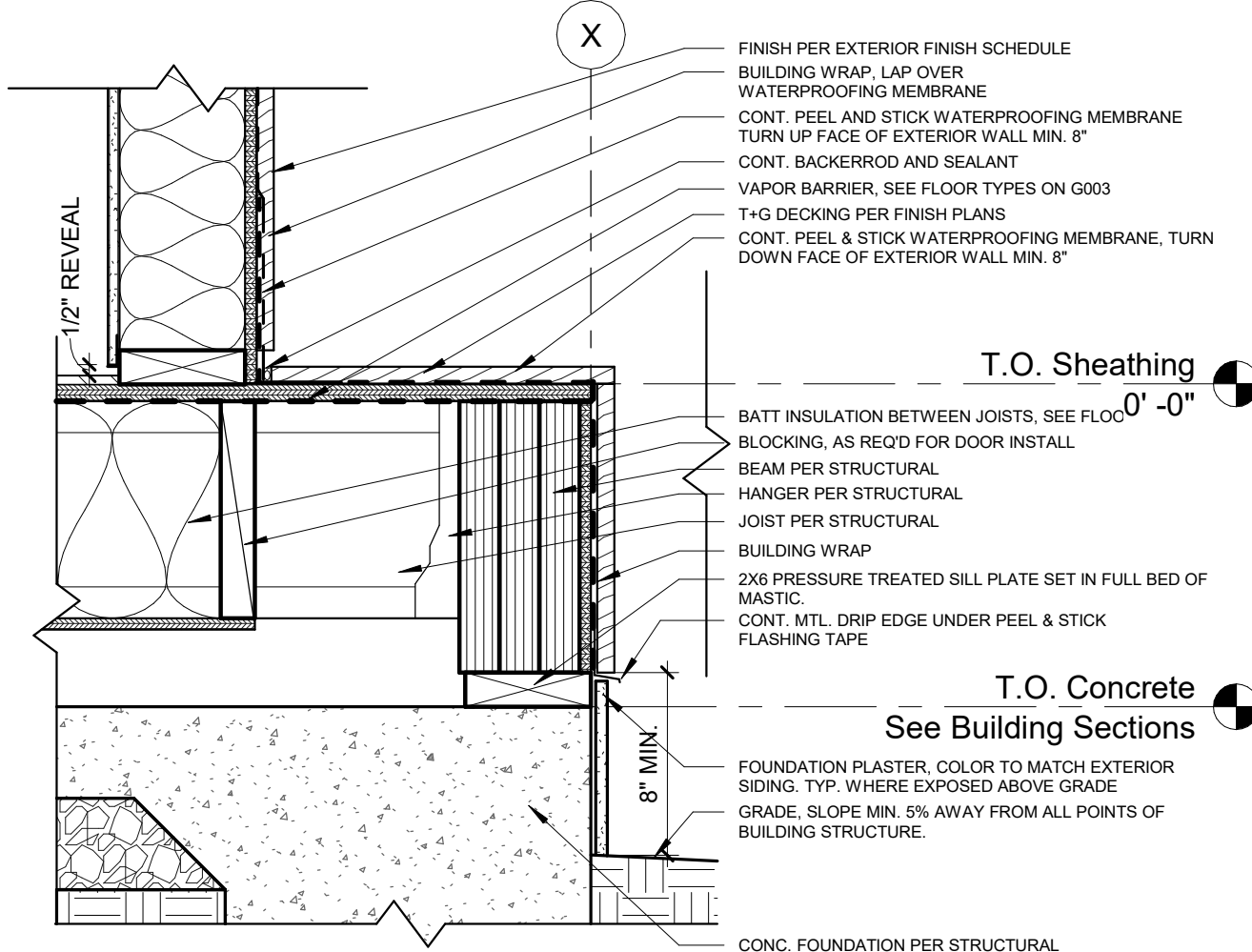
10 Shower Curb
3" = 1'-0"



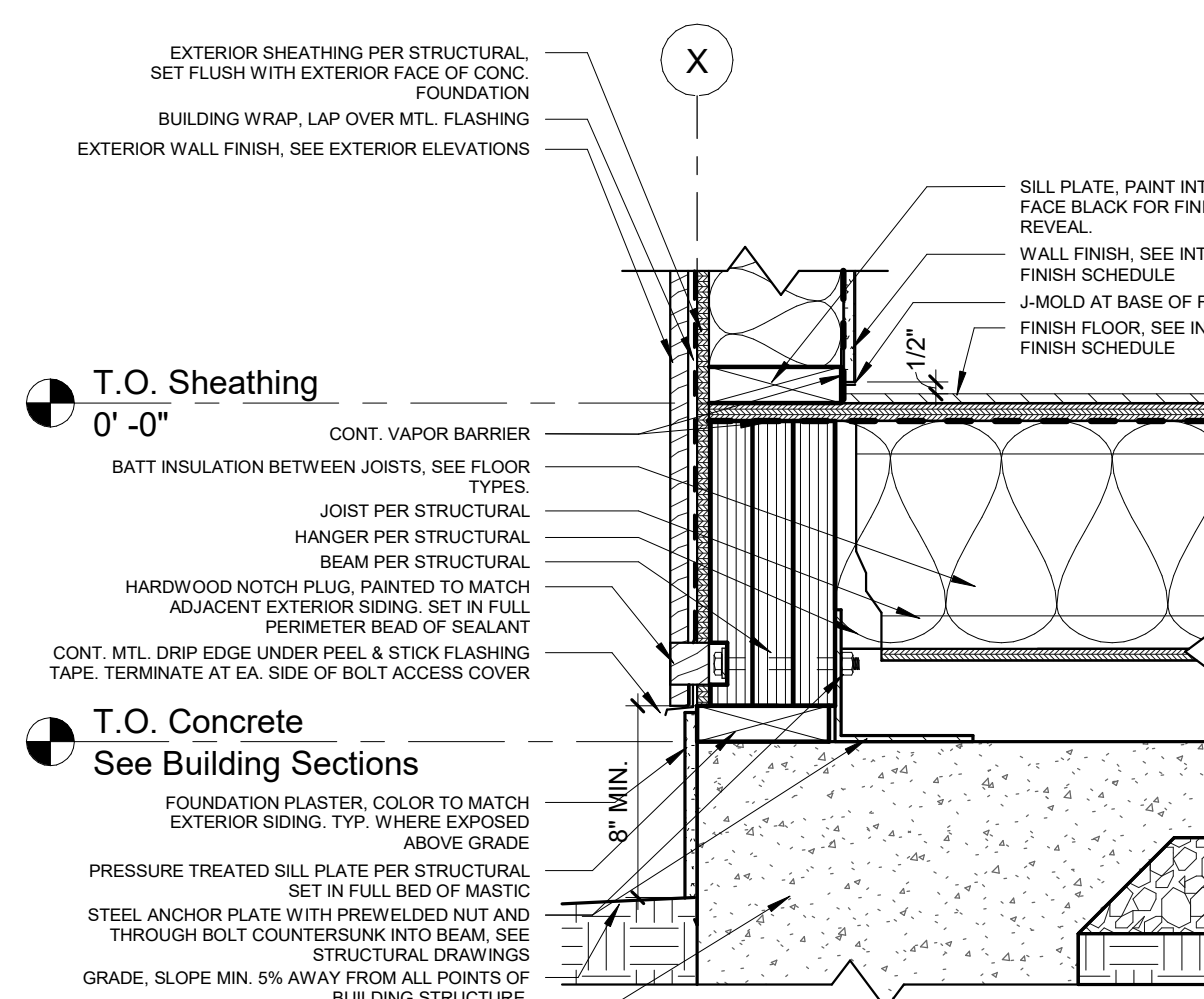
13 Window Sill
3" = 1'-0"



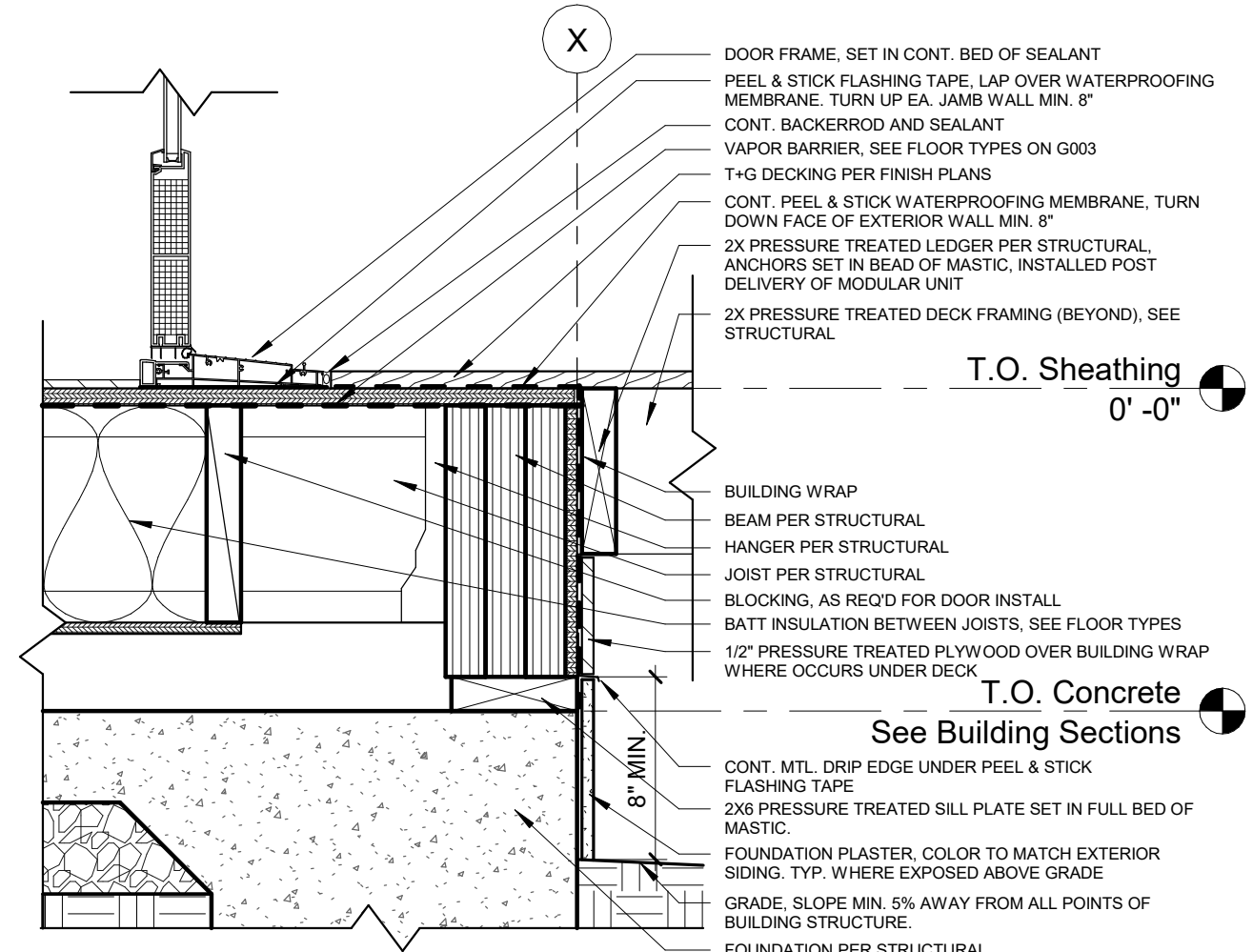
14 Window Jamb/Head, Sim.
3" = 1'-0"



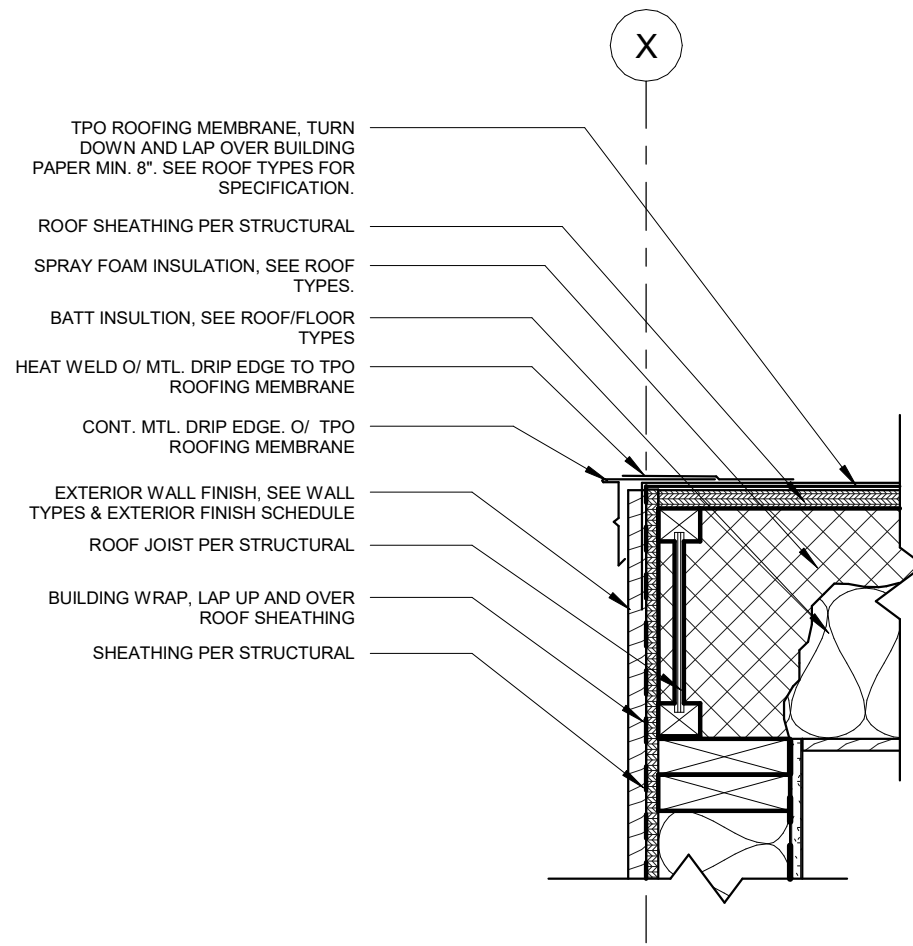
07 Recessed Sill Detail
1 1/2" = 1'-0"



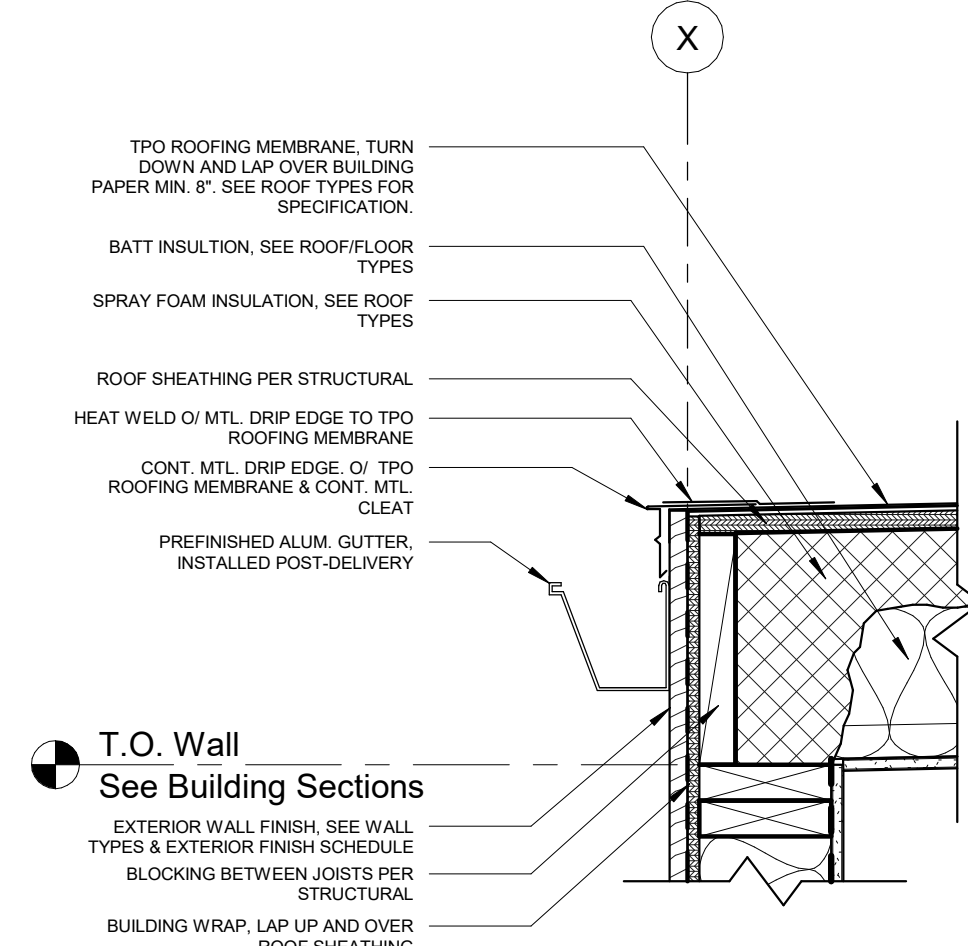
06 Foundation Detail
1 1/2" = 1'-0"



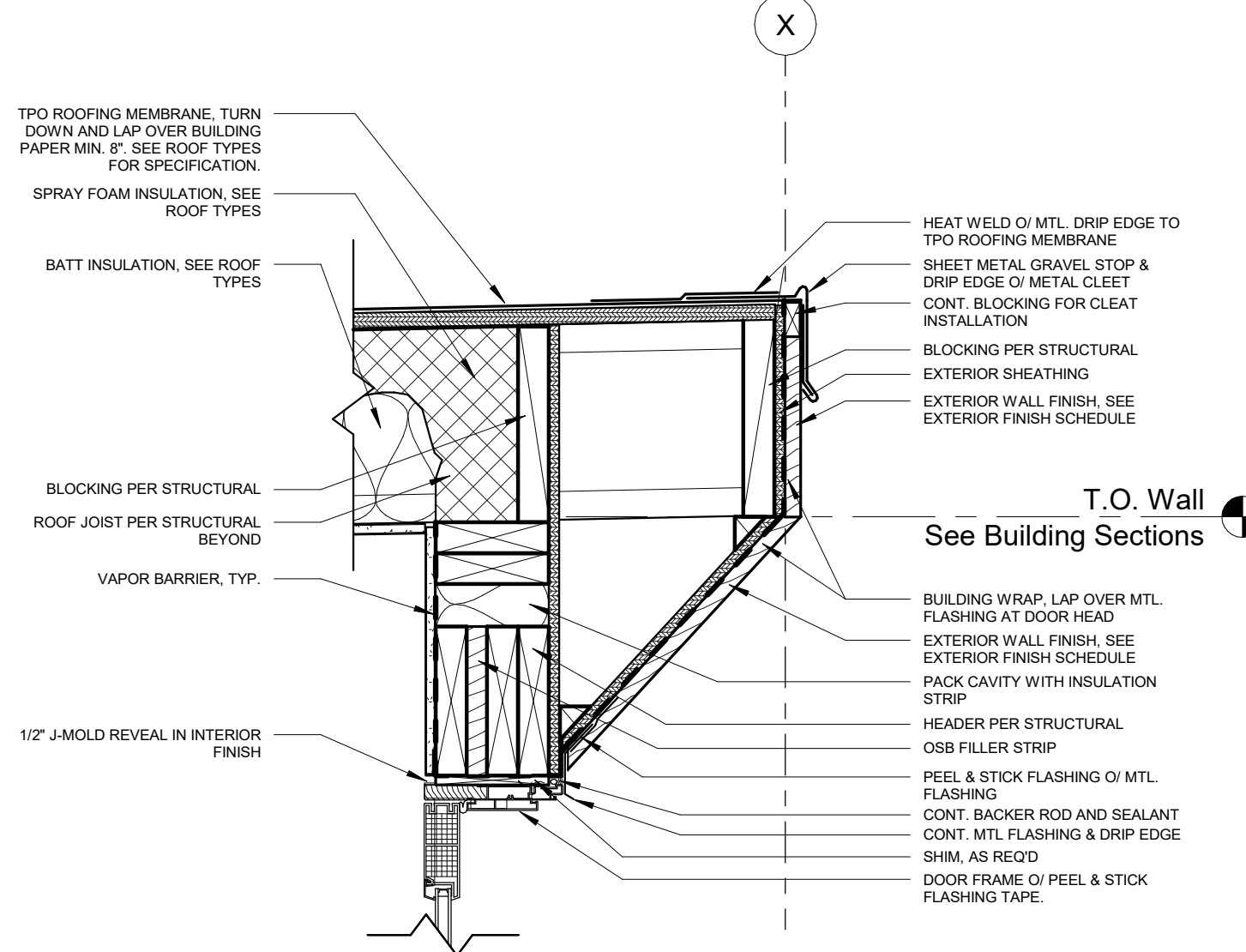
05 Deck Detail
1 1/2" = 1'-0"



03 Eave Detail 3
1 1/2" = 1'-0"



02 Eave Detail 2
1 1/2" = 1'-0"



01 Eave Detail 1
1 1/2" = 1'-0"

RANGE

STATE OF UTAH
PERMIT SET
6590833-0301
05/14/2020
LICENSED ARCHITECT

MODAL 01 ADU - WILLIAMS

1072 S Jeremy St., Salt Lake City, UT 84104

PERMIT SET 05/14/2020

REVISION SETS
MARK DATE

PLOT DATE 05/14/2020

PROJECT 2023

DRAWN BY IK

CHECKED BY N/A

SHEET TITLE

BUILDING DETAILS

A400

ATTACHMENT C: ADDITIONAL APPLICANT INFORMATION



Conditional Use

SALT LAKE CITY PLANNING

OFFICE USE ONLY

Project #:	Received By:	Date Received:	Zoning:
Project Name:			

PLEASE PROVIDE THE FOLLOWING INFORMATION

Request:

Address of Subject Property:
1072 S Jeremy St, SLC, UT 84104

Name of Applicant: Phone:

Address of Applicant:
132 S State St, SLC, UT 84111

E-mail of Applicant: Cell/Fax:

Applicant's Interest in Subject Property:

☐ Owner ☐ Contractor ☐ Architect ☐ Other: Project Manager

Name of Property Owner (if different from applicant):
Ann Williams

E-mail of Property Owner: Phone:

Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

AVAILABLE CONSULTATION

Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

WHERE TO FILE THE COMPLETE APPLICATION

Mailing Address: Planning Counter PO Box 145471 Salt Lake City, UT 84114	In Person: Planning Counter 451 South State Street, Room 215 Telephone: (801) 535-7700
---	---

REQUIRED FEE

- Filing fee of \$776
- Plus additional cost of postage for mailing

SIGNATURE

If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent: <i>Andrea Palmer</i>	Date:
--	-------

SUBMITTAL REQUIREMENTS

Staff Review

☐

1. Project Description (please attach additional sheet)

☐

Written description of your proposal

☐

2. Conditional Use Information (please attach additional sheet)

☐

If applicable, what is the anticipated operating/delivery hours associated with the proposed use

☐☐

What are the land uses adjacent to the property (abutting and across-the-street properties)

☐☐

How many employees are expected to work on-site during the highest shift

☐☐

If applicable, how many seats will be provided as part of the conditional use

☐☐

Have you discussed the project with nearby property owners?
If so, what responses have you received?

3. Minimum Plan Requirements

☐☐

One paper copy (24" x 36") of each plan and elevation drawing

☐☐

A digital (PDF) copy of the each plan and elevation drawing

☐☐

One 11 x 17 inch reduced copy of each plan and elevation drawing

4. Site Plan

☐☐

Site plan (see [Site Plan Requirements](#) flyer for further details)

5. Elevation Drawing (if applicable)

☐☐

Detailed elevation, sections and profile drawings with dimensions drawn to scale

☐☐

Type of construction and list the primary exterior construction materials

☐☐

Number, size, and type of dwelling units in each building, and the overall dwelling unit density

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

_____ I acknowledge that Salt Lake City requires the items above to be submitted before my application can be processed. I understand that Planning will not accept my application unless all of the following items are included in the submittal package.

ADU Project Description - 1072 S Jeremy St

Overview

The MODAL 01 is a one-bedroom, one-bathroom, 432-square foot footprint Accessory Dwelling Unit (ADU) built in compliance with current residential building codes (IBC/IRC 2018).

- Footprint: 432 SqFt
- Bedroom: 1
- Bathroom: 1
- Length: 32 ft
- Width: 13.5 ft
- Height: 11 ft

Features

Exterior

- Cladding: Concrete Board
- 2x6 Timber Frame Construction
- TJI Joist System
- EPDM Roofing System
- R50 Roofing/Flooring Insulation
- R22 Wall Insulation
- Dual Pane Black-on-Black Composite Windows & Doors
- Custom Exterior Patio Lights
- Plug and Play Utility Hookups

Interior

- 9' Ceilings
- Fully Equipped Kitchen: Garbage Disposal, Blomberg® Dishwasher, Fridge, Freezer, 4-Burner Electric Stove, and Electric Oven
- Built-In Solid Wood Furniture: Soft-Close Kitchen Cabinetry with Built-In Lighting, Sofa Frame with Cushions Included, Shelves in Living Space, Custom Wardrobe, Bed Frame with Integrated Storage
- Full Size Bathroom with Vanity Light and Mirror Included, Stacked Blomberg® Washer and Dryer
- Birch Clad Walls and Ceiling
- Eco-Friendly Forbo Flooring
- 9'x8' Glass Entry Door
- Two Independently-Zoned Heating and Cooling Units

Site Specifications

- This Conditional Use application proposes one Accessory Dwelling Unit (ADU) to be placed at 1072 S Jeremy St, currently, a single-family home located in the R-1/5,000 zone.
- The property is 9,147.6 SQ.FT. or .21 acres and has an existing single-family dwelling with a footprint of 984 SQ.FT. and does not exceed more than 50% of the ADU size (432 SQ.FT.).
- Existing lot coverage is 17% and with the ADU, 22%. This will not exceed the 40% maximum building coverage allowed in the R-1/5,000 zone.
- Existing rear yard coverage is 12% and with the ADU, 21%. This will not exceed the 50% rear yard coverage allowed for ADU's.
- Setbacks are as follows: rear yard: (5'), side yards: (22'-9" North, 5' South).
- The proposed ADU would be placed 56'-3 1/2" behind the primary dwelling and the closest primary dwelling on an adjacent property would be 54'-10" .
- The entrance for the proposed ADU is oriented towards the rear of the primary dwelling.
- There is an existing detached garage in the rear yard with a footprint of 552 SQ.FT. The unit would be facing the detached garage and would have a separation distance of 27'-9 1/2" .
- The east elevation will have aluminum clad solid wood single light fixed panel dual action french doors that are 9' wide by 8' high and a 6' wide by 3' high window to the bedroom. The north elevation will have a 6' wide by 2' high clerestory window to provide for additional light while providing privacy for adjacent properties. The south and west elevations have no windows.
- On-site parking will be provided for the ADU occupant in the rear yard to the east of the unit and can be accessed from the alleyway behind the property.
- The proposed ADU will be 351'-7" away from the nearest fire hydrant measured from the furthest point of the unit. The proposed ADU would be the third structure added to this property and does not meet the requirement to be within 150' of the nearest fire department access road. To meet this requirement, we will equip the ADU with an approved automatic sprinkler system.

- Sewer, power, and water service to the ADU will be connected to the existing primary dwelling's utility lines. We will perform a televised sewer lateral inspection on the existing sewer line to see the condition prior to connecting to the ADU. All utility design and construction will comply with APWA Standards and SLCPU Standard Practices. All utilities will be separated by a minimum of 5 feet horizontally and 12 inches vertically. Water and sewer lines will be separated by a minimum of 10 feet horizontally and 18 inches vertically.
- For installation, we will crane drop the unit in the rear yard.
- The proposed use of the ADU is as a guest home for a friend. The property owner intends to comply with all applicable laws and ordinances.

MAIL TAX NOTICE TO:

Grantee
1072 S. Jeremy Street
Salt Lake City, UT 84104

10083136
4/30/2007 4:11:00 PM \$13.00
Book - 9457 Pg - 3922-3923
Gary W. Ott
Recorder, Salt Lake County, UT
PARAMOUNT TITLE
BY: eCASH, DEPUTY - EF 2 P.

PTC File No. 07-7378 *JR*
[PARCEL I.D.# 15-11-404-012]

QUIT-CLAIM DEED

*misc.
no title work*
Nancy L. Palmer

of Salt Lake City , County of Salt Lake , State of Utah, hereby
QUIT-CLAIM to

Ann Williams, an unmarried woman

of Salt Lake City , County of Salt Lake , State of Utah for the sum of
OTHER GOOD AND VALUABLE CONSIDERATIONS AND TEN AND NO/100THS----- DOLLARS,

the following described tract of land in Salt Lake County,
State of Utah:

Lots 3 and 4, Block 7, MUSCATINE PLACE, according to the official plat
thereof, recorded in the office of the County Recorder, County of Salt Lake,
State of Utah.

WITNESS the hand(s) of said grantor(s), this
April , A. D. 2007

25th

day of

Nancy L. Palmer
Nancy L. Palmer

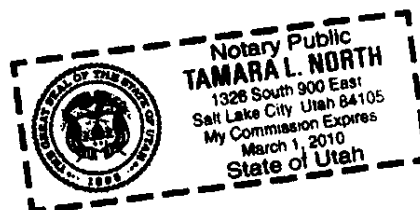
STATE OF UTAH)
) ss.
COUNTY OF Salt Lake)

On the 25th day of April , A. D. 2007 ,
personally appeared before me Nancy L. Palmer ,
the signer(s) of the above instrument, who duly acknowledged to me that s/he executed the
same.

My Commission Expires: 3/1/10

Tamara L. North

Notary Public residing at: See UT





Work Flow History Report

1072 S JEREMY St

DRT2020-00081

Project: Proposed Accessory Dwelling Unit - 1072 S Jeremy St

Project Description: Attached to email

The Development Review Team (DRT) is designed to provide PRELIMINARY review to assist in the design of the complete site plan. A complete review of the site plan will take place upon submittal of the completed site plan to the Permits Counter.

Date	Task/Inspection	Status/Result	Action By
3/20/2020	Application Acceptance	Accepted	Harris, Katilynn
<u>COMMENTS</u>			
3/24/2020	Public Utilities Review	Comments	Osojnak, Andrea
<u>COMMENTS</u> <p>General • Public Utility permit, connection, survey, and inspection fees will apply. • All utility design and construction must comply with APWA Standards and SLCPU Standard Practices. • All utilities must be separated by a minimum of 5 feet horizontally and 12-inch vertically. Water and sewer lines require 10 feet minimum horizontal separation and 18-inch minimum vertical separation. Water • The property is currently connected to a 6-inch cast iron water main in Jeremy Street that was built in 1952. The house has a three-quarter inch water meter serving it. • One culinary water meter and one fire line are permitted per parcel Sewer • The sewer main in Jeremy Street is a 8-inch vitrified clay pipe built in 1936. The current house has a lateral off this main. It was built in 1941. The existing sewer lateral that is proposed for reuse is over 50 years old. Due to this age and because of the accessory dwelling structure that proposes a new connection to the existing sanitary sewer lateral, a video inspection will be required prior to permitting. It appears that this was being completed today 3/24/2020, and you should get the results shortly. Stormwater • Stormwater treatment is required prior to discharge to the public storm drain. Utilize stormwater Best Management Practices (BMPs) to remove solids and oils. Green infrastructure should be used whenever possible. Sand/oil separators are commonly used to treat stormwater runoff from uncovered parking areas. Flood Plain • This property is in a "shaded x" zone which means during a 100-year event there will be ponding up to 1 foot on the property. The recommended finished floor elevation is 4,231. • If you have any further questions strictly regarding the flood plain issue, please contact Jason Draper at (801) 483-6751. If you need to ask any additional question about public utilities related issues, you can reach me by email. Andrea Osojnak, PE Development Review Andrea.Osojnak@slcgov.com</p>			
3/24/2020	Zoning Review	Comments	Hardman, Alan
<u>COMMENTS</u> <p>3:30 PM - 1072 S Jeremy St - Andrea Palmer R1-5,000 zone. Proposal is to place a 432 SF factory-built ADU in the rear yard. See 21A.40.200 for the general and specific requirements for an ADU. The zone requires conditional use approval from the planning commission. Initiate the planning application with the planning desk in room 215. A foundation system of steel I-beam and helical screw piles is not allowed. The foundation must be on a standard concrete foundation system per 21A.24.010.U and 21A.36.190. One parking space needs to be available on site for the existing SFD. Parking for the ADU in the driveway must be beyond the front façade of the house to maintain one legal parking space. Consult the building code personnel in room 215 for building code requirements. An Impact Fee for a new SFD will need to be paid at the time the building permit is issued. The building permit must be submitted to the city electronically. Alan Hardman Senior Development Review Planner 801-535-7742 alan.hardman@slcgov.com</p>			
3/26/2020	Transportation Review	Will Not Attend	Harris, Katilynn
<u>COMMENTS</u> <p>Michael Barry is having technical difficulties connecting to our system remotely. Please contact him at michael.barry@slcgov.com to get his feedback on this project.</p>			

3/30/2020	Engineering Review	Comments	Crockett, Jack
<u>COMMENTS</u> Will you be excavating in the roadway, parkstrip, sidewalk, or alleyway to install utilities for this ADU? If so you will require a permit to work in the ROW acquired by your contractor before those excavations begin. If you have any questions about our permitting process please feel free to reach out to Jack Crockett at 801.535.6396 or Jack.Crockett@SLCgov.com.			
4/1/2020	Fire Review	Comments	Bateman, Douglas
<u>COMMENTS</u> The summary provided by the applicant has identified all fire code related items. The only additional item that would be necessary is to submit an Alternative Means and Methods application to this office regarding the fire sprinkler system in order to have it memorialized for record keeping.			
4/2/2020	Closure	Emailed Notes to Applicant	Harris, Katilynn
<u>COMMENTS</u>			

Exhibit E

Owner Authorization

Customer hereby authorizes Modal Living, Inc. ("**Modal**") to apply on their behalf for permits and other necessary approvals from governing bodies and/or municipalities in relation to the installation of Accessory Dwelling Unit(s). Customer represents and warrants to Modal that Customer has full power, authority and legal right to provide such authorization.

Signature: 

Printed Name: Ann Williams

Date: 3/11/2020



Salt Lake City Public Utilities
SEWER LATERAL TELEWISE INSPECTION WORK ORDER
Salt Lake City, UT 84115
801-483-6727

Work Order ID: **1128523**

Date Permit Issued: 03/19/2020

Activity: **TELEWISE INSPECTION**

Issued By: GEE, ALISON

Address / Location: **1072 S JEREMY**

Sewer Lateral ID: **4290570**

Submit to: BACKUS, BRANDON

Finished Date:

Contractor Information:

NAME: _____ OFFICEPHONE: _____

ADDRESS: _____

CITY, STATE, ZIP _____

Contact Name: FRIENDLY / JAREN

Contact Cell #: 801-953-5868

Owner's Name: _____

Subdivision: _____

Fees:

Inspection Fees: \$ 30

Receipt/PUT #: .PUT2020-00482 Amount Paid: \$ 30

Pipe Size: 4

Pipe Type: VCP

Pass (Y/N): _____

Instructions:

TV INSPECT

Comments

Ran camera through 4" sewer from cleanout in Basement. This sewer has been lined out to wye on city main. It has a flap at end of liner that needs to be cut out before it can be passed off. The rest of the line looks good. Home owner says Esco did the liner. They need to have flap removed & run camera through sewer to confirm it's been removed to sign off.

Final Inspection Date & Time: 03/23 2:00

Authorized Signature: _____

54-8a-3.5. Excavation-related information included with construction and building permit. Any entity issuing a permit for building or construction that may require excavation may, and is encourage to, include a notice on or with a permit stating, "Attention, Utah law requires any excavator to notify the owner of underground facilities 48 hours before excavating and comply with Utah Code Title 54, Chapter 8a, Damage to Underground Utility Facilities.

ATTACHMENT D: SITE VISIT PHOTOGRAPHS



Top:
Street View of the
Subject Property



Middle:
Street View of the
Driveway Entrance



Bottom:
View of the Rear
Yard from the
Driveway



Top:
View of the Rear
Yard



Middle:
View of the Rear
Yard



Bottom:
View of the
Adjacent Alley at
the rear of
Property

ATTACHMENT E: ANALYSIS OF STANDARDS - ACCESSORY DWELLING UNITS

21A.40.200: Accessory Dwelling Units

Standard	Proposed	Findings
Size <i>An ADU shall not have a footprint that is greater than fifty percent (50%) of the footprint of the principal dwelling, and shall not exceed six hundred fifty (650) square feet (SF).</i>	Principal dwelling is approximately 1,009 SF. Fifty percent (50%) of principal dwelling equals approximately 504 SF. Proposed ADU is approximately 425 SF .	Complies
Maximum Coverage <i>The surface coverage of all principal and accessory buildings shall not exceed forty percent (40%) of the lot.</i> <i>[Rear] Yard Coverage: In residential districts, any portion of an accessory building, excluding hoop houses, greenhouses, and cold frames associated solely with growing food and/or plants, shall occupy not more than fifty percent (50%) of the total area located between the rear façade of the principal building and the rear lot line.</i>	Lot size is approximately 9,013 SF. Forty percent (40%) of the lot is approximately 3,605 SF. Primary Dwelling: 1,009 SF Detached Garage: 581 SF Existing Shed: 85 SF Proposed ADU: 425 SF Total Coverage: 2,015 SF The surface coverage of all principal and accessory buildings (including the proposed ADU) is approximately 22% of the lot. Rear yard area: 4,525 SF Detached Garage: 581 SF Existing Shed: 85 SF Proposed ADU: 425 SF Yard Coverage: 24%	Complies
Building Height <i>The maximum height of an accessory building containing an ADU shall not exceed the height of the single-family dwelling on the property or exceed seventeen feet (17') in height, whichever is less.</i>	Height of proposed ADU is approximately 11' - 9" .	Complies
Side or Rear Yard Setbacks <i>New Accessory Buildings [ADU] shall be located a minimum of four feet (4') from any side or rear lot line.</i>	Side [South] Lot Line: 5' Side [North] Lot Line: 23' - 2" Rear [West] Lot Line: 5'	Complies

<p>Separation <i>All ADUs [located in an accessory building] shall be located a minimum of ten feet (10') from the single-family dwelling located on the same parcel and any single family dwelling on an adjacent property.</i></p>	<p>The proposed ADU is approximately 53' - 5" from the principal dwelling on the same parcel.</p> <p>The nearest single-family dwelling on an adjacent property is approximately 56'.</p>	<p>Complies</p>
<p>Entrance Locations <i>The entrance to an ADU in an accessory building shall be located:</i></p> <p>(1) <i>Facing a side or rear property line provided the entrance is located a minimum of ten feet (10') from the side or rear property line.</i></p>	<p>The entrance for the proposed ADU is oriented towards the Front [East] property line. The entrance is approximately 132' from the front property line.</p>	<p>Complies</p>
<p>Requirement for Windows <i>Windows on an accessory building containing an ADU shall comply with the following standards:</i></p> <p>(1) <i>Windows shall be no larger than necessary to comply with the minimum Building Code requirements for egress where required.</i></p> <p>(2) <i>Skylights, clerestory windows, or obscured glazing shall be used when facing a side or rear property line to comply with minimum Building Code requirements for air and light on building elevations that are within ten feet (10') of a side or rear property line unless the side or rear property line is adjacent to an alley.</i></p> <p>(3) <i>Except as required in subsection E3g(1) of this section, windows shall maintain a similar dimension and design as the windows found on the principal structure.</i></p>	<p>There is a high clerestory window for natural lighting on the north building elevation facing the side property line. The dimension is approximately 6'-0" wide by 1'-8" high.</p> <p>There is a 6' by 3' sliding, double-pane window facing the front [east] property line as well as the rear façade of the primary dwelling. This window is similar in size and profile as the windows found on the principal structure.</p>	<p>Complies</p>
<p>Parking <i>An ADU shall require a minimum of one on-site parking space.</i></p> <p><i>The parking requirement may be waived if:</i></p> <p>(1) <i>Legally located on street parking is available along the street frontage of the subject property; or</i></p>	<p>The principal dwelling has two (2) off-street parking spaces in an existing detached garage. An off-street parking space for the ADU will be provided on the existing driveway.</p> <p>The ADU parking requirement may be waived as there is a legally located on-street parking available along Lincoln Street and the subject</p>	<p>Complies</p>

(2) <i>The subject property is located within one-quarter (1/4) mile of transit stop.</i>	property is located within a 1/4 mile of a transit stop.	
---	--	--

ATTACHMENT F: ANALYSIS OF STANDARDS – CONDITIONAL USE

21A.54.080: Standards for Conditional Uses

A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title;

Analysis: The proposed ADU use is located in the R-1/5,000 zoning district, which allows for an ADU to be approved through the conditional use process, subject to meeting the specific regulations for an ADU in section 21A.40.200 of the zoning ordinance. As analyzed in Attachment E, the ADU complies with the requirements of 21A.40.200.

Finding: The proposed use will comply with the applicable provisions of the Salt Lake City Zoning Ordinance.

2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;

Analysis: The proposed ADU use is a small residential unit that should be readily compatible with surrounding uses, which are all single-family homes. The proposed ADU meets all the requirements in terms of setbacks and separation requirements between adjacent houses and the principal dwelling on the property. The proposed ADU meets all the requirements in terms of size, entrance location and parking.

Finding: The proposed use is compatible with the surrounding uses.

3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and

Analysis: The proposal is located within a Neighborhood area within the Westside Master Plan area. The master plan suggests the preservation of neighborhood areas in order to maintain character, scale and land use of neighborhoods and add density where appropriate. One way the plan suggests adding density in areas zoned for single-family residential is by utilizing the city's accessory dwelling unit ordinance.

The purpose of the R-1/5,000 Single-Family Residential District is to provide for conventional single-family residential neighborhoods on lots not less than five thousand (5,000) square feet in size. This district is appropriate in areas of the City as identified in the applicable community Master Plan. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

The purpose of accessory dwelling units are to:

- 1) Create new housing units while respecting the appearance and scale of single-family residential development;
- 2) Provide more housing choices in residential districts;
- 3) Allow more efficient use of existing housing stock, public infrastructure, and the embodied energy contained within existing structures;
- 4) Provide housing options for family caregivers, adult children, aging parents, and families seeking smaller households;
- 5) Offer a means for residents, particularly seniors, single parents, and families with grown children, to remain in their homes and neighborhoods, and obtain extra income, security, companionship, and services;
- 6) Broaden the range of affordable housing throughout the City;
- 7) Support sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption;
- 8) Support transit-oriented development and reduce auto usage by increasing density near transit; and
- 9) Support the economic viability of historic properties and the City's historic preservation goals by allowing accessory dwellings in historic structures.

The proposed ADU is consistent with the following Neighborhood Goals included in the Westside Master Plan:

- The established and stable neighborhoods of the Westside will remain the core of the community, retaining traditional development patterns while also providing new housing opportunities.
- Preserve the character, scale and land use of the neighborhoods while promoting appropriate growth at identified nodes. Any new development should consider the nature of the surrounding areas. Appropriate areas for infill development (single family dwellings, small lot residential development, and multi-family housing at or near the nodes) accessory dwelling units, and urban agriculture are identified in the plan.
- Determine unique and compatible ways to add incremental density through infill development.
 - Application of the accessory dwelling unit ordinance in this community would provide opportunities for additional density and a wider variety of housing choices without impacting the predominant development pattern.

The proposal is also consistent with the goals and policies outlined in ***Growing SLC: A Five-Year Housing Plan*** which aims to increase housing options, promote diverse housing stock, and allow for additional units while minimizing neighborhood impacts.

Finding: The uses are consistent with applicable adopted city planning policies, documents, and master plans.

4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions (refer to Detrimental Effects Determination analysis below).

21A.54.080B: Detrimental Effects Determination

In analyzing the anticipated detrimental effects of a proposed use, the planning commission, or in the case of administrative conditional uses, the planning director or designee, shall determine compliance with each of the following:

Standards	Finding	Rationale
1. This title specifically authorizes the use where it is located;	Complies	The proposed ADU is an accessory residential use and is allowed as a conditional use within the R-1/5,000 zoning district. The proposed ADU complies with all specific regulations for an ADU including size, entrance location, parking, etc. as outlined in Attachment E .
2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps;	Complies	The uses are located in an area zoned and designated by the associated master plan for low density residential. This land use designation allows moderate sized lots (i.e., 3,000-10,000 square feet) where single-family detached homes are the dominant land use. Low-density includes single-family detached dwellings as permissible on a single residential lot subject to zoning requirements. The associated master plan encourages the use of the accessory dwelling unit ordinance.
3. The use is well suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area;	Complies	An ADU is residential in nature and the subject property is in a single-family residential neighborhood. The unit will also be relatively compact with a footprint of 425 square feet.
4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered;	Complies	The scale of the proposal will be compatible with the main house on the property and meets the footprint and height requirements for an ADU. Its location in the rear corner of the site minimizes impacts to adjacent properties.
5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows;	Complies	The proposed main house on the subject property has a driveway located off Jeremy Street. No new access points are proposed, and the proposal would not impede traffic flows.
6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, nonmotorized, and pedestrian traffic;	Complies	The proposed ADU would be accessed from Jeremy Street. The proposed ADU is also located within ¼ mile of the transit stop located at 900 W Fremont Avenue and has legally located on-street parking. It is not

		anticipated that the proposed ADU would create any adverse impacts in terms of motorized, nonmotorized and pedestrian traffic.
7. The site is designed to enable access and circulation for pedestrian and bicycles;	Complies	The site is designed for pedestrian and bicycle access. The site plan shows a walking path to the proposed ADU.
8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street;	Complies	There is vehicular access to the site. No unreasonable impacts to the service level of the adjacent streets is anticipated.
9. The location and design of off-street parking complies with applicable standards of this code;	Complies	One (1) parking space would be legally located on the subject property and would be accessed from Jeremy Street for the proposed ADU. Additionally, a Utah Transit Authority bus stop (900 W Freemont Avenue) is approximately .2 miles from the subject property. Parking for the proposed ADU may be waived because of the availability of on-street parking in front of the subject property or 1/4 mile proximity to a transit stop.
10. Utility capacity is sufficient to support the use at normal service levels;	Complies with Conditions	The Public Utilities department did not provide comments on the project, however, the utility plan would be reviewed for compliance during building permit review.
11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts;	Complies	<p>The surrounding properties are all residential uses and the proposed use is also residential.</p> <p>The property currently has a solid wood fence along the property lines, and this provides screening from the adjacent properties.</p>
12. The use meets city sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke;	Complies	The use does not negatively impact sustainability plans. The project supports sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption.
13. The hours of operation and delivery of the use are compatible with surrounding uses;	Complies	The proposed use is an accessory residential structure and is compatible with the surrounding uses that are also residential.

14. Signs and lighting are compatible with, and do not negatively impact surrounding uses; and	Complies	Signs are not associated with this proposal. Any lighting on the accessory structure is not expected to have a negative impact on the surrounding uses or otherwise cause a nuisance.
15. The proposed use does not undermine preservation of historic resources and structures.	Complies	The property is not located within a Local Historic District and the proposal does not involve removal or any historic resources or structures.

Finding: In analyzing the anticipated detrimental effects of the proposed ADU, Staff finds that with the conditions identified in the analysis, the request complies with the criteria listed above.

ATTACHMENT G: PUBLIC PROCESS AND COMMENTS

Meetings:

- The Glendale Community Council did not make a request for staff or the applicant to attend a council meeting.
- A virtual Open House was made available on the City's website with information regarding the project as well as ways to provide comment.

Public Notice:

- Early notice of application mailed on June 11, 2020
- Public hearing notice mailed on July 30, 2020
- Public hearing sign posted on the property on July 30, 2020
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on July 30, 2020

Public Comments:

- A letter was received from Turner Bitton, Glendale Community Council Chair, in support of the project. That letter is attached below. As of the publication of this Staff Report, Staff has not received any public comment.
- Any additional comments received after the publication of the staff report will be forwarded to the Planning Commission.



Board of Directors

Turner C Bitton
Chair

Ashley King
First Vice Chair

Latu Patetefa
Second Vice Chair

Jeremy King
Treasurer

Dane Hess
Past Chair

Ryan Curtis
At-Large Member

July 27, 2020

Chris Earl
Salt Lake City Planning Division
451 S State St
Rm 406
PO Box 145480
Salt Lake City UT 84114-5480

Dear Chris,

It is my pleasure to submit this letter on behalf of the Glendale Community Council. After our review, we would like to express our support for the conditional use permit PLNPCM2020-00429. With the current shortage of housing in Salt Lake City, more is always welcome. Above that, though, the prospect of increasing the utilization of the large lots that define Glendale is exciting.

The proposed development is a small part of the future of Glendale and we welcome it. Thank you for the opportunity to weigh in on the development. We greatly appreciate the opportunity to engage in discussions affecting our neighborhood.

Thank you,

A handwritten signature in black ink, appearing to read "Turner C. Bitton".

Turner C. Bitton
Chair, Glendale Community Council

ATTACHMENT H: DEPARTMENT REVIEW COMMENTS

Fire (Doug Bateman at douglas.bateman@slcgov.com)

This ADU would require fire sprinklers to be installed as it is the third R-3 or U occupancy on the property; and is too far from fire access roads. The applicant shall submit an Alternate Means and Methods application for the installation of NFPA 13D fire sprinkling system which is to be supplied by a minimum of 2-inch fire line that is separate from all other water services to the property.

Applicant is to include a fire deferred submittal form with their building permit for the fire sprinkler system installation

Drawings shall show the minimum 2-inch fire line location from the point of connection from the city main to the ADU.

Engineering (Scott Weiler at scott.weiler@slcgov.com or 801-535-6159)

The plan proposes no work in the public way. Consequently, Engineering has no objections and does not need to issue a Permit to Work in the Public Way.

Transportation (Kurt Larson at kurt.larson@slcgov.com or 801-535-6630)

Petitioner may use the single on-street parking stall in front of the residence to comply with parking requirement.

Public Utilities (Jason Draper at jason.draper@slcgov.com or 801-483-6751)

No comment provided.

Building (Tim Burke at timothy.burke@slcgov.com or 801-535-7746)

The notes continue to appear on the Cover Sheets for these Modal ADU's that they will be manufactured in a "factory" and inspected by third party inspectors.

However, we required these notes to be replaced on the initial submission of 8 ADU's prior to permitting. Likewise, the second group of 7 Modal ADU's currently in review are having the same notes replaced.

The replacement note was and will continue to be:

"General Note:

All modular units shall be manufactured within the boundaries of Salt Lake City.

All inspections shall be performed by Salt Lake City inspectors."

Other than that, I don't see any issues with this proposed design.

Bear in mind that this is not a formal review and one will be required as always.

Thank you,

Tim Burke

Zoning (Katilynn Harris at katilynn.harris@slcgov.com or 801-535-6179)

There appear to be no zoning issues at this point. Of note, the project description and site plan do not match up (footprints are different, ADU parking space not identified, etc.). The site plan will need to reflect the actual plan moving forward.