



# Staff Report

PLANNING DIVISION  
DEPARTMENT OF COMMUNITY & NEIGHBORHOODS

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To: Salt Lake City Planning Commission

From: Sara Javoronok, AICP, Senior Planner  
801-535-7625, sara.javoronok@slcgov.com

Date: September 11, 2019

Re: PLNPCM2019-00620 – Design Review

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## Design Review

**PROPERTY ADDRESS:** 1465 South 700 East  
**PARCEL ID:** 16-17-108-043-0000  
**MASTER PLAN:** Central Community  
**ZONING DISTRICT:** CN (Neighborhood Commercial)

**REQUEST:** A request by Gary Knapp, of JZW Architects, on behalf of the property owner, Josh Poticha, for Design Review to construct a canopy for outdoor dining at approximately 1465 South 700 East. The proposed canopy would extend into the 15 foot required setback approximately 12 feet. The CN (Neighborhood Commercial) District allows for the reduction of the front or corner setbacks through the Design Review process.

**RECOMMENDATION:** Based on the analysis and findings presented in this staff report, Planning staff recommends that the Planning Commission approve the canopy as proposed with the following conditions:

1. With the exception of the modifications specified in this staff report, the canopy must comply with all applicable zoning regulations.
2. Final approval of the details for signage, lighting, and landscaping to be delegated to Planning staff (as noted in Attachment H) to ensure compliance with the Design Review standards.
3. Applicant shall comply with all other department/division requirements.

**ATTACHMENTS:**

- A. [Vicinity Zoning Map](#)
- B. [Site Plan](#)
- C. [Rendering](#)
- D. [Elevations](#)
- E. [Additional Applicant Information](#)
- F. [Photographs](#)
- G. [Existing Conditions](#)
- H. [Analysis of Standards](#)
- I. [Public Process and Comments](#)
- J. [Department Comments](#)

**PROJECT DESCRIPTION:**

This proposal is for a canopy that extends approximately 12 feet into the front yard setback. The canopy will not be cantilevered rather it will be supported by posts. The area covered by the canopy will be used for outdoor dining and totals approximately 400 square feet. The applicant previously received a special exception for outdoor dining, but the proposed canopy is larger than what is permitted by the underlying zoning. Separately from these processes, the applicant is planning an approximately 1,600 square foot addition to the existing building.



3D PERSPECTIVE - OPTION 2

*Proposed Rendering*



*Vicinity Aerial*

**KEY ISSUES:**

The key issues listed below have been identified through the analysis of the project, neighbor and community input, and department review comments:

1. Reduction in front yard setback
2. Impacts to adjacent parcels
3. Compliance with master plans

**Issue 1: Reduction in front yard setback**

The proposal for a reduction in the front yard setback is to accommodate an area for outdoor dining and a canopy with posts and footings. Outdoor dining was previously approved through a special exception process per 21A.52.030.14 and 21A.40.065. At that time, preliminary drawings depicted an outdoor dining area with a projecting awning or canopy. Subsequently, the applicant submitted plans for a building permit that showed a more substantial cantilevered structure and fence enclosure. The proposed size and form of this structure exceeded what is permitted by that process and the underlying zoning. Table 21A.36.020 restricts the size of an awning or canopy to 2.5 feet into the front and corner side yard setback. Section 21A.26.020.F of the underlying zone provides for a reduction in the front yard setback with the Design Review process. Through this process the applicant is seeking an approximate 12 foot reduction in the front yard setback. Since the Design Review process is required, the applicant has modified the proposed canopy with posts and footings to simplify its construction.

The proposed outdoor dining is consistent with the Design Review Standards in Chapter 21A.59. This is detailed in [Attachment H](#). Specifically, it is consistent with the purpose of the Neighborhood Commercial zoning district, it further orients the development to the sidewalk, and it incorporates detailing and glass to provide additional pedestrian interest.

**Issue 2: Impacts to adjacent Residential Parcels**

Adjacent properties are residential in use. The property to the north is a single family home that is zoned Neighborhood Commercial. The property to the east is a single family home and the properties to the south are a duplex and a single family home. These three properties are zoned R-1/5,000 for single-family residential uses. To the west is an additional single family home zoned R-1/5,000. It is located approximately 150 feet across 700 East.

The purpose of the Neighborhood Commercial zoning district is to provide for small scale, low intensity uses. This is consistent with the proposed restaurant in this location. It is anticipated that it will draw business from the surrounding neighborhood. The scale of the structure, including the proposed outdoor dining and expansion, is consistent with the traditional character of the neighborhood. The proposed changes further orient the building and the site to the pedestrian and others passing by. The applicant will maintain the existing landscape yards to the east and the south and add additional landscaping in the front and corner side yards. The outdoor dining and entrances are oriented towards 700 East and Roosevelt Avenue. The curb cuts will be limited to a single entrance each on 700 East and Roosevelt Avenue.

Additionally, the property faces 700 East, a heavily traveled road, and while near single-family residential properties, does not have the same small scale, low intensity surroundings as many Neighborhood Commercial properties. Consistent with this, aerial photos and the site layout show that the property was previously a gas station. This is a more intensive use than the proposed use and what is generally permitted in the Neighborhood Commercial zone.

For parking, the proposal identifies four parking spaces, including one accessible space and two bicycle parking spaces on a U-rack. Table 21A.44.030 requires 2 parking spaces per 1,000 square feet of usable floor area for a restaurant and 21A.44.040.B.8.b allows for the exemption of the first 2,500 square feet of building area if pedestrian friendly amenities, such as a bike rack, are provided. With the proposed addition, the building would have a 2,831 square feet. This exempts all but 331 square feet from the parking requirements. Additionally, Section 21A.40.065 exempts the first 500 square feet of outdoor dining from parking requirements. Given these exemptions, the proposed parking, including the proposed bicycle parking, meets the requirements of the Neighborhood Commercial zone.

### **Issue 3: Compliance with Master Plans**

*Plan Salt Lake (2015)* is a citywide master plan that can be applied to this application. It is composed of Guiding Principles that are further defined by Initiatives. The *Neighborhoods* section has several initiatives that are relevant to this application including the following:

3. *Create a safe and convenient place for people to carry out their daily lives.*
4. *Support neighborhood identity and diversity.*
8. *Encourage and support local businesses and neighborhood business districts.*

The *Economy* section also contains the following two initiatives pertinent to this project:

1. *Maintain and grow Salt Lake City as the economic center of the region.*
3. *Support the growth of small businesses, entrepreneurship and neighborhood business nodes.*

These initiatives support the proposed reduction in the front yard setback. The proposal would provide additional opportunities for residents to dine in their neighborhood, an additional gathering place in the neighborhood, and an opportunity for a small business in the neighborhood. This site is the southernmost property in a group that form a commercial node along 700 East. This business growth is also consistent with maintaining Salt Lake City as the economic center of the region.

In addition to *Plan Salt Lake*, the *Central Community Master Plan (2005)* vision for “Livable communities and neighborhoods” identifies a number of criteria. It includes having “Various types of business land uses in scale with the residential community support livable neighborhoods.” The “Vital and sustainable commerce” criteria include the following related to business development:

- An enhanced built environment encourages employees to work and live in the Central Community and supports the creation of smaller locally owned businesses.
- Limiting planning and zoning restrictions on businesses to those instances that provide clear and substantial benefits to residents to sustain a business friendly environment.

In “Unique and active places”, the following are identified:

- New places where people can gather, meet, socialize, and recreate are created using design excellence and shared resources.
- Existing destination centers and gathering places are enhanced through urban design recommendations.

The property is located within the Emerson Neighborhood in the East Central South Neighborhood in the plan. The description and recommendations for this area include “Protect low-density residential land uses along the east side of 700 East”. The proposal for the subject property will not alter the land uses along 700 East, but will further orient the existing commercial property to the neighborhood and the small scale residential uses that surround it.

### **DISCUSSION:**

The proposal satisfies the Design Review requirements. Its purpose is to provide outdoor dining within the front yard setback. This is consistent with the purpose of the Neighborhood Commercial district and design review criteria to have buildings and designs that are oriented to the neighborhood and pedestrians. While the proposal is adjacent to residential uses, the parcel is zoned for commercial uses and, consistent with *Plan Salt Lake* and the *Central Community Master Plan*, will be home to a small business and provide a neighborhood gathering place.

### **NEXT STEPS:**

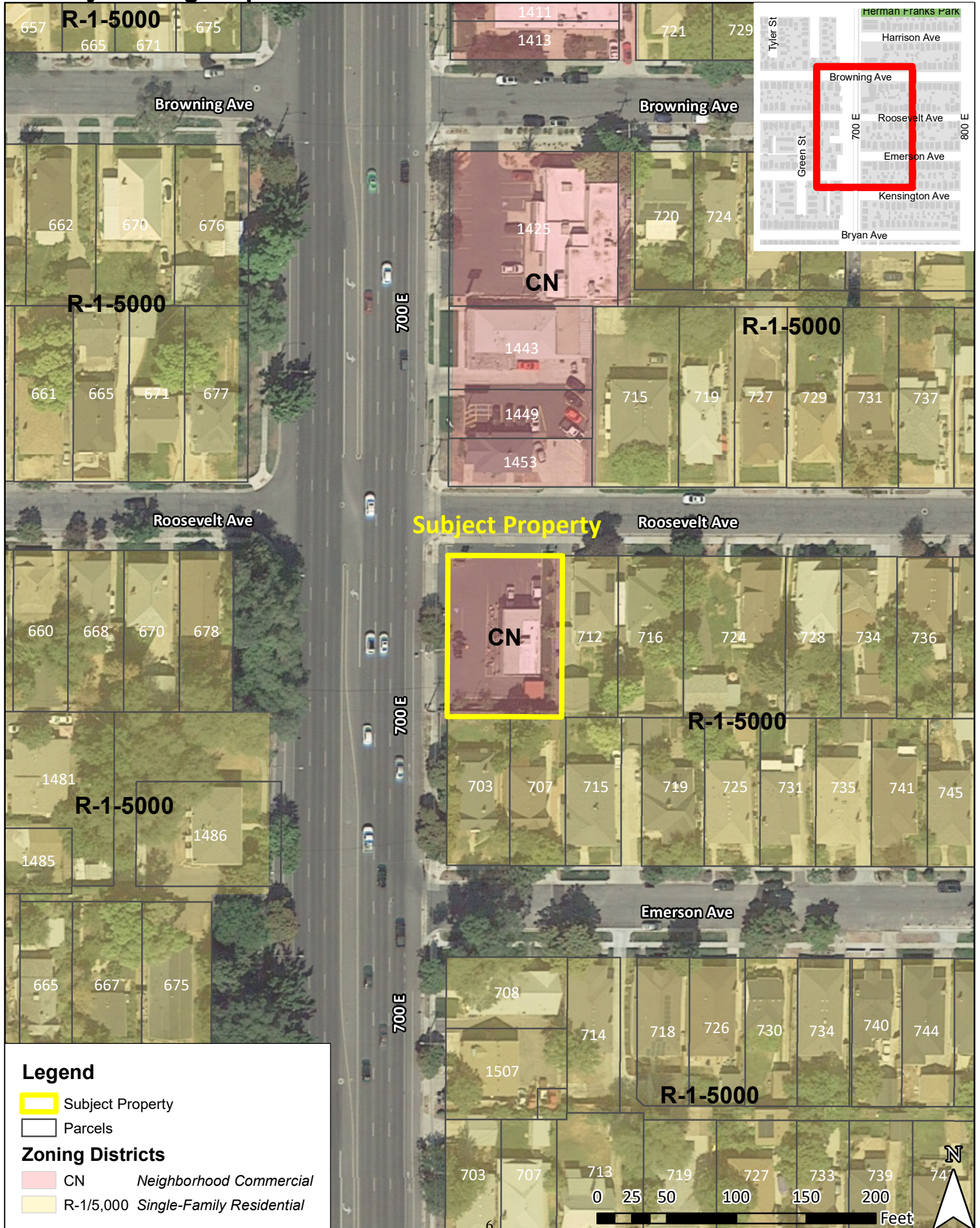
If the Design Review proposal is approved, the applicant may proceed with the project after meeting all conditions that may be imposed through this process and the process to obtain all necessary building permits. If the Design Review proposal is denied, the applicant would still be able to move forward with the proposed use and any modifications that meet all standards of the CN zoning regulations.



# **ATTACHMENT A: VICINITY ZONING MAP**

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# Vicinity Zoning Map



# **ATTACHMENT B: SITE PLAN**

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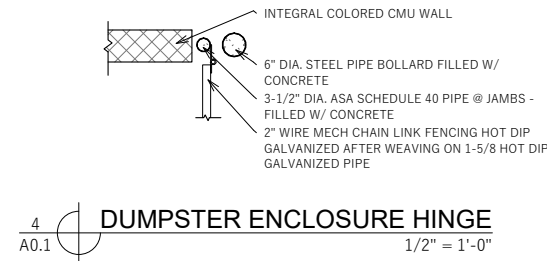
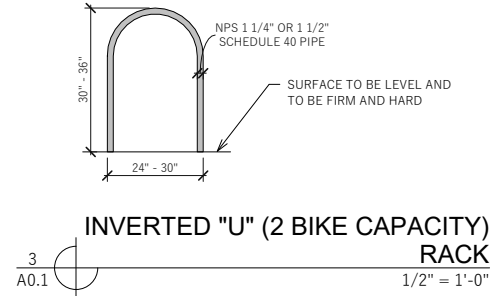
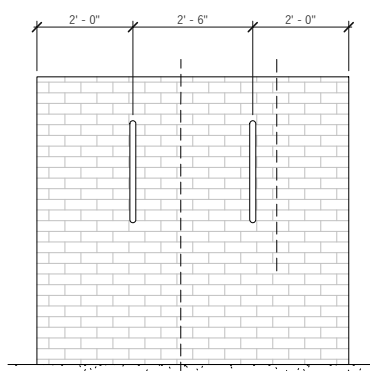


**GENERAL NOTES**

- (A) SEE GENERAL PROJECT NOTES, ROOF PLAN AND/OR FRAMING PLAN FOR ROOF PITCHES, ROOF BEARING AND STRUCTURAL REQUIREMENTS.
- (B) GROUND AROUND ENTIRE BUILDING TO SLOPE AWAY FROM BUILDING AT 5% MIN. SLOPE FOR A DISTANCE OF 10'-0" FROM BUILDING.
- (C) BUILDING MOUNTED FLOOD LIGHTS SHALL BE INSTALLED TO ILLUMINATE ADJACENT PARKING AREA.
- (D) ALL LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND SPRINKLING SYSTEM WITH A BACK-FLOW DEVICE TO THE BUILDING.
- (E) ALL ROOF DRAINAGE SHALL BE DETAINED ON SITE OR ROUTED THROUGH ON-SITE DRAINAGE FACILITIES.
- (F) COORDINATE WITH CIVIL ENGINEERING DRAWINGS AND LANDSCAPE DRAWINGS FOR FINISH FLOOR ELEVATION OF BUILDING AND CUT AND FILL FOR SITE WORK.
- (G) COORDINATE WITH LANDSCAPE DRAWINGS FOR EXISTING TREES AND TREE GROUPINGS THAT ARE TO REMAIN UNDISTURBED.

**KEYED NOTES**

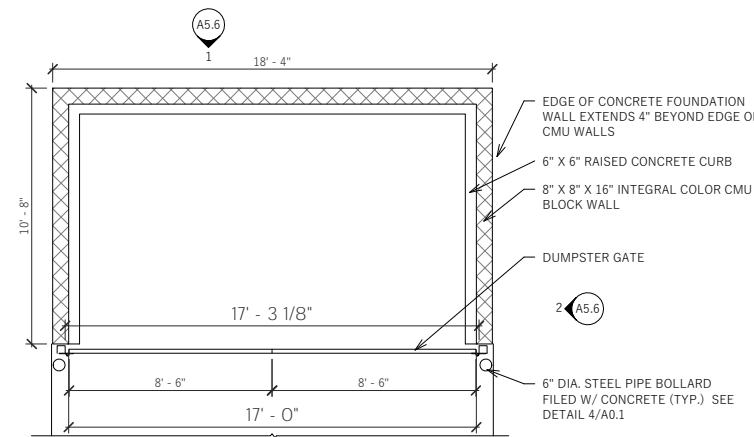
- 1 GROUND LIGHTING AS PER ELECTRICAL.
- 2 EXISTING ELECTRICAL POLE.
- 3 GREASE TRAPS.
- 4 GATE
- 5 EXISTING WOOD FENCE TO REMAIN.
- 6 NEW 6'-0" WOOD FENCE.
- 7 EXISTING POLE SIGN TO REMAIN.
- 8 ELECTRICAL TRANSFORMER. LOCATION, POSITION AS INDICATED. COORDINATE WITH ELECTRICAL.
- 9 EXISTING SIDEWALK
- 10 NEW SIDEWALK.
- 11 PROVIDE INVERTED "U" BIKE RACK, SEE DETAIL 3 ON A0.1.
- 12 PAINTED LOGOS AND ACCESSIBLE AISLE STRIPING AS INDICATED.
- 13 ACCESSIBLE PARKING SPACES AND SIDE AISLES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48.
- 14 4" WIDE YELLOW STRIPING LINES, TYP.
- 15 ASPHALT PARKING LOT AS PER CIVIL ENGINEER. PROVIDE 2-1/2" ASPHALT PAVING OVER 6" GRANULAR BASE OVER COMPACTED SUBGRADE.
- 16 NEW CURB AND GUTTER.
- 17 MANHOLE AS PER MECHANICAL AND CIVIL.
- 18 POLE LIGHTING AS PER ELECTRICAL DRAWINGS.
- 19 HARD AND LEVEL SURFACE TO BE PROVIDED AT BIKE RACKS.
- 20 PROVIDE CONNECTION FOR FUTURE PARKING SIGN.
- 21 42" RAILING



**ENLARGED BIKE RACK**  
1/2" = 1'-0"

**LINETYPE LEGEND**

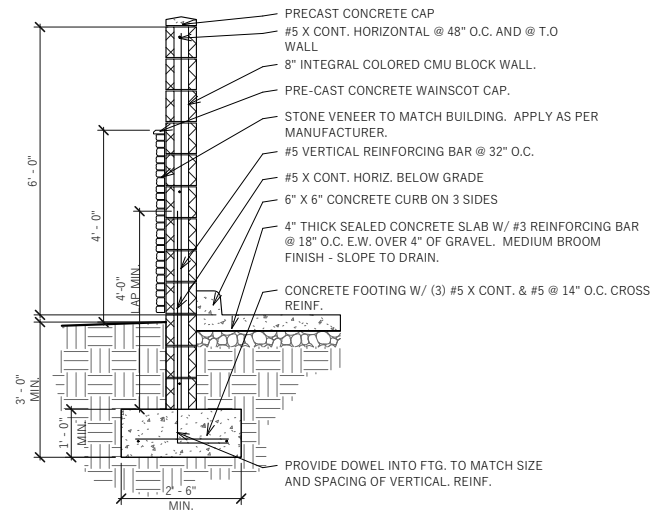
- PROPERTY LINE
- - - SITE SETBACK/EASEMENT LINES
- SITE FEATURES
- ROOF FEATURES



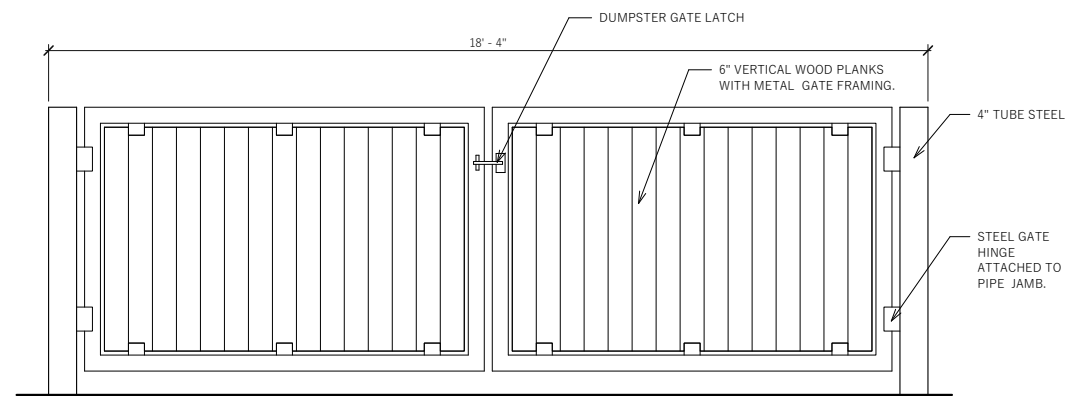
**ENLARGED DUMPSTER PLAN**  
1/4" = 1'-0"

**PARKING CALCULATIONS**  
2 STALL PER 1,000 SF  
21A.44.040 B.8.b - 2,500 SF REDUCTION  
BUILDING: 2,831 SF - REDUCTION = 331 SF  
PARKING REQUIRED: 2 STALLS  
PROVIDED:  
BICYCLE PARKING: 2 RACKS  
PARKING: 3 STALLS

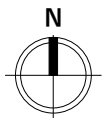
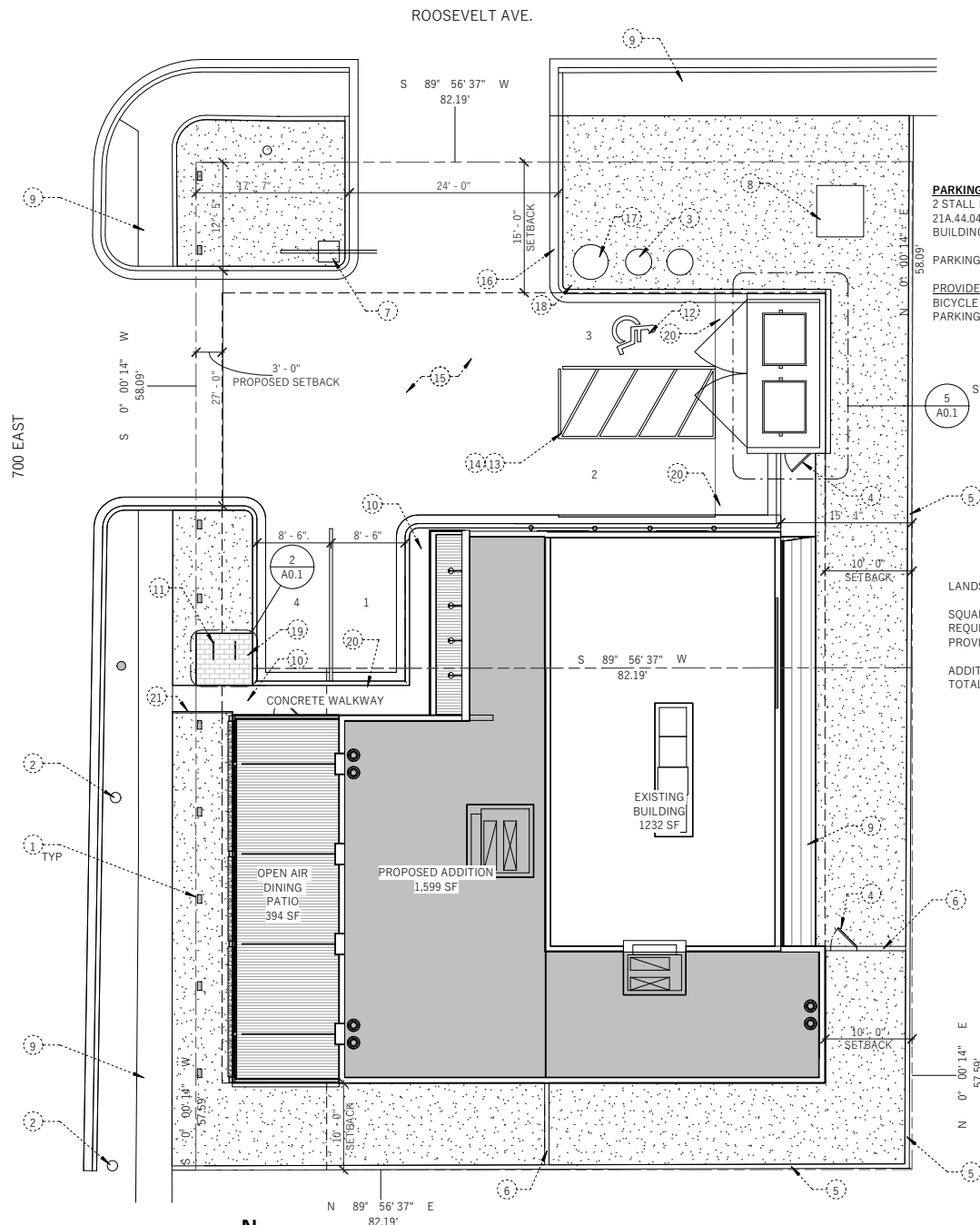
**LANDSCAPE:**  
SQUARE FEET BETWEEN THE PROPERTY LINE AND THE SETBACK: **2,738 SQ. FT**  
REQUIRED 30% = **821.4 SQ. FT.**  
PROVIDED = **1,257 SQ. FT.**  
ADDITIONAL SQUARE FEET: **1,564 SQ. FT.**  
TOTAL SQUARE FEET OF LANDSCAPE: **2,821 SQ. FT.**



**DUMPSTER ENCLOSURE WALL SECTION**  
1/2" = 1'-0"



**DUMPSTER GATE ELEVATION**  
1/2" = 1'-0"



**ARCHITECTURAL SITE PLAN**  
1" = 10'-0"



OVERALL AS-SURVEYED DESCRIPTION

THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; SALT LAKE CITY, SALT LAKE COUNTY, UTAH DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 7, BLOCK 15, FIVE ACRE PLAT "A", BIG FIELD SURVEY AND THE EASTERLY RIGHT OF WAY LINE OF 700 EAST STREET, SAID POINT BEING 500'01'00"E 140.23 FEET ALONG THE CENTERLINE MONUMENT LINE OF 700 EAST STREET AND N89°59'00"E 33.54 FEET FROM A FOUND MONUMENT AT THE INTERSECTION OF 700 EAST STREET AND ROOSEVELT AVENUE; AND RUNNING THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE N00°01'00"W 115.50 FEET FROM TO THE SOUTHERLY RIGHT OF WAY LINE OF ROOSEVELT AVENUE; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE N89°56'37"E 82.16 FEET; THENCE S00°01'00"E 115.50 FEET TO THE SOUTHERLY LINE OF SAID LOT 7; THENCE ALONG SAID SOUTHERLY LINE S89°56'37"W 82.16 FEET TO THE POINT OF BEGINNING.

CONTAINS 0.22 ACRES IN AREA

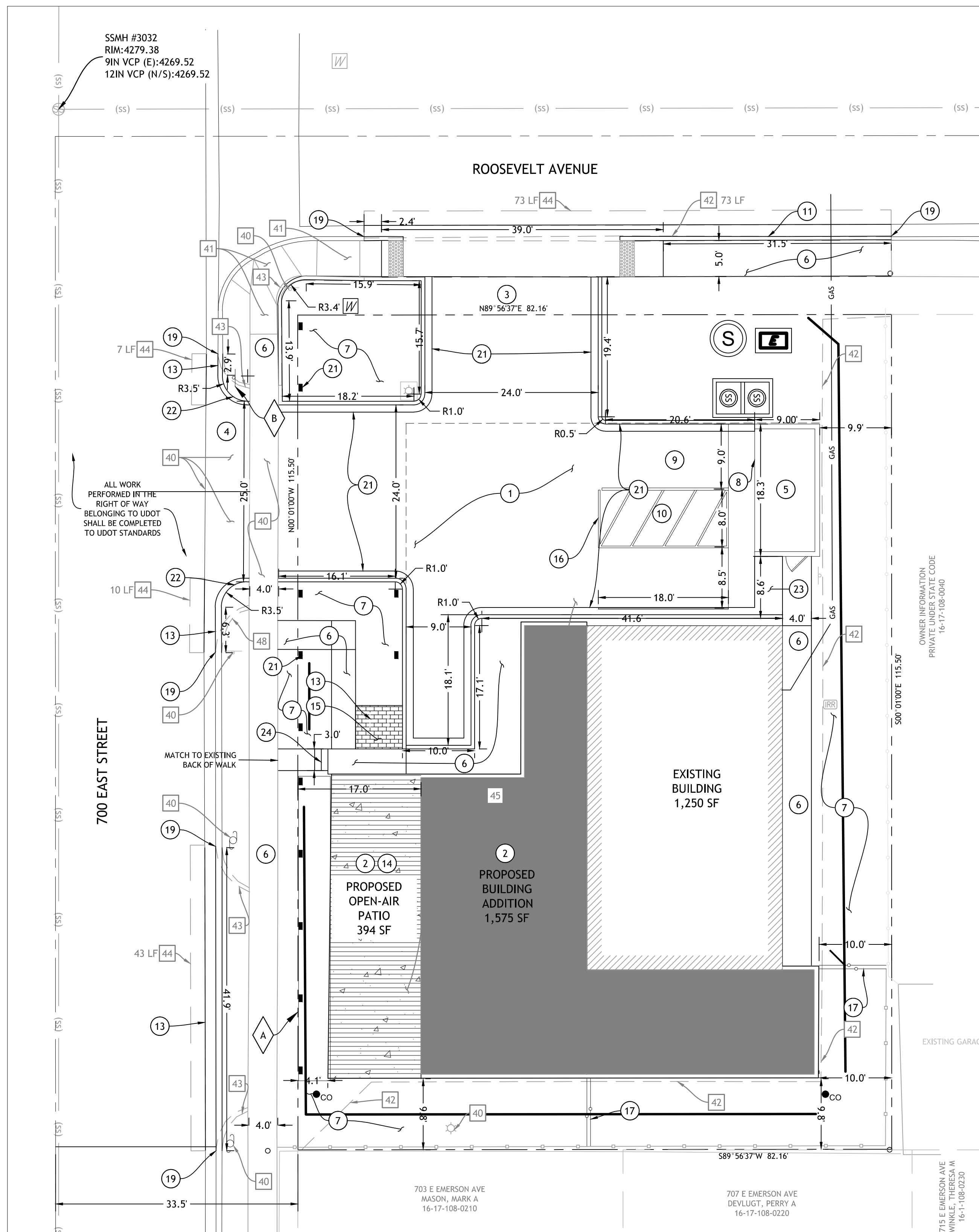
PARCEL NOTE:

THE SUBJECT PARCEL WAS PREVIOUSLY THREE PARCELS THAT HAVE BEEN CONSOLIDATED INTO ONE PARCEL. A NEW PARCEL NUMBER FOR THE CONSOLIDATED PARCEL HAS NOT YET BEEN ISSUED BY SALT LAKE COUNTY.

THE ORIGINAL PARCEL NUMBERS WERE:

- 16-17-108-0010
- 16-17-108-0020
- 16-17-108-0030

THE PARCELS WERE CONSOLIDATED PER QUIT CLAIM DEED. THE DEED WAS RECORDED AS ENTRY 12990679, BOOK 10782, PAGES 672-674.



CONSTRUCTION KEYNOTES

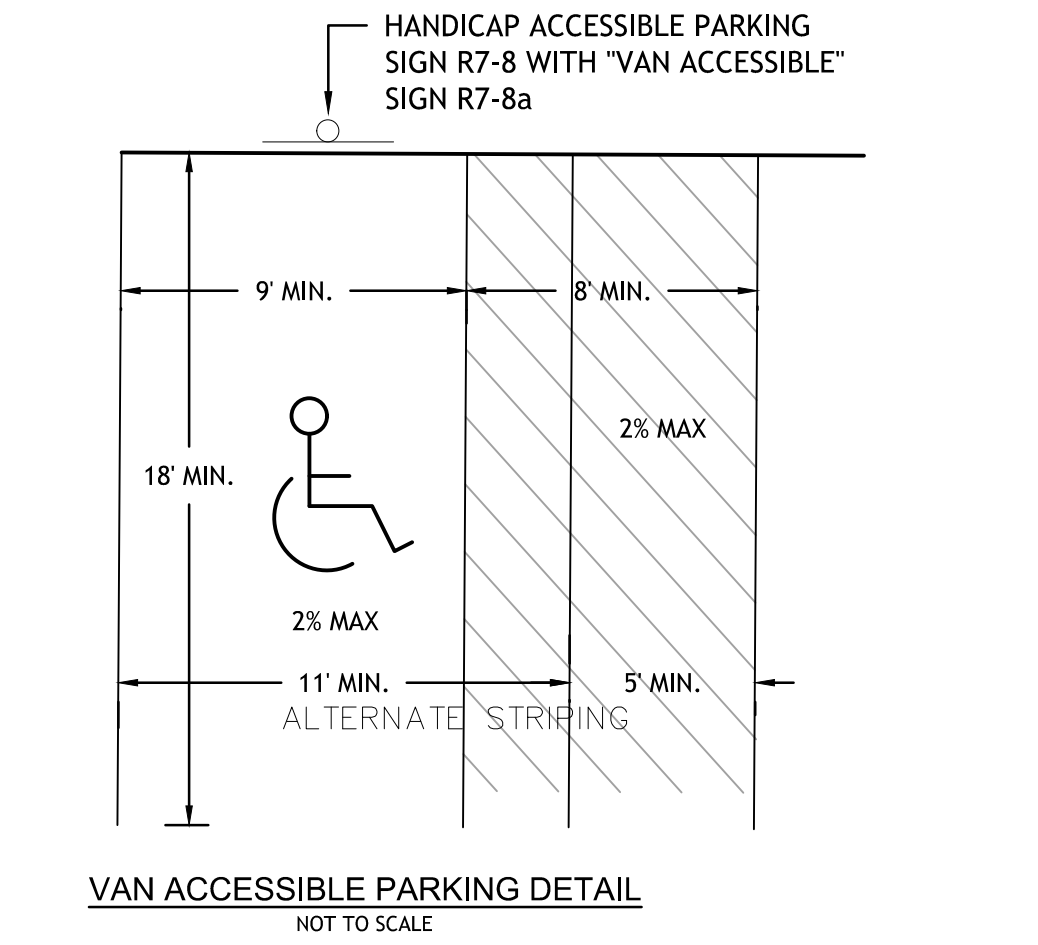
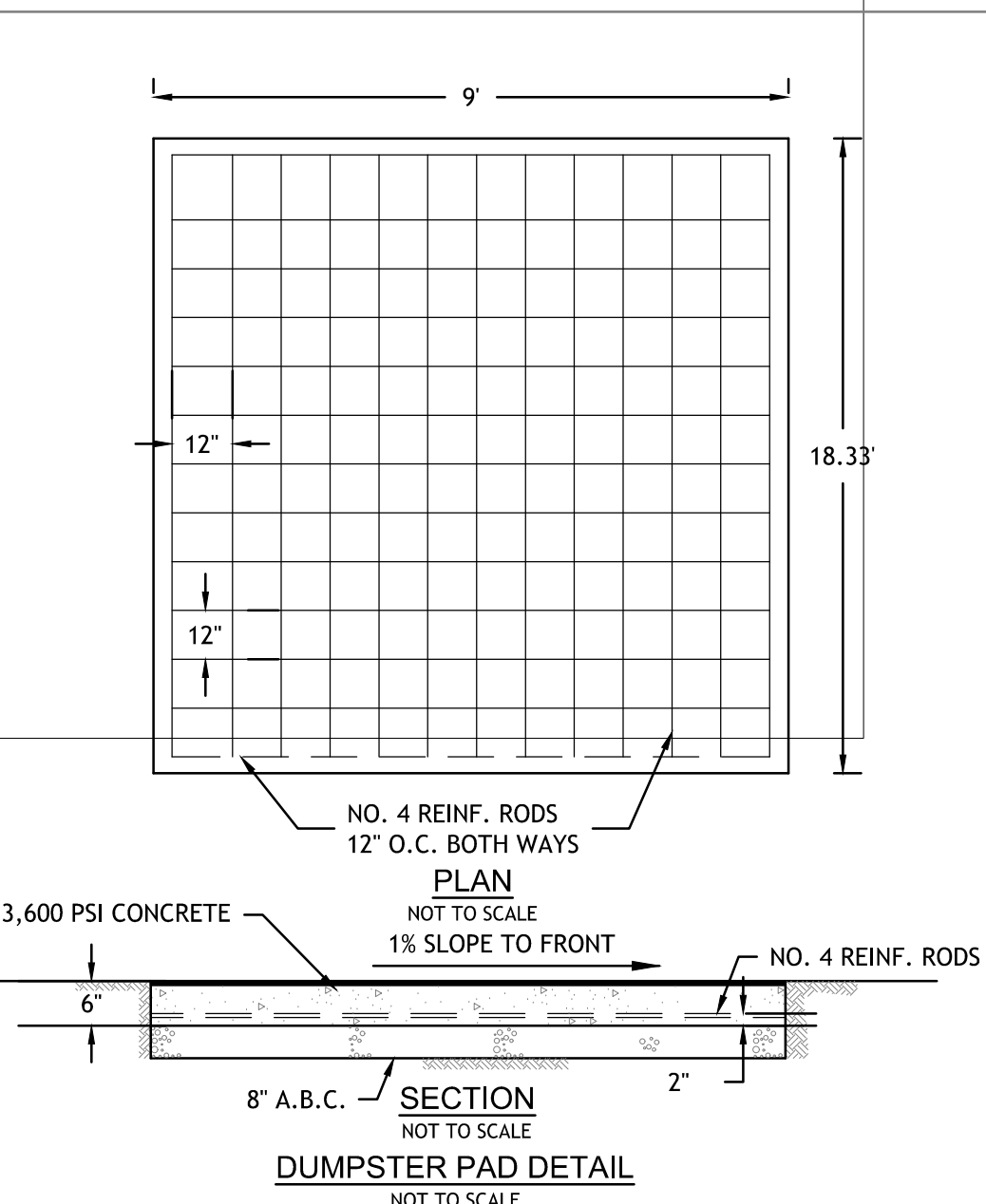
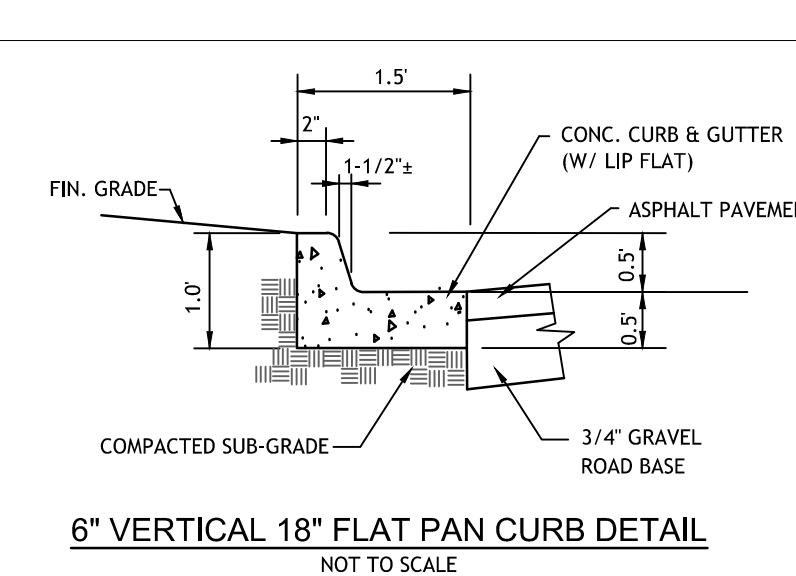
- 1 INSTALL ASPHALT PAVEMENT. SEE SHEET DETAIL FOR TYPICAL PAVEMENT SECTIONS.
- 2 PROPOSED STRUCTURE. SEE ARCHITECTURAL & STRUCTURAL PLANS FOR DETAILS
- 3 INSTALL CONCRETE DRIVE APPROACH, PER APWA 215
- 4 MODIFIED CONCRETE DRIVE APPROACH TO CONFORM PER UDOT GW 3B. ACCESS TO BE PER UDOT STANDARDS.
- 5 INSTALL CONCRETE DUMPSTER PAD. SEE DETAILS. SEE ARCHITECTURAL PLAN FOR TRASH ENCLOSURE DETAILS
- 6 INSTALL SIDEWALK, PER APWA 231
- 7 LANDSCAPE AREA. SEE ARCHITECTURAL PLANS FOR DETAILS
- 8 HANDICAP PARKING SIGN - VAN ACCESSIBLE, AFFIX TO DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS
- 9 VAN ACCESSIBLE HANDICAP STALL, PER ICC A117.1 CH. 502.2, SEE DETAIL, THIS SHEET
- 10 HANDICAP ACCESS AISLE, PER ICC A117.1 CH. 502.3, SEE DETAIL, THIS SHEET
- 11 INSTALL 6" VERTICAL CURB, PER APWA 205 "E"
- 12 INSTALL 6" VERTICAL 18" FLAT-PAN CURB, SEE DETAIL
- 13 INSTALL 6" VERTICAL CURB, PER UDOT GW 2A, TYPE B1
- 14 CONCRETE PATIO. 5.5" CONCRETE, CLASS 4000 PER APWA 232. INSTALL CONCRETE PER 232
- 15 INSTALL PAVERS, PAVEMENT SELECTION & PAVEMENT SECTION PER ARCHITECTURAL PLANS
- 16 4 IN WIDE WHITE PAINT STRIPING
- 17 INSTALL FENCE. SEE LANDSCAPE PLAN FOR DETAILS
- 18 2" ASPHALT SAWCUT, PER APWA 251
- 19 TIE TO EXISTING CURB & GUTTER.
- 20 INSTALL BIKE RACK, PER ARCHITECTURAL PLANS
- 21 SITE LIGHTING, SEE ARCHITECTURAL & LANDSCAPE PLAN
- 22 INSTALL CURB RETURN CONFORMING TO UDOT GW 3B
- 23 CONCRETE SERVICE RAMP
- 24 CONCRETE STEPS CONFORMING TO IBC 1009.3. PROVIDE HANDRAIL PER IBC 1003.5

DEMOLITION KEYNOTES

- 40 PROTECT IN PLACE
- 41 PROTECT CURB, GUTTER, ADA RAMP, & SIDEWALK IN PLACE
- 42 REMOVE CURB & GUTTER
- 43 REMOVE CURB RETURN
- 44 2" ASPHALT SAWCUT, PER APWA 251
- 45 REMOVE ASPHALT
- 46 REMOVE LITE POLE
- 47 REMOVE VERTICAL CURB
- 48 REMOVE CURB RETURN TAPER AND DRIVEWAY SECTION SUFFICIENT FOR INSTALLATION OF NEW CURB RETURN
- 49 PROTECT GUTTER & DRIVEWAY APPROACH RAMP

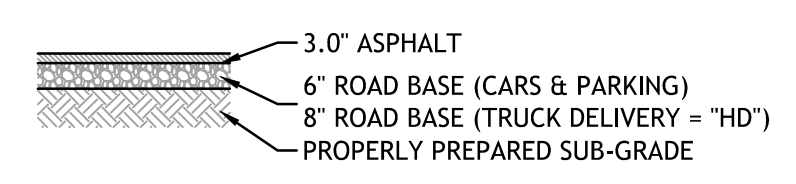
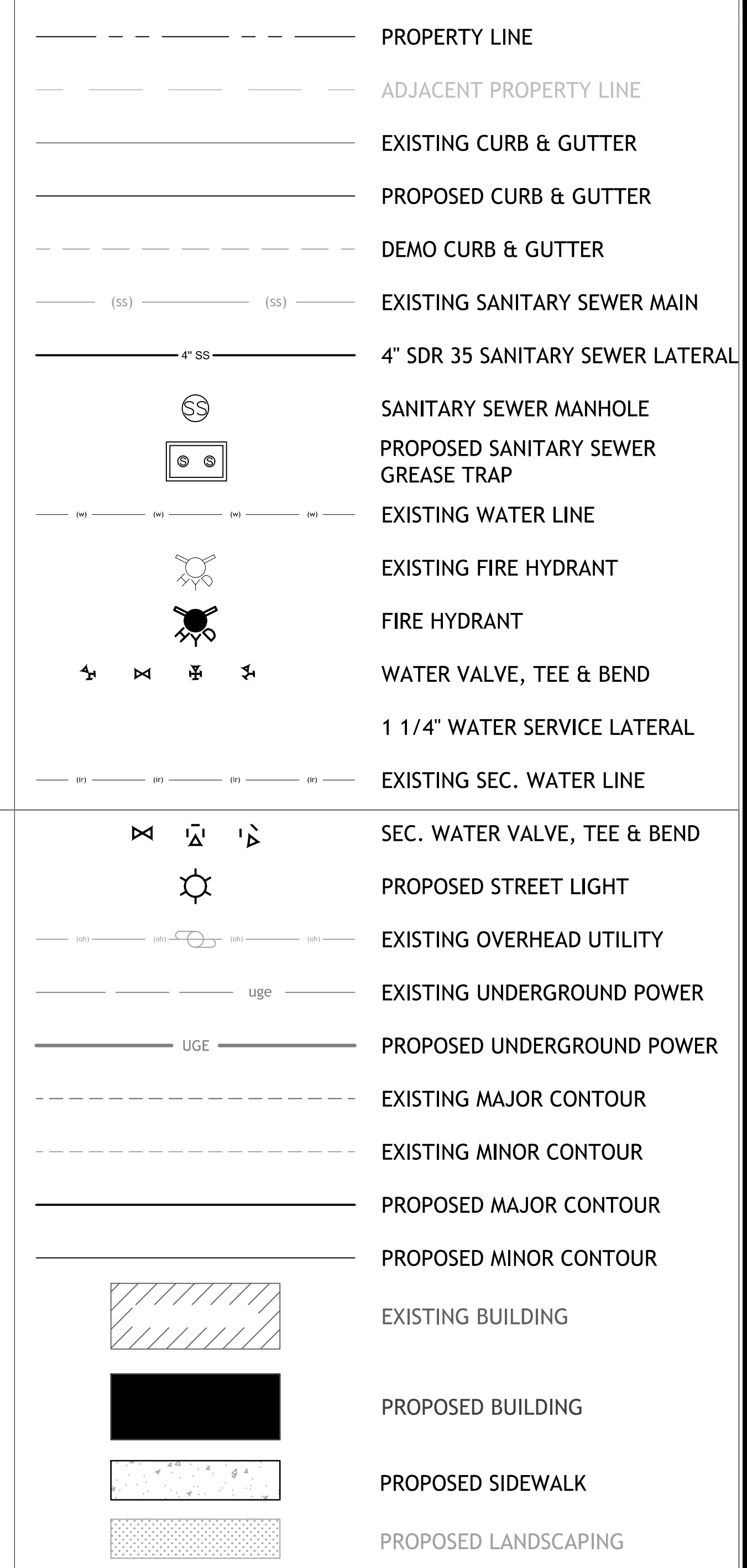
MISCELLANEOUS KEYNOTES

- A UDOT RIGHT OF WAY LINE
- B INSTALL 'RIGHT TURN ONLY' SIGN, PER M.U.T.C.D R3-5R

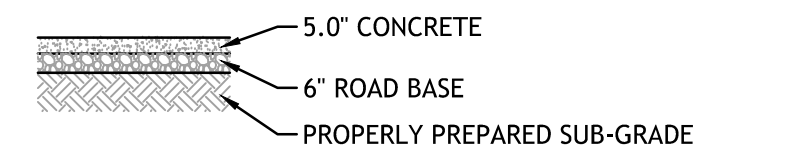


UDOT PERMIT APPLICATION NO. PA-90477

LEGEND

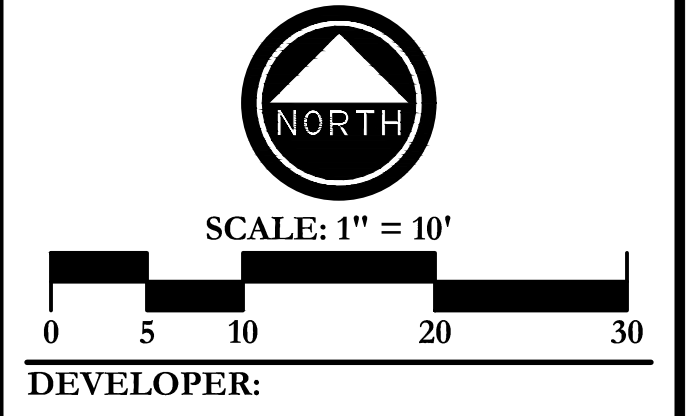


FLEXIBLE PAVEMENT SECTION  
NOT TO SCALE  
\*REFER TO SOILS REPORT FOR ADDITIONAL INFORMATION



RIGID PAVEMENT SECTION  
NOT TO SCALE  
\*REFER TO SOILS REPORT FOR ADDITIONAL INFORMATION

**EDM Partners**  
3980 S 700 E, Suite 22 Salt Lake City, UT 84107  
(801) 305-4670 www.edmpartners.com



DEVELOPER:

- NOTES:
1. All sanitary sewer improvements shall conform with the standards and specifications of Salt Lake City Engineering.
  2. All culinary water improvements shall conform with the standards and specifications of Salt Lake City.
  3. All improvements in the Roosevelt Avenue public right of way shall conform with the standards and specifications of Salt Lake City.
  4. All improvements in the 700 East public right of way shall conform with the standards and specifications of the Utah Department of Transportation.
  5. All other work shall conform to the 2017 Edition of the American Public Works Association (APWA).
  6. Contractor to field locate and verify the horizontal and vertical location of all utilities prior to beginning work.
  7. Prior to working in the public way, a licensed, insured, and bonded contractor, must file this information with SLC Engineering; must obtain a Public Way Permit from SLC Engineering and a Transportation Permit, as required. All work in the Public Way shall follow APWA Standards.
  8. Repair all non-UDOT street cuts per 2012 EDITION APWA 255 for asphalt

BRICKS

COMPOSITE SITE PLAN

PROJECT: \_\_\_\_\_  
DRAWN BY: ERB  
REVIEWED BY: NMM  
REVISIONS: \_\_\_\_\_  
No. DATE REMARKS

DATE: 05/03/2019

SHEET NUMBER: **C.1**

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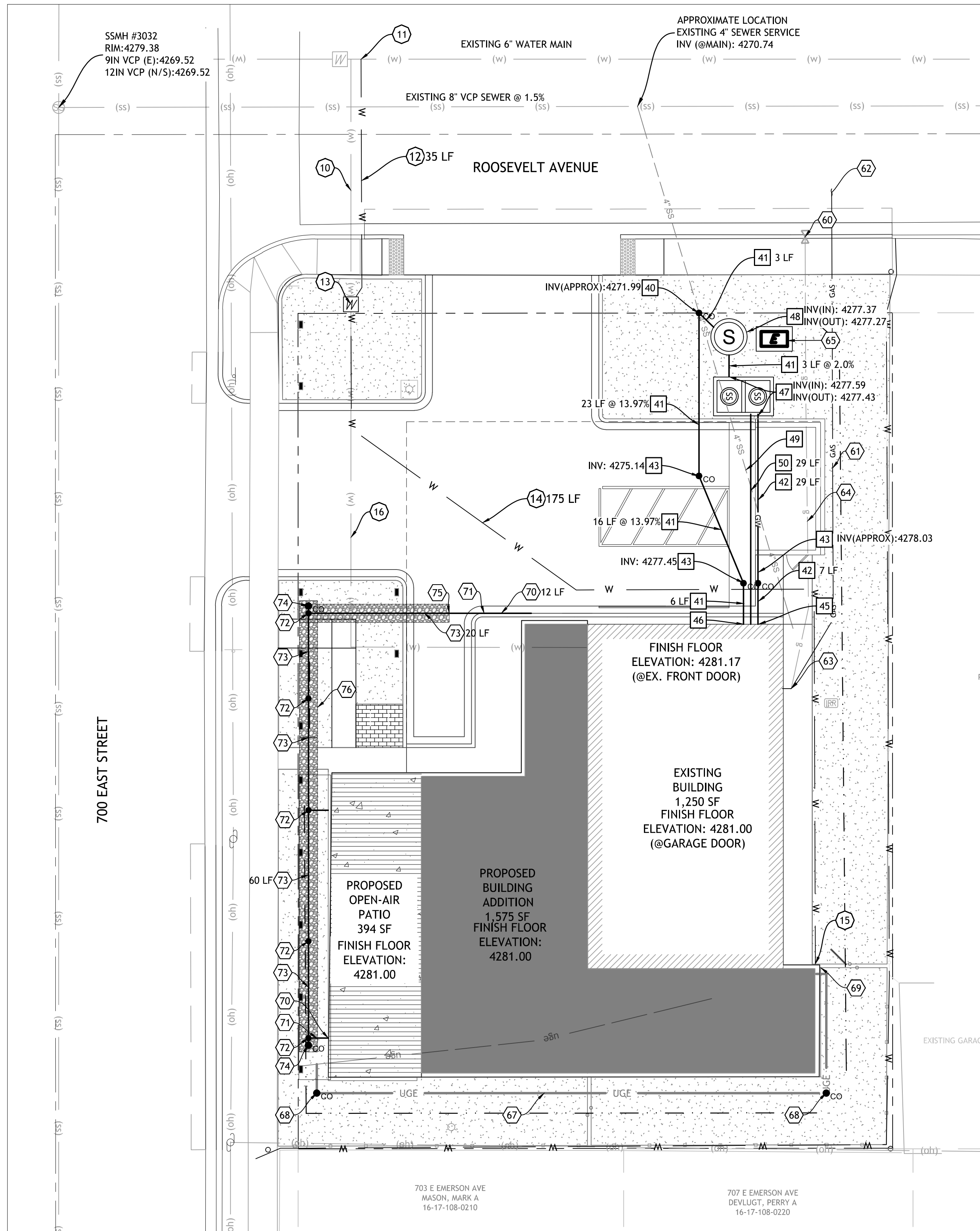
SCALE: 1" = 10'



DEVELOPER:

**NOTES:**

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- Contractor to field locate and verify the horizontal and vertical location of all utilities prior to beginning work.
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- Repair all non-UDOT street cuts per 2012 EDITION APWA 255 for asphalt



**WATER KEYNOTES**

- 10 CUT EXISTING WATER SERVICE, CAP, AND ABANDON AT THE RIGHT-OF-WAY, PER SLC STD PRACTICE #9
- 11 INSTALL 1 1/4" WATER SERVICE TAP, TO CONFORM TO APWA 552
- 12 INSTALL 1 1/4" TYPE 'K' C800 COPPER WATER SERVICE LINE, PER APWA 552
- 13 REPLACE EXISTING 3/4" WATER METER WITH 1" WATER METER, PER APWA 521
- 14 INSTALL 1 1/4" C901 PE WATER SERVICE LINE
- 15 WATER SERVICE TO TERMINATE 5' FROM BUILDING. CONTRACTOR TO COORDINATE WITH PLUMBING/MECHANICAL PLANS FOR RE-CONNECTION TO EXISTING BUILDING.
- 16 CONTRACTOR TO REMOVE EXISTING 3/4" WATER SERVICE LINE FROM BUILDING TO METER
- 17 LOOP WATER SERVICE UNDER PROPOSED SEWER LATERALS, PER APWA 542 "B"

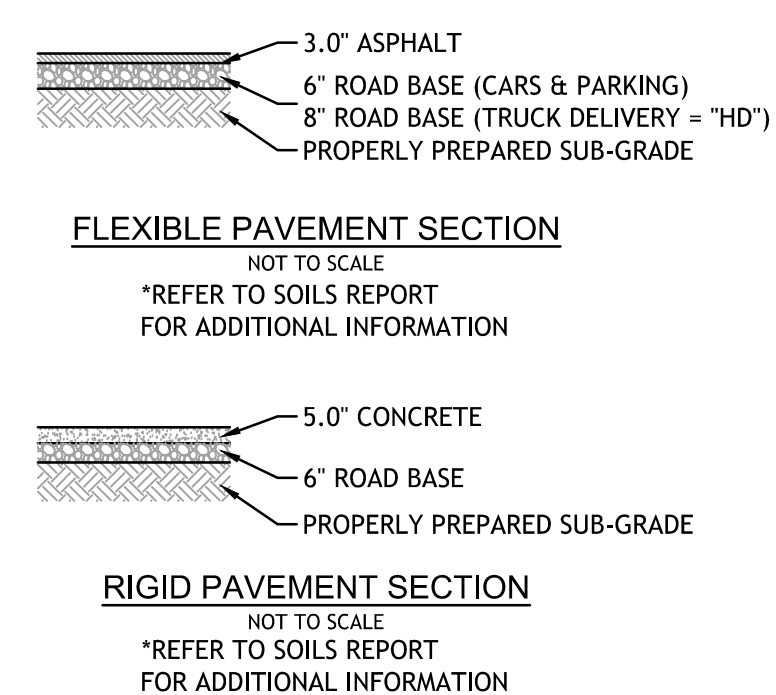
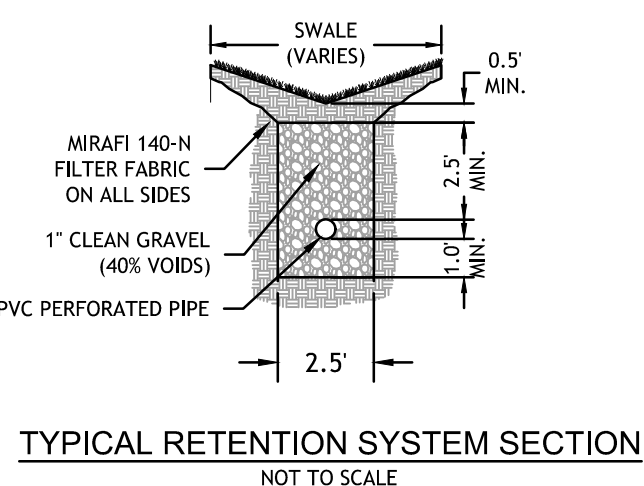
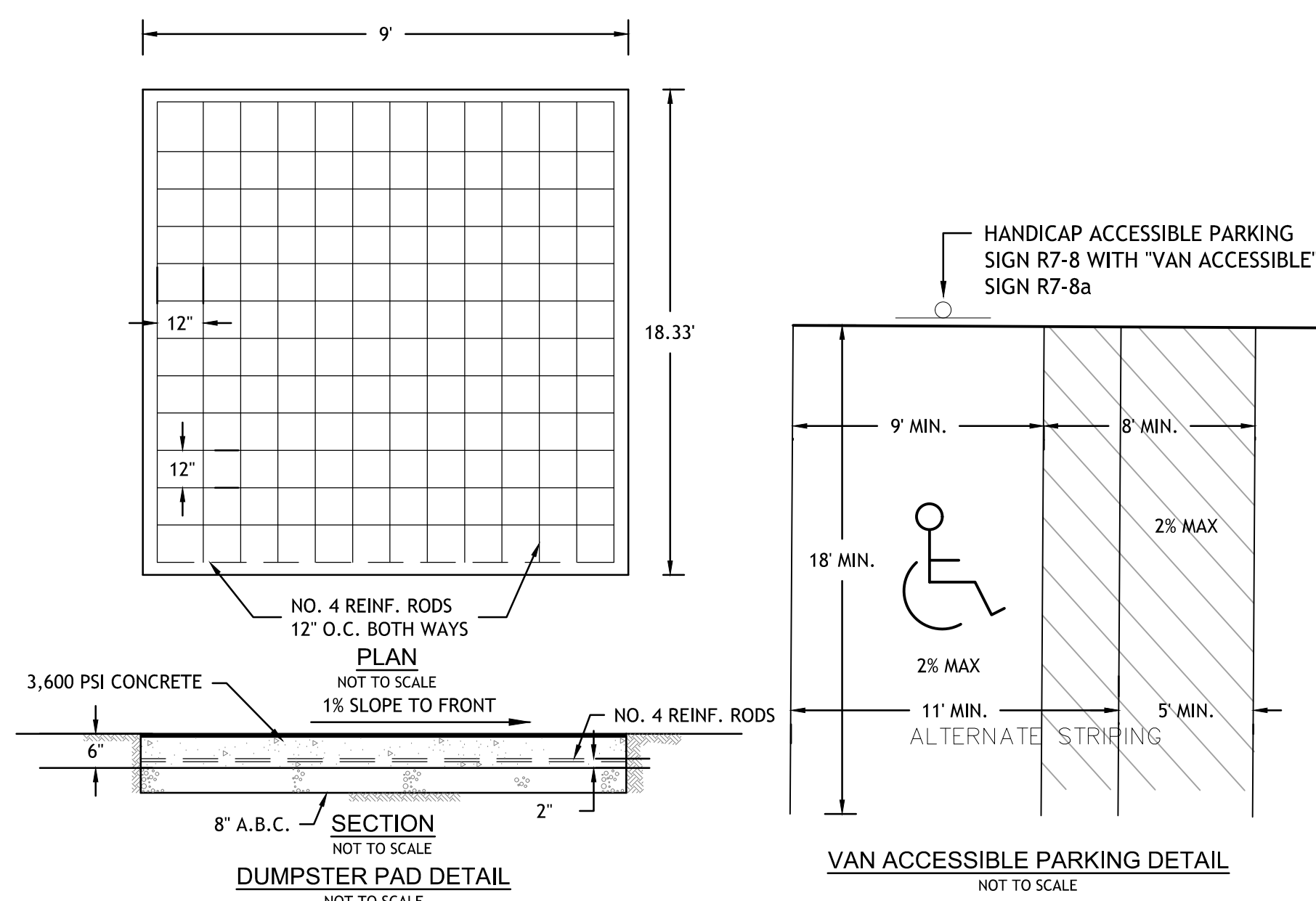
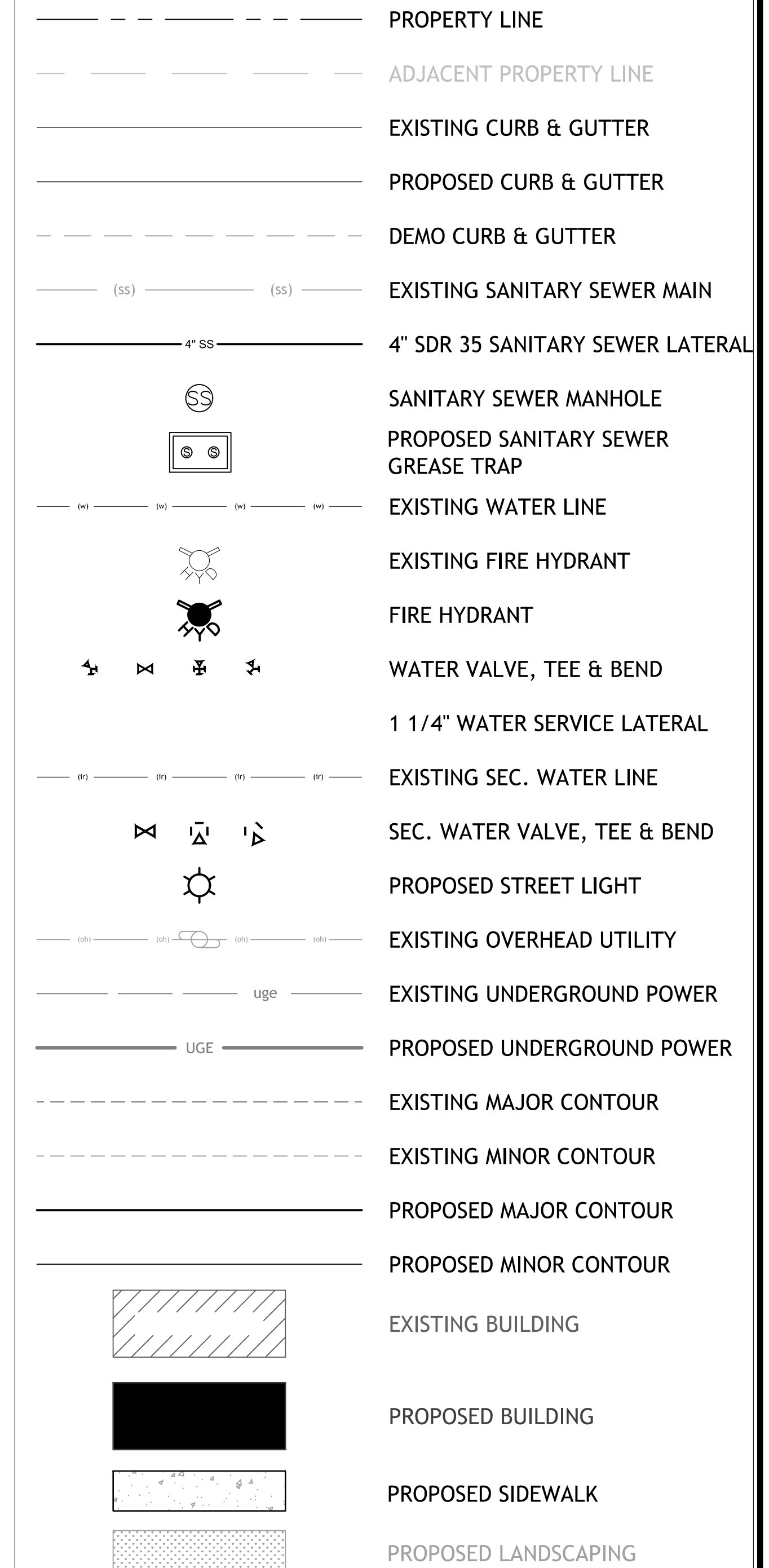
**MISC UTILITY KEYNOTES**

- 60 ABANDON EXISTING GAS SERVICE LINE AT RIGHT-OF-WAY. CONTRACTOR TO COORDINATE WITH DOMINION ENERGY
- 61 INSTALL NEW 1 1/4" GAS SERVICE LATERAL. CONTRACTOR TO COORDINATE WITH DOMINION ENERGY.
- 62 CONTRACTOR TO COORDINATE PROPOSED GAS CONNECTION WITH DOMINION ENERGY
- 63 REPLACE EXISTING GAS METER w/ 2LB GAS METER. SEE MECHANICAL PLANS. CONTRACTOR TO COORDINATE WITH DOMINION ENERGY
- 64 REMOVE EXISTING GAS SERVICE LINE
- 65 PROPOSED ELECTRICAL TRANSFORMER. COORDINATE WITH ELECTRICAL PLANS
- 66 REROUTE ELECTRICAL CONDUIT TO EXISTING BUILDING. CONTRACTOR TO COORDINATE WITH ELECTRICAL PLAN
- 67 INSTALL 4" PVC ELECTRICAL CONDUIT. SEE ELECTRICAL PLANS.
- 68 INSTALL CONDUIT CLEANOUTS
- 69 RECONNECT REROUTED UTILITIES TO EXISTING BUILDING. CONTRACTOR TO COORDINATE WITH RESPECTIVE DISCIPLINE.
- 70 CONNECT TO BUILDING ROOF DRAIN. SEE MECHANICAL PLANS.
- 71 INSTALL 6" ASTM PVC 3034 STORM PIPE
- 72 INSTALL POP-UP EMITTER
- 73 INSTALL PERFORATED 6" PVC STORM PIPE
- 74 INSTALL 4" STORM DRAIN CLEANOUT
- 75 TRANSITION PIPE MATERIAL
- 76 CONSTRUCT STORM RETENTION SYSTEM. SEE DETAIL.

**SEWER KEYNOTES**

- CUT EXISTING 4" PVC SEWER LATERAL AND CONNECT NEW SEWER LATERAL. INSTALL 4" CLEANOUT & SWEEPING "WYE". CONTRACTOR TO VERIFY TIE-IN LOCATION & EX. INVERT ELEVATION PRIOR TO ANY PROJECT DEMOLITION OR CONSTRUCTION.
- 40 INSTALL 4" PVC ASTM 3034D SDR 35 PVC SANITARY SERVICE, PER APWA 431 & 432
- 41 INSTALL 4" PVC ASTM 3034D SDR 35 PVC SEWER "GREASE" LINE @ 2.0% MIN, PER APWA 431
- 42 INSTALL TRAFFIC RATED SEWER CLEANOUT
- 43 INSTALL 4" SWEEPING "WYE" TERMINATE LATERAL WITHIN 5' OF BUILDING. INVERT TO BE 36" MIN. BELOW FINISH FLOOR ELEVATION. SEE PLUMBING/MECHANICAL PLANS FOR CONNECTION DETAILS. INSTALL 3"x4" ECCENTRIC REDUCER AT BUILDING CONNECTION.
- 44 TERMINATE LATERAL WITHIN 5' OF BUILDING. INVERT TO BE 36" MIN. BELOW FINISH FLOOR ELEVATION. SEE PLUMBING/MECHANICAL PLANS FOR CONNECTION DETAILS.
- 45 INSTALL SANITARY SEWER GREASE TRAP, PER APWA 441. SEE MECHANICAL/PLUMBING PLAN FOR DETAILS & SIZING.
- 46 INSTALL 4" SANITARY SEWER SAMPLING MANHOLE, PER APWA 411
- 47 REMOVE EXISTING SEWER LATERAL FROM RIGHT-OF-WAY TO BUILDING
- 48 REMOVE EXISTING SEWER LATERAL FROM RIGHT-OF-WAY TO BUILDING
- 49 REMOVE EXISTING SEWER LATERAL FROM RIGHT-OF-WAY TO BUILDING
- 50 INSTALL 2" VENT LINE. SEE MECHANICAL

**LEGEND**



- NOTES:**
- SIGNS PLACED IN CONCRETE AREAS SHALL BE PROTECTED BY PLACING WITHIN CONCRETE BOLLARD
  - ALL ADA SIGNS AND STRIPING TO MEET MOST CURRENT ADA STANDARDS AS GOVERNED BY THE DEPT OF JUSTICE
  - GRADING SHALL NOT EXCEED 2% IN ALL DIRECTIONS

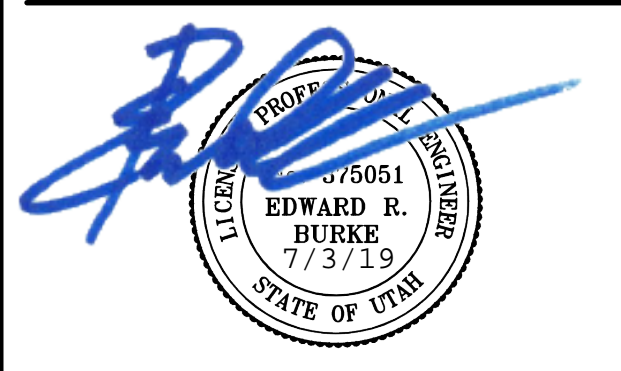
**BRICKS**

**UTILITY PLAN**

PROJECT: \_\_\_\_\_  
DRAWN BY: ERB  
REVIEWED BY: NMM  
REVISIONS: \_\_\_\_\_  
No. DATE REMARKS

DATE: 05/03/2019

SHEET NUMBER: **C.2**



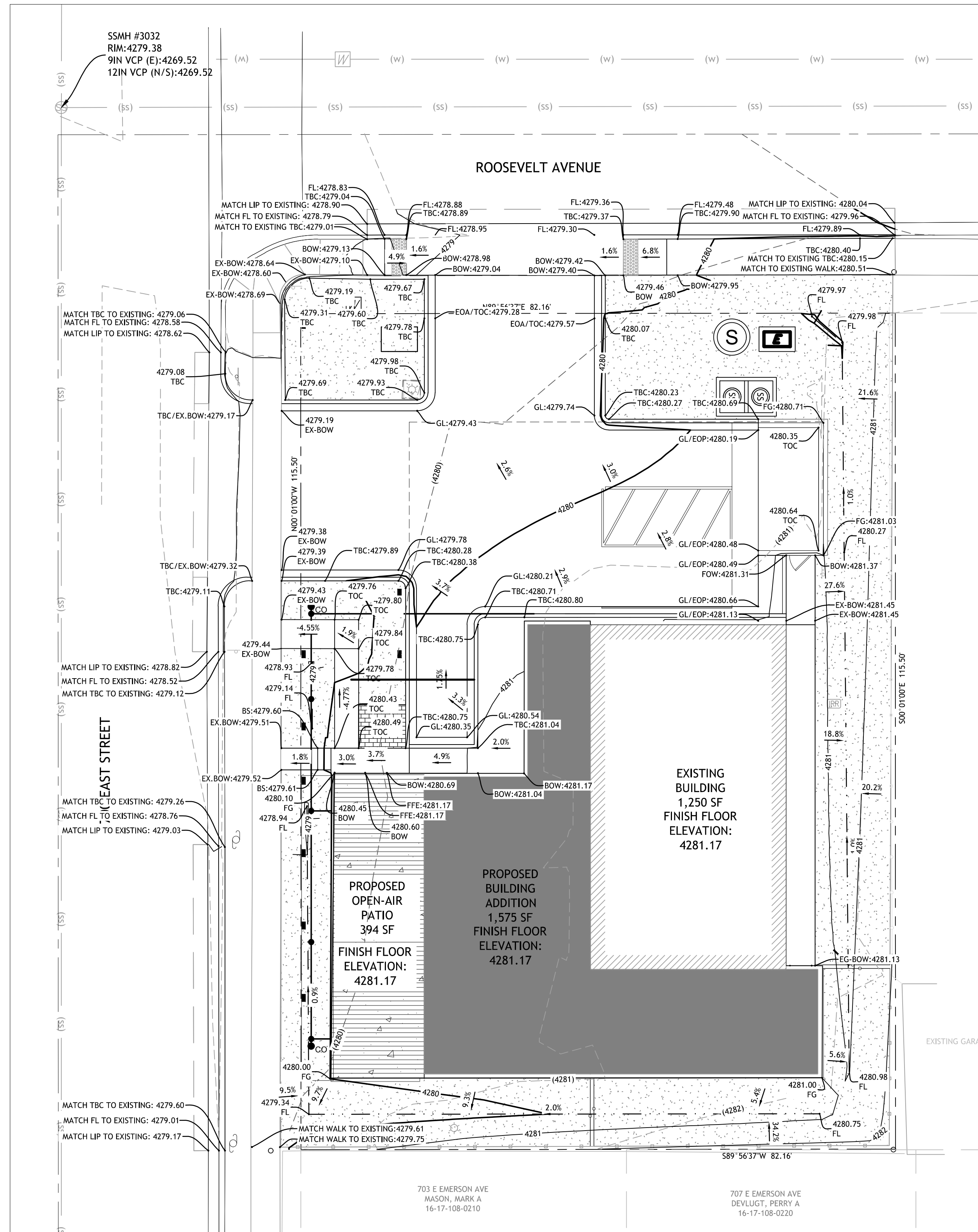




SCALE: 1" = 10'



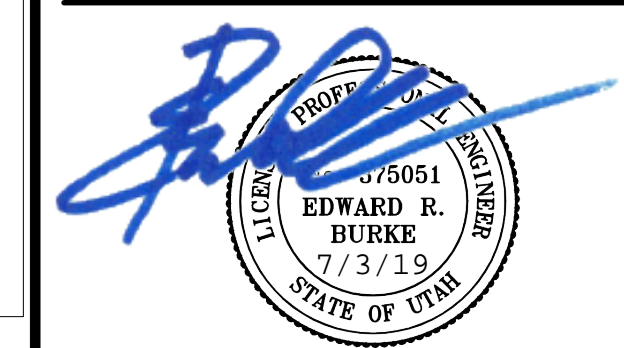
DEVELOPER:



SPOT ELEVATION LEGEND	
EG	EXISTING GRADE
FG	FINISH GRADE
FFE	FINISH FLOOR ELEVATION
GF	GARAGE FLOOR ELEVATION
TBC	TOP BACK OF CURB
FL	FLOW LINE
GL	GUTTER LIP
CL	CENTERLINE OF ROAD
TOP	TOP OF STAIR RISER ELEVATION
TOE	BOTTOM OF STAIR RISER ELEVATION
FOW	FRONT OF WALK ELEVATION
BOW	BACK OF WALK ELEVATION
EX*	TIE TO EXISTING FEATURE

LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	DEMO CURB & GUTTER
	EXISTING SANITARY SEWER MAIN
	4" SDR 35 SANITARY SEWER LATERAL
	SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER GREASE TRAP
	EXISTING WATER LINE
	EXISTING FIRE HYDRANT
	FIRE HYDRANT
	WATER VALVE, TEE & BEND
	1 1/4" WATER SERVICE LATERAL
	EXISTING SEC. WATER LINE
	SEC. WATER VALVE, TEE & BEND
	PROPOSED STREET LIGHT
	EXISTING OVERHEAD UTILITY
	EXISTING UNDERGROUND POWER
	PROPOSED UNDERGROUND POWER
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING BUILDING
	PROPOSED BUILDING
	PROPOSED SIDEWALK
	PROPOSED LANDSCAPING

- NOTES:
- All sanitary sewer improvements shall conform with the standards and specifications of Salt Lake City Engineering.
  - All culinary water improvements shall conform with the standards and specifications of Salt Lake City.
  - All improvements in the Roosevelt Avenue public right of way shall conform with the standards and specifications of Salt Lake City.
  - All improvements in the 700 East public right of way shall conform with the standards and specifications the Utah Department of Transportation.
  - All other work shall conform to the 2017 Edition of the American Public Works Association (APWA).
  - Contractor to field locate and verify the horizontal and vertical location of all utilities prior to beginning work.
  - Prior to working in the public way, a licensed, insured, and bonded contractor, must file this information with SLC Engineering; must obtain a Public Way Permit from SLC Engineering and a Transportation Permit, as required. All work in the Public Way shall follow APWA Standards.
  - Repair all non-UDOT street cuts per 2012 EDITION APWA 255 for asphalt.



**BRICKS**

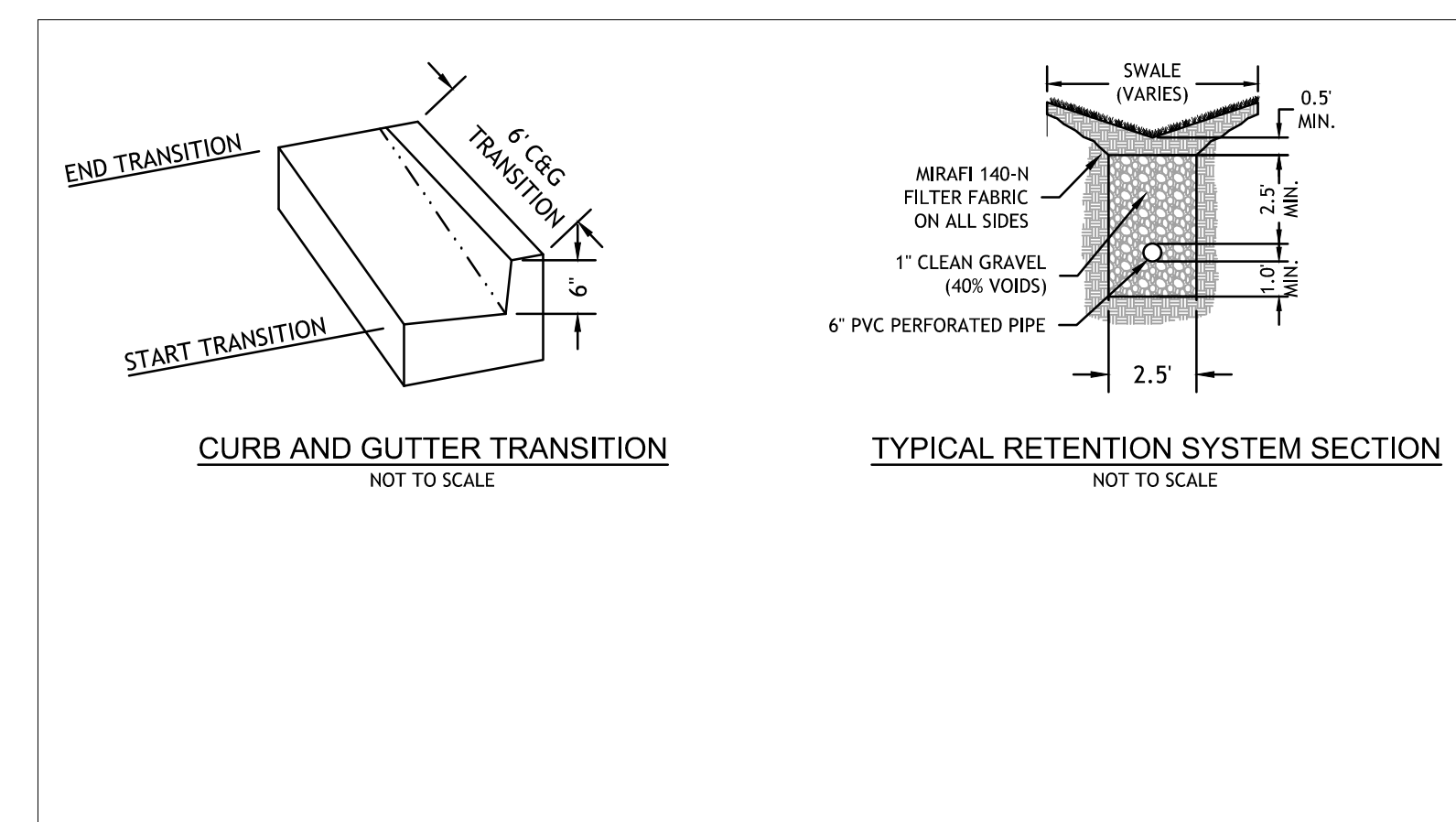
**GRADING PLAN**

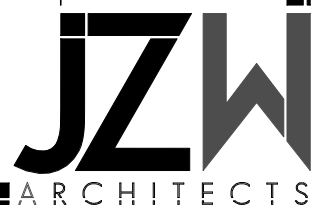
PROJECT: \_\_\_\_\_  
 DRAWN BY: ERB  
 REVIEWED BY: NMM  
 REVISIONS: \_\_\_\_\_  
 No. DATE REMARKS

DATE: 05/03/2019

SHEET NUMBER:

**C.3**



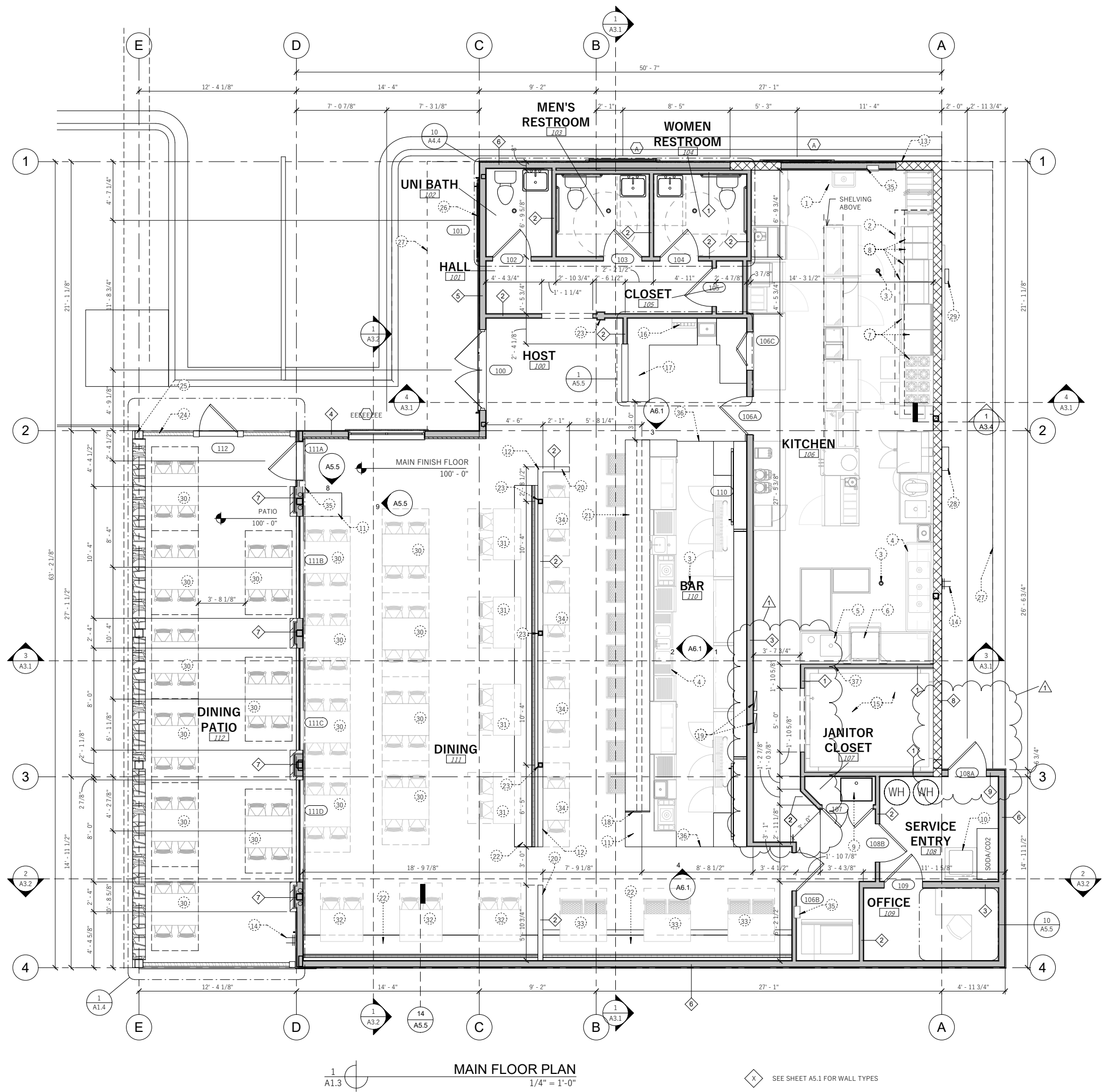


GENERAL NOTES

- (A) SEE GENERAL NOTES ON SHEET T1.2 FOR ADDITIONAL REQUIREMENTS.
- (B) DIMENSIONS TO DOORS AND WINDOWS ARE TO CENTER OF FRAMED OPENING UNLESS NOTED OTHERWISE. DIMENSIONS TO STOREFRONT ARE TO EDGE OF OPENING.
- (C) SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS, INCLUDING FOUNDATION WALL SPECIFICATIONS, AND SHEARWALL AND HOLDDOWN REQUIREMENTS.
- (D) PROVIDE SOUND INSULATION IN ALL WALLS AROUND BATHROOMS, AND OFFICES
- (E) COORDINATE ALL WINDOW HEAD HEIGHTS AND SIZES WITH ELEVATIONS AND WINDOW SCHEDULE.
- (F) ALL EXTERIOR DIMENSIONS TO FACE OF WALL SHEATHING. ALL INTERIOR DIMENSIONS TO FACE OF STUD.
- (G) COORDINATE CABINERY DESIGN, CONSTRUCTION, AND INSTALLATION WITH ELECTRICAL. OWNER TO APPROVE CABINET MANUFACTURER, STYLES, FINISHES, AND COLORS.

KEYED NOTES

- 1 PROVIDE NEW HAND SINK AT THIS LOCATION.
- 2 INSTALL NEW KITCHEN EXHAUST HOOD AS PER MANUFACTURER. SEE DETAIL ...
- 3 FOR 2'-0" MIN. RADIUS AROUND THE DRAIN THE FLOORING SHALL SLOPE AT A MINIMUM OF 1/8" PER FOOT. KITCHEN FLOOR TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. SEE ROOM FINISH SCHEDULE ON SHEET ...
- 4 3 COMPARTMENT SINK. COORDINATE WITH PLUMBING DRAWINGS.
- 5 SPRAY SINK.
- 6 PROVIDE NEW COMMERCIAL KITCHEN DISH WASHER.
- 7 PROPOSED COMMERCIAL STOVE WITH COOKTOP.
- 8 PROPOSED DEEP FRYER.
- 9 MOP SINK - REFER TO PLUMBING PLANS.
- 10 PROVIDE HOOKUPS AND FLOOR DRAIN FOR WASHER LOCATION.
- 11 SERVER STATION.
- 12 42" HIGH WALL
- 13 COVER EXISTING CMU WALL WITH STUCCO.
- 14 COLD WATER HOSE BIB. COORDINATE WITH MECHANICAL DRAWINGS.
- 15 WALKIN COOLER
- 16 SODA DISPENSER
- 17 HOST STATION. SEE CABINET ELEVATIONS
- 18 PARTITION WALL.
- 19 ELECTRICAL PANEL LOCATION.
- 20 48" HIGH WALL
- 21 DOWN LIGHTING UNDERNEATH BAR TOP.
- 22 BUILT-IN BANQUET SEATING. SEE ARCHITECTURAL DETAILS 12, 13, AND 14 ON SHEET A5.5
- 23 COLUMN AS PER STRUCTURE. SEE STRUCTURAL PLANS.
- 24 42" WOOD FENCE WITH GABION ROCK WALL
- 25 BLACK GABION ROCK. SEE DETAIL 2/A1.4
- 26 BARN DOOR, FIXED IN PLACE. SEE DOOR SCHEDULE
- 27 DASHED LINE REPRESENTS CANOPY ABOVE.
- 28 EXISTING ELECTRICAL METER.
- 29 EXISTING GAS METER.
- 30 30" X 44" CUSTOM BUILT TABLE. SEE DETAIL 21/A5.5
- 31 26" X 48" CUSTOM BUILT TABLE. SEE DETAIL 18/A5.5
- 32 30" X 40" CUSTOM BUILT TABLE. SEE DETAIL 20/A5.5
- 33 26" X 44" CUSTOM BUILT TABLE. SEE DETAIL 17/A5.5
- 34 30" X 25" CUSTOM BUILT TABLE. SEE DETAIL 19/A5.5
- 35 PROVIDE FIRE EXTINGUISHER AND CABINET AS PER I.F.C.
- 36 LINE HERE INDICATES LOCATION OF FINISH FLOOR MATERIAL CHANGE AS PER ROOM FINISH SCHEDULE
- 37 ADD BLOCKING BEHIND SINK.



MAIN FLOOR PLAN  
1/4" = 1'-0"

SEE SHEET A5.1 FOR WALL TYPES



## **ATTACHMENT C: RENDERING**

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1  
X1.0 3D PERSPECTIVE - OPTION 2

BRICK'S  
1465 SOUTH 700 EAST  
SALT LAKE CITY, UTAH

3D PERSPECTIVE

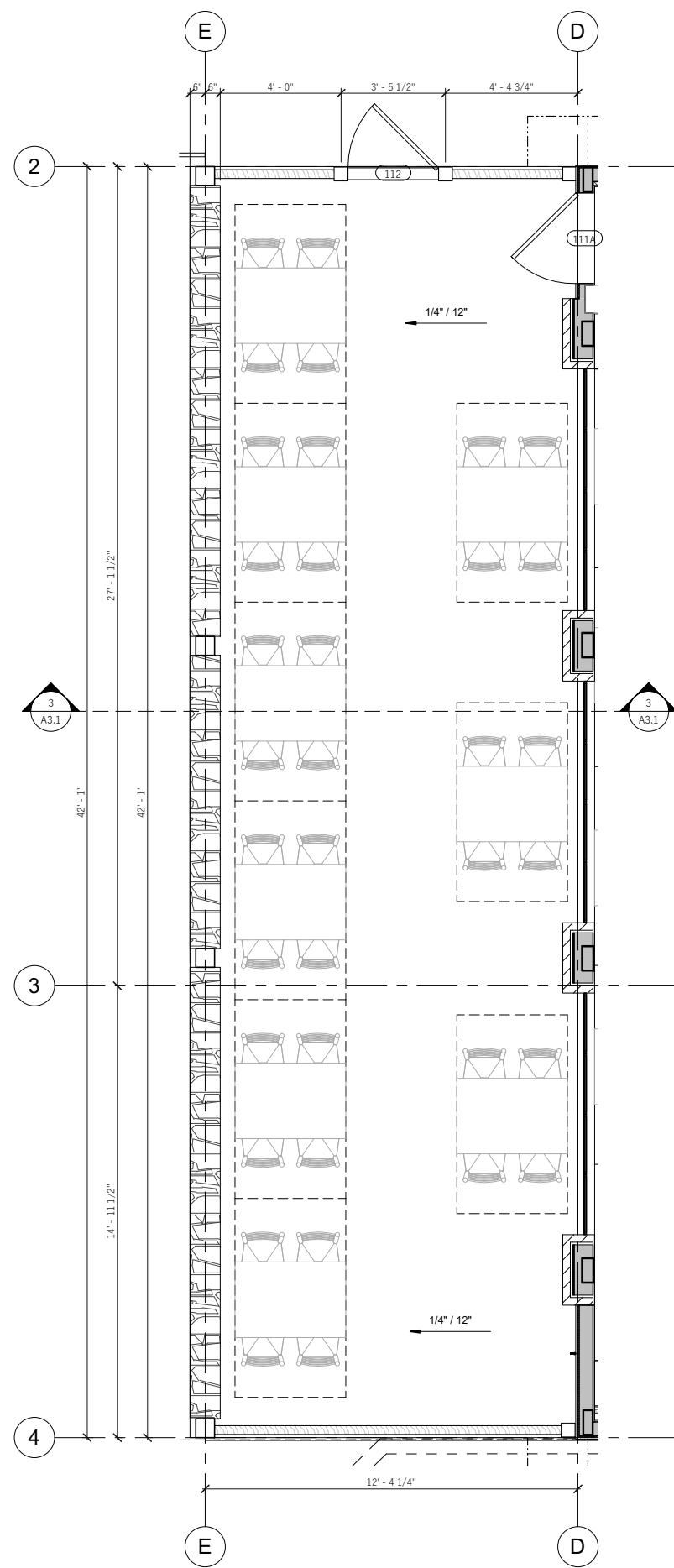
X1.0

## **ATTACHMENT D: ELEVATIONS**

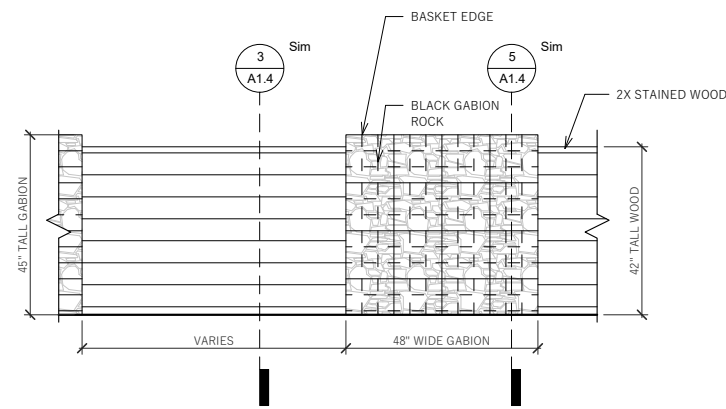
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GENERAL NOTES

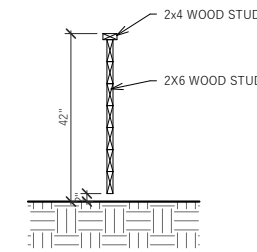
- (A) SEE GENERAL NOTES ON SHEET T1.2 FOR ADDITIONAL REQUIREMENTS.
- (B) DIMENSIONS TO DOORS AND WINDOWS ARE TO CENTER OF FRAMED OPENING UNLESS NOTED OTHERWISE. DIMENSIONS TO STOREFRONT ARE TO EDGE OF OPENING.
- (C) SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS, INCLUDING FOUNDATION WALL SPECIFICATIONS, AND SHEARWALL AND HOLDDOWN REQUIREMENTS.
- (D) PROVIDE SOUND INSULATION IN ALL WALLS AROUND BATHROOMS, AND OFFICES
- (E) COORDINATE ALL WINDOW HEAD HEIGHTS AND SIZES WITH ELEVATIONS AND WINDOW SCHEDULE.
- (F) ALL EXTERIOR DIMENSIONS TO FACE OF WALL SHEATHING. ALL INTERIOR DIMENSIONS TO FACE OF STUD.
- (G) COORDINATE CABINETRY DESIGN, CONSTRUCTION, AND INSTALLATION WITH ELECTRICAL. OWNER TO APPROVE CABINET MANUFACTURER, STYLES, FINISHES, AND COLORS.



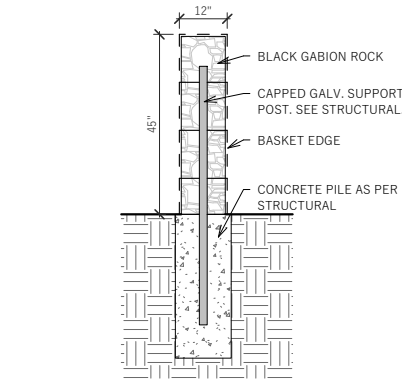
1 ENLARGED DINING PATIO 3/8" = 1'-0"



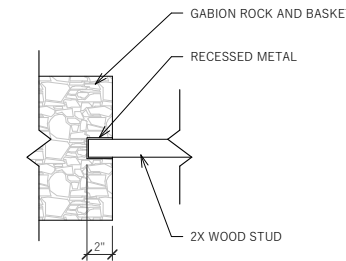
2 PATIO FENCE ELEVATION 1/2" = 1'-0"



3 WOOD FENCE DETAIL - 42" 1/2" = 1'-0"



5 GABION WALL DETAIL 1/2" = 1'-0"



4 GABION TO WOOD DETAIL 1 1/2" = 1'-0"

BRICK'S  
1465 SOUTH 700 EAST  
SALT LAKE CITY, UTAH

ENLARGED  
DINING PATIO  
AND DETAILS

A1.4





GENERAL NOTES

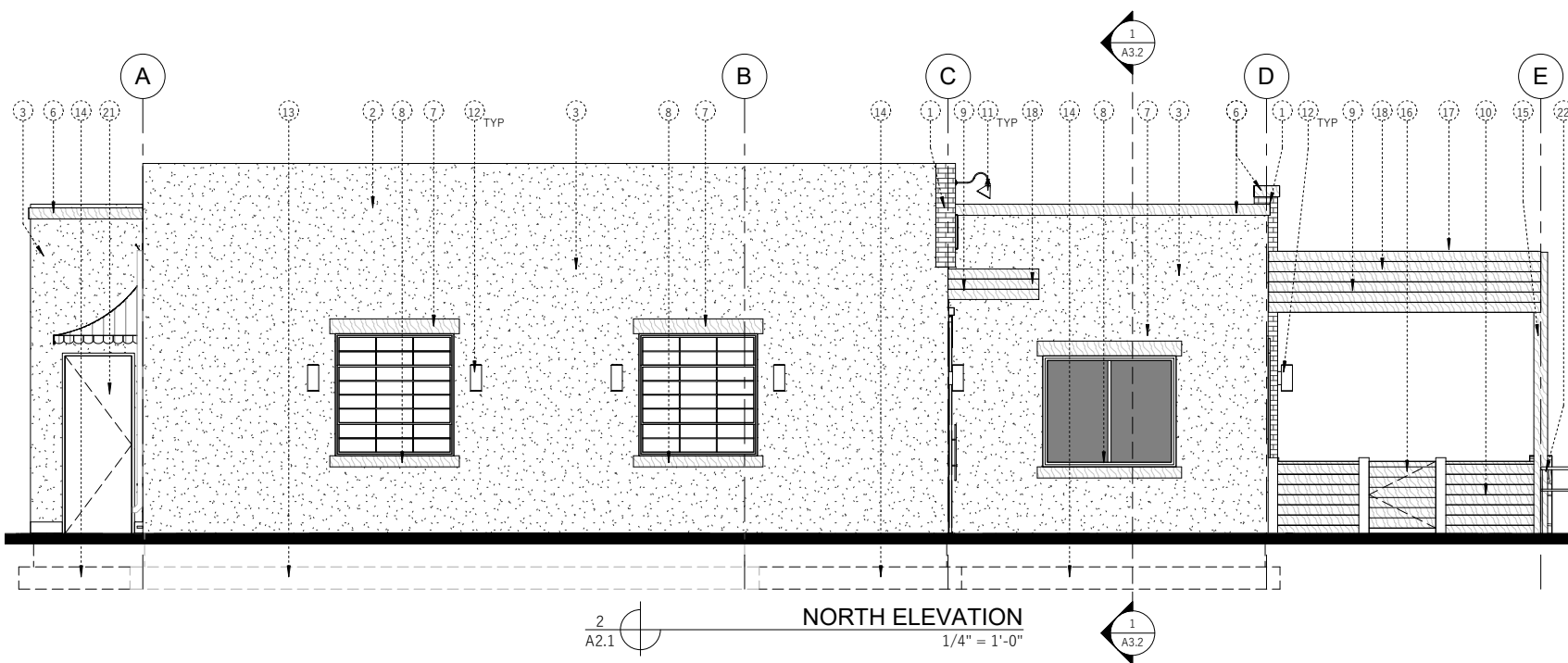
- (A) SEE GENERAL NOTES ON SHEET T1.2 FOR ADDITIONAL REQUIREMENTS
- (B) COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE.
- (C) FINISH ROOF TO BE MEMBRANE ROOFING. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.
- (D) COORDINATE ALL BEARING ELEVATIONS WITH ROOF FRAMING PLAN. SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL FRAMING REQUIREMENTS.
- (E) SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS, INCLUDING FOUNDATION WALL SPECIFICATIONS, AND SHEARWALL AND HOLDDOWN REQUIREMENTS.
- (F) PROVIDE RAIN GUTTERS AND DOWN SPOUTS AS REQUIRED.
- (G) OWNER TO APPROVE BRICK. INSTALL AS PER ELEVATIONS, AND AS PER MANUFACTURER. SEE GENERAL MASONRY NOTES.
- (H) SEE ROOF PLAN FOR ALL ROOF SLOPES.
- (I) OWNER TO APPROVE STUCCO COLOR. INSTALL AS PER ELEVATIONS, AND AS PER MANUFACTURER.

KEYED NOTES

- 1 BLACK BRICK
- 2 BLACK STUCCO OVER CMU
- 3 BLACK STUCCO
- 4 BARN DOOR, FIXED IN PLACE. SEE DOOR SCHEDULE
- 5 SIGNAGE
- 6 6" WOOD CORNICE, STAINED.
- 7 8" WOOD TRIM STAINED
- 8 6" WOOD SILL TRIM, STAINED.
- 9 WOOD TRIM AROUND AWNING. SEE DETAILS
- 10 42" WOOD FENCE WITH GABION ROCK WALL
- 11 GOOSNECK LIGHTING FIXTURE
- 12 WALL SCONCE
- 13 EXISTING FOOTING AND FOUNDATION WALL.
- 14 CONCRETE FOOTING. SEE FOOTING AND FOUNDATION PLAN.
- 15 SHADE AS PER OWNER
- 16 GATE
- 17 ROD SUPPORTS. SEE STRUCTURAL
- 18 CORRUGATED METAL AWNING. SEE STRUCTURAL
- 19 STOREFRONT. SEE DOOR SCHEDULE
- 20 GARAGE DOOR. SEE DOOR SCHEDULE
- 21 SEE DOOR SCHEDULE
- 22 BLACK GABION ROCK. SEE DETAIL 2/A1.4

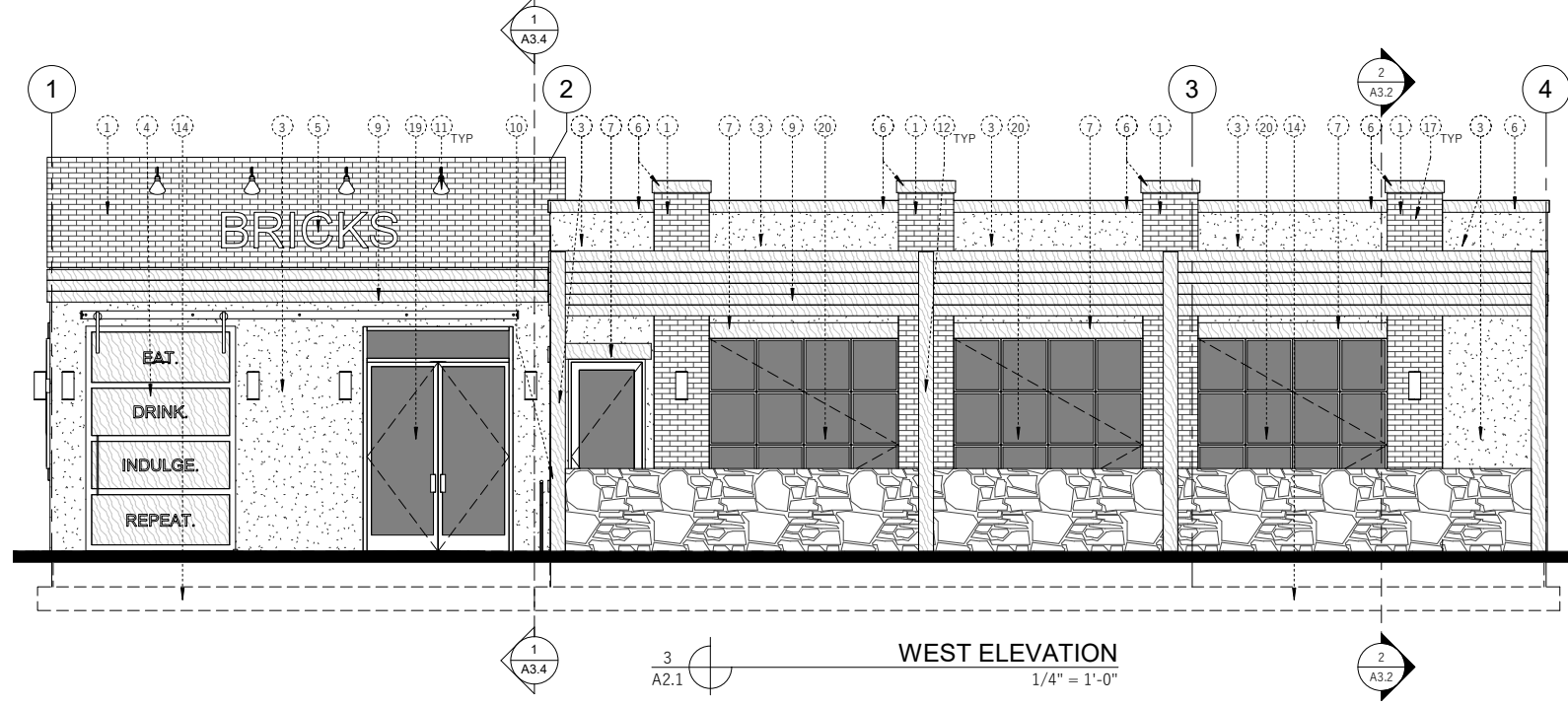


3D PERSPECTIVE  
1/4" = 1'-0"



NORTH ELEVATION  
1/4" = 1'-0"

- T.O. PARAPET 3  
116' - 8"
  - T.O. PARAPET 2  
115' - 8"
  - T.O. EXISTING  
CMU WALL 2  
114' - 10"
  - T.O. PARAPET 1  
114' - 10"
- MAIN FLOOR  
FINISH ELEVATION  
MATCH EXISTING
- B.O. FOOTING  
TO BE 30" BELOW  
FINISH GRADE MIN.



WEST ELEVATION  
1/4" = 1'-0"

- T.O. PARAPET 3  
116' - 8"
  - T.O. PARAPET 2  
115' - 8"
  - T.O. EXISTING  
CMU WALL 2  
114' - 10"
  - T.O. PARAPET 1  
114' - 10"
- MAIN FLOOR  
FINISH ELEVATION  
MATCH EXISTING
- B.O. FOOTING  
TO BE 30" BELOW  
FINISH GRADE MIN.

BRICK'S  
1465 SOUTH 700 EAST  
SALT LAKE CITY, UTAH

NORTH AND WEST  
ELEVATIONS

A2.1

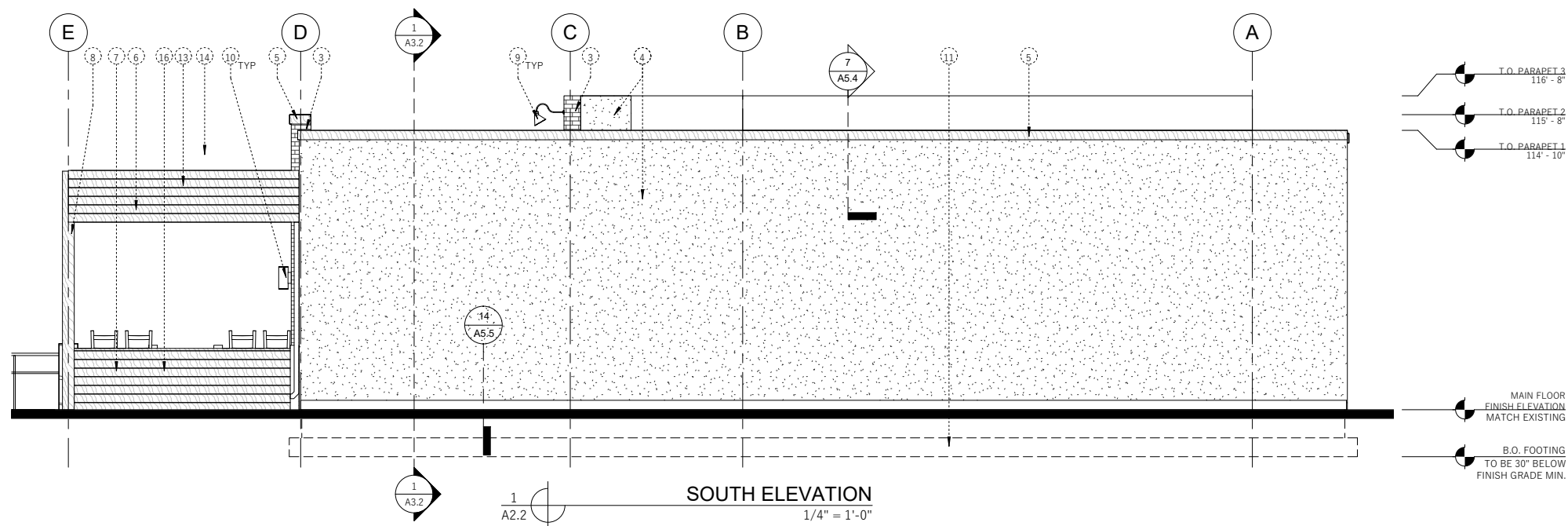
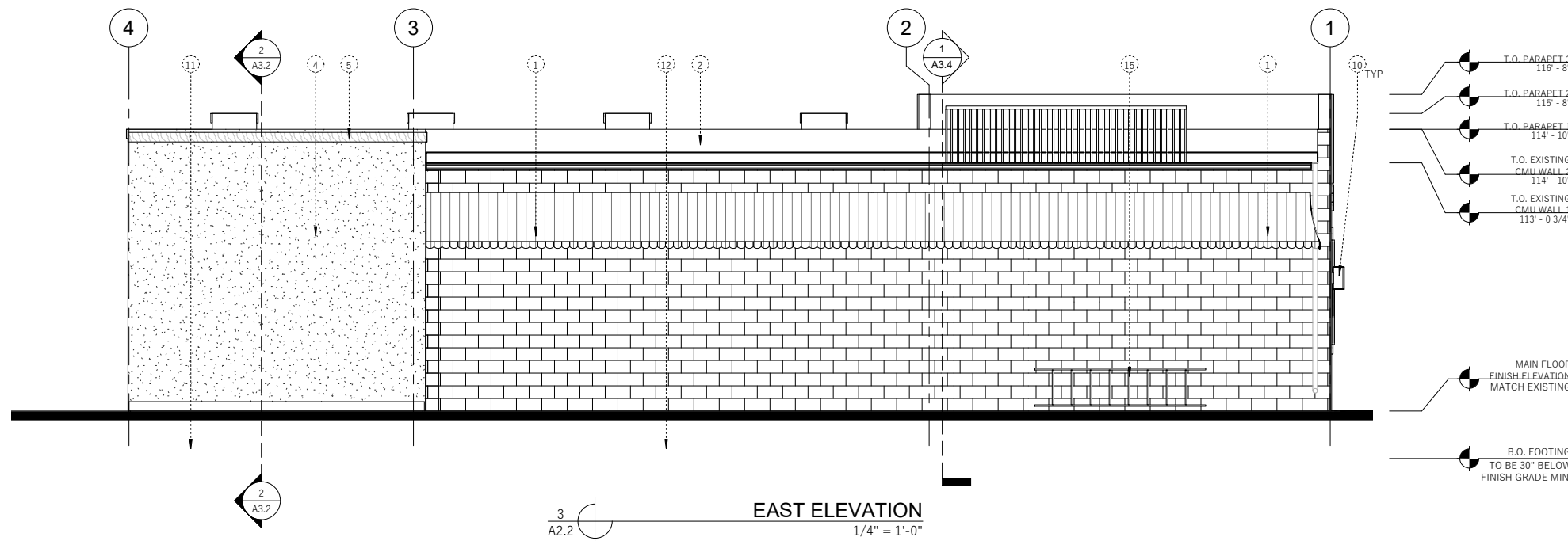


GENERAL NOTES

- (A) SEE GENERAL NOTES ON SHEET T1.2 FOR ADDITIONAL REQUIREMENTS
- (B) COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE.
- (C) FINISH ROOF TO BE MEMBRANE ROOFING. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.
- (D) COORDINATE ALL BEARING ELEVATIONS WITH ROOF FRAMING PLAN. SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL FRAMING REQUIREMENTS.
- (E) SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS, INCLUDING FOUNDATION WALL SPECIFICATIONS, AND SHEARWALL AND HOLDDOWN REQUIREMENTS.
- (F) PROVIDE RAIN GUTTERS AND DOWN SPOUTS AS REQUIRED.
- (G) OWNER TO APPROVE BRICK. INSTALL AS PER ELEVATIONS, AND AS PER MANUFACTURER. SEE GENERAL MASONRY NOTES.
- (H) SEE ROOF PLAN FOR ALL ROOF SLOPES.
- (I) OWNER TO APPROVE STUCCO COLOR. INSTALL AS PER ELEVATIONS, AND AS PER MANUFACTURER.

KEYED NOTES

- 1 EXISTING CMU WALL.
- 2 GATE
- 3 BLACK BRICK
- 4 BLACK STUCCO
- 5 6" WOOD CORNICE. STAINED.
- 6 WOOD TRIM AROUND AWNING. SEE DETAILS
- 7 42" WOOD FENCE WITH GABION ROCK WALL
- 8 SHADE AS PER OWNER
- 9 GOOSNECK LIGHTING FIXTURE
- 10 WALL SCONCE
- 11 CONCRETE FOOTING. SEE FOOTING AND FOUNDATION PLAN.
- 12 EXISTING FOOTING AND FOUNDATION WALL.
- 13 CORRUGATED METAL AWNING. SEE STRUCTURAL
- 14 ROD SUPPORTS. SEE STRUCTURAL
- 15 EXISTING ROOF ACCESS LADDER TO REMAIN
- 16 BLACK GABION ROCK. SEE DETAIL 2/A1.4



BRICK'S  
1465 SOUTH 700 EAST  
SALT LAKE CITY, UTAH

SOUTH AND EAST  
ELEVATIONS

A2.2



GENERAL NOTES

- Ⓐ SEE GENERAL NOTES ON SHEET T1.2 FOR ADDITIONAL REQUIREMENTS.
- Ⓑ REVIEW ALL STRUCTURAL PLANS AND SPECIFICATIONS AS WELL AS STRUCTURAL CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS.
- Ⓒ REFER TO ELEVATION DRAWINGS FOR ALL EXTERIOR FINISHES.
- Ⓓ ALL WINDOW AND DOORS TO BE AS INDICATED IN FLOOR PLANS ELEVATIONS AND WINDOW/DOOR SCHEDULES.

PROJECT NUMBER

18089

ISSUE DATE:

MAY 1, 2019

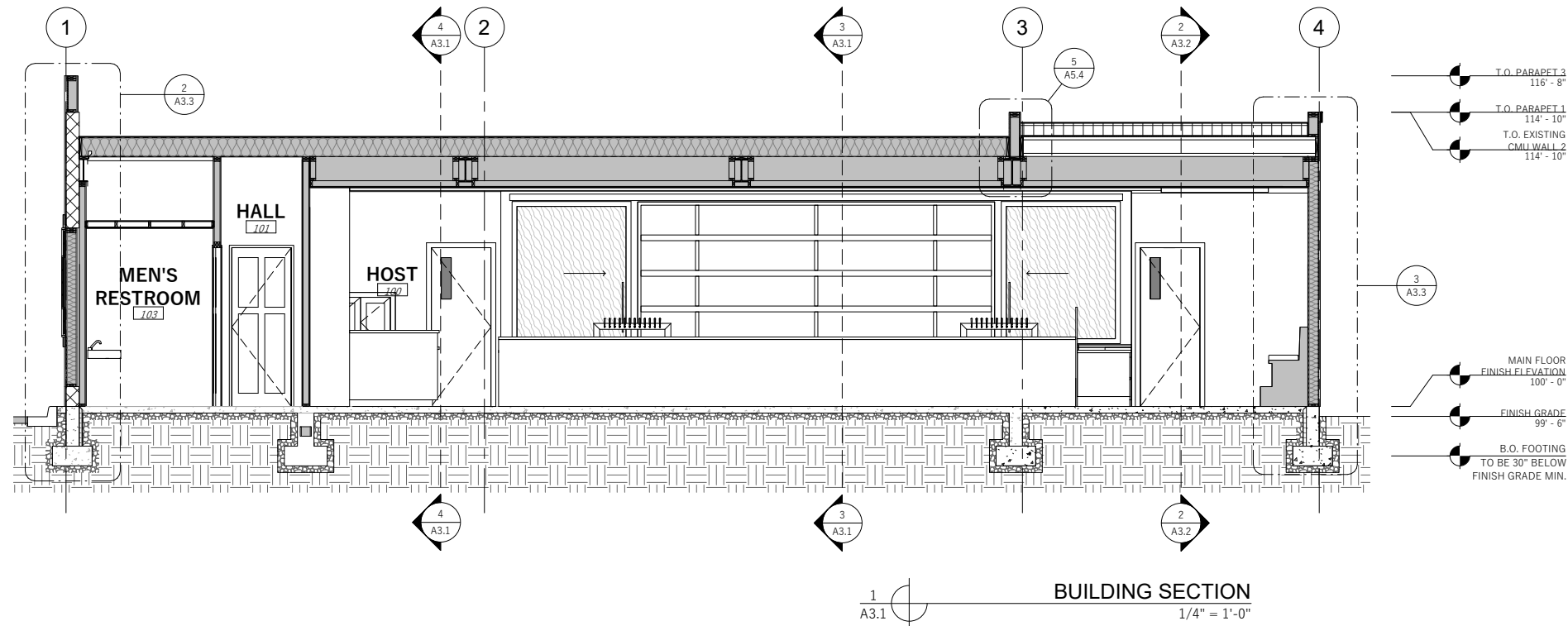
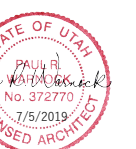
REVISIONS:

No. Date

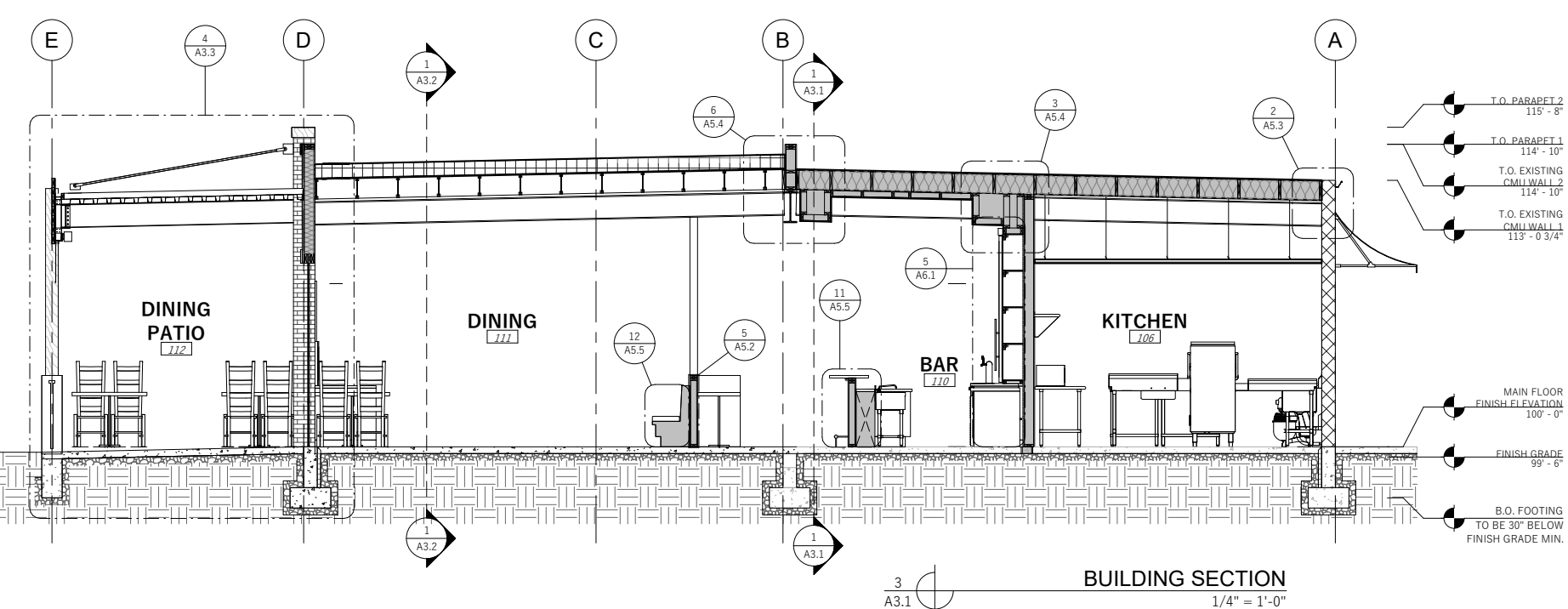
**BRICK'S**  
1465 SOUTH 700 EAST  
SALT LAKE CITY, UTAH

**BUILDING SECTIONS**

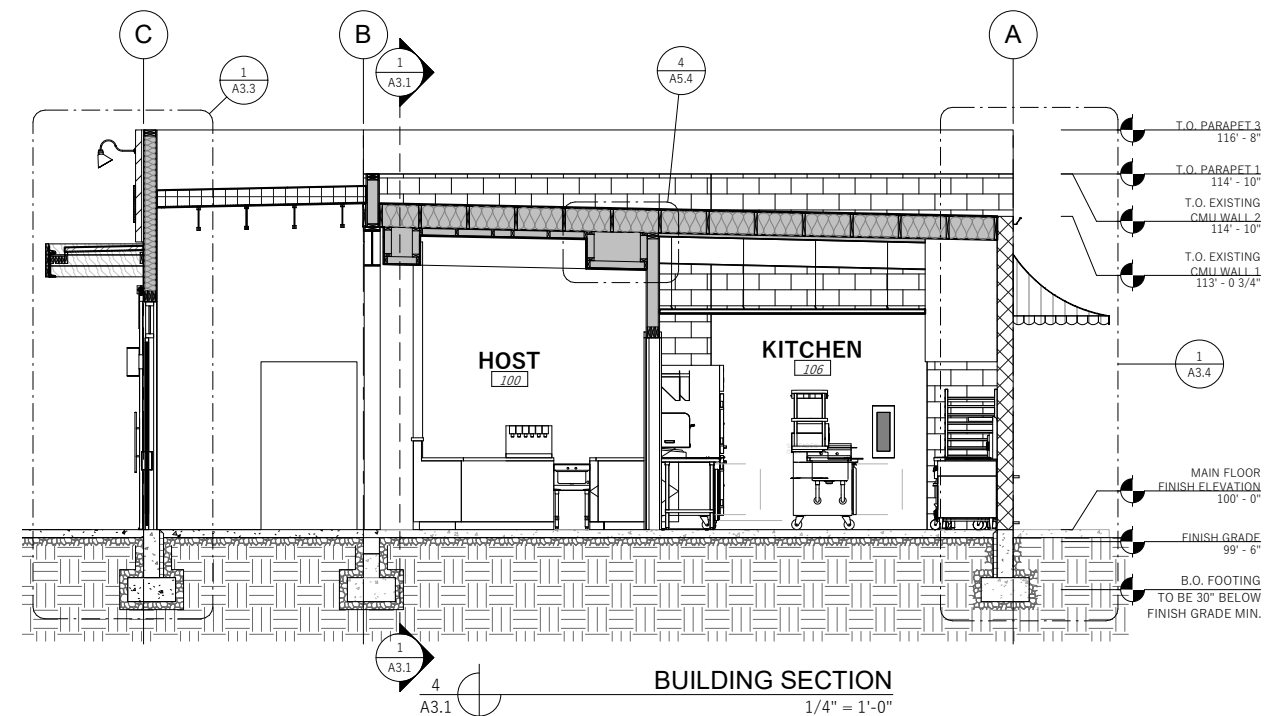
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**BUILDING SECTION**  
1/4" = 1'-0"



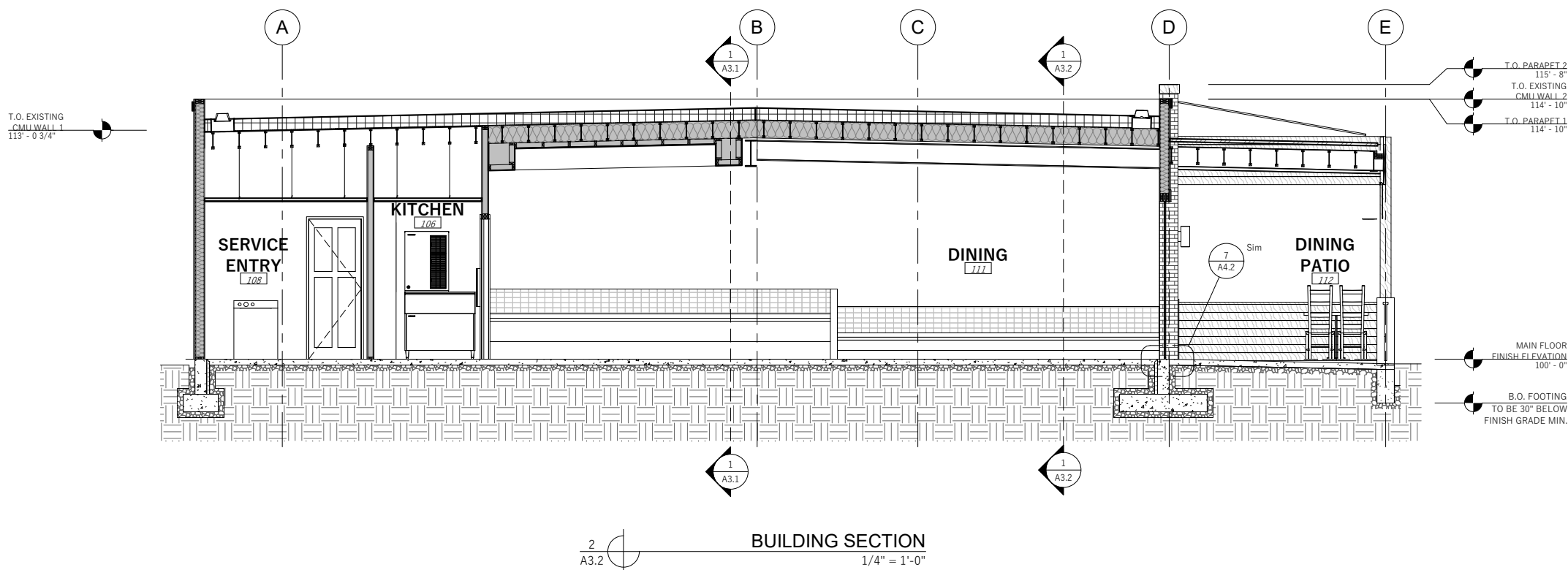
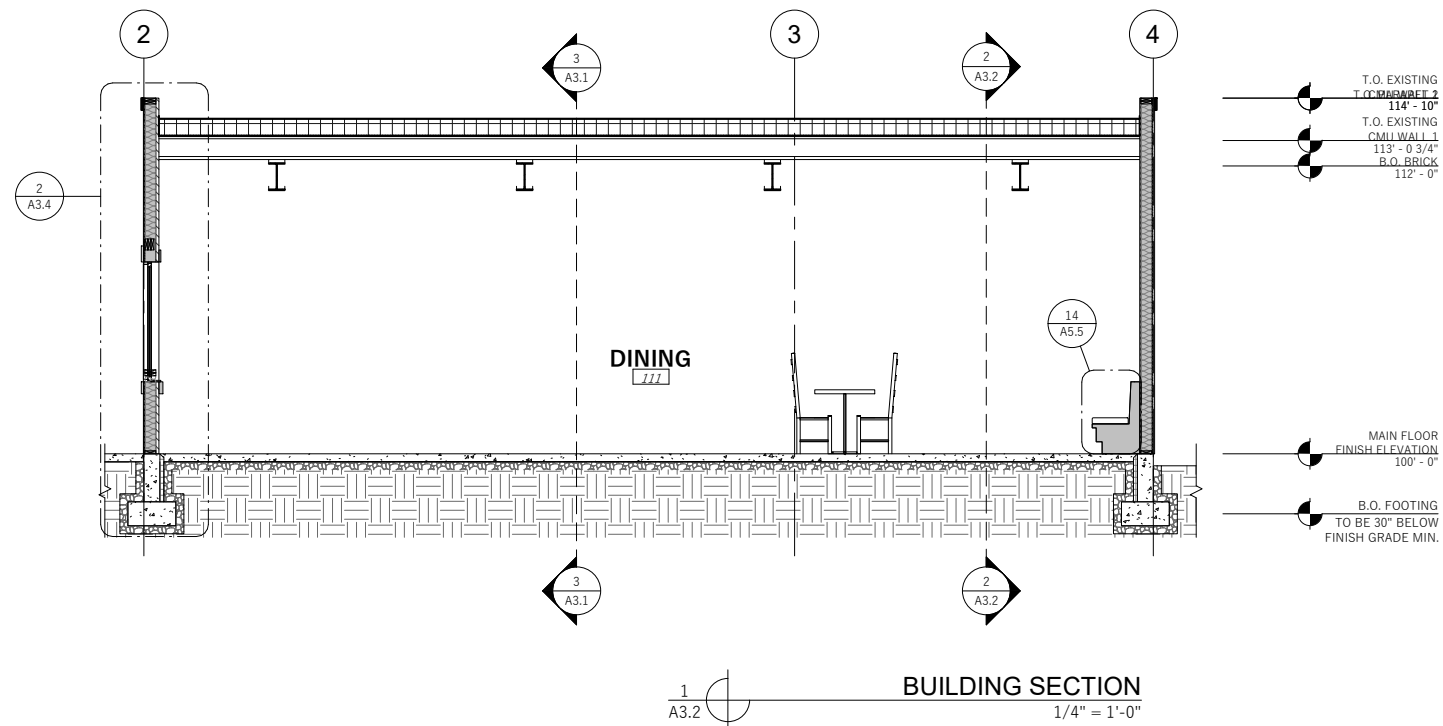
**BUILDING SECTION**  
1/4" = 1'-0"



**BUILDING SECTION**  
1/4" = 1'-0"

GENERAL NOTES

- (A) SEE GENERAL NOTES ON SHEET T1.2 FOR ADDITIONAL REQUIREMENTS.
- (B) REVIEW ALL STRUCTURAL PLANS AND SPECIFICATIONS AS WELL AS STRUCTURAL CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS.
- (C) REFER TO ELEVATION DRAWINGS FOR ALL EXTERIOR FINISHES.
- (D) ALL WINDOW AND DOORS TO BE AS INDICATED IN FLOOR PLANS ELEVATIONS AND WINDOW/DOOR SCHEDULES.



**BRICK'S**  
1465 SOUTH 700 EAST  
SALT LAKE CITY, UTAH

**BUILDING SECTIONS**

**A3.2**





**ATTACHMENT E: ADDITIONAL APPLICANT  
INFORMATION**

---



# Design Review

### OFFICE USE ONLY

Project #: <i>PLN PCM 2019-00620</i>	Received By: <i>Ashley</i>	Date Received: <i>7-5-19</i>	Zoning:
Project Name:			

### PLEASE PROVIDE THE FOLLOWING INFORMATION

Request:  
Change in front setback

Address of Subject Property:  
1465 South 700 East

Name of Applicant: Gary Knapp	Phone: 801-936-1343
Address of Applicant: 135 E Center Street	
E-mail of Applicant: garyk@jzw-a.com	Cell/Fax: 801-936-1343

Applicant's Interest in Subject Property:

Owner      Contractor       Architect      Other:

Name of Property Owner (if different from applicant):  
Joshua Poticha

E-mail of Property Owner: brickson700@gmail.com	Phone: 801-936-1343
--	------------------------

➔ **Please note** that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

### AVAILABLE CONSULTATION

➔ Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

### WHERE TO FILE THE COMPLETE APPLICATION

<i>Mailing Address:</i> Planning Counter PO Box 145471 Salt Lake City, UT 84114	<i>In Person:</i> Planning Counter 451 South State Street, Room 215 Telephone: (801) 535-7700
---	---

### REQUIRED FEE

➔ Filing fee of **\$776** plus **\$121** per acre in excess of (1) acre.  
➔ Plus additional fee for required public notices.

### SIGNATURE

➔ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent: <i>Gary Knapp</i>	Date: <b>07/05/2019</b>
---	----------------------------

Updated 4/2/19

SALT LAKE CITY PLANNING

Bricks  
1465 South 700 East  
Design Review  
Written Narrative

### **Purpose of Design Review Application**

The purpose of this design review application is to adjust the front setback to allow a canopy above the outdoor dining patio. Most of the patio is located in the setback and we received a Special Exception to have the Outdoor Dining in the setback. We had originally thought that the canopy was included in the Special Exception but found out during plan review that it wasn't. The canopy is crucial to the design and financial sustainability of the restaurant.

The outdoor dining area is attractive to customers because of the ambiance that comes with being outdoors. The climate of Salt Lake City makes it uncomfortable to be outdoors during the summer and winter months especially with a west facing building. The canopy provides the protection from the elements and helps to control the temperatures during those uncomfortable months. We have conducted a sun study and found that the afternoon sun is so hot that it would make the outdoor dining patio uncomfortable without the canopy. The canopy is designed to have misters, fans and lighting to create a beautiful and fun outside dining experience despite the afternoon sun. The canopy is designed with space heaters to make the outdoor experience comfortable during the winter.

The canopy provides an architectural element that is attractive to pedestrians passing by. These pedestrians will be able to witness diners happily enjoying meals in the comfort beneath the canopy. They will also get a sample of the sights and smells of the food and a sense of the ambiance before entering the restaurant. This provides a much needed advertising element to the outdoor dining experience that is crucial to the success of the restaurant.

### **Type of Construction**

The type of construction is VB. The existing building consists wood framing, CMU, and steel framing. The addition will primarily be wood framing with steel structural members, and a wood canopy(s).

### **Individual Zoning District CN Purpose Statement**

- A. The property is located in the CN Neighborhood Commercial District Zone. The purpose of the CN zoning district is stated as:

“The CN neighborhood commercial district is intended to provide for small scale, low intensity commercial uses that can be located within and serve residential neighborhoods. This district is appropriate in areas where supported by applicable master plans and along local streets that are served by multiple transportation modes, such as pedestrian, bicycle, transit and automobiles. The standards for the district are intended to reinforce the historic scale and ambiance of traditional neighborhood retail that is oriented toward the pedestrian while ensuring adequate transit and automobile access. Uses are restricted in size to promote local orientation and to limit adverse



impacts on nearby residential areas.”

The project complies with the intent and purpose statement of the CN zoning district. Specifically, the project is a small scale restaurant designed to cater to the neighborhood it is located in. It is located in the middle of the neighborhood directly south of Liberty Park with Roosevelt Ave. to the north. The site is well within walking distance of a high number of homes and has sidewalk access for the nearby residents and those taking transit. 700 East borders the restaurant on the west and has a mix of commercial and residential properties in either direction from the site. The dedicated bicycle travel lanes on 700 East provide direct bicycle access to the restaurant which has bicycle parking on site.

700 East is a sufficiently large street to provide automobile access to the restaurant and small enough to provide direct access to the neighboring residential streets. The restaurant has been designed to integrate the existing building on the site and to maintain the historic presence of the Liberty Park area. The outdoor dining is designed to provide social access to the surrounding neighborhoods and to emulate the social gathering aspect that Liberty Park itself is known for. The outdoor dining area adds a positive revitalization to the current site that has asphalt bordering the sidewalk for the length of the entire lot off of 700 East. This project complies with the CN purpose statement because of the small restaurant, outdoor dining, the direct proximity to residential neighborhoods, easy access, and social ambiance that directly benefits the local area without taking away from the residential neighboring areas.

#### **Design Standards of CN Zone (Section 21A.37)**

##### Glazing:

Required	40%
Provided	52% (167 / 317 * 100 = 52%)

##### Building Entrance:

The main building entrance is facing towards 700 East and has a walkway connecting with the sidewalk.

##### Blank Wall:

A window breaks up the length of the wall through out the façade. The greatest length of “blank” wall is 13 feet.

##### Lighting – Parking Lot:

single pole lighting has been provided and meets all of the shielding requirements.

Minimal to no lighting encroaches onto adjacent properties. Existing fencing to remain.

##### Screening of mechanical equipment:

Mechanical units are screened from public view.

##### Screening of service areas:

There are no services area provided on the site. The dumpster enclosure is design with solid material and omits visibility from the street and adjacent properties.

#### **Design Review Objectives (Section 21A.59.050)**

- A. The property is located in the CN Neighborhood Commercial District Zone. See previous narrative above under “Individual Zoning District CN Purpose Statement.

B. Orientation:

- a. The primary entrance faces towards the public sidewalk on 700 East.
- b. The building is oriented to the building sidewalk along with other buildings on 700 East. The outdoor dining patio provides a friendly atmosphere for pedestrians passing by.
- c. The parking lot is located on the north side of the building.

C. Building façade:

- a. The active ground floor use of the building at the sidewalk is the outdoor dining patio. There is also a concrete walkway leading directly to the main entrance from the 700 East sidewalk.
- b. There is over 300 SF of glazing facing 700 E. There are three (3) large glass garage doors between the outdoor dining patio and dining room.
- c. The architectural features of the storefront of the building include lots of glazing with a mix of stone, brick, stucco and wood elements. The parapet steps to give relief to the building. The windows include decorative wood transitions and brick faux columns between the glazing in the outdoor dining area.
- d. The outdoor dining area on the west side of the building provides a visual connection to the street and sidewalk with a landscape buffer between the patio and sidewalk.

D. Building masses:

- a. The building is one story “reversed Utah” shape. The interior dining and patio extend the building further west from the main entrance of the building. The west façade’s parapet heights varies from 14’-10” to 15’-8” above the finish floor, while the parapet height at the main entrance and north façade extend to 16’-8” above the finish floor.
- b. The building has a series of vertical and horizontal elements to provide context and reduce visual width and height. The vertical elements include stepping parapet heights, faux brick columns, and wood supports for the canopy. The horizontal elements include the awning over the main entrance, the canopy and the parapet trim.
- c. The secondary elements include a stationary barn door has been included next to the main entrance, fenestration and the canopy over the outdoor dining. The three (3) glass garage doors are visually appealing and provide a visual connection between the interior and exterior spaces.

E. Building Façade:

The overall dimension of the building does not exceed 70 feet in either the north-south or east-west directions.

F. The public elements include the Outdoor Dining Area, bike parking and the canopy. The canopy provides shade for the guests in the outdoor dining area. Two bike racks have been included near the main entrance.

G. Building Heights:

- a. The height of the building reflects the height and scale of the adjacent and nearby buildings.
- b. The project does not create any negative impacts on adjacent properties.
- c. The roof parapets provide an attractive shape that is cohesive with the building’s overall form and composition. The overall shape of the building compliments the surrounding buildings.

H. Concrete walkways connect the pedestrian sidewalk to the entrance of the building. The concrete walkways are also connected to the parking lot for a safe transition to the building.

I. The Waste and recycling dumpster area is provided to the north of the building and is constructed with similar materials as the building. The mechanical equipment is fully screened



from public view.

J. Signage:

- a. The signage has been coordinated with the building design such that the awnings, landscape, lighting and entrances avoid any conflicts. The signage is clearly visible by automobiles and pedestrians including adequate lighting. There is an existing pole sign at the north west corner of the property that will remain. Building signage will be located on the brick above the main entrance canopy (west façade).

K. Lighting:

- a. A total of four (4) exterior wall sconces located on either side of the windows on the furthest north façade; a total of four (4) exterior sconces located on either side of the main entrance and barn door on the west façade; and a wall sconce is located at each brick column under the patio canopy. Four (4) goose neck light fixtures will be located above the building signage above the main entrance.
- b. The wall sconces located on the north and west façade illuminate toward the ground. Landscape lighting has been provided in the landscape to the west of the building to emphasize the building's features.

L. Streetscape improvements:

- a. The trees are located at least every 30'-0" along 700 East and are consistent with the city's urban forestry guidelines.
- b. The asphalt is limited for vehicle drive aisles only. The concrete walkways are limited to provide circulation from the public sidewalk and parking lot to the entrances.

Bricks  
Design Review  
Neighborhood Images

**Views of Project Site:**

1465 South 700 East  
Salt Lake City, Utah 84105







**Views from Project Site:**

North-West View



South-West View





**Views of Adjacent Properties:**

Property to the South

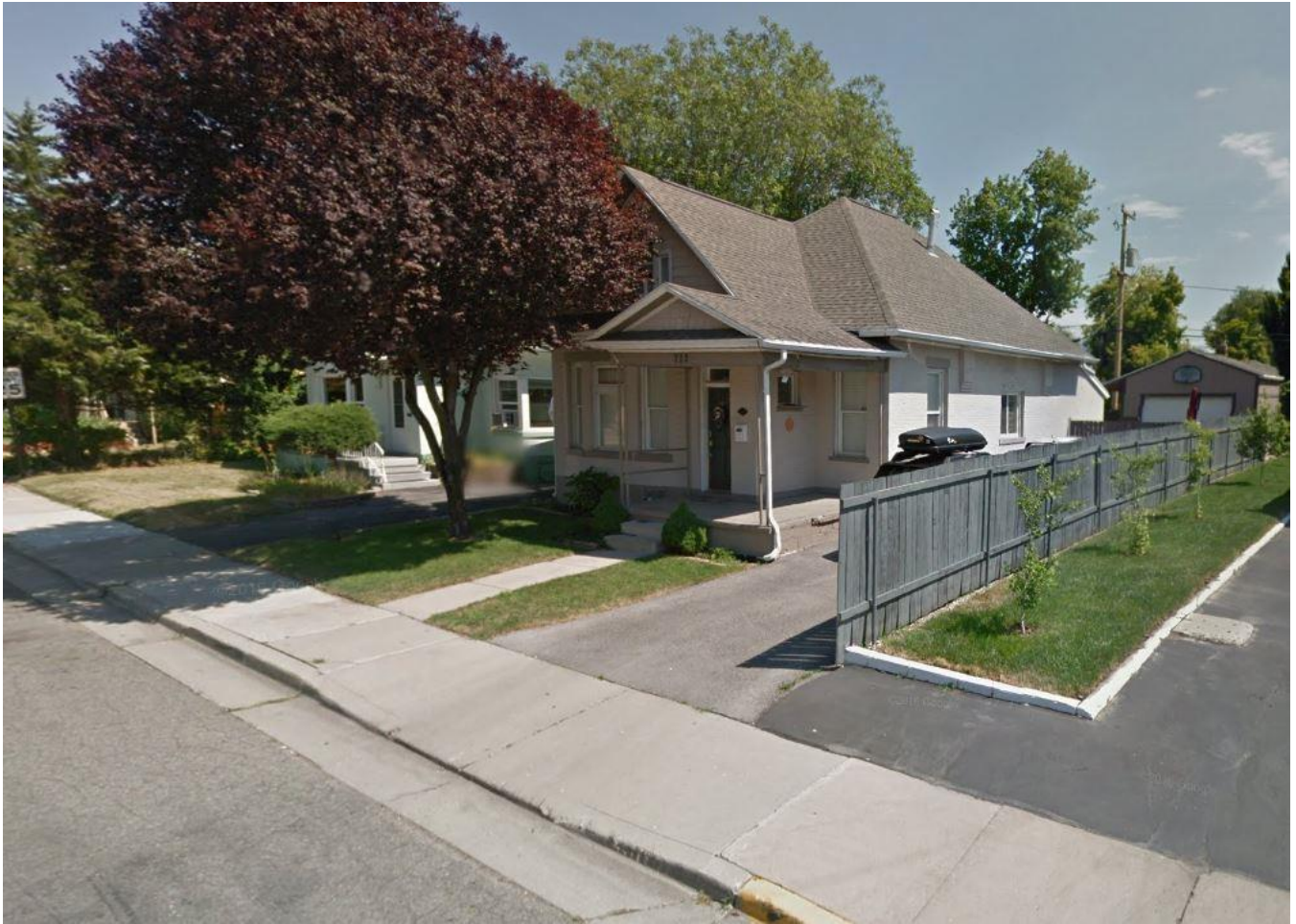


Property to the North





Property to the East



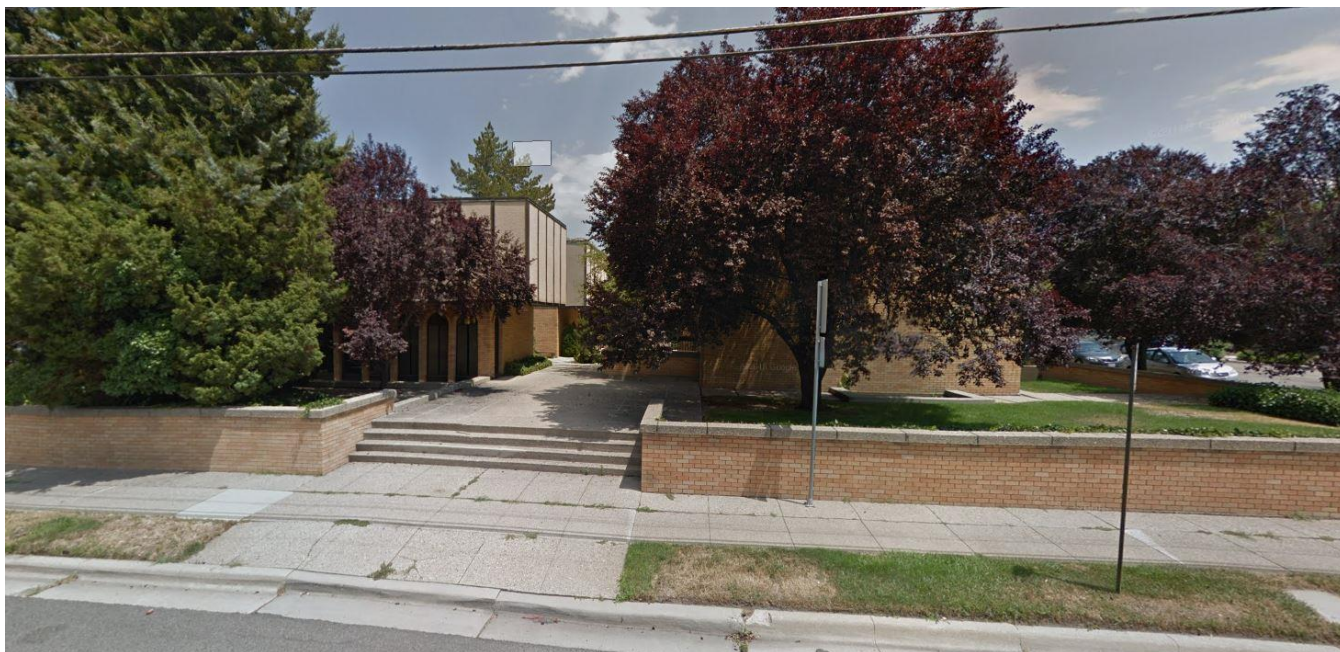
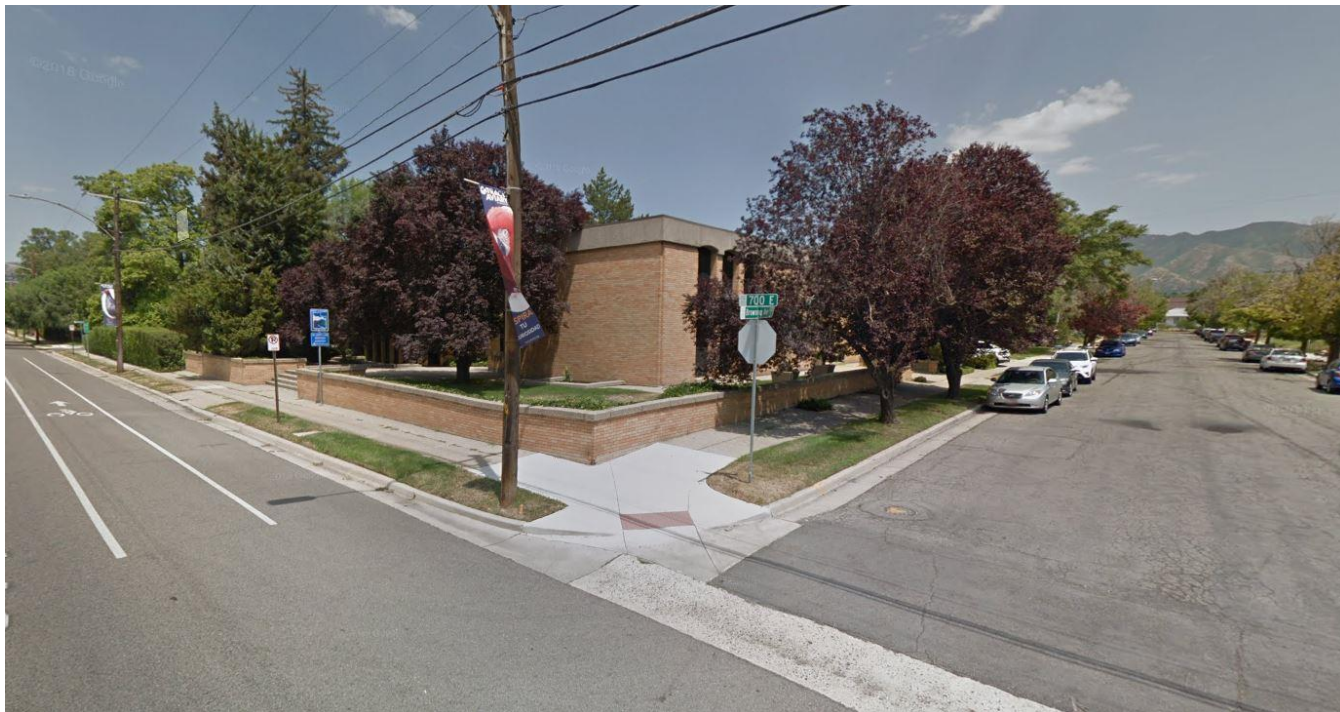
**Commercial Buildings Within the Neighborhood:**

1424 South 700 East  
Salt Lake City, Utah 84105





1399 South 700 East  
Salt Lake City, Utah 84105



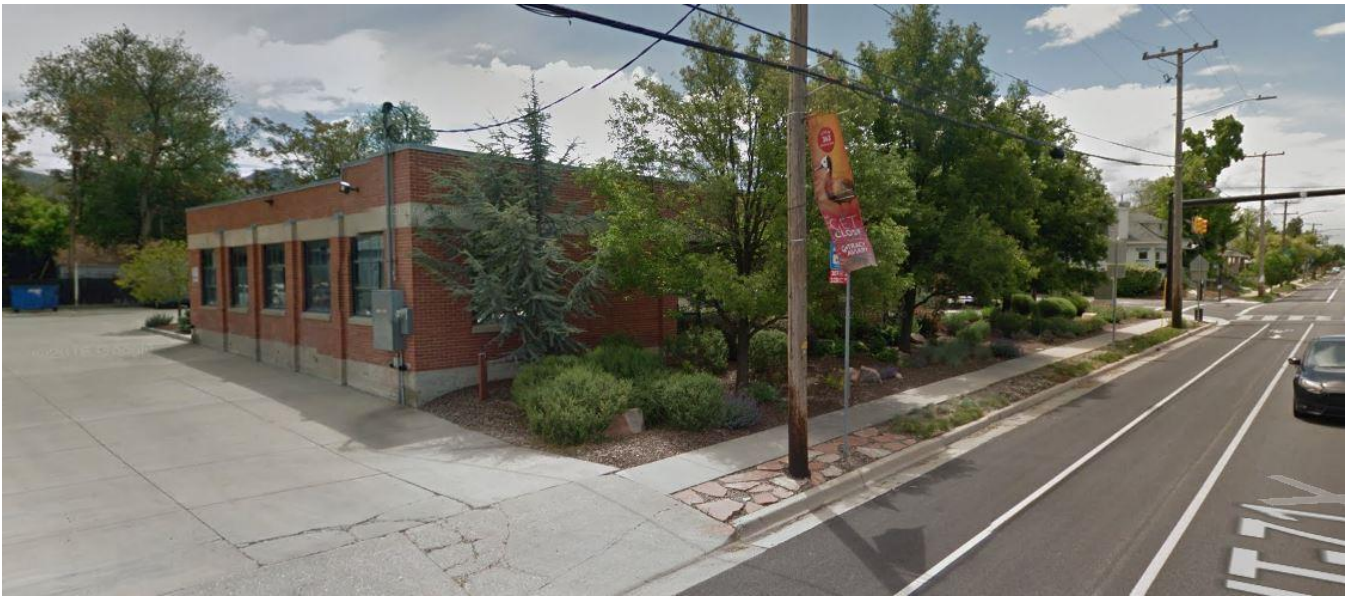




703 East 1700 South  
Salt Lake City, Utah 84105









1473 South 600 East  
Salt Lake City, Utah 84105



## **ATTACHMENT F: PHOTOGRAPHS**

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*View of the subject property facing northeast*



*View of the subject property across Roosevelt Avenue*





*View of the subject property across 700 E*



*View of the property to the north across Roosevelt Ave.*





*View of the property to the east*



*View of the property to the south, facing northeast*

# **ATTACHMENT G: EXISTING CONDITIONS & DEVELOPMENT STANDARDS**

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## **Site Conditions:**

The site consists of a parcel on the southeast corner of 700 East and Roosevelt Avenue. There is an existing building that was most recently used for commercial purposes. The south and east property lines have existing landscape yards. The remainder of the parcel is paved. Earlier aerial photos show that in the early 2000s the parcel was used as a gas station.

## **Adjacent Zoning and Existing Uses:**

- North: CN (Neighborhood Commercial) – Single-family residence
- South: R-1/5,000 (Single-family residential) – Duplex residence and single-family residence
- East: R-1/5,000 (Single-family residential) – Single family residence
- West: R-1/5,000 (Single-family residential) – Single family residence

## **Base Zoning:**

CN Downtown Neighborhood Commercial District (21A.26.020)

## **Applicable Master Plans:**

*Central Community Master Plan (2005)*  
*Plan Salt Lake (2015)*

# ATTACHMENT H: ANALYSIS OF STANDARDS

## CONDITIONAL BUILDING AND SITE DESIGN REVIEW

**21A.59.050: Standards for Design Review:** The standards in this section apply to all applications for design review as follows:

For applications seeking modification of base zoning design standards, applicants shall demonstrate how the applicant's proposal complies with the standards for design review that are directly applicable to the design standard(s) that is proposed to be modified.

For applications that are required to go through the design review process for purposes other than a modification to a base zoning standard, the applicant shall demonstrate how the proposed project complies with each standard for design review. If an application complies with a standard in the base zoning district or with an applicable requirement in chapter 21A.37 of this title and that standard is directly related to a standard found in this section, the Planning Commission shall find that application complies with the specific standard for design review found in this section. An applicant may propose an alternative to a standard for design review provided the proposal is consistent with the intent of the standard for design review.

Standard	Finding	Rationale
<p><b>A. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development.</b></p>	<p><b>Complies</b></p>	<p>The purpose of the CN district is,</p> <p>“... to provide for small scale, low intensity commercial uses that can be located within and serve residential neighborhoods...The standards for the district are intended to reinforce the historic scale and ambiance of traditional neighborhood retail that is oriented toward the pedestrian while ensuring adequate transit and automobile access. Uses are restricted in size to promote local orientation and to limit adverse impacts on nearby residential areas.”</p> <p>The proposed use is permitted in the CN district and the proposal for reduction in the front yard setback for an outdoor dining area and canopy is consistent with the low intensity use for which the district is intended. Consistent with its purpose, the proposal to reduce the front yard setback will further orient the building to the pedestrian. A prior use of the building was as a gas station and the site was geared towards the automobile, rather than the pedestrian. The reduction in the front yard setback and the additional landscaping proposed by the applicant will further the orientation of this site to the pedestrian and sidewalk. See Issue 3 above for details regarding compliance with the adopted master plan policies.</p>
<p><b>B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.</b></p> <ol style="list-style-type: none"> <li><b>1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot).</b></li> <li><b>2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired</b></li> </ol>	<p><b>Complies</b></p>	<p>The proposal itself for a decreased setback orients the development to the sidewalk in addition to what is required by the ordinance. The primary entrance faces the public sidewalk and the proposed canopy decreases the setback of the structure from the sidewalk. The proposal decreases the amount of parking in front of the building while still complying with the required parking requirements. The</p>



<p><b>development patterns of the neighborhood.</b></p> <p><b>3. Parking shall be located within, behind, or to the side of buildings.</b></p>		<p>curb cuts will be limited to a single entrance each on 700 East and Roosevelt Avenue.</p>
<p><b>C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.</b></p> <ol style="list-style-type: none"> <li><b>1. Locate active ground floor uses at or near the public sidewalk.</b></li> <li><b>2. Maximize transparency of ground floor facades.</b></li> <li><b>3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions.</b></li> <li><b>4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces.</b></li> </ol>	<p><b>Complies</b></p>	<p>The proposal is for an outdoor dining area with a canopy. The purpose for this review is a reduction in the front yard setback such that it is oriented closer to the pedestrian. The façade facing 700 East would have over 300 square feet of glazing with three large, glass garage doors facing the street. It would reduce the pavement on the site by adding landscaping to the front and corner side yards. The perimeter of the dining area includes brick columns, a gabion rock wall, and stained wood consistent with the proposed changes to the existing structure that include a mix of stone, brick, stucco, and wood. The dining area will also facilitate pedestrian interest.</p>
<p><b>D. Large building masses shall be divided into heights and sizes that relate to human scale.</b></p> <ol style="list-style-type: none"> <li><b>1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis.</b></li> <li><b>2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height.</b></li> <li><b>3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals.</b></li> <li><b>4. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.</b></li> </ol>	<p><b>Not applicable</b></p>	<p>The existing building and proposed expansion will maintain it as a single story with a maximum length of 70 feet on any façade.</p>
<p><b>E. Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include:</b></p> <ol style="list-style-type: none"> <li><b>1. Changes in vertical plane (breaks in facade);</b></li> <li><b>2. Material changes; and</b></li> <li><b>3. Massing changes.</b></li> </ol>	<p><b>Not applicable</b></p>	<p>Does not apply. The building does not exceed 70 feet on any façade.</p>
<p><b>F. If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements:</b></p> <ol style="list-style-type: none"> <li><b>1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");</b></li> <li><b>2. A mixture of areas that provide seasonal shade;</b></li> <li><b>3. Trees in proportion to the space at a minimum of one tree per eight hundred</b></li> </ol>	<p><b>Not applicable</b></p>	<p>Does not apply. No privately-owned public space is provided or required.</p>

<p>(800) square feet, at least two inch (2") caliper when planted;</p> <p>4. Water features or public art;</p> <p>5. Outdoor dining areas; and</p> <p>6. Other amenities not listed above that provide a public benefit.</p>		
<p><b>G. Building height shall be modified to relate to human scale and minimize negative impacts. In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive City skyline.</b></p> <p><b>1. Human scale:</b></p> <p>a. Utilize setbacks to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans.</p> <p>b. For buildings more than three (3) stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height.</p> <p><b>2. Negative impacts:</b></p> <p>a. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors.</p> <p>b. Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height.</p> <p>c. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.</p> <p><b>3. Cornices and rooflines:</b></p> <p>a. Cohesiveness: Shape and define rooflines to be cohesive with the building's overall form and composition.</p> <p>b. Complement Surrounding Buildings: Include roof forms that complement the rooflines of surrounding buildings.</p> <p>c. Green Roof And Roof Deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.</p>	<p><b>Complies</b></p>	<p>The current building and proposed outdoor dining canopy are a single story. This is consistent with the height in the surrounding neighborhood.</p>
<p><b>H. Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway.</b></p>	<p><b>Complies</b></p>	<p>The small parking area provided connects to the sidewalk, bicycle parking, and transit available on 700 East.</p>
<p><b>I. Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building</b></p>	<p><b>Complies</b></p>	<p>The waste enclosure will be constructed with CMU block and clad with a stone veneer to match the building. Mechanical</p>

<p>materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (See subsection 21A.37.050K of this title.)</p>		<p>equipment is fully screened from public view.</p>
<p><b>J. Signage shall emphasize the pedestrian/mass transit orientation.</b></p> <ol style="list-style-type: none"> <li>1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building.</li> <li>2. Coordinate signage locations with appropriate lighting, awnings, and other projections.</li> <li>3. Coordinate sign location with landscaping to avoid conflicts.</li> </ol>	<p><b>Complies with conditions</b></p>	<p>Conceptual signage is shown on the proposed plans and is not shown in the area of the proposed outdoor dining area and canopy. The review of signage by staff is included as a condition of approval.</p>
<p><b>K. Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals.</b></p> <ol style="list-style-type: none"> <li>1. Provide street lights as indicated in the Salt Lake City Lighting Master Plan.</li> <li>2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky.</li> <li>3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.</li> </ol>	<p><b>Complies with conditions</b></p>	<p>Conceptual lighting including four wall sconces, illuminated toward the ground, are proposed the north and west facades. Additional downward pointing gooseneck lighting is shown outside of the proposed outdoor dining area and canopy. The review of the lighting by staff is included as a condition of approval.</p>
<p><b>L. Streetscape improvements shall be provided as follows:</b></p> <ol style="list-style-type: none"> <li>1. One street tree chosen from the street tree list consistent with the City's urban forestry guidelines and with the approval of the City's Urban Forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the City's Urban Forester.</li> <li>2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards: <ol style="list-style-type: none"> <li>a. Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur.</li> <li>b. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table.</li> <li>c. Limit contribution to urban heat island effect by limiting use of</li> </ol> </li> </ol>	<p><b>Complies with conditions</b></p>	<p>The site plan shows a total of 2,800 square feet of landscaping. Street trees are not shown. Review of the required landscaping by staff is included as a condition of approval.</p>



<p><b>dark materials and incorporating materials with a high Solar-Reflective Index (SRI).</b></p> <ul style="list-style-type: none"><li><b>d. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City.</b></li><li><b>e. Use materials (like textured ground surfaces) and features (like ramps and seating at key resting points) to support access and comfort for people of all abilities.</b></li><li><b>f. Asphalt shall be limited to vehicle drive aisles.</b></li></ul>		
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# **ATTACHMENT I: PUBLIC PROCESS AND COMMENTS**

## **Notice of Application to the East Liberty Park and Liberty Wells Community Councils:**

A notice of application was sent to the Co-Chairs of the East Liberty Park Community Council and the Chair of the Liberty Wells Community Council on July 31, 2019. They were sent a copy of the application, plans, and approval criteria. They were also informed of the open house which was held on August 15, 2019.

## **Notice of and attendance at the Open House:**

Notices of the August 15, 2019 open house were mailed out on August 2, 2019. A Co-Chair of the East Liberty Park Community Council and a resident who lives to the south of the subject property attended with questions about the proposal and its potential impact.

## **Notice of the public hearing for the proposal included:**

- Public hearing notice mailed on: August 30, 2019
- Public hearing notice sign posted on the property: August 30, 2019
- Public notice posted on City and State websites & Planning Division list serve: August 29, 2019

## **Public Input:**

Staff received one phone call with questions regarding the proposed use and required parking. Staff received email correspondence from the Community Council and an area resident that is attached.

**From:** [REDACTED]  
**To:** [REDACTED]; [REDACTED]  
**Cc:** [Javoronok, Sara](mailto:Sara.Javoronok@slcgov.com)  
**Subject:** Fwd: 1465 South 700 East FRONT SETBACK REDUCTION  
**Date:** Monday, August 5, 2019 11:03:53 AM

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ELPCO Bored Members,

I sent Sara, the planner for the canopy a question. Below is her response.

The applicant thought the canopy was included in their original Special Exception approval. Turns out they needed something larger so they're applying for the setback reduction to allow for the canopy. Speaking just to the issue of the canopy, seems like a pretty straight forward request. The outdoor dining is already approved, so the impact of the canopy seems minor.

Of course, there may be neighbor issues with the cafe re: sounds, smells, parking. Those are separate issues & since the cafe is allowed in the CN zone, not really germane to this specific request.

Dave

Begin forwarded message:

**From:** "Javoronok, Sara" <[Sara.Javoronok@slcgov.com](mailto:Sara.Javoronok@slcgov.com)>  
**Date:** August 5, 2019 at 9:20:07 AM MDT  
**To:** dave richards <[REDACTED]>  
**Subject:** RE: 1465 South 700 East FRONT SETBACK REDUCTION

Dave,

The application showed a canopy, but the canopy submitted with the building permit plans was a larger structure that extended further into the right-of-way than permitted in the zone. The CN zone allows for reduction in the front yard setback with Design Review, so they've submitted a Design Review application. Previously, the structure was a cantilevered canopy without posts, but since the Design Review is necessary, they've modified the canopy to include posts.

Please let me know if you have additional questions.

Sara

SARA JAVORONOK, AICP  
Senior Planner

PLANNING DIVISION  
COMMUNITY *and* NEIGHBORHOODS



SALT LAKE CITY CORPORATION

[sara.javoronok@slcgov.com](mailto:sara.javoronok@slcgov.com)

TEL 801-535-7625

<https://www.slc.gov>

<https://www.slc.gov/planning/>

---

**From:** dave richards [REDACTED]

**Sent:** Saturday, August 3, 2019 12:39 PM

**To:** Javoronok, Sara <[Sara.Javoronok@slcgov.com](mailto:Sara.Javoronok@slcgov.com)>

**Subject:** 1465 South 700 East FRONT SETBACK REDUCTION

Hi Sara,

I am the land use advisor for ELPCO and am in the process of reviewing the front setback reduction requested for the Bricks Cafe. The application states that when they got approved with a Special Exception for outdoor dining, they understood that this included allowing a canopy over the seating area. Is this correct? What does the record state?

Thx,  
Dave



dave richards  
dave richards architects, inc.  
p.o. box 526064  
1399 south 700 east, suite 17-D  
slc, ut 84152



**From:** [REDACTED]  
**To:** [Javoronok, Sara](#); [REDACTED]  
**Subject:** Re: PLNPCM2019-00620 1465 S 700 E Design Review  
**Date:** Monday, August 5, 2019 7:33:14 AM

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Sara,

Hi - this is Jason Stevenson.

ELPCO got this information about the proposed canopy/addition at Bricks Cafe (1465 S 700 E).

Thank you.

Keep in mind that nearby resident, Perry de Vlugt ([REDACTED]), has been engaged on this project for the last year. He has also worked with the local neighbors to inform them about this project.

He travels for work (flight attendant), so please be sure to keep him updated as timely as you can.

Thank you,

Jason Stevenson

On 7/31/2019 10:51 AM, Javoronok, Sara wrote:

Chairs of the East Liberty Park and Liberty Wells Community Councils:

The Planning Division has received an application for Design Review for the property located at 1465 South 700 East. The applicant wants to construct a canopy that extends into the required front yard.

I have attached:

1. The petitioner's application materials
2. A frequently asked questions sheet
3. A formal letter requesting your community council's input

As a recognized community organization you have the opportunity to provide comments on the proposed petition. **Since this property is located on the boundary between two community councils the city is scheduling an open house for August 15, 2019 from 5-7 p.m. at the City and County Building.**

If you have any questions about the petition please feel free to contact me.

Please acknowledge that you received this email.

Thanks,

Sara

SARA JAVORONOK, AICP  
Senior Planner

PLANNING DIVISION  
COMMUNITY *and* NEIGHBORHOODS  
SALT LAKE CITY CORPORATION

[sara.javoronok@slcgov.com](mailto:sara.javoronok@slcgov.com)

TEL 801-535-7625

<https://www.slc.gov>

<https://www.slc.gov/planning/>

--

**Jason Stevenson**

[Redacted]

home. [Redacted]

cell. [Redacted]



Virus-free. [www.avg.com](http://www.avg.com)



**From:** [dave richards](#)  
**To:** [Javoronok, Sara](#)  
**Cc:** [East Liberty Park 2 CC Chair](#); [Darryl High](#); [Judi Short](#)  
**Subject:** Design Review at approximately 1465 South 700 East - PLNPCM2019-00620  
**Date:** Thursday, August 29, 2019 3:38:51 PM

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Hi Sara,

I'm a land use chair for ELPCO and we'd like some clarification about the Bricks Cafe project. My understanding is that a Special Exception was previously approved for the outdoor dining in the front setback. The applicant assumed that the Special Exception would include the canopy over the outdoor dining area. Evidently that is incorrect, so they are now applying for a reduced setback so that they can construct the canopy. If the setback reduction is not approved, they still can construct the outdoor dining area, but without the overhead canopy. Is this correct?

Thx,  
Dave Richards



dave richards  
dave richards architects, inc.  
p.o. box 526064  
1399 south 700 east, suite 17-D  
slc, ut 84152

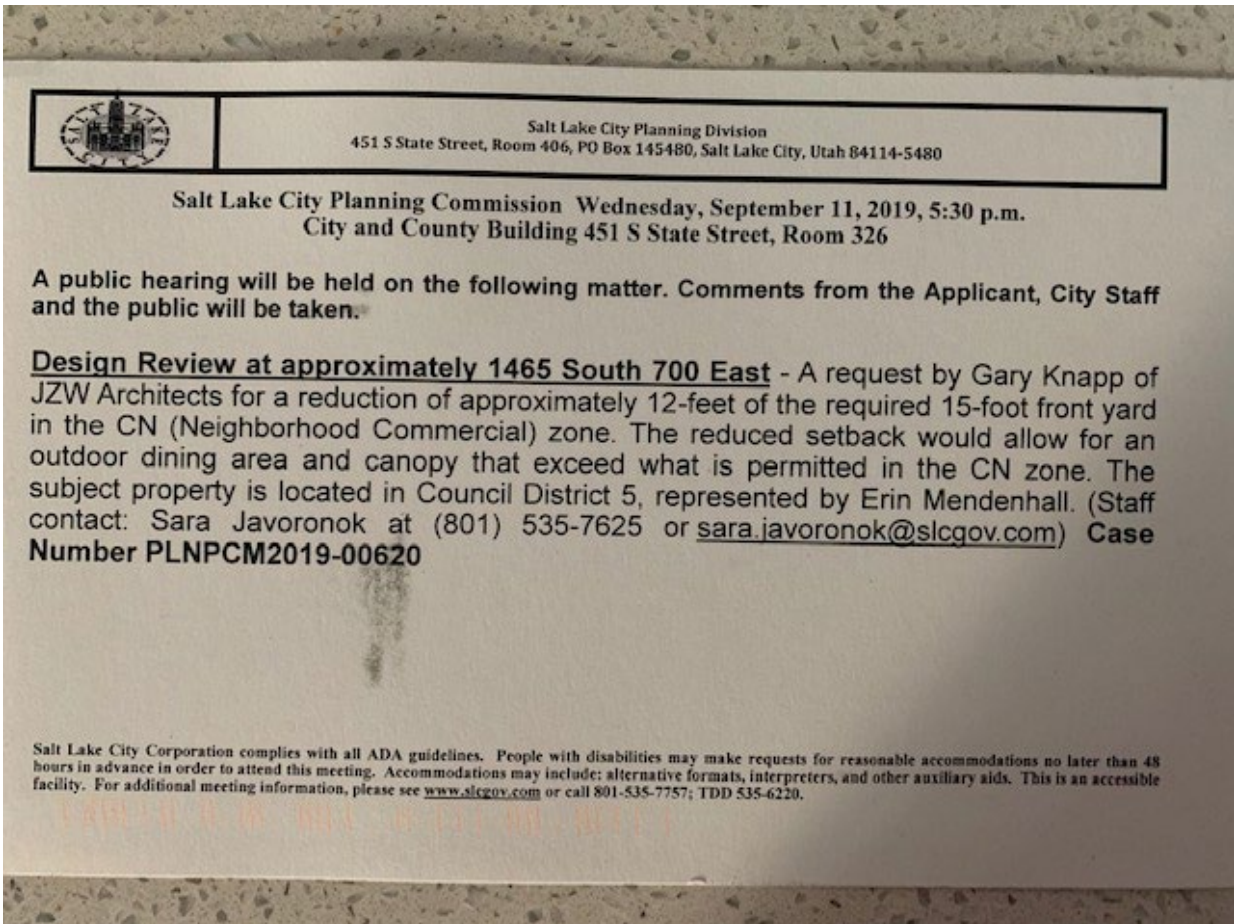
801.466.1396  
[dave@daverichards-architects.com](mailto:dave@daverichards-architects.com)

**From:** [Nate Cornwell](#)  
**To:** [Javoronok, Sara](#); [Mendenhall, Erin](#)  
**Subject:** Case Number plnpcm2019-00620  
**Date:** Tuesday, September 3, 2019 5:44:18 PM

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If this is for a restaurant/ diner , I full support this. It would great to have more dining within walking distance and improve the area.

Nate Cornwell



Please pardon any spelling or grammar errors, as this was sent from my phone.

## **ATTACHMENT J: DEPARTMENT REVIEW COMMENTS**

### **Zoning**

There are no zoning issues regarding the outdoor dining canopy encroachment into the front setback along 700 east. However, the plans show a ground mounted transformer located in the front yard setback along Roosevelt Avenue which will need to be resolved by relocation, special exception or a redefining of the buildable area of the lot through the conditional building and site design review.

Staff note: The applicant has indicated that this will be relocated out of the required front yard setback.

### **Building**

The resubmitted plans need to show the intended structural framing and foundation for the patio having a bearing condition along the property line at 7th East. The other plan review comments will need to be addressed by the architect.

### **Engineering**

No objections.

### **Fire**

There are no comments regarding the additional footings and posts. Comments from Building Plans reviewer Bryan Romney will need additional information and reviews.

### **Public Utilities**

No issues with reduced setbacks.