



PLANNING DIVISION DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To:	Salt Lake City Planning Commission
From:	Krissy Gilmore, Principal Planner, <u>Kristina.Gilmore@slcgov.com</u> or 801-535- 7780
Date:	July 2, 2019
Re:	Detached Accessory Dwelling Unit – Conditional Use (PLNPCM2019-00412)

Conditional Use

PROPERTY ADDRESS: Approximately 1143 South Lake Street **PARCEL ID:** 16-08-353-001-0000 **MASTER PLAN:** Central Community **ZONING DISTRICT:** R-1/5000 (Single Family Residential)

REQUEST: Kari Larson, the owner of the property at approximately 1143 South Lake Street, is requesting Conditional Use approval to construct an Accessory Dwelling Unit (ADU) to the rear of the house on the property. The property is located in the R-1/5000 (Single Family Residential) zoning district which requires a Conditional Use process for construction of an ADU.

RECOMMENDATION: Planning Staff finds the project generally meets the applicable standards of approval and therefore recommends the Planning Commission approve the Conditional Use for the ADU with the conditions of approval below. Final approval of the details noted in the following conditions shall be delegated to Planning Staff:

- 1. The site plan will be revised to meet requirements from other divisions as outlined in <u>Attachment H Department Comments.</u>
- 2. The applicant shall comply with the registration process outlined in section 21A.40.200.F of the Salt Lake City zoning ordinance.
- 3. Approval is for the specific items discussed and identified in the staff report. All other applicable zoning regulations and requirements from other city departments still apply.

ATTACHMENTS:

- A. <u>Vicinity Map</u>
- B. <u>Plan Set</u>
- C. Additional Information Provided by Applicant
- D. Property and Vicinity Photos
- E. <u>ADU Zoning Standards</u>
- F. Conditional Use Standards

- G. Public Process & Comments
- H. <u>Department Review Comments</u>

PROJECT DESCRIPTION:

The proposed project is for construction of a detached ADU to the rear of the house on the property located at approximately 1143 South Lake Street. The proposed ADU has one bedroom and one bathroom and is approximately 520 SF. There are two parking spaces and a garage that are accessed from Princeton Avenue.

The proposed ADU has a gabled roof and a maximum height of 11 FT 7 IN. The primary exterior building material is a fiber cement siding. The casement windows on the proposed ADU are similar in dimension to the primary structureon the property, and smaller skylight windows are provided to provide for additional light while providing privacy for adjacent properties. The entrance to



Approximate location of proposed ADU

the proposed ADU is facing the rear of the primary residence and includes a front porch/entry feature.



Conceptual rendering submitted with application. View of front elevation facing rear of primary residence.

PLANNING COMMISSION REVIEW:

The property is located in the R-1/5000 zoning district, which is a single family zoning district. A Conditional Use process is required for any ADU's located in a single family zone. For complete analysis and findings in relation to the Conditional Use standards please refer to <u>Attachment F.</u>

NEXT STEPS:

Approval of Conditional Use

If the request is approved, the applicant will need to need to comply with the conditions of approval, including any of the conditions required by other City departments and any added by the Planning Commission. The applicant will be able to submit plans for building permits and certificates of occupancy for the buildings will only be issued once all the conditions of approval are met including the registration process requirements outlined in 21A.40.200.F of the zoning ordinance.

Denial of Conditional Use

State and City code requires that a Conditional Use be approved if reasonable conditions can be imposed on the use to mitigate any reasonably anticipated detrimental effects of the use. A conditional use can only be denied if the Planning Commission finds that reasonably anticipated detrimental effects cannot be mitigated with the imposition of reasonable conditions.

If the Planning requests are denied, the applicant would not be able to construct an ADU. An accessory structure could still be constructed on the property subject to meeting zoning requirements, however, it could not be used as an accessory dwelling. Accessory structures in the R-1/5000 zoning district must be located a minimum of 1 FT from the side and rear property lines, meet the lot coverage requirements, and the permitted maximum height for a pitched roof accessory building is 17 FT to the midpoint or 12 FT for a flat roof.

ATTACHMENT A – VICINITY MAPS





Approximate location of proposed ADU



PROPOSED A.D.U.

SCALE: 1/16" = 1'

□ 1143 South Lake Street

Telephone 801 xxx xxxx 😐 Salt Lake City Utah 84105

Kari Larson

Pink: Proposed new fence Blue: Existing fence to remain All areas within fence and entrance will be landscaped. 16'-0" 12'-0" 18'-0" Alley 06/19/2019 SITE PLAN

Green: Existing fence to be

removed

PRINCETON AVE



WARNINGS & DISCLAIMER

PROJECT DATA

I) THE SMALL HOUSE CATALOG HAS PREPARED THESE DOCUMENTS TO MEET GENERALLY ACCEPTED PROFESSIONAL STANDARDS AND PRACTICES, HOWEVER, THEY HAVE BEEN DESIGNED WITHOUT ANY	DESIGN STANDARD(S): 2015 INTERNATIONAL RESIDENTIAL CODE
KNOWLEDGE OF – OR REFERENCE TO – THE LICENSEE'S SPECIFIC SITE OR GEOGRAPHICAL LOCATION. SPECIFIC SITE CONDITIONS MAY VARY AND INCLUDE BUT ARE NOT LIMITED TO SUCH THINGS AS:	SEISMIC DESIGN CATEGORY: D2
SUCH AS FROST DEPTH, SOIL BEARING CAPACITY, SEISMIC AND WIND ZONES, ETC. IN ADDITION, LOCAL CODE REQUIREMENTS, INCLUDING SUCH LIFE-SAFETY REQUIREMENTS AS STAIR WIDTH, STAIR RISE AND RUN, EGRESS	
WINDOWS AND SMOKE DETECTORS, ETC. MAY VARY, THE STRENGTH OF MATERIALS (E.G. LUMBER) AVAILABLE MAY VARY, THEREFORE, SUPPLEMENTAL TO THESE DOCUMENTS, IT IS THE LICENSEE'S RESPONSIBILITY TO CONSULT WITH HIS/HER, CHOSEN BUILDER LOCAL BUILDING DEPAPTMENT AND A STRUCTURAL ENGINEER	
TO DETERMINE THAT THESE DOCUMENTS MEET ALL CURRENT FEDERAL, STATE/PROVINCIAL AND LOCAL CODES, ORDINANCES/BYLAWS AND REGULATIONS, ETC., AND ARE APPROPRIATE TO SPECIFIC SITE	ROOF LOAD: PREFABRICATED ROOF TRUSSES
CONDITIONS. COMPLIANCE WITH SUCH REQUIREMENTS SHALL TAKE PRECEDENCE OVER THESE DOCUMENTS.	SNOW LOAD: 50 PSF
2) ANY USE OF THIS INFORMATION WITHOUT ADAPTATION TO CHANGES IN CODES, STANDARDS, SITE CONDITIONS AND OTHER FACTORS IS AT THE LICENSEE'S SOLE RISK. THE SMALL HOUSE CATALOG ASSUMES	CONDITIONED SQUARE FOOTAGE: 456 SQUARE FEET
NO RESPONSIBILITY FOR CHANGES MADE TO THESE PLANS BY OTHERS AND MAKES NO WARRANTIES, EITHER EXPRESSED OR IMPLIED, IN THE USE OF THESE PLANS, THE LICENSEE AGREES TO DEFEND AND INDEMNIFY THE	STRUCTURE DIMENSIONS: IRREGULAR, SEE FLOOR PLAN
DOCUMENTS.	PORCH: 8'-0" X 8'-0" (64 SQUARE FEET)
3) BEFORE STARTING CONSTRUCTION, IT IS THE BUILDER'S RESPONSIBILITY TO CHECK ALL DIMENSIONS AND DETAILS, AND VERIFY CONFORMANCE WITH GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHIC AREA	LEVELS:
IN WHICH THE HOUSE IS TO BE BUILT. ALL STRUCTURAL, MECHANICAL AND ELECTRICAL REQUIREMENTS SHALL ALSO BE REVIEWED BEFORE CONSTRUCTION BEGINS. CODES GOVERN OVER DRAWINGS AND	OVERALL HEIGHT: 11' - 7 1/16"
DIMENSIONS GOVERN OVER SCALE. PLEASE NOTIFY THE SMALL HOUSE CATALOG OF DIMENSIONAL DISCREPANCIES.	
4) THE SMALL HOUSE CATALOG HAS NOT BEEN ENGAGED FOR CONSTRUCTION SUPERVISION OF ANY KIND	
AND ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR ANY RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK	FOUNDATION: INSULATED SLAB WITH DEEP FOUTINGS (FULLT INSULATED PERIMETER + SLAB)
5) THIS IS NOT A SALE OF ORIGINAL DOCUMENTS. THE SMALL HOUSE CATALOG RETAINS OWNERSHIP OF ALL	HEATING: DUCTLESS MINI-SPLIT HEAT-PUMP
ÓRIGINAL DOCUMENTS AND ALL SUBSEQUENT COPIES (REGARDLESS OF FORMAT).	WATER HEATING: ELECTRIC TANK
6) THE LICENSEE IS GRANTED THE RIGHT TO MAKE COPIES AS NEEDED FOR THE CONSTRUCTION OF ONE (I) BUILDING PER PLAN PURCHASE AND/OR FREE DOWNLOAD. THE SMALL HOUSE CATALOG REQUESTS THAT YOU HONOR THIS COPYRIGHT POLICY. ADDITIONAL RIGHTS CAN BE EASILY PURCHASED AT A REASONABLE PRICE FROM THE SMALL HOUSE CATALOG OFFICE.	PRINT SIZE: ARCH D 24" X 36" (A1 594 X 841); BLACK & WHITE SHEETS
7) TERMS AND CONDITIONS APPLY TO ALL PLANS.	
8) MAILING ADDRESS:	
SMALL HOUSE CATALOG, LLC % SHAWN A. DEHNER	
1574 GULF ROAD #207 POINT ROBERTS, WA 98281	
TEL. (619) 787-9272 EMAIL: SHAWN@SMALLHOUSECATALOG.COM	
1) THESE PLANS HAVE BEEN DESIGNED TO SATISFY GENERALLY ACCEPTED BUILDING REQUIREMENTS. HOWEVER, THE SMALL HOUSE CATALOG CANNOT GUARANTEE THAT THEY WILL BE APPROPRIATE FOR YOUR SPECIFIC CONDITIONS OR THAT THEY WILL MEET ALL THE REQUIREMENTS OF YOUR LOCAL CODING AGENCY. IT IS THE RESPONSIBILITY OF THE LICENSEE TO SEE THAT THEY DO. CONSULTATION WITH YOUR BUILDER PRIOR TO SUBMISSION OF A PERMIT APPLICATION IS RECOMMENDED. ADDITIONAL ENGINEERING MAY BE REQUIRED.	
2) THE SMALL HOUSE CATALOG – INCLUDING ANYONE WHO HAS BEEN INVOLVED IN THE CREATION, PRODUCTION, OR DELIVERY OF THESE DOCUMENTS – SHALL NOT BE LIABLE FOR ANY DIRECT, INDIRECT, CONSEQUENTIAL, OR INCIDENTAL DAMAGES.	
3) THE LICENSEE IS GRANTED LICENSE TO BUILD ONE HOUSE PER PLAN. ADDITIONAL PRINTS MAY BE INDEPENDENTLY COPIED, AS REQUIRED, TO BUILD YOUR HOUSE. ANY CHANGES TO THESE PLANS MUST BE CONFIRMED BY A LICENSED STRUCTURAL ENGINEER AND APPROVED BY YOUR LOCAL CODE ENFORCEMENT AGENCY.	
4) ALL PLANS ARE PROTECTED BY FEDERAL COPYRIGHT LAWS. ANY USE OF THE INFORMATION CONTAINED HEREIN BEYOND THE ONE-TIME USE AUTHORIZED BY A PURCHASE OF PRINTS, OR ANY DUPLICATION, PUBLICATION, SALE OR DISTRIBUTION OF ANY PART OF THESE PLANS WITHOUT THE PRIOR WRITTEN CONSENT OF THE ORIGINAL DESIGNER REPRESENTS A VIOLATION OF FEDERAL LAWS SUBJECT TO THE PRESCRIBED PENALTIES.	
5) ANY USE OF THE PLANS, OR MODIFICATIONS OF THE PLANS, BY PURCHASERS, BUILDERS OR OTHERS IS DONE AT THEIR OWN RISK. LICENSEE SHOULD HAVE THE PLANS REVIEWED BY A LOCAL PROFESSIONAL ARCHITECT OR ENGINEER BEFORE THE START OF CONSTRUCTION. THE INFORMATION CONTAINED WITHIN THE CONSTRUCTION DOCUMENTS IS INTENDED TO DEPICT DESIGN AND BASIC CONSTRUCTION DETAILING. IT IS THE BUILDER'S RESPONSIBILITY TO PROVIDE STANDARD CONSTRUCTION DETAILS AND PRACTICES WHICH WILL RESULT IN A STRUCTURALLY SOUND AND WEATHERPROOF FINISHED PRODUCT.	
6) HOUSE PLANS ARE NON-REFUNDABLE.	PLAN STMBOLS
7) TERMS AND CONDITIONS APPLY TO ALL PLANS.	
END USER AGREEMENT	SECTION SYMBOL
I) THESE PLANS HAVE BEEN DESIGNED TO SATISFY GENERALLY ACCEPTED BUILDING REQUIREMENTS.	SHEET NUMBER
SPECIFIC CONDITIONS OR THAT THEY WILL MEET ALL THE REQUIREMENTS OF YOUR LOCAL CODING AGENCY. IT IS THE RESPONSIBILITY OF THE LICENSEE TO SEE THAT THEY DO. CONSULTATION WITH YOUR BUILDER PRIOR TO SUBMISSION OF A PERMIT APPLICATION IS RECOMMENDED. ADDITIONAL ENGINEERING MAY BE REQUIRED.	
2) THE SMALL HOUSE CATALOG – INCLUDING ANYONE WHO HAS BEEN INVOLVED IN THE CREATION, PRODUCTION, OR DELIVERY OF THESE DOCUMENTS – SHALL NOT BE LIABLE FOR ANY DIRECT, INDIRECT, CONSEQUENTIAL, OR INCIDENTAL DAMAGES.	3 SHEET NUMBER
3) THE LICENSEE IS GRANTED LICENSE TO BUILD ONE HOUSE PER PLAN. ADDITIONAL PRINTS MAY BE INDEPENDENTLY COPIED, AS REQUIRED, TO BUILD YOUR HOUSE. ANY CHANGES TO THESE PLANS MUST BE CONFIRMED BY A LICENSED STRUCTURAL ENGINEER AND APPROVED BY YOUR LOCAL CODE ENFORCEMENT AGENCY.	DETAIL NUMBER A33 DETAIL SYMBOL
4) ALL PLANS ARE PROTECTED BY FEDERAL COPYRIGHT LAWS. ANY USE OF THE INFORMATION CONTAINED HEREIN BEYOND THE ONE-TIME USE AUTHORIZED BY A PURCHASE OF PRINTS, OR ANY DUPLICATION, PUBLICATION, SALE OR DISTRIBUTION OF ANY PART OF THESE PLANS WITHOUT THE PRIOR WRITTEN CONSENT OF THE ORIGINAL DESIGNER REPRESENTS A VIOLATION OF FEDERAL LAWS SUBJECT TO THE PRESCRIBED PENALTIES.	
5) ANY USE OF THE PLANS, OR MODIFICATIONS OF THE PLANS, BY PURCHASERS, BUILDERS OR OTHERS IS	DOOR NUMBER OR TYPE
DONE AT THEIR OWN RISK. LICENSEE SHOULD HAVE THE PLANS REVIEWED BY A LOCAL PROFESSIONAL ARCHITECT OR ENGINEER BEFORE THE START OF CONSTRUCTION. THE INFORMATION CONTAINED WITHIN THE CONSTRUCTION DOCUMENTS IS INTENDED TO DEPICT DESIGN AND BASIC CONSTRUCTION DETAILING. IT IS THE BUILDER'S RESPONSIBILITY TO PROVIDE STANDARD CONSTRUCTION DETAILS AND	A WINDOW NUMBER OR TYPE

SA-CO SMOKE & CARBON MONOXIDE ALARM

) TERMS AND CONDITIONS APPLY TO ALL PLANS.

6) HOUSE PLANS ARE NON-REFUNDABLE.

PRACTICES WHICH WILL RESULT IN A STRUCTURALLY SOUND AND WEATHERPROOF FINISHED PRODUCT.

IRC CODE REFERENCES & GENERAL NOTES

GENERAL FRAMING

. NON-ENGINEERED JOISTS TO BE NO. 2 GRADE OR BETTER . PROVIDE APPROVED ANCHORAGE OF BEAMS OR GIRDERS TO POSTS PER IRC SEC'S R407.3, R502.9 & R802.11. B. SOLID BLOCKING REQ'D AT ALL BEARING POINTS OF FLOOR, CEILING & ROOF SYSTEMS ACCORDING TO IRC CONCRETE (R402.2 CONCRETE) EC'S 502 & R802, IBC SEC'S 2308.8.2 & R2308.10.6.

. PROVIDE APPROVED ANCHORAGE OF BEAMS OR GIRDERS TO POSTS PER IRC SEC'S R407.3, R502.9 & R802.11. 5. THIS STRUCTURE TO COMPLY WITH MIN. FASTENER SCHEDULE, TABLES R602.3 (1) THRU (5). 6.ALL JOISTS DOUBLED @ FLOOR OPENINGS.

7. FOLLOW IRC TABLE R502.3.1(1) FOR JOIST SPANS OR MANUFACTURERS SPECS FOR ENGINEERED JOISTS. . PRIOR TO SILL PLATE INSTALLATIÓN, INSPECT CONCRETE WORK CONDITION AND COMPÁRE ALL SITE SHALL BE AIR ENTRAINED AS SPECIFIED IN TABLE R402.2. THE MAXIMUM WEIGHT OF FLY ASH, OTHER DIMENSIONS WITH FOUNDATION PLAN DIMENSIONS.

FASTENERS

FOR ALL PRESERVATIVE-TREATED & FIRE- RETARDANT TREATED: CONNECTORS SHALL BE TREATMENT RATED. CEMENTITIOUS MATERIALS SPECIFIED IN SECTION 4.2.3 OF ACI 318. MATERIALS USED TO PRODUCE FASTENERS SHALL BE HOT- DIPPED ZINC-COATED GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR CONCRETE AND TESTING THEREOF SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN COPPER. FOLLOW IRC TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS.

SITE PREPARATION

WATER AWAY FROM THE HOUSE. THE FINISHED GRADE WILL BE SLOPED AWAY FROM THE FOUNDATION WALL PURPOSE, WHEN A CONTINUOUSLY APPROVED DESIGN MIX IS TO BE USED ON A PROJECT. IT SHALL BE OF THE HOUSE.

CONCRETE FOUNDATION REMOVE ALL LOOSE & ORGANIC MATERIALS & EXCAVATE FOR FOOTINGS & PADS AS PER PLANS. THE DISTANCE OF THE FOOTING BASE TO THE FINISHED GRADE MUST BE NO LESS THAN THE DEPTH OF LOCAL FROST 4. THE MINIMUM PERMISSIBLE CEMENT CONTENT IN STANDARD 95-LB SACKS/CUBIC YARD FOR PENETRATION. FOOTINGS MUST BE ACCURATELY POSITIONED AND ROUGHLY LEVEL. FOOTINGS VARY IN SIZE & MODERATE EXPOSURE SLABS IS 5-1/2 (3000 PSI AFTER 28 DAYS). CODE ALTERNATE R402.2: 5-SACK 2000 PSI DEPTH DEPENDING ON THE ALLOWABLE SOIL PRESSURE AND THE LOAD THE BOTTOM OF THE FOOTING IS & 5 1/2-SACK 2500 PSI CONCRETE MIXES ARE EQUIVALENT TO 3000 PSI CONCRETE FOR WEATHERING ALWAYS PLACED ON UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH EACH RUN LEVEL.

WATERPROOFING

CONCRETE WALLS BELOW GRADE SHALL BE WATERPROOFED WITH A NON-TOXIC ELASTOMERIC MATERIAL INCREASED BY 1/2 SACK PER YARD. APPLIED ON THE EXTERIOR SURFACE FROM THE FOOTINGS TO THE FINISHED GRADE LINE, TO MAKE THE WALL WATERTIGHT AGAINST ORDINARY SEEPAGE THAT MAY OCCUR.

SILL ANCHOR

BE LAID ON FOUNDATION WITH A CLOSED CELL FOAM GASKET OR OTHER AIR-IMPERMEABLE MATERIAL IN PURPOSE. WHEN A CONTINUOUSLY APPROVED DESIGN MIX IS TO BE USED ON A PROJECT, IT SHALL BE BETWEEN, AND OF SAME WIDTH AS SILL PLATE. SILL PLATES SHALL BE PRESSURE TREATED 2× MATERIAL DF #2 THE GENERAL CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A COPY OF THE ORIGINAL STAMPED OR BETTER & ANCHORED TO CONCRETE WALL WITH 5/8" ANCHOR BOLTS EMBEDDED 7" MIN. IN CONCRETE & APPROVED MIX DESIGN FOR THE USE OF THE SPECIAL INSPECTOR. THE CONTRACTOR SHALL MAINTAIN I" MIN. ABOVE CONCRETE. ANCHOR BOLT SHALL BE PLACED 4'-0" o.C. MAX. APART AND 12" FROM ENDS WITH A COPY OF THE MIX DESIGN ON SITE THROUGHOUT THE CONSTRUCTION PHASE OF THE PROJECT. WO BOLTS MIN. PER SILL PLATE

LOOR JOISTS

OISTS ARE INSTALLED, LOCATED & SPACED ACCORDING TO THE DESIGN. ANY JOISTS HAVING A SLIGHT BOW TABLE R402.2 MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE DGEWISE SHALL BE PLACED WITH THE CROWN ON TOP. ALL JOISTS TO HAVE A MINIMUM OF 1-1/2" BEARING t support. Flush framed joists to be fastened to beams with fully nailed joist hangers. All LOOR OPENINGS TO BE FRAMED WITH DOUBLE TRIMMER JOIST AND DOUBLE HEADER JOIST. INSTALL DOUBLE JOIST OR SOLID BLOCKING UNDER ALL FRAMED PARTITIÓN WALLS. INSTALL BLOCKING BETWEEN JOISTS TO RANSFER CONCENTRATED LOADS TO BEARING BELOW.

CONTINUOUS SHEATHING BRACED WALL PANELS

CONTINUOUS SHEATHING METHODS REQUIRE STRUCTURAL PANEL SHEATHING TO BE USED ON AL HEATHABLE SURFACES ON ONE SIDE OF A BRACED WALL LINE INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS. BRACED WALL PANELS SHALL BE CONSTRUCTED IN ACCORDANCE /ITH ONE OF THE METHODS LISTED IN TABLE R602.10.4.1. DIFFERENT BRACING METHODS, OTHER THAN rhose listed in table r602.10.4.1, shall not be permitted along a braced wall line with CONTINUOUS SHEATHING. ANCHOR BOLTS SHALL BE PROVIDED FOR THE FULL LENGTH OF BRACED WALL

PRODUCT QUALITY

ZERO-VOC, NON-TOXIC & NON-CARCINOGENIC PAINTS & STAINS, CAULKS, SEALANTS & ADHESIVES AR STRONGLY RECOMMENDED.

BUGS & PESTS

NO BROAD SPECTRUM INSECTICIDES OR HERBICIDES SHALL BE APPLIED BEFORE, DURING OR AFTER THI FOUNDATION WORK. APPLY TERMITE SHIELDS, IF REQ'D. PROPERLY SCREEN VENTING & OPENINGS.

FINAL INSPECTION A DESIGN PROFESSIONAL OR LICENSED BUILDER SHALL COMPLETE AND POST AN "INSULATION CERTIFICATE FOR RESIDENTIAL CONSTRUCTION" WITHIN 3' OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION (IN SEATTLE: SEE SRC R401.3.)

EGRESS

I. ALL ROOMS TO BE USED FOR SLEEPING PURPOSES & BASEMENTS WITH HABITABLE SPACE REQUIRE EMERGENCY & RESCUE OPENING COMPLYING WITH IRC SEC R310.1. 2. AT LEAST ONE DOOR SHALL MEET EGRESS REQ. IRC R311. THIS DOOR MUST BE SIDE HINGED WITH MIN 32" (813 MM) CLEAR WIDTH WHEN MEASURED B/T THE FACE OF THE DOOR & THE STOP W/ DOOR AT 90 DEGREES (1.57 RAD.). MIN. CLEAR HEIGHT OF DOOR MUST NOT BE < THAN 78" (1981 MM) MEASURED FROM TOP OF THRESHOLD TO BOTTOM OF STOP.

VINDOW REOUIREMENTS

. MINIMUM 5.7 SQ. FT. NET CLEAR OPENABLE AREA, EXCEPT GRADE FLOOR OPENINGS PERMIT MIN. 5 SQ. FT OPENABLE AREA. . MINIMUM 24" NET CLEAR OPENABLE HEIGHT.

MINIMUM 20" NET CLEAR OPENABLE WIDTH. 4. SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

. OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE

INIMUM ROOM AREAS & CEILING HEIGHT: . HABITABLE ROOMS PER IRC SEC R304 FOR FLOOR AREA.

HABITABLE ROOMS PER IRC SEC R305 FOR CEILING HEIGHT. SECOND FLOOR HALLWAYS, BEDROOMS & BATHROOMS TO MEET R305 EXCEPTIONS (1) AND (2) FOR SLOPED CEILINGS.

STAIRS, STEPS & LANDINGS STAIRWAYS & STAIRWAY LANDINGS, HANDRAILS & ILLUMINATION SHALL COMPLY WITH IRC SEC R31

GUARDS PER IRC SEC R312. . R311.7.6 LANDINGS FOR STAIRWAYS. THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOI OF EACH STAIRWAY. THE MINIMUM WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL BE NO ess than the width of the flight served. Landings of shapes other than square or RECTANGULAR SHALL BE PERMITTED PROVIDED THE DEPTH AT THE WALK LINE AND THE TOTAL AREA IS NOT LESS THAN THAT OF A QUARTER CIRCLE WITH A RADIUS EQUAL TO THE REQUIRED LANDING WIDTH. WHERE THE STAIRWAY HAS A STRAIGHT RUN, THE MINIMUM DEPTH IN THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN 36 INCHES (914 MM) 3. R311.7.2 HEADROOM. THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS

'HAN 6 FEET 8 INCHES (2032 MM) MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE

MINIMUM FIREPLACE & HEATING REQUIREMENTS

I. PROPANE & SOLID FUEL BURNING FIREPLACES INSTALLATION SHALL COMPLY WITH IRC CHAP. 10 . PROPANE & SOLID FUEL BURNING FIREPLACES TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

SMOKE & CARBON MONOXIDE ALARMS

. PROVIDE SMOKE DETECTORS IN ACCORDANCE WITH IRC R314.3. 2. PROVIDE UL-2034 APPROVED CARBON MONOXIDE ALARMS OUTSIDE EACH SEPARATE SLEEPING AREA IN THE MEDIATE VICINITY OF EACH BEDROOM IN ACCORDANCE WITH IRC R315.2. 3. SMOKE ALARMS SHALL BE HARDWIRED AND INTERCONNECTED VIA WIRE OR WIRELESS METHODS ACCORDING TO IRC R315.1 4. CO ALARM SHALL BE INSTALLED ON EACH LEVEL OF BUILDING ACCORDING TO IRC R315.1.

ENERGY EFFICIENCY

I. A MIN. OF 75% OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS AS PER SEC R404.1 2. A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE CONDITIONING SYSTEM SHALL BE PROVIDED A PER SEC R403.1.1

3. R402.3.1 U-FACTOR AN AREA-WEIGHTED AVERAGE OF FENESTRATION PRODUCTS SHALL BE PERMITTED T SATISFY THE U-FACTOR REQUIREMENTS. EXAMPLE OF AREA WEIGHTED U-VALUE CALCULATION: WINDOW # AREA 10 FT2 U = .34 U X A = 3.4 WINDOW #2 AREA 15 FT2 U = .28 U X A = 4.2 TOTAL AREA 25 FT2 TOTAL U X A = 7.6 AREA WEIGHTED AVERAGE 7.6/25 = 0.30

WATER EFFICIENCY

I. WATER EFFICIENCY STANDARDS FOR PLUMBING FIXTURES SHALL BE MAX. I.6 GAL PER FLUSH & 2.5 GAL PER MINUTE FOR SHOWER HEADS, LAVATORY FAUCETS AND KITCHEN FAUCETS. EFFICIENT WATER HEATING . WATER HEATING SYSTEM SHALL INCLUDE ONE OF THE FOLLOWING: GAS, PROPANE OR OIL WATER HEATER WITH A MINIMUM EF OF 0.62 OR ELECTRIC WATER HEATER WITH A MINIMUM EF OF 0.93. 2. ALL SHOWER HEAD AND KITCHEN SINK FAUCETS INSTALLED IN THE HOUSE SHALL BE RATED AT 1.75 GPN OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS.B TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SPECIFY THE WATER HEATER EQUIPMENT TYPE AND THE MINIMUM EQUIPMENT EFFICIENCY AND SHALL SPECIFY THI MAXIMUM FLOW RATES FOR ALL SHOWER HEADS, KITCHEN SINK FAUCETS, AND OTHER LAVATORY FAUCETS.

AIR LEAKAGE

UNLESS OTHER SPECIFIED BY LOCAL CODES, AIR LEAKAGE SHALL NOT EXCEED 5 AIR EXCHANGES PER HOUR & SHALL BE TESTED AS SUCH. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY & PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL INSPECTION. THE AIR LEAKAGE TEST RESULT SHALL BE DOCUMENTED IN WRITING.

SILL PLATES

. THE SILL PLATE SHALL BE LEVELED CAREFULLY. IF THE TOP OF THE FOUNDATION IS LEVEL, THE SILL PLATE MAY BE LAID ON FOUNDATION WITH A CLOSED CELL FOAM GASKET OR OTHER AIR-IMPERMEABLE MATERIAL IN BETWEEN, AND OF SAME WIDTH AS SILL PLATE. 2. SILL PLATES SHALL BE PRESSURE TREATED 2X MATERIAL DF #2 OR BETTER & ANCHORED TO CONCRETE WAL /ITH 5/8" ANCHOR BOLTS EMBEDDED 7" MIN. IN CONCRETE & 2" MIN. ABOVE CONCRETE. ANCHOR BOLT

SHOULD BE PLACED 4'-0" O.C. MAX. APART AND 12" FROM ENDS WITH TWO BOLTS MIN. PER SILL PLATE. ANCHORS & FASTENERS

. PROVIDE APPROVED ANCHORAGE OF BEAMS OR GIRDERS TO POSTS PER IRC SEC'S R407.3, R502.9 & R802.11. THIS STRUCTURE TO COMPLY WITH MIN. FASTENER SCHEDULE, TABLES R602.3 (1) THRU (5).

BLOCKING

SOLID BLOCKING REQ'D AT ALL BEARING POINTS OF FLOOR, CEILING & ROOF SYSTEMS PER IRC SEC'S R502 & R802 & IBC SEC'S 2308.8.2 & 2308.10.6.

I. LUMBER SHALL BE PROTECTED AGAINST ROT & DECAY PER IRC SEC R317.

FOR ALL PRESSURE PRESERVATIVE & FIRE-RETARDANT TREATED WOOD USE TREATMENT RATED CONNECTORS & HOT-DIPPED GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER FASTENERS PER IRC 3. MIN. 4" SLAB O/ 6-MIL POLY LAYER.

FOUNDATION NOTES

DESIGN SOIL BEARING PRESSURE (SOILS REPORT REQUIRED IF > 2000 PSF)

. SACK MIX FOR THIS FOUNDATION SHALL PROVIDE 3000 PSI COMPRESSIVE STRENGTH TO SATISFY WEATHERING CONDITIONS.

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF F'C, AS SHOWN IN TABLE R402.2. CONCRETE SUBJECT TO MODERATE OR SEVERE WEATHERING AS INDICATED IN TABLE R301.2(1) POZZOLANS, SILICA FUME, SLAG OR BLENDED CEMENTS THAT IS INCLUDED IN CONCRETE MIXTURES FOR GARAGE FLOOR SLABS AND FOR EXTERIOR PORCHES, CARPORT SLABS AND STEPS THAT WILL BE EXPOSED TO DEICING CHEMICALS SHALL NOT EXCEED THE PERCENTAGES OF THE TOTAL WEIGHT OF CHAPTER 3 OF ACI 318 OR ACI 332.

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN THE APPROVAL OF THE A SURFACE DRAINAGE PATTERN SHALL BE ESTABLISHED WHICH WILL DRAIN THE ENTIRE AREA AND DIRECT PROJECT'S STRUCTURAL ENGINEER PRIOR TO USING ANY CONCRETE MIX FOR ANY STRUCTURAL THE GENERAL CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A COPY OF THE ORIGINAL STAMPED APPROVED MIX DESIGN FOR THE USE OF THE SPECIAL INSPECTOR. THE CONTRACTOR SHALL MAINTAIN

A COPY OF THE MIX DESIGN ON SITE THROUGHOUT THE CONSTRUCTION PHASE OF THE PROJECT. POTENTIAL AND AIR-ENTERTAINMENT IS NOT REOUIRED TO ADDRESS WEATHERING.

SPECIAL INSPECTION OF CONCRETE IS NOT REQUIRED WHERE MINIMUM CEMENT CONTENT IS

6. CONCRETE MIX FOR THIS FOUNDATION SHALL BE 6 SACKS TO SATISFY THE ABOVE REQUIREMENTS. 7. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN THE APPROVAL OF THE THE SILL PLATE SHALL BE LEVELED CAREFULLY. IF THE TOP OF THE FOUNDATION IS LEVEL, THE SILL PLATE MAY PROJECT'S STRUCTURAL ENGINEER PRIOR TO USING ANY CONCRETE MIX FOR ANY STRUCTURAL

	MINIMUM SPECIFIED COMPRESSIVE STRENGTH					
TYPE OR LOCATION OF CONCRETE CONSTRUCTION	WEATHERING POT	ENTIAL B				
	NEGLIGIBLE	MODERATE	SEVERE			
BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE NOT EXPOSED TO THE WEATHER	2,500	2,500	2,500			
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	2,500	2,500	2,500			
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER	2,500	3,000	3,000			
PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS	2,500	3,000	3,500			

ITEM	DESCRIPTION OF BUILT	DING ELEMENTS	NUMBER AND TYPE OF FAS	TENERA, B, C	SPACING OF FASTENERS	
	BLOCKING BETWEEN JOISTS OR	R RAFTERS TO TOP PLATE,	3-8D (21/2" × 0.11	3")	_	
	TOE NA CEILING IOISTS TO PI	ATE. TOF NAII	3-8D (21/2"× 0.11	3")	_	
3	CEILING JOISTS NOT ATTACHED	TO PARALLEL RAFTER, LAPS	3-10D	<i>,</i>		
	OVER PARTITIONS	S, FACE NAIL	5-105			
4	STRAP		3-10D (3" × 0.128	")	—	
5	RAFTER TO PLATE	E, TOE NAIL	2-16D (31/2" × 0.13	35")	—	
6		AIL	4-16D (31/2" × 0.13 3-16D (31/2" × 0.13	35") 35")		SMALL HOUSE CATALOG
	FACE N	IAIL	WALL	,		1574 GULF ROAD #2
7	BUILT-UP CORN	IER STUDS	10D (3" × 0.128")	24" O.C.	POINT ROBERTS, WA 9
8	BUILT-UP HEADER, TWO PIEC	CES WITH 1/2" SPACER	16D (31/2" × 0.13	5") 5")	16" O.C. ALONG EACH EDGE	(619) 787-9272
10	CONTINUOUS HEADER T	TO STUD, TOE NAIL	4-8D (21/2" × 0.11	3")	—	
	DOUBLE STUDS,	FACE NAIL	10D (3" × 0.128")	24" O.C.	DRAFTED BY
12	DOUBLE TOP PLATE	ES, FACE NAIL	10D (3" × 0.128")	24" O.C.	SHAWN A. DEHNEI
13	JOINTS, FACE NAIL IN	N LAPPED AREA	8-16D (31/2"× 0.13	5")	_	FOR
14	SOLE PLATE TO JOIST OR BL	LOCKING, FACE NAIL	16D (31/2" × 0.13	5")	16" O.C.	SMALL HOUSE CATALOG
15	SOLE PLATE TO JOIST OR BLOC PANELS	S	3-16D (31/2" × 0.13	35")	16" O.C.	SHAWN @ SMALLHOUSECATALOG
16	STUD TO SOLE PLA	TE, TOE NAIL	3-8D (21/2" × 0.113")	OR F")	—	
17	TOP OR SOLE PLATE TO) STUD, END NAIL	2-16D 31/2" × 0.13 2-16D (31/2" × 0.13	3 <u>)</u> 35")		OWNER CONTACT
18	TOP PLATES, LAPS AT CORNERS A	AND INTERSECTIONS, FACE	2-10D (3" × 0.128	, ")	_	
	NAIL		2-8D (21/2" × 0.113) }")		
19	I" BRACE TO EACH STUD AI	ND PLATE, FACE NAIL	2 STAPLES 13/4	, , ,	—	
20	I" × 6" SHEATHING TO EACH	H BEARING, FACE NAIL	2-8D (21/2" × 0.113 2 STAPLES 13/4		_	
21	I" X 8" SHEATHING TO EACH	H BEARING FACE NAIL	2-8D (21/2" × 0.113	3")	_	
			3 STAPLES 13/4'	י זיין	—	SITE ADDRESS
22	NAIL	STO EACH BEAKING, FACE	4 STAPLES 13/4'	')	_	
22) "\		
			3-8D (21/2" × 0.11 2-8D (21/2" × 0.113	3") }")		
24	I" × 6" SUBFLOOR OR LESS TO	EACH JOIST, FACE NAIL	2 STAPLES 13/4'	, /	_	
25	2" SUBFLOOR TO JOIST OR GIRD	ER, BLIND AND FACE NAIL	2-16D (31/2" × 0.13	35")	—	<u>PARCEL NO.</u>
26	ALSO)		8D (21/2" × 0.113	")	6" O.C.	
27	2" PLANKS (PLANK & BEAN	M - FLOOR & ROOF)	2-16D (31/2" × 0.13	35")	AT EACH BEARING	
					FOLLOWS:	LEGAL DESCRIPTION
28	BUILT-UP GIRDERS AND BEAMS,	, 2-INCH LUMBER LAYERS	10D (3" × 0.128")	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE.	
28 29	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING	5, 2-INCH LUMBER LAYERS G JOISTS OR RAFTERS	10D (3" × 0.128" 3-16D (31/2" × 0.13) 35")	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER	
28	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING	, 2-INCH LUMBER LAYERS G JOISTS OR RAFTERS	10D (3" × 0.128" 3-16D (31/2" × 0.13) 85")	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER	
28	BUILT-UP GIRDERS AND BEAMS,	, 2-INCH LUMBER LAYERS G JOISTS OR RAFTERS	10D (3" × 0.128" 3-16D (31/2" × 0.13) 85") SPACING C	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER	1
28	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING	, 2-INCH LUMBER LAYERS	I0D (3" × 0.128" 3-16D (31/2" × 0.13) <u>SST)</u> SPACING C EDGES	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER F FASTENERS INTERMEDIATE SUPPORTS C, E	
28 29 ITEM	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTEN	10D (3" × 0.128" 3-16D (31/2" × 0.13 NER ^{b, c, e}) SPACING O EDGES (INCHES)I	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER F FASTENERS INTERMEDIATE SUPPORTS C, E (INCHES)	BUILDER CONTACT
28 29 ITEM WOOD FRAMIN	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING DESCRIPTION OF BUILDING MATERIALS	G JOISTS OR RAFTERS	I0D (3" × 0.128" <u>3-16D (31/2" × 0.13</u> NER ^{b, c, e} LL SHEATHING TO FRAMING A) SPACING C EDGES (INCHES)I ND PARTICLEB	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER INTERMEDIATE SUPPORTS C, E (INCHES) OARD WALL SHEATHING TO	BUILDER CONTACT
28 29 ITEM WOOD FRAMIN 30	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING DESCRIPTION OF BUILDING MATERIALS D STRUCTURAL PANELS, SUBFLOOR, NG 3/g" _ 1/2 "	DESCRIPTION OF FASTER ROOF AND INTERIOR WA	10D (3" × 0.128" 3-16D (31/2" × 0.13 VER ^{b, c, e} LL SHEATHING TO FRAMING A) SPACING C EDGES (INCHES)I ND PARTICLEB	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER F FASTENERS INTERMEDIATE SUPPORTS C, E (INCHES) OARD WALL SHEATHING TO	BUILDER CONTACT
28 29 ITEM WOOD FRAMIN 30	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING DESCRIPTION OF BUILDING MATERIALS STRUCTURAL PANELS, SUBFLOOR, NG 3/8″ - ¹ /2″	DESCRIPTION OF FASTEN ROOF AND INTERIOR WA	I0D (3" × 0.128" <u>3-16D (31/2" × 0.13</u> <u>NER^{b, c, e}</u> LL SHEATHING TO FRAMING A) NAIL (SUBFLOOR WALL) <u>31</u> ") NAIL (ROOF)F) SST) SPACING C EDGES (INCHES)I ND PARTICLEB 6 4	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER INTERMEDIATE SUPPORTS C, E (INCHES) OARD WALL SHEATHING TO	BUILDER CONTACT
28 29 ITEM WOOD FRAMIN 30 31	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING DESCRIPTION OF BUILDING MATERIALS D STRUCTURAL PANELS, SUBFLOOR, NG 3/8″ - ¹ /2″ 19/32″ - 1″	G JOISTS OR RAFTERS DESCRIPTION OF FASTEN , ROOF AND INTERIOR WA 6D COMMON (2"×0.113" 8D COMMON (21/2"×0.13 8D COMMON NAIL (21/2"	I0D (3" × 0.128" 3-16D (31/2" × 0.13 NER ^{b, c, e} LL SHEATHING TO FRAMING A) NAIL (SUBFLOOR WALL) 31") NAIL (ROOF)F "×0.131")) SPACING O EDGES (INCHES)I ND PARTICLEB 6 6	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER F FASTENERS INTERMEDIATE SUPPORTS C, E (INCHES) OARD WALL SHEATHING TO 12 ^g 12 ^g	BUILDER CONTACT
28 29 ITEM WOOD FRAMIN 30 31 32	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING DESCRIPTION OF BUILDING MATERIALS STRUCTURAL PANELS, SUBFLOOR, NG $3/_8'' - 1/_2''$ $19/_{32}'' - 1''$ $1^1/_8'' - 1^1/_4''$	5 JOISTS OR RAFTERS DESCRIPTION OF FASTEN , ROOF AND INTERIOR WAI 6D COMMON (2"×0.113" 8D COMMON (21/2"×0.13 8D COMMON (21/2"×0.13 10d common (3"×0.148") r 8d (2 ¹ /2"×0.131") deforme	IOD (3" × 0.128" 3-16D (31/2" × 0.13 NER ^{b, c, e} LL SHEATHING TO FRAMING A) NAIL (SUBFLOOR WALL) 31") NAIL (ROOF)F "×0.131") nail or ad pail) SST) SPACING C EDGES (INCHES)I ND PARTICLEB 6 6 6 6 6	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER INTERMEDIATE SUPPORTS C, E (INCHES) OARD WALL SHEATHING TO 12 ^g 12	BUILDER CONTACT
28 29 ITEM WOOD FRAMIN 30 31 32 OTHER	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING DESCRIPTION OF BUILDING MATERIALS D STRUCTURAL PANELS, SUBFLOOR, NG $3_{/8}'' - \frac{1}{_2}''$ $19_{/32}'' - 1''$ $1^{1}_{/8}'' - \frac{1}{_4}''$ WALL SHEATHING b	G JOISTS OR RAFTERS DESCRIPTION OF FASTEN ROOF AND INTERIOR WA 6D COMMON (2"×0.113" 8D COMMON (21/2"×0.13 8D COMMON NAIL (21/2" 10d common (3"×0.148") r 8d (2 ¹ /2"×0.131") deforme	IOD (3" × 0.128" 3-16D (31/2" × 0.13 NER ^{b, c, e} LL SHEATHING TO FRAMING A) NAIL (SUBFLOOR WALL) 31") NAIL (ROOF)F "×0.131") nail or ed nail) SPACING O EDGES (INCHES)I ND PARTICLEB 6 6 6 6	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER F FASTENERS INTERMEDIATE SUPPORTS C, E (INCHES) OARD WALL SHEATHING TO 12 ^g 12	BUILDER CONTACT
28 29 ITEM WOOD FRAMIN 30 31 32 OTHER	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING DESCRIPTION OF BUILDING MATERIALS STRUCTURAL PANELS, SUBFLOOR, SG $3/_8" - 1/_2"$ $1^9/_{32}" - 1"$ $1^1/_8" - 1^1/_4"$ WALL SHEATHING h 1/2" STRUCTURAL	G JOISTS OR RAFTERS DESCRIPTION OF FASTER ROOF AND INTERIOR WA 6D COMMON (2"×0.113" 8D COMMON (21/2"×0.13 8D COMMON NAIL (21/2" 10d common (3"×0.148") r 8d (2 ¹ /2"×0.131") deforme	IOD (3" × 0.128" 3-16D (31/2" × 0.13 NER ^{b, c, e} LL SHEATHING TO FRAMING A) NAIL (SUBFLOOR WALL) 31") NAIL (ROOF)F "×0.131") nail or ed nail) SST) SPACING C EDGES (INCHES)I ND PARTICLEB 6 6 6 6	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER F FASTENERS INTERMEDIATE SUPPORTS C, E (INCHES) OARD WALL SHEATHING TO 12 ^g 12	BUILDER CONTACT
28 29 ITEM WOOD FRAMIN 30 31 32 OTHER 33	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING DESCRIPTION OF BUILDING MATERIALS O STRUCTURAL PANELS, SUBFLOOR, IP/32" - 1" IP/32" - 1" I 1/8" - 1/4 " WALL SHEATHING h I/2" STRUCTURAL CELLULOSIC	5 JOISTS OR RAFTERS DESCRIPTION OF FASTEN ROOF AND INTERIOR WAI 6D COMMON (2"×0.113" 8D COMMON (21/2"×0.13 8D COMMON NAIL (21/2" 10d common (3"×0.148") r 8d (2 ¹ / ₂ "×0.131") deforme 11/2" GALVANIZED ROO 1"	IOD (3" × 0.128" 3-16D (31/2" × 0.13 NER ^{b, c, e} LL SHEATHING TO FRAMING A) NAIL (SUBFLOOR WALL) 31") NAIL (ROOF)F "×0.131") nail or ed nail FING NAIL, 7/16" CROWN OR) SPACING O EDGES (INCHES)I ND PARTICLEB 6 6 6 3	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER INTERMEDIATE SUPPORTS C, E (INCHES) OARD WALL SHEATHING TO 12 ^g 12 12	BUILDER CONTACT
28 29 ITEM WOOD FRAMIN 30 31 32 OTHER 33	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING DESCRIPTION OF BUILDING MATERIALS STRUCTURAL PANELS, SUBFLOOR, IS 3/8" - $1/2$ " 19/32 " - 1" I $1/8$ " - $1/4$ " WALL SHEATHING h I/2" STRUCTURAL GELLULOSIC FIBERBOARD SHEATHING	COMMON (21/2″×0.113″) deforme deformed (2 ¹ /2″×0.131″) deforme 11/2″ GALVANIZED ROO 1″ CROWN STAPLE 16 GA.,	IOD (3" × 0.128" 3-16D (31/2" × 0.13 NER ^{b, c, e} LL SHEATHING TO FRAMING A) NAIL (SUBFLOOR WALL) 31") NAIL (ROOF)F "×0.131") hail or ed nail FING NAIL, 7/16" CROWN OR 11/4 "LONG) SPACING C EDGES (INCHES)I ND PARTICLEB 6 6 6 6 3	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER F FASTENERS INTERMEDIATE SUPPORTS C, E (INCHES) OARD WALL SHEATHING TO 12 ^g 12 12	BUILDER CONTACT
28 29 ITEM WOOD FRAMIN 30 31 32 OTHER 33	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING DESCRIPTION OF BUILDING MATERIALS STRUCTURAL PANELS, SUBFLOOR, IP/32" - 1" 19/32" - 1" I 1/4 " WALL SHEATHING h I/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 25/32" STRUCTURAL	5 JOISTS OR RAFTERS DESCRIPTION OF FASTEN ROOF AND INTERIOR WAI 6D COMMON (2"×0.113" 8D COMMON (21/2"×0.13 8D COMMON NAIL (21/2" 10d common (3"×0.148") r 8d (2 ¹ / ₂ "×0.131") deforme 11/2" GALVANIZED ROO 1" CROWN STAPLE 16 GA., 13/4 " GALVANIZED ROO	10D (3" × 0.128" 3-16D (31/2" × 0.13 NER ^{b, c, e} LL SHEATHING TO FRAMING A) NAIL (SUBFLOOR WALL) 31") NAIL (ROOF)F "×0.131") nail or ed nail FING NAIL, 7/16" CROWN OR 11/4 "LONG DEING NAIL, 7/16" CROWN OR) SPACING C EDGES (INCHES)I ND PARTICLEB 6 6 6 3	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER INTERMEDIATE SUPPORTS C, E (INCHES) OARD WALL SHEATHING TO 12 ^g 12 6	BUILDER CONTACT
28 29 ITEM WOOD FRAMIN 30 31 32 OTHER 33 34	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING DESCRIPTION OF BUILDING MATERIALS O STRUCTURAL PANELS, SUBFLOOR, O STRUCTURAL PANELS, SUBFLOOR, O STRUCTURAL PANELS, SUBFLOOR, O STRUCTURAL PANELS, SUBFLOOR, O STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 25/32" STRUCTURAL CELLULOSIC	5 JOISTS OR RAFTERS DESCRIPTION OF FASTEN ROOF AND INTERIOR WAI 6D COMMON (2"×0.113" 8D COMMON (21/2"×0.13 8D COMMON NAIL (21/2" 10d common (3"×0.148") r 8d (2 ¹ / ₂ "×0.131") deforme 11/2" GALVANIZED ROO 1" CROWN STAPLE 16 GA., 13/4 " GALVANIZED ROO 1"	10D (3" × 0.128" 3-16D (31/2" × 0.13 NER ^{b, c, e} LL SHEATHING TO FRAMING A) NAIL (SUBFLOOR WALL) 31") NAIL (ROOF)F "×0.131") nail or ed nail FING NAIL, 7/16" CROWN OR 11/4 "LONG DFING NAIL, 7/16" CROWN OR) SPACING O EDGES (INCHES)I ND PARTICLEB 6 6 6 3 3 3	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER F FASTENERS INTERMEDIATE SUPPORTS C, E (INCHES) OARD WALL SHEATHING TO 12 ^g 12 6	BUILDER CONTACT
28 29 ITEM WOOD FRAMIN 30 31 32 OTHER 33 34	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING DESCRIPTION OF BUILDING MATERIALS STRUCTURAL PANELS, SUBFLOOR, IP/32" - 1" 19/32" - 1" I 1/4 " WALL SHEATHING h I/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	S JOISTS OR RAFTERS DESCRIPTION OF FASTEN DESCRIPTION OF FASTEN ROOF AND INTERIOR WAI 6D COMMON (2"×0.113" 8D COMMON (21/2"×0.13 8D COMMON NAIL (21/2" 10d common (3"×0.148") r 8d (2 ¹ / ₂ "×0.131") deforme 11/2" GALVANIZED ROO 1" CROWN STAPLE 16 GA., 13/4 " GALVANIZED ROO 1" CROWN STAPLE 16 GA.,	10D (3" × 0.128" 3-16D (31/2" × 0.13 NER ^{b, c, e} LL SHEATHING TO FRAMING A) NAIL (SUBFLOOR WALL) 31") NAIL (ROOF)F "×0.131") nail or ed nail FING NAIL, 7/16" CROWN OR 11/4 "LONG DFING NAIL, 7/16" CROWN OR 11/2" LONG) SPACING C EDGES (INCHES)I ND PARTICLEB 6 6 6 3 3 3	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER INTERMEDIATE SUPPORTS C, E (INCHES) OARD WALL SHEATHING TO 12 ^g 12 12 6	BUILDER CONTACT
28 29 ITEM WOOD FRAMIN 30 31 32 OTHER 33 34 35	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING DESCRIPTION OF BUILDING MATERIALS O STRUCTURAL PANELS, SUBFLOOR, O STRUCTURAL PANELS, SUBFLOOR, O STRUCTURAL PANELS, SUBFLOOR, I $9_{/32}$ " - 1" I $19_{/32}$ " - 1" I $12^{\prime\prime}$ STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING I/2" GYPSUM SHEATHINGD	Comparison of the second seco	10D (3" × 0.128" 3-16D (31/2" × 0.13 NAIL (31/2" × 0.13 NAIL SUBFLOOR WALL) 31") NAIL (SUBFLOOR WALL) 31") NAIL (ROOF)F "×0.131") nail or ad nail FING NAIL, 7/16" CROWN OR 11/4 "LONG DFING NAIL, 7/16" CROWN OR 11/2" LONG DFING NAIL; STAPLE (COR S)) SPACING O EDGES (INCHES)I ND PARTICLEB 6 6 6 3 3 3 7	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER F FASTENERS INTERMEDIATE SUPPORTS C, E (INCHES) OARD WALL SHEATHING TO 12 ^g 12 6 6	BUILDER CONTACT
28 29 ITEM WOOD FRAMIN 30 31 32 OTHER 33 34 35	BUILT-UP GIRDERS AND BEAMS, LEDGER STRIP SUPPORTING DESCRIPTION OF BUILDING MATERIALS O STRUCTURAL PANELS, SUBFLOOR, IS $3/8" - 1/2"$ $19/32" - 1"$ $1/8" - 1/4"$ WALL SHEATHING h $1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 1/2" GYPSUM SHEATHINGD $	CROWN STAPLE 16 GA., 11/2" GALVANIZED ROC GALVANIZED ROC GALVANIZED ROC 13/4" GLAVANIZED ROC GALVANIZED	IOD (3" × 0.128" 3-16D (31/2" × 0.13 NAIL (3000000000000000000000000000000000000) SPACING O EDGES (INCHES)I ND PARTICLEB 6 6 6 3 3 3 7	32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. AT EACH JOIST OR RAFTER F FASTENERS INTERMEDIATE SUPPORTS C, E (INCHES) OARD WALL SHEATHING TO 12 ^g 12 6 6	BUILDER CONTACT
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SHEET INDEX

OI. PROJECT DETAILS O2. FLOOR PLAN O3. ELEVATIONS 04. FOUNDATION PLAN O5. ROOF PLAN O6. SECTIONS O7. KITCHEN + BATHROOM VIEWS 08. SKYLIGHT DETAILS



April 10, 2018

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CHEDULE					HEATING SYSTEM
ТҮРЕ	UNIT SIZE	U-FACTOR	OUANTITY	REMARKS	CARBONIC IN-FLOOR RADIANT HEATING THROUGHOUT HOUSE.
	(R.0.)	0.28	1	GREAT ROOM OUT-SWING PRIMARY EGRESS	WHOLE HOUSE VENTILATION
SINGLE FRENCH DOOR	3080 (3282 1/2)	0.28		BEDROOM, LEFT OUT-SWING, BEDROOM EGRESS.	ALL WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY IRC M1507.3
POCKET	2880	-	2	PREFABRICATED 2X4 POCKET DOOR WALL UNIT. BATH/BEDROOM	SHALL BE MET WITH A HIGH EFFICIENCY FAN (MAXIMUM 0.35 WATTS/CFM), NOT
BYPASS	4880 (5082 ½)	-	1	WATER HEATER + LAUNDRY CLOSET.	INTERLOCKED WITH THE FURNACE FAN.
POCKET	3080	-	1	BEDROOM-TO-BATHROOM. PREFABRICATED 2X4 POCKET DOOR WALL UNIT.	VENTLESS DRYERS
BYPASS	3680 (3882 ½)	-	1	BEDROOM CLOSET	EXCEPTION FOR LISTED AND LABELED CONDENSING (DUCTLESS) CLOTHES DRYERS
N SCHEDU		INDOWS SI	HALL BE NF	RC RATED	ALL SHOWER HEAD AND KITCHEN SINK FAUCETS INSTALLED IN THE HOUSE SHALL BE RATED AT 1.75 GPM OR LESS.ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS.
ТҮРЕ	SIZE	U-FACTOR	QUANTITY	REMARKS	GIRDER & HEADER SPANS
SLIDER	3648	0.28	1	VINYL. CONSULT WITH OWNER FOR OPERATION PREFERENCES	THIS PLAN FOLLOWS IRC TABLE R602.7(1) GIRDER SPANS & HEADER SPANS FOR EXTERIOR BEARING WALLS GROUND SNOW LOAD PSE = 30
SLIDER	3648	0.28	1	VINYL. CONSULT WITH OWNER FOR OPERATION PREFERENCES	
SLIDER	3618	0.28	1	VINYL. CONSULT WITH OWNER FOR OPERATION PREFERENCES	THIS PLAN FOLLOWS WAC 296-150M-550 FOR EMERGENCY EGRESS REQUIREMENTS:
SLIDER	3648	0.28	1	VINYL. CONSULT WITH OWNER FOR OPERATION PREFERENCES	(A) EVERY BEDROOM OR OTHER ROOM DESIGNED EXPRESSLY FOR SLEEPING PURPOSES
ts schedu	JLE ALL S	KYLIGHTS S	HALL BE N	FRC RATED	(B) ROOMS THAT HAVE A DOOR, WITH A MINIMUM CLEAR OPENING OF TWENTY-EIGHT INCHES WIDE BY SEVENTY-TWO INCHES HIGH, WHICH OPENS DIRECTLY TO THE OUTSIDE DO
ТҮРЕ	SIZE	U-FACTOR	QUANTITY	REMARKS	NOT NEED TO HAVE AN EMERGENCY EGRESS WINDOW.
SKYLIGHT	2248	0.46	I	NON-VENTING	(C) WINDOWS AND DEVICES MUST BE INSTALLED IN A MANNER WHICH ALLOWS FOR
SKTLIGHT	2248	0.46	<u> '</u>	NON-VENTING	(D) THE BOTTOM OF THE OPENING OF AN EGRESS WINDOW SHALL BE NO MORE THAN THIRTY-SIX INCHES ABOVE THE FLOOR. (E) THE HEIGHT OF THE BOTTOM OF THE WINDOW CAN BE INCREASED TO FORTY-FOUR INCHES WHEN THE CLEAR NET AREA IS INCREASED TO 5.7 SQUARE FEET OF OPENING.
					(
	CHEDULE TYPE FRENCH DOORS SINGLE FRENCH DOOR POCKET BYPASS POCKET BYPASS POCKET SUDER SLIDE	TYPE UNIT SIZE (R.0.) FRENCH DOORS 6080 (3282 ½) SINGLE FRENCH DOOR 3080 (3282 ½) POCKET 2880 BYPASS 4880 (5082 ½) POCKET 3080 BYPASS 3680 (3882 ½) POCKET 3080 BYPASS 3680 (3882 ½) VESCHEDULE ALL W TYPE 5/2E SLIDER 3648 SLIDER 3648 SLIDER 3648 SLIDER 3648 SLIDER 3648 SKYLIGHT 2248 SKYLIGHT 2248	CHEDULE UNIT SIZE U-FACTOR FRENCH DOORS 6080 (6282 1/2) 0.28 SINGLE FRENCH DOOR 3080 (3282 1/2) 0.28 POCKET 2880 - BYPASS 4880 (5082 1/2) - BYPASS 3680 (3882 1/2) - BYPASS 3680 (3882 1/2) - BYPASS 3680 (3882 1/2) - SUDER SILDER 0.28 SUDER 3648 0.28 SUDER 446 3648 SKYLIGHT 2248 0.46 SKYLIGHT 2248 0.46	TYPE UNIT SIZE U-FACTOR QUANTITY IRENCH DOORS 6080 (6282 ½) 0.28 1 SINGLE FRENCH DOOR 1080 (2282 ½) 0.28 1 POCKET 2880 - 1 BYPASS 4880 (5082 ½) - 1 POCKET 2880 - 1 BYPASS 4880 (3882 ½) - 1 BYPASS 3680 (3882 ½) - 1 MUNTSSCHEDULE ALL WINDOWS SHALL BE NE TYPE 5/2E U-FACTOR QUANTITY SLIDER 3648 0.28 1 SLIDER ALL SKYLIGHTS SHALL BE N Y YPE SIZE U-FACTOR QUANTITY SKYLIGHT 2248 0.46 1	CHEDULE Image Image <thimage< th=""> Image Image <t< td=""></t<></thimage<>

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3 TYPICAL TRUSS-TO-WALL CONNECTION VENTILATED SOFFIT





SMALL HOUSE CATALOG, LLC

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<u>OWNER CONTACT</u>

SITE ADDRESS

PARCEL NO.

LEGAL DESCRIPTION

BUILDER CONTACT

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STAMPS & SEALS











TRANSVERSE BUILDING SECTION

SCALE: 1/2" = 1'



TYPICAL 2X6 EXTERIOR WALL wITH 1/2" CDX + 1/2" GYPSUM WALL BOARD (3) SCALE: 3" = 1'

ACOUSTICAL INSULATION











MIRRORED WALL CABINET

48" VANITY ——

STANDARD TOILET ------

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·/·-6" ·/·

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OWNER CONTACT
SITE ADDRESS
PARCEL NO.
LEGAL DESCRIPTION
BUILDER CONTACT
STAMPS & SEALS
INTERIOR VIEWS SHEET NO.
7 8
PROJECT SKYWAY COTTAGE DATE April 10, 2018

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NOTE: CABINET DESIGN IS OFFERED AS A SUGGESTION. KITCHENS AND BATHROOMS ARE PERSONAL AND SHOULD BE MODIFIED TO SUIT.

_ ELECTRIC TANK WATER HEATER (PROVIDE DRAIN)

SECTION 07 72 10 – SKYLIGHT ROOF CURBS

PART 1 - GENERAL

1.1 SECTION INCLUDES

- A. Prefabricated skylight roof curbs and roof curb accessories, for flat, low-slope and steepslope roofing applications.
- 1.2 RELATED REQUIREMENTS
- A. Division 07 roofing section for flashing and roofing terminations at skylight curbs.
- 1.3 REFERENCE STANDARDS
- A. General: Applicable edition of references cited in this Section is current edition published on date of issue of Project specifications, unless otherwise required by building code in force.
- B. Code of Federal Regulations:
- 1. 29 CFR 1910.23 (e) (8) Occupational Safety and Health Standards for Walking-Working Surfaces to Guard Floor and Wall Openings and Holes

1.4 COORDINATION

Specifier: Retain option in paragraph below that corresponds to the type of curb used on Project.

- A. Coordinate dimensions, locations, and details of skylight curbs [specified in Section 061053 "Miscellaneous Carpentry"] [specified in Section 077200 "Roof Accessories"] with skylight curb and curb accessories. Verify requirements for roofing system terminations.
- B. Coordinate skylight curb interior termination locations with structural layout, ceiling layouts, and other ceiling-mounted items.
- 1.5 PREINSTALLATION MEETINGS
- A. Preinstallation Conference: Conduct conference at Project site prior to delivery of skylight curbs and installation of roof deck.
- 1.6 ACTION SUBMITTALS
- A. Shop Drawings: For skylight curb work and curb accessories. Include dimensions, elevations, sections, details, and connections to supporting structure and other adjoining work.
- 1.7 WARRANTY
- A. Manufacturer's Warranty: Manufacturer's standard form in which manufacturer agrees to repair or replace components of skylights that fail in materials or workmanship under normal use within specified warranty period.
- 1. Warranty Period:

VELUX America LLC Skylight Roof Curbs 07 72 10 - Page 1 of 4 Roof Curb

		a. b.	5 Years: Aluminur bars accessory, ve 1 Year: Steel curbs
PART 2	- Proe	DUCTS	
2.1	MAN	UFACT	URERS
Α.	Basis VEL	s-of-De UX Am	sign Product: Subje erica LLC , Greenw
2.2	SKYL	IGHT (CURBS:
Α.	Steel [367 [727 1.5 ii	l Curb: 2] [369 2]. Cu nches.	Curb width and leng 6] [36120] [4848] [rb height shall be [9
Specifie unless i specifie	r: VELl ndicate d with	JX reco ed othe no safe	ommends fall protect rwise. Curbs are av ty screen or securit
	1.	Factor galva paint to the densi prime [Prov provi mesh cold Amer	ry Insulated Curb: F nized steel with full , and continuous 2 in e top flange of the ty fiberglass insulati ed white. Curb roof ide steel curb with ded with integral [fa with a 6 inch on co rolled steel with a ica LLC Model, CCA
	2.	Field galva galva nailer thick inche insula 0.187 from VELU	insulated curb: Fac nized steel with fu nized paint, and co mounted under the field installed insul s in width. [Provid ated curb provided 75 inch steel mesh w 0.5 inch cold rolled X America LLC, Moc
Specifie wall ins inches.	r: Alun ulated CCAM	ninum (alumin custon	curb shipped separa um curbs can be n n sizes manufacture
В.	Alum 1.	iinum C Factc mill f	Curbs: iry insulated double inished aluminum e
VELUX /	America	a LLC	

Skylight Roof Curbs



VERTICAL CROSS SECTION

PRODUCT DIMENSIONS									STANDARD GLAZING OPTIONS:											
METRIC UNITS (MILLIMETERS) IMPERIAL UNITS (INCHES)											 Laminated LowE3 (04) Tempered LowE3 (05) Impact (06) 									
Size	Rough Opening Width	Frame Width	Frame Aperture Width	Skylight Width	Rough Opening Height	Frame Height	Frame Aperture Height	Skylight Height	Daylight Area (Sq. Meters)	Size	Rough Opening Width	Frame Width	Frame Aperture Width	Skylight Width	Rough Opening Height	Frame Height	Frame Aperture	Skylight Height	Daylight Area (Sq. Feet)	Snowload (10) *Tempered Exterior Pane used with
A06	368	387	303	409	1162	1175	1091	1200	.333	A06	14 1/2	15 1/4	11 15/16	16 1/8	45 3/4	46 1/4	42 15/16	47 1/4	3.56	all options
C01	533	546	462	568	682	695	611	720	.282	C01	21	21 1/2	18 3/16	22 3/8	26 7/8	27 3/8	24 1/16	28 3/8	3.04	
C04	533	546	462	568	962	975	891	1000	.412	C04	21	21 1/2	18 3/16	22 3/8	37 7/8	38 3/8	35 1/16	39 3/8	4.43	COMPATIBLE FLASHINGS:
C06	533	546	462	568	1162	1175	1091	1200	.504	C06	21	21 1/2	18 3/16	22 3/8	45 3/4	46 1/4	42 15/16	47 1/4	5.43	
C08	533	546	462	568	1382	1395	1311	1420	.606	C08	21	21 1/2	18 3/16	22 3/8	54 7/16	54 15/16	51 5/8	55 15/16	6.52	EDL Step flashing
C12	533	546	462	568	1784	1797	1713	1822	.792	C12	21	21 1/2	18 3/16	22 3/8	70 1/4	70 3/4	67 7/16	71 3/4	8.52	EKL/EKX Combi flashing
D26*	572	590	506	612	582	599	511	620	.259	D26*	22 1/2	23 1/4	19 15/16	24 1/16	22 15/16	23 7/16	20 1/8	24 7/16	2.78	EDW Tile flashing
D06*	572	590	506	612	1162	1175	1091	1200	.552	D06*	22 1/2	23 1/4	19 15/16	24 1/16	45 3/4	46 1/4	42 15/16	47 1/4	5.94	EKW/EKX Combit tile flashing EDM Metal roof flashing
M02	763	776	692	798	762	775	691	800	.486	M02	30 1/16	30 9/16	27 1/4	31 7/16	30	30 1/2	27 3/16	31 1/2	5.15	ECB Counter flashing for curbs
M04	763	776	692	798	962	975	891	1000	.617	M04	30 1/16	30 9/16	27 1/4	31 7/16	37 7/8	38 3/8	35 1/16	39 3/8	6.64	
M06	763	776	692	798	1162	1175	1091	1200	.754	M06	30 1/16	30 9/16	27 1/4	31 7/16	45 3/4	46 1/4	42 15/16	47 1/4	8.13	
M08	763	776	692	798	1382	1395	1311	1420	.909	M08	30 1/16	30 9/16	27 1/4	31 7/16	54 7/16	54 15/16	51 5/8	55 15/16	9.77	
S01	1123	1136	1052	1158	682	695	611	720	.644	S01	44 1/4	44 3/4	41 7/16	45 9/16	26 7/8	27 3/8	24 1/16	28 3/8	6.92	
S06	1123	1136	1052	1158	1162	1175	1091	1200	1.148	S06	44 1/4	44 3/4	41 7/16	45 9/16	45 3/4	46 1/4	42 15/16	47 1/4	12.36	
BUILDE	R SERIES SK	YLIGHT																		
NOTES 1. Th de	NOTES: 1. The ROUGH OPENING and FINISHED FRAMING dimensions are based on perpendicular interior finish material on all four sides and these dimensions will vary depending on the roof construction, the thickness and the design of the interior finish material. VELUX 1418 Evans Pond Road Greenous OPENING 1-800-88-VELUX																			
																	-	Sky-Global P	Product Managemen	t www.VELUXUSA.com
FS - Fixed										xed Skylight										

minum curbs, internal safety screen accessory, internal security ry, ventilation curb extension. curbs	factory insulated with 1.5 inches of 8.5. Width and length of curb sha [3696] [36120] [4848] [4860] [48 [7272] [as indicated on Drawings mounting flange shall be a minim America LLC, Model CCAM.	of polyisocyanurate board providing an R-value of II be [2448] [2496] [24120] [3636] [3660] [3672] 72] [4896] [48120] [6060] [6072] [6096] [60120]] with [9] [12] [16] inch curb height. Curb roof um 2.75 inches in width. Basis of Design: VELUX
Subject to compliance with requirements, provide products of eenwood, SC 29648; <u>www.VELUXusa.com</u> ; (800) 878-3589.	2. Factory insulated single wall alun aluminum with fully welded corner under the top flange of the cur polyisocyanurate insulation factory of 4.2. Width and length of curb sh [3696] [36120] [4848] [4860] [48	ninum curb, fabricated from 14 gauge mill finish s. Nominal 1 inch by 4 inch wood nailer mounted b. Curb wall insulated with ³ / ₄ inch thick rigid mounted to the curb exterior providing a R-Value all be [2448] [2496] [24120] [3636] [3660] [3672] 72] [4896] [48120] [6060] [6072] [6096] [60120]
l length designation shall be [2448] [2496] [24120] [3636] [3660], 348] [4860] [4872] [4896] [48120] [6060] [6072] [6096], [60120] be [9] [12] [16] [18] inches and nominal curb thickness shall be	[7272] with [9] [12] [16] inch cu minimum 2.75 inches in width. Ba 2.3 SKYLIGHT CURB ACCESSORIES	rb height. Curb roof mounting flange shall be a sis of Design: VELUX America LLC, Model CCAN.
protection. All steel curbs provided with integral safety screen, are available without safety screens or security bars, but must be ecurity bars. urb: Factory engineered steel curb fabricated from [18] [14] gauge th fully welded corners, all welds factory primed with galvanized	A. Interior safety screen accessory: Fall pro- steel mesh with a 6 inch on center grid frame continuous on each side with welk to top of 1.5 inches curb with safety scre top of curb. Safety screen shall meet fall static load of 400 pounds per square foot designation shall be [2448] [2461 [246]	tection safety screen constructed from 0.1875 inch spacing welded to 18 gauge steel z-bar support ded corners. Interior safety screen frame mounts een mesh located not more than 1.5 inches below protection requirements by supporting a minimum Interior safety screen accessory width and length 201 [3636] [3660] [3672] [3696] [36120] [4949]
us 2 inch by 2 inch nominal pressure treated wood nailer mounted the curb. Curb is factory insulated with 1.5 inch thick, 3 pound sulation. Interior liner of curb fabricated from 20 gauge steel and p roof mounting flange shall be a minimum of 3 inches in width.	[4860] [4872] [4896] [48120] [6060] drawing]. Basis of Design: VELUX Ameri	[6072] [6096] [60120] [7272] [as indicated on ca LLC, Model CRGA xxxx ICD.
without safety screen or security bars.] [Steel insulated curb ral [fall protection safety screen constructed from 0.1875 inch steel on center grid spacing] [security bars constructed from 0.5 inch th a 6 inch on center grid spacing]]. Basis of Design: VELUX CCA3. : Factory engineered steel curb fabricated from [18] [14] gauge th fully welded corners all exterior welds factory primed with	B. Interior security bars accessory: Security I steel with a 6 inch on center grid spacin continuous on each side with welded corr curb with security bars located less than accessory shall meet fall protection requ 400 pounds per square foot. Size shall [3696] [36120] [4848] [4860] [4872] [48 Basis of Design: VELUX America LLC, Mo	bars accessory constructed from 0.5 inch cold rolled ing welded to 18 gauge steel z-bar support frame iners. Accessory frame mounts to top of 1.5 inches 1 inch below top of curb. Internal security bars irrements by supporting a minimum static load of be [2448] [2496] [24120] [3636] [3660] [3672] 96] [48120] [6060] [6072] [6096] [60120] [7272]. del CRGA xxxx BB.
nd continuous 2 inch by 4 inch nominal pressure treated wood er the top flange of the curb. Space below nailer accepts 1.5 inch insulation. Curb roof mounting flange shall be a minimum of 3 Provide steel curb without safety screen or security bars.] [Steel ided with integral [fall protection safety screen constructed from esh with a 6 inch on center grid spacing] [security bars constructed olled steel with a 6 inch on center grid spacing]]. Basis of Design: 7, Model CCA6.	C. Ventilated curb extender: Single wall cur aluminum with fully welded corners. Na 3.5 inch high aluminum louvered openi extender mounts on a standard 1.5 inch preventing causal rain from reaching int shall be [4848] [4896] [6072] with 6.5 i Model CAV xxxx.	b extender constructed from 12 gauge mill finish tural ventilation is provided by two 4 inch wide by ng per foot of length along each side. The curb thick curb. Aluminum rain guard shall be provided erior spaces. Width and length of curb extender nch height. Basis of Design: VELUX America LLC,
eparate from skylight or pre-attached to skylight. CCAM double	2.4 PERFORMANCE REQUIREMENTS	
ctured in minimum increments of 1/4 inch, such 0, 1/4, 1/2, 3/4.	A. Fall Protection Standard Compliance: 29 screen] [with integral security bars] [ac tested to support a minimum of 400 pour	CFR 1910.23: Skylight curb [with integral safety ccessory safety screen] [accessory security bars] nds over 1 square foot of the surface.
ouble wall aluminum curb, 1.5 inches in thickness with 20 gauge um exterior and 22 gauge mill finished aluminum interior. Curb		
07 72 10 - Page 2 of 4 Roof Curb	VELUX America LLC Skylight Roof Curbs	07 72 10 - Page 3 of 4 Roof Curb

HORIZONTAL CROSS SECTION

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PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine openings, substrates, structural support, anchorage, and conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of the Work.
- B. Proceed with skylight curb or curb accessory installation only after unsatisfactory conditions have been corrected.
- 3.2 INSTALLATION
- A. Install skylight curbs and curb accessories in accordance with manufacturer's written instructions and approved shop drawings. Coordinate installation of units with installation of substrates, air and vapor retarders, roof insulation, roofing membrane, and flashing as required to ensure that each element of the Work performs properly and that finished installation is weather tight.
 - 1. Anchor skylight curbs and curb accessories securely to supporting substrates.

END OF SECTION



SMALL HOUSE CATALOG, LLC

1574 GULF ROAD #207 POINT ROBERTS, WA 98281 (619) 787-9272

DRAFTED BY SHAWN A. DEHNER FOR SMALL HOUSE CATALOG, LLC SHAWN @ SMALLHOUSECATALOG.COM

OWNER CONTACT

SITE ADDRESS

PARCEL NO.

LEGAL DESCRIPTION

BUILDER CONTACT

STAMPS & SEALS

VELUX America LLC Skylight Roof Curbs

14°-85° 3:12 - 137:12

-Insulated Glazing (See STANDARD GLAZING OPTIONS:, below)

– Ponderosa Pine Frame and Sash with White Finish

– Drywall Trim Groove

- ½" or 5%" Drywall By Others

22ga. Roll Formed Aluminum ——— Frame Cover with Neutral Grey Kynar 500 Finish

VELUX Adhesive — Underlayment 9"Width

VELUX EDL Flashing — (See COMPATIBLE FLASHINGS:, below)

Shingles — By Others

Decking-----By Others

Factory Installed 21ga. Steel Deck Seal Mounting Bracket with Corrosion Resistant Finish 1¼"x1¼"

DETAIL 1

07 72 10 - Page 4 of 4 Roof Curb σ

L	NO. 6/1/201 SLC BL	REVIS DATE 19 CLIE JILDING	DESCRI	PTION DATES FOR TMENT
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PR	.OJECT	SKY	WAY C	OTTAGE
	ATE	Α	pril 10, 2	2018

ATTACHMENT C – ADDITIONAL INFORMATION PROVIDED BY APPLICANT

Additional Information for Conditional Use Permit Application to build an ADU at 1143 S Lake St., SLC, UT 84105

- This ADU is for my mother to live in as she is a sing.

- 1. Project Description: This project is to build a stand-alone single-level tiny house as an ADU on the back of the lot, zoning R-1 5,000. The square foot footprint of the existing house is 1,092 sq feet on the main floor (above ground) and 1105 sq feet in the basement, for the total footage being 2,197 sq feet between the main floor and basement. The tiny house proposed is 456 sq ft. My lot size is 9,147 sq feet. An existing 400 sq foot garage is on the lot. Appropriate set-backs for the proposed tiny house on the Princeton street side lot (10') and alley way back lot (4') will be followed. The front door of the ADU will face the existing house. The sewer is in the back of the lot in the alley way close to the proposed location of the tiny house. The Dept of Public Utilities advised to tie into the current sewer line and to run an extension from the existing house for the water. There is room for parking in the driveway.
- 2. Conditional Use Information:
 - a. Anticipated operating/delivery hours associated with the proposed use: Regular business hours for construction; no operating/delivery hours once constructed.
 - b. Land uses adjacent to the property: residential.
 - c. Employees expected to work on-site during highest shift: During construction maximum of 4 contractors at one time will be working, no employees/contractors once constructed.
 - d. How many seats will be provided: N/A
 - e. Have you discussed the project with nearby property owners: No
- 3. Minimum Plan Requirements:
 - a. One paper 24x36 copy of drawings: Attached
 - b. Digital copy of drawings: Will email
 - c. One paper 11x17 copy of drawings: Attached
- 4. Site Plan: Attached
- 5. Elevation Drawing
 - a. Detailed elevation: Included in drawings
 - b. Type of construction materials: Included in drawings
 - c. Number, size, and type of dwelling unit: One; dwelling unit density: max: 2 people.

ATTACHMENT D – PROPERTY AND VICINITY PHOTOS



View of main home on subject property



View of fence along Princeton Avenue



View of fence along alleyway (east property line)



View of north façade of main home looking toward proposed ADU location (behind fence)



View of existing detached garage and approximate ADU location looking southwest from Princeton Avenue



Adjacent home to the north on Lake Street (right)



Adjacent home and driveway to the south on Lake Street (right)



Second view of adjacent home to the north. View from sidewalk in front of existing garage on subject property looking northwest



Garage east of alleyway on east side of subject property

ATTACHMENT E – ZONING STANDARDS FOR ADU'S

21A.40.200 – Accessory Dwelling Units

ADU STANDARDS	PROPOSED	COMPLIES Y/N
SIZE ADU footprint can be 50% of the footprint of the primary house up to a maximum of 650 SF .	Primary house is approximately 2,194 SF with a footprint of 1,092, ADU can be 50% of that or approximately 546 SF . The proposed footprint is approximately 520 SF	Complies
MAXIMUM COVERAGE The surface coverage of all principal and accessory buildings shall not exceed 40% of the lot.	The lot size is 9,148 SF. 40% of the lot is 3,659 SF. Primary House – 2,197 SF Accessory Structure/Shed - 400 SF Proposed ADU - 520 SF Total coverage – 3,117 SF. The surface coverage all principal and accessory buildings (including the proposed ADU) is 34% of the lot.	Complies
HEIGHT 17 FT or the height of the single family dwelling on the property, whichever is less. *If the principal dwelling is over 17 feet in height, the ADU may be equal in height up to a maximum of 24 FT if 10 foot side and rear yard setbacks are provided. The setback for additional height may be reduced to 4' if the side or rear lot line is adjacent to an alley.	Approximately 11 FT 7 IN	Complies
SETBACKS Minimum of 4 FT from any side or rear lot line.	Located 12 FT from the north side lot line and 45 FT 6 IN from the rear/east lot line and 16 FT from the rear lot line which is adjacent to a 16 FT wide alley.	Complies

SEPARATION Located 10 FT from any primary dwelling on the property or adjacent property ENTRANCE LOCATIONS The entrance to an ADU in an accessory building shall be located: • Facing an alley, public street, or facing the rear façade of the single family dwelling on the same property.	Located approximately 50 FT from the primary house on the property and the closest house on an adjacent property is approximately 80 FT. The entrance for the proposed ADU is oriented toward an alley that runs behind the property between Princeton Avenue and Laird Avenue.	Complies Complies
 REQUIREMENTS FOR WINDOWS Windows shall be no larger than necessary to comply with the minimum Building Code requirements for egress where required. Skylights, clerestory windows, or obscured glazing shall be used when facing a side or rear property line to comply with minimum Building Code requirements for air and light on building elevations that are within ten feet (10') of a side or rear property line unless the side or rear property line is adjacent to an alley. Except as required in subsection E3g(1) of this section, windows shall maintain a similar dimension and design as the windows found on the principal structure. 	Egress windows are required in habitable space. To meet these requirements, the bottom of the egress window opening can't exceed 44 IN from the finished floor. The minimum opening area of the egress window is 5.7 SF, the minimum egress window opening height is 24 IN high. The minimum egress window opening is 20 IN wide. Windows are similar in dimension and design as the windows on the principal structure.	Complies
PARKING Minimum of one parking space	Two parking space provided on site.	Complies
on site.		
*This requirement may be waived	because they have one legal street	
if there is legal on street parking	parking space and they are also	

along the street frontage of the	located within 1/4 mile of transit.	
property OR if it's within 1/4 mile of		
a transit stop.		

ATTACHMENT F – CONDITIONAL USE STANDARDS

21A.54.080 Standards for Conditional Use

Approval Standards: A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title;

Analysis: The proposed ADU use is located in the R-1/5000 zoning district which allows for an ADU to be approved through the conditional use process subject to meeting the specific regulations for an ADU in section 21A.40.200 of the zoning ordinance. As analyzed in <u>Attachment E</u>, the ADU complies with the requirements of 21A.40.200.

Finding: The proposed use will comply with the applicable provisions of the Salt Lake City Zoning Ordinance.

2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;

Analysis: The proposed ADU is anticipated in the R-1/5000 zoning district and is considered a use that is potentially compatible with adjacent and surrounding residential uses by being listed as a conditional use in the land use table. The ADU meets all the requirements in terms of setbacks and separation requirements between adjacent houses and the primary house on the property. There is currently a street facing the north façade, rear alleyway, and 45 FT setback from the south façade. Additionally, the property is currently surrounded by a wood fence that will remain.

Finding: The proposed development and use is generally compatible with the surrounding uses and effects that could result in incompatibility have been mitigated with existing privacy fencing along interior side yards between adjacent properties.

3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and

Analysis: The proposal is located in the East Liberty Park neighborhood within the Central Community Master Planning Area. By 1925, most of the area was filled in with modest single-family dwellings with architectural styles ranging from cottages to bungalows. The master plan designates the future land use of this area as low density residential and the existing zoning on the property is R-1/5000, single family residential.

The purpose of the R-1/5,000 Single-Family Residential District is to provide for conventional single-family residential neighborhoods. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

The purpose of accessory dwelling units are to:

1) Create new housing units while respecting the appearance and scale of single-family residential development;

- 2) Provide more housing choices in residential districts;
- 3) Allow more efficient use of existing housing stock, public infrastructure, and the embodied energy contained within existing structures;
- 4) Provide housing options for family caregivers, adult children, aging parents, and families seeking smaller households;
- 5) Offer a means for residents, particularly seniors, single parents, and families with grown children, to remain in their homes and neighborhoods, and obtain extra income, security, companionship, and services;
- 6) Broaden the range of affordable housing throughout the City;
- 7) Support sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption;
- 8) Support transit oriented development and reduce auto usage by increasing density near transit; and
- 9) Support the economic viability of historic properties and the City's historic preservation goals by allowing accessory dwellings in historic structures.

The proposed ADU is consistent with the following Residential Land Use Goals included in the Central Community Master Plan:

- Encourage the creation and maintenance of a variety of housing opportunities that meet social needs and income levels of a diverse population.
- Ensure preservation of low-density residential neighborhoods.
- Encourage a mix of rental properties for those who cannot afford or do not choose home ownership.
- Support the efforts of the Housing Division and the Redevelopment Agency to provide residential construction in all qualifying neighborhoods within the Central Community.

The proposal is also consistent with the goals and policies outlined in *Growing SLC: A Five Year Housing Plan* which aims to increase housing options, promote diverse housing stock, and allow for additional units while minimizing neighborhood impacts.

Finding: The uses are consistent with applicable adopted city planning policies, documents, and master plans.

4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions (refer to Detrimental Impacts Chart below for details).

21a.54.080B Detrimental Effects Determination

In analyzing the anticipated detrimental effects of a proposed use, the planning commission shall determine compliance with each of the following:

Criteria	Finding	Rationale
1. This title specifically authorizes the use where it is located	Complies	The proposed ADU is an accessory residential use and is allowed as a conditional use within the R-1/5000 zoning district. The proposed ADU complies with all specific regulations for an ADU including size, height, setbacks, distance to other houses, etc. as outlined in <u>Attachment E.</u>

2. The use is consistent with applicable	Complies	The uses are located in an area zoned and
policies set forth in adopted citywide,	•	designated by the associated master plan for
community, and small area master		low-density residential.
plans and future land use maps		
		This land use designation allows moderate sized lots (i.e., 3,000-10,000 square feet) where single-family detached homes are the dominant land use. Low-density includes single-family attached and detached dwellings as permissible on a single residential lot subject to zoning. As discussed under Conditional Use standard 3 above, the proposed ADU is consistent with the purpose of the ADU ordinance, several residential land use policies in the Central Community Master Plan and supports goals outlined in Growing SLC: a Five Year Housing Plan by providing more housing options, and creating a new housing unit that respects the scale of the
		neighborhood.
3. The use is well-suited to the	Complies	Uses surrounding the property are generally
character of the site, and adjacent uses		single family residential. The lots in this area
as shown by an analysis of the		are generally narrow and deep which
intensity, size, and scale of the use		provides some separation from the proposed
compared to existing uses in the		ADU from the house on the property as well
surrounding area		as adjacent primary residences. The proposal
		complies with the size requirements for an
		ADD which can be up to 50% of the footprint
		compatible with the scale of surrounding
		accessory buildings and adjacent uses
4. The mass, scale, style, design, and	Complies	As discussed above, the scale of the proposal
architectural detailing of the	Complies	is compatible with the main house on the
surrounding structures as they relate to		property as well as surrounding structures
the proposed have been considered		and meets the footprint and height
		requirements for an ADU. The ADU is
		proposed in a location on the site that
		minimizes impacts to adjacent properties.
5. Access points and driveways are	Complies	The main house on the subject property has
designed to minimize grading of		a driveway and garage located off of
natural topography, direct vehicular		Princeton Avenue. The ADU with be accessed
traffic onto major streets, and not		from that driveway. No new access points are
impede traffic flows		proposed and the proposal will not impede
		traffic flows.
6. The internal circulation system is	Complies	The proposed ADU will be accessed from
designed to mitigate adverse impacts		Princeton Avenue and two off street parking

on adjacent property from motorized, non-motorized, and pedestrian traffic		stalls are proposed on the site. It's not anticipated that the addition of the accessory unit will create any adverse impacts in terms of motorized, non-motorized and pedestrian traffic.
7. The site is designed to enable access and circulation for pedestrian and bicycles	Complies	The site is designed for pedestrian access and will be improved with additional paths for access to the ADU.
8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street	Complies	Vehicular access to the site is existing. No unreasonable impacts to the service level of the alley or adjacent streets is anticipated.
9. The location and design of off-street parking complies with applicable standards of this code	Complies	As discussed in other areas of this analysis, two parking spaces are provided adjacent to the proposed ADU and can be accessed from Princeton Avenue. Additionally, parking for the ADU could be waived because of the on street parking that is available in front of the property on Lake Street.
10. Utility capacity is sufficient to support the use at normal service levels	Complies	The Public Utilities department provided comments on the project. A utility plan will need to be submitted for review and compliance will be ensured during the building permitting process.
11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts	Complies	The surrounding properties are all residential uses and the proposed use is also residential. The property directly adjacent to the north and east of the ADU are buffered by a public street and alleyway.
12. The use meets City sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke	Complies	The use does not significantly impact sustainability plans. The project supports sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption.
13. The hours of operation and delivery of the use are compatible with surrounding uses	Complies	The proposed use is an accessory residential structure and is compatible with the surrounding uses are also residential.
14. Signs and lighting are compatible with, and do not negatively impact surrounding uses	Complies	Signs are not associated with this proposal. Any lighting on the accessory structure is not expected to have a negative impact on the surrounding uses or otherwise cause a nuisance.
15. The proposed use does not undermine preservation of historic resources and structures	Complies	The property is not located within a Local or National Historic District and the proposal does not involve the removal of any historic resources or structures.

Finding: In analyzing the anticipated detrimental effects of the proposed use, Staff finds that the request complies with the criteria listed above.

ATTACHMENT G – PUBLIC PROCESS & COMMENTS

Public Notice, Meetings, Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- <u>May 8, 2019</u> Notice of the project was provided to the East Liberty Park Community Council as well as property owners and residents within 300 FT of the development.
- <u>May 23, 2019</u> The applicant and Planning Staff attended a small community focused meeting hosted and organized by the East Liberty Park Community Council. During the meeting, attendees asked general questions about the ADU height, distance from adjacent property lines, privacy, parking, as well as owner occupancy requirements.

Notice of the public hearing for the proposal included:

Public hearing notice mailed on June 27, 2019 Public hearing notice posted on June 27, 2019 Public notice posted on City and State websites and Planning Division list serve on June 27, 2019.

Public Input:

Staff has received two public comments in the form of telephone calls. One identified themselves as the neighbor at 1164 Lake Street. Both of the comments were supportive of the project.

If any comments are received after publication of the Staff Report, they will be forwarded to the Commission and included in the public record.

ATTACHMENT H – DEPARTMENT REVIEW COMMENTS

Engineering: (Scott Weiler at <u>scott.weiler@slcgov.com</u> or 801-535-6159) No objections to the proposal

Transportation: (Michael Barry at <u>michael.barry@slcgov.com</u> or 801-535-7147) One off street parking space is required for the ADU. The narrative states the parking space will be in the driveway which is acceptable.

Public Utilities: (Jason Draper at jason.draper@slcgov.com)

No objection to the ADU, however, they may need to do some relocation of the sewer as well as install a new sewer lateral for the ADU. Public Utilities will need to review a site utility plan before building permits can be approved.

Fire: (Ted Itchon 801-535-6636 or <u>ted.itchon@slcgov.com</u>) The following comments are for the proposed ADU:

- Fire Apparatus access roads shall be within 150-feet to all exterior portions of the proposed structure. The site plan does not adequately show proposed fire apparatus access roads
- Fire hydrants shall be within 400 feet of all exterior walls of the structure. The site plan does not show existing or proposed hydrants.
 (All measurements are made in straight lines and right angles as the hose would be pulled or fire apparatus would be driven)

Planning Response to Fire Comment:

The updated site plan included in this staff report addresses these comments. Additionally, the applicant met with a permit technician to ensure compliance.

Zoning: (Scott Browning 801-535-6000 or Scott.Browning@slcgov.com)

- 1. Impact fees will be charged for an extra residential unit.
- 2. Needs deed restriction application/form signed & recorded with the County (family or not)
- 3. Show compliance with section 21A.40.200.F
 - a. with family occupying the property, they only get out of the business license but still need to attend the good landlord program (since it's not "rented out")

Planning Response:

The applicant has applied to the Good Landlord Program and supplied documentation. Deed restriction will be recorded with the County.

- 4. Owner needs to show some sort of ownership (County tax records, Title, etc.)
- 5. Customer must show a full site plan with all setbacks (from buildings and property lines), dimensions of buildings and dimensions of property lines.
- 6. The site plan (will not be accepted as a photograph) needs to show the 10' required side yard and that there will be no encroachments into this area other than building eaves.
- 7. Required 10' corner side yard must be maintained as landscaping/live vegetation. Please show this on the site plan. Also, on the site plan, please show the location of the AC unit and its setback from the property line.
- 8. Provide the lot coverage by solid roofed buildings which is not to exceed 40% according to section 21A.24.070.F.

9. The home requires 2 parking stalls and the ADU requires 1 parking stall (8' x 20'; 21A.40.200.E.1.g). All parking must be located (outside of the 10' buffer) in legal locations and be an improved surface (21A.44) – the Google Earth image of the property shows that the RV is parked on a gravel/an improved surface.

Planning Response:

The updated site plan included in this staff report addresses these comments.

Building: (Jason Rogers <u>Jason.rogers@slcgov.com</u>)

Building Code Corrections as follows:

- 1. Provide drawn out site plan to include property line measurements from structure/ be sure to show true north
- 2. Any structure 5 feet or less must be fire rated in accordance to section R302 of the IRC with 5/8 type x gypsum board
- 3. Provide UL listed specifications for the proposed ventless washer/dryer combo
- 4. Provide section or side view of the two proposed skylights with measurements and curb height
- 5. Show radiant flooring design as stated in the project data on sheet #1
- 6. show drainage location for water heater
- 7. provide structural stamping or calculations from engineer
- 8. provide electrical plan
- 9. Will there be A/C installed if so please show specs and location on site plan