



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Linda Mitchell, Principal Planner, 385-386-2763, linda.mitchell@slcgov.com

Date: September 18, 2020

Re: PLNSUB2020-00230 - *East Liberty Commons* Planned Development
PLNSUB2020-00231 - *East Liberty Commons* Preliminary Subdivision

Planned Development and Preliminary Subdivision

PROPERTY ADDRESS: Approximately 2052 East Michigan Avenue
PARCEL ID: 16-10-303-001-0000
MASTER PLAN: East Bench – Neighborhoods (Foothill/Sunnyside)
ZONING DISTRICT: RMF-30 Low Density Multi-Family Residential

REQUEST: Jessica Sluder from Alta Development Group, LLC, representing the property owner, is requesting approval for a new residential development at the above listed address. The proposal includes demolishing the discontinued pool area on the site and subdividing the property into four (4) lots for a proposed construction of three (3) single-family attached dwelling units. The proposed project is subject to the following petitions:

- a. **Planned Development** – Planned Development is requested to modify the required front yard setback, grade changes greater than four feet (4') within a required yard, and the required minimum lot area for the new lots.
- b. **Preliminary Subdivision** – Preliminary Plat approval is needed to create four (4) new lots.

RECOMMENDATION: Based on the information in this staff report, Staff recommends that the Planning Commission approve the Planned Development and Preliminary Subdivision requests as proposed, and subject to complying with the following conditions:

1. Compliance with all Department/Division comments and conditions as noted in [Attachment J](#).
2. Documentation that establishes an entity to manage the private infrastructure and Common Area Maintenance for the subdivision shall be recorded with the final plat.

ATTACHMENTS:

- A. [Vicinity Map](#)
- B. [Plans](#)
- C. [Preliminary Subdivision Plat](#)
- D. [Additional Applicant Information](#)
- E. [Site Visit Photographs](#)

- F. [Master Plan Policies and Zoning Ordinance Standards](#)
- G. [Analysis of Standards - Planned Development](#)
- H. [Analysis of Standards – Subdivision Ordinance](#)
- I. [Public Process and Comments](#)
- J. [Department Review Comments](#)

PROJECT DESCRIPTION:

Project Site

The project site recently obtained preliminary subdivision approval under petition number PLNSUB2020-00349 for the amendment to *The Townes Condominium* plat to subdivide the common area and sell the lot for the proposed development. *The Townes Condominium* amendment is pending final plat approval. Currently, there is a discontinued pool area on the site, which has fallen into disrepair. The project site is zoned RMF-30 Low Density Multi-Family Residential with the total square footage of approximately 0.269 acres (11,696 square feet).

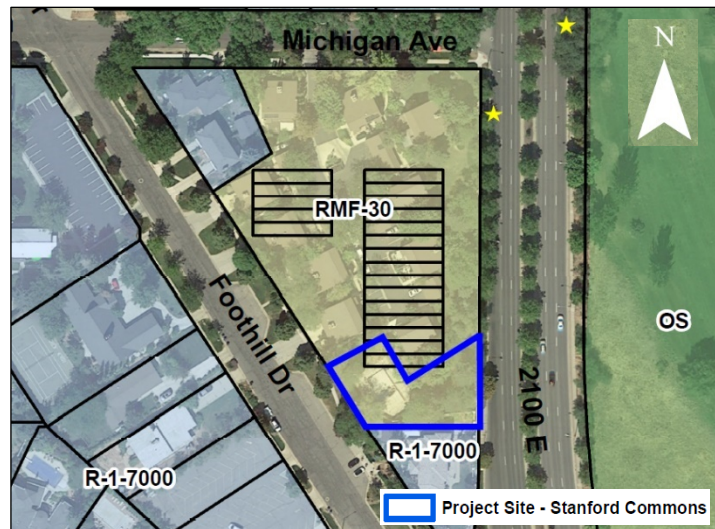


Figure 1. Vicinity Map

The surrounding properties are zoned R-1/7,000 Single-Family Residential District to the west and south, RMF-30 Low Density Multi-Family Residential District to the north, and OS Open Space District to the east (Figure 1).

Proposal

The applicant is seeking to demolish the existing pool area and create four (4) new lots for the proposed construction of three (3) single-family attached dwelling units (townhomes), with the fourth (4th) lot dedicated as common area (Figure 2). The proposed development requires Planned Development approval because the proposed lots will not meet the required minimum lot area of 3,000 square feet; however, the overall development does meet the minimum area required for three (3) dwelling units in the RMF-30 zone. In addition, the proposed townhomes will not meet the required front yard setback of 20 feet and have grade changes greater than four feet (4') within the required yard. The applicant has not requested relief from any other zoning requirements; thus, all other project elements would need to comply with standard requirements of the zoning ordinance and RMF-30 zoning district. The Planned Development process includes standards related to whether any modifications will result in a better final product, whether the proposal aligns any one of a variety of City policies and goals, and whether the development is compatible with the area or the City's master plan development goals for the area. The full list of standards is located in [Attachment F](#).

The proposal requires a subdivision process to create the new lots. The buildable lots do not comply with all applicable zoning standards as noted above; therefore, a Planned Development approval is requested for the subdivision. The full list of standards is located in [Attachment H](#).

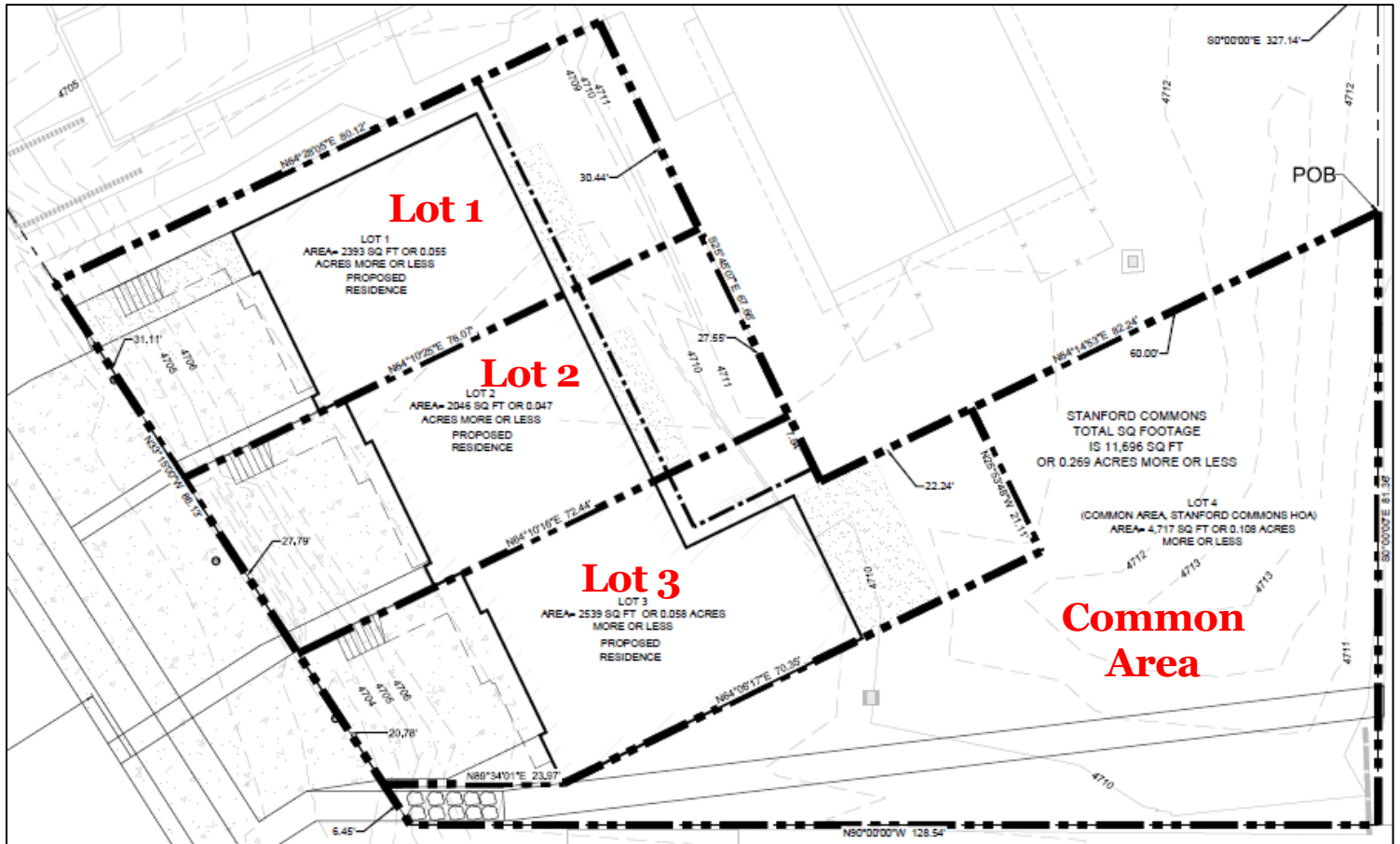


Figure 2. Proposed Preliminary Plat

The applicant has provided a narrative about their proposal and design considerations in [Attachment D](#).



Figure 3. Front (West) Elevation

The proposed 3-story townhomes are modern in design. The front facades of the proposed townhomes would be oriented towards Foothill Drive to provide interaction with the sidewalk to be compatible with character of the neighborhood (Figure 3). The average building height would be approximately 26 feet, where a maximum height of 30 feet is allowed with an average building footprint of approximately 1,053 square feet. Each townhome would provide two (2) off-street parking spaces within the attached garage. The proposed materials for each structure would consist primarily of brick and durable materials for accent purposes. The proposal includes a common area, pedestrian walkway, and

landscape buffering between the driveways and between the proposed building and adjacent properties (Figure 4).

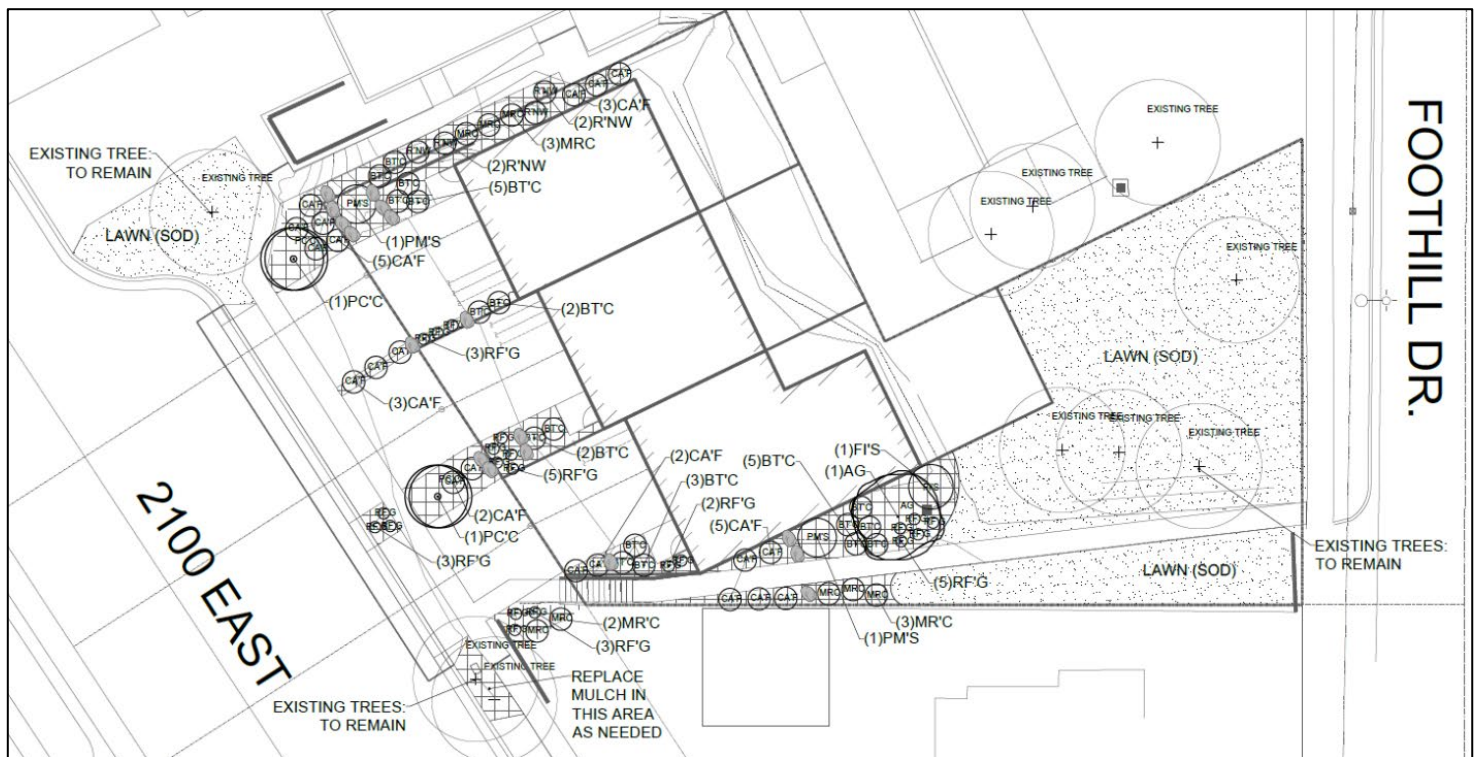


Figure 4. Proposed Landscape Plan

KEY CONSIDERATIONS:

The key considerations listed below have been identified through the analysis of the project, neighbor and community input and department review comments.

1. Front Yard Encroachments
2. Grade Change Greater Than Four Feet (4') Within a Required Yard
3. Minimum Lot Size Reduction
4. Neighborhood Compatibility
5. Development Potential without Planned Development Approval
6. Private Infrastructure and Common Area Maintenance

1. Front Yard Encroachments

The required front yard setback in the RMF-30 zoning district is twenty feet (20'). Given the odd angle of the setback line, the applicant is proposing approximately eighteen feet (18') front yard setback for the building façade and approximately five feet (5') front yard setback for the stairs, meeting all other required yards (side and rear) for all the lots. The front yard encroachments are to accommodate building articulations on the second and third levels, and stairs leading to the building entrance (Figures 5 and 6).

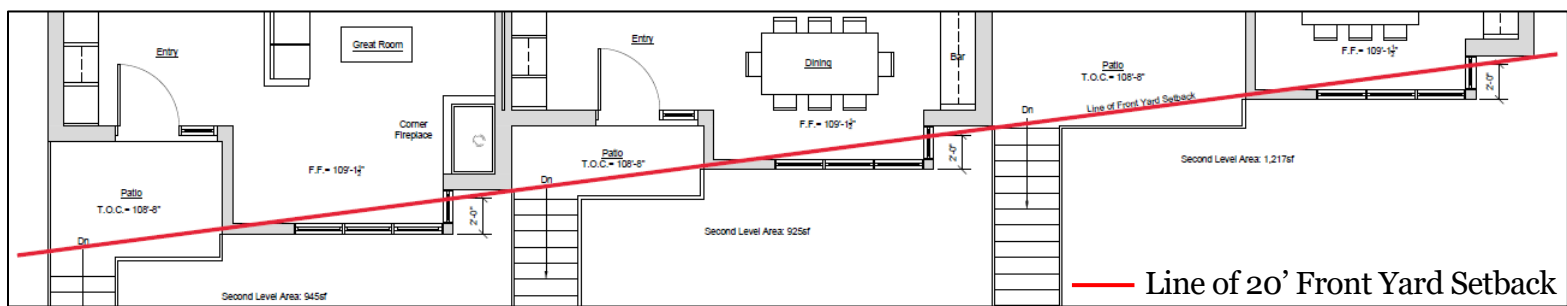


Figure 5. Front Building Facade Encroachment (Second Level)

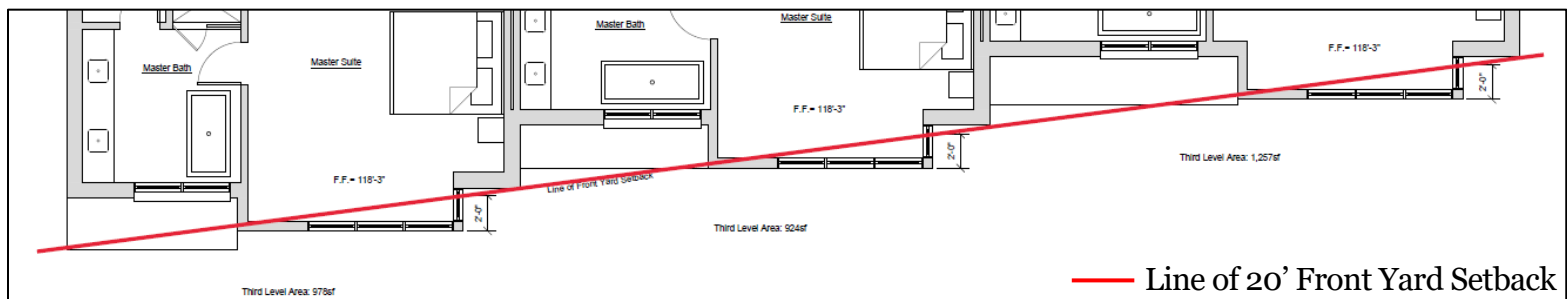


Figure 6. Front Building Facade Encroachment (Third Level)

The building articulations provide both for façade and pedestrian interest along Foothill Drive. The reduced front yard setback would promote harmony with the condominium units immediately to the north of Foothill Drive and to help maintain the harmony of the development pattern on the block face. The front yard reduction for the building encroachment is generally consistent with setbacks along the block face (east side of Foothill Drive) as shown in [Attachment D](#).

In regard to design, there are very limited design criteria required in the RMF-30 zoning district. The only design requirements, which are imposed on all residential districts, are front façade controls:

Front Façade Controls: To maintain architectural harmony and primary orientation along the street, all buildings shall be required to include an entrance door, and such other features as windows, balconies, porches, and other such architectural features in the front façade of the building, totaling not less than ten percent (10%) of the front façade elevation area, excluding any area used for roof structures. For buildings constructed on a corner lot, only one front façade is required in either the front or corner side façade of the building.

The stairs leading to the main (second) level allow each building entrance to be oriented towards the street and further promotes visual and pedestrian interest through its orientation to the street (Figure 7).



Figure 7. Front (West) Elevation Rendering

2. Grade Change Greater Than Four Feet (4') Within a Required Yard

For properties outside of the H Historic Preservation Overlay District, changes of established grade greater than four feet (4') within a required yard are normally processed administratively as special exceptions but it is included as part of the Planned Development request. The grade change greater than four feet (4') is requested to accommodate a retaining wall to create drive-in garages that are at street grade with the hill rising around the garage. Therefore, creating below grade garages with the main living level at about the grade of the existing pool. The grade change and retaining walls over four feet (4') in height along the north property would encroach approximately 4.39 feet into the required front yard and along the driveway for lot 3, it would encroach approximately 8.32 feet into the required front yard (Sheet C2-0 in [Attachment B](#)). The grade change and retaining walls greater than four feet (4') within the required front yard is generally consistent with the structures along the block face (east side of Foothill Drive) (Figure 8).



Figure 8. Grade Change and Retaining Walls Greater Than Four Feet (4') Within the Required Yard along the block face (east side of Foothill Drive)

3. Minimum Lot Size Reduction

For single-family attached dwelling units, the RMF-30 zoning district requires 3,000 square feet lot area per dwelling unit. The proposal includes an average lot size of 2,923 square feet (Table 1). While the lots are undersized, the overall square footage of the subject property meets the density requirement of 9,000 square foot minimum for three (3) single-family attached units.

| Lot # | Lot Area (sq. ft.) |
|--------------|--------------------|
| Lot 1 | 2,393 |
| Lot 2 | 2,046 |
| Lot 3 | 2,539 |
| Lot 4 | 4,717 |
| Total | 11,696 |

Table 1. Proposed Lot Size

4. Neighborhood Compatibility

The purpose of the RMF-30 (Low Density Multi-Family Residential District) is to:

The purpose of the RMF-30 low density multi-family residential district is to provide an environment suitable for a variety of housing types of a low density nature, including single-family, two-family, and multi-family dwellings, with a maximum height of thirty feet (30'). This district is appropriate in areas where the applicable master plan policies recommend multi-family housing with a density of less than fifteen (15) dwellings units per acre. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

The RMF-30 zoning district encourages a variety of residential uses. While moderately scaled residential structures are located to the north, the immediate neighborhood context primarily includes low scale single-family structures. These structures range from 1 to 3 stories in height, with a variety of roof types. The addition of these townhouse units within the neighborhood is architecturally compatible with the surrounding buildings, as well as the existing uses. The integration of materials that are commonly utilized within the direct context, as well as a moderate massing of the proposed structure will aid in transition of new development within the existing neighborhood.

The subject property is located within the East Bench Neighborhood, identified in the East Bench Master Plan, 2017. The applicable guiding principal for residential development is stated, below:

Guiding Principle N-01: Neighborhood Compatibility – Development and infrastructure improvements complement the unique architectural styles and development patterns that define individual neighborhoods.

The proposed development is in compliance with the adopted East Bench Master Plan as discussed in [Attachment F](#). The proposed development of the townhomes attempts to limit the disruption of the existing grade and significant slope. The development recognizes the existing development pattern that characterizes the neighborhood.

5. Development Potential without Planned Development Approval

If the project does not receive Planned Development approval, the property owner may develop the property in a way that meets all requirements of the zoning ordinance and RMF-30 zoning district.

- The property owner may construct a multi-family dwelling (up to 3 dwelling units), which requires a minimum lot area of 9,000 square feet and minimum lot width of 80 feet. In other words, the applicant could build a similar proposal as apartments or condominiums.
- The property owner may construct a single-family detached, twin home or two-family dwellings.

6. Private Infrastructure and Common Area Maintenance

The proposed development includes common areas. The applicant has drafted a CC&R's for ongoing maintenance and funding for these areas of common ownership. This should be noted on the plat and the agreements should be recorded to perpetuate those obligations.

Staff is recommending that a condition be included that a document showing that ongoing maintenance and funding for areas of common ownership be provided in order to finalize the planned development and that this agreement must be recorded with the plat.

DISCUSSION:

The proposed design and layout of the single-family attached dwelling units have taken the scale of adjacent properties and the existing neighborhood into consideration. By providing relief from certain zoning regulations through this Planned Development process, a project that is compatible with the existing zoning and neighborhood can be constructed while more efficiently utilizing the property.

Staff recommends approval of the proposed project based on the following findings:

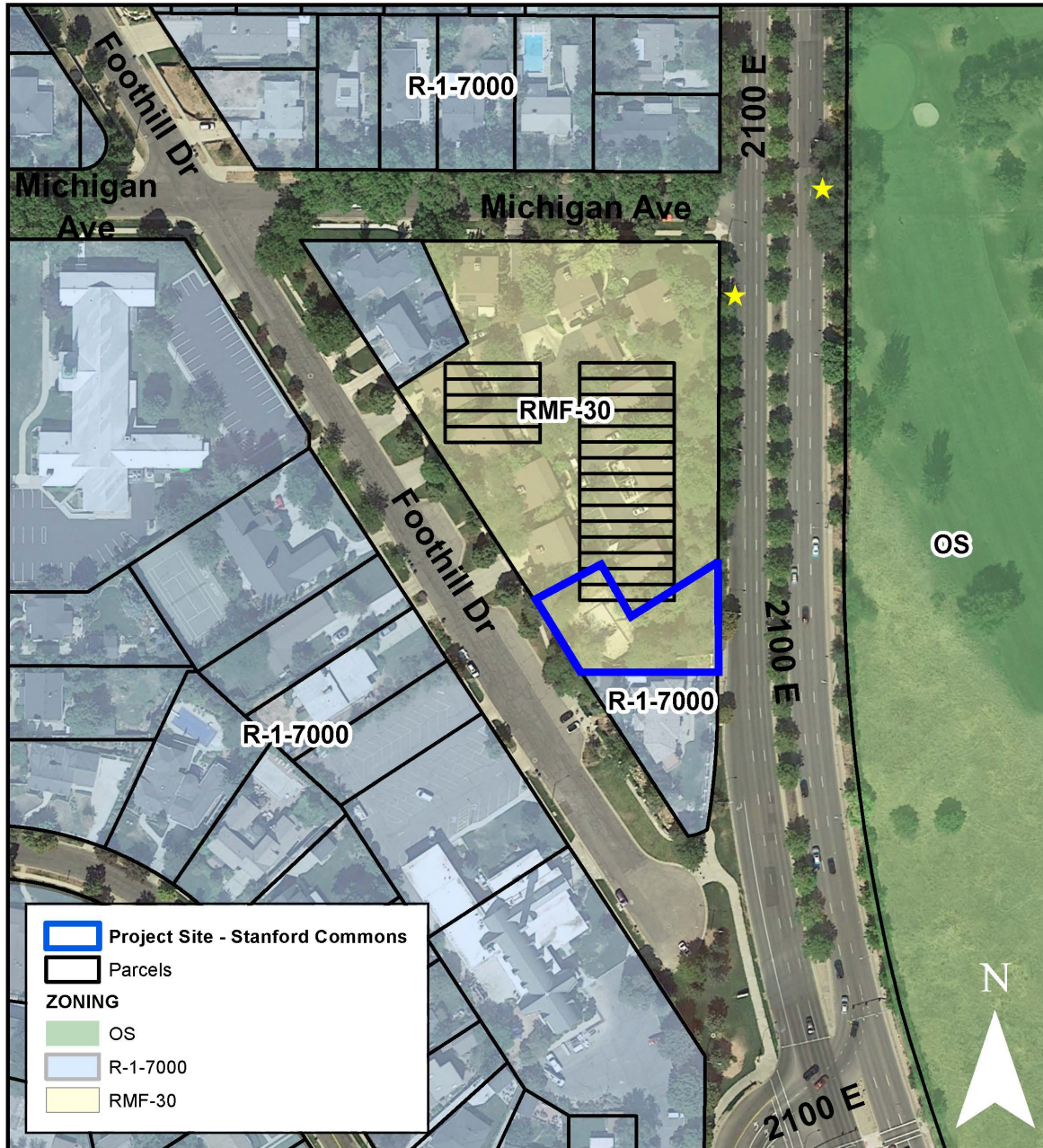
- The proposal generally meets the standards in terms of Master Plan Policies and Zoning Ordinance standards ([Attachment F](#)), Planned Development standards ([Attachment G](#)) and Subdivision Ordinance standards ([Attachment H](#));
- The proposal will provide housing that meets the intent of the multi-family zone and that provides increased home ownership opportunities in the City, which is a policy goal of multiple City master plans.
- The proposed project meets the density of the subject zoning district; and
- The proposed project would be compatible with the existing zoning district and surrounding neighborhood.

NEXT STEPS:

- If approved, the applicant may proceed with the project, subject to all conditions imposed by City departments and/or the Planning Commission and will be required to obtain all necessary permits. A final plat application will need to be submitted for approval. Certificate of occupancy for the buildings would not be issued until the conditions are met and the final subdivision plat is recorded.
- If denied, the applicant would be permitted to develop the lot in a way that is compliant with development standards and requirements of the RMF-30 zoning district.

ATTACHMENT A: VICINITY MAP

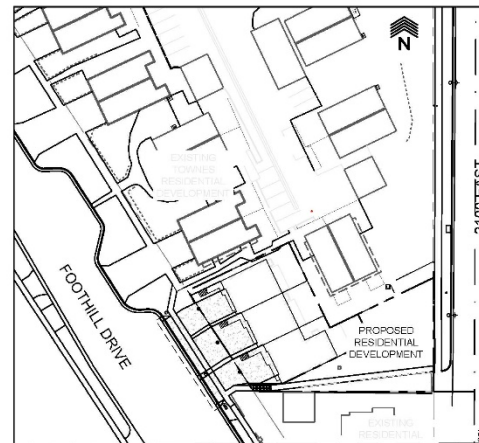
Vicinity Map



Salt Lake City Planning Division

FOOTHILL DRIVE
SALT LAKE CITY, UTAH

| SHEET INDEX | |
|--------------|-------------------------|
| SHEET NUMBER | SHEET TITLE |
| C0-0 | COVER SHEET |
| C0-1 | GENERAL NOTES |
| C0-2 | GENERAL NOTES |
| C0-3 | DEVOLUTION PLAN |
| C1-0 | SITE PLAN |
| C1-1 | SITE DETAILS |
| C2-0 | GRADING PLAN |
| C3-0 | EROSION CONTROL PLAN |
| C3-1 | EROSION CONTROL DETAILS |
| C4-0 | UTILITY PLAN |
| C4-1 | UTILITY DETAILS |



SITE PLAN

SCALE: 1" = 50'



VICINITY MAP
N.T.S.

PROPERTY OWNER

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CONTACT:
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PARK CITY, UTAH 84098
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PHONE: (801) 207-7660
EMAIL: Rob.White@SugarHouseArchitects.com

PKJ DESIGN GROUP
3450 N. TRIUMPH BLVD, STE 102
LEHI, UT 84043

CONTACT:
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PHONE: (208) 320-8624
EMAIL: JAinsworth@PLJDesignGroup.com

CULINARY WATER

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SALT LAKE CITY, UTAH 84070
CONTACT:
JASON DRAPER
PHONE: (801) 483-6900

SALT LAKE CITY PUBLIC UTILITIES
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SALT LAKE CITY, UTAH 84070

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WEST VALLEY CITY, UT 84119

CONTACT:
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PHONE: (801) 908-5859

STORM DRAIN

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1530 SOUTH WEST TEMPLE
SALT LAKE CITY, UTAH 84070
CONTACT:
PHONE: (801) 483-6900

QUESTAR GAS
333 S STATE STREET
SALT LAKE CITY, UTAH 84111
CONTACT:
PHONE: (801) 324-5111

POWER

ROCKY MOUNTAIN POWER
1407 W NORTH TEMPLE
SALT LAKE CITY, UTAH 84116
CONTACT:
PHONE: (888) 221-7070

[illegible]

1. ALL CONSTRUCTION AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE "MILLCREEK, UTAH CITY CODE" AND ANY OTHER APPLICABLE APPROVED STANDARDS ISSUED BY THE CONTROLLING AGENCY, THE INTERNATIONAL BUILDING CODE, THE INTERNATIONAL FIRE CODE, AND ALL LOCAL CITY CODES AND ORDINANCES AS APPLICABLE, EXCEPT AS NOTED ON THIS SHEET AS "DEVIATIONS FROM STANDARDS".
2. THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE DRAWINGS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON THE DRAWINGS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY LINES OR SERVICE LATERALS MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR IS TO, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCES WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND IS TO TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO IT. THE CONTRACTOR IS TO USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND IS TO BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES AND STREET IMPROVEMENT WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE. ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS ARE TO BE REPAIRED OR REPLACED SATISFACTORILY TO THE CITY OF GRAPER ENGINEERING DEPARTMENT AND/OR OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
4. ALL CONSTRUCTION IS TO BE AS SHOWN ON THE "RELEASED FOR CONSTRUCTION" DRAWINGS. ANY REVISIONS ARE TO HAVE THE PRIOR WRITTEN APPROVAL OF THE ENGINEER THROUGH THE CHANGE ORDER PROCESS.
5. TYPE V CEMENT IS TO BE USED IN ALL OFF-SITE CONCRETE WORK. CONCRETE IS TO BE 4000 P.S.I. MINIMUM @ 28 DAYS. MIX DESIGNS TO BE APPROVED BY THE CITY, PRIOR TO THE USE ON THE PROJECT.
6. AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR IS TO SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
7. A GEOTECHNICAL INVESTIGATION WAS PERFORMED BY CMT ENGINEERING LABORATORIES. THE INVESTIGATION RESULTS AND SPECIFIC RECOMMENDATIONS FOR THE CONSTRUCTION OF PAVEMENT ARE COMPILED IN A GEOTECHNICAL ENGINEERING REPORT DATED 1/16/2019. THIS REPORT IS AVAILABLE FROM THE OWNER, OWNERS, BUILDERS, AND CONTRACTORS SHOULD BECOME FAMILIAR WITH THIS REPORT AND COMPLY WITH ITS RECOMMENDATIONS.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF UNDERGROUND OBSTRUCTIONS AND AVOID DAMAGE AND CONFLICTS. EXPOSE POSSIBLE CONFLICTS IN ADVANCE OF CONSTRUCTION, SUCH AS UTILITY LINES AND DRAINAGE STRUCTURES. CONTRACTOR SHALL VERIFY ELEVATIONS AND POSITIONS OF EACH AND VERIFY CLEARANCE FOR PROPOSED CONSTRUCTION. IMMEDIATELY NOTIFY ENGINEER OF CONFLICTS DISCOVERED OR CHANGES NEEDED TO ACCOMMODATE UNKNOWN OR CHANGED CONDITIONS.
9. THE CONTRACTOR IS TO TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEYING MONUMENTS. ANY MONUMENT DISTURBED IS TO BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS.
10. CONTRACTOR IS TO ADJUST ALL NEW AND EXISTING INLETS, VALVE BOXES, MANHOLE RIMS, AND SEWER CLEAN OUTS, ETC. TO FINISH GRADE AS APPLICABLE WHETHER OR NOT THEY ARE SHOWN ON THE DRAWINGS.
11. CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER TO ENSURE ADEQUATE ACCESS TO ALLOW THE BUILDING TO REMAIN ACCESSIBLE TO CUSTOMERS DURING ALL CONSTRUCTION ACTIVITIES. MAINTAIN A MINIMUM 10' 0" WIDE ACCESS INTO THE PARKING LOT AT ALL TIMES.
12. CONTRACTOR SHALL PROVIDE BARRICADES, FENCING, ETC., TO PROTECT INDIVIDUALS ACCESSING THE BUILDING FROM ANY CONSTRUCTION AREAS.
13. ANY WORK REQUIRING "NO ACCESS" TO THE PARKING LOT OR BUILDING MUST BE COORDINATED WITH THE BUILDING OWNER AT LEAST 7 DAYS IN ADVANCE AND BE AGREED UPON IN WRITING.
14. CONTRACTOR SHALL REPLACE AT NO COST TO THE OWNER ALL PAVING, SIDEWALK, AND EXISTING AND ANY FACILITIES THAT ARE DAMAGED DURING THE COURSE OF WORK.
15. UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION PERMITS AND LICENSES.
16. TYPE V CEMENT IS TO BE USED IN ALL OFF-SITE CONCRETE WORK. CONCRETE IS TO BE 4000 P.S.I. MINIMUM @ 28 DAYS. MIX DESIGNS TO BE APPROVED BY THE CITY, PRIOR TO THE USE ON THE PROJECT.
17. EXPANSION JOINTS ARE REQUIRED AT A MAXIMUM 300-FEET SPACING IN EXTRUDED-TYPE CURBS AND GUTTER.
18. ASPHALT CEMENT (AC) PAVEMENT IS TO BE 3/4-INCH ABOVE LIP OF ALL GUTTERS AFTER COMPACTION, EXCEPT AT SIDEWALK RAMPS AND CROSS GUTTERS.
19. CURB AND GUTTER FOUND TO BE UNACCEPTABLE TO THE CITY IS TO BE REMOVED AND REPLACED.
20. CONTRACTOR IS TO PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE AS SHOWN ON THE DRAWINGS.
21. ALL GRADING WORK IS TO CONFORM TO THE SOILS REPORT AS PREPARED BY THE SOILS ENGINEER, REVIEWED BY THE ENGINEERING DEPARTMENT, AND AS SHOWN ON THESE DRAWINGS.
22. EXACT LOCATION OF ALL SAW CUT LINES MAY BE ADJUSTED OR DETERMINED IN THE FIELD BY A CITY ENGINEER, IF THE LOCATION OF THESE SAW CUT LINES IS NOT CLEARLY SHOWN ON THE DRAWINGS, OR EXISTING PAVEMENT CONDITION REQUIRES RELOCATION. SEE ADDITIONAL GENERAL NOTES.
23. UTILITY COMPANY METER BOXES, MANHOLE LIDS, VALVE COVERS, ETC., ARE TO BE LOCATED OUT OF DRIVEWAYS, DRIVEWAY APRONS, FLOW LINES, AND CROSS GUTTERS, UNLESS WRITTEN APPROVAL IS GRANTED BY THE UTILITY COMPANY AND THE CITY ENGINEER.
24. ALL RETAINING WALLS, NEW OR EXISTING, ARE ONLY SHOWN ON CIVIL DRAWINGS FOR THE PURPOSE OF REVIEWING GRADING RELATIONSHIPS. FLOOD CONTROL AND SIGHT DISTANCE AT INTERSECTIONS, NEW RETAINING WALLS REQUIRE A SEPARATE PERMIT AND INSPECTION BY THE BUILDING DIVISION.

1. ASPHALT PAVING SHALL BE PER APWA STANDARDS, LIGHT DUTY ASPHALT MIX, CLASS I TRAFFIC PATCH PAVEMENT AND SUBBASE THICKNESS, MATCH EXISTING SECTION, BUT NO LESS THAN 2" PAVING OVER 1" SUBBASE.
2. SAW CUT AREAS TO BE REPAIRED AND REMOVE ASPHALT AND BASE NECESSARY TO OBTAIN FIRM SUPPORT.
3. IF EXISTING SUBBASE AND/OR SUBGRADE ARE UNSUITABLE FOR PLACEMENT OF ASPHALT PATCH, OVEREXCAVATE TO FIRM SUBGRADE AND PLACE STABILIZING MATERIAL.
4. PRIME EDGES OF EXISTING ASPHALT.
5. REMOVE LOOSE AND FOREIGN MATERIAL FROM COMPACTED SUBGRADE OR SUBBASE IMMEDIATELY BEFORE APPLICATION.
6. INSTALL FULL DEPTH MATERIAL AND COMPACT. FINISH TO BE LEVEL WITH SURROUNDING PAVEMENT. ANY LOW POINTS OR PONDING IN THE PATCH AREA SHALL BE CORRECTED BY THE CONTRACTOR AT NO COST TO THE OWNER.
7. CLEANING, AFTER COMPLETION OF PAVING OPERATIONS, CLEAN SURFACES OF EXCESS OR SPILLED ASPHALT MATERIALS TO THE SATISFACTION OF OWNER'S REPRESENTATIVE.
8. AFTER FINAL ROLLING, DO NOT PERMIT VEHICULAR TRAFFIC ON ASPHALT CONCRETE PAVEMENT UNTIL IT HAS COOLED AND HARDENED, AND IN NO CASE SOONER THAN SIX HOURS.
9. PROVIDE BARRICADES AND WARNING DEVICES AS REQUIRED TO PROTECT CONSTRUCTION AREA, PAVEMENT AND THE GENERAL PUBLIC.
10. COVER OPENINGS OF STRUCTURES IN THE AREA OF PAVING UNTIL PERMANENT COVERINGS ARE PLACED.

1. CONTRACTOR SHALL HAVE UTILITIES MARKED BY BLUE STAKES PRIOR TO ANY EXCAVATION ON SITE OR IN LOCALIZED AREAS.
2. CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
3. ALL EXCAVATION AND BACKFILL CONSTRUCTION SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS IN THE GEOTECHNICAL REPORT PROVIDED BY CMT ENGINEERING (REPORT #12201, MAY 17, 2019). SEE GEOTECHNICAL NOTES.

1. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION IS TO CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)," LATEST EDITION.
2. THE STREET SIGN CONTRACTOR IS TO OBTAIN STREET NAMES AND BLOCK NUMBERING FROM THE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
3. BEFORE ANY WORK IS STARTED IN THE RIGHT-OF-WAY, THE CONTRACTOR IS TO INSTALL ALL ADVANCE WARNING SIGNS FOR THE CONSTRUCTION ZONE IN ACCORDANCE WITH THE APPROVED TRAFFIC CONTROL PLAN. THE CONTRACTOR IS TO INSTALL TEMPORARY STOP SIGNS AT ALL NEW STREET ENCROACHMENTS INTO EXISTING CITY STREETS WHERE WARRANTED IMMEDIATELY AFTER FIRST GRADING WORK IS ACCOMPLISHED, AND IS TO MAINTAIN SAID SIGNS UNTIL PERMANENT SIGNS ARE INSTALLED.
4. WHEN A DESIGNATED "SAFE ROUTE TO SCHOOL" IS ENCRoACHED UPON BY A CONSTRUCTION WORK ZONE AND THE CITY ENGINEER IDENTIFIES A NEED FOR STUDENTS TO BE ASSISTED IN THE SAFE CROSSING THROUGH THAT WORK ZONE, THE CONTRACTOR IS REQUIRED TO PROVIDE A QUALIFIED "CROSSING GUARD." THE GUARD IS TO BE PRESENT FOR THE FULL DURATION OF TIME THOSE CHILDREN ARE LIKELY TO BE PRESENT.
5. IF THE IMPROVEMENTS NECESSITATE THE OBLITERATION, TEMPORARY OBSTRUCTION, TEMPORARY REMOVAL OR RELOCATION OF ANY EXISTING TRAFFIC PAVEMENT MARKING, SUCH PAVEMENT MARKING IS TO BE RESTORED OR REPLACED WITH LIKE MATERIALS TO THE SATISFACTION OF THE ENGINEERING DEPARTMENT.
6. THE CONTRACTOR IS TO BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL PERMANENT SIGNS SHOWN ON THE DRAWINGS. STREET NAME SIGNS ARE TO CONFORM IN THEIR ENTIRETY TO CURRENT CITY STANDARDS. ALL OTHER SIGNS ARE TO BE STANDARD SIZE UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS. ALL SIGNPOSTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT CITY STANDARDS.
7. WHEN A PROPOSED STREET LIGHT STANDARD IS LOCATED WITHIN 5-FEET OF ANY PROPOSED SIGN SHOWN ON THE DRAWINGS TO BE MOUNTED ON A SIGNPOST, THE SIGN IS TO BE MOUNTED ON THE STREET LIGHT STANDARD AND THE SIGNPOST IS TO BE ELIMINATED.
8. ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREIN ARE TO BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE DRAWINGS.
9. STREET SIGNS AND STOP SIGNS ARE TO BE INSTALLED PER CITY STANDARD SPECIFICATIONS FOR PLACEMENT OF STREET NAME SIGNS.
10. THE CONTRACTOR IS TO PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
11. WORK IN PUBLIC STREETS AS APPROVED BY CITY ENCROACHMENT PERMITS, ONCE BEGUN, IS TO BE EXPEDITED TO COMPLETION SO AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC. ROAD CLOSURES ARE NOT ALLOWED WITHOUT ADVANCE WRITTEN APPROVAL BY THE DIRECTOR OF ENGINEERING.
12. THE CONTRACTOR IS TO BE RESPONSIBLE FOR NOTIFYING FOR STATE, CITY, COUNTY AND SCHOOL DISTRICT TRANSPORTATION SERVICES DEPARTMENT IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES, ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER IS TO BE IMMEDIATELY NOTIFIED FOR DIRECTION. CHANGES TO THE "RELEASED FOR CONSTRUCTION" DRAWINGS ARE TO BE APPROVED THROUGH THE CHANGE ORDER PROCESS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.

CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION, ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.

THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT, ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.

THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMITS(S).

CONTRACTOR IS TO GRADE TO THE LINES AND ELEVATIONS SHOWN ON THE "RELEASED FOR CONSTRUCTION" DRAWINGS WITHIN THE HORIZONTAL AND VERTICAL TOLERANCES AND DEGREES OF COMPACTION AS LISTED IN THE SOLS REPORT.

ALL CUT AND FILL SLOPES ARE TO BE PROTECTED EVEN AFTER EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.

THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.

THE CONTRACTOR IS TO MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS IS TO BE IMMEDIATELY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC IS TO BE MAINTAINED IN CLEAN, SAFE AND USABLE CONDITION.

IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEMS ARE REQUIRED THAT ARE NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEMS AT OWNERS OWN EXPENSE AS DIRECTED BY THE ENGINEER. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMES, ROAD SIGNS, AND BARRICADES, ETC.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SETTLEMENT OF BACKFILL WHICH MAY OCCUR WITHIN THE CORRECTION PERIOD STIPULATED WITHIN THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL MAKE, OR CAUSE TO BE MADE, ALL REPAIRS OR REPLACEMENTS MADE NECESSARY BY SETTLEMENT WITHIN 30 DAYS AFTER NOTICE FROM THE ENGINEER OR OWNER.

1. PROVIDE AND INSTALL ADEQUATE SHEETING, SHORING AND BRACING, OR TRENCH BOXES AS NECESSARY TO FACILITATE CONSTRUCTION, PROTECT EMPLOYEES AND TO PREVENT GROUND MOVEMENT THAT MAY CAUSE DAMAGE OR SETTLEMENT TO ADJACENT STRUCTURES, PIPELINES AND UTILITIES.
2. ANY DAMAGE DUE TO SETTLEMENT BECAUSE OF FAILURE TO USE SHEETING OR BECAUSE OF INADEQUATE BRACING, OR THROUGH NEGLIGENCE OR FAULT OF THE CONTRACTOR IN ANY OTHER MANNER, SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. SHEETING AND BRACING FOR ALL EXCAVATIONS SHALL CONFORM TO THE LATEST STATE AND FEDERAL REGULATIONS GOVERNING SAFETY OF WORKERS IN THE CONSTRUCTION INDUSTRY. CONFORM ALL TRENCH OPERATIONS TO CURRENT OSHA REGULATIONS.
4. LEAVE IN PLACE ALL TEMPORARY SHEETING BELOW 2 FEET OVER TOP OF PIPE UNLESS SHEETING REMOVAL PLAN IS APPROVED BY A PROFESSIONAL ENGINEER.

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1. THE LOCATION OF, AND EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES HAS BEEN DETERMINED TO THE BEST OF THE ENGINEER'S ABILITY, BUT IT SHALL BE THE SOLE DUTY OF THE CONTRACTOR TO VERIFY THE LOCATION OF THE EXISTING UTILITIES AND TO TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO THESE UTILITIES. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY DAMAGE DONE TO EXISTING UTILITIES DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN A RECORD OF THE LOCATIONS OF ALL WASTEWATER LATERALS, TEES AND STUB OUTS. THIS RECORD SHALL BE DELIVERED TO THE DEVELOPER'S ENGINEERS PRIOR TO FINAL PAYMENT BEING AUTHORIZED.
3. BACKWATER DEVICES SHALL BE INSTALLED WHERE NECESSARY.
4. THE CONTRACTOR SHALL MARK THE LOCATION OF ALL WASTEWATER LATERALS WITH THE LETTER "S" AT LEAST 2-INCH HIGH ENGRAVED INTO THE CURB.
5. ALL LATERALS TO NEW PIPELINES ARE TO BE TIED INTO MAIN LINE THROUGH USE OF FITTINGS. CUT-IN SADDLES ARE NOT ALLOWED.
6. THE WASTEWATER SYSTEM SHALL BE COMPLETED AND ACCEPTED BY THE MOUNT OLYMPUS IMPROVEMENT DISTRICT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
7. WASTEWATER LINES WILL BE INTERNALLY INSPECTED BY A CITY TELEVISION CREW AT THE OWNER/DEVELOPER'S EXPENSE.
8. OWNER SHALL PROVIDE EASEMENTS TO MOUNT OLYMPUS IMPROVEMENT DISTRICT AS REQUIRED. "10-FOOT WIDE UTILITY EASEMENT IN FAVOR OF MT. OLYMPUS IMPROVEMENT DISTRICT"
9. CONTRACTOR TO COMPLETE A DISTRICT MAIN LINE BOND. THE MAIN LINE BOND AMOUNT IS FOR 100% OF THE CONTRACTOR'S BID PRICE FOR THE SEWER IMPROVEMENTS.
10. ONSITE PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO STARTING THE SEWER IMPROVEMENTS
11. ANY OLD ABANDONED LATERALS MUST BE CAPPED AT THE PROPERTY LINE
12. ALL SEWER IMPROVEMENTS SHALL BE INSPECTED BY THE DISTRICT INSPECTOR. CALL 801-262-2904 TO SCHEDULE INSPECTIONS. BE SURE TO HAVE ASSIGNED DISTRICT NUMBER OR EXACT ADDRESS READY WHEN CALLING.

1. SEWER LATERAL SHALL BE SDR 35 PVC PIPE.
2. MORE THAN ONE SEWER LATERAL CAN BE IN THE SAME TRENCH THERE NEEDS TO BE 6" BETWEEN PIPES OR PIPE AND TRENCH WALL.

CLEAN OUTS: SDR 35 PVC PIPE, TOP OF CLEAN-OUT MUST HAVE A CAST IRON HUB WITH A THREADED BRASS CAP ON LATERAL AT EVERY LATERAL LINE AND EVERY 50' THEREAFTER ON A 4" LINE. CLEAN-OUT EVERY 100' ON A 6" LINE IF MORE THAN A 45° BEND, THERE MUST BE A CLEAN-OUT. A CLEAN-OUT IS ALSO REQUIRED AT EVERY 90° BEND AND BETWEEN (2) 45° BENDS. FERNOCO COUPLINGS WITH SHEAR BANDS REQUIRED.
4. $\frac{1}{4}$ " MINUS GRAVEL 4" TO 6" AROUND PIPE AND 12" AROUND CLEAN-OUT.
5. 2% MINIMUM GRADE ON 4", 1% ON 6", UNIFORM GRADE START TO FINISH.
6. NO GLUED FITTINGS ALLOWED EXCEPT IN SAMPLING MANHOLE.
7. TEST TEE IN FRONT OF PROPERTY LINE CLEAN-OUT.
8. WATER TEST TO BE RUN ON ALL LATERALS. A TEN FOOT HEAD REQUIRED.
9. CONTRACTOR MUST BE PROPERLY BONDED WITH THE DISTRICT PRIOR TO ANY WORK BEGINNING. PROPER CONNECTION AND INSPECTION FEES MUST BE PAID PRIOR TO ANY WORK BEGINNING. THE DISTRICT INSTALLS THE NOSE-ON BUT THE CONTRACTOR PAYS FOR THE 4" NOSE-ON. A SDR-35 PVC BELL TRENCH BOX REQUIRED FOR NOSE-ON OR TRENCH MUST BE USED TO OSHA STANDARDS. TRENCH NEEDS TO BE DEWATERED. AS WE USE AN ELECTRIC TRUCK TO CORE ON THE NOSE-ON. ONE NOSE-ON PER LENGTH OF PIPE. NOSE-ON NEEDS TO BE 18" FROM SPOIGT END AND 6" FROM BELL END.
10. CAP-OFFS: DIG UP LINE AS CLOSE TO THE STREET AS POSSIBLE WITHOUT DISTURBING SIDEWALK OR ROAD ASPHALT. IN FRONT OF PROPERTY LINE CLEAN-OUT. EXPANDABLE PLUG THE SIZE OF THE LINE TO BE CAPPED OFF IS NEEDED. ALONG WITH 4" OF CONCRETE. THE PLUG MUST BE SET TO THE DEPTH OF THE NOSE-ON. SET THE PLUG OFF SQUARE, PUT IN EXPANDABLE PLUG. CALL FOR AN INSPECTION BY THE DISTRICT INSPECTOR. MIX CONCRETE AND PLACE. AROUND CAP WHILE INSPECTOR IS THERE. ONLY IF INSPECTOR SEES THE CAP OFF WILL THE MIX CONCRETE BE CLOSED.

1. ON ANY NEW HOME OR BUILDING INSTALLATION, ACCESSIBLE FIRE HYDRANTS ARE TO BE INSTALLED BEFORE COMBUSTIBLE CONSTRUCTION COMMENCES AND SAID FIRE HYDRANTS ARE TO BE IN GOOD WORKING ORDER WITH AN ADEQUATE WATER SUPPLY THROUGHOUT THE DURATION OF CONSTRUCTION.
2. CONTRACTOR SHALL CALL THE FIRE INSPECTOR FOR UNDERGROUND INSPECTION AS REQUIRED BY THE UNIFIED FIRE AUTHORITY.
3. PAINTING OF THE CURBS AND HYDRANT AND ANY WORK NECESSARY FOR PROTECTION OF HYDRANTS FROM PHYSICAL DAMAGE IS TO BE COMPLETED BEFORE APPROVAL.
4. A FLUSH OF ALL UNDERGROUND PIPING PROVIDED FOR FIRE SPRINKLER CONNECTION WILL BE WITNESSED BY THE FIRE DEPARTMENT.
5. A FLOW TEST MUST BE WITNESSED BY THE FIRE DEPARTMENT PRIOR TO OCCUPANCY FOR VERIFICATION OF REQUIRED ON-SITE WATER SUPPLY.
6. ALL ON-SITE FIRE MAIN MATERIALS MUST BE U.L. LISTED AND A W.W.A. APPROVED.
7. FIRE HYDRANT SPACING: REFER TO APPENDIX B & C OF THE 2006 INTERNATIONAL FIRE CODE FOR FIRE HYDRANT QUANTITY AND SPACING.
8. WHERE NEW WATER MAINS ARE EXTENDED ALONG STREETS, HYDRANTS ARE TO BE SPACED AT MAXIMUM 1,000-FOOT SPACING TO PROVIDE FOR TRANSPORTATION HAZARDS.
9. ACCESS GATES ARE TO BE PROVIDED WITH AN APPROVED KNOX KEY SWITCH SYSTEM. SAID SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH THE UNIFIED FIRE AUTHORITY APPROVAL.

1. PROVIDE UNDERGROUND RETENTION SYSTEM PER THE DRAINAGE SHEET. PROVIDE PERFORATED PIPE SYSTEM OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS FOR FOUNDATION STONE, BACKFILL, GEOTEXTILE FABRIC, ETC.
2. PROVIDE 15" THICK FOUNDATION STONE LAYER UNDER SYSTEM. FIELD VERIFY THE SUBGRADE BEARING CAPACITY THAT IS ASSUMED TO BE 2500 PSF OR BETTER. NOTIFY ENGINEER IF CAPACITY IS DIFFERENT THAN THE ASSUMED VALUE.
3. INSTALL COMPLETE SYSTEM PER MANUFACTURER'S RECOMMENDATIONS.
4. CONTRACTOR SHALL FLUSH AND VACUUM NEWLY INSTALLED DRAINAGE SYSTEM AT END OF PROJECT.

1. A GEOTECHNICAL REPORT HAS BEEN PROVIDED FOR THIS PROJECT BY CMT ENGINEERING (REPORT #12751, MAY 17, 2019) ALL SITE EXCAVATION, BACKFILL, COMPACTION, PAVING, RETAINING WALLS, ETC. SHALL BE IN ACCORDANCE WITH THIS GEOTECHNICAL REPORT AND ITS RECOMMENDATIONS.
2. EXCAVATION AND COMPACTION ACTIVITIES SHALL BE INSPECTED BY A 3RD PARTY INDEPENDENT TESTING AGENCY.
3. THE SITE SHOULD BE EXAMINED BY A CMT GEOTECHNICAL ENGINEER TO ASSESS THAT SUITABLE NATURAL SOILS HAVE BEEN EXPOSED AND ANY DELETERIOUS MATERIALS, LOOSE AND/OR DISTURBED SOILS HAVE BEEN REMOVED, PRIOR TO PLACING SITE GRADING FILLS, FOOTINGS, SLABS, AND PAVEMENTS.
4. FILL PLACED OVER LARGE AREAS TO RAISE OVERALL SITE GRADES CAN INDUCE SETTLEMENTS IN THE UNDERLYING NATURAL SOILS. IF ANY ADDITIONAL SITE GRADING FILL IS ANTICIPATED ABOVE THE EXISTING GROUND SURFACE, GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED TO ASSESS POTENTIAL SETTLEMENTS AND PROVIDE ADDITIONAL RECOMMENDATIONS AS NEEDED.
5. CONTRACTOR SHALL FOLLOW RECOMMENDATIONS FOR EXCAVATION DEPTHS, SIDE SLOPE RECOMMENDATIONS AND SHORING RECOMMENDATIONS AS RECOMMENDED IN THE GEOTECHNICAL REPORT. ALL EXCAVATIONS MUST BE INSPECTED PERIODICALLY BY QUALIFIED PERSONNEL. IF ANY SIGNS OF INSTABILITY OR EXCESSIVE SLOUGHING ARE NOTED, IMMEDIATE REMEDIAL ACTION MUST BE INITIATED. ALL EXCAVATIONS SHOULD BE MADE FOLLOWING OSHA SAFETY GUIDELINES.
6. CONTRACTOR SHALL FOLLOW GEOTECHNICAL ENGINEER'S RECOMMENDATIONS FOR THE VARIOUS FILL TYPES ANTICIPATED TO BE USED AT THIS SITE. THEIR SUITABILITY FOR USE AND THEIR COMPACTION REQUIREMENTS.
7. COMPACTION REQUIREMENTS FOR STRUCTURAL FILL, SITE GRADING FILL, UTILITY TRENCHES, ROADBASE AND SUBBASE AND NON-STRUCTURAL FILL SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
8. UTILITY TRENCH BACKFILL MATERIALS AND COMPACTION REQUIREMENTS SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.



NORTHSTAR BUILDERS

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GENERAL NOTES

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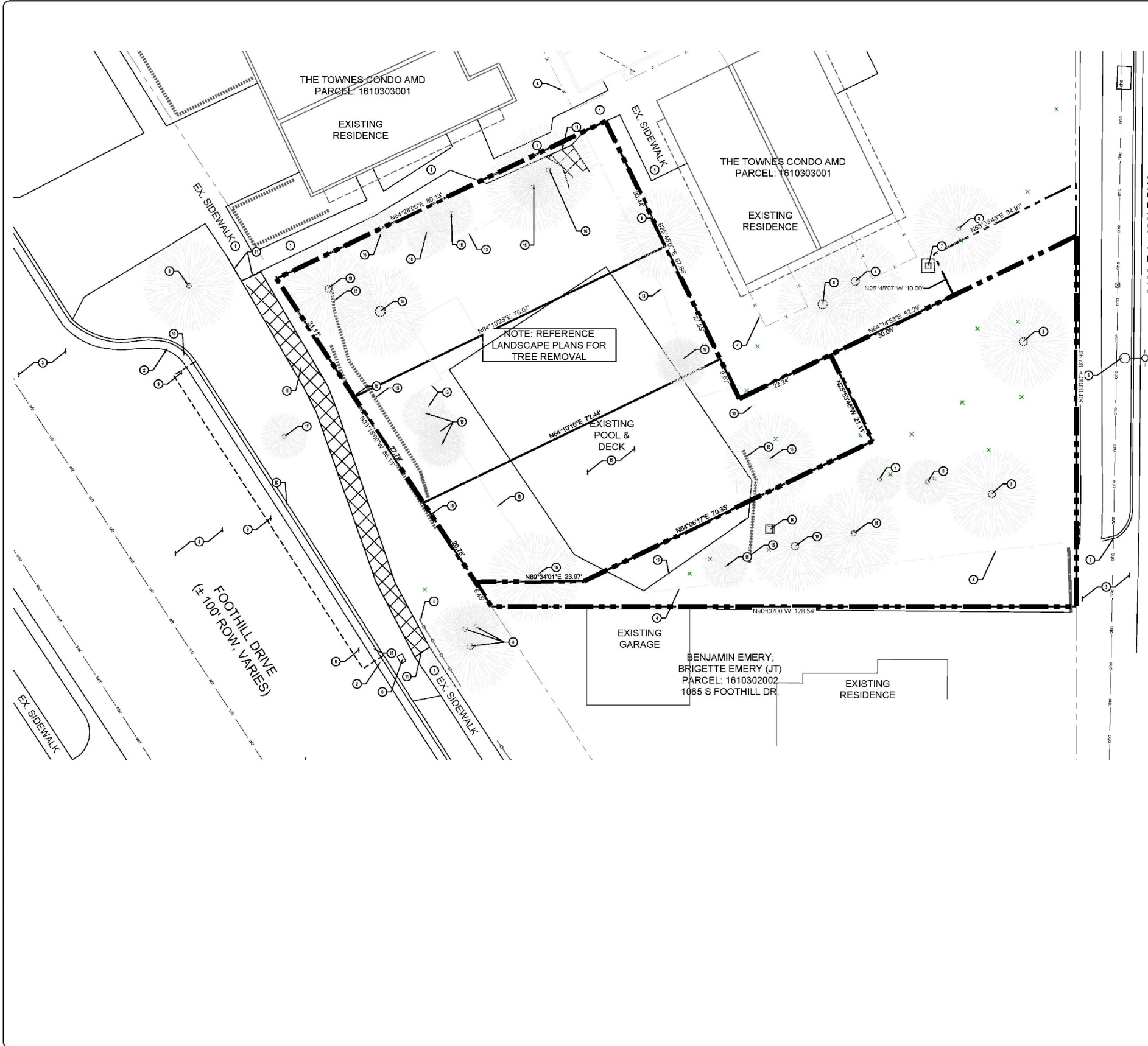
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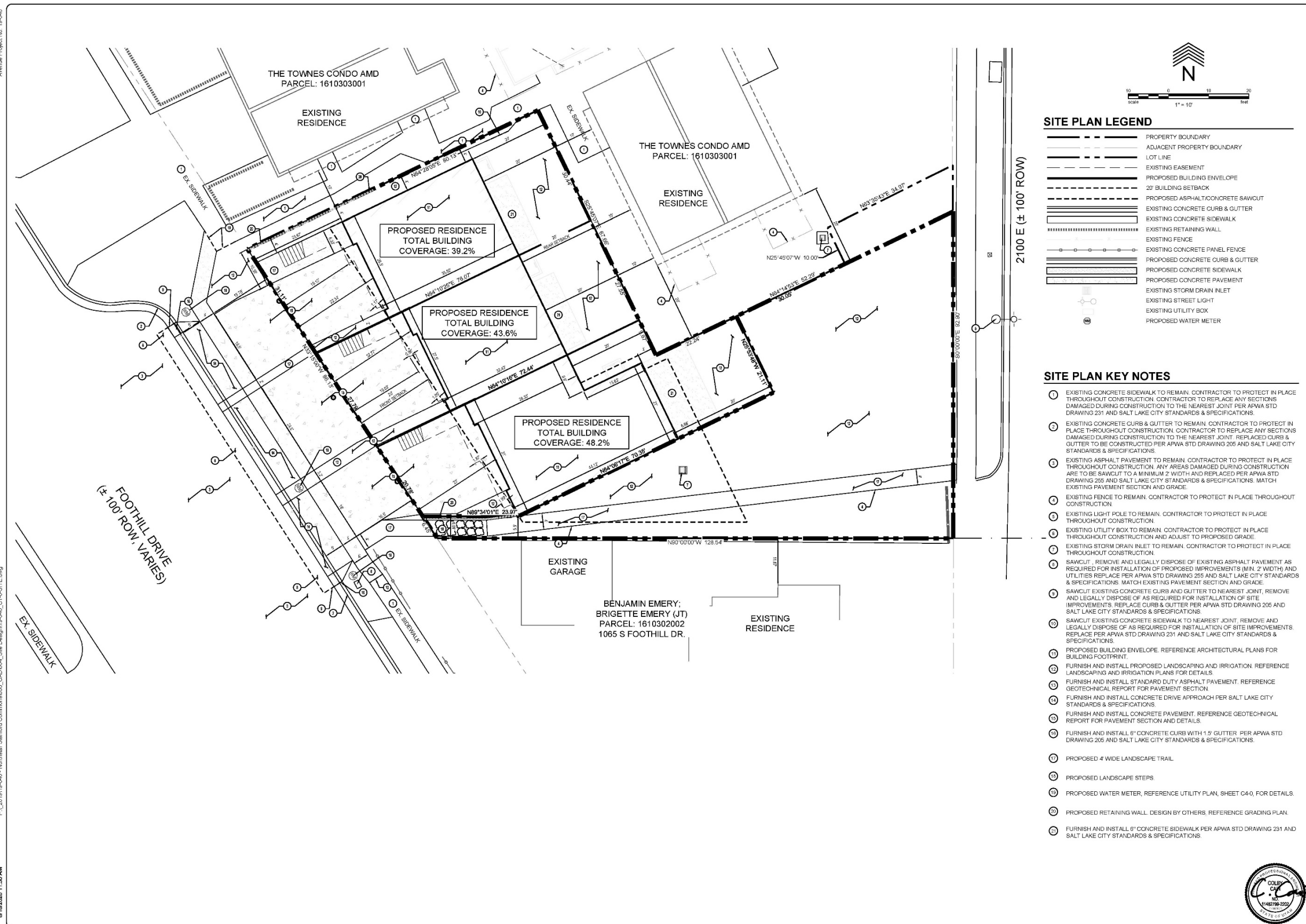
DEMOLITION PLAN LEGEND

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- LOT LINE
- EXISTING EASEMENT
- PROPOSED ASPHALT/CONCRETE SAWCUT
- EXISTING CURB & GUTTER/CONCRETE TO REMAIN
- EXISTING CURB AND GUTTER/CONCRETE TO BE REMOVED
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING CONCRETE SIDEWALK TO BE REMOVED
- EXISTING RETAINING WALL TO REMAIN
- EXISTING RETAINING WALL TO BE REMOVED
- EXISTING FENCE TO REMAIN
- EXISTING FENCE TO BE REMOVED
- EXISTING STORM DRAIN INLET TO REMAIN
- EXISTING STORM DRAIN INLET TO BE REMOVED
- EXISTING CULINARY WATER MAIN
- EXISTING SANITARY SEWER MAIN
- EXISTING OVERHEAD POWER LINE
- EXISTING STREET LIGHT

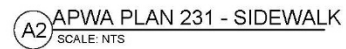
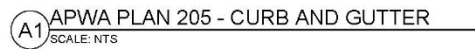
DEMOLITION PLAN KEY NOTES

- EXISTING CONCRETE SIDEWALK TO REMAIN. CONTRACTOR TO PROTECT IN PLACE THROUGHOUT CONSTRUCTION. CONTRACTOR TO REPLACE ANY SECTIONS DAMAGED DURING CONSTRUCTION TO THE NEAREST JOINT PER APWA STD DRAWING 231 AND SALT LAKE CITY STANDARDS & SPECIFICATIONS.
- EXISTING CONCRETE CURB & GUTTER TO REMAIN. CONTRACTOR TO PROTECT IN PLACE THROUGHOUT CONSTRUCTION. CONTRACTOR TO REPLACE ANY SECTIONS DAMAGED DURING CONSTRUCTION TO THE NEAREST JOINT. REPLACED CURB & GUTTER TO BE CONSTRUCTED PER APWA STD DRAWING 205 AND SALT LAKE CITY STANDARDS & SPECIFICATIONS.
- EXISTING ASPHALT PAVEMENT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE THROUGHOUT CONSTRUCTION. ANY AREAS DAMAGED DURING CONSTRUCTION ARE TO BE SAWCUT TO A MINIMUM 2' WIDTH AND REPLACED PER APWA STD DRAWING 255 AND SALT LAKE CITY STANDARDS & SPECIFICATIONS. MATCH EXISTING PAVEMENT SECTION AND GRADE.
- EXISTING FENCE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE THROUGHOUT CONSTRUCTION.
- EXISTING LIGHT POLE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE THROUGHOUT CONSTRUCTION.
- EXISTING UTILITY BOX TO REMAIN. CONTRACTOR TO PROTECT IN PLACE THROUGHOUT CONSTRUCTION AND ADJUST TO PROPOSED GRADE.
- EXISTING STORM DRAIN INLET TO REMAIN. CONTRACTOR TO PROTECT IN PLACE THROUGHOUT CONSTRUCTION.
- EXISTING TREE TO REMAIN. PROTECT IN PLACE THROUGHOUT CONSTRUCTION.
- SAWCUT, REMOVE AND LEGALLY DISPOSE OF EXISTING ASPHALT PAVEMENT AS REQUIRED FOR INSTALLATION OF PROPOSED IMPROVEMENTS (MIN. 2' WIDTH) AND UTILITIES REPLACE PER APWA STD DRAWING 255 AND SALT LAKE CITY STANDARDS & SPECIFICATIONS. MATCH EXISTING PAVEMENT SECTION AND GRADE.
- SAWCUT EXISTING CONCRETE CURB AND GUTTER TO NEAREST JOINT. REMOVE AND LEGALLY DISPOSE OF AS REQUIRED FOR INSTALLATION OF SITE IMPROVEMENTS. REPLACE CURB & GUTTER PER APWA STD DRAWING 205 AND SALT LAKE CITY STANDARDS & SPECIFICATIONS.
- SAWCUT EXISTING CONCRETE SIDEWALK TO NEAREST JOINT. REMOVE AND LEGALLY DISPOSE OF AS REQUIRED FOR INSTALLATION OF SITE IMPROVEMENTS. REPLACE PER APWA STD DRAWING 231 AND SALT LAKE CITY STANDARDS & SPECIFICATIONS.
- EXISTING POOL AND CONCRETE POOL DECK TO BE DEMOLISHED AND LEGALLY DISPOSED OF.
- REMOVE AND LEGALLY DISPOSE OF EXISTING FENCE.
- EXISTING STORM DRAIN INLET. REPLACE PER GRADING DESIGN. REFERENCE SHEET C2-0 FOR DETAILS.
- REMOVE AND LEGALLY DISPOSE OF EXISTING RETAINING WALL.
- REMOVE AND LEGALLY DISPOSE OF EXISTING TREE. REFERENCE LANDSCAPE AND IRRIGATION PLANS FOR DETAILS.
- REMOVE AND LEGALLY DISPOSE OF EXISTING PARK STRIP TREE. REFERENCE LANDSCAPE AND TREE PROTECTION PLANS FOR DETAILS AND REPLACEMENT.

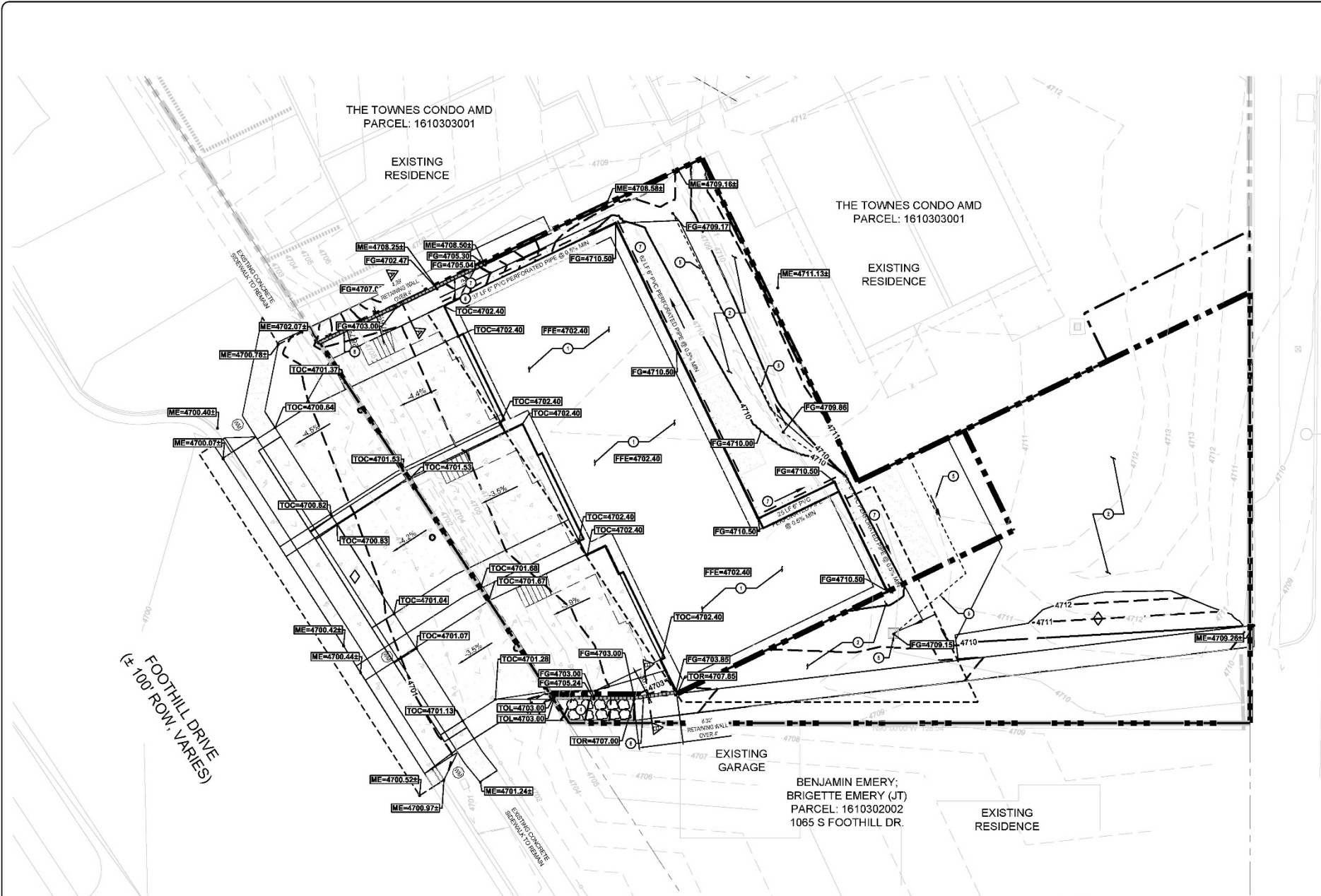
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| REVISIONS | |
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| DEMOLITION PLAN | STANFORD COMMONS RESIDENTIAL DEVELOPMENT |
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| <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p style="margin: 0;">Known results below.</p> <p style="margin: 0;">Call 877-626-6262</p> <p style="margin: 0;">800-877-6262</p> <p style="margin: 0;">www.knowresults.com</p> </div> <div style="width: 50%; text-align: right;"> <p style="margin: 0;">1-800-877-6262</p> </div> </div> | | | |
| | | <p style="margin: 0;">avenue CONSULTANTS</p> <p style="margin: 0;">Avenue Consultants, Inc.</p> <p style="margin: 0;">6575 South Redwood Road, Suite 101</p> <p style="margin: 0;">Troy, UT 84123</p> <p style="margin: 0;">801-237-7860</p> <p style="margin: 0;">www.avenueconsultants.com</p> | |
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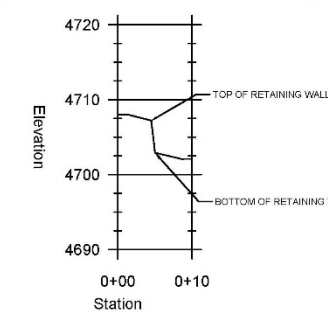
GRADING PLAN LEGEND

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- LOT LINE
- EXISTING EASEMENT
- PROPOSED BUILDING ENVELOPE
- 20' BUILDING SETBACK
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED TOP OF LANDSCAPE ELEVATION
- PROPOSED FINISHED FLOOR ELEVATION
- PROPOSED MATCH EXISTING ELEVATION
- PROPOSED FUTURE GRADE ELEVATION
- PROPOSED ELEVATION AT GRADE BREAK
- PROPOSED TOP OF ASPHALT ELEVATION
- PROPOSED TOP OF RETAINING WALL
- PROPOSED ASPHALT/CONCRETE SAWCUT
- EXISTING CONCRETE CURB & GUTTER
- EXISTING CONCRETE SIDEWALK
- EXISTING RETAINING WALL
- EXISTING FENCE
- EXISTING CONCRETE PANEL FENCE
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- EXISTING STORM DRAIN INLET
- EXISTING STREET LIGHT
- EXISTING UTILITY BOX
- PROPOSED WATER METER

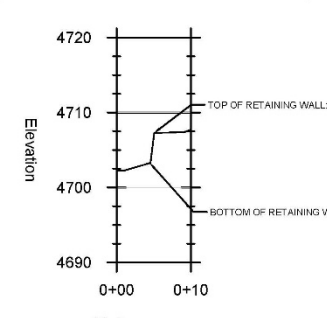
GRADING PLAN KEY NOTES

- PROPOSED BUILDING ENVELOPE. REFERENCE ARCHITECTURAL PLANS FOR BUILDING FOOTPRINT.
- PROPOSED LANDSCAPING. REFERENCE LANDSCAPE ARCHITECTURAL PLANS FOR DETAILS.
- FURNISH AND INSTALL CONCRETE DRIVE APPROACH PER SALT LAKE CITY STANDARDS & SPECIFICATIONS.
- PROPOSED LANDSCAPE STEPS.
- GRADE LANDSCAPED AREA TO DRAIN AWAY FROM BUILDING AS SHOWN.
- REPLACE EXISTING CATCH BASIN WITH NEW YARD DRAIN INLET. MAINTAIN EXISTING RIM AND INVERT. REPLACE EXISTING OUTLET PIPE IF DAMAGED DURING CONSTRUCTION.
- FURNISH AND INSTALL 6" DIA. PVC PERFORATED PIPE WRAPPED IN GEOTEXTILE. 0.5' OFF BUILDING FOUNDATION WITHIN 1x1' GRAVEL PIPE TRENCH. SLOPE AT 0.5% MIN. OUTLET TO FINISHED GRADE AS SHOWN AND PROVIDE 2x2 RIP RAP OUTFALL PAD.
- FURNISH AND INSTALL RETAINING WALL. HEIGHT PER PLAN, DESIGN BY OTHERS.

CROSS-SECTION A-A



CROSS-SECTION B-B



REVISIONS

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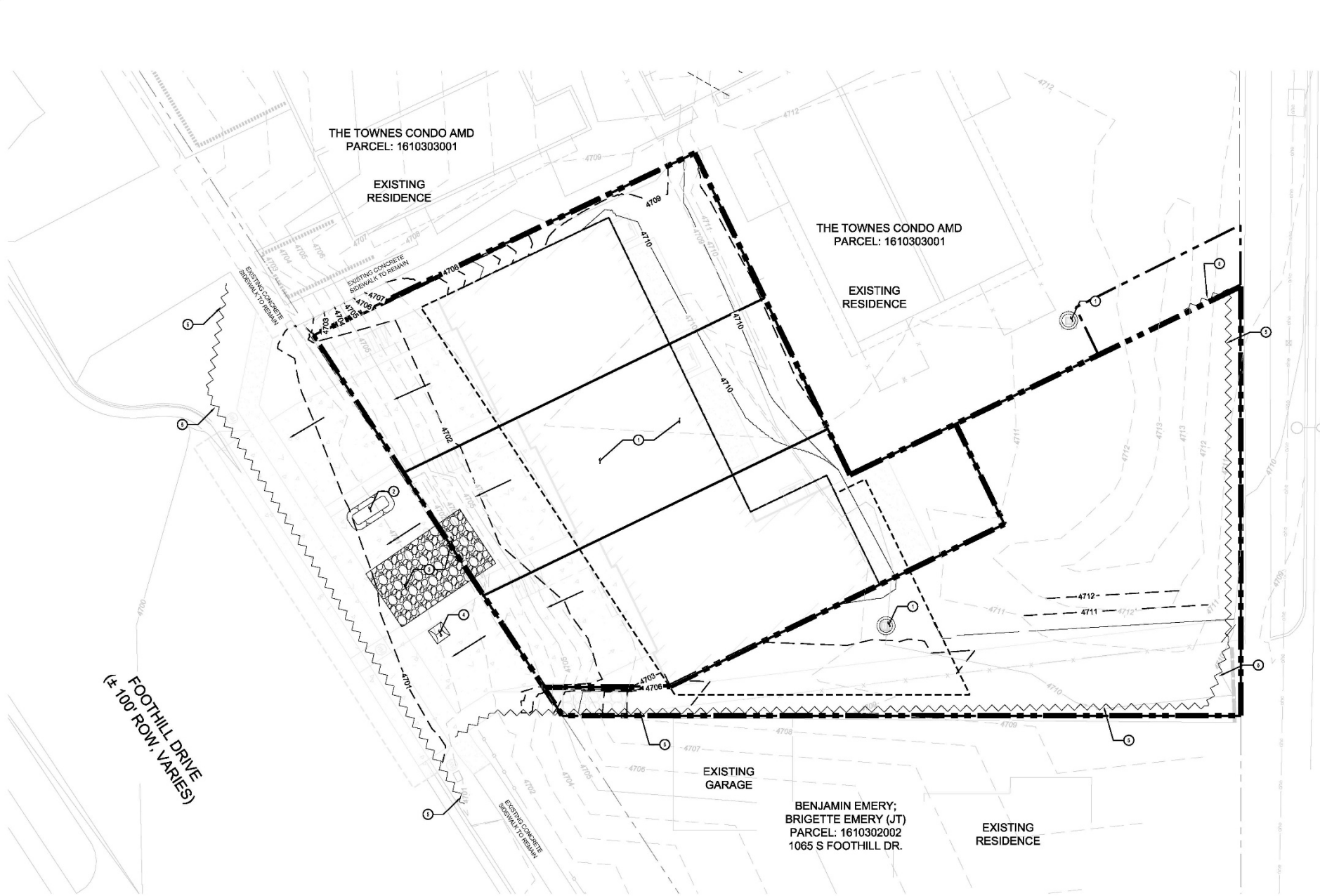
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GRADING PLAN
STANFORD COMMONS
RESIDENTIAL DEVELOPMENT

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Detailer: CC
Checker: KS

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SHEET NO.
C2-0





EROSION CONTROL PLAN LEGEND

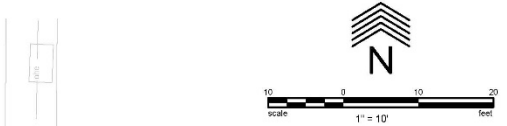
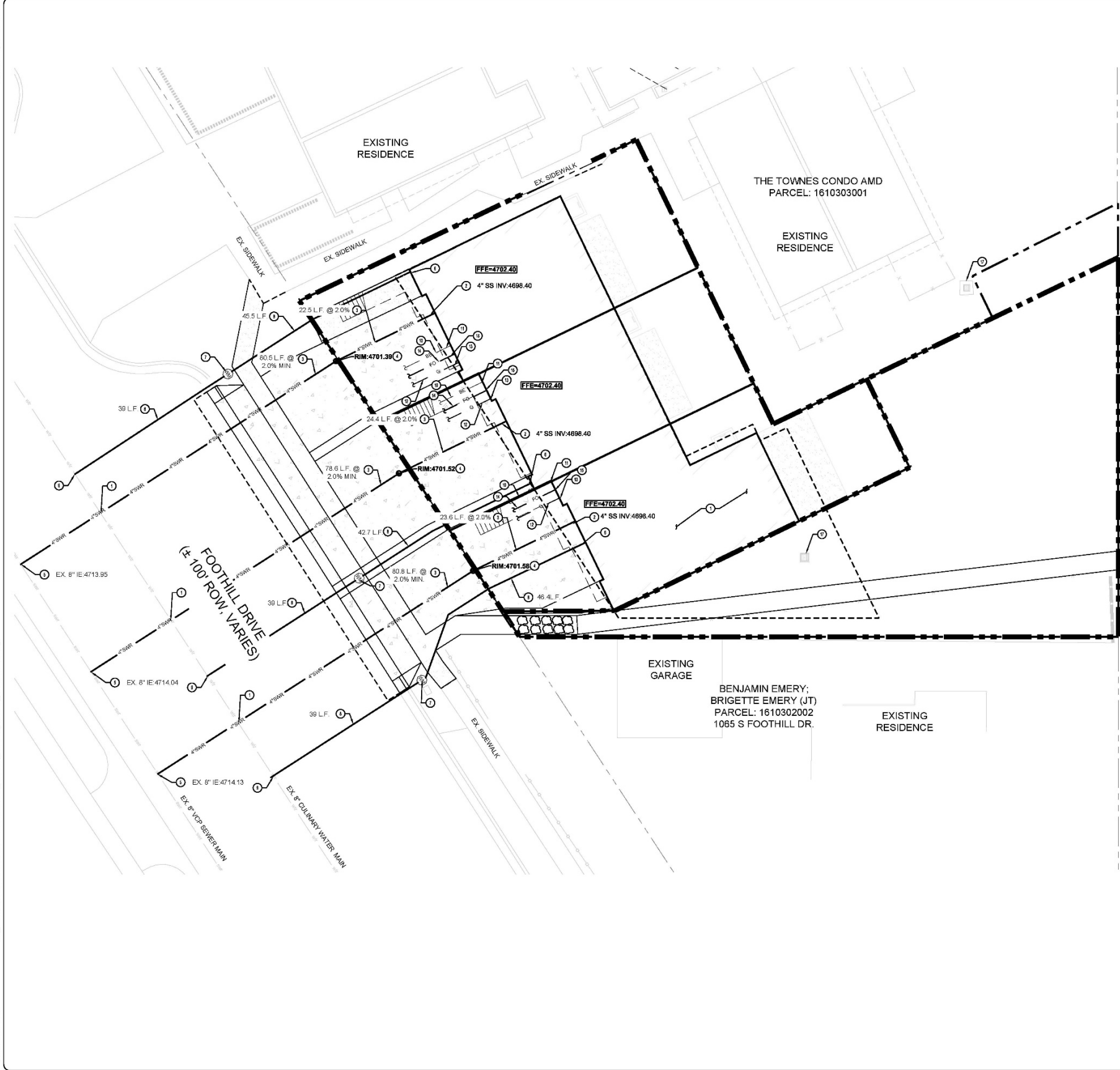
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|--|---|
| | PROPERTY BOUNDARY |
| | ADJACENT PROPERTY BOUNDARY |
| | LOT LINE |
| | EXISTING EASEMENT |
| | PROPOSED BUILDING ENVELOPE |
| | 20' BUILDING SETBACK |
| | EXISTING CONTOUR MAJOR |
| | EXISTING CONTOUR MINOR |
| | PROPOSED CONTOUR MAJOR |
| | PROPOSED CONTOUR MINOR |
| | PROPOSED SILT FENCE |
| | PROPOSED STABILIZED CONSTRUCTION ENTRANCE |
| | PROPOSED PORTABLE TOILET |
| | PROPOSED CONCRETE WASHOUT |
| | PROPOSED ASPHALT/CONCRETE SAWCUT |
| | EXISTING CONCRETE CURB & GUTTER |
| | EXISTING CONCRETE SIDEWALK |
| | EXISTING RETAINING WALL |
| | EXISTING FENCE |
| | EXISTING CONCRETE PANEL FENCE |
| | PROPOSED CONCRETE CURB & GUTTER |
| | PROPOSED CONCRETE SIDEWALK |
| | PROPOSED CONCRETE PAVEMENT |
| | EXISTING STORM DRAIN INLET |
| | EXISTING STREET LIGHT |
| | EXISTING UTILITY BOX |
| | PROPOSED WATER METER |

EROSION CONTROL PLAN KEY NOTES

- 1 PROPOSED INLET PROTECTION, REFERENCE DETAIL B4 SHEET C3-1.
- 2 PROPOSED CONCRETE WASTE MANAGEMENT (WASH OUT), REFERENCE DETAIL B2 SHEET C3-1.
- 3 PROPOSED STABILIZED CONSTRUCTION ENTRANCE, REFERENCE DETAIL B3 SHEET C3-1.
- 4 PROPOSED PORTABLE TOILET, REFERENCE DETAIL A4 SHEET C3-1.



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|---|----|
| REVISIONS | |
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| | |
| NORTHSTAR BUILDERS | |
| | |
| avenue CONSULTANTS | |
| Avenue Consultants, Inc. 6575 South Redwood Road, Suite 101 Taylorsville, UT 84123 801-207-7660 www.avenueconsultants.com | |
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| | |
| EROSION CONTROL PLAN | |
| STANFORD COMMONS RESIDENTIAL DEVELOPMENT | |
| Designer | JT |
| Detailer | CC |
| Checker | KS |
| SUBSET NO. | |
| SHEET NO. C3-0 | |



UTILITY PLAN LEGEND

| | |
|--|------------------------------------|
| | PROPERTY BOUNDARY |
| | ADJACENT PROPERTY BOUNDARY |
| | LOT LINE |
| | EXISTING EASEMENT |
| | PROPOSED BUILDING ENVELOPE |
| | 20' BUILDING SETBACK |
| | PROPOSED ASPHALT/CONCRETE SAWCUT |
| | EXISTING CONCRETE CURB & GUTTER |
| | EXISTING CONCRETE SIDEWALK |
| | EXISTING RETAINING WALL |
| | EXISTING FENCE |
| | EXISTING CONCRETE PANEL FENCE |
| | PROPOSED CONCRETE CURB & GUTTER |
| | PROPOSED CONCRETE SIDEWALK |
| | PROPOSED CONCRETE PAVEMENT |
| | EXISTING STORM DRAIN INLET |
| | EXISTING STREET LIGHT |
| | EXISTING UTILITY BOX |
| | PROPOSED WATER METER |
| | PROPOSED WATER SERVICE LINE |
| | EXISTING WATER MAIN |
| | PROPOSED SEWER SERVICE LINE |
| | EXISTING SEWER MAIN |
| | PROPOSED FIBER OPTIC SERVICE |
| | PROPOSED GAS SERVICE |
| | PROPOSED BURIED ELECTRICAL SERVICE |
| | EXISTING OVERHEAD ELECTRICAL LINE |

UTILITY PLAN KEY NOTES

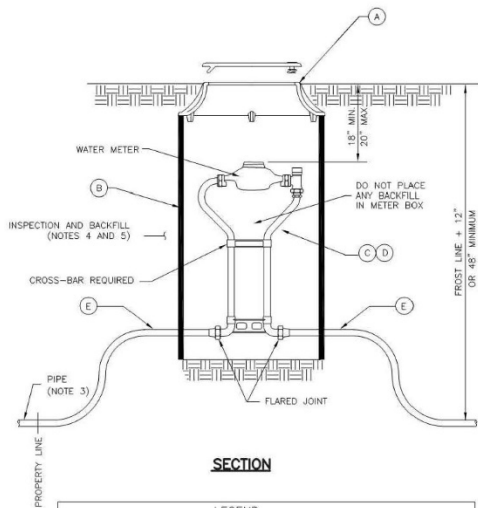
- CAUTION! UTILITY CROSSING. FIELD VERIFY INVERTS AND UTILITY LOCATIONS PRIOR TO CONSTRUCTION. ALL SEWER/WATER CROSSINGS REQUIRE 18" VERTICAL SEPARATION. CONTRACT DESIGN ENGINEER IMMEDIATELY IF FIELD LOCATED UTILITIES DO NOT MEET THIS CLEARANCE REQUIREMENT.
- 4" SANITARY SEWER SERVICE CONNECTION AT BUILDING. REFERENCE ARCHITECTURAL PLANS FOR EXACT LOCATION.
- FURNISH AND INSTALL 4" PVC SDR-35 SANITARY SEWER SERVICE LATERAL @ 2.0% MIN SLOPE PER SALT LAKE CITY STANDARDS AND SPECIFICATIONS. TRENCHING AND PIPE BEDDING PER SALT LAKE CITY PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS.
- FURNISH AND INSTALL 4" SANITARY SEWER CLEANOUT. INSTALL PER SALT LAKE CITY PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS.
- CONNECT TO EXISTING 8" SANITARY SEWER MAIN PER SALT LAKE CITY PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS. CONTRACTOR TO FIELD VERIFY EXISTING MAIN LOCATION AND INVERT PRIOR TO CONSTRUCTION AND INFORM DESIGN ENGINEER IMMEDIATELY IF FIELD CONDITIONS VARY FROM SHOWN ON PLAN. PATCH EXISTING ASPHALT PAVEMENT PER APWA STD DRAWING 255. MATCH EXISTING GRADES.
- CULINARY WATER SERVICE CONNECTION AT BUILDING. REFERENCE ARCHITECTURAL AND PLUMBING PLANS FOR EXACT LOCATION AND CONNECTION DETAILS.
- FURNISH AND INSTALL 3/4" WATER METER AND VAULT PER SALT LAKE CITY STANDARDS AND SPECIFICATIONS. REFERENCE DETAIL ON SHEET C4-2.
- FURNISH AND INSTALL 3/4" POLY PIPE CULINARY WATER SERVICE LINE PER SALT LAKE CITY STANDARDS AND SPECIFICATIONS. REFERENCE DETAIL ON SHEET C4-1. TRENCHING AND BEDDING PER SALT LAKE CITY STANDARDS AND SPECIFICATIONS. INSTALL WITH TRACER WIRE AND WARNING TAPE.
- 3/4" HOT TAP CONNECTION TO EXISTING WATER MAIN. PATCH EXISTING ASPHALT PAVEMENT PER APWA STD DRAWING 255. MATCH EXISTING GRADES.
- PROPOSED ELECTRICAL SERVICE LINE. CONTRACTOR TO COORDINATE SERVICE TYPE, LOCATION, ROUTING AND CONNECTION WITH UTILITY SERVICE PROVIDER.
- PROPOSED ELECTRICAL SERVICE METER AND ENTRY TO PROPOSED BUILDING. REFERENCE ARCHITECTURAL AND ELECTRICAL PLANS FOR DETAILS.
- PROPOSED GAS SERVICE LINE. CONTRACTOR TO COORDINATE SERVICE TYPE, LOCATION, ROUTING AND CONNECTION WITH UTILITY SERVICE PROVIDER.
- PROPOSED GAS SERVICE METER AND ENTRY TO PROPOSED BUILDING. REFERENCE ARCHITECTURAL AND ELECTRICAL PLANS FOR DETAILS.
- PROPOSED DATA/FIBER OPTIC SERVICE LINE. CONTRACTOR TO COORDINATE SERVICE TYPE, LOCATION, ROUTING AND CONNECTION WITH UTILITY SERVICE PROVIDER.
- PROPOSED DATA/FIBER OPTIC ENTRY TO PROPOSED BUILDING. REFERENCE ARCHITECTURAL AND ELECTRICAL PLANS FOR DETAILS.
- CONTRACTOR TO REPAIR ALL PAVEMENT CUTS REQUIRED TO FACILITATE UTILITY INSTALLATION PER APWA STANDARD PLAN 255.
- STORM DRAIN STRUCTURE. REFERENCE SHEET C2-0.



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| REVISIONS | |
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| | |
| UTILITY PLAN | |
| STANFORD COMMONS RESIDENTIAL DEVELOPMENT | |
| Designer | JT |
| Detailer | CC |
| Checker | KS |
| SUBSET NO. | |
| SHEET NO. C4-0 | |

3/4" and 1" meter

- METER PLACEMENT:
 - In new construction, install meter at center of lot or per agency requirements.
 - All meters are to be installed in the park strip or within 7 feet of the property line (street side).
 - Do not install meters under driveway approaches, sidewalks, or curb and gutter.
- METER BOX:
 - In landscaped areas and driveway approaches, set box so grade of the frame and cover matches the grade of the surrounding surface.
 - In street surfaces or other vehicular traffic areas, provide the same type of meter box as required for 1 1/2" and 2" service meters. See Plan 522.
- PIPE: Coordinate with utility agency or property owner for type of pipe to be used outside of right-of-way.
- INSPECTION: Prior to backfilling around meter box, secure inspection of installation by ENGINEER.
- BACKFILL: Provide and place per APWA Section 33 05 20. Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness is 8 inches before compaction.
- CASTING: Grey iron class 35 minimum per ASTM A 48.



| LEGEND | | | |
|--------|---|--|---|
| No. | * | ITEM | DESCRIPTION |
| (A) | | FRAME AND COVER | CAST IRON COVER (gross) DUCTILE IRON COVER (drive-way) |
| (B) | | METER BOX (18" to 21" DIAMETER) (30" to 36" DEEP) | CORRUGATED PE, PVC, CMP OR MATERIAL ACCEPTABLE TO AGENCY |
| (C) | | 3/4" METER YOKE | OPTIONAL BACKFLOW PROTECTION PER AGENCY REQUIREMENTS |
| (D) | | 1" METER YOKE | OPTIONAL BACKFLOW PROTECTION PER AGENCY REQUIREMENTS |
| (E) | | COPPER PIPE | TYPE K (50FT) |

* FURNISHED BY UTILITY AGENCY

3/4" and 1" meter

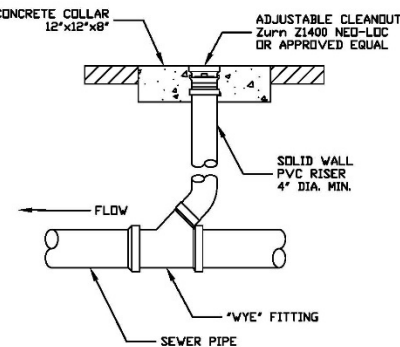
Plan No.
521

(A1) SLC 1" METER 521
SCALE: 1" = 1'

August 2001

215

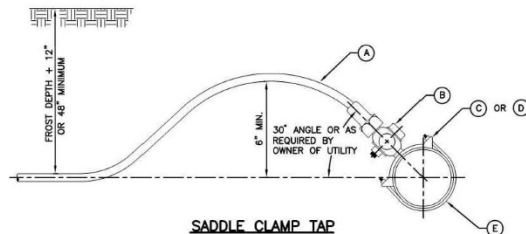
(A2) SEWER CLEANOUT
SCALE: 1" = 1'



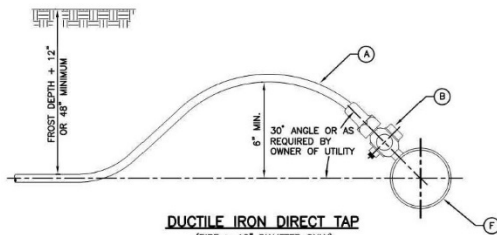
THIS DETAIL TO BE UTILIZED FOR CLEANOUTS
DESCRIBED ON UTILITY SHEETS

3/4" and 1" Service taps

- GENERAL
 - Before backfilling around taps, secure inspection of installation by ENGINEER.
- PRODUCTS
 - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
 - Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
 - Tape: Teflon tape is required on all taps.
- EXECUTION
 - Tapping: Place taps a minimum of 36-inches apart. Use a tapping tool which is sized corresponding to the size of the service line to be installed. No taps within 36-inches of end of pipe.
 - PVC or AC Pipe: A service saddle clamp is required on all PVC and AC pipe taps unless specified otherwise.
 - Base Course and Backfill Placement: Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.



SADDLE CLAMP TAP



DUCTILE IRON DIRECT TAP
(PIPE > 12" DIAMETER ONLY)

| LEGEND | | | |
|--------|---|----------------------|----------------------------|
| No. | * | ITEM | DESCRIPTION |
| (A) | | COPPER PIPE | TYPE K - SOFT |
| (B) | | CORPORATION STOP | BRASS |
| (C) | | SERVICE SADDLE CLAMP | (D.I., C.I., A.C.) ** |
| (D) | | SERVICE SADDLE CLAMP | (P.V.C.) |
| (E) | | WATER MAIN PIPE | (D.I., C.I., A.C., P.V.C.) |
| (F) | | WATER MAIN PIPE | (DUCTILE IRON (D.I.) ONLY |

* FURNISHED BY UTILITY AGENCY
** DI & CI PIPE MAY BE DIRECT TAPPED

3/4" and 1" Service taps

Plan
551

(B1) SLC 1" SERVICE TAP 551
SCALE: 1" = 1'

262

February 2011

263

REVISIONS



NORTHSTAR BUILDERS

avenue CONSULTANTS

Avenue Consultants, Inc.
6575 South Redwood Road, Suite 101
Taylorsville, UT 84123
801-207-7660
www.avenueconsultants.com



UTILITY DETAILS

STANFORD COMMONS
RESIDENTIAL DEVELOPMENT

Designer JT
Detailer CC
Checker KS

SUBSET NO.

SHEET NO.
C4-1



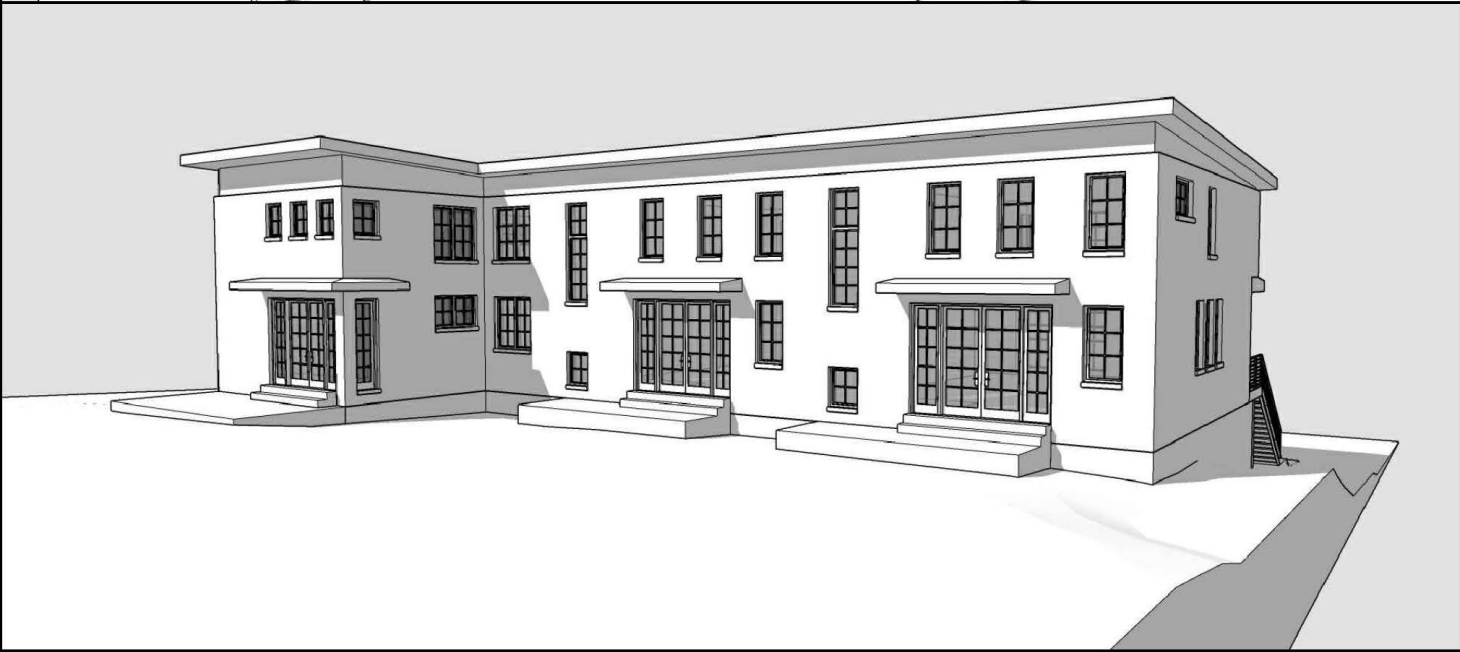
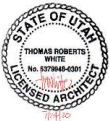
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Project Address: 2052 E Michigan Avenue
Salt Lake City, Utah

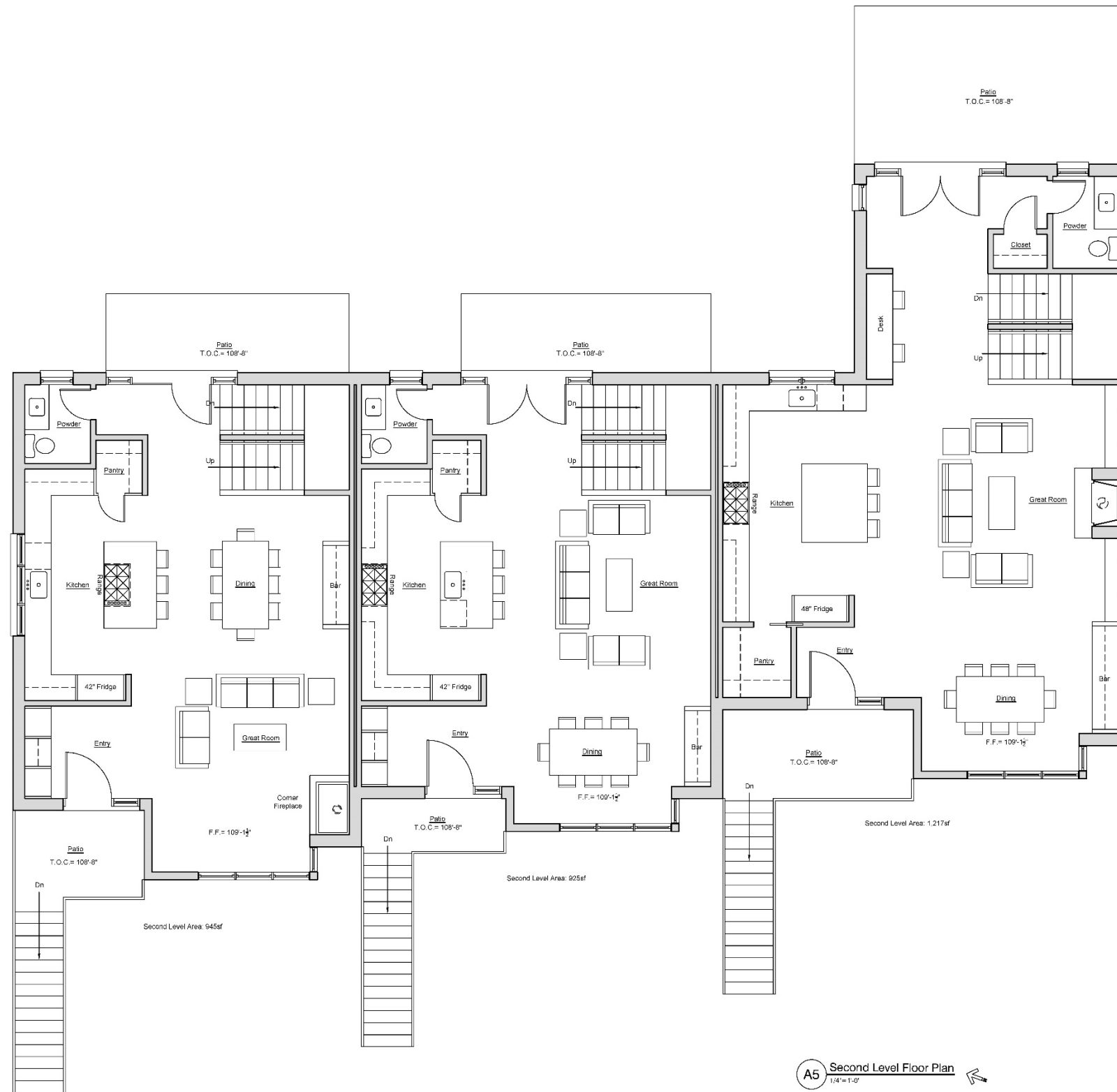
Planned Development Review Set
March 5, 2020



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9087 Jeremy Road
Park City, UT 84098
p. 801.808.6131
rob.white@sugarhousearchitects.com
www.sugarhousearchitects.com



| | | | |
|---|--|---|--|
| Project Data | | Project Design Team | |
| <div>ZONING REQUIREMENTS</div> <div>ZONE: RMF-30</div> <div>MAXIMUM BUILDING HEIGHT: 30'</div> | | <div>Project Architect</div> <div>SugarHouse Architects</div> <div>rob.white@sugarhousearchitects.com</div> <div>Civil Engineer</div> <div>Avenue Consultants</div> <div>ccain@avenueconsultants.com</div> <div></div> | |
| <div>AREA SUMMARY</div> <div>Unit A</div> <div>First Level: 939sf Heated Area: 408sf Garage: 531sf</div> <div>Second Level: 945sf Third Level: 976sf</div> <div>Total Heated Area: 2,351sf Total Area: 2,862sf</div> <div>Unit B</div> <div>First Level: 891sf Heated Area: 352sf Garage: 539sf</div> <div>Second Level: 929sf Third Level: 924sf</div> <div>Total Heated Area: 2,201sf Total Area: 2,740sf</div> <div>Unit C</div> <div>First Level: 1,224sf Heated Area: 406sf Garage: 818sf</div> <div>Second Level: 1,217sf Third Level: 1,257sf</div> <div>Total Heated Area: 2,880sf Total Area: 3,698sf</div> <div>Total Proposed Footprint: 3,054sf</div> | | | |
| Sheet Index | | | |
| <div>G-001 COVER SHEET</div> <div>C0-0 CIVIL COVER SHEET</div> <div>C0-1 CIVIL GENERAL NOTES</div> <div>C0-2 CIVIL GENERAL NOTES</div> <div>C0-3 CIVIL DEMOLITION PLAN</div> <div>C1-0 SITE PLAN</div> <div>C1-1 SITE DETAILS</div> <div>C2-0 GRADING PLAN</div> <div>C3-0 EROSION CONTROL PLAN</div> <div>C4-0 SITE UTILITY PLAN</div> <div>C4-1 SITE UTILITY DETAILS</div> <div>A110 FIRST LEVEL FLOOR PLAN</div> <div>A111 SECOND LEVEL FLOOR PLAN</div> <div>A112 THIRD LEVEL FLOOR PLAN</div> <div>A201 EXTERIOR ELEVATIONS</div> <div>A202 EXTERIOR ELEVATIONS</div> | | <div>Stanford Commons</div> <div>2052 E. Michigan Ave.</div> <div>Salt Lake City, UT</div> | |
| | | <div>Revision</div> <div>Date</div> | |
| | | <div>Date: August 17, 2020</div> | |
| | | <div>G001</div> | |
| | | <div>Planned Development</div> | |



A5 Second Level Floor Plan
1/4" = 1'-0"



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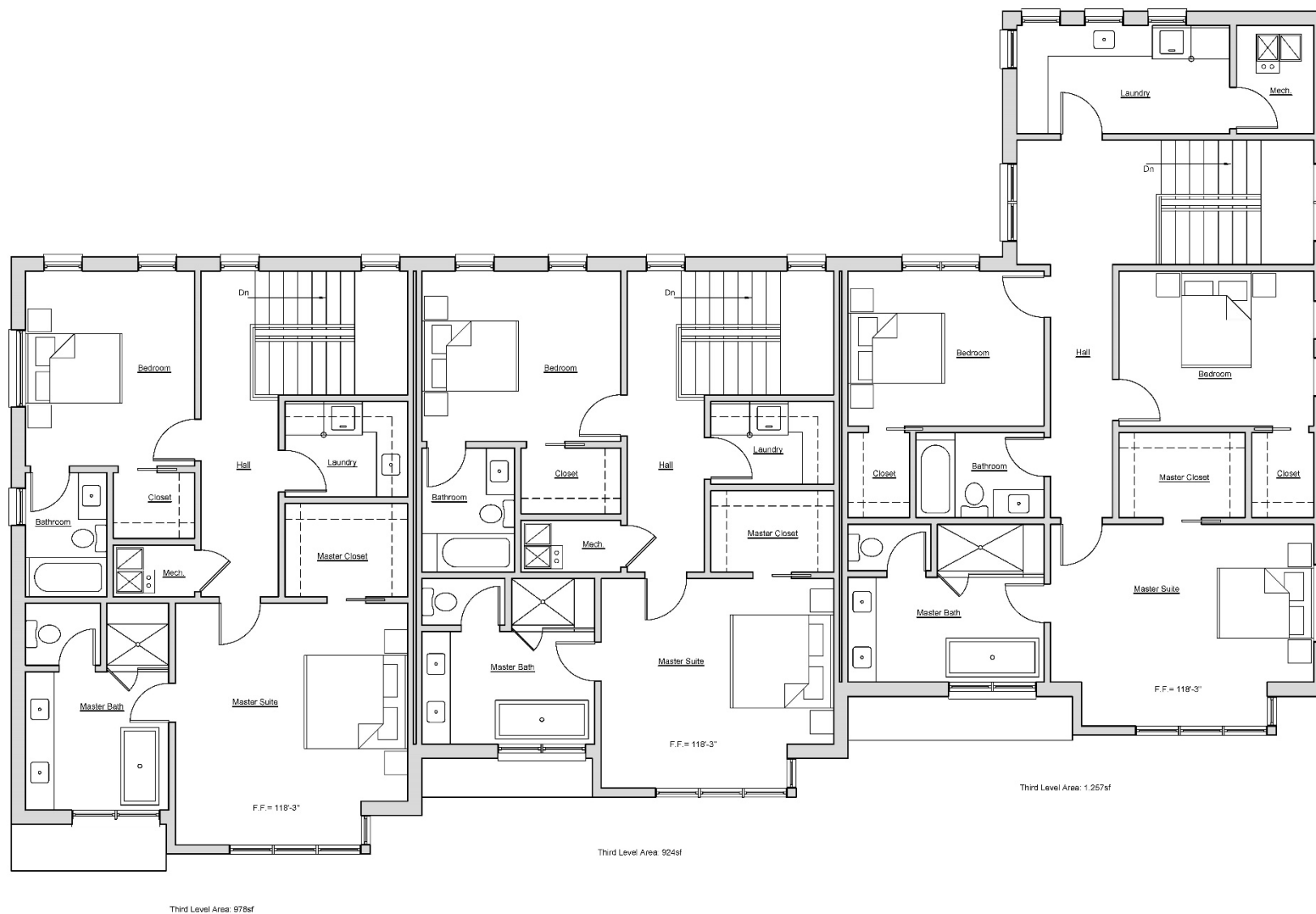
2052 E. Michigan Ave.
Salt Lake City, UT

| Revision | Date |
|----------|------|
|----------|------|

Date: August 17, 2020

A111

Planned Development



A5 Third Level Floor Plan
1/4"=1'-0"



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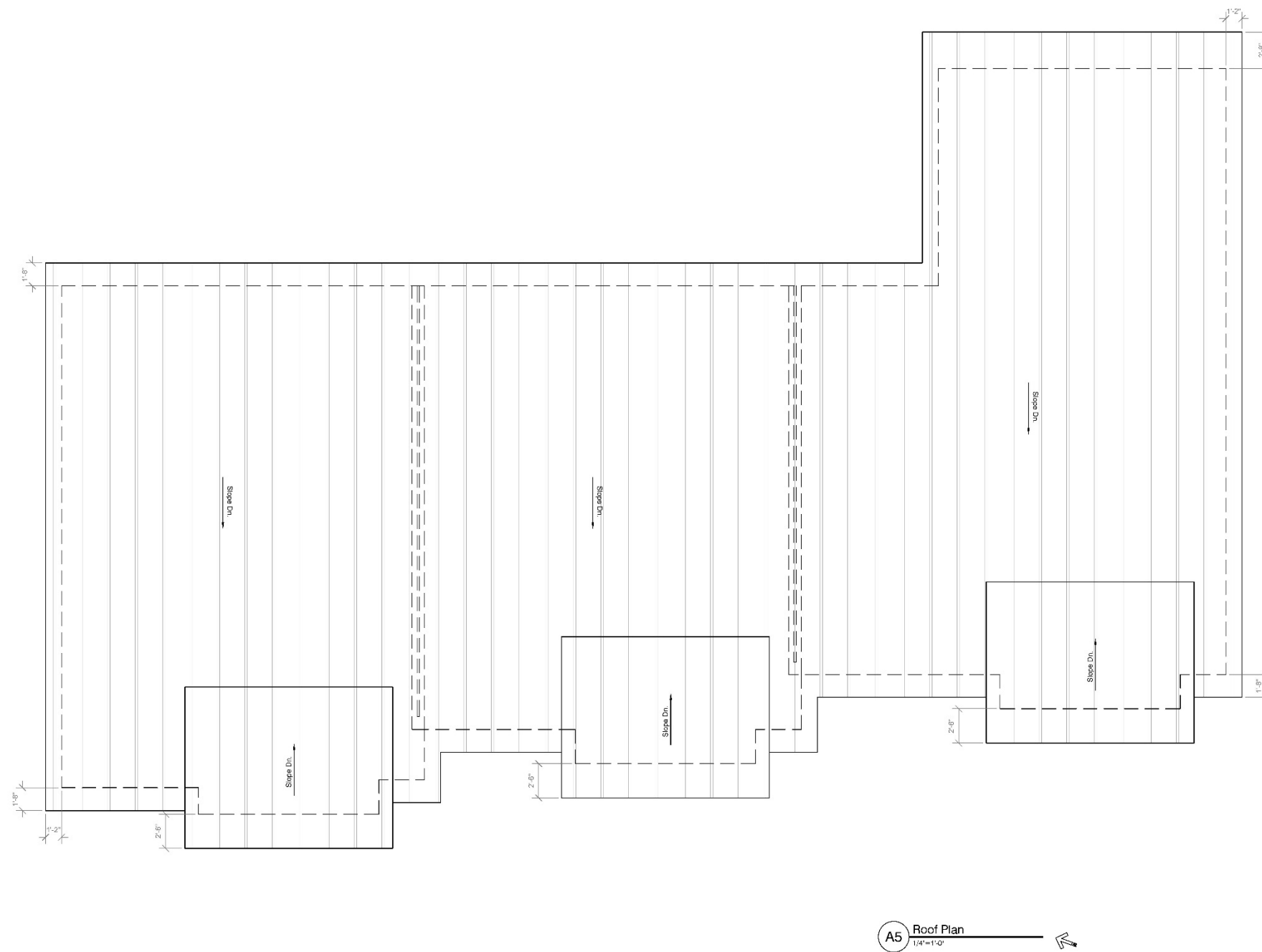
2052 E. Michigan Ave.
Salt Lake City, UT

| Revision | Date |
|----------|------|
|----------|------|

Date: August 17, 2020

A112

Planned Development



A5 Roof Plan
1/4"=1'-0"



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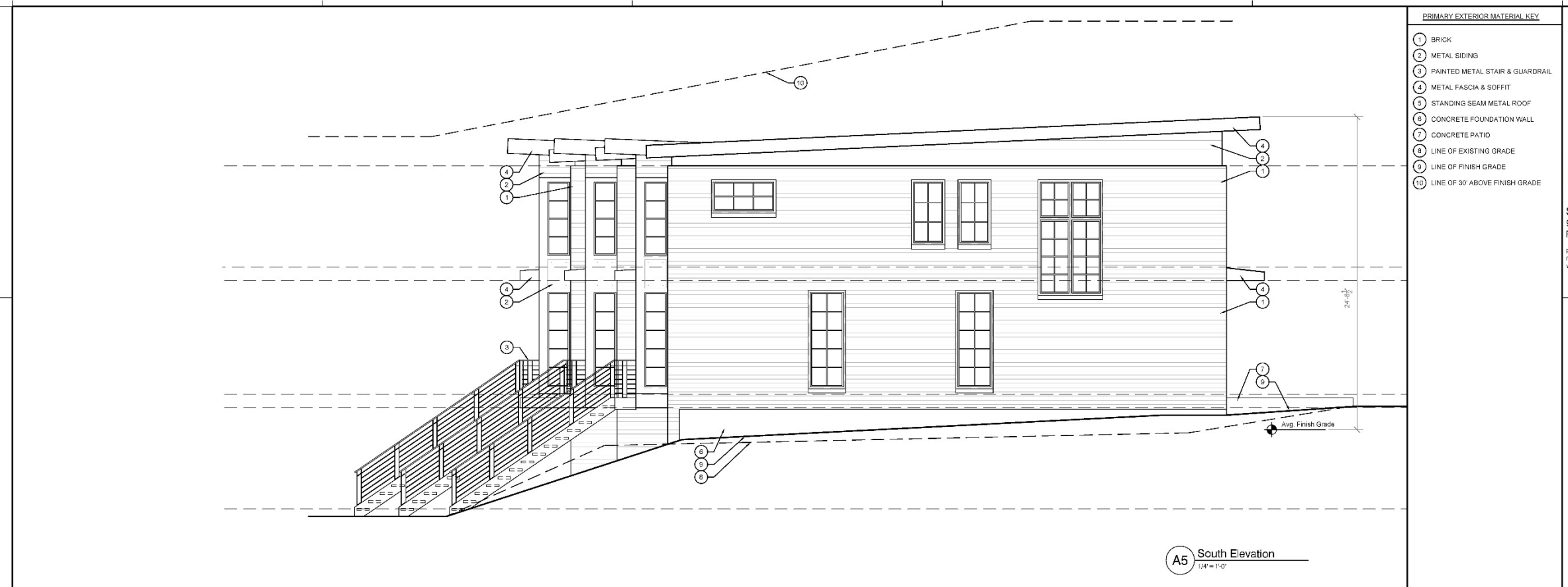
2052 E. Michigan Ave.
Salt Lake City, UT

| Revision | Date |
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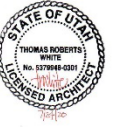
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A113

Planned Development



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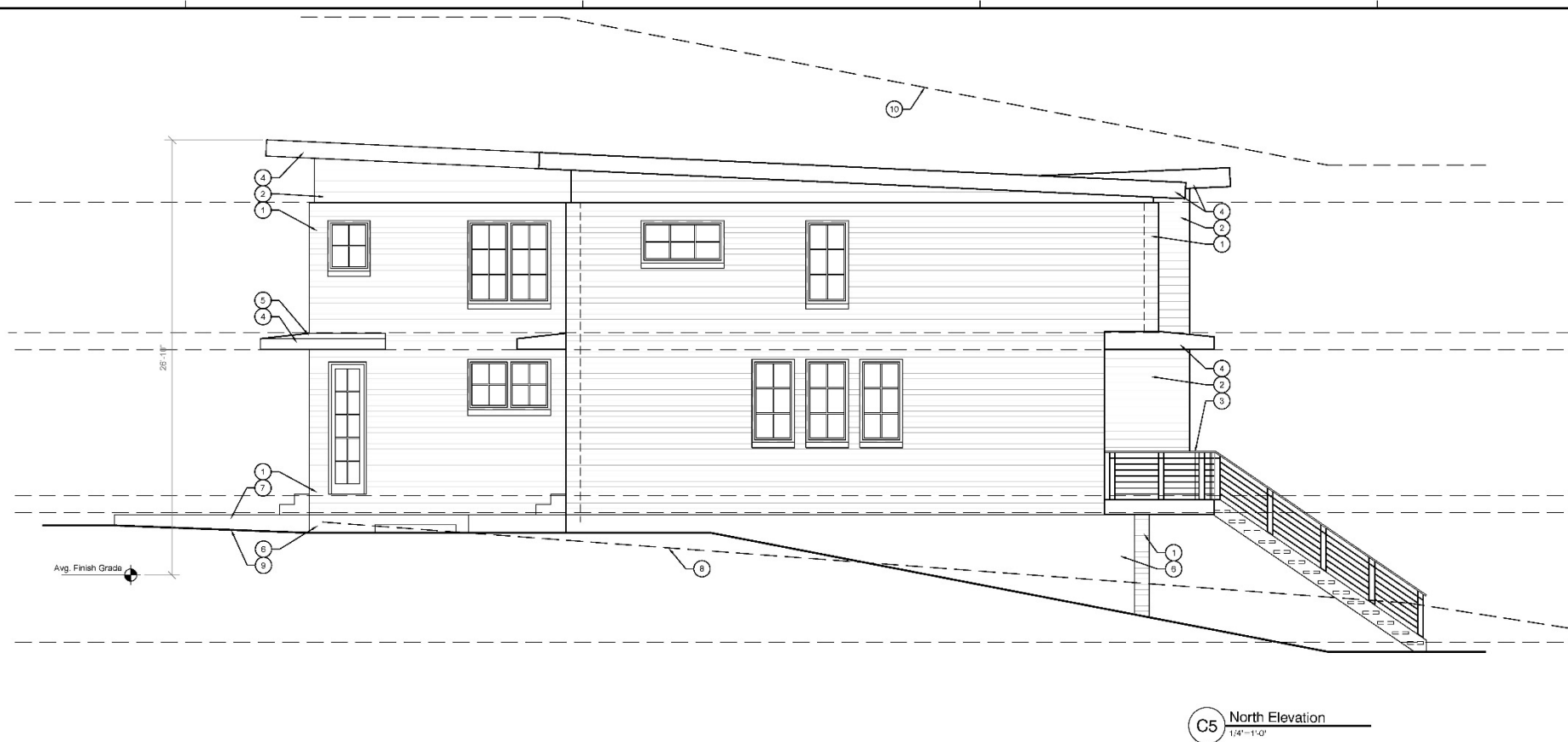
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Salt Lake City, UT

| Revision | Date |
|----------|------|
| | |

Date: August 17, 2020

A201

Planned Development



- PRIMARY EXTERIOR MATERIAL KEY
- 1 BRICK
 - 2 METAL SIDING
 - 3 PAINTED METAL STAIR & GUARDRAIL
 - 4 METAL FASCIA & SOFFIT
 - 5 STANDING SEAM METAL ROOF
 - 6 CONCRETE FOUNDATION WALL
 - 7 CONCRETE PATIO
 - 8 LINE OF EXISTING GRADE
 - 9 LINE OF FINISH GRADE
 - 10 LINE OF 30' ABOVE FINISH GRADE



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C5 North Elevation
1/4"=1'-0"



A5 East Elevation
1/4"=1'-0"

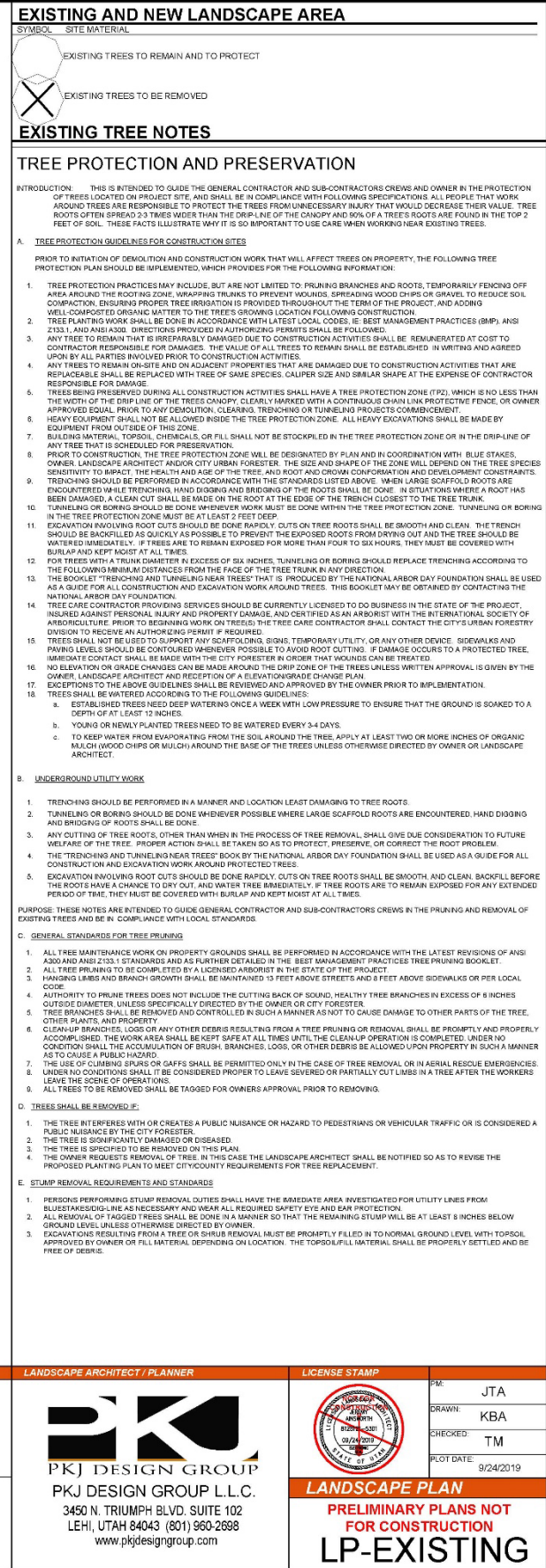
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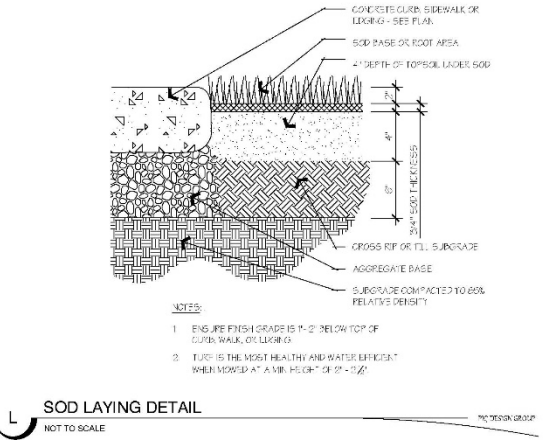
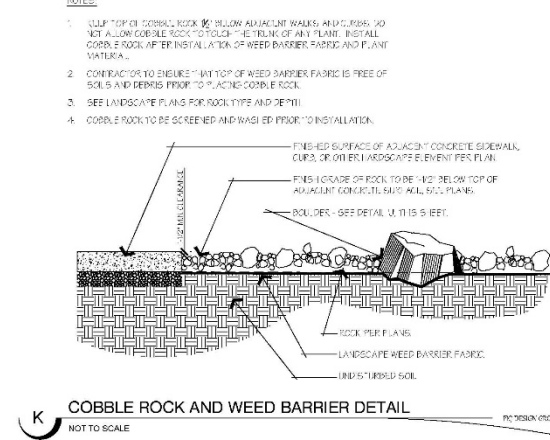
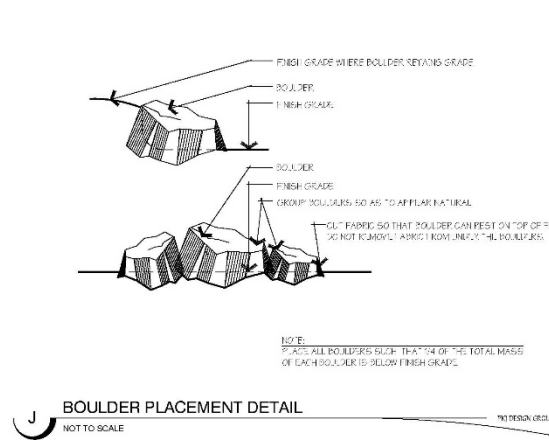
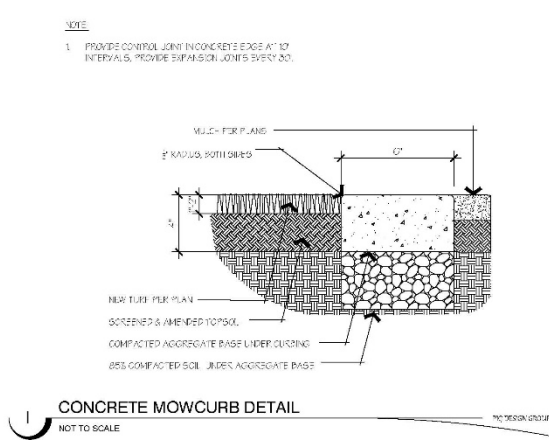
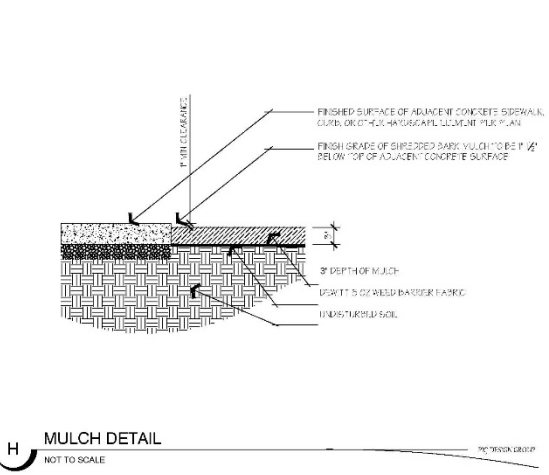
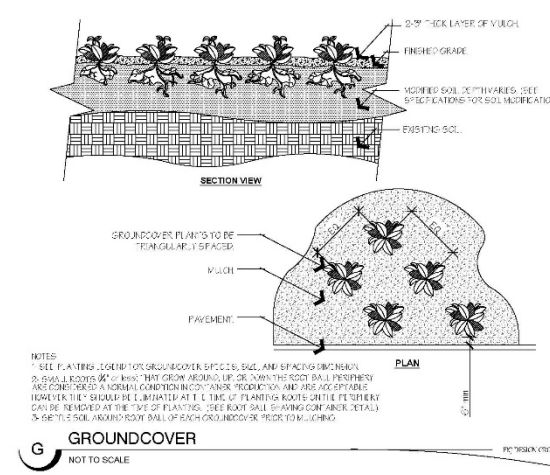
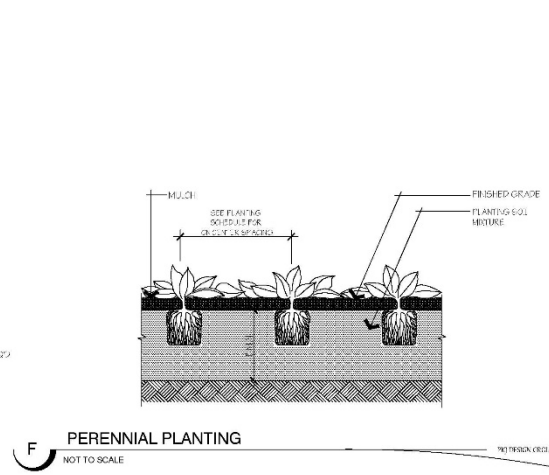
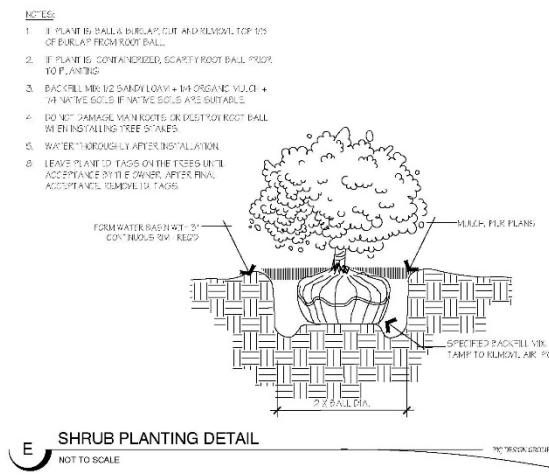
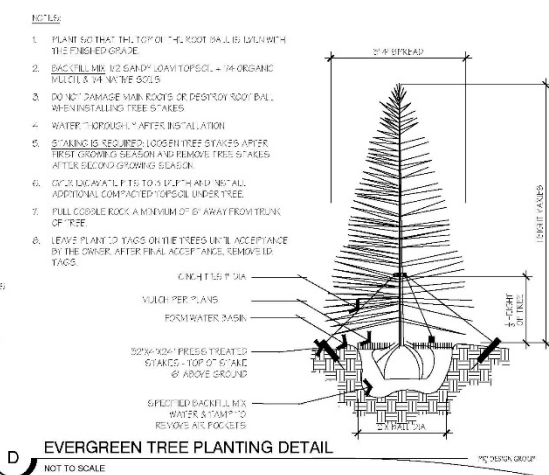
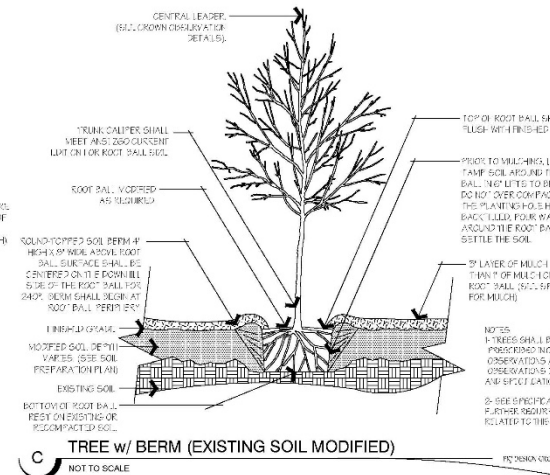
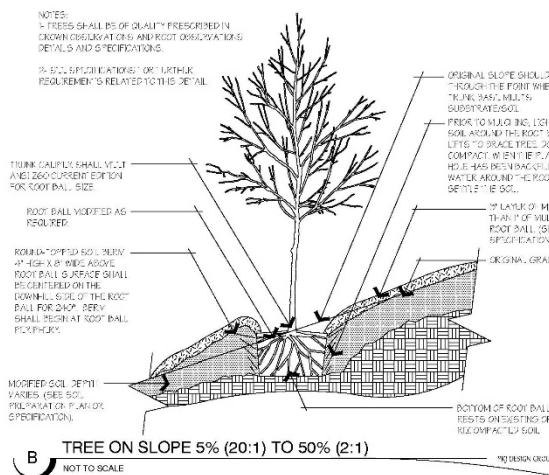
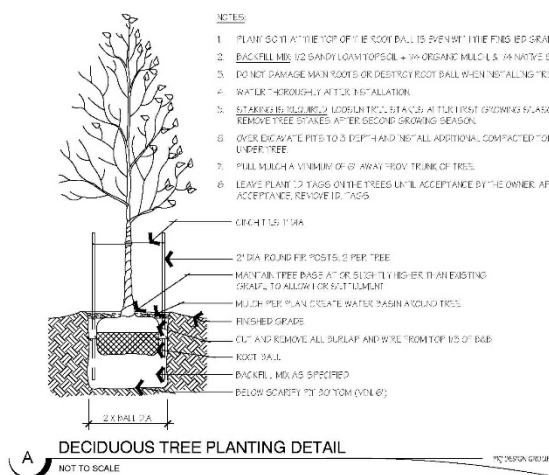
| Revision | Date |
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Date: August 17, 2020

A202

Planned Development





| ISSUE DATE | | | PROJECT NUMBER | | | PLAN INFORMATION | | | PROJECT INFORMATION | | | DEVELOPER / PROPERTY OWNER / CLIENT | | | LANDSCAPE ARCHITECT / PLANNER | | | LICENSE STAMP | | |
|------------|--|--|----------------|--|--|------------------|--|--|---------------------|--|--|-------------------------------------|--|--|---------------------------------|--|--|---------------------|--|--|
| 09-24-2019 | | | UT19053 | | | | | | | | | NORTHSTAR BUILDERS | | | PKJ DESIGN GROUP | | | JTA | | |
| NO. 1 | | | REVISION XXXX | | | DATE XX-XX-XX | | | | | | | | | PKJ DESIGN GROUP L.L.C. | | | KBA | | |
| 2 | | | | | | | | | | | | | | | 3450 N. TRIUMPH BLVD. SUITE 102 | | | TM | | |
| 3 | | | | | | | | | | | | | | | LEHI, UTAH 84043 (801) 960-2698 | | | PLOT DATE 9/24/2019 | | |
| 4 | | | | | | | | | | | | | | | www.pkjdesigngroup.com | | | | | |
| 5 | | | | | | | | | | | | | | | | | | | | |
| 6 | | | | | | | | | | | | | | | | | | | | |
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STANFORD COMMONS

SALT LAKE CITY, UTAH

IRRIGATION SPECIFICATIONS

IRRIGATION SPECIFICATIONS

PART 1 - GENERAL

1.1 SUMMARY

Work to be done include all labor, materials, equipment and services required to complete the Project irrigation system as indicated on the Construction Drawings, and as specified herein. Includes but is not limited to: Furnishing and installing underground and above ground sprinkler system complete with any accessories necessary for proper function and operation of the system. All plant material on the Project shall be irrigated. Removal and disposal of any existing sprinkler system components are not to be used, which are disturbed during the construction process. Restoration of any altered or damaged existing landscape to its original state and condition.

1.2 SYSTEM DESCRIPTION

A. Design of irrigation components: Locations of irrigation components on Construction Drawings may be approximate. Piping, sleeving and/or other components shown on Construction drawings may be shown schematically for graphic clarity and demonstration of component groupings and separations. All irrigation components shall be placed in landscaped areas, with the exception of pipe and wire in sleeving under sidewalks. Actual routing of pipe, wire or other components may be altered due to site conditions not accounted for in the design process.

B. Construction requirements: Actual placement may vary as required to achieve a minimum of 100% coverage without overspray onto hardscape, buildings or other features.

C. Layout of Irrigation Components: During layout and staking, consult with Owner Approved Representative (hereafter referred to as OAR) to verify proper placement of irrigation components and to provide Contractor recommendations for changes, where revisions may be advisable. Small or minor adjustments to system layout are permissible to avoid existing field obstructions such as utility boxes or street light poles. Contractor shall place remote control valves in groups as practical to economize on quantity of manifold isolation valves. Quick coupler valves shall be placed with manifold groups and protected by manifold isolation valves. Quick coupler valves are shown on Construction Documents in approximate locations.

1.3 DEFINITIONS

A. Water Supply: Culinary water piping and components, furnished and installed by others to provide irrigation water to this Project, including but not limited to backflow preventer, saddles, nipples, socks, shut off valves, corporation stop valves, water meters, pressure regulation valves, and piping upstream of (or prior to) the Point of Connection.

B. Point of Connection: Location where the Contractor shall tie into the water supply. May require backflow preventer, saddle, nipples, spools, isolation valves or Stop and Waste valve for landscape irrigation needs and use.

C. Main Line Piping: Pressurized piping downstream of the Point of Connection to provide water to remote control valves and quick couplers. Normally under constant pressure.

D. Lateral Line Piping: Circuit piping downstream of remote control valves to provide water to sprinkler heads, sprinkler heads, drip systems or bubblers.

1.4 REFERENCES

A. The following standards will apply to the work of this Section:

- ASTM-American Society for Testing and Materials
- IA-The Irrigation Association; Main BMP Document, Landscape Irrigation Scheduling and Water Management Document.

1.5 SUBMITTALS

A. At least thirty (30) days prior to ordering of any materials, the Contractor shall provide manufacturer catalog cut sheet and current printed specifications for each element or component of the irrigation system. Submittals shall be in three ring binders or other similar bound form. Provide five copies of submittals to OAR for distribution. Place cover or index sheet indicating order in submittal document. No material shall be ordered, delivered or any work proceeded in the field until the required submittals have been reviewed in its entirety and stamped approved. Delivered material shall match the approved samples.

B. Operation and Maintenance Manual:

- At least thirty (30) days prior to final inspection, the Contractor shall provide Operation and Maintenance manual to OAR, containing:
 - Manufacturer catalog cut sheet and current printed specifications for each element or component of the irrigation system.
 - Parts list for each operating element of the system.
 - Manufacturer printed literature on operation and maintenance of operating elements of the system.
 - Section listing instructions for overall system operation and maintenance, include directions for Spring Start-up and Winterization.
 - Project Record Copy
 - Maintain at project site one copy of all project documents clearly marked "Project Record Copy". Mark any deviation in material installation on Construction drawings. Maintain and update drawing at least weekly. Project Record Copy to be available to OAR on demand.
 - Completed Project As-Built Drawings

- Prior to final inspection, prepare and submit to OAR accurate as-built drawings
- Show detail and dimension changes made during installation. Show significant details and dimensions that were not shown in original Contract Documents.
- Field dimension locations of sleeving, points of connection, main line piping, wiring runs not contained in main line pipe trenches, valves and valve boxes, quick coupler valves.
- Dimensions are to be taken from permanent constructed surfaces, features, or finished edges located at or above finished grade.
- Controller Map upon completion of system, place in each controller a color coded copy of the area that controller services, indicating zone number, type of plant material and location on project that zone services. Laminate map with heat shrink clear plastic.

1.6 QUALITY ASSURANCE

A. Acceptance: Do not install work of this section prior to acceptance by OAR of area to receive such work.

B. Regulatory Requirements: All work and materials shall be according to any and all rules, regulations or codes, whether they are State or Local laws and ordinances. Contract documents, drawing or specifications may not be construed or interpreted to permit work or materials not conforming to the above codes.

C. Adequate Water Supply: Water supply to this Project exists, installed by others. Connections to these supply lines shall be by this Contractor. Verify that proper connection is available to supply line and is of adequate size. Verify that secondary connection components may be installed if necessary. Perform static pressure test prior to commencement of work. Notify OAR in writing of problems encountered prior to proceeding.

D. Workmanship and Materials:

- It is the intent of this specification that all material herein specified and shown on the construction documents shall be of the highest quality available and meeting the requirements specified.
 - All work shall be performed in accordance with the best standards of practice relating to the trade.
- E. Contractor Qualifications:
- Contractor shall provide document or resume including at least the following items:
 - That Contractor has been installing sprinklers on commercial projects for five previous consecutive years.
 - Contractor is licensed to perform Landscape and Irrigation construction in the State of this Project.
 - Contractor is bondable for the work to be performed.
 - References of five projects of similar size and scope completed within the last five years. Three of the projects listed shall be local.
 - Listing of supplier where materials will be obtained for use on this Project.
 - Project Site Foreman or Supervisor has at least five consecutive years of commercial irrigation installation experience. This person shall be a current Certified Irrigation Contractor in good standing as set forth by the

Irrigation Association. This person shall be on Project site at least 75% of each working day.

UL Evidence that Contractor currently employs workers in sufficient quantities to complete Project within time limits that are established by the Contract.

ALL General laborers or workers on the Project shall be previously trained and familiar with sprinkler installation and have a minimum of one-year experience. Those workers performing tasks related to PVC pipe shall have certificates designated below.

1.7 DELIVERY-STORAGE-HANDLING

A. During delivery, installation and storage of materials for Project, all materials shall be protected from contamination, damage, vandalism, and prolonged exposure to sunlight. All material stored at Project site shall be neatly organized in a compact arrangement and storage shall not disrupt Project Owner or other trades on Project site. All material to be installed shall be handled by Contractor with care to avoid breakage or damage. Damaged materials attributed to Contractor shall be replaced with new at Contractor's expense.

1.8 SEQUENCING

A. Perform site survey, research utility records, contact utility location services. The Contractor shall familiarize himself with all hazards and utilities prior to work commencement. Install sleeving prior to installation of concrete, paving or other permanent site elements. Irrigation system Point of Connection components, backflow prevention and pressure regulation devices shall be installed and operational prior to all downstream components. All main lines shall be thoroughly flushed of all debris prior to installation of any sprinkler heads.

1.9 WARRANTY

A. Contractor shall provide one year Warranty. Warranty shall cover all materials, workmanship and labor. Warranty shall include filling and/or repairing depressions or replacing turf or other plantings due to settlement of irrigation trenches or irrigation system elements. Valve boxes, sprinklers or other components settles from original finish grade shall be restored to proper grade. Irrigation system shall have been adjusted to provide proper, adequate coverage of irrigated areas.

1.10 OWNER'S INSTRUCTION

A. After system is installed, inspected, and approved, instruct Owner's Representatives in complete operation and maintenance procedures. Coordinate instruction with references to previously submitted Operation and Maintenance Manual.

1.11 MAINTENANCE

A. Furnish the following items to Owner's Representative:

- Two quick coupler keys with hose ends.
 - One of each type or size of quick coupler valve and remote control valve. Five percent of total quantities used of each sprinkler and sprinkler nozzle.
- B. Provide the following services:
- Winterize entire irrigation system installed under this contract. Winterize by "blow-out" method using compressed air. Compressor shall be capable of minimum of 175 CFM. This operation shall occur at the end of first growing season after need for plant irrigation but prior to freezing. Compressor shall be capable of evacuation system of all water pressure regulation device. Compressor shall be regulated to not more than 60 PSI. Start up system the following spring after danger of freezing has passed. Contractor shall train Owner's Representative in proper start-up and winterization procedure.

PART 2 - PRODUCTS

2.1 GENERAL NOTES

A. Contractor shall provide materials to be used on this Project. Contractor shall not remove any material purchased for this Project from the Project Site, nor mix Project materials with other Contractor owned materials. Owner retains right to purchase and provide project material.

2.2 POINT OF CONNECTION

A. The Contractor shall connect onto existing irrigation or water main line as needed for Point(s) of Connection. Contractor shall install new main line as indicate.

2.3 CONNECTION ASSEMBLY

A. Culinary water shall be used on this Project. Install backflow preventer and BFP as needed.

2.4 CONTROL SYSTEM

- Power supply to the irrigation controller shall be provided for by this Contract.
- Controller shall be as specified in the drawings. Controller shall be surge protected.
- Installation of wall-mount controllers: Irrigation controller shall be responsible for this task. Power configuration for wall-mount controllers shall be 120 VAC unless otherwise noted.
- Locate Controller(s) in general location shown on Construction drawings. Coordinate power supply and breaker allocation with electrical contractor. Contractor shall be responsible for all power connections to Controllers, whether they are wall mount or pedestal mount. Contractor shall coordinate with electrical or other Project trades as needed to facilitate installation of power to controllers.

C. Wires connecting the remote control valves to the irrigation controller are single conductors, type PLT. Wire construction shall incorporate a solid copper conductor and polyethylene (PE) insulation with a minimum thickness of 0.045 inches. The wires shall be UL listed for direct burial in irrigation systems and be rated at a minimum of 30 VAC. Page Electric Co., UL specification number P00790.

- A minimum of 24" of additional wire shall be left at each valve, each splice box and at each controller.
 - Common wire shall be white in color, 12 gauge. Control wire shall be red in color, 14 gauge. Spare wire shall be looped within each valve box of the grouping it is to service.
- D. RCV wire splicing connectors shall be 3M brand DBY or DBK. Wire splicing between controller and valves shall be avoided if at all possible. Any wire splices shall be contained within a valve box. Splices within a valve box that contains no control valves shall be stamped "WIRE SPLICED" or "WIS" on box lid.

2.5 SLEEVING

A. Contractor shall be responsible to protect existing underground utilities and components. Sleeving minimum size shall be 2". Sleeving 2" through 4" in size shall be S40 PVC solvent weld. Sleeving 6" and larger shall be CL200 PVC gasketed. Sleeve diameter shall be at least two times the diameter of the pipe within the sleeve. Sleeves shall be extended 6" minimum beyond wall or edge of pavement. Wire or cable shall not be installed in the same sleeve as piping, but shall be installed in separate sleeves. Sleeve ends on sleeves sizes 4" and larger shall be capped with integral corresponding steel PVC slip cap, pressure fit, until used, to prevent contamination. Sleeves shall be installed at appropriate depths for main line pipe or lateral pipe.

2.6 MAIN LINE PIPE

- A. All main line pipe 4" and larger shall be Class 200 gasketed bell end. All main line pipe 3" in size and smaller shall be Schedule 40 PVC solvent weld bell end.
- Maximum flows allowed through main line pipes shall be:

| Size | GPM |
|--------|---------|
| 3/4" | 8 GPM |
| 1" | 12 GPM |
| 1-1/2" | 30 GPM |
| 2" | 53 GPM |
| 2-1/2" | 75 GPM |
| 3" | 110 GPM |
| 4" | 180 GPM |
 - Main line pipe shall be buried with 24" cover

2.7 MAIN LINE FITTINGS

A. All main line fittings 3" and larger shall be gasketed ductile iron material. All ductile iron fittings having change of direction shall have proper concrete thrust block installed. All main line fittings smaller than 3" in size shall be Schedule 80 PVC.

2.8 ISOLATION VALVES

A. Isolation valves 3" and larger shall be Watertool brand model 2500 cast iron gate valve, resilient wedge, push-on type, with 2" square operating nut. Place sleeve of 6" or larger pipe over top of valve vertically and then extend to grade. Place 10" round valve box over sleeve at grade.

B. Isolation valves 2-1/2" and smaller shall be Apollo brand 70 series brass ball valve, contained in a Carson Standard size valve box. Valves shall be installed with S80 PVC TCE Nipples on both sides of the valve. Valve shall be placed so that the handle is vertical toward the top of the valve box in the "off" position.

2.9 MANIFOLDS

A. Perform site survey, research utility records, contact utility location services. The Contractor shall familiarize himself with all hazards and utilities prior to work commencement. Install sleeving prior to installation of concrete, paving or other permanent site elements. Irrigation system Point of Connection components, backflow prevention and pressure regulation devices shall be installed and operational prior to all downstream components. All main lines shall be thoroughly flushed of all debris prior to installation of any sprinkler heads.

2.10 REMOTE CONTROL VALVES

A. Remote control valves shall be as specified on the drawings. Remote control valves shall be located separately and individually in separate control boxes.

2.11 MANUAL CONTROL VALVES

A. Quick coupler valve shall be attached to the manifold sub-main line using a Lasco G175212 swing joint assembly with snaplock outlet and brass stabilizer elbow. Quick coupler valve shall be placed within a Carson 10" round valve box. Top of quick coupler valve cover shall allow for complete installation of valve box lid, but also allow for insertion and operation of key. Base of quick coupler valve and top of quick coupler swing joint shall be encased in 3" gravel. Contractor shall not place quick coupler valves further than 200 feet apart, to allow for spot watering or supplemental irrigation of new plant material. Quick coupler valve at POC shall not be eliminated or relocated.

2.12 LATERAL PIPING

A. All lateral piping shall be Schedule 40 PVC solvent weld, and bell end. Lateral pipe shall be buried with 12-18" of cover typically. Lateral pipe shall be 3/4", 1", 1-1/2", 1-3/4" or 2" in size as indicated on Construction Drawings.

2.13 LATERAL LINE FITTINGS

A. All lateral line fittings shall be S40 PVC.

2.14 Spray Sprinklers

A. Spray head sprinklers shall be as specified on the drawings. Nozzles shall be as specified on the drawings.

2.15 VALVE BOXES

A. Carson valve boxes shall be used on this project. Sizes are as directed in these Specifications, detail sheets or plan sheets. Valve boxes shall be centered over the control valve or element they cover. Valve box shall be sized large enough to allow ample room for services access, removal or replacement of valve or element. Valve box shall be set to flush to finish grade of topsoil or bedded areas. Contractor shall provide extensions or track additional valve boxes as necessary to bring valve box pits to proper grade.

2.16 IMPORT BACKFILL

A. All main line pipe, lateral line pipe and other irrigation elements shall be bedded and backfilled with clean soil, free of rocks 1" and larger. Contractor shall furnish and install additional backfill material as necessary due to rocky conditions. Trenches and other elements shall be compacted and/or water settled to eliminate settling. Debris from trenching operations unusable for fill shall be removed from project and disposed of properly by Contractor.

2.17 OTHER PRODUCTS

A. Substitution of equivalent products is subject to the OAR's approval and must be designated as accepted in writing.

- The Contractor shall provide materials to make the system complete and operational.

PART 3 - EXECUTION

3.1 PREPARATION

A. Contractor shall repair or replace work damaged by irrigation system installation. If damaged work is new, replacement or the original installer of that work shall perform repairs. The existing landscape of this Project shall remain in place. Contractor shall protect and work around existing plant material. Coordination of trench and valve locations shall be laid out the OAR prior to any excavation occurring. Plant material deemed damaged by the OAR shall be replaced with new plant material at Contractor's expense. Contractor shall not cut existing tree roots larger than 2" to install this Project. Route pipe, wire and irrigation elements around tree canopy drip line to minimize damage to tree roots. Contractor shall have no part of existing system used by other portions of site landscape without water for without water for more than 24 hours at a time.

3.2 TRENCHING AND BACKFILLING

A. Pulling of pipe shall not be permitted on this project. Over excavate trenches both in width and depth. Ensure base of trench is rock or debris free to protect pipe and wire. Grade trench base to ensure flat, even support of piping. Backfill with clean soil or import material. Contractor shall backfill and install additional backfill material as necessary due to rocky conditions. Main line piping and fittings shall not be backfilled until OAR has inspected and pipe has passed pressure testing. Perform balance of backfill operation to eliminate any settling.

3.3 SLEEVING

A. Sleeve all piping and wiring that pass under paving or landscape features. Wiring shall be placed in separate sleeving from piping. Sleeves shall be positioned relative to structures or obstructions to allow for pipe or wire within to be removed if necessary.

3.4 GRADES AND DRAINAGE

A. Place irrigation pipe and other elements at uniform grades. Winterization shall be by evacuation with compressed air. Automatic drains shall not be installed on this Project. Manual drains shall only be installed at POC where designated on Construction Drawings.

3.5 PVC PIPE

- Install pipe to allow for expansion and contraction as recommended by pipe manufacturer.
- Install main line pipes with 18" of cover, lateral line pipes with 12" of cover.
- Drawings show diagrammatic or conceptual location of piping. Contractor shall install piping to minimize change of direction, avoid placement under large trees or large shrubs, avoid placement under hardscape features.
- Plastic pipe shall be cut squarely. Burns shall be removed. Spigot ends of pipes 3" and larger shall be beveled.
- Pipe shall not be glued unless ambient temperature is at least 50 degrees F. Pipe shall not be glued in rainy conditions unless properly tested. All solvent weld joints shall be assembled using P17 glue and P70 primer according to manufacturer's specifications, no exceptions. All workers performing glue operations shall provide evidence of certification. Glued main line pipe shall cure a minimum of 24 hours prior to being energized. Lateral lines shall cure a minimum of 2 hours prior to being energized and shall not remain under constant pressure unless cured for 24 hours.
- Appropriate thrust blocking shall be performed on fittings 3" and larger. All threaded joints shall be wrapped with teflon tape or paste unless directed by product manufacturer or sealing by-o-ring.

3.6 CONTROLLERS

- All grounding for pedestal controllers shall be as directed by controller manufacturer and ASIC guidelines, not to exceed a resistance reading of 5 OHMS.
- Locate controllers in protected, inconspicuous places, when possible. Coordinate location of pedestal controllers with Landscape Architect to minimize visibility.
- Coordinate location of wall mount controllers with building or electrical contractor to facilitate electrical service and future maintenance needs. Wall mounts shall be securely fastened to surface. If exterior mounted, wall mount controllers shall have electrical service wire and field control wire in separate, appropriate sized weatherproof electrical conduit. PVC pipe shall not be used.

electrical conduit, PVC pipe shall not be used.

D. Wire under hardscape surfaces shall be placed continuously in conduit. Contractor shall be responsible to coordinate sleeving needs for conduit or sweep elbows from exterior to interior of building.

E. Pedestal controllers shall be placed upon VIT-Strong Box Quick Pad as per manufacturer's recommendations. Controllers shall be oriented such that Owner's Representative maintenance personnel may access easily and perform field system tests efficiently.

F. Place Standard valve box at base of controller or nearby to allow for three to five feet of slack field control wire to be placed at each controller. This Contractor shall provide conduit access if needed for Electrical Contractor. Electrical supply and installation, as well as hook-up to controller shall be by this Contractor.

3.7 VALVES

- Isolation valves, remote control valves, and quick coupler valves shall be installed according to manufacturer recommendation and Contract Specifications and Details.
- Valve boxes shall be set over valves so that all parts of the valve can be reached for service.
- Valve box and lid shall be set to be flush with finished grade. Only one remote control valve may be installed in a Carson 1419224 box. Place a minimum of 4" of 3/4" washed gravel beneath valve box for drainage. Bottom of remote control valve shall be a minimum of 2" above gravel.

3.8 SPRINKLER HEADS

- No sprinkler shall be located closer than 6" to walls, fences, or buildings.
- Heads adjacent to walks, curbs, or paths shall be located at grade and 2" away from hardscape.
- Control valves shall be opened and fully flush lateral line pipe and wiring joints prior to installation of sprinklers.
- Spray heads shall be installed and flushed again prior to installation of nozzles.
- Contractor shall be responsible for adjustment if necessary due to grade changes during landscape construction.

3.9 FIELD QUALITY CONTROL

- Main line pipes shall not be backfilled or accepted until the system has been tested for 2 hours at 100 psi.
- Main line pressure test shall include all pipe and components from the point of connection to the upstream side of remote control valves. Test shall include all manifold components under constant pressure. Piping may be tested in sections that can be isolated.
- Contractor shall provide pressurized water pump to increase or boost pressure where existing static pressure is less than 100 psi.
- Schedule testing with OAR 48 hours in advance for approval.
- Leaks or defects shall promptly be repaired or rectified at the Contractors expense and retested until able to pass testing.
- Grounding resistance at pedestal controller shall also be tested and shall not exceed 5 OHMS.

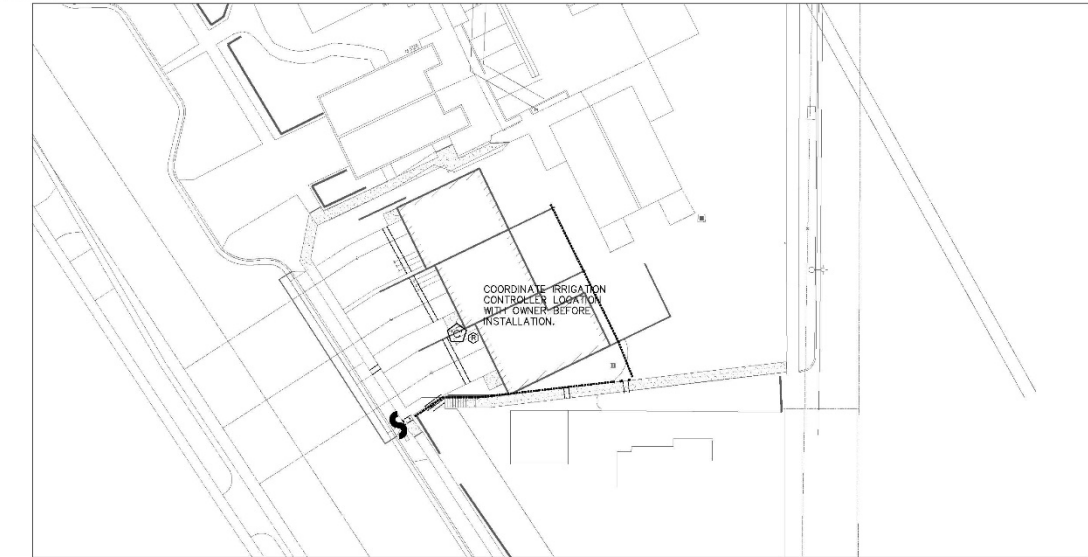
3.10 ADJUSTMENT

- Sprinkler heads shall be adjusted to proper height when installed. Changes in grade or adjustment of head height after installation shall be considered a part of the original contract and at Contractor's expense.
- Adjust all sprinkler heads for arc, radius, proper trim and distribution to cover all landscaped areas that are to be irrigated.
- Adjust sprinklers so they do not water buildings, structures, or other landscape features.
- Adjust run times of station to meet needs of plant material at the station services.

3.11 CLEANING

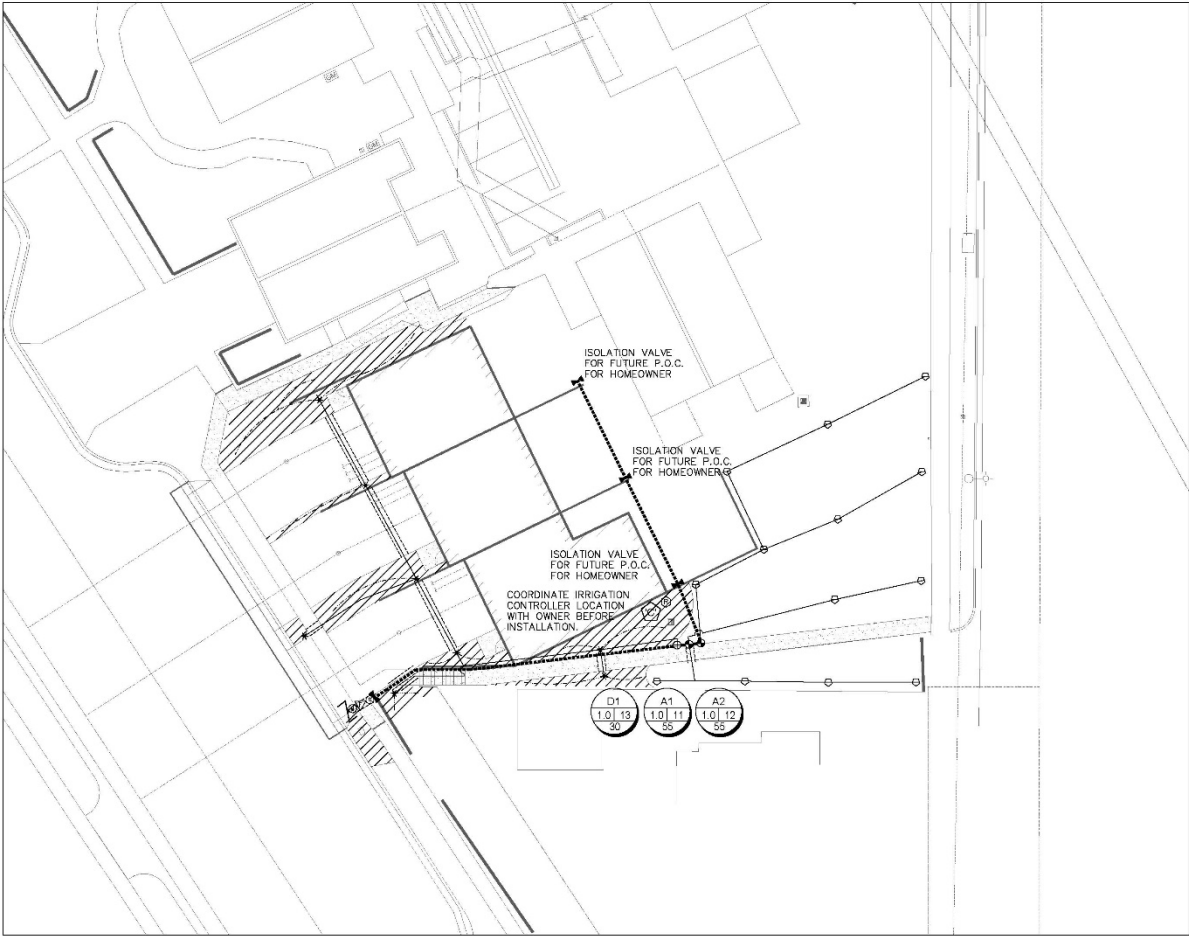
- Contractor shall be responsible for cleanliness of jobsite. Work areas shall be swept cleanly and picked up daily.
- Open trenches or hazards shall be protected with yellow caution tape.
- Contractor is responsible for removal and disposal of debris and trash generated as a result of this Project.
- OAR shall perform periodic as well as a final cleanliness inspection.
- Contractor shall leave Project in at least a "room clean" condition.

END OF SECTION



1" MAINLINE ROUTING ,CONTROLLER AND P.O.C. LOCATION OVERVIEW

| ISSUE DATE | | | PROJECT NUMBER | | | PLAN INFORMATION | | | PROJECT INFORMATION | | | DEVELOPER / PROPERTY OWNER / CLIENT | | | LANDSCAPE ARCHITECT / PLANNER | | | LICENSE STAMP | | | | | | | | | | | |
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| 09-24-2019 | | | UT19053 | | | <div><div><div>811</div><div>BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC 1-800-662-4111 www.bluestakes.org</div></div><div><div></div><div>N</div></div></div> | | | STANFORD COMMONS | | | Developer / Property Owner: | | | NORTHSTAR BUILDERS | | | <div><div><div></div><div>PKJ DESIGN GROUP</div></div><div>PKJ DESIGN GROUP L.L.C. 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com</div></div> | | | <div><div><div></div><div>PKJ DESIGN GROUP</div></div><div>PKJ DESIGN GROUP L.L.C. 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com</div></div> | | | <div><div><div></div><div>PKJ DESIGN GROUP</div></div><div>PKJ DESIGN GROUP L.L.C. 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com</div></div> | | | JTA KBA TM 9/24/2019 | | |
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IRRIGATION LEGEND

| SYMBOL | MANUFACTURER—MODEL NUMBER | PAT. | RD. | PSI | GPM | | | | | |
|--------|--|-------------|--------|-----|--------|--------|--------|-----|------|--------|
| | | | | | Q | T | H | TT | TQ | F |
| ◆ | RAINBIRD RD04-S-PRS POP UP SPRAY 5 SERIES | Q.T.H.F. | 5" | 30 | 10 | 15 | 20 | na | na | 40 |
| ● | RAINBIRD RD04-S-PRS POP UP SPRAY 8 U-SERIES | Q.T.H.F. | 8" | 30 | 28 | 35 | 52 | na | na | 1.05 |
| ○ | RAINBIRD RD04-S-PRS POP UP SPRAY 10 U-SERIES | Q.T.H.F. | 10" | 30 | 38 | 53 | 79 | na | na | 1.55 |
| ◆ | RAINBIRD RD04-S-PRS POP UP SPRAY 12 U-SERIES | Q.T.H.TQ.F. | 12" | 30 | 65 | 87 | 130 | 174 | 1.95 | 2.60 |
| ▼ | RAINBIRD RD04-S-PRS POP UP SPRAY 15 U-SERIES | Q.T.H.TT | 15" | 30 | 92 | 123 | 183 | 248 | 2.78 | 3.70 |
| ■ | RAINBIRD RD04-S-PRS POP UP SPRAY 15 EST | EST | 15" | 30 | | | | | | |
| ■ | RAINBIRD RD04-S-PRS POP UP SPRAY 15 EST | EST | 15" | 30 | | | | | | |
| ○ | RAINBIRD 3000 SERIES MPX NOZZLES | Q.T.H.F. | varies | 30 | varies | varies | varies | na | na | varies |
| ○ | RAINBIRD 3000 SERIES 85, 814, 428 NOZZLES | Q.T.H.F. | 1.67 | 30 | 8.8 | 11.2 | 24.5 | na | na | varies |
| ○ | CONTROLLER RAINBIRD ESP-LXD CONTROLLER WITH LHM REMOTE KIT, PLACE IN LHM PEDISTAL. CONTRACTOR TO ADJUST LOCATION WITH OWNER PRIOR TO CONSTRUCTION. | | | | | | | | | |
| ○ | MASTER VALVE | | | | | | | | | |
| ○ | FLOW SENSOR | | | | | | | | | |
| ○ | RAINBIRD W42-RC WIRELESS RAIN SHUT OFF DEVICE | | | | | | | | | |
| ○ | IRRIGATION POINT OF CONNECTION AND RPT BACKFLOW PREVENTION - CONNECT TO WATER SERVICE LINE AND METER. (SEE CIVIL PLANS CONTRACT OR LOCATE AND VERIFY EXACT LOCATION ON SITE) | | | | | | | | | |
| ○ | QUICK COUPLER RAINBIRD 44LRC INSTALL PER MANUFACTURER'S SPEC. 10" RND. VALVE BOX. SEE DETAIL. | | | | | | | | | |
| ○ | ISOLATION BALL VALVE - LINE SIZED INSTALL PER MANUFACTURER'S SPEC. | | | | | | | | | |
| ○ | REMOTE CONTROL VALVE RAINBIRD FESB-AP-PRS-D AUTOMATIC CONTROL VALVE (SIZE AS NOTED ON PLAN) JUMBO BOX PURPLE LID | | | | | | | | | |
| ○ | DRIP CONTROL ZONE KIT RAINBIRD KC2-1 (PER PLAN) PRBR-COM MED FLOW (SIZE AS NOTED ON PLAN) | | | | | | | | | |
| ○ | DRIP CONNECTION PROVIDE DRIP RIGATION TO ALL TREES, SHRUBS, AND PERENNIALS IN PLANTER AREAS. INSTALL FLUSH CAP. SEE DETAIL. | | | | | | | | | |
| ○ | DRIP RWS-S-R-1401 (ROOT WATERING SYSTEM) PROVIDE 2 TO EACH TREE LOCATED IN THE LAWN AREAS. | | | | | | | | | |
| ○ | SUB-MAINLINE SCHEDULE 40 PVC WITH SCHEDULE 80 FITTINGS, 1" DIAMETER 24" MIN. COVER | | | | | | | | | |
| ○ | LATERAL LINE SCHEDULE 40 PVC WITH SCH. 40 FITTINGS. SEE PIPE SIZING CHART | | | | | | | | | |
| ○ | DRIP LINE RAINBIRD XFSP-D9-18-100 OR EQUIVALENT | | | | | | | | | |
| ○ | CLASS 200 SLEEVE PER PLAN | | | | | | | | | |
| ○ | WIRE CHASE SIZE TO BE TWICE THE DIAMETER OF THE WIRE BUNDLE WITHIN 1.14" DIAMETER MINIMUM | | | | | | | | | |
| ○ | NOT SHOWN 14 GAUGE SOLID COPPER SINGLE STRAND CONTROL WIRE. INSTALL PER MANUFACTURER'S SPEC. PROVIDE 2 WIRE LOOP SYSTEM. | | | | | | | | | |

DRIP ZONE

| | TYPE | PART NUMBER | EMITTER FLOW | EMITTER SPACING | ROW SPACING | ROW SPACING |
|---|-------------------------------|-------------|-----------------------------|-------------------------------------|------------------------|-----------------|
| | XFSP DRIPLINE | XFSP-D9-18 | 9 GPM | 18" | 18" | 18.21 IN. |
| | TOTAL DRIP ZONE FLOW | | 20 GPM | TIME TO APPLY 1/4" OF WATER | | 23 |
| | MAX. LATERAL LENGTH OF TUBING | | 350 FT. | REQUIRED NUMBER OF STAKES | | 500 |
| | TOTAL LENGTH OF ZONE DRIPLINE | | 2,000 FT. (varies per plan) | | NUMBER OF FLUSH POINTS | |
| | APPLICATION RATE | | 1.84 IN. / HR. | SUGGESTED HEADER & FOOTER PIPE SIZE | | CLASS 200 1.25" |
| *NUMBERS MAY CHANGE DUE TO SIZE OF DRIP ZONE PER PLAN | | | | | | |

90 Day Establishment Period Irrigation Schedule (April, May, June)

| Type | Sun | Mon | Tue | Wed | Thurs | Fri | Sat | Covering Pressure |
|--------|--------|--------|--------|--------|--------|--------|--------|-------------------|
| Turf | 15 min | 15 min | 15 min | 15 min | 15 min | 15 min | 15 min | 30 PSI |
| Shrubs | 25 min | 0 | 25 min | 0 | 25 min | 0 | 25 min | 40 PSI |

Note: Begin irrigation 4:00 am, only 1 cycle per day.

Regular Irrigation Schedule (see Seasonal Differential Chart)

| Type | Sun | Mon | Tue | Wed | Thurs | Fri | Sat | Covering Pressure |
|--------|--------|--------|--------|--------|--------|--------|--------|-------------------|
| Turf | 15 min | 15 min | 15 min | 15 min | 15 min | 15 min | 15 min | 30 PSI |
| Shrubs | 45 min | 0 | 45 min | 0 | 45 min | 0 | 45 min | 40 PSI |

Note: Begin irrigation 4:00 am, only 1 cycle per day.

Seasonal Differential

| | April | May | June | July | August | Sept | October |
|--------|--------|--------|--------|--------|--------|--------|---------|
| Turf | 15 min | 10 min | 15 min | 15 min | 15 min | 10 min | 10 min |
| Shrubs | 30 min | 30 min | 45 min | 45 min | 45 min | 30 min | 30 min |

IRRIGATION NOTES

- ALL PIPE TO BE SCHEDULE 40 PVC PIPE OR BETTER. NO POLY PIPE SHALL BE INCLUDED. FITTINGS MUST BE SCHEDULE 40 OR BETTER ON LATERAL LINES AND SCHEDULE 80 OR BETTER ON MAIN LINE. SIZE PER PLAN.
- MAIN LINES SHALL BE 24" DEEP MIN. AND LATERAL LINES 12" DEEP MIN. NO ROCK GREATER THAN 1/2" DIAMETER SHALL BE ALLOWED IN TRENCHES. TRENCHING BACKFILL MATERIAL SHALL BE COMPACTED TO PROPER FINISHED GRADE.
- CONTRACTOR SHALL HAVE ALL UTILITIES BLUE STAKED PRIOR TO DIGGING. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PLACE ALL IRRIGATION IN LANDSCAPE AREAS AND ON THE PROPERTY OF THE OWNER.
- MODIFY LOCATION OF IRRIGATION COMPONENTS TO AVOID PLACING TREES, SHRUBS AND OTHER SITE ELEMENTS DIRECTLY OVER PIPE. PER PLANS. DO NOT LOCATE VALVE BOXES IN LAWN AREAS UNLESS DIRECTED TO BY LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL INSTALL A QUICK COUPLER AT POINT OF CONNECTION IN ORDER TO BLOW OUT THE SYSTEM WITH AN AIR COMPRESSOR EACH FALL.
- CONTRACTOR SHALL USE ONLY COMMERCIAL GRADE IRRIGATION PRODUCTS AND IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION PURPOSES.
- INSTALL DRIP IRRIGATION PER DETAILS. CONTRACTOR SHALL MAKE ADJUSTMENTS AS NECESSARY.
- CONTRACTOR SHALL PROVIDE AND INSTALL SLEEVES FOR ALL PIPES AND WIRES UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE. INSIDE ALL WIRE SHALL BE IN SEPARATE SLEEVES (NOT SHOWN). ALL CONTROL WIRE SHALL BE INSTALLED IN CLASS 200 PIPE. PLACE JUNCTION BOXES WHERE NECESSARY TO MINIMIZE LONG RUNS OR AT DIRECTIONAL CHANGES. COORDINATE WITH ALL TRADES.
- WATER LINES AND ELECTRICAL LINES MUST NOT SHARE CONDUITS. ALL WIRE CONNECTIONS MUST BE CONTAINED IN VALVE BOX WITH 3' OF EXTRA WIRE. WIRE TO BE CONNECTED TO MAIN LINE PIPE WHERE POSSIBLE WITH TAPE AT 25' INTERVALS. SLACK IN CONTROL WIRES REQUIRED AT EVERY CHANGE OF DIRECTION. WIRES MUST HAVE SEPARATE COLORS FOR COMMON, CONTROL, AND SPARE. MINIMUM 1' SPARE WIRE FOR EVERY 5' VALVE. ALL CONTROL WIRES TO BE INSULATED 14 GAUGE COPPER. ALL SPARE WIRES MUST "HIDE RUN" TO CONTROLLER AND SPARE WIRES AVAILABLE AT ALL VALVE MANFOLDS AND CLUSTERS.
- ALL SLEEVES INSTALLED SHALL BE DUCT TAPE TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
- IRRIGATION SYSTEM MUST CONTAIN CHECK VALVES TO PREVENT LOW POINT DRAINAGE.
- SPACE ALL SPRAY HEADS 2' AWAY FROM ANY HARBORAGE.
- CONTRACTOR SHALL WATCH PRECIPITATION RATES AS MUCH AS POSSIBLE FOR ALL LANDSCAPED AREAS. OVERHEAD IRRIGATION MUST HAVE A MINIMUM DU (DISTRIBUTION UNIFORMITY) OF 60%.
- IRRIGATION CONTRACTOR SHALL PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING.
- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND/OR COUNTY CODES. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS.
- IRRIGATION INSTALLATION TO COMPLY WITH APPLICABLE CITY SPECIFICATIONS AND DRAWINGS.
- ACTUAL INSTALLATION OF IRRIGATION SYSTEM MAY VARY SOMEWHAT FROM PLANS. THE CONTRACTOR IS RESPONSIBLE TO MAKE ADJUSTMENTS AS NEEDED TO ENSURE PROPER COVERAGE OF ALL LANDSCAPED AREAS.
- CONTRACTOR SHALL INSTALL IRRIGATION SYSTEM WITH HEAD TO HEAD COVERAGE IN ALL TURF AREAS. USE HE-VAN NOZZLES AS NECESSARY TO PROVIDE PROPER COVERAGE AND TO KEEP WATER OFF OF BUILDINGS AND HARDSCAPES.
- POWER TO CONTROLLER TO BE PROVIDED BY OWNER. OWNER TO SPECIFY EXACT LOCATION OF CONTROLLER. INSTALL PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR SHALL INSTALL A RAIN SENSOR WITH CONTROLLER UNLESS OTHERWISE DIRECTED BY OWNER OR LANDSCAPE ARCHITECT.
- DESIGN AND INSTALL THE BACKFLOW PREVENTOR IN THE PROPER PLACE TO ENSURE THAT NO WATER IS CONTAMINATING THE SYSTEM.
- LATERAL LINES SHALL BE NO SMALLER THAN 3/4". LANDSCAPE CONTRACTOR TO ENSURE THE FOLLOWING PIPE SIZES DO NOT EXCEED THE SUGGESTED GPM LISTED BELOW:

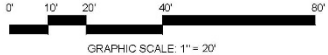
| | |
|--------|---------|
| 3/4" | 8 GPM |
| 1" | 12 GPM |
| 1-1/2" | 30 GPM |
| 2" | 63 GPM |
| 2-1/2" | 75 GPM |
| 3" | 110 GPM |
| 4" | 180 GPM |

VALVE ID TAG

A1-18-55

1- VALVE ID TAGS ARE LOCATED NEAR VALVES IN THE ORDER THE VALVES APPEAR ON THE DRAWINGS

| ISSUE DATE | | PROJECT NUMBER | | PLAN INFORMATION | | PROJECT INFORMATION | | DEVELOPER / PROPERTY OWNER / CLIENT | | LANDSCAPE ARCHITECT / PLANNER | | LICENSE STAMP | |
|------------|--|----------------|--|---|--|---|--|-------------------------------------|--|--|--|---|--|
| 09-24-2019 | | UT19053 | |  BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org | |  | | NORTHSTAR BUILDERS | |  PKJ DESIGN GROUP L.L.C. 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com | |  JTA KBA TM 8/9/2019 | |
| NO. 1 | | REVISION XXXX | | DATE XX-XX-XX | | | | | | | | | |
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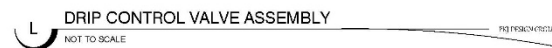
STANFORD COMMONS
FOOTHILL DRIVE AND 2100 EAST
SALT LAKE CITY, UT



| ISSUE DATE | | | PROJECT NUMBER | | | PLAN INFORMATION | | | PROJECT INFORMATION | | | DEVELOPER / PROPERTY OWNER / CLIENT | | | LANDSCAPE ARCHITECT / PLANNER | | | LICENSE STAMP | | | | | |
|------------|----------|----------|----------------|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|
| 09-24-2019 | | | UT19053 | | | <div><div>811</div><div>BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC 1-800-662-4111 www.bluestakes.org</div></div> | | | STANFORD COMMONS FOOTHILL DRIVE AND 2100 EAST SALT LAKE CITY, UT | | | <div>Developer / Property Owner:</div> <div>NORTHSTAR BUILDERS</div> | | | <div>Client / Engineer:</div> <div>AVENUE CONSULTANTS 6605 REDWOOD ROAD, ST #200 TAYLORSVILLE, UT 84713 801-207-7660</div> | | | <div><div><div>PKJ</div><div>PKJ DESIGN GROUP</div><div>PKJ DESIGN GROUP L.L.C.</div><div>3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com</div></div></div> | | | <div><div><div><div>UTAH LANDSCAPE ARCHITECTS</div><div>STATE OF UTAH</div><div>DATE OF EXPIRATION: 9/30/2021</div><div>PKJ DESIGN GROUP L.L.C.</div></div></div><div>DATE: 9/24/2019 CHECKED: TM DRAWN: KBA DATE: 9/24/2019</div></div> | | |
| NO. | REVISION | DATE | | | | | | | | | | | | | | | | | | | | | |
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IR-2.5

PRELIMINARY PLANS NOT FOR CONSTRUCTION

September 18, 2020

PLNSUB2020-00230 and PLNSUB2020-00231



September 18, 2020

ATTACHMENT D: ADDITIONAL APPLICANT INFORMATION

May 13, 2020

Salt Lake City Planning
451 S State Street
Salt Lake City, UT, 84101

Re: Project Description for Stanford Commons

Dear Planning,

The Townes Condominium Association, Inc. (the “Townes”) is the owner of the property located at 2092 E Michigan Avenue, Salt Lake City, UT, as depicted on the record of survey map of The Townes recorded on May 23, 1973, as entry number 2541615 in the Salt Lake County Recorder’s Office (the “Townes Property”). We are submitting a planned development application, along with a plat amendment for The Townes, a condominium project, and a preliminary plat and site plan application for Stanford Commons.

The Townes Property includes a swimming pool as part of its common area on the southern end of the property. The Townes voted to discontinue use and maintenance of the pool years ago. The pool has fallen into disrepair. Since that time, the Townes voted to subdivide their common area and sell the pool area to a developer. Stanford Commons, LLC has entered a contract with the Townes to purchase the pool area. The application for a plat amendment is to amend the Townes Property to remove the pool from the common area of the Townes. The plat amendment does not show the individual units because we are only trying to amend the exterior boundary of common area. The units in the Townes will not change.

Once the pool area has been subdivided from the rest of the Townes Property, we intend to build three single-family attached dwellings on that property. The planned development application is for the new development, which we are calling Stanford Commons. We intend to build high end single-family attached dwellings. We request an exception to the following zoning requirements as part of the planned development application:

- 1) Required minimum lot size of 3,000 square feet; and
- 2) Exterior stairs are greater than four feet above grade in the front yard setback and a portion of the second and third floor area extends into the front yard setback.

1) Minimum Lot Size

The property is zoned RMF-30, which requires 3,000 square feet per lot. We request the ability to subdivide the parcel into three buildable lots that are smaller than 3,000 square feet. The entire Stanford Commons property, once subdivided, will be subdivided into four different lots—three lots for single-family attached dwellings and one lot of common area. The entire project will consist of 11,696 square feet, broken down as follows: (a) Lot 1 (buildable lot) – 2,393 square feet; (b) Lot 2 (buildable lot) – 2,046 square feet; (c) Lot 3 (buildable lot) – 2,539 square feet; and (d) Lot 4 (Common Area) – 4,717 square feet. This development exceeds the overall minimum planned development size (9,000 square feet) as established in 21A.55.060 of the Salt Lake City Code, but distributes a portion of that land as common area rather than directly to individual lots. This request meets the planned development requirements as described below.

2) Front Yard Setback

We request the ability to build a portion of the front staircase and a cantilevered portion of the second and third floors of the main structure in the front yard setback. City code required a twenty-foot front yard setback. It restricts constructing a staircase in the setback that rises more than four feet above grade and it restricts the construction of a portion of the main dwelling in the setback. While staircase and main structures extend into the twenty-foot front yard setback, there is actually a large portion of city owned land between the property line and the edge of the road. From the edge of the road to the property line is 25.5 feet, consisting mostly of landscaping. While the corner of each residence extends two feet into the front yard setback, that extended portion is still about 43.5 feet from the edge of the road. Additionally, given the odd angle of the setback line, a portion of each dwelling is not built all the way to the setback line. The amount of the building area pulled back from the setback line is actually greater than the amount of the area pushed out beyond the setback line. Pushing and pulling the front facade along the setback provides architectural interest.

The requirements of the planned development ordinance are met as follows:

A. Planned Development Objectives. This project meets the planned development objectives by (a) clustering development to preserve open space; (b) including higher density housing types (single-family attached) that are not commonly found in the Harvard-Yale neighborhood but appropriately match the density and scale of the Townes next door; and (c) implement the master plan, as further discussed below. Additionally, this plan meets the objectives of the planned development process by eliminating the blighted swimming pool area which has been occupied, on occasion, as a living space for the transient population and using design and architectural features to add to the beauty of the neighborhood. The swimming pool itself has been unused for years and has pieces of plywood boarding it up. This project will take this unused area which has become an eyesore and will redevelop it into high end, single-family attached dwellings.

B. Master Plan Compatibility. This project also meets the stated purpose of the East Bench Master Plan. Guiding Principle N-03 states that some of the purposes of the area are to “[p]romote . . . redevelopment of underutilized land,” to “[i]ncrease the number of medium density housing types and options,” and to “[a]ccommodate and promote an increase in City’s population.” The Townes Property is currently zoned RMF-30. This is one of the few opportunities to increase the number of medium density housing options in this area and provide additional housing for population growth while still fitting the overall feel of the neighborhood. The exterior of the buildings will primarily be brick, similar to many of the single-family dwellings in the area, and will be of a similar density to the existing dwellings in the Townes.

C. Design and Compatibility. By clustering the construction of the homes, the individual lots are smaller than required by the zoning ordinance, but it leaves a larger open space thereby meeting one of the planned development objectives. This is compatible with the neighboring Townes development to the north.

Also, as described above, allowing a portion of the buildings, the decks/patios, and the front entry stairway to be constructed in the front setback will still provide sufficient open space between the road and the front of the buildings given the unique layout of the lots and the large existing landscaped area. As mentioned, the corner of each residence extends two feet into the front yard setback, but that extended portion is still about 43.5 feet from the edge of the road. The orientation of the buildings and the setback from the road will closely mirror the existing attached dwellings in the Townes. Additionally, allowing

this construction in the setback will provide for additional variations in the front of the homes and create greater architectural interest.

We originally planned to make the entrances on the side of the homes rather than having the stairs in the front setback, but we changed the plans and made the stairway in the front of the homes to meet the desires of some of the neighboring property owners, including the Townes.

D. Landscaping. Our plans leave as many of the mature native trees in place as possible and include planting additional trees to replace those trees that are being removed.

E. Mobility. The development incorporates a walkable path that connects the streets on the west and the east side of the property. Additionally, the development will not negatively impact the safety, purpose or character of the street. The main access will be provided along Foothill Drive (to the west of the property) that ends in a cul-de-sac shortly after the development. The development will only consist of three, single-family attached homes that should not contribute any significant amount of additional traffic on the dead-end street.

F. Existing Site Features. To the extent possible, the project attempts to leave as much of the existing trees and topography in place, and attempts to replace any removed trees and vegetation. The existing access road (Foothill Drive) is lower in elevation than the top of the existing pool. We plan to cut into the hill and create drive-in garages that are at street grade with the hill rising around the garages, creating below grade garages with the main living level at about the grade of the existing pool.

G. Utilities. The addition of three, single-family attached dwellings will not create a significant burden on the existing utility lines in the area.

The Townes has voted on this project and has fully approved the subdivision and sale of the property. They have also had the opportunity to review our plans and we have made adjustments to meet their concerns.

We're excited to move forward with this project and to add to the beauty of the neighborhood. Please reach out to me if you have any questions.

Best,

Stanford Bell



ATTACHMENT E: SITE VISIT PHOTOGRAPHS



Top Left:
Southwest view of
street frontage
along Foothill
Drive



Top Right:
East view of the
discontinued pool
area



Bottom Left:
View of the
neighboring
property to the
northeast



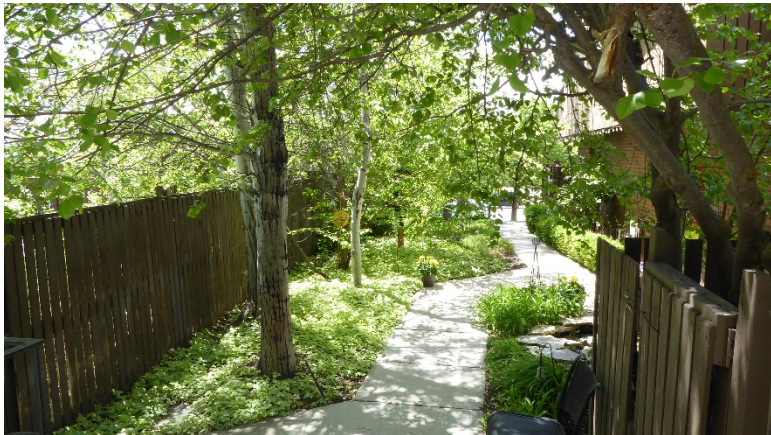
Bottom Right:
North view of the
discontinued pool
area



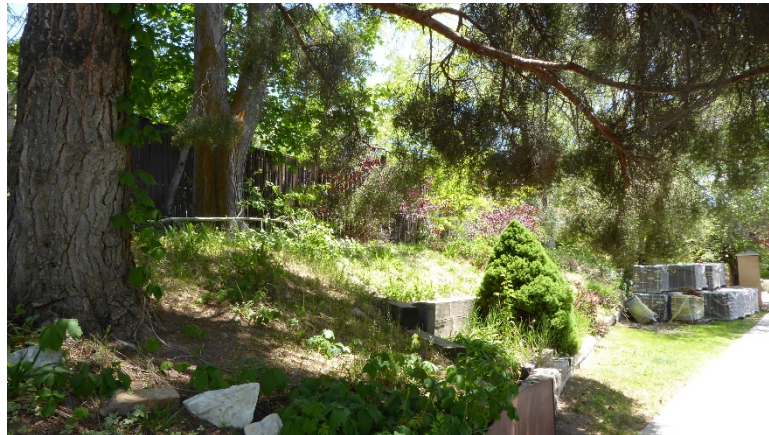
Top Left:
Proposed common area and adjacent neighboring property to the north (left)



Top Right:
Southwest corner from interior lot with adjacent property to the south (left)



Bottom Left:
Walkway between The Townes Condominium (right) and proposed development (left)



Bottom Right:
North view of the street frontage along Foothill Drive

ATTACHMENT F: MASTER PLAN POLICIES AND ZONING ORDINANCE STANDARDS

Master Plan

The subject property is located within the East Bench (adopted February 21, 2017) and is designated on the future land use map as “*Neighborhoods*”. Below is an excerpt from the master plan about Neighborhoods and specifically the Foothill/Sunnyside neighborhood:

Neighborhoods

The East Bench Neighborhoods are comprised of predominantly single-family homes and pockets of multifamily, commercial, recreation, and institutional uses that complement the low-density residential neighborhood character. Future development fits into the unique architectural styles and development patterns that define individual neighborhoods; provides a diverse mix of housing choices for all stages of life and income ranges; and creates friendly, safe and welcoming neighborhoods that encourage interaction through all stages of life.

Foothill/Sunnyside Neighborhood

The Foothill/Sunnyside neighborhood is predominantly single-family residential with some multi-family housing along the Foothill corridor. The earliest developed areas of the neighborhood follow a grid street pattern but more recently developed portions of the neighborhood follow a curving street pattern. Street trees line most of the park strips within the neighborhood and homes generally have similar setbacks. Activity centers include the Anderson-Foothill Library, Bonneville Elementary, and the northern portion of the 13th and 21st commercial node.

Policies

- ***Neighborhood Compatibility:*** Development and infrastructure improvements complement the unique architectural styles and development patterns that define individual neighborhoods.
 - *Preserve and Enhance Neighborhood Identity (N-1.1)*
- ***Housing Choices:*** Provide a diverse mix of housing choices for all stages of life and income ranges.
 - *No Net Loss in Housing (N-3.1)*
 - *Housing Affordability, Access, and Choices (N-3.2)*

Challenges within the East Bench Community

- *Maintaining Neighborhood Character*
- *Meeting the Needs of Future Generations*

Staff Discussion: The proposed development provides in-fill housing on underutilized land. The property is located in an area zoned and intended for multi-family development in the City but is limited to single- or two-family due to the lot frontage requirements. The limited modifications promote the redevelopment of this underutilized land to help meet City growth and housing goals. The project also provides an increase in moderate density housing type (townhomes) that is not common with the City. Recent planning best practices have discussed the lack of a “missing middle” housing types in urban areas. The “missing middle” housing type is generally viewed as multifamily or clustered housing which is compatible in

scale with single-family homes that help meet the growing demand for walkable, lower scale urban living. This proposed development helps to meet the goals of the master plan as well as providing needed housing.

Growing SLC: A Five-Year Housing Plan

The City recently adopted a citywide housing master plan title Growing SLC: A Five-Year Housing Plan 2017-2021 focuses on ways the City can meet its housing needs in the next five years. The plan includes policies that relate to this development, including:

- 1.1.1 *Develop flexible zoning tools and regulations, with a focus along significant transportation routes.*
- 1.1.2 *Develop in-fill ordinances that promote a diverse housing stock, increase housing options, create redevelopment opportunities, and allow additional units within existing structures, while minimizing neighborhood impacts.*

The planned development process is a zoning tool that provides flexibility in the zoning standards and a way to allow development that would normally pose difficulty. The planned development process allows for an increase in creative housing stock, housing stock that would otherwise not be aesthetically creative or not be allowed through the strict application of the zoning ordinance. This process allows for additional housing options and provides a way to minimize neighborhood impacts through the review and assurance of the compatibility standards. The proposed development is utilizing this process to provide new single-family attached dwelling units on a unique site configuration.

Purpose Statement for RMF-30 (Low Density Multi-Family Residential District)

The purpose of the RMF-30 low density multi-family residential district is to provide an environment suitable for a variety of housing types of a low density nature, including single-family, two-family, and multi-family dwellings, with a maximum height of thirty feet (30'). This district is appropriate in areas where the applicable master plan policies recommend multi-family housing with a density of less than fifteen (15) dwellings units per acre. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

Staff Discussion: The proposed project is allowed in the zone and would meet the intent of the zone with the approval of requested modifications, as it still maintains conformance with the density and scale/intensity of the neighborhood.

21A.24.120: RMF-30 Low Density Multi-Family Residential District:

| Standard | Required | Proposed | Findings | |
|--|-------------------|---------------------------------------|----------|--|
| Minimum Lot Area <i>Single-Family attached dwelling (3 or more):</i> | 3,000 square feet | Approximate Lot Area (square feet) | | Modifications requested through the Planned Development process. |
| | | Lot 1 | 2,393 SF | |
| | | Lot 2 | 2,046 SF | |
| | | Lot 3 | 2,539 SF | |
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|---|---|---|--|--|-----------|----------|---------|-------|---------|----------|------|---------|-------|----------|
| Natural open space and conservation areas, public or private: | No Minimum | Approximate Lot Area (square feet) <table><tr><td>Lot 4</td><td>4,717 SF</td></tr></table> | | Lot 4 | 4,717 SF | Complies | | | | | | | | |
| Lot 4 | 4,717 SF | | | | | | | | | | | | | |
| Minimum Lot Width Single-Family attached dwelling (3 or more): | Interior: 25 feet Corner: 35 feet | Approximate Lot Width (feet) <table><tr><td>Lot 1</td><td>31 feet</td></tr><tr><td>Lot 2</td><td>27 feet</td></tr><tr><td>Lot 3</td><td>27 feet</td></tr></table> | | Lot 1 | 31 feet | Lot 2 | 27 feet | Lot 3 | 27 feet | Complies | | | | |
| Lot 1 | 31 feet | | | | | | | | | | | | | |
| Lot 2 | 27 feet | | | | | | | | | | | | | |
| Lot 3 | 27 feet | | | | | | | | | | | | | |
| Natural open space and conservation areas, public or private: | No Minimum | Approximate Lot Width (feet) <table><tr><td>Lot 4</td><td>6.45 feet</td></tr></table> | | Lot 4 | 6.45 feet | Complies | | | | | | | | |
| Lot 4 | 6.45 feet | | | | | | | | | | | | | |
| Maximum Building Height The vertical distance measured from the average elevation of the finished lot grade at each face of the building, to the average height of the gable on a shed roof. | 30 feet | North Elevation: 26’-10” West Elevation: 29’ – 10 1/8” South Elevation: 24’ – 8 1/2” East Elevation: 23’ – 2 7/8” | | Complies | | | | | | | | | | |
| Minimum Front Yard | 20 feet | <ul style="list-style-type: none">Approximately 18 feet from building façadeApproximately 5 feet from entry stairs | | Modifications requested through the Planned Development process. | | | | | | | | | | |
| Minimum Interior Side Yard | No yard is required, however if one is provided it shall not be less than four feet (4’). | Lot 1: Four feet (4’) Lot 2: No interior side yards Lot 3: Zero feet (0’) | | Complies | | | | | | | | | | |
| Minimum Rear Yard | Twenty-five percent (25%) of the lot depth, but not less than twenty feet (20’) and need not exceed twenty-five feet (25’). | Lot 1: 20 feet Lot 2: 20 feet Lot 3: 26.68 feet | | Complies | | | | | | | | | | |
| Maximum Building Coverage | The surface coverage of all principal and accessory buildings shall not exceed fifty percent (50%) of the lot. | Approximate Building Envelope Coverage <table><tr><td>Lot 1</td><td>39.2%</td></tr><tr><td>Lot 2</td><td>43.6%</td></tr><tr><td>Lot 3</td><td>48.2%</td></tr><tr><td>Lot 4</td><td>0.0%</td></tr><tr><td>Overall</td><td>26.1%</td></tr></table> | | Lot 1 | 39.2% | Lot 2 | 43.6% | Lot 3 | 48.2% | Lot 4 | 0.0% | Overall | 26.1% | Complies |
| Lot 1 | 39.2% | | | | | | | | | | | | | |
| Lot 2 | 43.6% | | | | | | | | | | | | | |
| Lot 3 | 48.2% | | | | | | | | | | | | | |
| Lot 4 | 0.0% | | | | | | | | | | | | | |
| Overall | 26.1% | | | | | | | | | | | | | |

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| Required Landscape Yards | The front and corner side yards shall be maintained as landscaped yards. | The front yards of the double frontage lot will be maintained as a landscape yard. Sidewalks and driveways are allowed through landscaped yards. However, due to the way the development is configured, the townhomes have minimal landscaped front yards along Foothill Drive. | Complies |
| Landscape Buffer | For multi-family uses where a lot abuts a lot in a single-family or two-family residential district, a landscape buffer shall be provided in accordance with chapter 21A.48 of Zoning Ordinance. | The proposed development is not a multi-family use; therefore, the landscape buffer is not required. | Complies |

21A.36.020B: Obstructions in Required Yards

| Standard | Required | Proposed | Findings |
|---|--|---|--|
| Changes of Established Grade Greater than 4 feet | For properties outside of the H Historic Preservation Overlay District, changes of established grade greater than 4 feet [in any required yards] are special exceptions subject to the standards and factors in chapter 21A.52 of this title [Title 21A Zoning Ordinance]. | The grade change and retaining walls over four feet (4') in height along the north property would encroach approximately 4.39 feet into the required front yard and along the driveway for lot 3, it would encroach approximately 8.32 feet into the required front yard. | Modifications requested through the Planned Development process. |

ATTACHMENT G: ANALYSIS OF STANDARDS – PLANNED DEVELOPMENT

21A.55.050: Standards for Planned Developments

The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

| Standards | Finding | Rationale |
|--|----------|--|
| <p>A. Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section:</p> <ul style="list-style-type: none"> A. Open Space And Natural Lands B. Historic Preservation C. Housing D. Mobility E. Sustainability F. Master Plan Implementation | Complies | <p>The proposed planned development would result in three (3) new townhomes. Townhomes are a low to medium density type of development that is called for on this property by the associated zoning district's purpose statement and the number of units is allowed by the zone's density limitations. However, without this process and associated zoning modifications, the property would be limited to a single-family detached or duplex, due to the minimum lot size and yard requirements. The resulting development is a more efficient and enhanced use of land and resources, providing additional home ownership opportunities in the City than would otherwise not be possible through strict application of the standards, while remaining relatively compatible with adjacent property and maintaining compliance with the zoning district purposes.</p> <p>The applicant has stated that the project meets objective C. (The applicant's narrative regarding these objectives is located in Attachment D). Staff also finds that the project generally meets this objective. Only one objective must be met to go through the planned development process.</p> <p>While duplexes, triplexes and other multi-family buildings are found in this neighborhood, not many take the form of townhomes that tend to be a desirable housing type in Salt Lake City and provide opportunity for home ownership. The East Bench Master Plan also specifically encourages "a diverse mix of housing choices for all stages of life and income ranges.," which this development generally offers. See discussion and analysis in Attachment F.</p> |

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| B. The proposed planned development is generally consistent with adopted policies set forth in the citywide, community, and/or small area master plan that is applicable to the site where the planned development will be located. | | Complies | Staff finds that the proposal is generally consistent with a number of different adopted overall City policies related to housing and more specific community master plan policies related to housing and compatibility. The proposal is also consistent with the future land use map applicable to the property, which designates this property for future development of residential uses. See discussion and analysis in Attachment F . |
| C. Design and Compatibility: The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the planning commission should consider: | | Complies | The proposed project generally complies with all design and compatibility considerations. |
| C1 | Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design; | Complies | The proposed development is located within a zoning district that anticipates the size, scale and intensity of the proposed development and meets the zoning standards related to density. The proposed planned development would be compatible with the existing zoning district and the neighboring condominium development to the north. See discussion and analysis in Attachment F . |
| C2 | Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design; | Complies | <ul style="list-style-type: none"> • Building Orientation The construction of the new single-family homes would be oriented toward Foothill Drive. The orientation of the buildings and the setback from the street will closely mirror the existing condominiums to the north. The applicant originally planned to make the entrances on the side of the home rather than having the stairs in the front setback, but changed their plans and made the stairway in the front of the homes to meet the desires of some of the neighboring property owners. The rear yards of the proposed lots would be located on the periphery of the project site. This orientation is typical for a single-family residential development pattern and would be compatible with the surrounding area. • Building Materials Many existing single-family homes near the project site are constructed of masonry in the form of brick and stone, |

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| | | | <p>stucco, and various types of siding. The proposed building façade would consist of brick and other durable building materials for accent purposes.</p> <p>The design of the new home is more modern than homes typically found in that immediate block; however, the single-family attached homes are similar in scale to the adjacent condominiums to the north.</p> |
| C3 | <p>Whether building setbacks along the perimeter of the development:</p> <ul style="list-style-type: none"> a. Maintain the visual character of the neighborhood or the character described in the applicable Master Plan. b. Provide sufficient space for private amenities. c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise. d. Provide adequate sight lines to streets, driveways and sidewalks. e. Provide sufficient space for maintenance. | Complies | <ul style="list-style-type: none"> a. The proposed development does not disrupt the existing visual character of the neighborhood. The proposed setbacks of the development provide adequate spacing between existing structures and the proposal. b. Lot 4 dedicated as common area provides sufficient space for the private amenities for future residents. c. The proposed development includes approximately 4 to 6-foot setback on the sides of the development, creating some separation for privacy and windows. The rear yards of each lot will be enclosed with fences to minimize impacts related to privacy and noise. d. The private driveway for each lot provides sufficient sight lines to Foothill Drive. Additionally, the sidewalk is approximately 16 feet from the front property line which provides adequate sight lines to the street and sidewalks. e. The provided setbacks and spacing will be adequate for any future maintenance. <p>Given constraints of the property, the design layout is compatible with adjacent and surrounding properties. The proposal would meet all the requirements listed in this section [C3].</p> |
| C4 | Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction; | Complies | <p>The primary elevations have been designed to provide for architectural detailing to facilitate pedestrian interest and interaction through the building articulations. While the first floor of the street facing facades, contain the garage door and exterior stairs, the entry is recessed, and a large overhanging second story balcony extends beyond the building façade. The integration of a variation of glass, materials and</p> |

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| | | | architectural features help in creating pedestrian interest at the street level. |
| C5 | Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property; | Compliance required for building permit issuance | Lighting has not been indicated on the subject plans. Any proposed lighting would need to be directed to the interior of the development to minimize any impacts on abutting and adjacent properties. |
| C6 | Whether dumpsters, loading docks and/or service areas are appropriately screened; and | Complies | The proposed development does not have any dumpsters, loading docks or service area. Individual trash receptacles would be stored within the garages. |
| C7 | Whether parking areas are appropriately buffered from adjacent uses. | Complies | Parking would be located in private garages and shielded from adjacent uses. In addition, the proposed garages are below grade. |
| D. Landscaping: The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the Planning Commission should consider: | | Generally Complies | The proposed project generally complies with all landscape considerations. |
| D1 | Whether mature native trees located along the periphery of the property and along the street are preserved and maintained; | Partially Complies | <p>Many of the mature trees would be preserved and maintained and additional trees would be planted to replace those that are being removed. There is an existing mature street tree within the adjacent park strip that will be removed, and the proposal will replace it with two (2) new trees within the park strip. Urban Forestry department indicates in their review (Attachment J) that the tree may be removed and replaced through their replacement process.</p> <p>There are several trees along the north periphery of the property that will be removed and may not otherwise survive if retained due to their proximity to the new building.</p> |
| D2 | Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved; | Complies | There are several trees on the property, but they provide minimal buffering to adjacent properties and minimal buffering at the ground level. The development will be of similar height to the adjacent property on the north, where there are several trees to be removed but it will be replaced with appropriate landscaping. |

| D3 | Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development; and | Complies | The proposed project would provide numerous trees, shrubs, and bushes that are strategically placed to create privacy between the subject property and adjacent properties. | | | | |
|--|--|----------|--|-----------------|------------------|----------|----------|
| D4 | Whether proposed landscaping is appropriate for the scale of the development. | Complies | Landscaping would be provided between the driveways, which will help signify the driveway separation and lessen the visual impact from the street view. The development includes three (3) new trees, with two trees in the park strip and one tree within the side open space area. For the lower scale development, the proposed landscaping is appropriate. | | | | |
| E. Mobility: The proposed planned development supports Citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the Planning Commission should consider: | | Complies | The proposed project generally complies with all mobility considerations. | | | | |
| E1 | Whether drive access to local streets will negatively impact the safety, purpose and character of the street; | Complies | 2100 East is an arterial state street and Foothill Drive is a local street. The design of the development, with two frontages, would remove the park strip along the street frontage but it would be similar to the adjacent multi-family development to the north, with access from Foothill Drive and continuing to provide a sidewalk for pedestrian access. Therefore, the development consisting of three (3) single-family attached homes would not negatively impact the safety, purpose and character of the street. | | | | |
| E2 | Whether the site design considers safe circulation for a range of transportation options including: a. Safe and accommodating pedestrian environment and pedestrian oriented design; b. Bicycle facilities and connections where appropriate, and orientation to transit where available; and c. Minimizing conflicts between different transportation modes; | | <ul style="list-style-type: none">• The proposed private walkway through the common area provides a safe pedestrian between the two street frontages and vehicle access onto Foothill Drive and complies with the sight distance requirements.• The proposed development is located within proximity to the following public transit:<table><tr><th>Nearest Transit</th><th>Approx. Distance</th></tr><tr><td>Bus Stop</td><td>350 feet</td></tr></table>• There are not any anticipated conflicts between transportation modes with the proposed development. | Nearest Transit | Approx. Distance | Bus Stop | 350 feet |
| Nearest Transit | Approx. Distance | | | | | | |
| Bus Stop | 350 feet | | | | | | |

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|---|---|----------|---|
| E3 | Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities; | Complies | The project has a shared open space common area with a pedestrian walkway. This promotes access to adjacent uses and surrounding neighborhood. |
| E4 | Whether the proposed design provides adequate emergency vehicle access; and | Complies | Fire department review did not identify any issues with the proposed development. |
| E5 | Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way. | Complies | There are not any proposed loading access or service areas. |
| F. Existing Site Features: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment. | | Complies | There are not any significant natural or built features that contribute to the character of the neighborhood or environment. |
| G. Utilities: Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area. | | Complies | The Public Utilities department had no comments on the proposed development. Public Utilities may require upgrades to the public utilities in order to adequately service the property without degrading services to adjacent properties. Any such upgrades would be required to be installed as part of the building permit and final subdivision process. |

ATTACHMENT H: ANALYSIS OF STANDARDS – SUBDIVISION ORDINANCE

20.16.100: Standards of Approval for Preliminary Plats

All preliminary plats for subdivisions and subdivision amendments shall meet the following standards:

| Standards | Finding | Rationale |
|--|--|---|
| A. The subdivision complies with the general design standards and requirements for subdivisions as established in chapter 20.12 of this title; | Complies | The proposed preliminary plat generally complies with the general design standards and requirements for a subdivision. |
| B. All buildable lots comply with all applicable zoning standards; | Planning Commission approval required for the Planned Development request. | The proposal does not comply with the standard found in section 21A.24.120 RMF-30 Low Density Multi-Family Residential District (i.e., minimum lot size and minimum yard requirements) and grade changes greater than four feet (4') within a required yard; therefore, a Planned Development approval is requested. All other applicable zoning standards are met as noted in Attachment F . |
| C. All necessary and required dedications are made; | Complies | Any necessary or required dedications shall be made prior to recordation of the final plat. |
| D. Water supply and sewage disposal shall be satisfactory to the public utilities department director; | Complies | The Public Utilities department had no comments on the proposed development. |
| E. Provisions for the construction of any required public improvements, per section 20.40.010 of this title, are included; | Complies | No public improvements are required for this development. Any alterations to elements in the public way, including curb, gutter, or sidewalk as part of the construction of this development will be reviewed by Engineering. Any alterations to the roadway and driveway access point on 2100 East will be subject to UDOT approval. |
| F. The subdivision otherwise complies with all applicable laws and regulations; | Complies | The project will need to apply for Final Subdivision approval; therefore, prior to final plat approval, staff will ensure the proposed subdivision complies with all other applicable laws and regulations. The plat will need to comply with the conditions for the subdivision plat noted in Attachment J . This includes providing the necessary "declaration" |

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| | | documentation that establishes a Home Owners Association or other entity that will share financial responsibility for the shared private infrastructure and services (utility lines, driveway, sidewalk, waste pickup) for the subdivision. |
| G. If the proposal is an amendment to an existing subdivision and involves vacating a street, right of way, or easement, the amendment does not materially injure the public or any person who owns land within the subdivision or immediately adjacent to it and there is good cause for the amendment. | Complies | The final plat approval of the proposed subdivision, <i>Stanford Commons</i> , is contingent on the final plat recording for <i>The Townes Condominium</i> amendment. The proposed subdivision is a subsequent amendment to <i>The Townes Condominium</i> amendment, but it does not involve vacating a street, right-of-way, or easement. |

ATTACHMENT I: PUBLIC PROCESS AND COMMENTS

Meetings:

- On June 17, 2020 – Notice of the project was provided to the Foothill/Sunnyside Community Council as well as property owners and residents within 300 feet of the subject property. Foothill/Sunnyside Community Council has provided formal input on the proposal, which is attached on the following page.

Public Notice:

- Early notice of application mailed on June 17, 2020
- Public hearing notice mailed on September 11, 2020
- Public hearing sign posted on the property on September 11, 2020
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on September 11, 2020

Public Comments:

As of the publication of this Staff Report, Staff has received several letters in opposition of the proposal which are included on the following pages. In addition, staff has received a phone call from Sean O'Brien, property owner of 1005 S Foothill Drive, expressing support of the proposal.

Any public comments received up to the public hearing meeting will be forwarded to the Planning Commission.

From: [Devon Olson](#)
To: [Mitchell, Linda](#)
Cc: [Dugan, Dary](#); [Bonneville Hills](#)
Subject: (EXTERNAL) Opposition to the Townes/Stanford Commons Petition PLNSUB2020-00349
Date: Thursday, September 17, 2020 12:03:03 AM
Attachments: [image001.png](#)

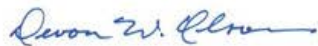
Dear Ms. Mitchell,

I am the Chair of the Foothill/Sunnyside Community Council where the Townes/Stanford Commons property is located. The officers of our Community Council have become aware of the request for a zoning change at this property and I want to address opposition to it for the following reasons:

- This development is the most dense in our neighborhood. Allowing a key amenity and open space at this location to be removed will make our neighborhood even denser and exacerbate our parking and traffic problems.
- When this property was originally developed, neighbors were presented with a less dense, amenity enhanced property. To change this years later is a bit of a "bait and switch". This proposed change may be small, but it would have made a big difference to the neighbors who were originally presented with this development.
- This proposal is for a single residential building of three units. We do not have triplexes in our neighborhood and this is an escalation towards denser residential development in a part of Salt Lake City that is known for its strong single family homes. We need to maintain the character of this neighborhood.

Thank you for your consideration of our opposition to this proposal.

Best regards,



Devon W. Olson
Foothill/Sunnyside Community Council Chair
1949 Laird Drive
Salt Lake City, Utah 84108
801-232-3066

DAVID P. ROSE
LISA S. ROSE
1020 S. FOOTHILL DRIVE
SALT LAKE CITY, UTAH 84108

June 8, 2020

BY Email: linda.mitchell@slcgov.com

Linda Mitchell
Salt Lake City Planner
Salt Lake City Planning Dpt.
451 S. State St.
Salt Lake City, UT 84111

Re: Opposition to Petition No. PLNSUB2020-00349

Dear Ms. Mitchell:

We reside on 1020 S. Foothill Drive, across the street from the current, proposed, land use change. We have many dear friends that reside in The Townes Condominium Project. We plan to continue to be friends after City action is taken to deny, approve or table Petition No. PLNSUB2020-00349 although recognizing that this petition and its after-effects may cause uncomfortable feelings in our neighborhood. Hence, we do not lightly send you this letter. Yet, we feel that we must write to voice our strong opposition to Petition No. PLNSUB2020-00349 and the corresponding application for the proposed de-annexation of The Townes Condominium Project in order to create the Stanford Commons (the "Application"). There are a number of reasons why the Application should be rejected.

First, The Townes Condominium Project is dense. After excluding the swimming pool and common areas requested to be transferred to the Stanford Commons, the preliminary plat for the Stanford Commons purports to show the remaining Townes Condominium Project to consist of 83,241 s.f. of which 63,882 s.f. allegedly is Open Space. In other words, if the Stanford Common project were approved, supposedly 76.74% of The Townes would consist of Open Space. Section 21A.62.040 of the Salt Lake City Zoning Ordinance defines "Open Space" as, "Any area of a lot which is completely free and unobstructed from any structure or parking areas." Interior roads also are excluded from this definition of "Open Space". Included with this letter is an aerial photo of the Townes Condominium Project from the Salt Lake County Tax Assessor downloaded today. Any close examination of this aerial photo shows that the structures, buildings, parking areas, and interior roads take up a substantial portion, if not a majority, of The Townes total square footage. We strongly doubt that there truly will be 63,882 s.f. of Open Space remaining in The Townes if the Stanford Commons de-annexation and subdivision is approved. The actual open space for The Townes after the proposed Stanford Commons de-annexation and subdivision should be accurately re-measured and if it proves to take in less than 75.00% Open Space as it would have been originally approved then the Application must be denied.

Second, the property that is proposed to be de-annexed from The Townes Condominium Project is the condominium project's principal amenity, its swimming pool, and its integral block of common area. The Townes property managers may not have maintained the swimming pool well. Yet, The Townes non-profit corporation should not be allowed to use this decline in its swimming pool as a

Linda Mitchell
June 8, 2020
Page 2

reason to sell its key amenity and the surrounding grounds to turn a profit. Rather than selling its swimming pool and common area, The Townes might consider transitioning this key recreational property into a lower maintenance, replacement amenity. This would be better than letting a crucial amenity entirely disappear.


Third, would The Townes have been originally approved without its swimming pool and green space amenity? That seems unlikely. No condominium project, particularly a higher density project surrounded by single family detached homes, should be allowed after obtaining City approval to subsequently sell off amenities and open space that would have been key to the City's grant of its original approval. If actions like these were allowed, any developer may approach the City promising great amenities and open spaces, only to sell and delete these amenities and open spaces for additional units when the timing is right.

Fourth, Section 21A.48.080 of the Salt Lake City Zoning Ordinance requires landscape buffers when transitioning from a denser residential parcel to less dense residential parcels. This change in density is easily seen in the properties surrounding the Stanford Commons. To illustrate, the adjacent property owned immediately to the south of the proposed Stanford Commons is a beautiful, single family, detached home parcel owned by the Emery family. The properties to the immediate west of the proposed Stanford Commons are lovely, single family, detached home parcels except for religious facilities. To the east of the proposed Stanford Commons are other elegant, single family homes and the Bonneville golf course. And adjoining the proposed Stanford Commons to the north is The Townes, formed of stately duplexes and twin homes with no 3-plexes. Therefore, in order to comply with Section 21A.48.08 and transition from this most unique and dense housing product in the neighborhood proposed by the Stanford Commons for its large triplex, a landscape buffer of 10' must be built on the Stanford Commons' south border (1,285.40 s.f.), the west border (861.40 s.f.), the east border (813.60 s.f.), and the north border (2,300 s.f.). Once these 10' buffer areas totaling 5,260 s.f. are deducted from the 11,696 s.f. available within the proposed Stanford Commons, that will only leave 6,436 s.f., not nearly enough to build the Stanford Commons triplex with its 9,000 s.f. minimum demanded by Section 21A.24.120.

Finally, can a proposed triplex in a neighborhood where no other triplexes are located, truly comply with Section 21A.24.120's requirement that all uses within the Low Density Multi-Family Residential "are intended to be compatible with the existing scale and intensity of the neighborhood?" That does not seem to be so. Can Stanford Common's triplex even match the requisite setbacks, scale, massing, open space and buffers? Almost certainly not.

For all of these reasons and many others, we respectfully request that the City deny the Application.

Very truly yours,



David P. Rose



Lisa S. Rose

Enclosure



new Parcel Viewer beta



Mitchell, Linda

From: lynn pershing <[REDACTED]>
Sent: Thursday, August 20, 2020 2:42 PM
To: Mitchell, Linda
Subject: (EXTERNAL) number PLNPCM2020-00230, 00231

Follow Up Flag: Follow up
Flag Status: Flagged

No, I do not support the changes in setbacks. Destroying a neighborhood dictates that the Development LLC work within the confines of the lot. Deal with it and stop the madness

Lynn K Pershing
District 6

Sent from my iPhone

Scott & Laura Jones
1030 Foothill Dr
Salt Lake City, UT 84108

By Email: Linda.mitchell@slcgov.com
Linda Mitchell
Salt Lake City Planner
Salt Lake City Planning Department
451 S State St.
Salt Lake City, UT 84111

Re: Opposition to Petition Number PLNSUB2020-00349

My family and I live on 1030 S Foothill Drive which is across the street currently proposed land use change. I am writing this letter in opposition to Petition Number PLNSUB2020-00349 and the corresponding application for the proposed de-annexation of The Townes Condominium Project that would create the Stanford Commons.

We have lived in this community for approximately 13 years now. We enjoy the neighborhood very much and have developed many close relationships with our neighbors. Knowing that, we have been reluctant to be involved in opposing the petition. The last thing we want is to create any type of hostility with our friends. With that in mind, we decided it was in ours and we hope our neighbor's best interest to oppose PLNSUB202-00349.

We love our neighborhood and fear that this development could create density issues that we are very opposed to.

Thank you,

Scott Jones



From: [John Doe](#)
To: [Mitchell, Linda](#)
Subject: (EXTERNAL) Voice of Concern with the Stanford Commons Planned Development & Preliminary Subdivision at Approximately 2052 E Michigan Ave, Salt Lake City, UT
Date: Friday, September 4, 2020 1:13:55 PM

September 3, 2020

Dear Ms. Mitchell:

I am writing today to voice concern about the Stanford Commons Planned Development and Subdivision located at 2052 East Michigan.

I am not providing my name as I live in the neighborhood and don't want to create contentions.

I have a number of concerns listed below:

1. Changing the original zoning from the property which both owners in the Townes and neighborhood homes purchased in the area understanding the property lines and environment.
2. Opening the area up to be a single dwelling property which could open the places up for rental properties versus maintaining the Harvard Yale quaint neighborhood.
3. Potential issues arising from the construction i.e. water/sewage pipes cracking/breaking due to the age of the pipes in the area, road damage due to the construction.
4. The Townes property currently doesn't maintain the property to the standards of the neighborhood and we do not need more similar properties.
5. The change will take away 1-2 of the current Towne homeowners' property and natural environments.
6. The Townes area in question they are selling had a fully functioning pool which was cared for, for years and updated and about a year after they upgraded it, it was closed and the property has been an eye sore since, very unkempt. As I understand some owners want some of the proceeds for personal use versus putting the sale of the property back into updating the property which in this neighborhood would be appreciated as their lack of care depreciates the properties in this neighborhood.

Thank you for considering my feedback when making a decision on this proposed development.

Mitchell, Linda

From: Benjamin Emery <[REDACTED]>
Sent: Saturday, September 5, 2020 11:22 PM
To: Mitchell, Linda
Subject: (EXTERNAL) Opposition to Case numbers PLNPCM2020-00230 and PLNSUB2020-00231

Follow Up Flag: Follow up
Flag Status: Flagged

Linda Mitchell,

I am writing, on behalf of myself, my wife (Brigette), and my three children, to formally voice our concerns to the planned development and preliminary subdivision, as numbered above. We have spoken over the phone on a few occasions and have discussed the city ordinances that seem to be violated by the current proposition. Namely, section 21A.62.040 and 21A.48.080 of the city zoning ordinance. In addition to these possible ordinance violations, the proposed subdivision raises additional concerns pertaining to the planned development and the configuration of the proposed structures.

Firstly, as I have previously voiced with you, I don't see any way the remaining parcel will meet the required green space requirement by city ordinance. I would request that the calculations be presented, with a detailed plot map, showing how the calculations were derived.

Secondly, I submit that, as the homeowner most nearly adjacent to the proposed parcel (1065 foothill Drive), there would be zero buffer between my property and the new structure. The plans which I have seen, both from the developer and in the documents provided by the city, show the proposed structures abutting directly up to my lot. I have serious concerns that ordinance 21A.48.08 would be impossible to be met. I would like to see how the city proposes that this would be met. I purchased my home, approximately four years ago, with the intention to live on a quiet cul-de-sac street with low traffic in a walkable neighborhood. The addition of 3-4 more homes on our street is too much to allow, we already have two churches and a pre-school (within the Lutheran church) in one block and there is over-flowing street traffic from both congregations on Sundays and days of community events from activities. Our street can't support another large subdivision. The addition of these homes, and the subdivision of the property itself, dramatically changes the flavor of our block and the community that we live in.

Lastly, we are adamantly opposed to this annex being approved and the addition of this triplex (with an additional plot that can be developed as well). The Townes has not kept up the current property and has done a great disservice to our community in letting the existing amenity deteriorate to a point that not only detracts from our street appearance, but also gives a dark, unattended area for mischief and crime. We have found dirty, torn clothing and used condoms thrown over the fence from the existing pool on more than one occasion. I have also been told from a home owner in The Townes that people were squatting in the old pump house this year. Instead of maintaining the area, The Townes looks to apportion off the property and make a profit. This was not the intention of the original development, nor the city officials that approved this large complex in our neighborhood. I would submit that The Townes needs to uphold the original intention of their property and restore the amenity or restructure it to meet the same standard. We have spent the last 4 years doing all we can to improve our lot and have put our hearts into our street and our property. We have discussed this as a whole family and we ask that the city also take this opportunity to support us in preserving our street and it's current plan. We ask that the property not be subdivided or developed as a new, multi-home structure that has no place on our street or in our neighborhood.

Kind Regards,

Benjamin R. Emery

Mitchell, Linda

From: Dave Babcock <[REDACTED]>
Sent: Saturday, September 5, 2020 11:01 PM
To: Mitchell, Linda
Subject: (EXTERNAL)

Follow Up Flag: Follow up
Flag Status: Flagged

Linda,

It's our understanding that concerns regarding the new development of four condominiums on Foothill Blvd should be directed to you. We live across the street at 1046 Foothill Blvd and are worried about the prospect of the addition of that many new residents, traffic flow, noise, and rental fluctuations. We've been in the neighborhood for decades and this wouldn't have even been possible years ago when the street went all the way through and merged into Foothill Dr. When that change was made it was our understanding that things would remain as they are permanently. Years later it seems opportunistic for a developer to squeeze in these units when it was so far from possible in the original planning and usage.

We're confident that all angles will be considered and fairness will prevail. We support any outcome but wanted to voice our opinion and concern.

Best,

Dave Babcock

Sent from my iPhone

Mitchell, Linda

From: Christian Dunbar [REDACTED] >
Sent: Saturday, September 5, 2020 4:58 PM
To: Mitchell, Linda
Cc: [REDACTED]
Subject: (EXTERNAL) Opposition - Michigan Ave

Hi Linda,

My name is Christian Dunbar, I have lived on 2070 E. Michigan Ave for the past 18 years, neighboring the proposed development of new condos.

We are **against** the proposed development of the condos on this property, as are several other people. At the time of moving in we did not initially agree to be living next to new neighbors, it is not fair for us and the people on our block.

This development will reduce our privacy, increase noise levels, & burden our general well-being as a community. We do not need new developments and several new neighbors on our block. We are deeply concerned that the buyers will end up renting, our peaceful block cannot have an endless supply of new neighbors.

The original proposition has also changed since the first time it was proposed. We were told that we could keep our front yard and recently our HOA management said it cuts into our already small yard, leaving our yard fully removed.

The new additions will dramatically decrease public parking, which is currently utilized by the existing neighbors.

Our HOA manager, Bill Chistiansen, abruptly closed our community pool in 2012. We immediately suggested that the closed pool be turned into a community garden for the towns, he ignored our requests and continues to push for the sale of the property.

Several Towns residences are not happy with Bill's management of the Towns Condominiums. During these 8 years since the pool's closure I have personally changed several light bulbs on our property that management has failed to safely address, which is ignoring public safety. I feel that Bill is selling the property with his own interests in mind, and not those of other residences.

Best,



Christian Dunbar | [REDACTED]
[REDACTED]
[REDACTED]

Mitchell, Linda

From: seodam kwak <[REDACTED]>
Sent: Saturday, September 5, 2020 11:47 PM
To: Mitchell, Linda
Subject: (EXTERNAL) SLC planning

Hello Ms. Mitchell, my name is Youndeok Kong, and I currently own and reside at 2072 E Michigan Ave, Salt Lake City, Utah, 84108. I would like to voice a few concerns with the upcoming construction project within our neighborhood. Our residence is located only 20 ft east from the construction area. Due to the proximity, we would be affected by the noise from the construction site. Needless to say, there will be construction vehicles, drilling, sirens, and all sorts of loud noises will be created by the construction. I am currently a full-time Nurse at the U of U hospital, where I dedicate many hours to helping those who are ill and unwell. Needless to say with COVID 19, my workload is not subsiding, rather it has become more hectic. After a hard day at work, I would like to have time to relax and rest. I believe that the noise from the construction would be simply unbearable and it will be a major stressor to me and my family. Moreover, I also have concerns with all of the dust and waste that will be produced during the construction. The dust and other particulates traveling through the air and protruding through our windows, it would pose a health risk to the neighborhood and constantly dwindle the air quality in the vicinity. If this construction does occur and is completed, It would ruin our view. Currently we are able to look out the window and see the gorgeous sky and the sunset shining down accompanied by the view of my neighborhood. However, at the end of the construction, our view would be at another person's glass window or a brick wall. This construction would seriously impede on the views of our house. Another concern is with the safety of the children that are playing in the neighborhood. On the street that the construction and delivery vehicles will be constantly using to get to the construction site, it is a residential area with many households with young children. Additionally, on that street alone, we observe many children riding bikes, playing basketball, or simply running around. Therefore, with vehicles and trucks passing on that street on a regular basis, only the lord knows what disaster awaits. It is obvious that this construction project has many issues and concerns, which will diminish the wellbeing and the quality of life for residents within the region. Additionally, as we are in close proximity, we are the most heavily affected by this construction site. We strongly oppose this construction project/planning and ask you to reconsider. Thank you very much for your time and consideration.

YounDeok Kong, Neighborhood resident

Mitchell, Linda

From: seodam kwak <[REDACTED]>
Sent: Saturday, September 5, 2020 11:53 PM
To: Mitchell, Linda
Subject: (EXTERNAL) SLC planning

Follow Up Flag: Follow up
Flag Status: Flagged

I would also like to voice that this construction project and the resultant buildings would largely affect our privacy due to the proximity. Our household would really lose our privacy not just during construction but also after as well.

Mitchell, Linda

From: Anderson, John
Sent: Tuesday, September 8, 2020 4:35 PM
To: Susan Wurtzburg; Planning Public Comments
Cc: Mitchell, Linda
Subject: RE: (EXTERNAL) Case number PLNPCM2020-00230 & Case number PLNSUB2020-00231

Follow Up Flag: Follow Up
Flag Status: Flagged

Susan,

Your comments are appreciated and will be shared with the Planning Commission at their public hearing tomorrow night. If you would like to participate in the meeting there are instructions on how to do so in the agenda:

<http://www.slcdocs.com/Planning/Planning%20Commission/2020/PC09.09.2020agendaAMENDED.pdf>

Please let me know if you have additional comments.

JOHN ANDERSON
Planning Manager

PLANNING DIVISION
COMMUNITY *and* NEIGHBORHOODS
SALT LAKE CITY CORPORATION

TEL 801-535-7214
FAX 801-535-6174

www.SLC.GOV

From: Susan Wurtzburg [mailto: [REDACTED]]
Sent: Tuesday, September 8, 2020 4:25 PM
To: Planning Public Comments <planning.comments@slcgov.com>
Subject: (EXTERNAL) Case number PLNPCM2020-00230 & Case number PLNSUB2020-00231

Re. Stanford Commons Planned Development & Preliminary Subdivision at approximately 2052 E Michigan Avenue – Jessica Sluder from Alta Development Group, LLC, representing the property owner.

A request has been made for several variances:

- a. Planned Development – Planned Development is requested to modify the required front yard setback, grade changes greater than four feet (4') within a required yard, and the required minimum lot area for the new lots. Case number PLNPCM2020-00230
- b. Preliminary Subdivision – Preliminary Plat approval is needed to create four (4) new lots. Case number PLNSUB2020-00231

Greetings Planning Committee,

As a property owner in the area (1567 Laird Ave E.), I **oppose** the above requests for this proposed project. Increasing the amount of building, and decreasing the lot size / building has the potential to change completely the attractiveness of this community.

Once one exception is made, it opens the door for additional ones, and I oppose this precedent in the area.

What is the point of having plans, if developers have the ability to step outside the plans, with the goal of increasing profit, and with no concern about the neighborhood, where they do not live?

I oppose short-sighted exceptions allowing developer profit, at the expense of our rights as property owners, who enjoy the historic character of this district, along with extensive yards, rather than hard surface building.

Thanks,

Susan J. Wurtzburg

--

Susan J. Wurtzburg, Ph.D.
Owner: 1567 E Laird, SLC, 84105


From: [Lanette Dunbar](#)
To: [Mitchell, Linda](#)
Subject: (EXTERNAL) Case #PLNPCM2020-0230 and PLNSUB2020-00231
Date: Saturday, September 5, 2020 7:28:57 PM

Hello Linda,

My name is D. Lanette Dunbar, I live at 2070 Michigan Ave. The above case numbers if approved will dramatically affect me. When the proposal was originally proposed to the Towns HOA members we were assured that the space slated for purchase would be at the existing fence line. As per the proposal before you, that has changed and now if approved I will lose most of the green space I presently have out my front area, will be reduced dramatically. I have enclosed two photos that show the present space, if this is allowed to proceed I will lose most of it. The other concern I have is the increased traffic on this dead-in street, as well as a decrease in public street parking. Our street is very popular for walkers and bike riders. This proposal will seriously disrupt our neighborhood.

I strongly ask that the proposed Case PLNPCM2020-00230 not be allowed to be modified.

Sincerely,
Lanette Dunbar





ATTACHMENT J: DEPARTMENT REVIEW COMMENTS

Engineering (Scott Weiler at scott.weiler@slcgov.com or 801-535-6159)

See attachments for redlines.

- 1) "Plat_Stanford Commons.pdf"
- 2) "Stanford Commons_rdlns.pdf".

Planning Staff Note: These will need to be completed for the final plat application. No changes are required at this time.

Building (Bryan Romney at bryan.romney@slcgov.com or 801-535-7670)

1. The project has subdivided the property into three separate parcels. As such, a recorded property description/deed and separate addresses will need to be provided.
2. Given the three separate properties, it will need to be clarified that a single permit is allowed.
3. Each of the three properties will be reviewed for compliance with the 2015 IRC as Single-family Dwellings. The current plans do not show a Code Analysis with this requirement.
4. All design professionals are to seal, sign and date each drawing and the cover sheet of the specifications.
5. If this project is to be submitted as a phased permit, then appropriate approvals need to be made.

Planning Staff Note: The applicant updated their plans to document their compliance with these comments. Final compliance review will be done during building permit stage.

Urban Forestry (Cory Davis at cory.davis2@slcgov.com or 801-972-7839)

A mitigation fee would be required as a condition of plan approval. The [park strip] tree in question is 10" dbh so if they plant two (2) 2" trees they would owe for 6" of mitigation which is \$1200.00 The tree would have to be removed via permit issuance to an ISA Certified Arborist.

Additionally, a public right of way tree planting permit is required.

Planning Staff Notes: Any requirements provided by the Urban Forester shall be addressed during the building permit review process.

Zoning (Anika Stonick at patriciaanika.stonick@slcgov.com or 801-535-6192)

Preliminary Plat

No comments

Planned Development

Site plan has not been provided (only plat and grading/drainage type site plans); a site plan should be provided that shows: stairs and upper floor levels proposed to project into required front yard (should show all projections from building as well- any balconies, canopies, awnings, roof edge, etc.); show both the required yards of RMF-30 and also the modified yards proposed;

show rear yards for each lot that are per 2A.24.120.E.4, per the equation given there (and not rounded up or down) and to be provided for each side property line length (and not per one or another; and, to be given as polygon addressing different side property line lengths); show minimum required side yard of 4 feet for northern unit to side property line (per 21A.24.120.E.3.b); any yards not being met by proposal should also be addressed in planned development application;

To relate lot coverage that is proposed, to be per 21A.24.040.G.2 (maximum 50%);

More concrete is proposed in the front yard than leads to garage door opening and to walkway to stairs/landing at stairs so is not per 21A.48.090 allowing driveways and walkways in front yard instead of required landscaping; to correct design or have included as modification requested via planned development and to make specific replacement landscaping proposal (21A.55.100.B.4); in case of planned development modification, to also design and dimension all excess hard surfaces so that no front yard parking would be accommodated(including at/over property lines);

About driveway/approach from street, appear will be exceeding maximum driveway width (21A.44.020.F.7.b) and will not meet required distance to side property lines (21A.44.020.F.7.a(2));

To address access to and use of sidewalk/walkway and stairs at south end of planned development- who may use, etc. and arrange and record cross access and any other necessary agreements;

To arrange revocable lease with Real Estate Services division for stairs and end of retaining wall to land in public way;

Treatment of existing trees on site to be per 21A.48.135; to provide landscaping plans addressing requirements of 21A.48 as are applicable to project;

Proposed height is being compared to finished grade in elevation drawings, instead should be compared to average finished grade per 21A.62.040 "Height, Building- Outside FR, FP, R-1, R-2 and SR Districts" and 21A.62.050 Illustration B;

No dimensions included on floor plans- to design and dimension plans to provide parking for two vehicles in attached garage that has minimum 17.5' deep by 18.5' wide interior space;

To obtain and use certified addresses (get from SL Engineering Department);

To pay Impact Fees when pulling building permit for structure.

Planning Staff Note: The applicant made several revisions to address these comments in their plans attached to this report. A full zoning review will be done during the building permit review phase.