



# Staff Report

PLANNING DIVISION  
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Nannette Larsen, 801-535-7645

Date: July 31, 2019

Re: PLNPCM2019-00424 – 1225 South Redwood Road, Conditional Use, Mountain America Conditional Use Commercial Parking

## CONDITIONAL USE

**PROPERTY ADDRESS:** 1225 South Redwood Road  
**PARCEL ID:** 15-10-451-003  
**MASTER PLAN:** Westside  
**ZONING DISTRICT:** CC (Corridor Commercial)

**REQUEST:** The applicant, Shane Sanders with Sanders Associates Architects, representing Mountain America Credit Union, is requesting a Conditional Use approval to create a commercial parking lot at the address 1225 South Redwood Road. The proposed commercial parking lot will be located to the rear of the primary structure on the site, to the east of the existing parking, and will include 29 new parking stalls. The parking lot will operate on the same lot as a proposed Mountain America Credit Union; the overall number of parking stalls proposed on this site is 39 stalls.

**RECOMMENDATION:** It is Planning Staff's opinion that overall the project meets the intent of the zoning district and the Conditional Use standards with the recommended conditions of approval listed in this report. Therefore, Planning Staff recommends that the Planning Commission approve the Conditional Use subject to the following conditions of approval:

1. Any changes made to the property will be consistent with this staff report and submitted plans.
2. Prior to construction, all plans shall comply with all applicable development standards required by city departments.

## BACKGROUND:

Project Information:

Owner: Mountain America Credit Union

Architect: Sanders Associates Architects

**Existing Conditions:**

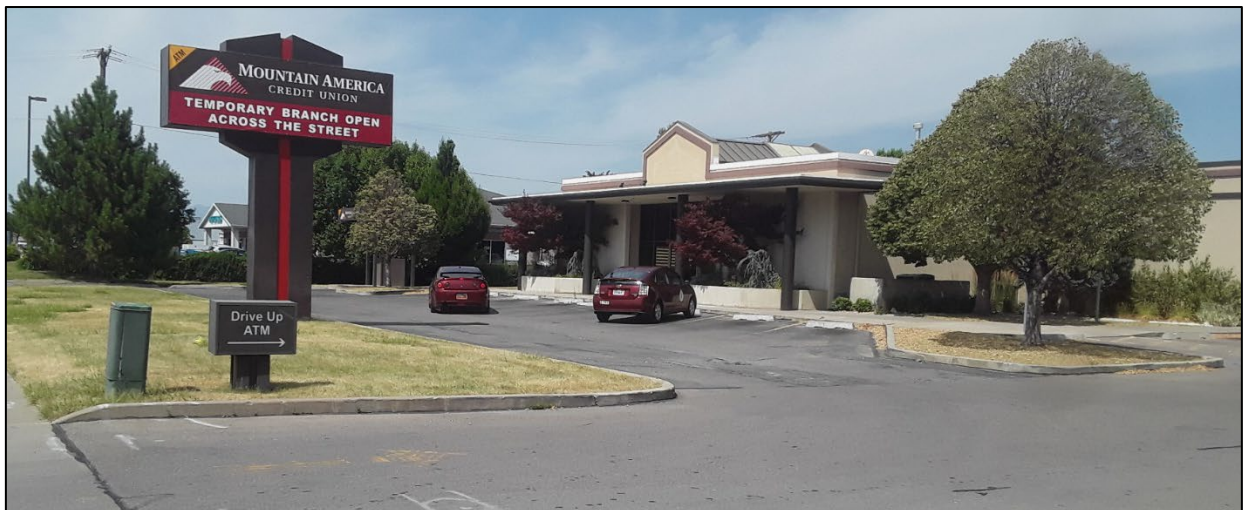
Lot Area:	67,324 Sq. Ft.
Existing Improvements:	One Structure; 25 parking stalls; 3 drive thru bays
Existing Land Use:	Financial Institution
Overlay:	Airport Flight Path Protection Zone H
Adjacent Zoning:	North: CC (Corridor Commercial) South: CC (Corridor Commercial) West: CC (Corridor Commercial) East: SR-3 (Special Development Pattern Residential)
Adjacent Land Uses:	North: Office South: Restaurant West: Retail East: Single-Family Residential

**ATTACHMENTS:**

- A. [Applicant Submittal and Information](#)
- B. [Vicinity Map](#)
- C. [Site Plan](#)
- D. [Landscaping Plan](#)
- E. [Site Photos](#)
- F. [Analysis of Standards](#)
- G. [Public Process and Comments](#)
- H. [Department Comments](#)

**PROJECT DESCRIPTION:**

The site has an existing financial institution structure, 2 drive through bays, and 25 parking stalls. The applicant is proposing to demolish the existing structure and reconfigure the overall layout of the site. Presently parking stalls are located between the building and Redwood Road. Under the proposal the placement of the building will be located nearer to Redwood Road with only landscaping between the



*Photo 1: View of site, looking east from Redwood Rd.*

structure and the street. All proposed parking for the Mountain America Credit Union and the commercial parking lot on the site will be pushed further east, behind the building. Towards the north of the building is proposed to be 5 drive through bays to service the financial use.

The Zoning Ordinance requires that a minimum of 8 stalls are provided for a financial institution use with a maximum of 10 stalls, based on the square footage of the structure. A commercial parking lot does not have a maximum number of stalls possible.

The requested conditional use application is for a commercial parking lot located behind the proposed Mountain America Credit Union building and its 10 parking stalls. The commercial parking lot will include 29 stalls towards the rear of the lot. The majority of these stalls will be physically separated from the 10-stall maximum allowed. However, while the required stalls and the commercial parking stalls will be separate, the vehicle circulation and access to parking will function as if it's a single parking lot. The separation of MACU stalls and the Commercial parking lot will be facilitated by interior

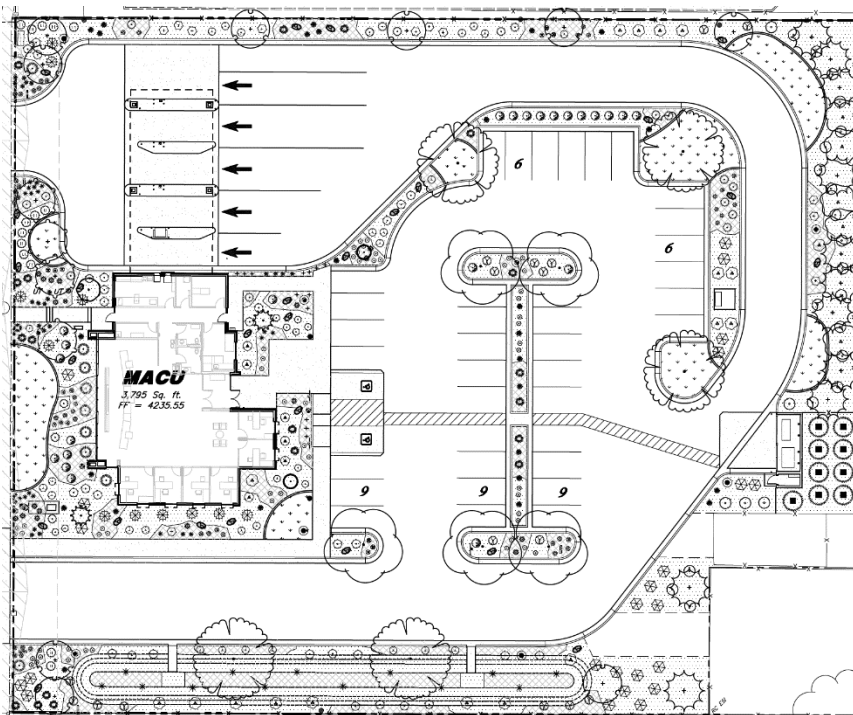


Figure 1: Landscape Plan

parking lot landscaping. Interior parking lot landscaping in the proposed lot comprises of 20% of the total square footage, the minimum interior landscape required is 5%. This interior landscaped area will include trees, ground cover, and bushes.

The commercial parking lot will also be buffered from the east property line, separating the parking lot from the single-family residences. This buffer area will be 17' wide from the east property line; the landscaping in this area will consist of trees and bushes. A 6' vinyl fence is proposed along the north, east, and south property lines.

The required buffer width in the CC district is 7' with landscaping which includes trees, shrubs, and a solid fence between 4' and 6' in height.

### KEY ISSUES:

There are no key issues which are associated with the conditional use proposal which will not be addressed by various city department requirements. It is included as a condition of approval that the any changes to the site must comply with all city department requirements.

The proposed commercial parking lot will meet or exceed the standards in the ordinance for the location of the commercial lot, the interior landscaping, and the landscape buffer of at least 7' wide.

**DISCUSSION:**

The financial institution with a drive through bay is a permitted use in the CC district and has a maximum parking stall allowance of 10 stalls based on the size of the structure, per 21A.44.030. The subject property is located on Redwood Road which is heavily trafficked with vehicles. During peak times the financial institution has stated that they realistically produce more parking demand than the maximum allowance as the majority of patrons would be accessing the site by car. While high-frequency transit is available along Redwood Road, it is frequently the case that commercial properties along Redwood Rd. are accessed by car, therefore requiring larger parking lots is common to the area. The applicant has increased the amount of landscaping in the proposed commercial parking lot to mitigate any potential negative affects the proposal may have on surrounding uses and to meet the intent of the ordinance.

**NEXT STEPS:**

**Conditional Use Approval**

If approved, the applicant may proceed with the project after meeting all standards and conditions required by all City Departments and the Planning Commission to obtain all necessary building permits.

**Conditional Use Denial**

If denied, the applicant may proceed with the financial institution project with a maximum of 10 parking stalls but may not develop the site for a commercial parking lot.



## **ATTACHMENT A: APPLICANT SUBMITTAL AND INFORMATION**

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# Conditional Use

SALT LAKE CITY PLANNING

## OFFICE USE ONLY

Project #:	Received By:	Date Received:	Zoning:
PCNPCM 2019-00424	A. Anglin	5/10/19	CC
Project Name: ACU Commercial Parking			

## PLEASE PROVIDE THE FOLLOWING INFORMATION

Request: Commercial Parking Lot	
Address of Subject Property: 1225 S. Redwood Rd., Salt Lake City Utah	
Name of Applicant: Shane Sanders	Phone: [REDACTED]
Address of Applicant: 2668 Grant Ave Suite 100 Ogden, UT	
E-mail of Applicant: [REDACTED]	Cell/Fax: [REDACTED]
Applicant's Interest in Subject Property: <input type="checkbox"/> Owner <input type="checkbox"/> Contractor <input checked="" type="checkbox"/> Architect <input type="checkbox"/> Other:	
Name of Property Owner (if different from applicant): Mountain America Federal Credit Union	
E-mail of Property Owner: [REDACTED]	Phone: [REDACTED]

☐ Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

## AVAILABLE CONSULTATION

☐ Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

## WHERE TO FILE THE COMPLETE APPLICATION

Mailing Address:	Planning Counter PO Box 145471 Salt Lake City, UT 84114	In Person:	Planning Counter 451 South State Street, Room 215 Telephone: (801) 535-7700
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## REQUIRED FEE

☐ Filing fee of \$758  
☐ Plus additional cost of postage for mailing notice.

## SIGNATURE

☐ If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent: 	Date: 5-10-19
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## SUBMITTAL REQUIREMENTS

Staff Review

- |                          |                                      |  |
|--------------------------|--------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/>  | <b>1. Project Description</b> (please attach additional sheet)<br>Written description of your proposal   |
| <input type="checkbox"/> | <input checked="" type="checkbox"/>  | <b>2. Conditional Use Information</b> (please attach additional sheet)<br>If applicable, what is the anticipated operating/delivery hours associated with the proposed use |
| <input type="checkbox"/> | <input checked="" type="checkbox"/>  | What are the land uses adjacent to the property (abutting and across-the-street properties)  |
| <input type="checkbox"/> | <input checked="" type="checkbox"/>  | How many employees are expected to work on-site during the highest shift   |
| <input type="checkbox"/> | <input type="checkbox"/>             | If applicable, how many seats will be provided as part of the conditional use  |
| <input type="checkbox"/> | <input checked="" type="checkbox"/>  | Have you discussed the project with nearby property owners?<br>If so, what responses have you received?  |
| <input type="checkbox"/> | <input type="checkbox"/>             | <b>3. Minimum Plan Requirements</b>  |
| <input type="checkbox"/> | <input type="checkbox"/>             | One paper copy (24" x 36") of each plan and elevation drawing  |
| <input type="checkbox"/> | <input checked="" type="checkbox"/>  | A digital (PDF) copy of the each plan and elevation drawing  |
| <input type="checkbox"/> | <input checked="" type="checkbox"/>  | One 11 x 17 inch reduced copy of each plan and elevation drawing   |
| <input type="checkbox"/> | <input type="checkbox"/>             | <b>4. Site Plan</b>  |
| <input type="checkbox"/> | <input checked="" type="checkbox"/>  | Site plan (see <a href="#">Site Plan Requirements</a> flyer for further details)   |
| <input type="checkbox"/> | <input type="checkbox"/>             | <b>5. Elevation Drawing</b> (if applicable)  |
| <input type="checkbox"/> | <input type="checkbox" value="N/A"/> | Detailed elevation, sections and profile drawings with dimensions drawn to scale   |
| <input type="checkbox"/> | <input type="checkbox" value="N/A"/> | Type of construction and list the primary exterior construction materials  |
| <input type="checkbox"/> | <input type="checkbox" value="N/A"/> | Number, size, and type of dwelling units in each building, and the overall dwelling unit density   |

## INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

I acknowledge that Salt Lake City requires the items above to be submitted before my application can be processed. I understand that Planning will not accept my application unless all of the following items are included in the submittal package.



**SANDERS ASSOCIATES ARCHITECTS**

2668 GRANT AVENUE OGDEN, UT 84401

T 801.621.7303

May 10, 2019

SLC Planning

451 South State Street, Suite 406

Salt Lake City, UT

**Project Narrative**

Mountain America Federal Credit Union (MACU) is a financial institution with headquarters based in Draper, UT and looking to serve its members by expanding further in the SLC Glendale area.

The branch building design is planned to be a 3,795 sf building footprint which includes offices and spaces for conducting financial transactions. The drive-up canopy is planned to be 1,605 sf footprint. The footprint has been designed to service member's banking needs within the location area and designed to accommodate up to 9 employees to service those needs.

Also included will be a drive thru with three (3) dedicated drive-thru teller lanes and one (1) dedicated drive-thru ATM/Night Deposit Box lane & one (1) dedicated drive-thru ATM lane. MACU has determined through past experience that during peak times the drive-thru need will require four (4) lanes in order to meet the appropriate demand. The drive-thru has been oriented so as to direct headlight traffic away from the residential area. MACU's hours of operation are 9am-6pm M-F and 9am-3pm on Saturday (closed Sunday).

There are multiple businesses to the north, Auto Glass, Sign Company, etc. Business to the south is a Mexican restaurant. Adjacent property owners were approached about renting space in their facilities during the construction of the project and about the new fence being installed between properties. MACU will be renting space across the street to the west during construction.

Sincerely,

M. Shane Sanders, AIA, NCARB

Managing/Design Principal

**SANDERS ASSOCIATES ARCHITECTS**

## **ATTACHMENT B: VICINITY MAP**





Paxton Ave

Redwood Road





**(CC) Corridor Commercial**

**Subject Site**

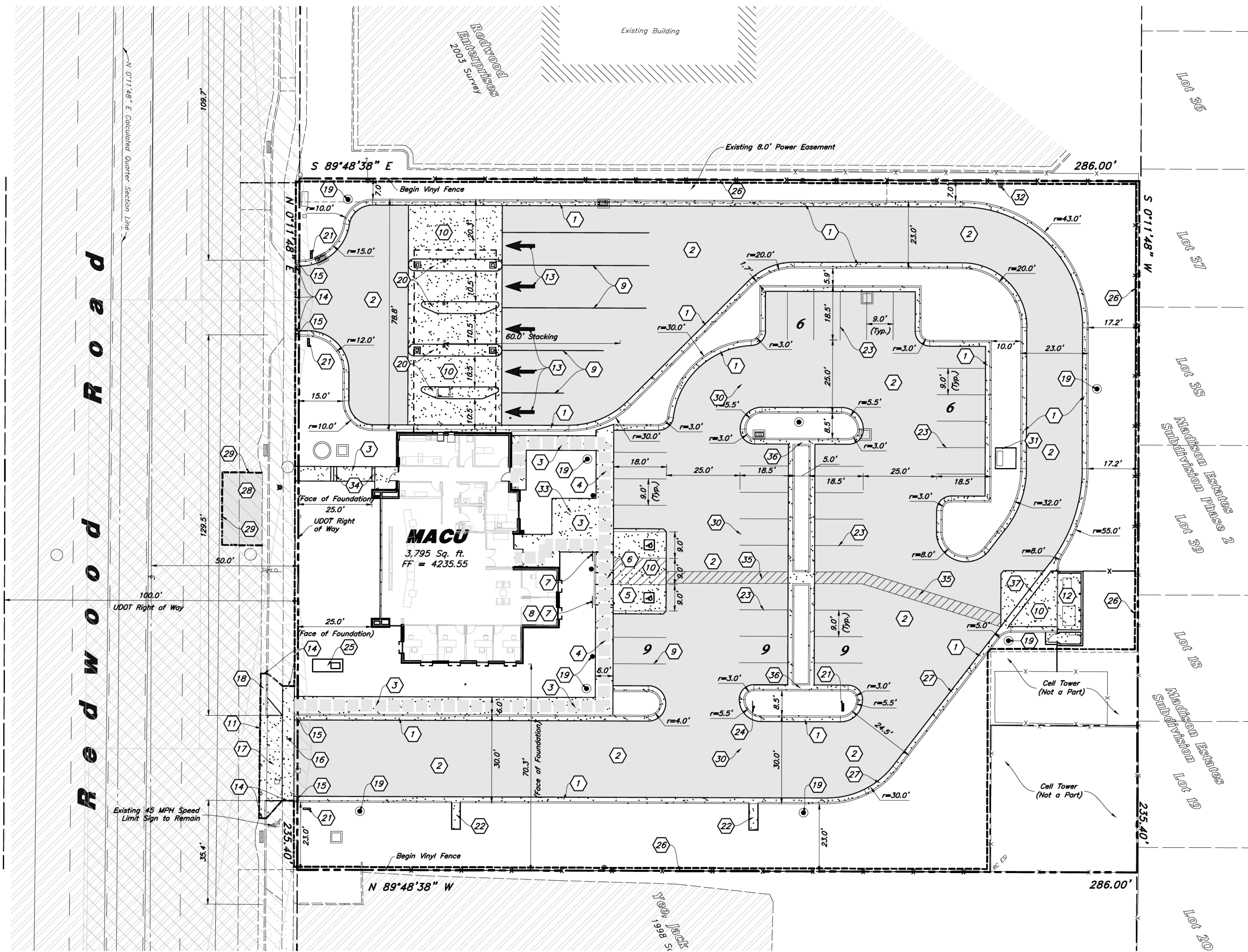
**(SR-3) Special Development  
Pattern Residential**



## **ATTACHMENT C: SITE PLAN**

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**Site Data**  
Site Area = 67,324 s.f. (1.54 Ac.)  
Landscape Area Provided = 20,709 s.f.  
Impervious Area Provided = 39,067 s.f.  
Building Area = 3,795 s.f.  
Parking Provided = 39 stalls  
Cell Tower Areas = 3,753 s.f.

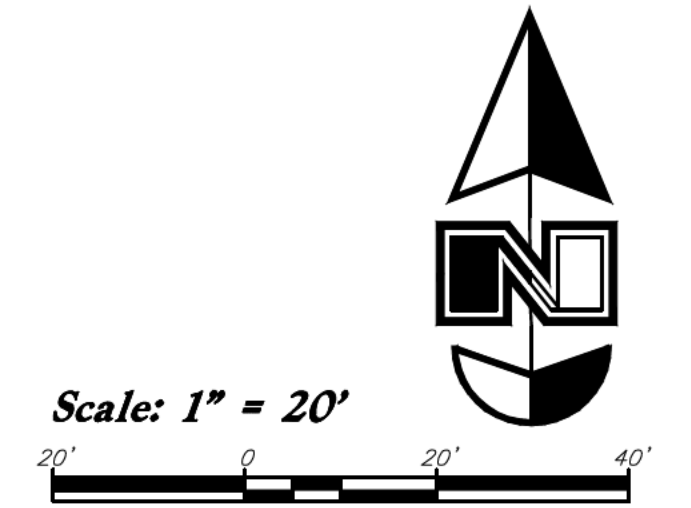
**Parking Data Table**

Accessible Parking = 2 Stalls (1 Van)
Bicycle Parking = 4 Bikes (2 Racks)
Financial Parking = 9 (Maximum stalls allowed without transportation demand strategies)
Commercial Parking = 30 Parking Stalls
Planning Petition Tracking Number: PLNPCM2019-00424

- General Site Notes:**
1. Stalls designated as Accessible will require a painted Accessible symbol and sign. (See Details)
  2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
  3. All dimensions are to back of curb unless otherwise noted.
  4. Const. curb transition at all points where curb abuts sidewalk, see detail.
  5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.

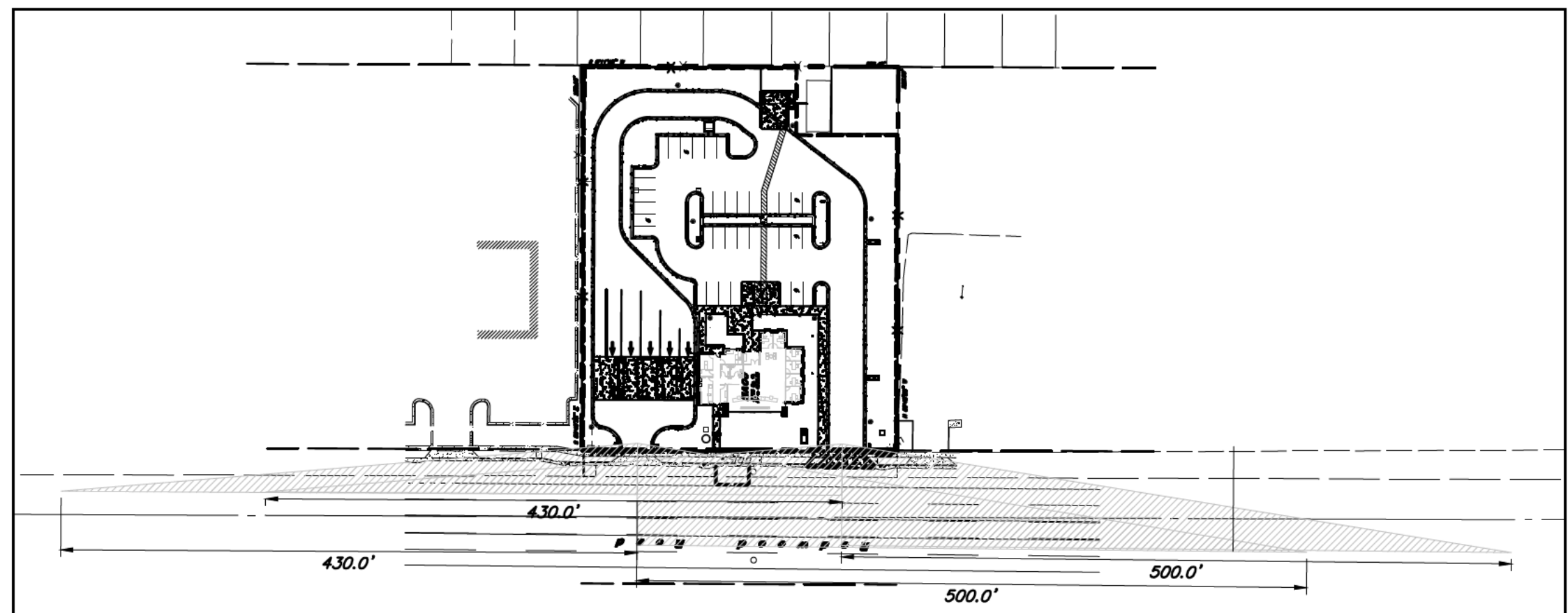
**Note:**  
Prior to working in the public way, a licensed, insured, and bonded contractor, who has sold information on file with SLC Engineering, must obtain a Public Way permit from SLC Engineering and perhaps a Transportation Permit. All work in the Public Way shall follow APWA Standards.

**Construction Survey Note:**  
The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids.



- Site Construction Notes**
1. Const. 24" Curb & Gutter (C4.1)
  2. Const. Asphalt Paving (C4.1)
  3. Const. Conc. Sidewalk (C4.1)
  4. Const. Thickened Edge Sidewalk (C4.1)
  5. Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) White Symbol & Border, Blue Background Contractor shall provide 15 mils min. thickness (C2.2)
  6. Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (C2.2)
  7. Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (C2.3)
  8. Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (C2.3)
  9. Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness
  10. Const. Conc. Paving (C4.1)
  11. Remove existing curb & gutter, form new curb & gutter against edge of asphalt. Provide smooth clean edge. Alternate is to sawcut and remove 2.0' of asphalt.
  12. Dumpster Enclosure. See Architectural Plans
  13. Const. Directional Arrows per MUTCD
  14. Conn. & match existing improvements
  15. Const. concrete curb transition (C4.1)
  16. Const. concrete sidewalk per UDOT std. plan GW 3A
  17. Const. drive approach per UDOT std. plan GW 3A
  18. Const. "Type A" curb & gutter per UDOT std. plan GW 2A
  19. Light pole - for reference only. See architectural plans
  20. Const. raised concrete drive-thru island (See architectural plans - 6" Max. height)
  21. Const. directional signs. Entrance, "Do not Enter", and Drive Thru. See signage package.
  22. Const. 3.0' concrete waterway
  23. Const. 4" commercial parking White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness
  24. Const. "commercial parking beyond this point" sign (C4.1)
  25. Pylon Sign. by Separate permit
  26. Const. two tone white/tan vinyl fence with concrete mow strip under fence (See architectural plans)
  27. Depress curb for access to cell towers
  28. Const. asphalt paving per UDOT Stds. 7" HMA (UDOT approved mix design) over 12" granular borrow over 6" untreated base course.
  29. Sawcut. Provide smooth clean edge
  30. Const. 1.0' wide concrete paving strip (C4.1)
  31. Transformer pad. See site electrical plans
  32. Power pole. See site electrical plans
  33. Bike Rack. See architectural plans for details and location.
  34. Stairs. See Architectural Plans
  35. Const. 4.0' wide painted pedestrian walkway
  36. Const. Drainage thru planter
  37. Const. 2.0' concrete waterway

Accessible Route  
(See sheets C2.1 & C2.2 for slopes)



**Site Visibility Triangle Keymap**  
Scale: 1" = 100'

**Accessible Note:**  
Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement notify Consultant immediately.  
The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117.1-Latest Edition) and/or FHAA.

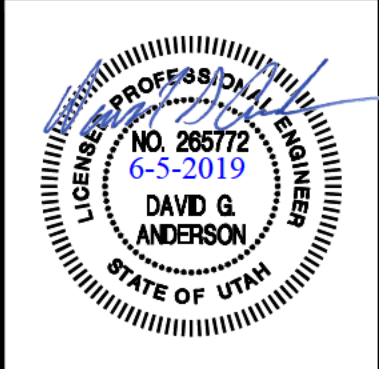
**PRIVATE ENGINEER'S NOTICE TO CONTRACTORS**  
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

**Survey Control Note:**  
The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.



**ANDERSON WAHLEN & ASSOCIATES**  
2010 North Redwood Road, Salt Lake City, Utah 84116  
801.521.8529 - AWEngineering.net

**Site Plan**  
**MACU Redwood**  
1225 S. Redwood Road  
Salt Lake City, Utah

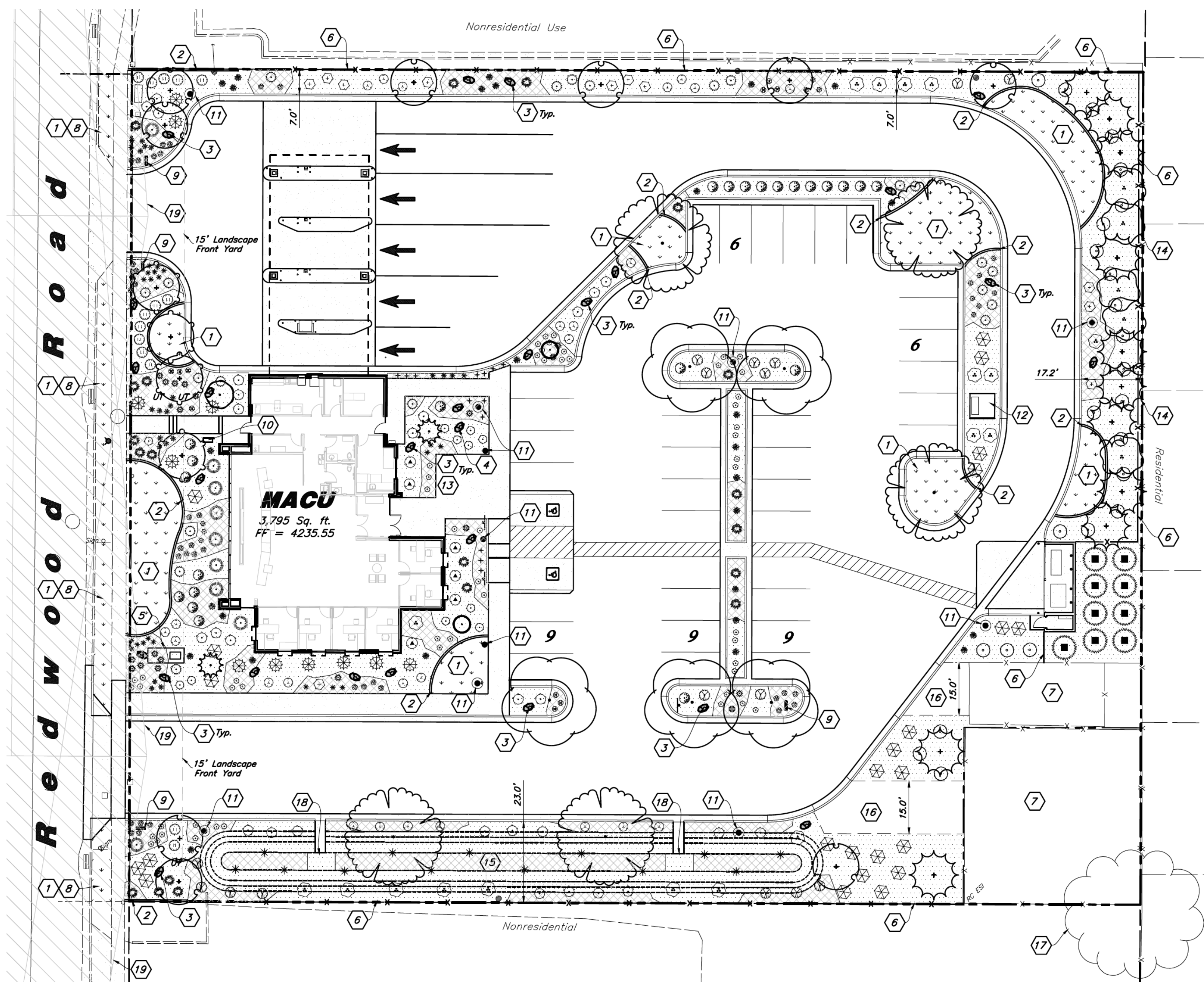


13 Mar, 2019  
SHEET NO.  
**C1.1**

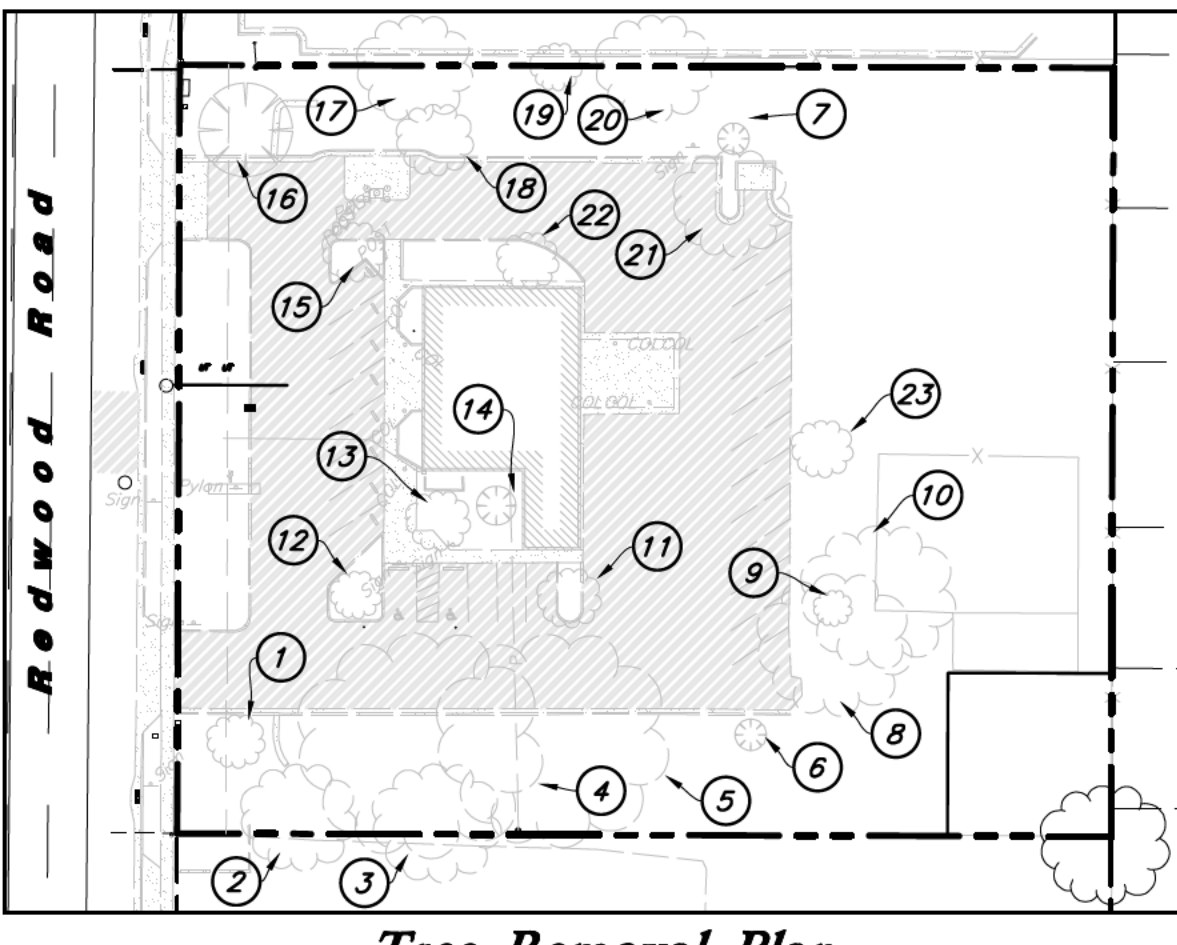


## **ATTACHMENT D: LANDSCAPE PLAN**








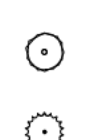

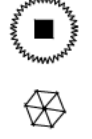
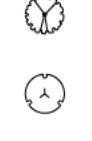
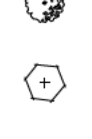




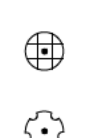
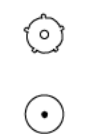












Tree Removal Summary				
Tree #	Tree Species	Tree Size (D.B.H.)	Tree Location	Tree Status
1	Pyrus calleryana - Flowering Pear	6"	Private Property	Tree Shall be Removed
2	Ulmus prunila - Siberian Elm	6"	Private Property	Tree Shall be Removed
3	Ulmus prunila - Siberian Elm	13"	Private Property	Tree Shall be Removed
4	Salix matsudana - Globe Willow	25"	Private Property	Tree Shall be Removed
5	Salix matsudana - Globe Willow	21"	Private Property	Tree Shall be Removed
6	Pinus nigra - Austrian Pine	8"	Private Property	Tree Shall be Removed
7	Pinus nigra - Austrian Pine	8"	Private Property	Tree Shall be Removed
8	Ulmus prunila - Siberian Elm	11"	Private Property	Tree Shall be Removed
9	Ulmus prunila - Siberian Elm	3"	Private Property	Tree Shall be Removed
10	Ulmus prunila - Siberian Elm	14"	Private Property	Tree Shall be Removed
11	Malus x. Flowering Crabapple	4"	Private Property	Tree Shall be Removed
12	Tilia cordata - Little Leaf Linden	12"	Private Property	Tree Shall be Removed
13	Tilia cordata - Little Leaf Linden	12"	Private Property	Tree Shall be Removed
14	Picea pungens 'Fastigiata' - Columnar Blue Spruce	10"	Private Property	Tree Shall be Removed
15	Tilia cordata - Little Leaf Linden	7"	Private Property	Tree Shall be Removed
16	Pinus nigra - Austrian Pine	9"	Private Property	Tree Shall be Removed
17	Pyrus calleryana - Flowering Pear	12"	Private Property	Tree Shall be Removed
18	Carpinus betulus - European Hornbeam	11"	Private Property	Tree Shall be Removed
19	Acer ginala - Ginala Maple	3"	Private Property	Tree Shall be Removed
20	Pyrus calleryana - Flowering Pear	14"	Private Property	Tree Shall be Removed
21	Pyrus calleryana - Flowering Pear	10"	Private Property	Tree Shall be Removed
22	Carpinus betulus - European Hornbeam	3"	Private Property	Tree Shall be Removed
23	Tilia cordata - Little Leaf Linden	9"	Private Property	Tree Shall be Removed



PLANT SCHEDULE

TREES	HYDROZONE	QTY	BOTANICAL / COMMON NAME	SIZE
	4	5	Acer ginnala 'Flame' / Flame Amur Maple	15 gal / 4-6' Ht.
	3	4	Acer tataricum 'Hot Wings' / Hot Wings Tatarian Maple	2" Cal. / 8-10' Ht.
	3	2	Cedrus atlantica 'Fastigiata' / Columnar Blue Atlas Cedar	6-8' Ht.
	3	2	Cedrus deodara 'Eisregen' / Ice Rain Himalayan Cedar	6-8' Ht.
	3	9	Cercis reniformis 'Oklahoma' / Oklahoma Red Bud	1 1/2" Cal. / 6-8'
	3	1	Fagus sylvatica 'Purpurea Pendula' / Weeping Purple Beech	6-8' Ht. B&B
	3	11	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	6-8' Ht.
	3	5	Robinia pseudoacacia 'Purple Crown' / Purple Crown Locust (Shade Tree)	2" Cal. / 8-10' Ht.
	2	5	Zelkova serrata 'Green Vase' / Green Vase Zelkova (Shade Tree)	2" Cal. / 8-10' Ht.
SHRUBS	HYDROZONE	QTY	BOTANICAL / COMMON NAME	SIZE
	3	20	Arctostaphylos uva-ursi 'Massachusetts' / Massachusetts Manzanita	2 gal
	2	12	Berberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Barberry	2 gal
	*	14	Buxus microphylla japonica 'Julea-Jane' / Japanese Boxwood	5 gal
	2	28	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	5 gal
	1	9	Juniperus sabina 'Buffalo' / Buffalo Juniper	5 gal
	3	25	Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark	5 gal
	2	21	Pinus mugo 'Slowmound' / Slowmound Mugo Pine	5 gal
	2	11	Pinus sylvestris 'Hillsdale Creeper' / Hillsdale Creeper Scotch Pine	5 gal
	2	18	Prunus x cistena / Purple Leaf Sand Cherry	5 gal
	*	9	Pyracantha coccinea 'Lowboy' / Lowboy Pyracantha	5 gal
	3	24	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal
	2	16	Ribes alpinum 'Green Mound' / Green Mound Alpine Currant	5 gal
	2	25	Rosa x 'Meigalpio' / Red Drift Rose	2 gal
	3	23	Spiraea x bumalda 'Goldflame' / Goldflame Spirea	2 gal
	3	11	Spiraea x bumalda 'Little Princess' / Little Princess Spirea	5 gal
	1	6	Taxus x media 'Dark Green Spreading' / Green Spreading Yew	5 gal
ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	
	2	27	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Grass	2 gal
	2	13	Miscanthus sinensis 'Gracillimus' / Maiden Grass	5 gal
	2	19	Pennisetum alopecuroides 'Hornet' / Hornet Fountain Grass	2 gal
PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE	
	2	13	Gaura lindheimeri 'Siskiyou Pink' / Siskiyou Pink Gaura	1 gal
	3	26	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 gal
	*	16	Iberis sempervirens 'Purity' / Candytuft	1 gal
	2	13	Iris pallida 'Variegata' / Variegated Sweet Iris	1 gal
	2	10	Lavandula angustifolia 'Hidcote Blue' / Blue Lavender	1 gal
	2	23	Nepeta racemosa 'Blue Wonder' / Blue Wonder Catmint	2 gal
	2	19	Rudbeckia fulgida 'Goldstrum' / Black Eyed Susan	1 gal
	2	12	Salvia x superba 'May Night' / May Night Salvia	1 gal
	3	35	Zauschneria garrettii 'Orange Carpet' / Hummingbird Trumpet	1 gal
LAWN	QTY	BOTANICAL / COMMON NAME	TYPE	
	3,487 sf	Poa pratensis / Kentucky Bluegrass Blend	sod	
*Plant Material Not Found in SLC Water Conserving Plant List				

MATERIAL SCHEDULE	
1" to 2" Dia. Decorative Stone #1 - Install a Three (3) inch depth over Dewitt Pro5 Weed Barrier or Approved Equal; Stone Shall be Used in all Planting Areas and Washed Upon Completion of Installation; Remove all Soil From Weed Barrier Prior to Laying Stone; Stone Shall be Fractured Earth Tone/Tan Colors From Utah Landscaping Rock - See Keynote #1	Detail: 4/L1.2
4" to 8" Dia. Decorative Cobble Stone #2 - Install over Dewitt Pro5 Weed Barrier or Approved Equal; Carefully Place Around Plant Material; Stone Shall be Used in all Planting Areas and Washed Upon Completion of Installation; Remove all Soil From Weed Barrier Prior to Laying Stone; Stone Shall be From Utah Landscaping Rock - See Keynote #2	Detail: 4/L1.2
Pea Gravel - Install over Dewitt Pro5 Weed Barrier or Approved Equal at 3" Depth for Path to Bldg.; Rock Gravel to Provide Smooth Path; Add Stabilizer as Needed to Keep Gravel in Place - Verify w/ Owner if Needed	Detail: 4/L1.2
4" x 6" Landscape Concrete Curbing - Install Flush to all Concrete Edges between Lawn and Planting Areas; Curbing Shall be Continuous; Adjust Alignment as Needed to Avoid New and Existing Utilities and Irrigation Boxes	Detail: 4/L1.2
2-3 Dia. Accent Boulders - Boulders Shall be Earth Tone/Tan Colors From Parsons North Ogden Pit; Boulders Shall be Buried in the Ground at a Max. Ht. of 30". Boulder for Eagle Statue Shall be Selected by MACU ( 27 Qty.)	Detail: 5/L1.2 Detail: 6/L1.2

Scale: 1" = 20'

Nature of Project: The Existing Building and Everything Around it Shall be Removed. A New MACU Building Shall be Constructed With Parking, Walkways and Landscape.

**Landscape Data**  
Zoning District: CC  
Site Area = 67,324 Sq. ft. (1.54 ac.)  
Landscape Area Provided = 21,015 s.f. (31%)  
Park Strip Live Vegetation = 100% (Lawn)  
Parking Lot Area = 35,658 s.f.  
Parking Lot Landscape Provided = 3,624 s.f. (10%)  
Parking Lot Trees Req. = 8 Tree (8 Provided)  
Road Frontage Shrubs Required = 118 (118 Provided)  
Road Frontage Trees Required = 9 (9 Provided)  
  
\* 40% of Shrubs in Road Frontage are Evergreen (47 plants) - Candy Tuft, Manzanita, Mugo Pine, Juniper, Boxwood, and Creeping Pine

- General Landscape Notes:**
- See Sheet L1.2 for Planting Details & Notes.
  - All Landscape Material shall be Fully Irrigated by an Automatic Irrigation System. See Sheet L2.1 for Irrigation Layout. See Sheet L3.1 for Irrigation Details.
  - Adjust Plant Material as Needed to Accommodate New & Existing Utilities.
  - Tree Removal Summary: All Trees to be Removed are on Private Property. Three Existing Trees on Private Property Shall Remain w/ Understory Shrubbery. All the Other Existing Trees on Private Property Shall be Removed to Accommodate the New Bldg. & Site Layout. See Demolition Plan for More Details.
  - All Landscape & Plant Material Installed in Park Strip Shall be Under 22" in Height. Street Trees Have Been Placed Along Existing Sidewalk to Avoid Potential Conflicts w/ Existing Utilities in Park Strip.
  - Onsite Storage of Landscape/Irrigation Materials and Equipment Should Not Block More Than 3 Parking Stalls Unless Otherwise Approved by MACU Corporate Real Estate-Facilities Team.
  - Equipment Cannot Stay Longer Than Two Weeks on Jobsites Unless Otherwise Approved by MACU Corporate Real Estate-Facilities Team.
  - From the Beginning of the Project Through the Final Walk Thru Parking Lots, Sidewalks and Gutters Shall be Free of Dirt and Debris at the End of Each Day.
  - See Landscape Notes for Details regarding Landscape Maintenance Period.
  - 80% of Plant Material Have Been Selected From the Water Conserving Plant List.

- Landscape Keynotes**
- Install Lawn
  - Install Concrete Landscape Curbing
  - Install Accent Boulder
  - Install Accent Boulder w/ Eagle Statue
  - New MACU Pylon Sign by Separate Permit
  - New Vinyl Privacy Fence - See Civil Plans
  - Cellphone Tower Maintenance Area w/ Easement
  - Existing Rock Shall be Removed & 5" Depth of Soil; Add 4" Depth of Topsoil & New Lawn
  - Approximate Location of Directional Signage - Adjust Plant Material as Needed to Allow Good Visibility to Sign; Signs by Separate Permit
  - Install Backflow Preventer Enclosure on Concrete Pad - See Irrigation Plan
  - New Light Pole - See Elect. Plan
  - New Elect. Transformer - See Elect. Plan; Adjust Plant Material as Needed to Allow Access to Transformer
  - New Bike Rack - See Arch. Specs
  - Residential Planting Screen w/ Evergreen Trees, Multi-Stem Deciduous Trees & Large Shrubs
  - New Retention Pond - See Civil for Grading
  - Install Gravel Maintenance Access Road; Gravel Shall be 1-2" Diameter Crushed Gravel
  - Existing Grouping of Trees in Fenced in Area Shall Remain
  - Verify That the Larger Stone is Used at the Bottom of Waterways
  - Clear Sight Triangles - All Objects Within the Clear Sight Triangle Shall be Less Than 3 Feet Tall

Anderson Wahlen & Associates  
1225 S. Redwood Road  
Salt Lake City, Utah

13 Mar, 2019

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## ATTACHMENT E: SITE PHOTOS



*View of site from Redwood Road, looking NE*



*View of site from Redwood Road, looking SE*



*View of site from Redwood Road, landscaping and parking in the back*



*View of site from the rear parking lot, parking lot to be extended further to the east*



*View of site from the rear parking lot, parking lot to be extended further to the east*



# ATTACHMENT F: ANALYSIS OF STANDARDS

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## 21A.54.080 Standards for Conditional Use

**Approval Standards:** A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title;

**Analysis:** The property is located in the Corridor Commercial (CC) zoning district. This zoning district allows commercial parking lots as a conditional use. With the recommended conditions, the proposal complies with the standards which are applicable to commercial parking and parking lots in general.

**Finding:** The proposed use, with the recommended conditions, complies with the applicable provisions of the Salt Lake City Zoning Ordinance.

2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;

**Analysis:** The proposed commercial parking lot is located in the CC district and is located on a major commercial corridor, Redwood Road. The use is compatible with the adjacent commercial uses to the north, south, and west of the site. The proposal moves parking to the rear of the site while the building will be positioned nearer to Redwood Road, thereby better engaging the street with only landscaping between the proposed building and the public right-of-way. The parking lot to the rear of the site will be entirely buffered from the single-family residential lots to the east. This landscape buffer is 17' wide with the space including trees, shrubs, and a 6' tall solid vinyl fence.

**Finding:** With the proposed landscaped buffer, the proposed commercial parking is compatible with the surrounding uses and satisfies this approval standard.

3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and

**Analysis:** The subject site is located in the Westside Master Plan. Commercial parking lots are not a topic discussed in the master plan, but a commercial parking lot is listed as a conditional use in the zoning ordinance. Plan Salt Lake, a city-wide vision, encourages the support of redevelopment and the growth of neighborhood business nodes. While Redwood Road is considered to be a larger community commercial corridor, Mountain America will provide a service to the neighborhood while redeveloping this commercial site on Redwood Road. The proposal is consistent with the intent and standards of Plan Salt Lake and the standards found in the Salt Lake City Zoning Ordinance.

**Finding:** The commercial parking lot is consistent with applicable adopted city planning policies, documents, and master plans.

4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions (refer to Detrimental Impacts Chart below for details).

**21a.54.080B Detrimental Effects Determination**

In analyzing the anticipated detrimental effects of a proposed use, the planning commission shall determine compliance with each of the following:

Criteria	Finding	Rationale
<b>1. This title specifically authorizes the use where it is located</b>	<b>Complies</b>	A commercial parking lot is allowed as a conditional use in the CC zoning district.
<b>2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps</b>	<b>Complies</b>	The commercial parking lot is adjoining to a proposed financial institution. The landscaping and overall layout of the site contributes to the development of the neighborhood by providing a needed service to the area, this meets the goals outlined in the Plan Salt Lake city-wide vision.
<b>3. The use is well-suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area</b>	<b>Complies</b>	A larger size parking lot is common along the Redwood Road corridor. Parking lots to the north, south, and west of the site are existing to accommodate the uses on neighboring sites. The proposed parking lot will be located to the rear of the proposed structure and will be buffered from the residential uses to the east.
<b>4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered</b>	<b>Complies</b>	The use is well suited to the surrounding similar commercial sites to the north, west, and south of the subject site. A sufficient buffer area is being providing to mitigate any negative impacts the larger commercial parking lot may create. The use is in character with the highly trafficked Redwood Road corridor.
<b>5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows</b>	<b>Complies</b>	The proposed site design will not alter the existing ingress and egress to the site. The topography will remain the same and the proposal calls for minimal grading which will comply with common parking lot drainage standards.
<b>6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic</b>	<b>Complies</b>	The proposed commercial parking lot will have adequate aisle width and has been designed to encourage orderly access to drive through bays and individual parking stalls. A pedestrian walkway is proposed to be clearly marked which provides access to the commercial lot from the financial use.

<b>7. The site is designed to enable access and circulation for pedestrian and bicycles</b>	<b>Complies</b>	The building will face onto Redwood Road and will provide pedestrian access from the public right-of-way to the entrance of the building. A pedestrian path will be visibly marked to enable access to the commercial parking lot.
<b>8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street</b>	<b>Complies</b>	Access to the site is existing and does not and will not impact the service level of the adjacent street.
<b>9. The location and design of off-street parking complies with applicable standards of this code</b>	<b>Complies</b>	The proposed parking design complies with all applicable parking standards, including layout, width, length, buffer area, and landscaping.
<b>10. Utility capacity is sufficient to support the use at normal service levels</b>	<b>Complies</b>	Utility capacity has been deemed sufficient, per review by the city's public utilities department.
<b>11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts</b>	<b>Complies</b>	The use is sufficiently screened and buffered from any adjoining uses which are dissimilar. The submittal includes an even greater buffer with than what is minimum standard. This buffer area is appropriately landscaped and fenced to properly screen the proposed use.
<b>12. The use meets City sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke</b>	<b>Complies</b>	The proposed use does not significantly impact sustainability plans nor does it encroach onto a stream or waterway.
<b>13. The hours of operation and delivery of the use are compatible with surrounding uses</b>	<b>Complies</b>	The proposed use will have the same typical hours of operation as an office. The hours of expected delivery will be similar to the adjacent uses which front along Redwood Road.
<b>14. Signs and lighting are compatible with, and do not negatively impact surrounding uses</b>	<b>Complies</b>	The development will include signs and lighting features which are typical for financial institutions and will be subject to the zoning ordinance.
<b>15. The proposed use does not undermine preservation of historic resources and structures</b>	<b>Complies</b>	The proposed does not involve a historic structure or resource.

**Finding:** In analyzing the anticipated detrimental effects of the proposed use, Staff finds that the request complies with the criteria listed above.

## **ATTACHMENT G: PUBLIC PROCESS AND COMMENTS**

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### **Public Notice, Meetings, Comments**

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project:

#### **PUBLIC PROCESS AND INPUT**

##### **Timeline**

- The application was submitted on May 10, 2019.
- Notice of the proposal, and request for input, was provided to the Glendale Community on May 14, 2019 but no comments were received from the neighborhood council within the comment period. No comments have been received as of the writing of this report.
- Early Notification mailings were sent out on June 6, 2019 to property owners and residents within 300' of 1225 South Redwood Road. No comments were received as of the writing of this report.
- Public notice of the Planning Commission hearing was mailed to property owners and residents within 300' of 1225 South Redwood Road.
- A public notice sign was posted on the property on July 17, 2019. No public comments were received before this report was finalized.

## **ATTACHMENT H: DEPARTMENT COMMENTS**

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**Zoning:** (Patricia Anika Stonick) The drive-through facility appears to satisfy requirements of 21A.40.060 for circulation and stacking and so, it is perhaps not likely that any design change is needed for drive-through facility that will impact design currently proposed for commercial parking lot; drive-through facility proposal to also satisfy requirements regarding noise, idle free signage, litter clean-up plan, direct pedestrian entry through front of building from public streets/sidewalks, and masonry wall or fencing (of 6 foot height) at property boundary with any residential use/zone; in application materials shared for review, applicant does not tell the number of parking stalls that are proposed to make up the commercial parking lot (neither is told the number of stalls proposed to be for the credit union use nor is told the total number of parking stalls to be located on the property), but for 3,795 s.f. sized building (applicant's information) to house financial establishment, a minimum of 8 parking stalls are required to be installed on-site; the applicant suggests that 9 stalls are needed to be provided on-site for employees- which is an increase available per 21A.44.030.H.1 (per the referenced code, a maximum of 10 stalls may be located on-site for credit union business, additional stalls- beyond 10- for credit union business will have to be proposed per 21A.44.050); required bicycle parking should be per parking for credit union (and not per count of stalls proposed for commercial parking lot use); it is assumed, then, that the remaining 30 parking stalls shown upon the site (per applicant's information that 9 stalls would be located upon the site to serve the credit union and count of number of stalls shown on site plan) will be for the proposed commercial parking lot use; all surface parking lots for non-residential uses shall provide a clear pedestrian pathway from the parking lot to the entry of the building and the public sidewalk (see 21A.44.020.F.8); during previous assessments by Building Services (at Development Review Team meeting, and for review of building permit request) it has been suggested that the design of the parking lot include a more physical barrier than is currently involved- such as landscape berm- to go between parking for credit union and parking of commercial parking lot; if idea is indeed desirable, it could be a condition of approval of the commercial parking lot conditional use.

**Engineering:** (Scott Weiler) No objections.

**Transportation:** (Michael Barry) There are no issues from Transportation for a commercial parking lot at this location.

**Public Utilities:** (Jason Draper) [No Comments]

**Police:** (Scott Teerlink) [No Comments]