



# Staff Report

PLANNING DIVISION  
DEPARTMENT *of* COMMUNITY *and* NEIGHBORHOODS

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To: Salt Lake City Planning Commission

From: Krissy Gilmore, Principal Planner, [Kristina.Gilmore@slcgov.com](mailto:Kristina.Gilmore@slcgov.com) or 801-535-7780

Date: July 2, 2019

Re: Detached Accessory Dwelling Unit – Conditional Use (PLNPCM2019-00412)

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## Conditional Use

**PROPERTY ADDRESS:** Approximately 1143 South Lake Street

**PARCEL ID:** 16-08-353-001-0000

**MASTER PLAN:** Central Community

**ZONING DISTRICT:** R-1/5000 (Single Family Residential)

**REQUEST:** Kari Larson, the owner of the property at approximately 1143 South Lake Street, is requesting Conditional Use approval to construct an Accessory Dwelling Unit (ADU) to the rear of the house on the property. The property is located in the R-1/5000 (Single Family Residential) zoning district which requires a Conditional Use process for construction of an ADU.

**RECOMMENDATION:** Planning Staff finds the project generally meets the applicable standards of approval and therefore recommends the Planning Commission approve the Conditional Use for the ADU with the conditions of approval below. Final approval of the details noted in the following conditions shall be delegated to Planning Staff:

1. The site plan will be revised to meet requirements from other divisions as outlined in [Attachment H Department Comments](#).
2. The applicant shall comply with the registration process outlined in section 21A.40.200.F of the Salt Lake City zoning ordinance.
3. Approval is for the specific items discussed and identified in the staff report. All other applicable zoning regulations and requirements from other city departments still apply.

### ATTACHMENTS:

- A. [Vicinity Map](#)
- B. [Plan Set](#)
- C. [Additional Information Provided by Applicant](#)
- D. [Property and Vicinity Photos](#)
- E. [ADU Zoning Standards](#)
- F. [Conditional Use Standards](#)

- G. [Public Process & Comments](#)
- H. [Department Review Comments](#)

**PROJECT DESCRIPTION:**

The proposed project is for construction of a detached ADU to the rear of the house on the property located at approximately 1143 South Lake Street. The proposed ADU has one bedroom and one bathroom and is approximately 520 SF. There are two parking spaces and a garage that are accessed from Princeton Avenue.

The proposed ADU has a gabled roof and a maximum height of 11 FT 7 IN. The primary exterior building material is a fiber cement siding. The casement windows on the proposed ADU are similar in dimension to the primary structure on the property, and smaller skylight windows are provided to provide for additional light while providing privacy for adjacent properties. The entrance to the proposed ADU is facing the rear of the primary residence and includes a front porch/entry feature.



 *Approximate location of proposed ADU*



*Conceptual rendering submitted with application. View of front elevation facing rear of primary residence.*

**PLANNING COMMISSION REVIEW:**

The property is located in the R-1/5000 zoning district, which is a single family zoning district. A Conditional Use process is required for any ADU's located in a single family zone. For complete analysis and findings in relation to the Conditional Use standards please refer to [Attachment F](#).

**NEXT STEPS:****Approval of Conditional Use**

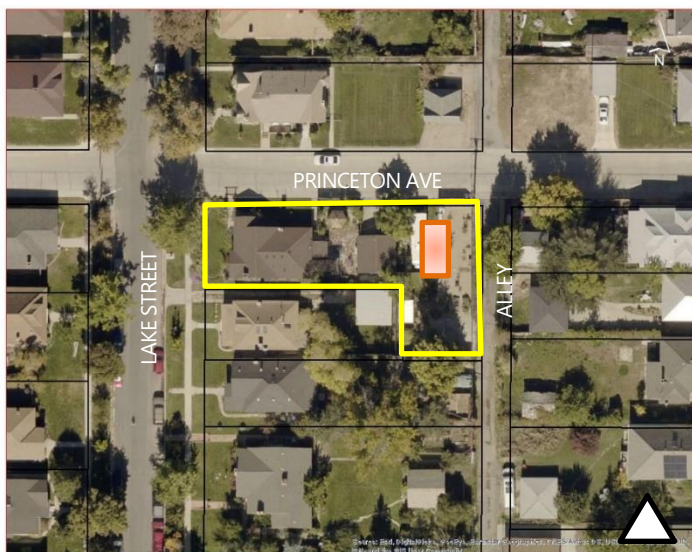
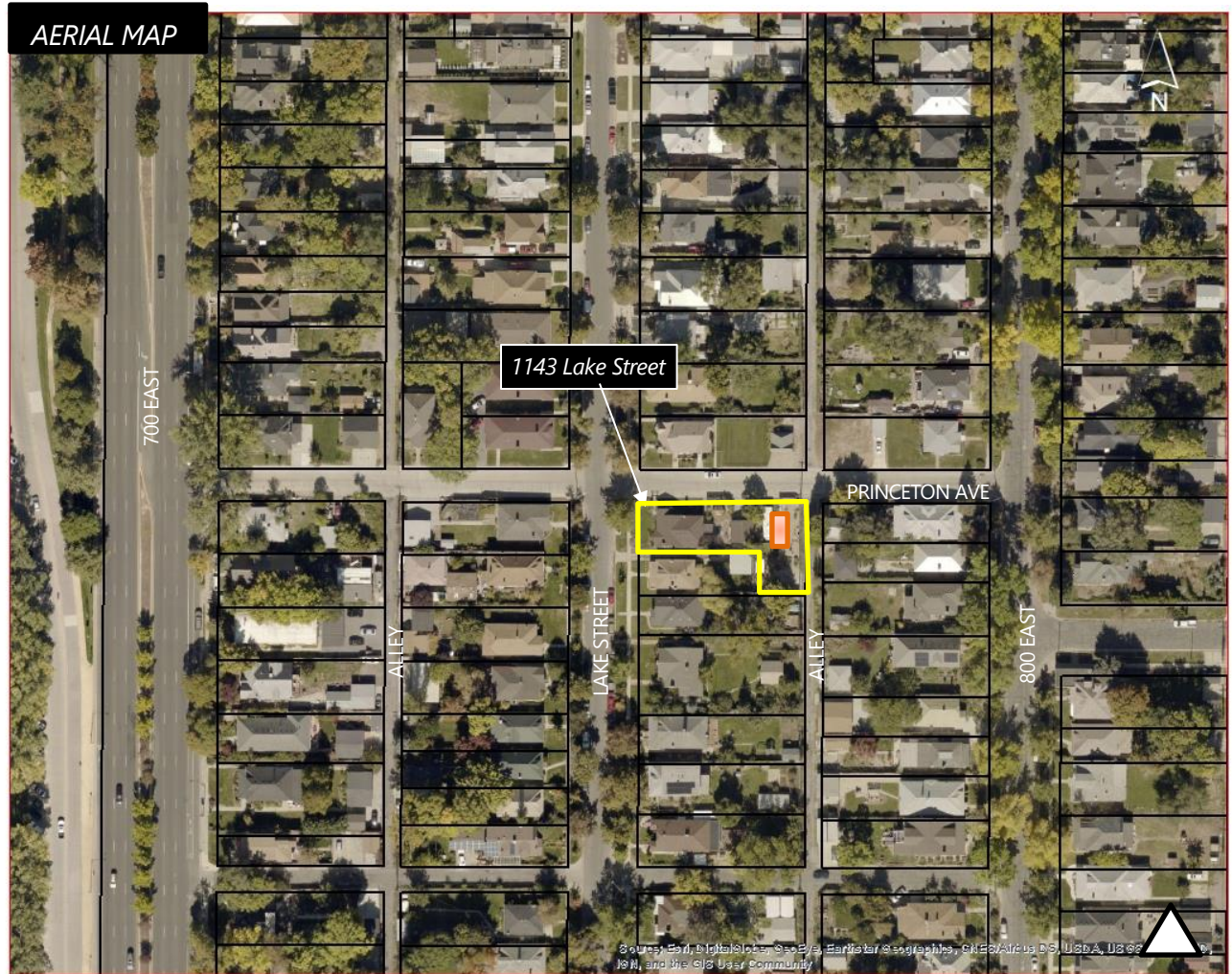
If the request is approved, the applicant will need to need to comply with the conditions of approval, including any of the conditions required by other City departments and any added by the Planning Commission. The applicant will be able to submit plans for building permits and certificates of occupancy for the buildings will only be issued once all the conditions of approval are met including the registration process requirements outlined in 21A.40.200.F of the zoning ordinance.

**Denial of Conditional Use**

State and City code requires that a Conditional Use be approved if reasonable conditions can be imposed on the use to mitigate any reasonably anticipated detrimental effects of the use. A conditional use can only be denied if the Planning Commission finds that reasonably anticipated detrimental effects cannot be mitigated with the imposition of reasonable conditions.

If the Planning requests are denied, the applicant would not be able to construct an ADU. An accessory structure could still be constructed on the property subject to meeting zoning requirements, however, it could not be used as an accessory dwelling. Accessory structures in the R-1/5000 zoning district must be located a minimum of 1 FT from the side and rear property lines, meet the lot coverage requirements, and the permitted maximum height for a pitched roof accessory building is 17 FT to the midpoint or 12 FT for a flat roof.

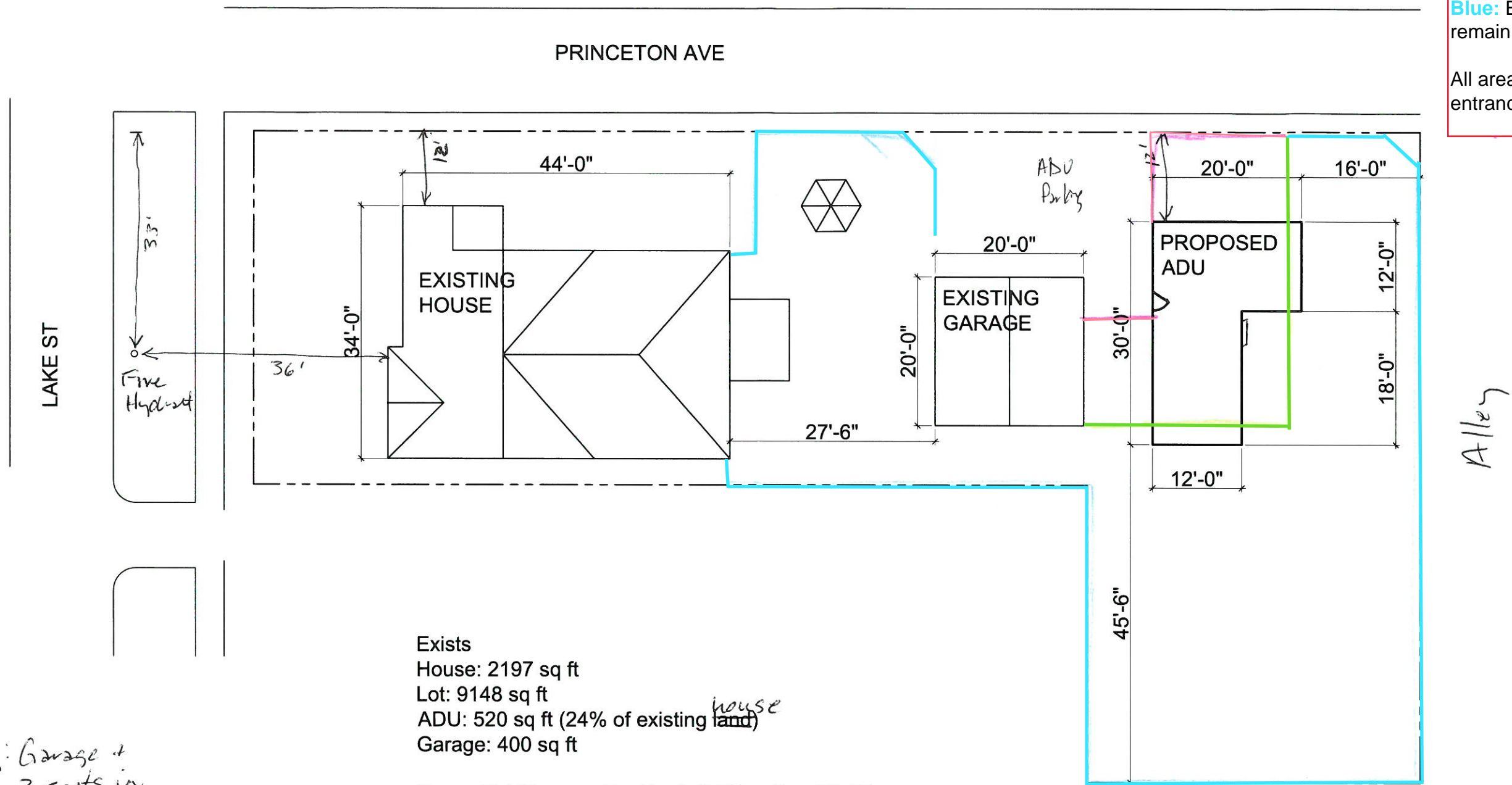
# ATTACHMENT A – VICINITY MAPS



 *Approximate location of proposed ADU*

## **ATTACHMENT B – PLAN SET**

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**Green:** Existing fence to be removed  
**Pink:** Proposed new fence  
**Blue:** Existing fence to remain

All areas within fence and entrance will be landscaped.

Parking: Garage + 2 spots in Driveway  
 No ALC unit

Exists  
 House: 2197 sq ft  
 Lot: 9148 sq ft  
 ADU: 520 sq ft (24% of existing <sup>house</sup> land)  
 Garage: 400 sq ft

Current lot % covered by Roof: 2597 sq ft or 28.4%  
 Proposed: 3117 sq ft or 34.1% of lot covered by roof  
 Zoning: R-1-5000  
 Sewer Access - Alley  
 Water Access - Lake St



LOCATION MARK	TYPE	UNIT SIZE (R.O.)	U-FACTOR	QUANTITY	REMARKS
1	FRENCH DOORS	6080 (6282 1/2)	0.28	1	GREAT ROOM, OUT-SWING, PRIMARY EGRESS.
2	SINGLE FRENCH DOOR	3080 (3282 1/2)	0.28	1	BEDROOM, LEFT OUT-SWING, BEDROOM EGRESS.
3	POCKET	2880	-	2	PREFABRICATED 2X4 POCKET DOOR WALL UNIT, BATH/BEDROOM
4	BYPASS	4880 (5082 1/2)	-	1	WATER HEATER + LAUNDRY CLOSET.
5	POCKET	3080	-	1	BEDROOM-TO-BATHROOM, PREFABRICATED 2X4 POCKET DOOR WALL UNIT.
6	BYPASS	3680 (3882 1/2)	-	1	BEDROOM CLOSET

LOCATION MARK	TYPE	SIZE	U-FACTOR	QUANTITY	REMARKS
A	SLIDER	3648	0.28	1	VINYL, CONSULT WITH OWNER FOR OPERATION PREFERENCES
B	SLIDER	3648	0.28	1	VINYL, CONSULT WITH OWNER FOR OPERATION PREFERENCES
C	SLIDER	3618	0.28	1	VINYL, CONSULT WITH OWNER FOR OPERATION PREFERENCES
D	SLIDER	3648	0.28	1	VINYL, CONSULT WITH OWNER FOR OPERATION PREFERENCES

LOCATION MARK	TYPE	SIZE	U-FACTOR	QUANTITY	REMARKS
5A	SKYLIGHT	2248	0.46	1	NON-VENTING
5B	SKYLIGHT	2248	0.46	1	NON-VENTING

**HEATING SYSTEM**  
CARBONIC IN-FLOOR RADIANT HEATING THROUGHOUT HOUSE.

**WHOLE HOUSE VENTILATION**  
ALL WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY IRC M1507.3 SHALL BE MET WITH A HIGH EFFICIENCY FAN (MAXIMUM 0.35 WATTS/CFM), NOT INTERLOCKED WITH THE FURNACE/FAN.

**VENTLESS DRYERS**  
IRC M1502.2 INDEPENDENT EXHAUST SYSTEM EXCEPTION FOR LISTED AND LABELED CONDENSING (DUCTLESS) CLOTHES DRYERS

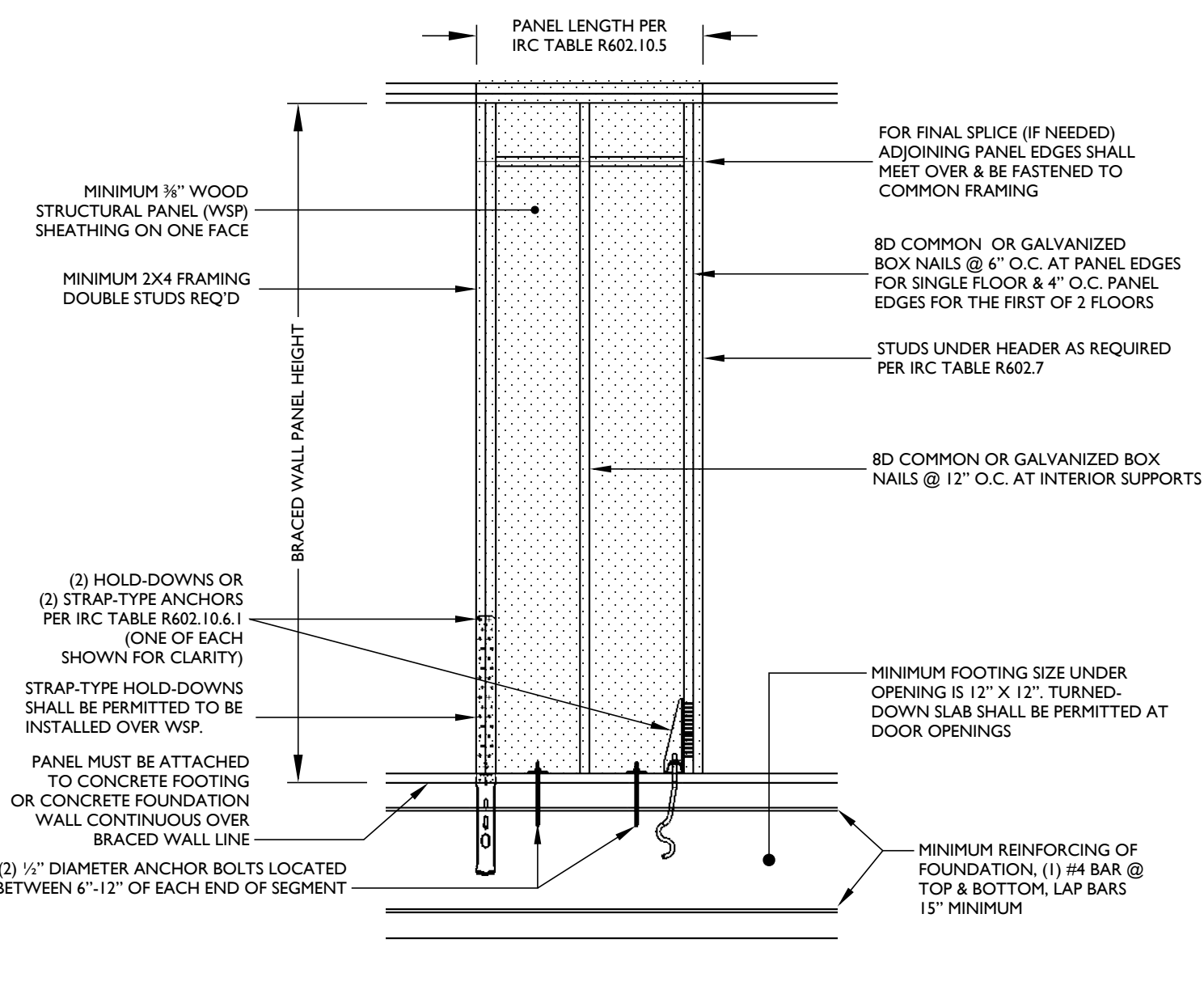
**EFFICIENT WATER HEATING**  
ALL SHOWER HEAD AND KITCHEN SINK FAUCETS INSTALLED IN THE HOUSE SHALL BE RATED AT 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS.

**GIRDER & HEADER SPANS**  
THIS PLAN FOLLOWS IRC TABLE R602.10.1 GIRDER SPANS & HEADER SPANS FOR EXTERIOR BEARING WALLS GROUND SNOW LOAD PSF = 30

**EGRESS REQUIREMENTS**  
THIS PLAN FOLLOWS WAC 296-150M-550 FOR EMERGENCY EGRESS REQUIREMENTS:  
(A) EVERY BEDROOM OR OTHER ROOM DESIGNED EXPRESSLY FOR SLEEPING PURPOSES MUST HAVE A WINDOW THAT MEETS THE MINIMUM REQUIREMENTS OF AT LEAST 5.0 SQUARE FEET OF OPENING FOR EMERGENCY EGRESS.  
(B) ROOMS THAT HAVE A DOOR WITH A MINIMUM CLEAR OPENING OF TWENTY-EIGHT INCHES WIDE BY SEVENTY-TWO INCHES HIGH, WHICH OPENS DIRECTLY TO THE OUTSIDE DO NOT NEED TO HAVE AN EMERGENCY EGRESS WINDOW.  
(C) WINDOWS AND DEVICES MUST BE INSTALLED IN A MANNER WHICH ALLOWS FOR PROPER OPERATION.  
(D) THE BOTTOM OF THE OPENING OF AN EGRESS WINDOW SHALL BE NO MORE THAN THIRTY-SIX INCHES ABOVE THE FLOOR.  
(E) THE HEIGHT OF THE BOTTOM OF THE WINDOW CAN BE INCREASED TO FORTY-FOUR INCHES WHEN THE CLEAR NET AREA IS INCREASED TO 5.7 SQUARE FEET OF OPENING.

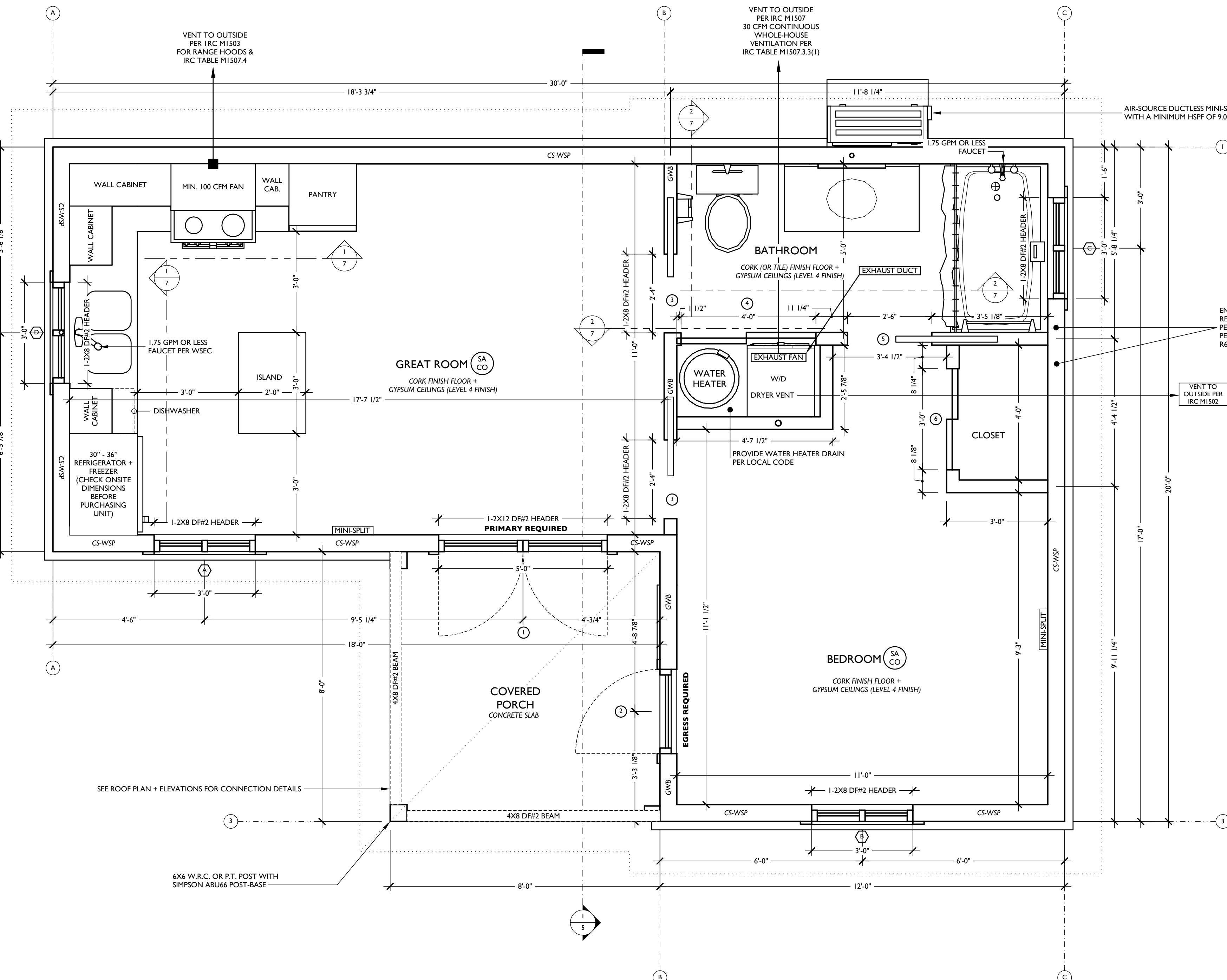
**3 BRACED WALL METHOD ABW - ALTERNATE BRACED WALL PANEL PER IRC FIGURE R602.10.6.1**  
ANCHOR BOLTS SHALL BE PROVIDED FOR THE FULL LENGTH OF BRACED WALL LINES (BWL)

**2 SHEAR WALL SCHEDULE**  
ANCHOR BOLTS SHALL BE PROVIDED FOR THE FULL LENGTH OF BRACED WALL LINES (BWL)



BRACED WALL SCHEDULE									
DESIGN STANDARD: IRC SEISMIC D2 [R602.10.3(1)] & WIND CATEGORY B									
WALL	WALL HEIGHT	WALL LENGTH	METHOD	REQ. LENGTH	TOTAL PROVIDED LENGTH	SHEATHING	FASTENERS	SPACING	
1	8'	30'	CS-WSP	6.4'	30'	1/2" CDX PLYWOOD	8D COMMON NAILS (2.5" x 0.131")	PANEL EDGES: 6" FIELD: 12" STUDS: UP TO 24" O.C.	
2	8'	18'	CS-WSP	3.9'	10'	1/2" CDX PLYWOOD	8D COMMON NAILS (2.5" x 0.131")	PANEL EDGES: 6" FIELD: 12" STUDS: UP TO 24" O.C.	
3	8'	12'	CS-WSP	2.6'	9'	1/2" CDX PLYWOOD	8D COMMON NAILS (2.5" x 0.131")	PANEL EDGES: 6" FIELD: 12" STUDS: UP TO 24" O.C.	
A	8'	12'	CS-WSP	2.6'	9'	1/2" CDX PLYWOOD	8D COMMON NAILS (2.5" x 0.131")	PANEL EDGES: 6" FIELD: 12" STUDS: UP TO 24" O.C.	
B	8'	20'	GB	8'	14'	1/2" GYPSUM BOARD	PER IRC TABLE R602.1(1) - 1 1/2" SCREWS TYPICAL	PANEL EDGES: 7" FIELD: 7" STUDS: UP TO 24" O.C.	
C	8'	20'	CS-WSP	4.3'	17'	1/2" CDX PLYWOOD	8D COMMON NAILS (2.5" x 0.131")	PANEL EDGES: 6" FIELD: 12" STUDS: UP TO 24" O.C.	

ANCHOR BOLTS SHALL BE PROVIDED FOR THE FULL LENGTH OF BRACED WALL LINES (BWL)



**1 MAIN FLOOR PLAN**  
SCALE: 1/2" = 1'

SHC

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OWNER CONTACT

SITE ADDRESS

PARCEL NO.

LEGAL DESCRIPTION

BUILDER CONTACT

STAMPS & SEALS

REVISIONS  
NO. DATE DESCRIPTION  
1. 6/1/2019 CLIENT UPDATES FOR SLC BUILDING DEPARTMENT

FLOOR PLANS

SHEET NO.  
**2 | 8**

PROJECT SKYWAY COTTAGE

DATE April 10, 2018

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ELEVATIONS

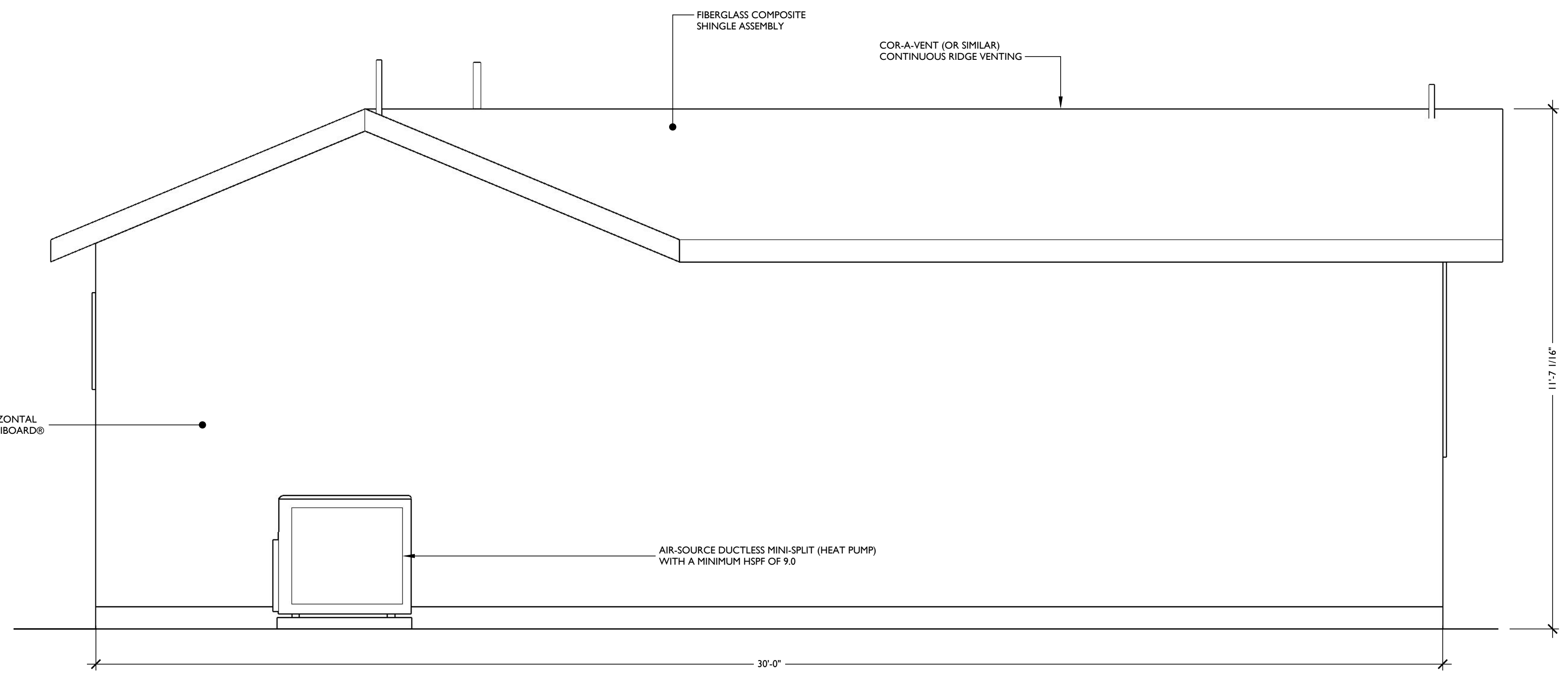
SHEET NO.

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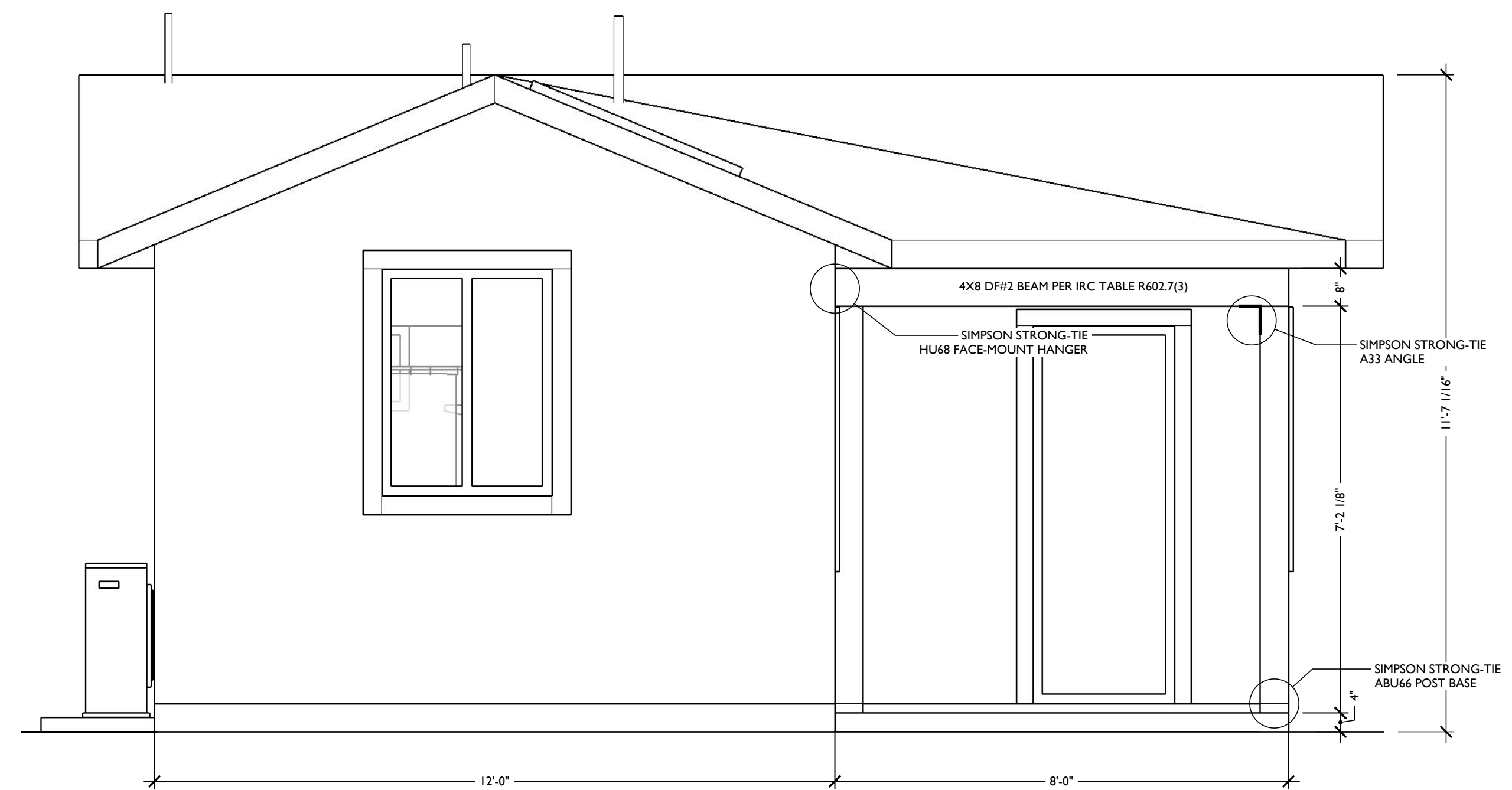
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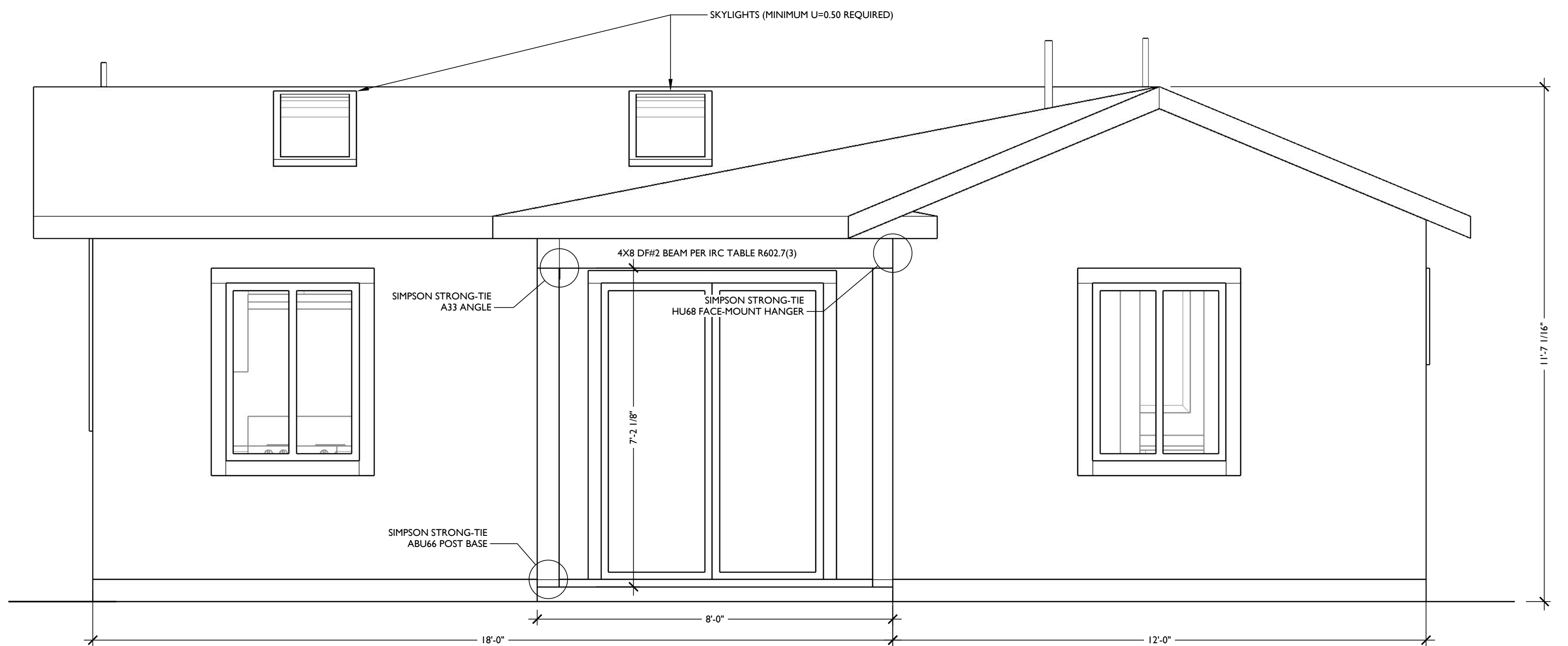
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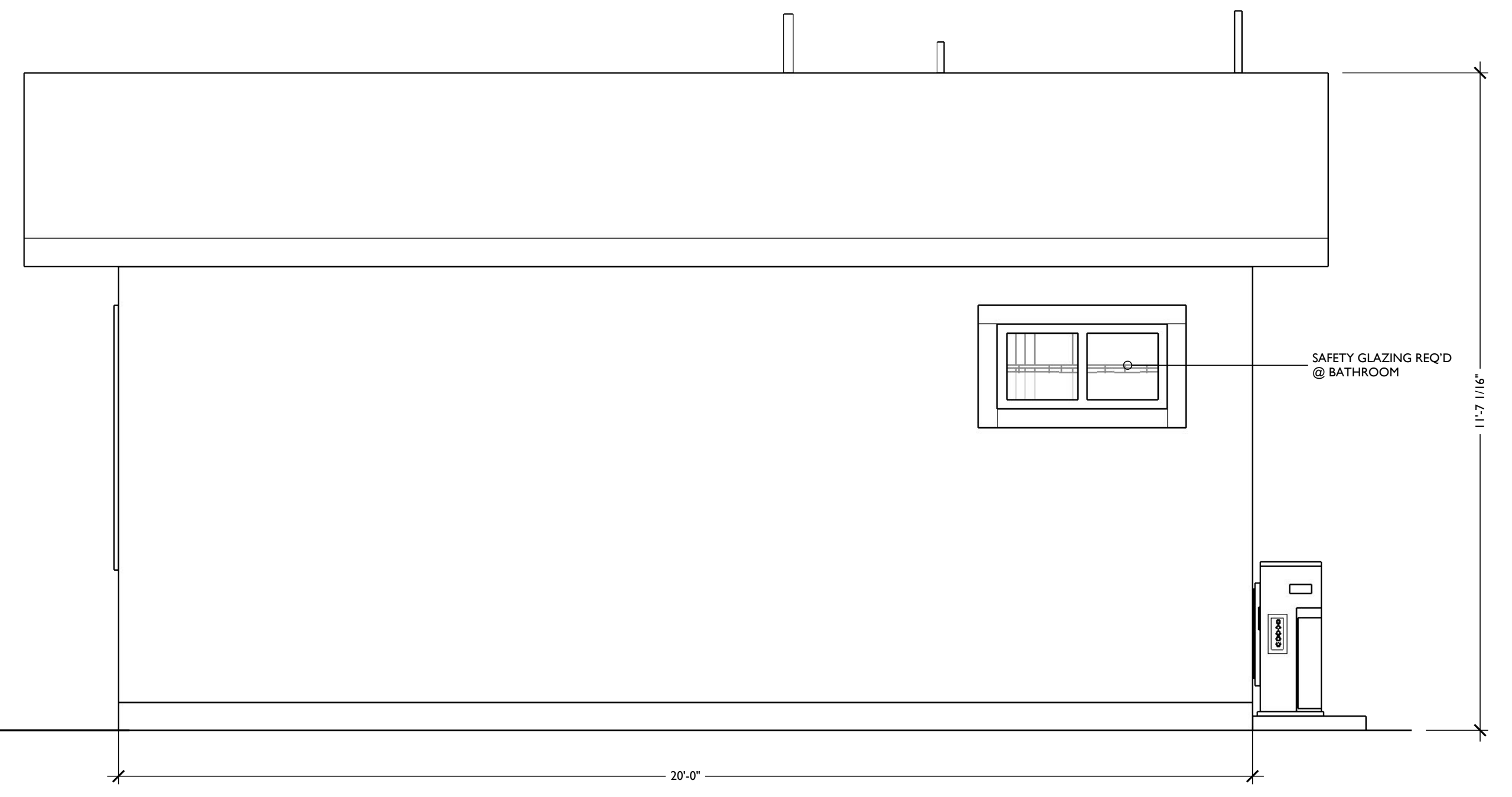
2 ELEVATION 2  
 SCALE: 1/4" = 1'



4 ELEVATION 4  
 SCALE: 1/4" = 1'



1 ELEVATION 1  
 SCALE: 1/4" = 1'



3 ELEVATION 3  
 SCALE: 1/4" = 1'



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FOUNDATION

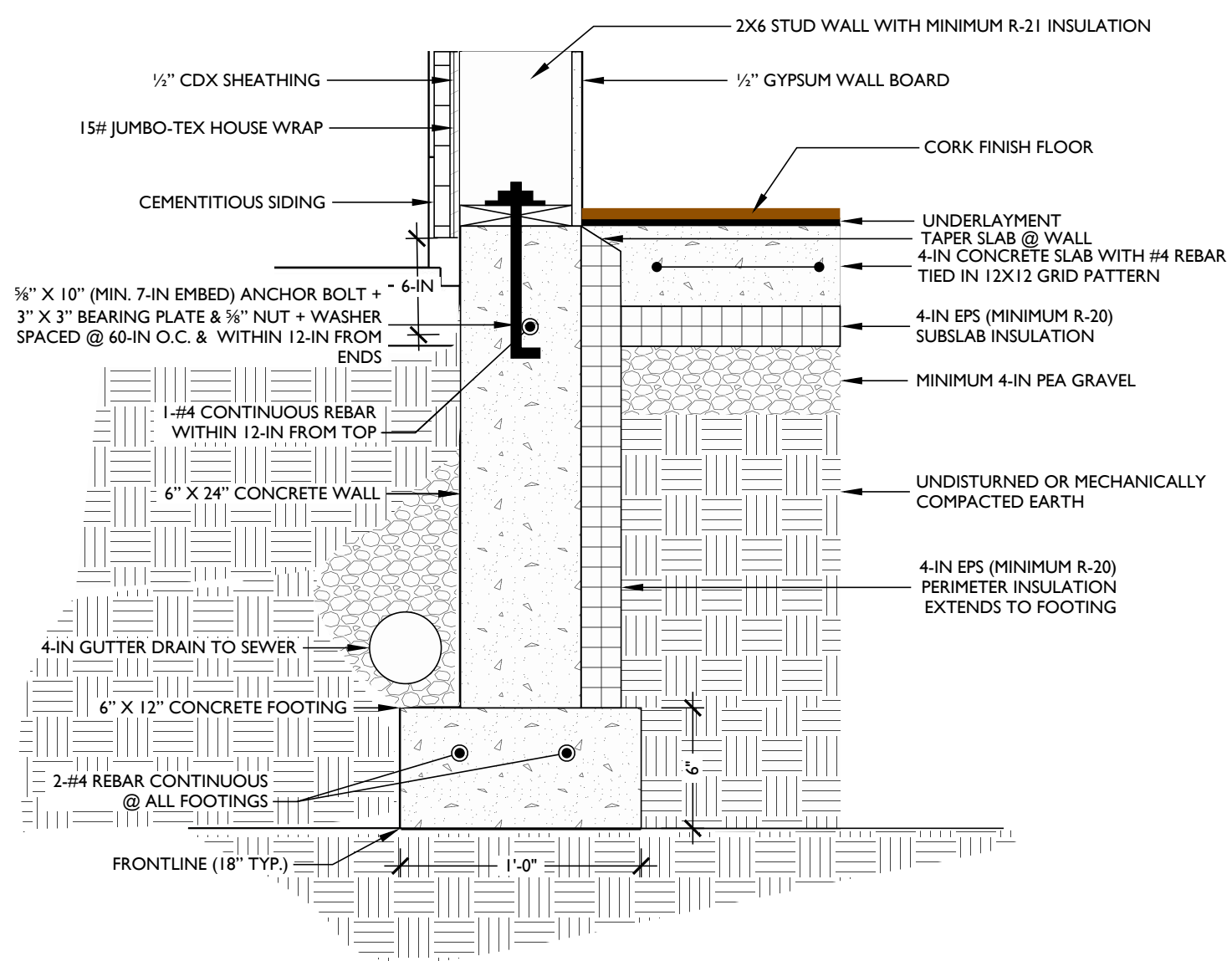
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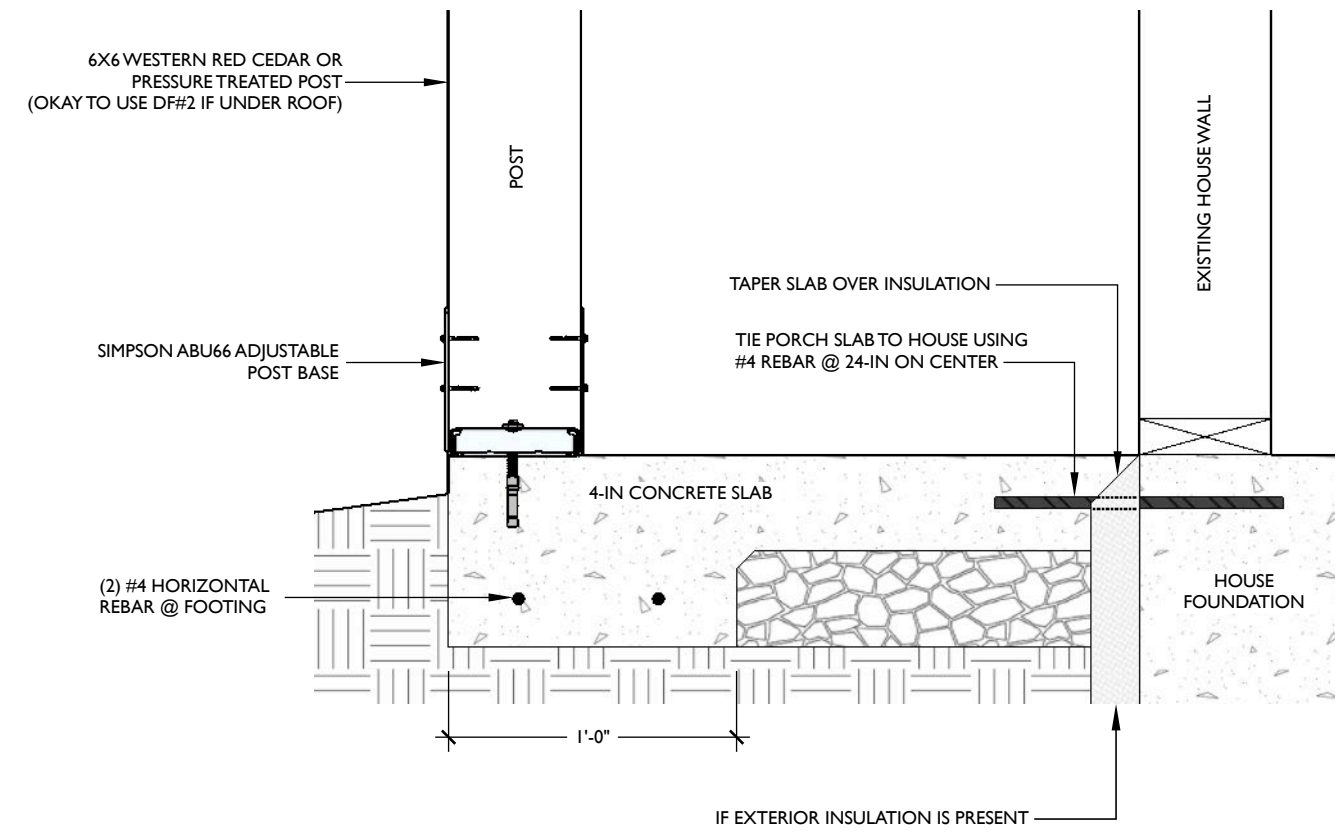
PROJECT SKYWAY COTTAGE

DATE April 10, 2018

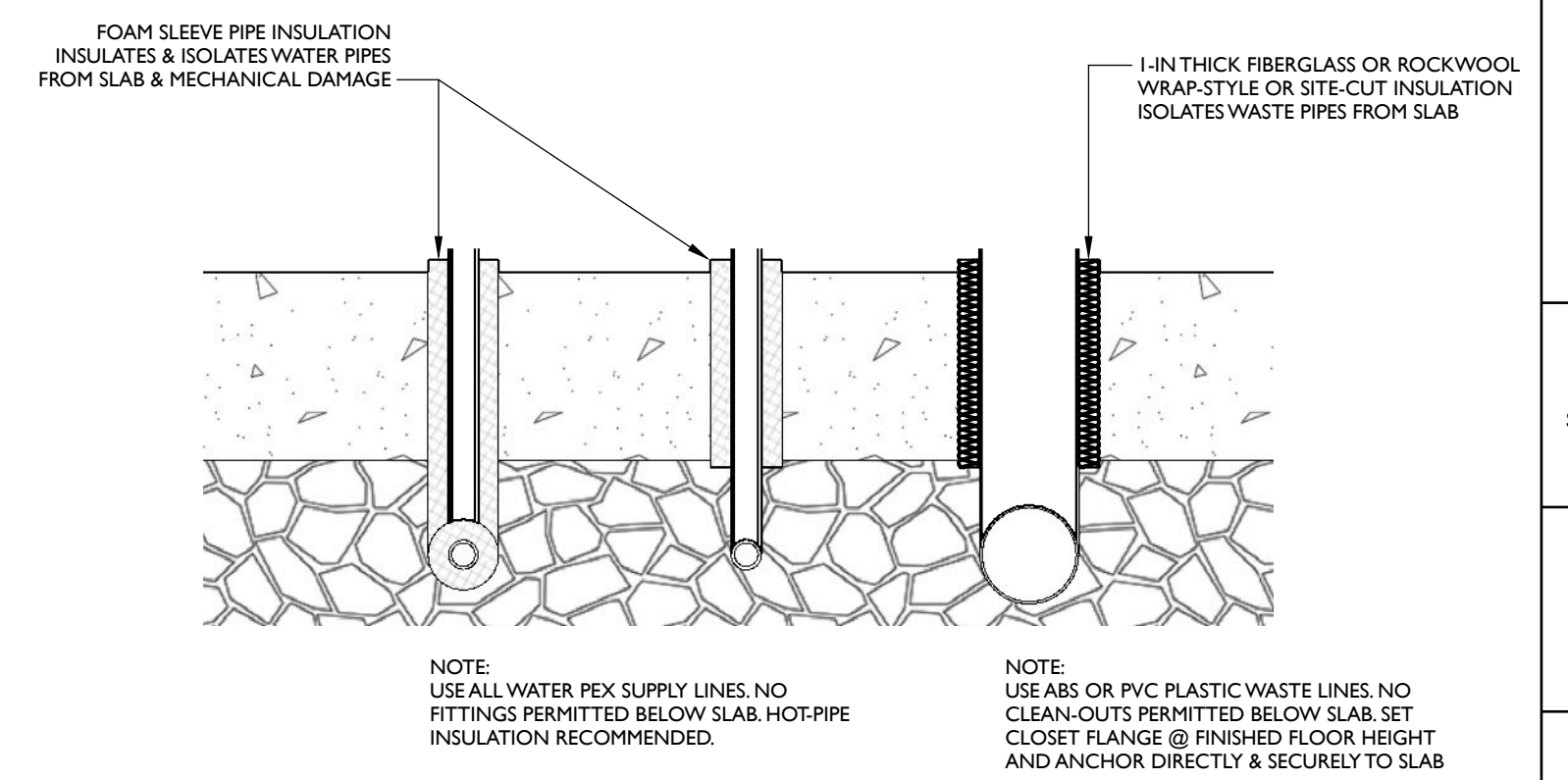
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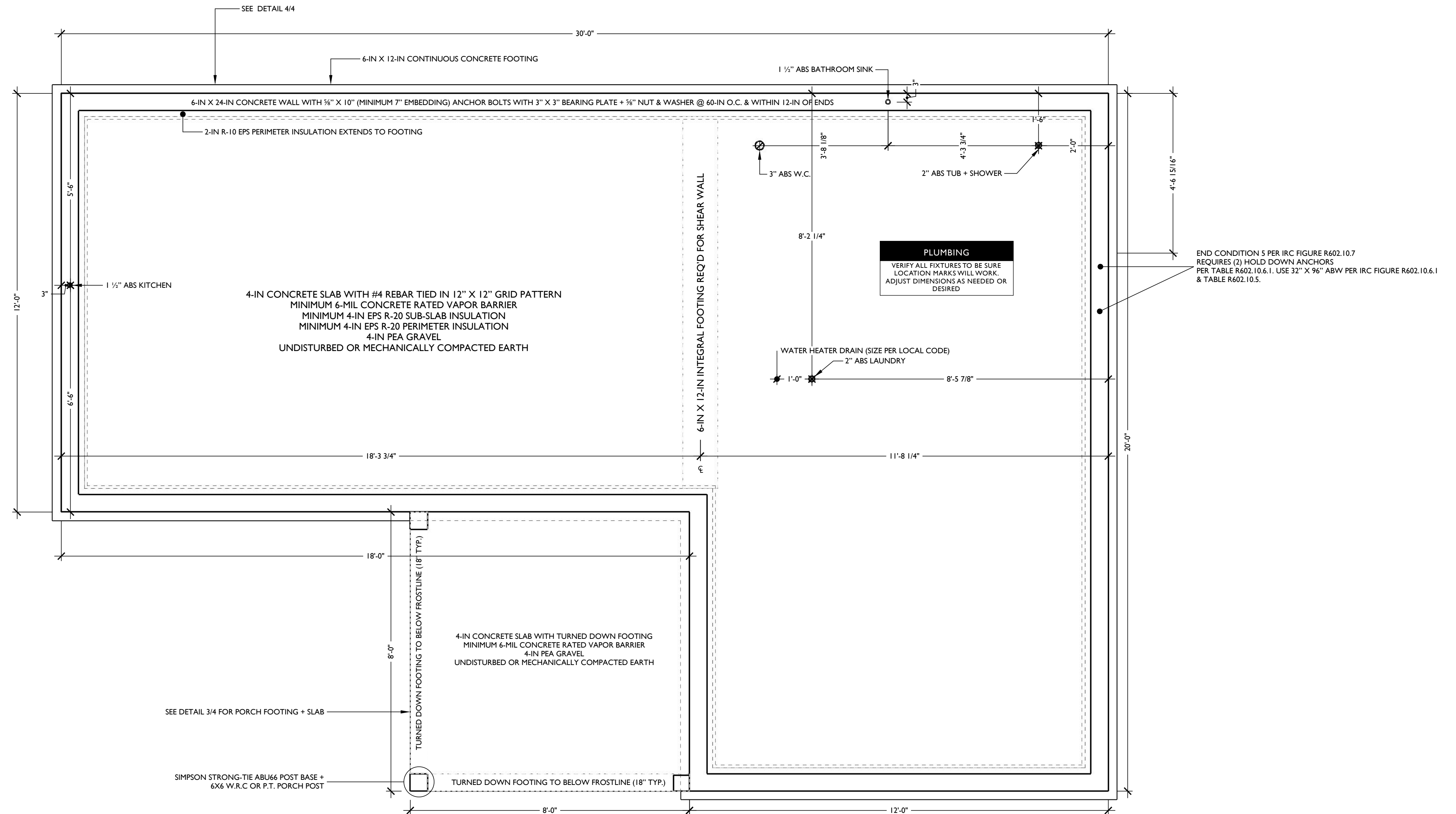
4 SLAB WITH DEEP FOOTING INSULATED  
 SCALE: 1-1/2" = 1'



3 POST-TO-SLAB CONNECTION TURNED DOWN FOOTING SLAB TIED TO HOUSE FOUNDATION  
 SCALE: 1-1/2" = 1'



2 PLUMBING THROUGH SLAB  
 SCALE: 3" = 1'



1 FOUNDATION PLAN  
 SCALE: 1/2" = 1'



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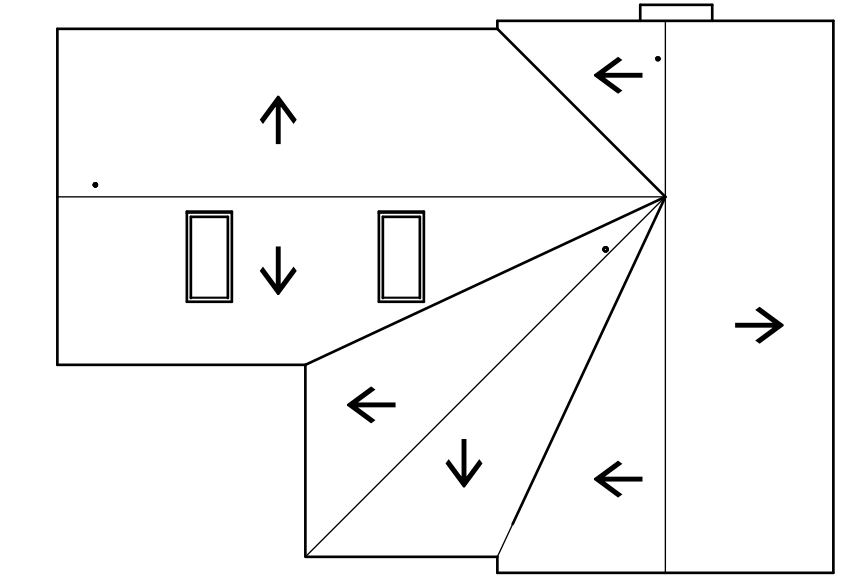
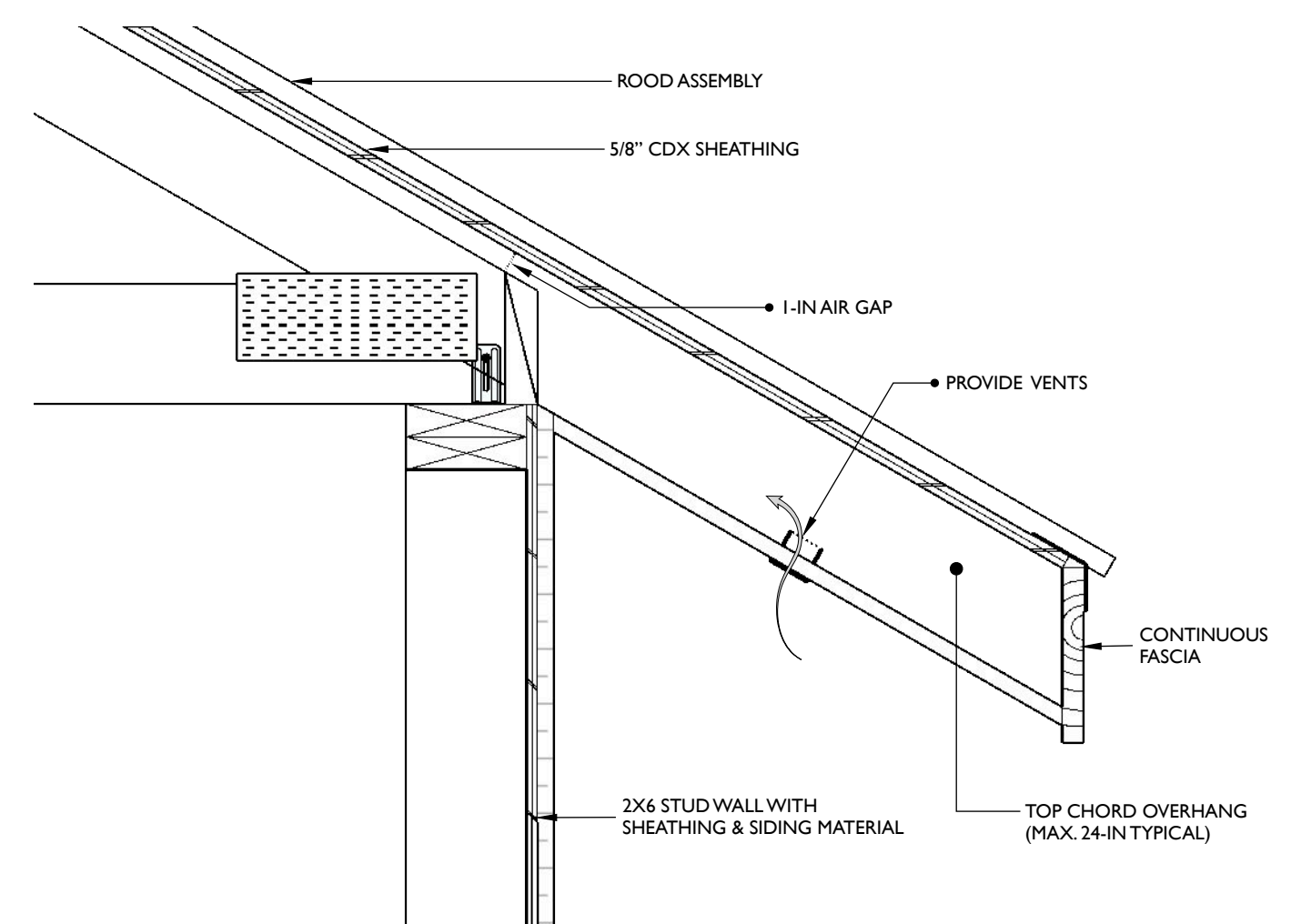
ROOF FRAMING PLANS

SHEET NO.

5 | 8

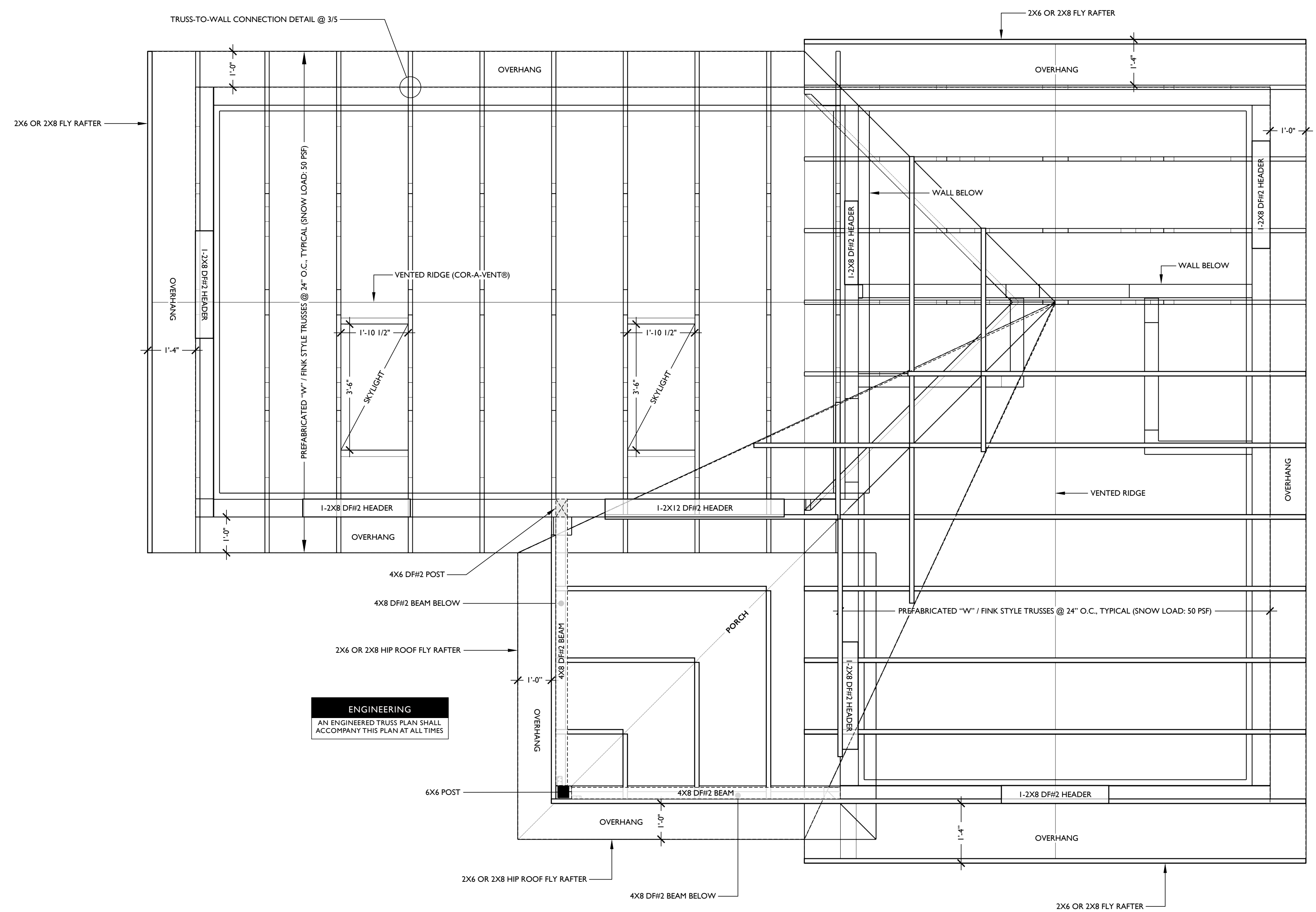
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DATE April 10, 2018



3 TYPICAL TRUSS-TO-WALL CONNECTION VENTILATED SOFFIT  
 SCALE: 1" = 1'

2 FINISHED ROOF PLAN  
 SCALE: 1/8" = 1'



1 ROOF FRAMING PLAN  
 SCALE: 1/2" = 1'

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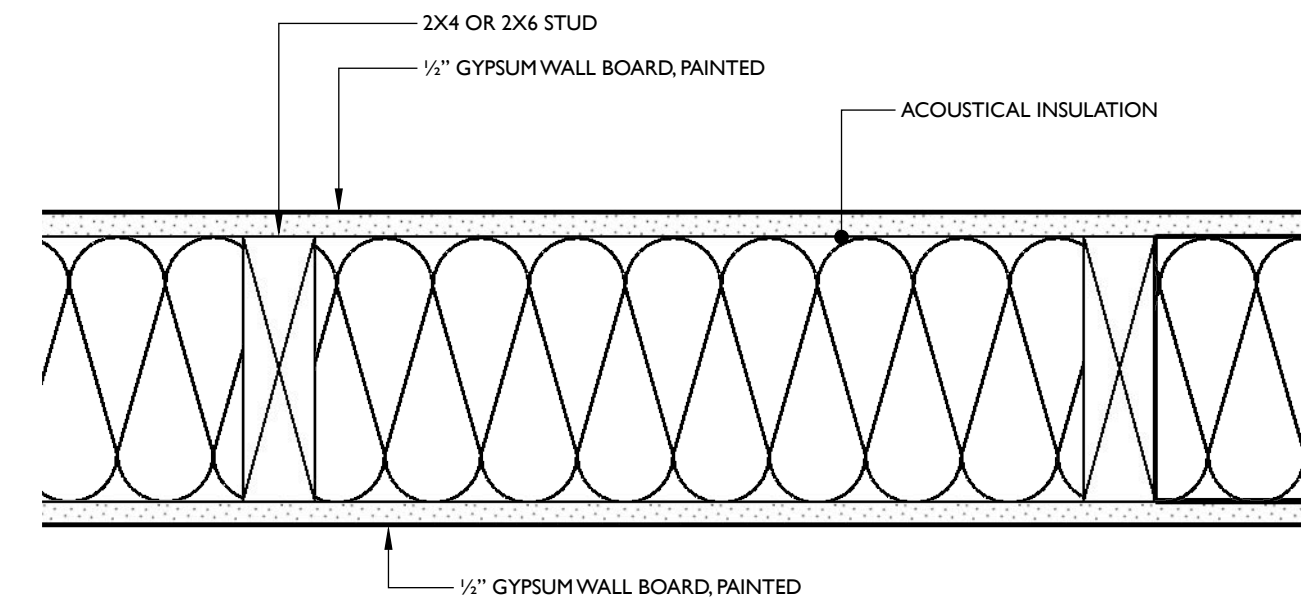
SECTIONS

SHEET NO.

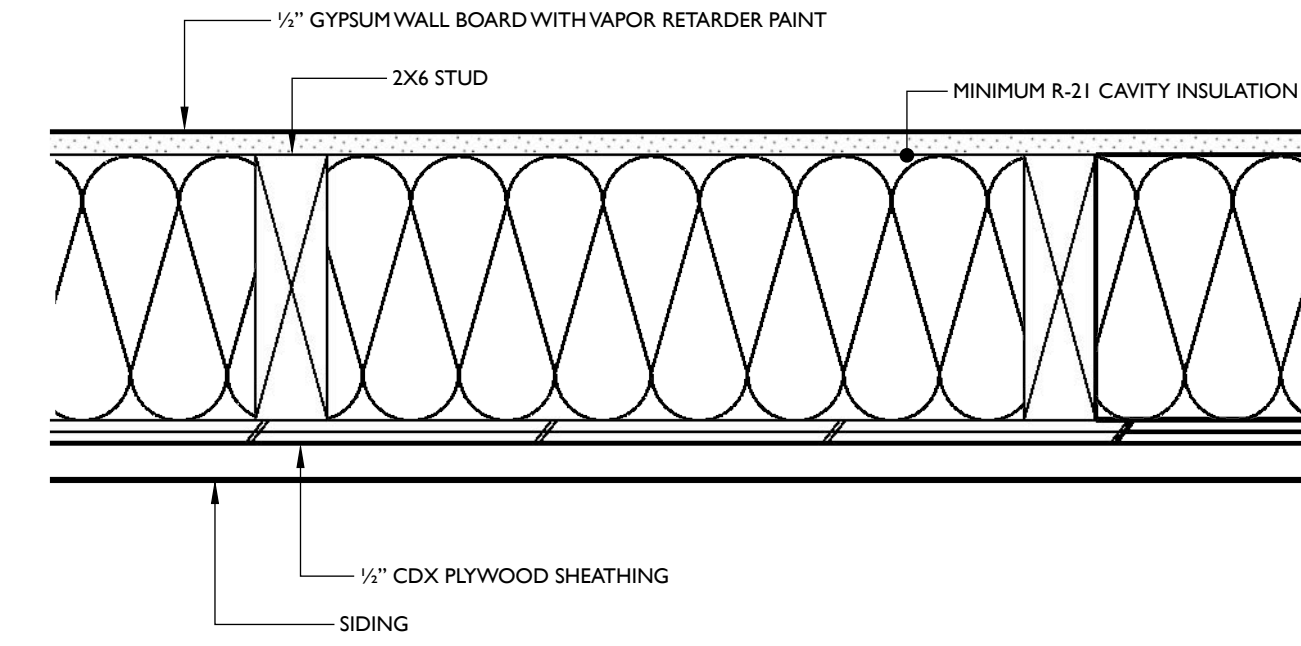
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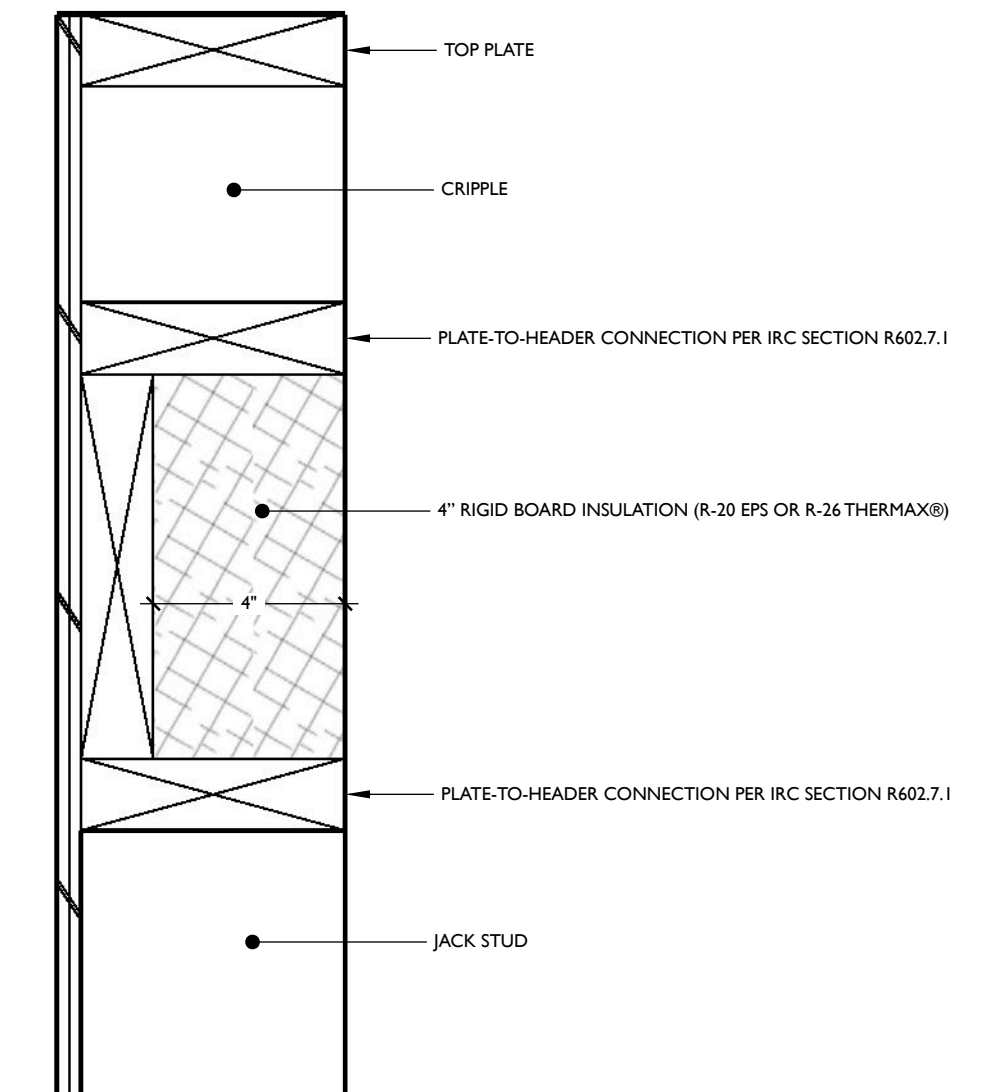
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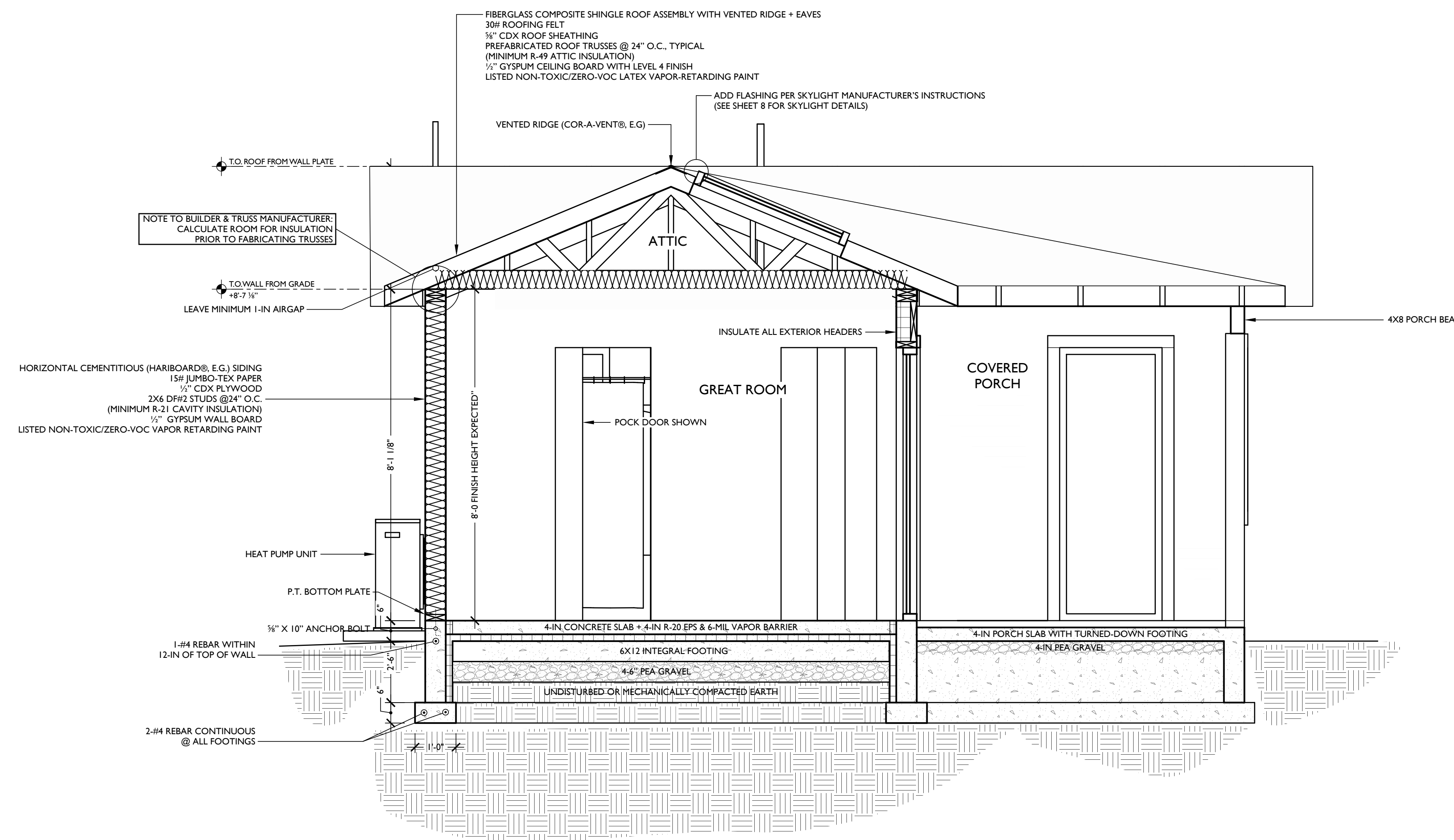
4 TYPICAL INTERIOR WALL WITH ACOUSTICAL INSULATION  
 SCALE: 3" = 1"



3 TYPICAL 2X6 EXTERIOR WALL WITH 1/2" CDX + 1/2" GYPSUM WALL BOARD  
 SCALE: 3" = 1"



2 SINGLE MEMBER HEADER IN EXTERIOR WALL PER IRC FIGURE R602.7.1(1)  
 SCALE: 3" = 1"



1 TRANSVERSE BUILDING SECTION  
 SCALE: 1/2" = 1"

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INTERIOR VIEWS

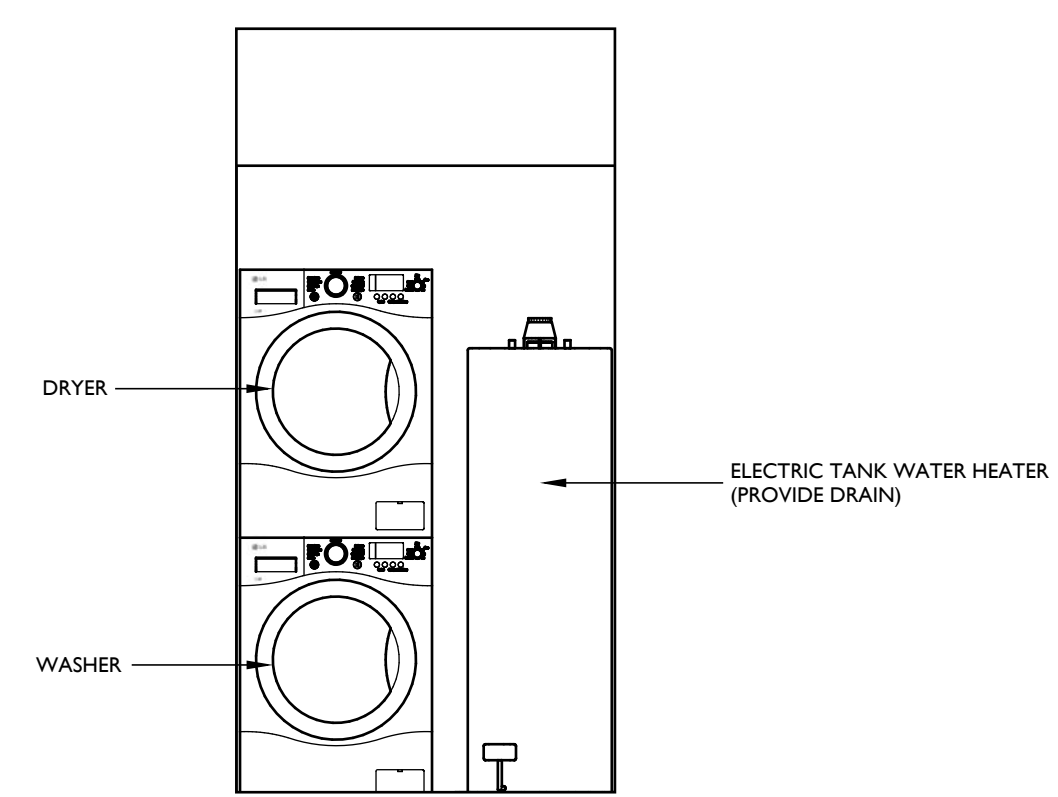
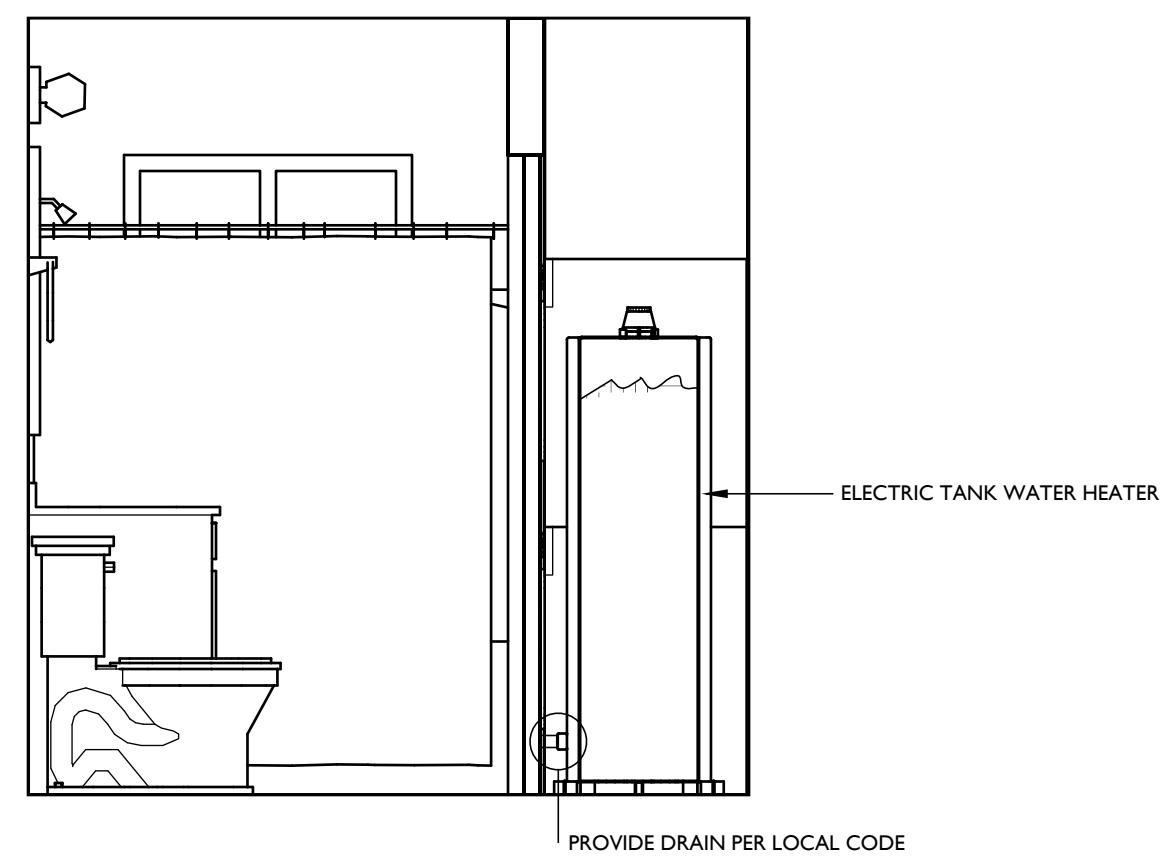
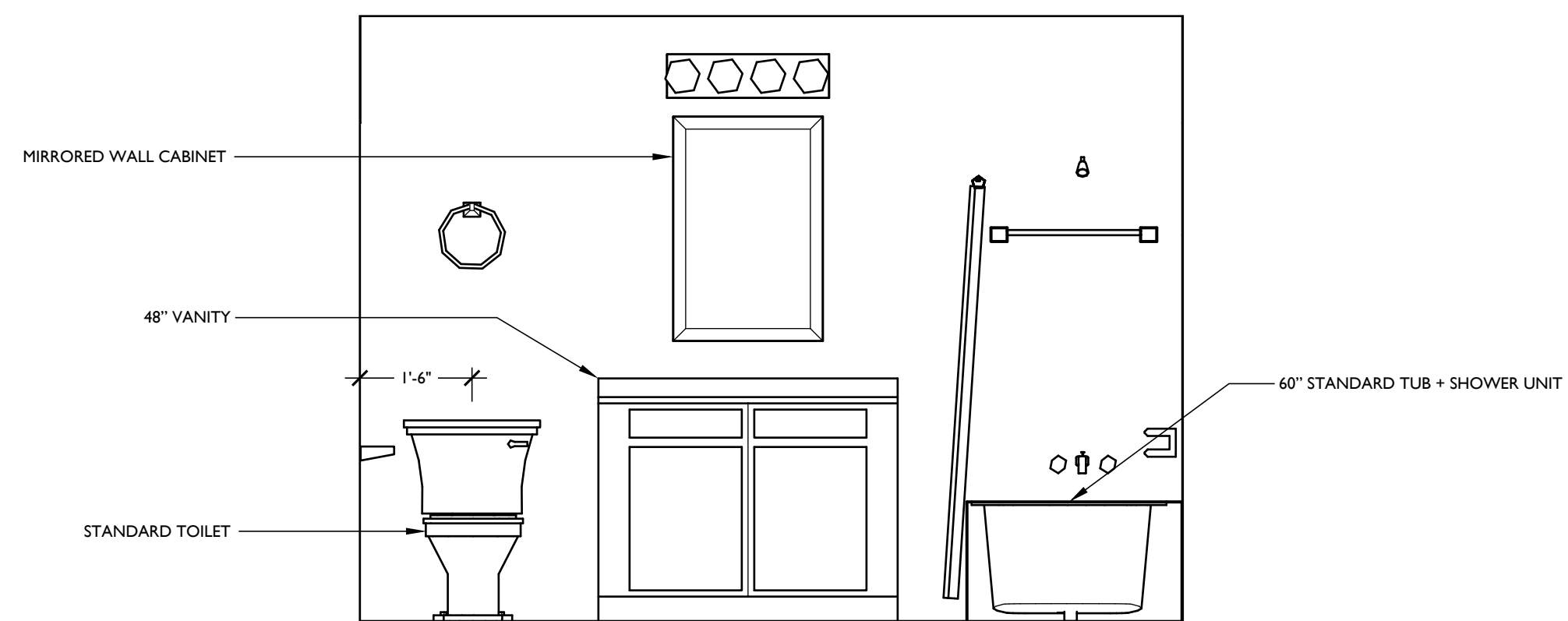
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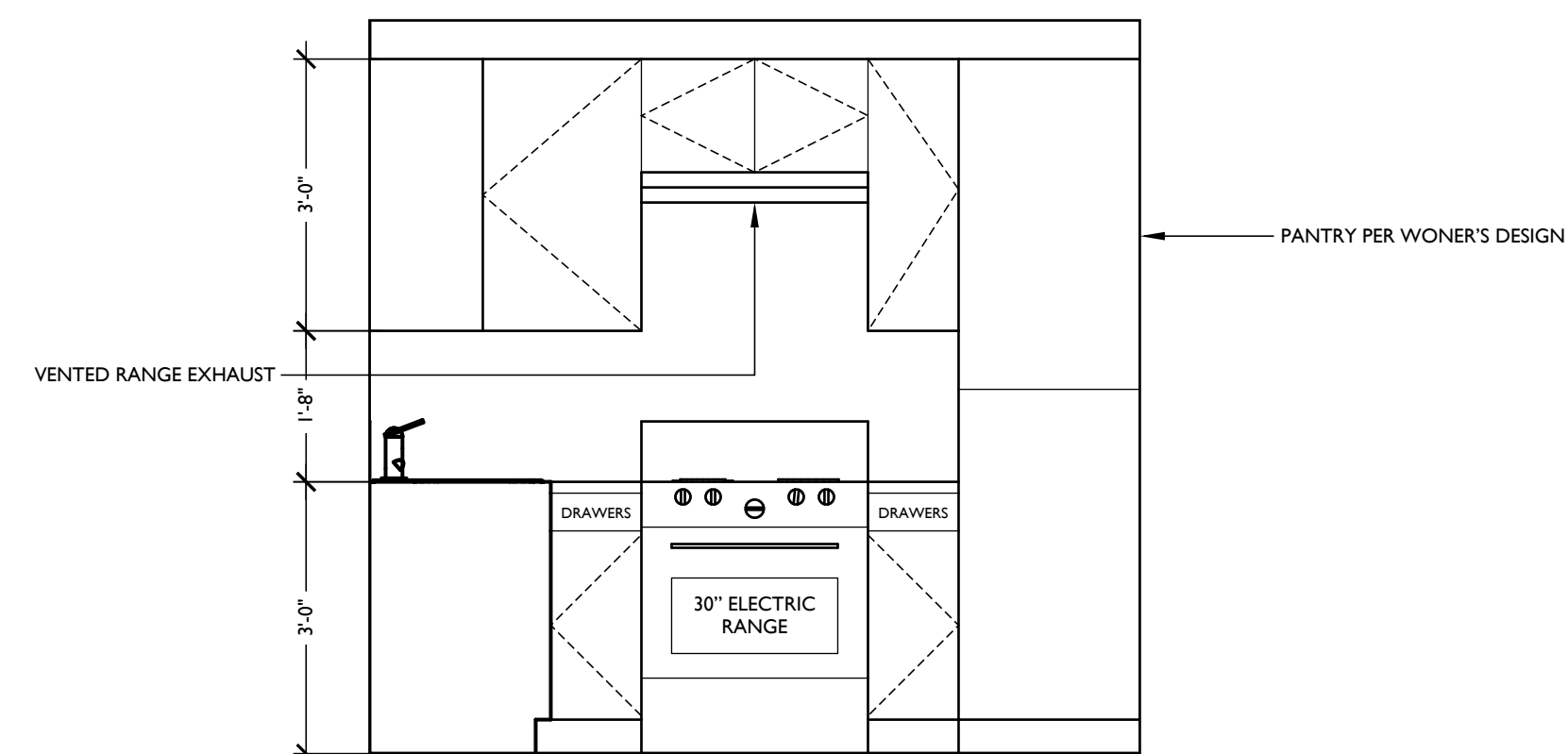
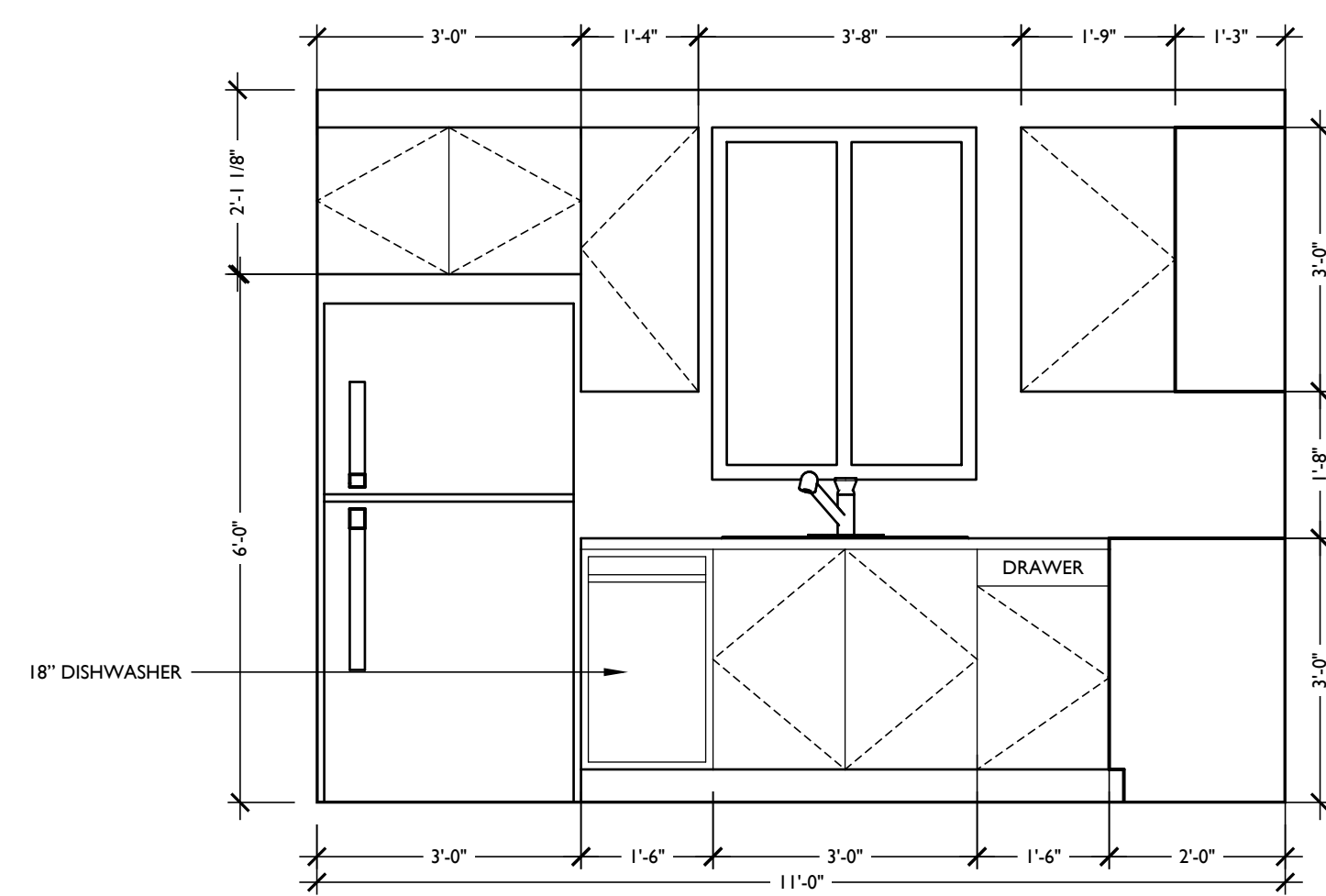
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2 BATHROOM VIEW  
 SCALE: 1/2" = 1'



NOTE: CABINET DESIGN IS OFFERED AS A SUGGESTION. KITCHENS AND BATHROOMS ARE PERSONAL AND SHOULD BE MODIFIED TO SUIT.

1 KITCHEN VIEW  
 SCALE: 1/2" = 1'



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VELUX SKYLIGHT DETAILS

SHEET NO.  
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PROJECT SKYWAY COTTAGE

DATE April 10, 2018

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SECTION 07 72 10 - SKYLIGHT ROOF CURBS

PART 1 - GENERAL

- 1.1 SECTION INCLUDES
- A. Prefabricated skylight roof curbs and roof curb accessories, for flat, low-slope and steep-slope roofing applications.
- 1.2 RELATED REQUIREMENTS
- A. Division 07 roofing section for flashing and roofing terminations at skylight curbs.
- 1.3 REFERENCE STANDARDS
- A. General: Applicable edition of references cited in this Section is current edition published on date of issue of Project specifications, unless otherwise required by building code in force.
- B. Code of Federal Regulations:
1. 29 CFR 1910.23 (e) (8) - Occupational Safety and Health Standards for Walking-Working Surfaces to Guard Floor and Wall Openings and Holes
- 1.4 COORDINATION
- Specifier: Retain option in paragraph below that corresponds to the type of curb used on Project.
- A. Coordinate dimensions, locations, and details of skylight curbs [specified in Section 061053 "Miscellaneous Carpentry"] [specified in Section 077200 "Roof Accessories"] with skylight curb and curb accessories. Verify requirements for roofing system terminations.
- B. Coordinate skylight curb interior termination locations with structural layout, ceiling layouts, and other ceiling-mounted items.
- 1.5 PREINSTALLATION MEETINGS
- A. Preinstallation Conference: Conduct conference at Project site prior to delivery of skylight curbs and installation of roof deck.
- 1.6 ACTION SUBMITTALS
- A. Shop Drawings: For skylight curb work and curb accessories. Include dimensions, elevations, sections, details, and connections to supporting structure and other adjoining work.
- 1.7 WARRANTY
- A. Manufacturer's Warranty: Manufacturer's standard form in which manufacturer agrees to repair or replace components of skylights that fail in materials or workmanship under normal use within specified warranty period.
1. Warranty Period:

VELUX America LLC  
Skylight Roof Curbs  
07 72 10 - Page 1 of 4  
Roof Curb

- a. 5 Years: Aluminum curbs, internal safety screen accessory, internal security bars accessory, ventilation curb extension.
- b. 1 Year: Steel curbs

PART 2 - PRODUCTS

- 2.1 MANUFACTURERS
- A. Basis-of-Design Product: Subject to compliance with requirements, provide products of **VELUX America LLC**, Greenwood, SC 29648; [www.VELUXusa.com](http://www.VELUXusa.com); (800) 878-3589.
- 2.2 SKYLIGHT CURBS:
- A. Steel Curb: Curb width and length designation shall be [2448] [2496] [24120] [3636] [3660], [3672] [3696] [36120] [4848] [4860] [4872] [4896] [48120] [6060] [6072] [6096], [60120] [7272]. Curb height shall be [9] [12] [16] [18] inches and nominal curb thickness shall be 1.5 inches.

Specifier: VELUX recommends fall protection. All steel curbs provided with integral safety screen, unless indicated otherwise. Curbs are available without safety screens or security bars, but must be specified with no safety screen or security bars.

1. Factory Insulated Curb: Factory engineered steel curb fabricated from [18] [14] gauge galvanized steel with fully welded corners, all welds factory primed with galvanized paint, and continuous 2 inch by 2 inch nominal pressure treated wood nailer mounted to the top flange of the curb. Curb is factory insulated with 1.5 inch thick, 3 pound density fiberglass insulation. Interior liner of curb fabricated from 20 gauge steel and primed white. Curb roof mounting flange shall be a minimum of 3 inches in width. [Provide steel curb without safety screen or security bars.] [Steel insulated curb provided with integral [fall protection safety screen constructed from 0.1875 inch steel mesh with a 6 inch on center grid spacing] [security bars constructed from 0.5 inch cold rolled steel with a 6 inch on center grid spacing]]. Basis of Design: VELUX America LLC Model, CCA3.
2. Field Insulated Curb: Factory engineered steel curb fabricated from [18] [14] gauge galvanized steel with fully welded corners, all exterior welds factory primed with galvanized paint, and continuous 2 inch by 4 inch nominal pressure treated wood nailer mounted under the top flange of the curb. Space below nailer accepts 1.5 inch thick field installed insulation. Curb roof mounting flange shall be a minimum of 3 inches in width. [Provide steel curb without safety screen or security bars.] [Steel insulated curb provided with integral [fall protection safety screen constructed from 0.1875 inch steel mesh with a 6 inch on center grid spacing] [security bars constructed from 0.5 inch cold rolled steel with a 6 inch on center grid spacing]]. Basis of Design: VELUX America LLC, Model CCA6.

Specifier: Aluminum curb shipped separate from skylight or pre-attached to skylight. CCAM double wall insulated aluminum curbs can be made in custom sizes to a maximum of 102 inches by 150 inches. CCAM custom sizes manufactured in minimum increments of 1/4 inch, such 0, 1/4, 1/2, 3/4.

- B. Aluminum Curbs:
1. Factory insulated double wall aluminum curb, 1.5 inches in thickness with 20 gauge mill finished aluminum exterior and 22 gauge mill finished aluminum interior. Curb

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factory insulated with 1.5 inches of polyisocyanurate board providing an R-value of 8.5. Width and length of curb shall be [2448] [2496] [24120] [3636] [3660] [3672] [3696] [36120] [4848] [4860] [4872] [4896] [48120] [6060] [6072] [6096] [60120] [7272] [as indicated on Drawings] with [9] [12] [16] inch curb height. Curb roof mounting flange shall be a minimum 2.75 inches in width. Basis of Design: VELUX America LLC, Model CCAM.

2. Factory insulated single wall aluminum curb, fabricated from 14 gauge mill finish aluminum with fully welded corners. Nominal 1 inch by 4 inch wood nailer mounted under the top flange of the curb. Curb wall insulated with 3/4 inch thick rigid polyisocyanurate insulation factory mounted to the curb exterior providing an R-Value of 4.2. Width and length of curb shall be [2448] [2496] [24120] [3636] [3660] [3672] [3696] [36120] [4848] [4860] [4872] [4896] [48120] [6060] [6072] [6096] [60120] [7272] with [9] [12] [16] inch curb height. Curb roof mounting flange shall be a minimum 2.75 inches in width. Basis of Design: VELUX America LLC, Model CCAN.

2.3 SKYLIGHT CURB ACCESSORIES

- A. Interior safety screen accessory: Fall protection safety screen constructed from 0.1875 inch steel mesh with a 6 inch on center grid spacing welded to 18 gauge steel z-bar support frame continuous on each side with welded corners. Interior safety screen frame mounts to top of 1.5 inches curb with safety screen mesh located not more than 1.5 inches below top of curb. Safety screen shall meet fall protection requirements by supporting a minimum static load of 400 pounds per square foot. Interior safety screen accessory width and length designation shall be [2448] [2496] [24120] [3636] [3660] [3672] [3696] [36120] [4848] [4860] [4872] [4896] [48120] [6060] [6072] [6096] [60120] [7272] [as indicated on drawing]. Basis of Design: VELUX America LLC, Model CRGA xxxx LCD.
- B. Interior security bars accessory: Security bars accessory constructed from 0.5 inch cold rolled steel with a 6 inch on center grid spacing welded to 18 gauge steel z-bar support frame continuous on each side with welded corners. Accessory frame mounts to top of 1.5 inches curb with security bars located less than 1 inch below top of curb. Internal security bars accessory shall meet fall protection requirements by supporting a minimum static load of 400 pounds per square foot. Size shall be [2448] [2496] [24120] [3636] [3660] [3672] [3696] [36120] [4848] [4860] [4872] [4896] [48120] [6060] [6072] [6096] [60120] [7272]. Basis of Design: VELUX America LLC, Model CRGA xxxx BB.
- C. Ventilated curb extender: Single wall curb extender constructed from 12 gauge mill finish aluminum with fully welded corners. Natural ventilation is provided by two 4 inch wide by 3.5 inch high aluminum louvered opening per foot of length along each side. The curb extender mounts on a standard 1.5 inch thick curb. Aluminum rain guard shall be provided preventing causal rain from reaching interior spaces. Width and length of curb extender shall be [4848] [4896] [6072] with 6.5 inch height. Basis of Design: VELUX America LLC, Model CAV xxxx.

2.4 PERFORMANCE REQUIREMENTS

- A. Fall Protection Standard Compliance: 29 CFR 1910.23: Skylight curb [with integral safety screen] [with integral security bars] [accessory safety screen] [accessory security bars] tested to support a minimum of 400 pounds over 1 square foot of the surface.

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PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine openings, substrates, structural support, anchorage, and conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of the Work.
- B. Proceed with skylight curb or curb accessory installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION

- A. Install skylight curbs and curb accessories in accordance with manufacturer's written instructions and approved shop drawings. Coordinate installation of units with installation of substrates, air and vapor retarders, roof insulation, roofing membrane, and flashing as required to ensure that each element of the Work performs properly and that finished installation is weather tight.
1. Anchor skylight curbs and curb accessories securely to supporting substrates.

END OF SECTION

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**VERTICAL CROSS SECTION**

**HORIZONTAL CROSS SECTION**

**DETAIL 1**

Labels in diagrams include: Skylight Height, Skylight Width, Aperture Height (Daylight Area), Aperture Width (Daylight Area), Finished Framing (Note 1), Rough Opening Height (Note 1), Frame Height (Outside Frame), Frame Width (Outside Frame), 22ga. Roll Formed Aluminum Frame Cover with Neutral Grey Kynar 500 Finish, Sealant, Insulated Glazing (See STANDARD GLAZING OPTIONS, below), VELUX Adhesive Underlayment 9" Width, VELUX EDL Flashing (See COMPATIBLE FLASHINGS, below), Gasket, Ponderosa Pine Frame and Sash with White Finish, Drywall Trim Groove, 1/2" or 5/8" Drywall By Others, Decking By Others, Factory Installed 21ga. Steel Deck Seal Mounting Bracket with Corrosion Resistant Finish 1 1/2"x1 1/2".

**PRODUCT DIMENSIONS**

METRIC UNITS (MILLIMETERS)										IMPERIAL UNITS (INCHES)									
Size	Rough Opening Width	Frame Width	Frame Aperture Width	Skylight Width	Rough Opening Height	Frame Height	Frame Aperture Height	Skylight Height	Daylight Area (Sq. Meters)	Size	Rough Opening Width	Frame Width	Frame Aperture Width	Skylight Width	Rough Opening Height	Frame Height	Frame Aperture Height	Skylight Height	Daylight Area (Sq. Feet)
A06	368	387	303	409	1162	1175	1091	1200	333	A06	14 1/2	15 1/4	11 5/16	16 1/8	45 3/4	46 1/4	42 15/16	47 1/4	3.56
CO1	533	546	462	568	682	695	611	720	282	CO1	21	21 1/2	18 3/16	22 3/8	26 7/8	27 3/8	24 1/16	28 3/8	3.04
CO4	533	546	462	568	962	975	891	1000	412	CO4	21	21 1/2	18 3/16	22 3/8	37 7/8	38 3/8	35 1/16	39 3/8	4.43
CO6	533	546	462	568	1162	1175	1091	1200	584	CO6	21	21 1/2	18 3/16	22 3/8	45 3/4	46 1/4	42 15/16	47 1/4	5.43
CO8	533	546	462	568	1382	1395	1311	1420	606	CO8	21	21 1/2	18 3/16	22 3/8	54 7/16	54 15/16	51 5/8	55 15/16	6.52
C12	533	546	462	568	1784	1797	1713	1822	792	C12	21	21 1/2	18 3/16	22 3/8	70 1/4	70 3/4	67 7/16	71 3/4	8.52
D26*	572	590	506	612	582	599	511	620	259	D26*	22 1/2	23 1/4	19 15/16	24 1/16	22 15/16	23 7/16	20 1/8	24 7/16	2.78
D64*	572	590	506	612	1162	1175	1091	1200	552	D64*	22 1/2	23 1/4	19 15/16	24 1/16	45 3/4	46 1/4	42 15/16	47 1/4	5.94
M02	763	776	692	798	762	775	691	800	486	M02	30 1/16	30 9/16	27 1/4	31 7/16	30	30 1/2	27 3/16	31 1/2	5.15
M04	763	776	692	798	962	975	891	1000	617	M04	30 1/16	30 9/16	27 1/4	31 7/16	37 7/8	38 3/8	35 1/16	39 3/8	6.64
M06	763	776	692	798	1162	1175	1091	1200	754	M06	30 1/16	30 9/16	27 1/4	31 7/16	45 3/4	46 1/4	42 15/16	47 1/4	8.13
M08	763	776	692	798	1382	1395	1311	1420	899	M08	30 1/16	30 9/16	27 1/4	31 7/16	54 7/16	54 15/16	51 5/8	55 15/16	9.77
S01	1123	1136	1052	1158	682	695	611	720	644	S01	44 1/4	44 3/4	41 7/16	45 9/16	26 7/8	27 3/8	24 1/16	28 3/8	6.92
S06	1123	1136	1052	1158	1162	1175	1091	1200	1148	S06	44 1/4	44 3/4	41 7/16	45 9/16	45 3/4	46 1/4	42 15/16	47 1/4	12.36

**STANDARD GLAZING OPTIONS:**

- Laminated LowE3 (04)
- Tempered LowE3 (05)
- Impact (06)
- Snowload (10)

\*Tempered Exterior Pane used with all options

**COMPATIBLE FLASHINGS:**

- EDL Step flashing
- EKL/EKX Combi flashing
- EDW Tile flashing
- EKW/EKX Combi tile flashing
- EDM Metal roof flashing
- ECB Counter flashing for curbs

**NOTES:**

1. The ROUGH OPENING and FINISHED FRAMING dimensions are based on perpendicular interior finish material on all four sides and these dimensions will vary depending on the roof construction, the thickness and the design of the interior finish material.

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VELUX  
Sky-Global Product Management  
FS - Fixed Skylight

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**ATTACHMENT C – ADDITIONAL INFORMATION PROVIDED BY  
APPLICANT**

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Additional Information for Conditional Use Permit Application to build an ADU at 1143 S Lake St., SLC, UT 84105

*This ADU is for my mother to live in as she is aging.*

1. Project Description: This project is to build a stand-alone single-level tiny house as an ADU on the back of the lot, zoning R-1 5,000. The square foot footprint of the existing house is 1,092 sq feet on the main floor (above ground) and 1105 sq feet in the basement, for the total footage being 2,197 sq feet between the main floor and basement. The tiny house proposed is 456 sq ft. My lot size is 9,147 sq feet. An existing 400 sq foot garage is on the lot. Appropriate set-backs for the proposed tiny house on the Princeton street side lot (10') and alley way back lot (4') will be followed. The front door of the ADU will face the existing house. The sewer is in the back of the lot in the alley way close to the proposed location of the tiny house. The Dept of Public Utilities advised to tie into the current sewer line and to run an extension from the existing house for the water. There is room for parking in the driveway.
2. Conditional Use Information:
  - a. Anticipated operating/delivery hours associated with the proposed use: Regular business hours for construction; no operating/delivery hours once constructed.
  - b. Land uses adjacent to the property: residential.
  - c. Employees expected to work on-site during highest shift: During construction maximum of 4 contractors at one time will be working, no employees/contractors once constructed.
  - d. How many seats will be provided: N/A
  - e. Have you discussed the project with nearby property owners: No
3. Minimum Plan Requirements:
  - a. One paper 24x36 copy of drawings: Attached
  - b. Digital copy of drawings: Will email
  - c. One paper 11x17 copy of drawings: Attached
4. Site Plan: Attached
5. Elevation Drawing
  - a. Detailed elevation: Included in drawings
  - b. Type of construction materials: Included in drawings
  - c. Number, size, and type of dwelling unit: One; dwelling unit density: max: 2 people.



## ATTACHMENT D – PROPERTY AND VICINITY PHOTOS

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*View of main home on subject property*



*View of north façade of main home looking toward proposed ADU location (behind fence)*



*View of fence along Princeton Avenue*



*View of existing detached garage and approximate ADU location looking southwest from Princeton Avenue*



*View of fence along alleyway (east property line)*



*Adjacent home to the north on Lake Street (right)*



*Adjacent home and driveway to the south on Lake Street (right)*



*Second view of adjacent home to the north. View from sidewalk in front of existing garage on subject property looking northwest*



*Garage east of alleyway on east side of subject property*

## ATTACHMENT E – ZONING STANDARDS FOR ADU'S

### 21A.40.200 – Accessory Dwelling Units

ADU STANDARDS	PROPOSED	COMPLIES Y/N
<p><b>SIZE</b> ADU footprint can be <b>50%</b> of the footprint of the primary house up to a maximum of <b>650 SF</b>.</p>	<p>Primary house is approximately 2,194 SF with a footprint of 1,092, ADU can be 50% of that or approximately <b>546 SF</b>.</p> <p>The proposed footprint is approximately <b>520 SF</b></p>	<p><b>Complies</b></p>
<p><b>MAXIMUM COVERAGE</b> The surface coverage of all principal and accessory buildings shall not exceed <b>40%</b> of the lot.</p>	<p>The lot size is 9,148 SF. 40% of the lot is 3,659 SF.</p> <p>Primary House – 2,197 SF Accessory Structure/Shed - 400 SF Proposed ADU - 520 SF Total coverage – 3,117 SF.</p> <p>The surface coverage all principal and accessory buildings (including the proposed ADU) is <b>34%</b> of the lot.</p>	<p><b>Complies</b></p>
<p><b>HEIGHT</b> <b>17 FT</b> or the height of the single family dwelling on the property, whichever is less.</p> <p>*If the principal dwelling is over 17 feet in height, the ADU may be equal in height up to a maximum of 24 FT if 10 foot side and rear yard setbacks are provided. The setback for additional height may be reduced to 4' if the side or rear lot line is adjacent to an alley.</p>	<p>Approximately <b>11 FT 7 IN</b></p>	<p><b>Complies</b></p>
<p><b>SETBACKS</b> Minimum of <b>4 FT</b> from any side or rear lot line.</p>	<p>Located <b>12 FT</b> from the north side lot line and <b>45 FT 6 IN</b> from the rear/east lot line and <b>16 FT</b> from the rear lot line which is adjacent to a 16 FT wide alley.</p>	<p><b>Complies</b></p>

<p><b>SEPARATION</b>          Located <b>10 FT</b> from any primary dwelling on the property or adjacent property</p>	<p>Located approximately <b>50 FT</b> from the primary house on the property and the closest house on an adjacent property is approximately <b>80 FT.</b></p>	<p><b>Complies</b></p>
<p><b>ENTRANCE LOCATIONS</b>          The entrance to an ADU in an accessory building shall be located:</p> <ul style="list-style-type: none"> <li>• Facing an alley, public street, or facing the rear façade of the single family dwelling on the same property.</li> </ul>	<p>The entrance for the proposed ADU is oriented toward an alley that runs behind the property between Princeton Avenue and Laird Avenue.</p>	<p><b>Complies</b></p>
<p><b>REQUIREMENTS FOR WINDOWS</b></p> <ul style="list-style-type: none"> <li>• Windows shall be no larger than necessary to comply with the minimum Building Code requirements for egress where required. Skylights, clerestory windows, or obscured glazing shall be used when facing a side or rear property line to comply with minimum Building Code requirements for air and light on building elevations that are within ten feet (10') of a side or rear property line unless the side or rear property line is adjacent to an alley.</li> <li>• Except as required in subsection E3g(1) of this section, windows shall maintain a similar dimension and design as the windows found on the principal structure.</li> </ul>	<p>Egress windows are required in habitable space. To meet these requirements, the bottom of the egress window opening can't exceed 44 IN from the finished floor. The minimum opening area of the egress window is 5.7 SF, the minimum egress window opening height is 24 IN high. The minimum egress window opening is 20 IN wide.</p> <p>Windows are similar in dimension and design as the windows on the principal structure.</p>	<p><b>Complies</b></p>
<p><b>PARKING</b>          Minimum of <b>one parking space</b> on site.</p> <p>*This requirement may be waived if there is legal on street parking</p>	<p><b>Two parking space</b> provided on site.</p> <p>*On-site parking could be waived because they have one legal street parking space and they are also</p>	<p><b>Complies</b></p>

along the street frontage of the property OR if it's within ¼ mile of a transit stop.	located within ¼ mile of transit.	
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# **ATTACHMENT F – CONDITIONAL USE STANDARDS**

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## **21A.54.080 Standards for Conditional Use**

**Approval Standards:** A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

**1. The use complies with applicable provisions of this title;**

**Analysis:** The proposed ADU use is located in the R-1/5000 zoning district which allows for an ADU to be approved through the conditional use process subject to meeting the specific regulations for an ADU in section 21A.40.200 of the zoning ordinance. As analyzed in [Attachment E](#), the ADU complies with the requirements of 21A.40.200.

**Finding:** The proposed use will comply with the applicable provisions of the Salt Lake City Zoning Ordinance.

**2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;**

**Analysis:** The proposed ADU is anticipated in the R-1/5000 zoning district and is considered a use that is potentially compatible with adjacent and surrounding residential uses by being listed as a conditional use in the land use table. The ADU meets all the requirements in terms of setbacks and separation requirements between adjacent houses and the primary house on the property. There is currently a street facing the north façade, rear alleyway, and 45 FT setback from the south façade. Additionally, the property is currently surrounded by a wood fence that will remain.

**Finding:** The proposed development and use is generally compatible with the surrounding uses and effects that could result in incompatibility have been mitigated with existing privacy fencing along interior side yards between adjacent properties.

**3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and**

**Analysis:** The proposal is located in the East Liberty Park neighborhood within the Central Community Master Planning Area. By 1925, most of the area was filled in with modest single-family dwellings with architectural styles ranging from cottages to bungalows. The master plan designates the future land use of this area as low density residential and the existing zoning on the property is R-1/5000, single family residential.

*The purpose of the R-1/5,000 Single-Family Residential District is to provide for conventional single-family residential neighborhoods. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.*

The purpose of accessory dwelling units are to:

- 1) Create new housing units while respecting the appearance and scale of single-family residential development;

- 2) Provide more housing choices in residential districts;
- 3) Allow more efficient use of existing housing stock, public infrastructure, and the embodied energy contained within existing structures;
- 4) Provide housing options for family caregivers, adult children, aging parents, and families seeking smaller households;
- 5) Offer a means for residents, particularly seniors, single parents, and families with grown children, to remain in their homes and neighborhoods, and obtain extra income, security, companionship, and services;
- 6) Broaden the range of affordable housing throughout the City;
- 7) Support sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption;
- 8) Support transit oriented development and reduce auto usage by increasing density near transit; and
- 9) Support the economic viability of historic properties and the City's historic preservation goals by allowing accessory dwellings in historic structures.

The proposed ADU is consistent with the following Residential Land Use Goals included in the Central Community Master Plan:

- Encourage the creation and maintenance of a variety of housing opportunities that meet social needs and income levels of a diverse population.
- Ensure preservation of low-density residential neighborhoods.
- Encourage a mix of rental properties for those who cannot afford or do not choose home ownership.
- Support the efforts of the Housing Division and the Redevelopment Agency to provide residential construction in all qualifying neighborhoods within the Central Community.

The proposal is also consistent with the goals and policies outlined in *Growing SLC: A Five Year Housing Plan* which aims to increase housing options, promote diverse housing stock, and allow for additional units while minimizing neighborhood impacts.

**Finding:** The uses are consistent with applicable adopted city planning policies, documents, and master plans.

**4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions (refer to Detrimental Impacts Chart below for details).**

**21a.54.080B Detrimental Effects Determination**

In analyzing the anticipated detrimental effects of a proposed use, the planning commission shall determine compliance with each of the following:

Criteria	Finding	Rationale
<b>1. This title specifically authorizes the use where it is located</b>	<b>Complies</b>	The proposed ADU is an accessory residential use and is allowed as a conditional use within the R-1/5000 zoning district. The proposed ADU complies with all specific regulations for an ADU including size, height, setbacks, distance to other houses, etc. as outlined in <a href="#">Attachment E</a> .

<p><b>2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps</b></p>	<p><b>Complies</b></p>	<p>The uses are located in an area zoned and designated by the associated master plan for low-density residential.</p> <p>This land use designation allows moderate sized lots (i.e., 3,000-10,000 square feet) where single-family detached homes are the dominant land use. Low-density includes single-family attached and detached dwellings as permissible on a single residential lot subject to zoning.</p> <p>As discussed under Conditional Use standard 3 above, the proposed ADU is consistent with the purpose of the ADU ordinance, several residential land use policies in the Central Community Master Plan and supports goals outlined in Growing SLC: a Five Year Housing Plan by providing more housing options, and creating a new housing unit that respects the scale of the neighborhood.</p>
<p><b>3. The use is well-suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area</b></p>	<p><b>Complies</b></p>	<p>Uses surrounding the property are generally single family residential. The lots in this area are generally narrow and deep which provides some separation from the proposed ADU from the house on the property as well as adjacent primary residences. The proposal complies with the size requirements for an ADU which can be up to 50% of the footprint of the primary house up to 650 SF and is compatible with the scale of surrounding accessory buildings and adjacent uses</p>
<p><b>4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered</b></p>	<p><b>Complies</b></p>	<p>As discussed above, the scale of the proposal is compatible with the main house on the property as well as surrounding structures and meets the footprint and height requirements for an ADU. The ADU is proposed in a location on the site that minimizes impacts to adjacent properties.</p>
<p><b>5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows</b></p>	<p><b>Complies</b></p>	<p>The main house on the subject property has a driveway and garage located off of Princeton Avenue. The ADU will be accessed from that driveway. No new access points are proposed and the proposal will not impede traffic flows.</p>
<p><b>6. The internal circulation system is designed to mitigate adverse impacts</b></p>	<p><b>Complies</b></p>	<p>The proposed ADU will be accessed from Princeton Avenue and two off street parking</p>



<b>on adjacent property from motorized, non-motorized, and pedestrian traffic</b>		stalls are proposed on the site. It's not anticipated that the addition of the accessory unit will create any adverse impacts in terms of motorized, non-motorized and pedestrian traffic.
<b>7. The site is designed to enable access and circulation for pedestrian and bicycles</b>	<b>Complies</b>	The site is designed for pedestrian access and will be improved with additional paths for access to the ADU.
<b>8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street</b>	<b>Complies</b>	Vehicular access to the site is existing. No unreasonable impacts to the service level of the alley or adjacent streets is anticipated.
<b>9. The location and design of off-street parking complies with applicable standards of this code</b>	<b>Complies</b>	As discussed in other areas of this analysis, two parking spaces are provided adjacent to the proposed ADU and can be accessed from Princeton Avenue. Additionally, parking for the ADU could be waived because of the on street parking that is available in front of the property on Lake Street.
<b>10. Utility capacity is sufficient to support the use at normal service levels</b>	<b>Complies</b>	The Public Utilities department provided comments on the project. A utility plan will need to be submitted for review and compliance will be ensured during the building permitting process.
<b>11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts</b>	<b>Complies</b>	The surrounding properties are all residential uses and the proposed use is also residential. The property directly adjacent to the north and east of the ADU are buffered by a public street and alleyway.
<b>12. The use meets City sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke</b>	<b>Complies</b>	The use does not significantly impact sustainability plans. The project supports sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption.
<b>13. The hours of operation and delivery of the use are compatible with surrounding uses</b>	<b>Complies</b>	The proposed use is an accessory residential structure and is compatible with the surrounding uses are also residential.
<b>14. Signs and lighting are compatible with, and do not negatively impact surrounding uses</b>	<b>Complies</b>	Signs are not associated with this proposal. Any lighting on the accessory structure is not expected to have a negative impact on the surrounding uses or otherwise cause a nuisance.
<b>15. The proposed use does not undermine preservation of historic resources and structures</b>	<b>Complies</b>	The property is not located within a Local or National Historic District and the proposal does not involve the removal of any historic resources or structures.

**Finding:** In analyzing the anticipated detrimental effects of the proposed use, Staff finds that the request complies with the criteria listed above.

## **ATTACHMENT G – PUBLIC PROCESS & COMMENTS**

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### **Public Notice, Meetings, Comments**

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- May 8, 2019 – Notice of the project was provided to the East Liberty Park Community Council as well as property owners and residents within 300 FT of the development.
- May 23, 2019 – The applicant and Planning Staff attended a small community focused meeting hosted and organized by the East Liberty Park Community Council. During the meeting, attendees asked general questions about the ADU height, distance from adjacent property lines, privacy, parking, as well as owner occupancy requirements.

### **Notice of the public hearing for the proposal included:**

Public hearing notice mailed on June 27, 2019

Public hearing notice posted on June 27, 2019

Public notice posted on City and State websites and Planning Division list serve on June 27, 2019.

### **Public Input:**

Staff has received two public comments in the form of telephone calls. One identified themselves as the neighbor at 1164 Lake Street. Both of the comments were supportive of the project.

If any comments are received after publication of the Staff Report, they will be forwarded to the Commission and included in the public record.

## **ATTACHMENT H – DEPARTMENT REVIEW COMMENTS**

**Engineering:** (Scott Weiler at [scott.weiler@slcgov.com](mailto:scott.weiler@slcgov.com) or 801-535-6159)

No objections to the proposal

**Transportation:** (Michael Barry at [michael.barry@slcgov.com](mailto:michael.barry@slcgov.com) or 801-535-7147)

One off street parking space is required for the ADU. The narrative states the parking space will be in the driveway which is acceptable.

**Public Utilities:** (Jason Draper at [jason.draper@slcgov.com](mailto:jason.draper@slcgov.com))

No objection to the ADU, however, they may need to do some relocation of the sewer as well as install a new sewer lateral for the ADU. Public Utilities will need to review a site utility plan before building permits can be approved.

**Fire:** (Ted Itchon 801-535-6636 or [ted.itchon@slcgov.com](mailto:ted.itchon@slcgov.com))

The following comments are for the proposed ADU:

- Fire Apparatus access roads shall be within 150-feet to all exterior portions of the proposed structure. The site plan does not adequately show proposed fire apparatus access roads
- Fire hydrants shall be within 400 feet of all exterior walls of the structure. The site plan does not show existing or proposed hydrants.  
(All measurements are made in straight lines and right angles as the hose would be pulled or fire apparatus would be driven)

***Planning Response to Fire Comment:***

The updated site plan included in this staff report addresses these comments. Additionally, the applicant met with a permit technician to ensure compliance.

**Zoning:** (Scott Browning 801-535-6000 or [Scott.Browning@slcgov.com](mailto:Scott.Browning@slcgov.com))

1. Impact fees will be charged for an extra residential unit.
2. Needs deed restriction application/form signed & recorded with the County (family or not)
3. Show compliance with section 21A.40.200.F
  - a. with family occupying the property, they only get out of the business license but still need to attend the good landlord program (since it's not "rented out")

***Planning Response:***

The applicant has applied to the Good Landlord Program and supplied documentation. Deed restriction will be recorded with the County.

4. Owner needs to show some sort of ownership (County tax records, Title, etc.)
5. Customer must show a full site plan with all setbacks (from buildings and property lines), dimensions of buildings and dimensions of property lines.
6. The site plan (will not be accepted as a photograph) needs to show the 10' required side yard and that there will be no encroachments into this area other than building eaves.
7. Required 10' corner side yard must be maintained as landscaping/live vegetation. Please show this on the site plan. Also, on the site plan, please show the location of the AC unit and its setback from the property line.
8. Provide the lot coverage by solid roofed buildings which is not to exceed 40% according to section 21A.24.070.F.

9. The home requires 2 parking stalls and the ADU requires 1 parking stall (8' x 20'; 21A.40.200.E.1.g). All parking must be located (outside of the 10' buffer) in legal locations and be an improved surface (21A.44) – the Google Earth image of the property shows that the RV is parked on a gravel/an improved surface.

***Planning Response:***

The updated site plan included in this staff report addresses these comments.

**Building:** (Jason Rogers [Jason.rogers@slcgov.com](mailto:Jason.rogers@slcgov.com))

Building Code Corrections as follows:

1. Provide drawn out site plan to include property line measurements from structure/ be sure to show true north
2. Any structure 5 feet or less must be fire rated in accordance to section R302 of the IRC with 5/8 type x gypsum board
3. Provide UL listed specifications for the proposed ventless washer/dryer combo
4. Provide section or side view of the two proposed skylights with measurements and curb height
5. Show radiant flooring design as stated in the project data on sheet #1
6. show drainage location for water heater
7. provide structural stamping or calculations from engineer
8. provide electrical plan
9. Will there be A/C installed if so please show specs and location on site plan