



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Ashley Scarff, Planner, ashley.scarff@slcgov.com or 801-535-7660

Date: June 26, 2019

Re: PLNPCM2019-00263: Detached Accessory Dwelling Unit (ADU)

Conditional Use

PROPERTY ADDRESS: 2250 South 1800 East
PARCEL ID: 16-21-253-018-0000
MASTER PLAN: Sugar House
ZONING DISTRICT: R-1/7,000 (Single-Family Residential)

REQUEST: Lance and Kaelin Frame, owners of the property at 2250 South 1800 East, are requesting Conditional Use approval to construct a detached Accessory Dwelling Unit (ADU) to the rear of the existing single-family home on site. All ADU proposals in the R-1/7,000 Single-Family Residential zoning district are required to go through the Conditional Use review process.

RECOMMENDATION: Planning Staff finds that the project meets the applicable standards of approval and therefore recommends that the Planning Commission approves the Conditional Use for the ADU, subject to the conditions below:

1. The analysis and findings contained in this report are dependent on a substantial building connection being made between the existing single-family home and existing 2-car garage. The Certificate of Occupancy for the ADU shall not be issued to the applicant until the proposed breezeway connection passes a final building inspection.
2. Per Building Code, one (1) window in the bedroom (on the west elevation of the ADU) will need to be an egress window. Per Zoning Ordinance, this window shall be no larger than necessary to comply with the minimum Building Code requirements for egress.
3. The applicant shall comply with the registration process outlined in section 21A.40.200.F of the Salt Lake City zoning ordinance.
4. Approval is for the specific items discussed and identified in the staff report. All other applicable zoning regulations and requirements from other city departments still apply.

ATTACHMENTS:

- A. [Vicinity Maps](#)
- B. [Submitted Narrative & Plan Set](#)
- C. [Additional Information Provided by Applicant](#)
- D. [Site Photos](#)
- E. [ADU Zoning Standards](#)
- F. [Conditional Use Standards](#)

- G. [Public Process & Comments](#)
- H. [Department Review Comments](#)

PROJECT DESCRIPTION:

Existing Conditions

The subject property at 2250 South 1800 East is located within the Sugar House Community Council boundaries and is zoned R-1/7,000 Single-Family Residential. The surrounding neighborhood is largely zoned R-1/7,000 and is characterized by small, mid-century era single-family cottages. The subject property is a corner lot with frontage on both Parley's Canyon Boulevard and 1800 East. With a lot area of 10,802 sf, the site is larger than many of the surrounding parcels.



Project Location

The site currently contains a one-story single-family home with a footprint of approximately 845 sf and a pitched roof height of approximately 17 feet, 9 inches (17', 9"). There is also a detached 2-car garage with a footprint of approximately 500 sf, and a smaller detached shed that the applicant would demolish if this ADU request is approved. The remainder of the lot is landscaped with grass, shrubs, and trees.



Front of existing home from 1800 East



Property frontage along Parley's Canyon Blvd.



2-car garage at left to remain, shed structure at right to be demolished

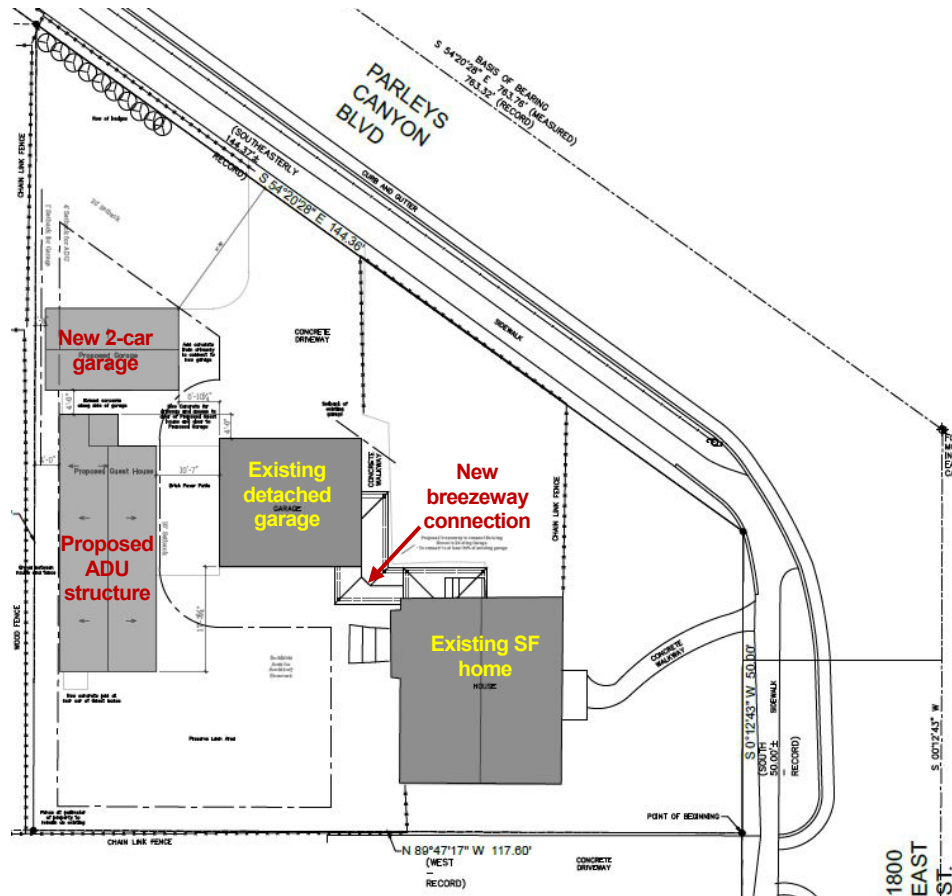
Larger Proposed Scope of Work

This Conditional Use review is for the request to construct a new ADU structure; however, the submitted plans do show additional improvements that the applicant is proposing to make concurrently with the ADU project. These include the construction of a breezeway that would connect the existing single-family structure to the existing detached 2-car garage, as well as the construction of a new detached 2-car garage.

The only item that impacts the ADU project is the breezeway connection to be made between the existing home and garage. The ADU ordinance includes the following language related to the maximum permitted building footprint of an ADU:

The accessory building containing an accessory dwelling unit shall not have a footprint that is greater than fifty percent (50%) of the footprint of the principal dwelling, and shall not exceed six hundred fifty (650) square feet (21A.40.200.E.3.a).

The existing single-family home has a footprint of approximately 845 sf, which means that a detached ADU structure would have a maximum permitted footprint of approximately 423 sf. Per Zoning Ordinance, building the breezeway connection between the existing home and garage would make it so these two structures are viewed as one (similar to a single-family home with attached garage). Under this scenario, the footprint of the principal structure would increase to approximately 1,545 sf (combined footprints of the existing home, garage, and breezeway connection), and the potential footprint of the ADU structure would increase to the maximum 650 sf.



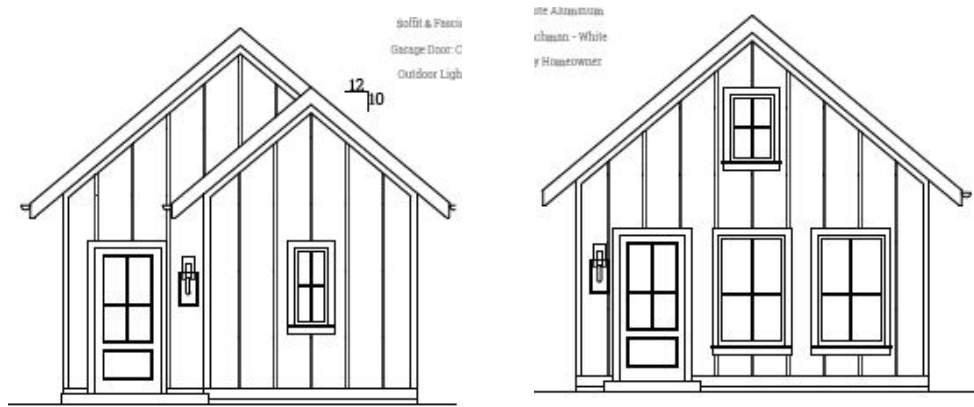
Proposed Site Plan

Creating the breezeway connection and essentially turning a detached garage into an attached garage also creates the potential to construct the new detached 2-car garage. In the R-1/7,000 zoning district, *the maximum permitted building coverage of all accessory structures shall not exceed 50% of the building footprint of the principal structure up to a maximum of 720 sf (21A.40.050.B.2)*. Because the existing garage would be viewed as an attached garage, and the footprint of the new detached ADU structure does not count toward the afore-mentioned maximum accessory building coverage of 720 sf, the applicant has the ability to build a second accessory structure on site.

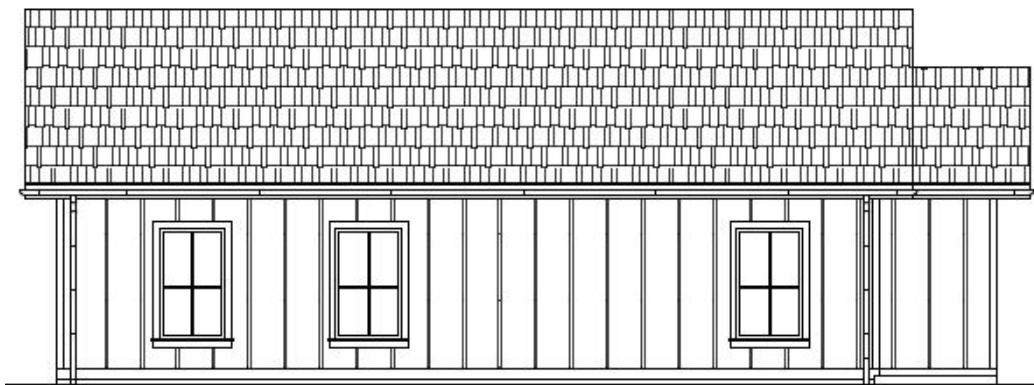
Accessory Dwelling Unit

The ADU structure is proposed to be located 4 feet off the rear property line, and will be screened from street view by the existing single-family home and 2-car garage to the east, as well as the new 2-car garage, which would be sited to the direct north of the ADU. There would be a significant yard area between the ADU and the property to the south, as the structure is proposed to be located approximately 27 feet from the south side property line.

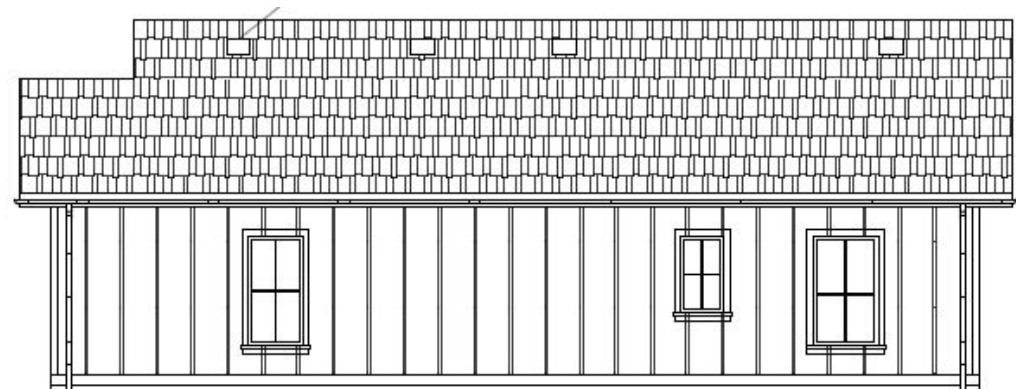
The proposed structure has a footprint of 649 sf, and a pitched roof not to exceed 17 feet at its tallest point. The primary building materials include hardie board siding, asphalt roof shingles, and aluminum gutters, soffit, and fascia. All ground-level windows are casements, with a fixed clerestory window placed in the upper gable on the south elevation to let light into the main living area. The proposed structure has two (2) entrances: one on the north elevation and one on the south side. Neither of these entrances would be visible from nearby right-of-ways due to the siting of existing and proposed structures. The proposed interior contains one bedroom, 1 1/2 bathrooms, and a combined kitchen and living area.



North (left) and south (right) elevations. North elevation faces toward Parley's Canyon Blvd., but would be screened by proposed new garage. South elevation faces back yard of property to the south.



East (top) and west (bottom) elevations. East elevation faces toward 1800 East, but would be screened by existing home, garage, and new breezeway. West elevation faces rear yard of property to west.



KEY CONSIDERATIONS:

1. Sugar House Master Plan

The [Sugar House Master Plan](#), which was adopted in 2001, addresses the potential for ADUs in the Residential Land Use section. At the time that the Master Plan was written and adopted, Salt Lake City had not yet adopted an ADU ordinance. The Plan weighs the pros and cons of permitting ADUs in the Sugar House neighborhood, but includes a policy to “*Analyze the feasibility of adopting an accessory dwelling unit ordinance. Include broad public participation as part of this analysis (p. 4)*”

A significant theme in the policy statements related to very low-density residential and low-density residential land use types is to “*preserve the single-family characteristics of [these] neighborhoods...support and enhance the dominant, single-family character of the existing low-density residential neighborhoods...[and] maintain the unique character of older, predominantly low-density neighborhoods (p. 2).*” The section of the Plan that focuses on the potential for ADUs acknowledges that “*they create affordable rental units without changing the character and quality of single-family areas*” and “*increase the density of an area without changing the pattern of single-lot private ownership that traditionally has a very strong market (p. 3).*”

Staff finds that these statements are in line with the Purpose Statement for ADUs (21A.40.200.A), and finds that construction of the ADU housing type in lower density, historically single-family residential neighborhoods is an effective way to increase density and diversity of housing types while supporting the Sugar House community’s character conservation-related objectives.

2. City Housing Goals

In December 2017, the City Council adopted [Growing SLC: A Five-Year Housing Plan 2018-2022](#), which is the guiding document for “*ensuring long-term affordability and preservation that continues to enhance neighborhoods while balancing their unique needs.*” The proposed ADU project supports multiple goals and objectives outlined in the Plan, including:

Goal 2: *Increase housing opportunities for cost-burdened households.*

Goal 3: *Build a more equitable city.*

-Objective 3: *Implement life cycle housing principles in neighborhoods throughout the city.*

3. Proximity to Transit

One of the purpose statements for ADUs (21A.40.200.A) is to “*support transit oriented development and reduce auto usage by increasing density near transit.*” The subject property is located within ¼ mile of a transit stop for the 21 bus route, which runs along the 2100 South corridor. Despite the project having plenty of off-street parking options, the ADU’s close proximity to a frequent bus route will provide opportunity for the residents to utilize transit.

PLANNING COMMISSION REVIEW:

The subject property is located in the R-1/7,000 Single-Family Residential zoning district. All ADUs proposed in single-family zoning districts are required to go through the Conditional Use review process. For complete analysis and findings in relation to the Conditional Use standards of approval, please refer to Attachment F.

Even though the applicant has proposed to make multiple improvements to the property at once, and the feasibility of the ADU depends on some of these other improvements, the new detached ADU structure is the only project component under review as part of this petition. All other items are permitted by right, and would not need special approvals via planning review processes.

NEXT STEPS:

Approval of Conditional Use

If the request is approved, the applicant will need to comply with the conditions of approval, including any of the conditions required by other City departments and any added by the Planning Commission. The applicant will be able to submit plans for building permits, but a certificate of occupancy for the ADU will only be issued once all the conditions of approval are met.

Denial of Conditional Use

State and City code require that a Conditional Use be approved if reasonable conditions can be imposed on the use to mitigate any reasonably anticipated detrimental effects of the use. A conditional use can only be denied if the Planning Commission finds that reasonably anticipated detrimental effects cannot be mitigated with the imposition of reasonable conditions.

If the request is denied, the applicant would not be able to construct an ADU. One or more accessory structures could still be constructed on the property subject to meeting all requirements of the R-1/7,000 zone; however, none of the structures could contain an accessory dwelling.

ATTACHMENT A – VICINITY MAPS



The subject property is located in a neighborhood that is largely zoned R-1/7,000 Single-Family Residential.



At 10,801 sf, the subject parcel is larger than many of the nearby parcels with single-family homes.

ATTACHMENT B – SUBMITTED NARRATIVE & PLAN SET

Addendum to Conditional Use Application

1. Project Description

- a.** This is a proposal to construct a detached accessory dwelling unit and accessory garage in the rear part of Lance and Kaelin Frame's principal residence.
- b.** The accessory dwelling unit will be 649 square feet and the garage will be 432 square feet .
- c.** This project includes a proposal to construct a breezeway connecting the existing garage and the existing principal residence. This breezeway will be a material connection between the two structures.

2. Conditional Use Information

- a.** Anticipated hours
 - i.** Not applicable, this will be a residential dwelling
 - ii.** No business operations run out of the proposed structure
- b.** Land uses adjacent and across the street
 - i.** Residential. All the surrounding streets are residential uses in the R-1 7000 zone
- c.** Number of employees
 - i.** Not applicable, this is a residential dwelling with no employees or business operations
- d.** How many seats
 - i.** Not applicable
- e.** Discussed project with neighbors?
 - i.** I have discussed this with the neighbors, and they have been supportive of the project.

3. Minimum plan requirements

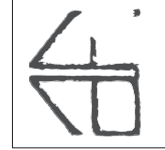
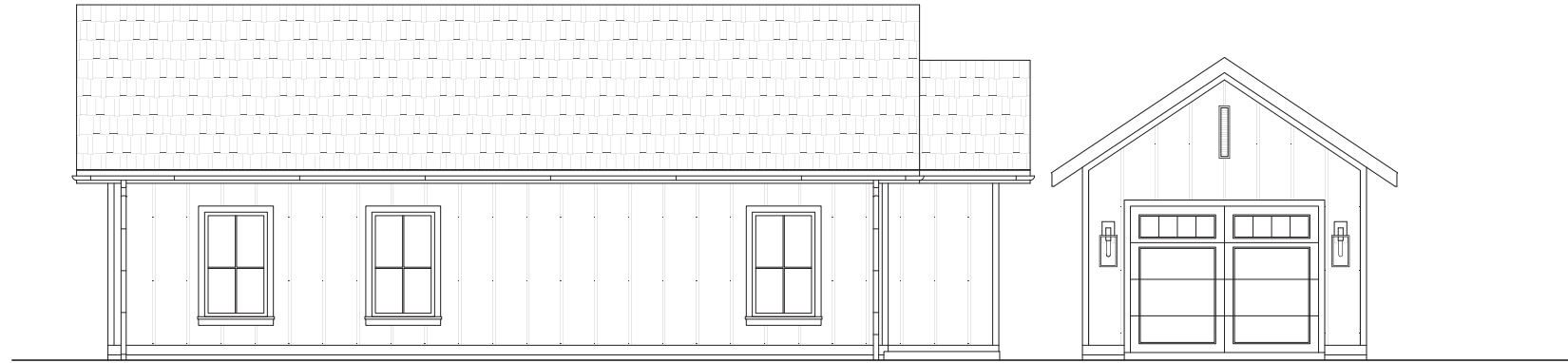
- a.** Paper copy of plan and elevation 24 x 36 inch
 - i.** See attached
- b.** Digital PDF copy
 - i.** Emailed to the planner
- c.** 11 x 17-inch copy
 - i.** See attached

4. Site Plan

- a.** See attached

S. Elevation Drawing

- a.** Attached includes a detailed elevation, construction materials list, and size/ number of dwellings and buildings.



ANSON FILLERUP DESIGN
 1395 S. Lincoln Street
 Salt Lake City, Utah 84105
 720-219-2525
 ansonfillerupdesign@gmail.com

PLANNED: January 29, 2019
 PLAN REVIEWED: June 19, 2019
 DRAWN BY: Anson Peterson Fillerup

Frame Garage & Guest House
 Lance & Kaelin Frame
 2250 South 1800 East
 Salt Lake City, Utah 84106

Cover Sheet

DRAWING
G-101
 SHEET
 1 OF 7

Designer Information

Designer: Anson Peterson Fillerup

Phone Number: 720-219-2525

Email: ansonfillerupdesign@gmail.com

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Drawing Index

G-101 COVER SHEET
 G-102 NOTES SHEET
 AS-101 SITE PLAN
 A-101 PROPOSED ADU FLOOR PLAN
 A-102 PROPOSED BREEZEWAY FLOOR PLAN
 A-201 EXTERIOR ELEVATIONS & SECTIONS
 M-101 ELECTRICAL PLAN

ENGINEERING & SUPPLEMENTAL CALCULATIONS
 TO BE PROVIDED ON SEPARATE SHEETS

Project Information

Homeowner: Lance & Kaelin Frame

Address: 2250 S. 1800 E.
 Salt Lake City, Utah 84106

Proposed Square Footage:
 Guest House - 649
 Garage - 300

GENERAL BUILDING CODE REQUIREMENTS OF 2015 IRC
SINGLE FAMILY RESIDENTIAL CONSTRUCTION

GENERAL INFORMATION:

G1. The following list was put together with the intent of summarizing some of the general requirements for the construction of single family dwelling and townhouse construction of three stories or less. The following information has been compiled from the 2009 International Residential Code and The Utah State Amendments to The International Codes and The National Electrical Code. The wording is not the actual wording from the code and is not intended to indicate any changes to the code. The actual code should be used for all of the exact wording, details, and requirements.

SITE PLAN:

- C1. Building Location. Building location must comply with all regulations of the city ordinances.
- C2. Fire Protections. Buildings closer than 5 ft. to the property line shall be of one-hour construction without doors or windows.
- C3. Eaves. Eaves, overhands, and projections cannot be less than two-feet from the property line and must be of one-hour if within three feet of the property line. R302.1
- C4. Firewall. Parapets or special roof construction may be required on common walls for townhouses. See R302 for requirements.
- C5. Easements. Buildings cannot be located on any easements or right of ways.
- C6. Site Drainage. Ground slopes may not exceed two units horizontal to one unit vertical unless retained in an approved manner. Appendix J 2009 IBC.
- C7. Footings. Footings of structures located adjacent to slopes steeper than three units horizontal to one unit vertical shall be set back from the slope at least 1/3 the height of the slope if at the top, and 1/2 the height of the slope if at the bottom of the slope. R403.1.7.
- C8. Grading. Site shall be grading such that the ground slopes away from the foundation at least 6" in the first ten feet of the foundation. R401.3.
- C9. Retaining Walls. Any retaining wall over four feet in height from bottom of footing to top of wall must be an approved design with engineers details provided. R404.5.
- C10. Cuts & Fills. Cuts or fills are not permitted within two feet of the property line. Appendix J 2009 IBC.
- C11. Roof Runoff. Roof runoff shall be collected and discharged well outside of the backfill limits, and at least ten feet from the structure or as per soils report recommendations.
- C12. Driveways. Driveways shall have an all weather driving surface. A driveway, service as an egress path, shall not slope more than one unit vertical to eight units horizontal. Such driveways exceeding one unit vertical to twelve units horizontal must have a handrail.
- C13. Soils Report. If required by the building department each lot shall have a soils report from a State Licensed Engineer after the whole is dug, the report and recommendations from the engineer must be on site at the time of the footing inspection.
- C14. Water Meter. Water meters cannot be located in driveways, approaches, sidewalks, or similar areas.
- C15. Floor Areas. Homes located in potential floor areas will be require to have elevation certificates prior to and after completion of construction. R106.1.3.
- C16. Address. Addresses shall be installed which are plainly visible and legible from the street. Numbers shall be a minimum of 4" high with a minimum stroke of 1/2". R319.

ARCHITECTURAL BUILDING PLANNING:

- A1. Exterior Walls & Openings. Fire separation distance from property lines R302.1. If two family dwelling or townhouse, provide a wall section showing fire separation. Note no openings or penetrations through party wall.
- A2. Habitable Rooms & Bathrooms. 8% of area in glazing, 4% in openings, 3 sq. ft. window in bathrooms or an exhaust fan. R303.1 and R303.3.
- A3. Backerboard for Wall Tiles. Provide fiber cement, fiber-mat reinforced cement, or glass mat gypsum board backer for wall tile in tub and shower areas, to a height not less than six feet above the finish floor. R702.4.2 & R307.2.
- A4. Minimum Area & Heights. (1) 120 sq. ft. room, 70 sq. ft. in bedrooms, 7 ft. min. Ceiling height, sloped to 5 ft. min. R304.1. Dimension all plans, state the use of all future rooms on the plans.
- A5. Glazing in Hazardous Locations. Tub area less than 60" above drain, showers within 24" of doors, within 18" of a floor, less than 60" above a stairway, or within 36" of stairway or landing, 18" if guardrail is provided. R308.4. Windows more than 72" above grade and the opening is 24" or less from the floor requires a guard. R613.
- A6. Garage Separation from Dwelling. From the residence and attics min. 1/2" gypsum board, applied to the garage side. From all habitable rooms above the garage min. 5/8" gypsum Type "X" gypsum board to the ceiling side. Doors leading from dwellings to the garage shall be 1-3/8" thick solid core or 20 minute rated door. R302.5 & R302.6.
- A7. Emergency Escape & Rescue Openings. Finished sill 44" maximum above floor in every bedroom, 5.7 sq. ft. of open area or 5 sq. ft. if within 44" of grade. 20" min. width, 24" min. height. Dimension all windows and provide description (slider, single hung, etc.) R310.
- A8. Window Wells & Ladders. 9 sq. ft. min. area, 36" projection from window. If deeper than 44" affix a ladder. R310.2.
- A9. Exit Doors & Hallways. One 32" clear width when in the open position is required. 36" min. width for hallways. R311.2 & R311.6.
- A10. Landings at Doors & Stairways. 36" min. each side of exterior doors, top and bottom of stairway, unless door does not swing over top of stairs. R311.3 & R311.7.5.
- A11. Stairway. 36" Min. width, 8" max. rise, & 9" min. tread, a min. headroom of 6'-8" above tread nosing. Handrail at 34" to 38" and 1-1/4" to 2" diameter. R311.7 & State Amendment.
- A12. Guardrail. At floors, stairs, or balconies more than 30" above grade, 36" min. height, & a 4" sphere shall not pass through openings. R312.1 & R312.3.
- A13. Under-Stair Protection. Provide 1/2" gypsum board at walls, under-stair surgance, and any soffits of enclosed accessible space under stair. R302.7.
- A14. Moisture Vapor Retarders. On the interior side of framed walls. R601.3.
- A15. Lumber Protection Against Decay. Treated wood or redwood on concrete. 18 min. under floor joist, 12" min. under floor beams to finished grade, 6" min. from grade to framing or siding. R317.1.
- A16. Under Floor Ventilation. 1 sq. ft. to 150 sq. ft. or 1 sq. ft. to 1,500 sq. ft. with vapor retarder. R408.2. Ventilation openings shall be within 3 feet of each corner of the building. R408.2.
- A17. Under Floor Access. Min. of 18" x 24" R408.4. Underfloor spaces containing appliances min. 30" x 22", not more than 20' from the appliance. M1305.1.4.
- A18. Attic Ventilation. Venting of 1 sq. ft. for every 150 sq. ft. of area to be ventilated. R806.2. Provide insulation baffles to maintain a 1" air space between insulation and roof sheathing. R806.3. For unvented attic assemblies comply with R806.4.
- A19. Attic Access. In attics that exceed 30 sq. ft. or 30" in height, a min. of 22" x 30" access opening shall be provided. R807.1.
- A20. Roof Slopes & Drainage. No shingles below a 2:12 slope. For roofs with 2:12 to 4:12 slope, two layers of underlayment required. For slopes greater than 4:12, single layer required. R905.2.2.
- A21. Ice Dam Protection. In areas where ice forms along the eaves, two layers of underlayment cemented together of a self-adhering polymer

- modified bitumen sheet to extend 24" past the headed edge of the exterior wall is required. R905.2.7.1.
- A22. Chimney Termination. 2' higher than any portion of the building within 10' and 3' minimum above highest point the chimney passes through the roof. R1003.9.
- A23. Factory Built Chimneys & Fireplaces. Listed & labeled & installed according to manufacturer's instructions. R1005.1.
- A24. Masonry Fireplaces. Provide a section drawing for masonry built fireplaces. R1001.
- A25. Fireplace Hearths. 16" in front and 8" beyond each side of a firebox opening less than 6 sq. ft. If 6' or greater, then 20" in front and 12" each side is required. R1001.9 and R1001.10.
- A26. Natural Light & Ventilation. All habitable rooms shall be provided with aggregate-glazing area of not less than eight percent (8%) of the floor area of such rooms, except for rooms which have artificial light capable of average illumination of 6 foot-candles at a height of 30" above floor level. An adjoining room may be considered under certain condition of R303.1.1. Ventilation shall be provided through source specific and whole house ventilation systems and installed as specific in Sections M1507 and M1508. See Items 113-119. IRC Section R303.1 & R303.2.

2015 INTERNATIONAL RESIDENTIAL CODE (CONT.)

- ENERGY CONSERVATION:
 - EC1. Insulation Values. Provide insulation values per the perspective requirements of the 2006 International Energy Conservation Code (Utah State Amendment). R-19 in walls, R-38 in Ceiling, R-30 for floors over unconditioned space, window U value of .35 or better.
 - EC2. Energy Report. If the perspective requirements are not used a passing energy study (ResCheck) is required per the 2006 International Energy Conservation Code.

MECHANICAL:

- ALL MECHANICAL INSTALLATIONS SHALL COMPLY WITH THE 2015 IRC & IFGC
 - M1. Required Heating. Heating equipment to maintain 68 degrees. R303.8. Provide heat load calculations per Manual J. R1401.3, and ductwork design information per Manual D. R1601.1.
 - M2. Furnace Clearance & Access. A required 3" min. on the side and rear, 12" wider than furnace. 30" in front of furnace, or 6" min. if a door in front. 30" x 30" access platform with light for servicing. M1305.
 - M3. Elevation of Combustion Source. All gas appliances in a garage to be elevated 18" min. above floor. M1307.3.
 - M4. Appliance Protection. Gas appliances located in a garage or carport are to be protected from vehicle impact. M1307.3.1.
 - M5. Condensate Disposal. Condensate from all cooling coils or evaporators shall drain to an approved location. When damage to the building can occur provide a secondary drain system. M1411.3.
 - M6. Combustion Air. Provide combustion air to appliances in accordance with G2407. Combustion air shall not be taken from a sleeping room, bathroom, or toilet room, or where flammable vapors are present.
 - M7. Water Heaters. Show the location of all water heaters. If located on a wood floor, provide a drainage pan. Note the use of a pressure relief valve and seismic restraints. M2005. Provide thermal expansion control. P2903.4.
 - M8. BTU's. Provide the BTU's of all gas appliances being used in the home, i.e. furnace, water header, dryer, kitchen stove and oven, outside grill, etc.
 - M9. Gas Line Schematic. Using the above BTU's, provide a gas line schematic for the home showing all lengths and sizes of pipe being used. Note total BTU's for the demand, and what the longest overall length is. G2413 and Chapter 4 of IFGC.
 - M10. Clothes Dryer Vent. 35' max. length. M1502.4.4.1. and State Amendment. 5' reduction for each 90 degree bend, 2.5' reduction for each 45 degree bend. Table M1502.4.4.1. Termination is 3' from any opening. M1502.3.
 - M11. Exhaust Vent Terminations. 4' below or to the

- side, and 1' above doors and windows. 12" min. above finished grade. M1804.2.6.
- M12. Shower Size & Door. 900 sq. inches and 30" diameter, 70" tall above the shower drain. Hinged door is required to swing outward. P2708.1. The shower compartment access and egress opening shall have a min. unobstructed finished width of 22". P2708.1.1.

PLUMBING:

- ALL PLUMBING INSTALLATIONS SHALL COMPLY WITH 2015 IRC
 - P1. Clearances for Plumbing Fixtures. 24" in front of shower, 30" width for the water closet, 21" in front of cabinets and water closet. R307.
 - P2. Whirlpool Bathtub Access Panel. Show the location for access to the motor. Show a GFCI outlet for the motor. P2720.
 - P3. Hose Bib Connections. Are to be equipped with an atmospheric or pressure type vacuum breaker. P2903.10.
 - P4. Maximum Flow Rates. Lavatory or sink faucet is 2.2 GPM, showered is 2.5 GPM, and water closets are 1.6 GPM. P2903.2.
- FIRE PROTECTION & CO2 ALARMS:
 - FP1. Smoke Detectors. Inside each sleeping room, outside each separate sleeping area, and each additional story including basements. All detectors to be interconnected, hardwired, and listen and labeled. R314.
 - FP2. Carbon Monoxide Alarms. For new construction detectors shall be installed on each habitable level of the home that has fuel burning appliances or an attached garage. R315.1 as Amended by the State of Utah.

ELECTRICAL:

- ALL ELECTRICAL INSTALLATIONS SHALL COMPLY WITH THE 2015 IRC & 2017 NEC.
 - E1. Electrical Service Panel. Show the location of the subpanel. 30" clearance required side to side, 36" in front of panel, and 6'-6" in height from floor. E3405.
 - E2. Receptacle Outlets. Provide outlets in walls, counters, island, floors, bathrooms, laundry rooms, basement, garage, hallways, and mechanical room. An outlet is requires for every 12' finished wall, 1 for a kitchen island, every 4' of countertop, and a min. of 1 in the garage and unfinished basement. E3901.2.
 - E3. Arc Fault Protection. All 120-volt, single phase 15-20 amp branch circuits in dwelling unit bedrooms shall be arc fault protected. E3902.11 as amended by the State of Utah.
 - E4. GFCI Outlets. All outlets on the exterior of the home, all outlets in the garage, in bathrooms, laundry rooms, kitchen counters, a min. of 1 outlet in an unfinished basement and mechanical room are to be GFCI protected. E3902.
 - E5. Interior & Exterior Lighting. One wall switch controlled light in every habitable room and bathroom. One wall switch controlled light in hallways, stairways, attached garages, and detached garages with electrical power. One wall switch controlled light to provide illumination on the exterior side of doors. One light required in attics, crawl spaces, utility rooms, and basements.
 - E6. Receptacles & Lighting in Damp & Wet Locations. Weatherproof covers for exterior outlets and lighting to be listed for wet or damp locations. E3905.12.
 - E7. Light Fixtures in Closets. Surface mounted incandescent fixtures to have a 12" min between the fixture and any storage. Surface mounted fluorescent fixtures to have a 6" min. between fixture and any storage. E4003.12.
 - E8. Outlet Boxes. Boxes at luminaries or lamp holder boxes are required to be able to support a minimum of 50 lbs. A luminaries that weighs more than 50 lbs must be listed for the additional weight to be supported. E3905.7.
 - E9. Outlets Installed in Garages. Shall be installed at minimum of 18" above the finish floor. IMC 304.3.

ALL PLANS ARE SCHEMATIC IN NATURE AND THE DESIGNER IS NOT HELD LIABLE FOR INACCURACIES. THE BEST EFFORTS HAVE BEEN MADE TO ENSURE THE HIGHEST QUALITY OF DESIGN, BUT ALL DIMENSIONS ARE TO BE VERIFIED BY HOMEOWNER AND CONTRACTOR ON SITE. ANY QUESTIONS ABOUT PLAN DETAIL OR INTENT MAY BE DIRECTED TO DESIGNER. SEE PHONE NUMBER OR EMAIL ADDRESS LISTED ON PLAN.



ANSON FILLERUP DESIGN
1395 S. Lincoln Street
Salt Lake City, Utah 84105
720-219-2525
ansonfilerupdesign@gmail.com

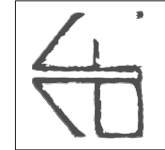
PLANNED BY:	January 29, 2019
PLANNED BY:	June 19, 2019
DRAWN BY:	Anson Peterson Fillerup

Frame Garage & Guest House
Lance & Kaelin Frame
2250 South 1800 East
Salt Lake City, Utah 84106

Notes

DRAWING
G-102
SHEET
2 OF 7

SCALE: 1/16" = 1'-0"



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 1395 S. Lincoln Street
 Salt Lake City, Utah 84105
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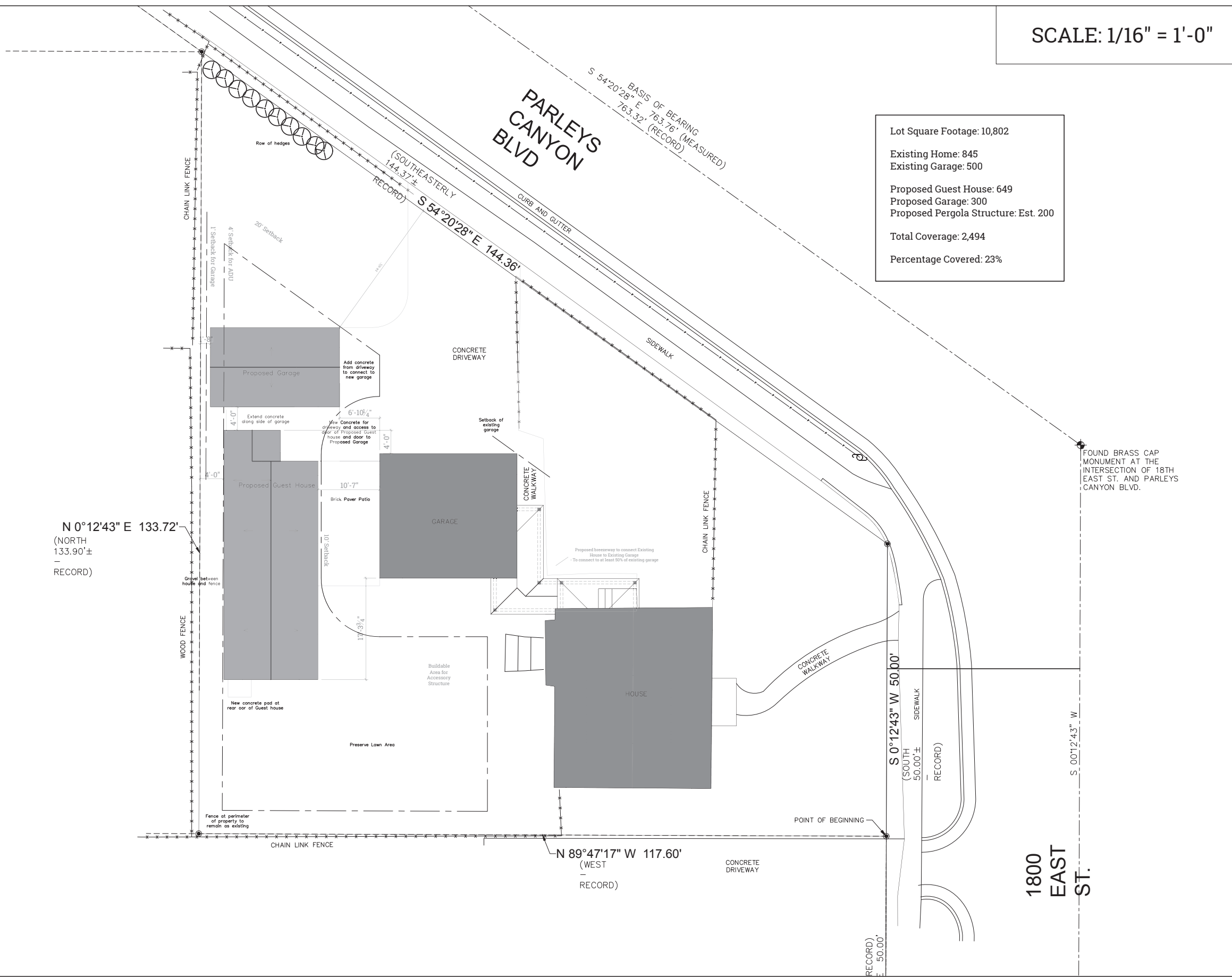
PLANNED: January 29, 2019
 PLAN REVIEWED: June 19, 2019
 DRAWN BY: Anson Peterson Fillerup

Frame Garage & Guest House
 Lance & Kaelin Frame
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 Salt Lake City, Utah 84106

Site Plan

DRAWING
AS-101
 SHEET
 3 OF 7

Lot Square Footage: 10,802
 Existing Home: 845
 Existing Garage: 500
 Proposed Guest House: 649
 Proposed Garage: 300
 Proposed Pergola Structure: Est. 200
 Total Coverage: 2,494
 Percentage Covered: 23%





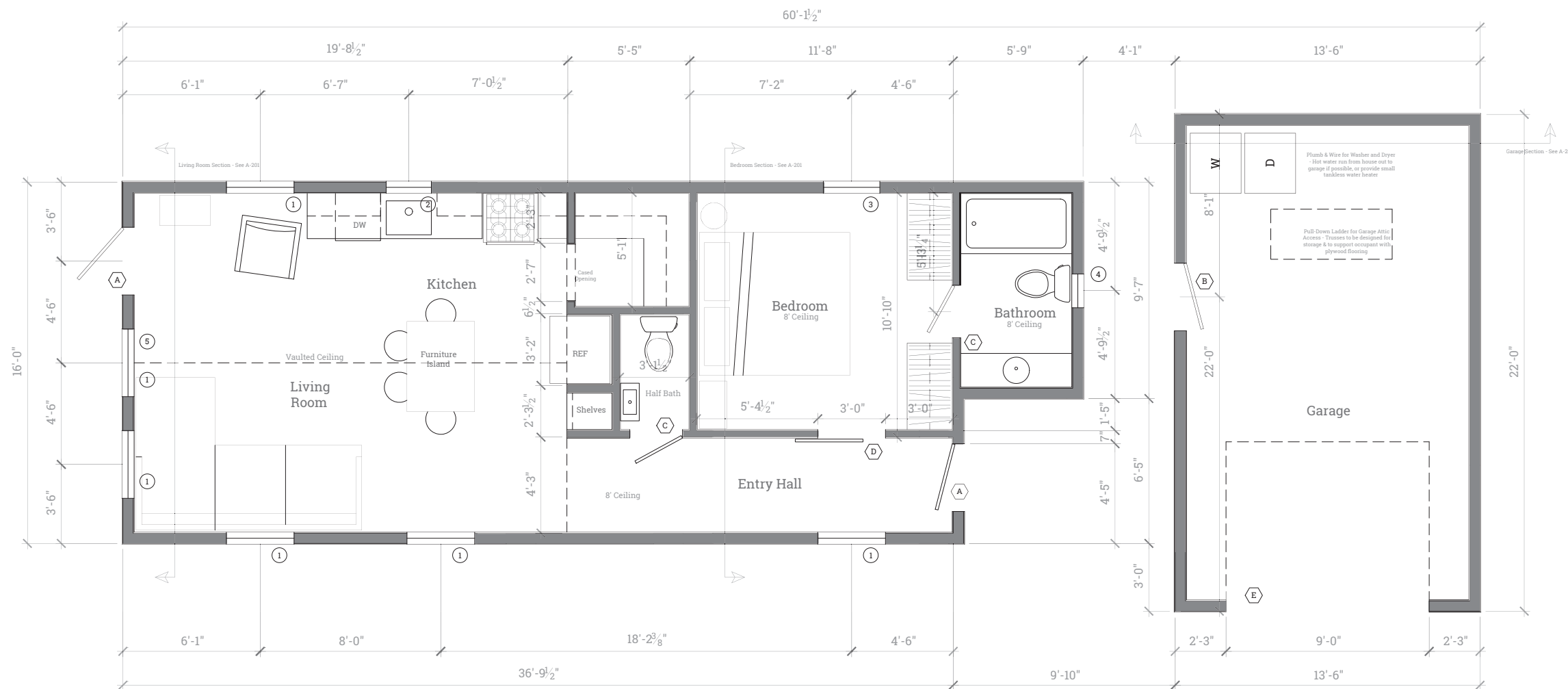
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 1395 S. Lincoln Street
 Salt Lake City, Utah 84105
 720-219-2525
 ansonfillerupdesign@gmail.com

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**Proposed ADU
 Floor Plan**

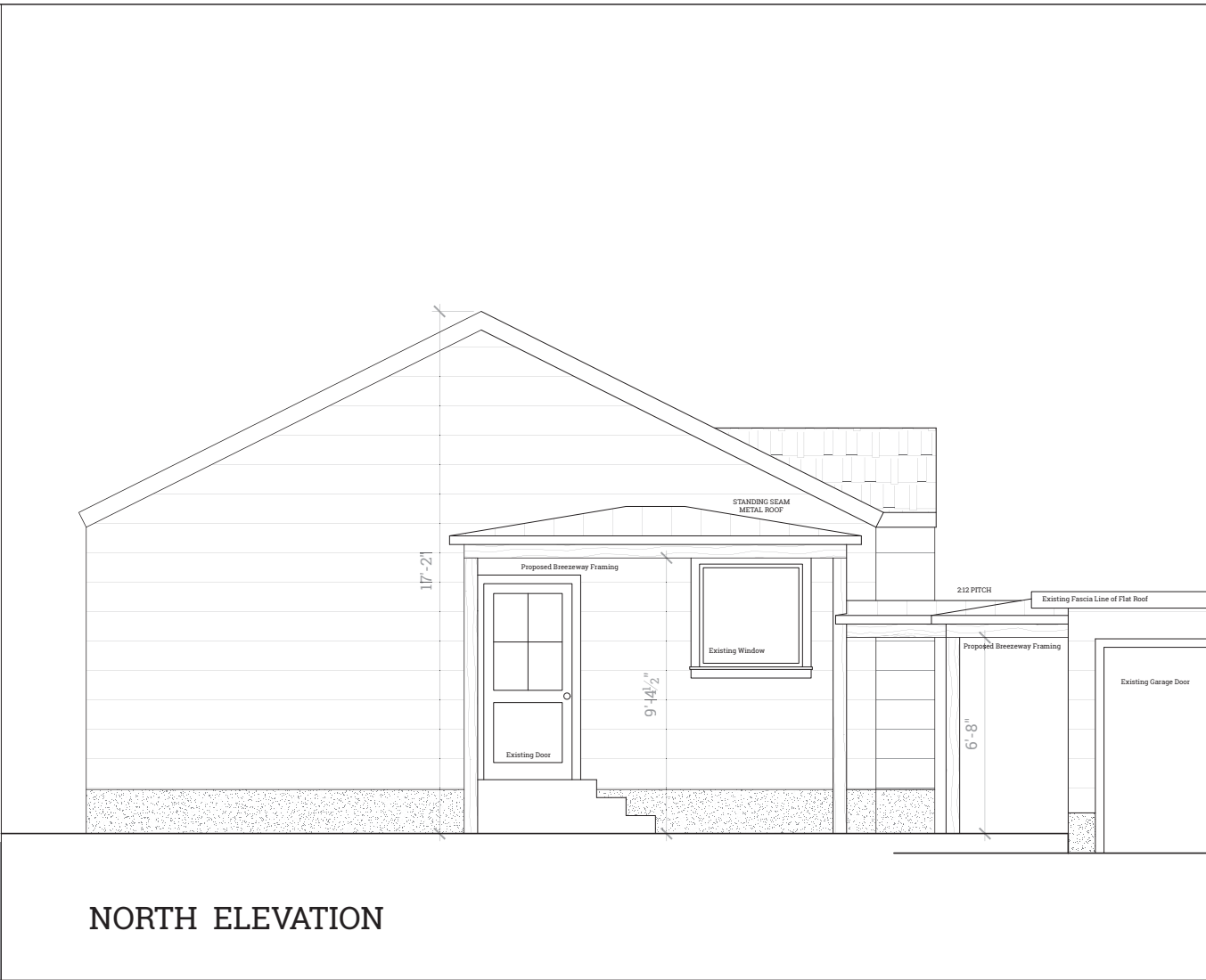
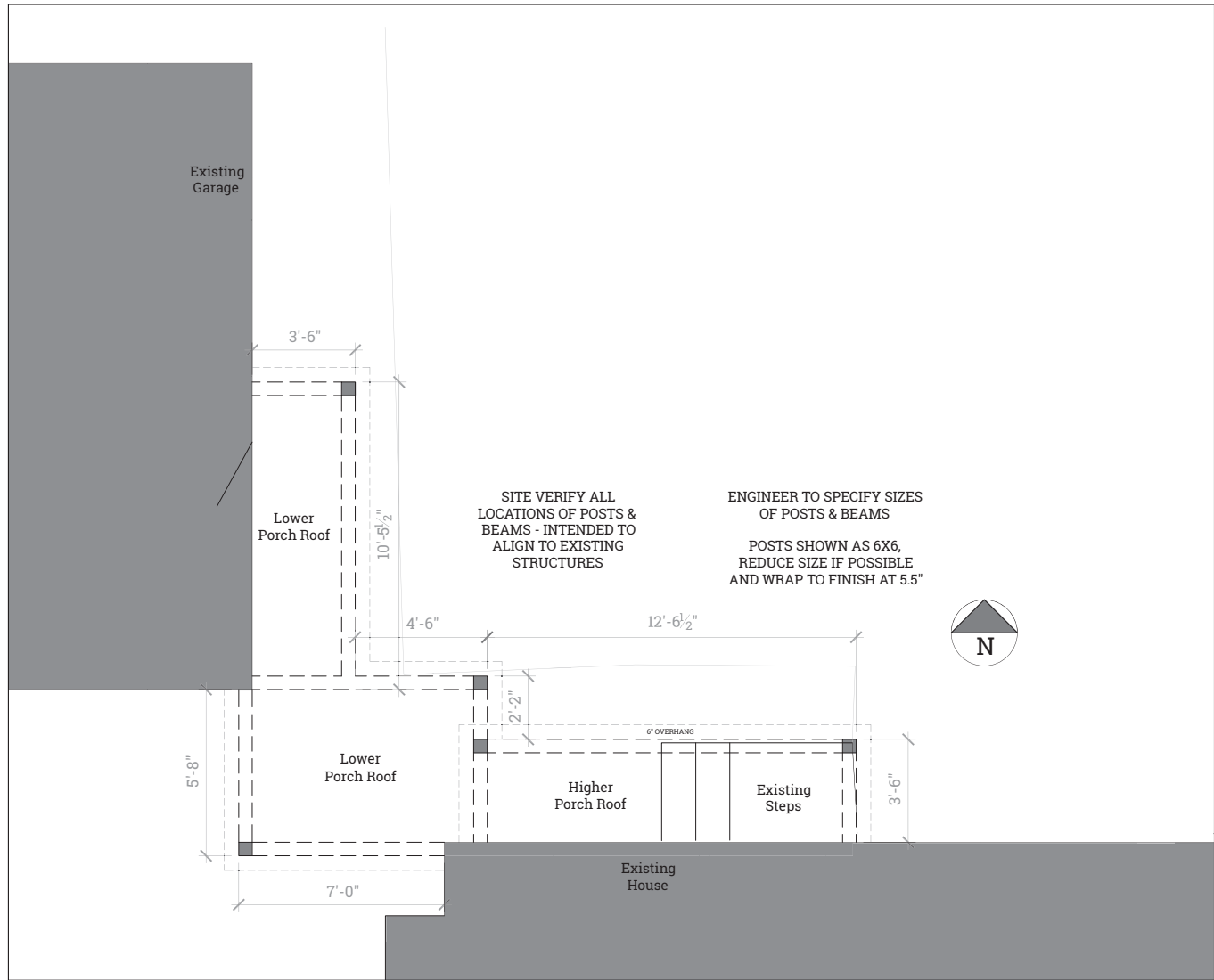
DRAWING
A-101
 SHEET
 4 OF 7



Door Schedule	Window Schedule
A. 3'-0" x 6'-8" Ext. Entry Door with 3/4 Glass B. 3'-0" x 6'-8" Fire-Rated Garage Entry Door C. 2'-4" x 6'-8" Int. Door D. 3'-0" x 6'-8" Int. Barn Door - Style spec by homeowner E. 9'-0" x 7'-0" Overhead Garage Door - Quote Clopay Coachman Int. Door Style: Spec by Homeowner Ext. Door Style: See Ext. Elevation - Verify with Designer & Homeowner on material Unless given a specific dimension, frame from corner so s to leave 4" for casing.	1. 3'-0" x 5'-0" Casement - Frosted on West Elev. 2. 2'-0" x 3'-6" Casement - Frosted 3. 2'-6" x 5'-0" Casement - Frosted - Egress Req'd, possible reduction to minimum egress requirement 4. 1'-6" x 3'-6" Casement OR Fixed - Frosted 5. 2'-0" x 3'-0" - Fixed - Header Height 13'-0" - Center over window below or in gable Window Material: TBD by homeowner Grid: 4-Lite as shown on exterior elevations if city will allow. Homeowner wants to eventually update main house to match this style, so it would make sense to establish style type now.



SCALE: 3/4" = 1'-0" when printed at 24x36
 3/8" = 1'-0" when printed at 11x17



SCALE: 3/8" = 1'-0"



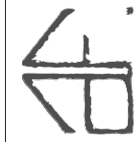
ANSON FILLERUP DESIGN
 1395 S. Lincoln Street
 Salt Lake City, Utah 84105
 720-219-2525
 ansonfillerupdesign@gmail.com

PREPARED: January 29, 2019
 PLANNED BY: June 19, 2019
 DRAWN BY: Anson Peterson Fillerup

Frame Garage & Guest House
 Lance & Kaelin Frame
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**Proposed Breezeway
 Floor Plan & Elevation**

DRAWING
A-102
 SHEET
 5 OF 7



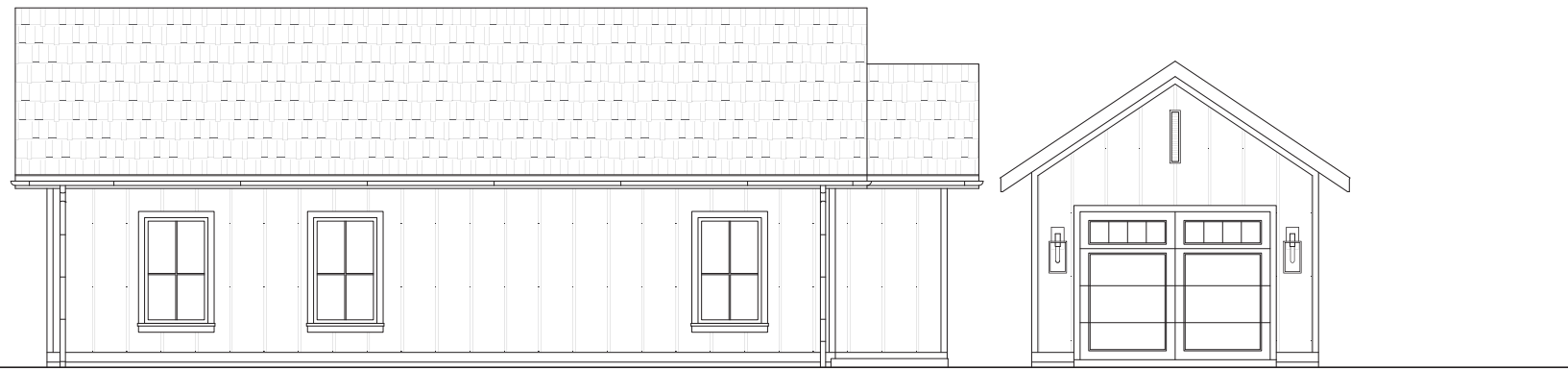
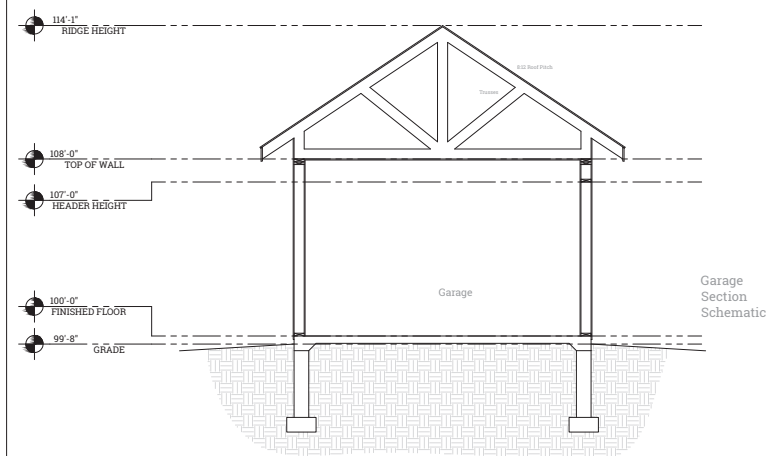
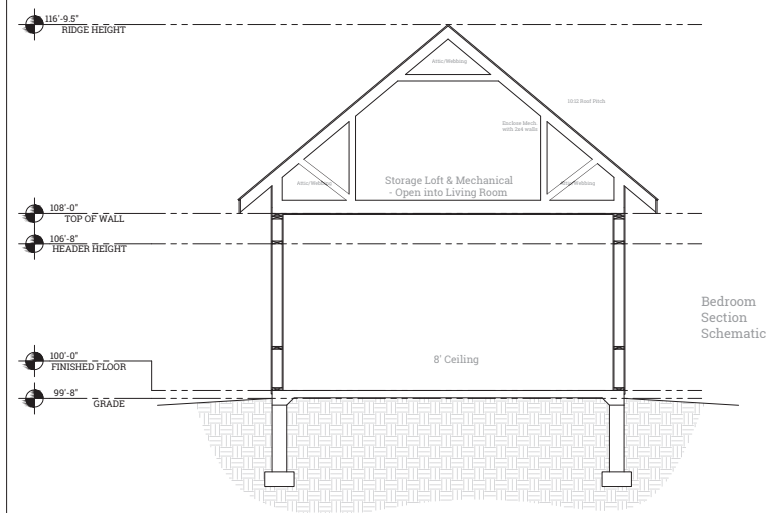
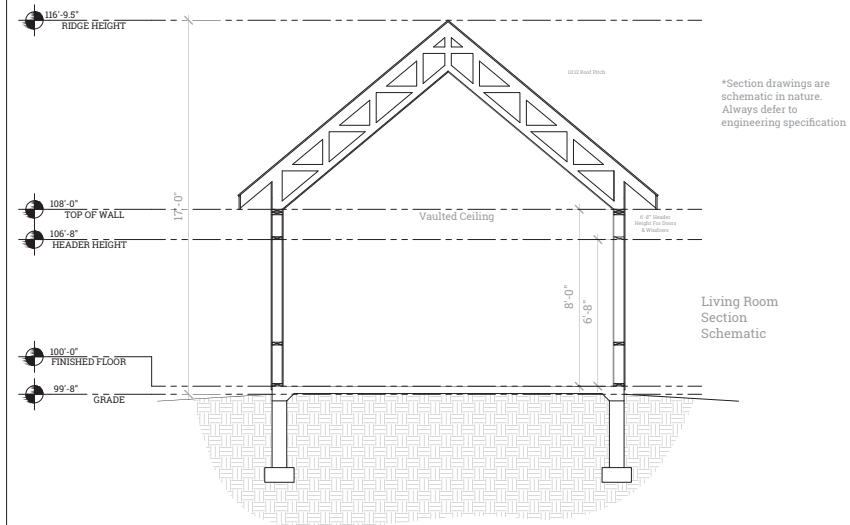
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 1395 S. Lincoln Street
 Salt Lake City, Utah 84105
 720-219-2525
 ansonfillerupdesign@gmail.com

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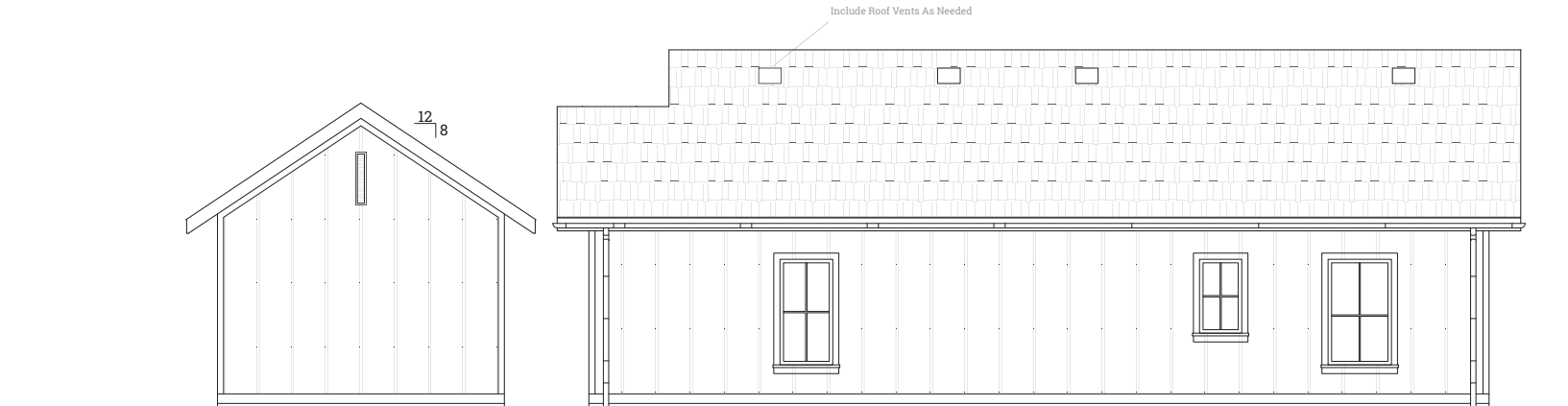
Frame Garage & Guest House
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Proposed Exterior Elevations & Sections

DRAWING
A-201
 SHEET
 6 OF 7



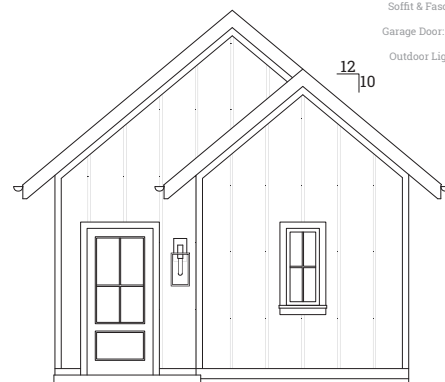
East Elevation



West Elevation

MATERIALS

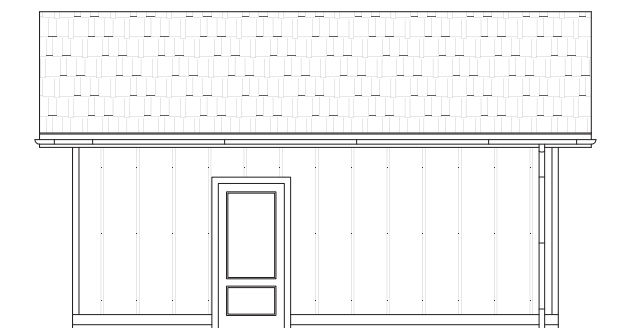
- Siding: Hardie Board & Batten - Painted - Incl. 1x4 Corner Boards, 1x8 Skirt Board, 1x4 Casing, & 1" Pitched Sills
- Roof: Asphalt Shingle
- Gutter: Galvanized Aluminum
- Gable Vent: 8x30
- Soffit & Fascia: 1x8 - White Aluminum
- Garage Door: Clopay Coachman - White
- Outdoor Lights: Spec by Homeowner



North Elevation



South Elevation



Garage South Elevation
 - North Elevation matches w/o door



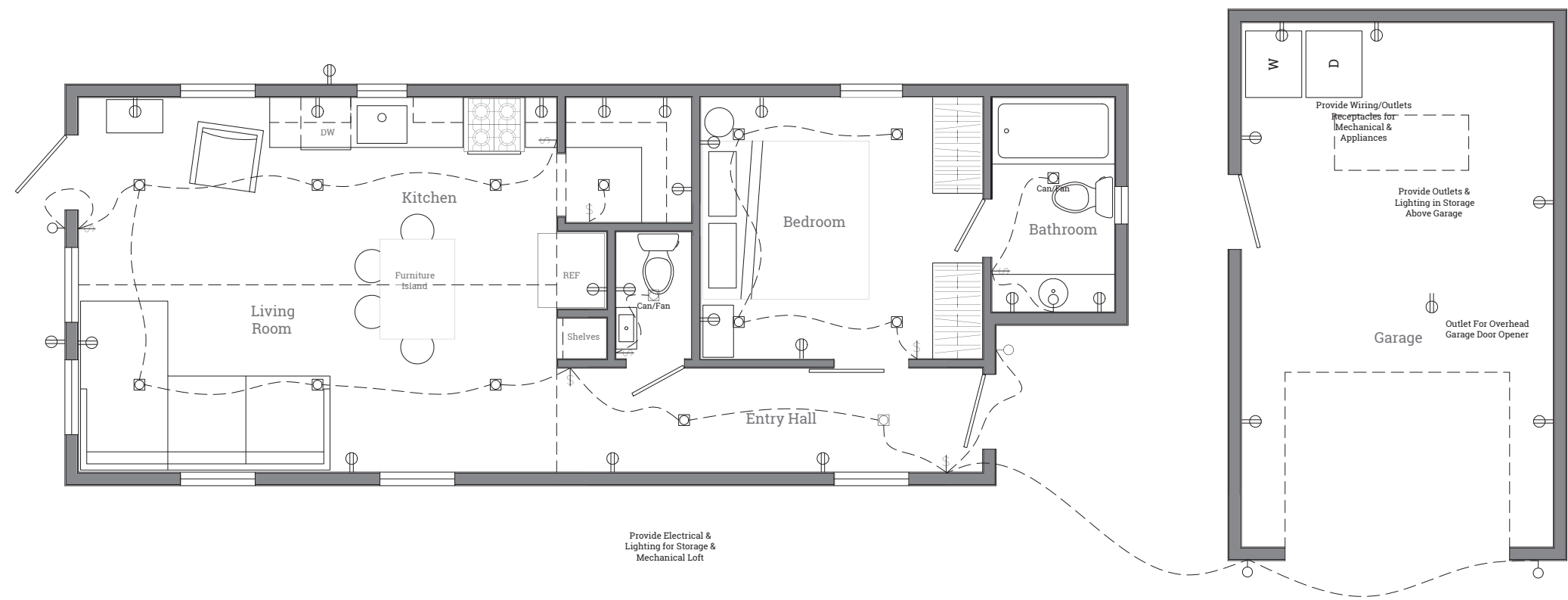
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 720-219-2525
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



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Frame Garage & Guest House
 Lance & Kaelin Frame
 2250 South 1800 East
 Salt Lake City, Utah 84106

Electrical Plan

DRAWING
M-101
 SHEET
 7 OF 7



SCOPE	ELECTRICAL LEGEND
SCOPE: Electrician to coordinate with homeowner for specific layout of fixtures. Homeowner or designer to provide specs for light fixtures to electrician prior to installation.	 RECESSED/CAN LIGHT - FIXTURE SIZE SPEC BY HOMEOWNER & ELECTRICIAN
See G-102 for specifics about code and installation guidelines.	 FLUSHMOUNT LIGHT FIXTURE - FIXTURE SPEC BY HOMEOWNER & ELECTRICIAN
	 BATHROOM VENTILATION FAN - TO PROVIDE FIVE EXCHANGES OF AIR PER HOUR
	 OUTLET RECEPTACLE - WHERE REQUIRED BY CODE, GFCI
	 TOGGLE SWITCH AT 44" HIGH - STYLE OF SWITCH SPEC BY HOMEOWNER & ELEC.

**ATTACHMENT C – ADDITIONAL INFORMATION
PROVIDED BY APPLICANT**

A. Approval Standards: A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title; This ADU request will be in compliance with all zoning and planning codes and will be built to the specifications and provisions required by the new ADU ordinance.
2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses; The proposed ADU is consistent and compatible with the surrounding residential use and will fit in seamlessly with the surrounding community.
3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and The proposed ADU is consistent with the ADU ordinance and will help add affordable housing to the Salt Lake housing stock.
4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions. Any effect on parking will be solved by providing two additional parking stalls in the new garage (which is double the requirement for a single additional off-street parking stall). The owner will occupy the property full time. In addition, the owner will enroll in the good landlord program and will comply with all landlord codes.

B. Detrimental Effects Determination: In analyzing the anticipated detrimental effects of a proposed use, the planning commission, or in the case of administrative conditional uses, the planning director or designee, shall determine compliance with each of the following:

1. This title specifically authorizes the use where it is located; The ADU ordinance allows this as a conditional use in the R1-7000 zone.
2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps; This ADU request will be in compliance with all zoning and planning codes and will be built to the specifications and provisions required by the new ADU ordinance.
3. The use is well suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area; The use fits seamlessly on the property and is tucked back in the rear of the property, minimizing the impact on the street. The size and scale are in line with regulations in the ADU ordinance. The character of the residential neighborhood will be enhanced by the consummation of this project.
4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered; The proposed ADU is very similar in mass, scale design to the surrounding housing. The architectural quality meets or exceeds that of the surrounding structures and will positively impact the neighborhood as a significant improvement to

the neighborhood. The goal was to create a simple, sleek, low profile structure that added to the affordable housing in this neighborhood.

5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows; **The existing driveway and curb cut will be maintained and used as the access point for the new structure. There should be no impediment to traffic flow, and minimal grading required.**
6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, nonmotorized, and pedestrian traffic; **Given that the existing curb cut and driveway will remain intact, there should be no effect on the adjacent properties and pedestrian traffic.**
7. The site is designed to enable access and circulation for pedestrian and bicycles; **No change to the driveway or curb cut and no adverse effect on pedestrians or bicycles.**
8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street; **No change to the driveway or curb cut and no adverse effect on abutting or adjacent streets.**
9. The location and design of off street parking complies with applicable standards of this code; **This proposal complies with parking standards. The proposal will provide twice the required amount of off street parking and further decreases the visible impact by providing that parking in a covered garage so the cars will be out of sight.**
10. Utility capacity is sufficient to support the use at normal service levels; **Public utilities will comment on this**
11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts; **There is no use conflict as the proposal is for a residential structure within a residential neighborhood. There are fences and buffers that separate the different parcels.**
12. The use meets city sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke; **No residents smoke and the project will not introduce an environmentally dangerous use to the community.**
13. The hours of operation and delivery of the use are compatible with surrounding uses; **Not applicable, there are no hours of operation in a residential use.**
14. Signs and lighting are compatible with, and do not negatively impact surrounding uses; and **Not applicable, there are no signs or business lighting as this is a residential use.**
15. The proposed use does not undermine preservation of historic resources and structures. **The existing home will not be modified and thus this project will preserve the existing structures in their organic and original state.**

C. Conditions Imposed: The planning commission, or in the case of administrative conditional uses, the planning director or the director's designee, may impose on a conditional use any conditions necessary to address the foregoing factors which may include, but are not limited to:

1. Conditions on the scope of the use; its character, location, hours and methods of operation, architecture, signage, construction, landscaping, access, loading and parking, sanitation, drainage and utilities, fencing and screening, and setbacks; and **The proposal will not have hours of operation, signage as it is a residential use. The setbacks and building plans comply with zoning and planning requirements as outlined in the ADU ordinance.**

2. Conditions needed to mitigate any natural hazards; assure public safety; address environmental impacts; and mitigate dust, fumes, smoke, odor, noise, vibrations; chemicals, toxins, pathogens, gases, heat, light, and radiation. **There will be no natural hazards introduced as part of this project.**

ATTACHMENT D – SITE PHOTOS



Front of principal structure from 1800 East



South side elevation of principal structure



North elevation of principal structure from Parley's Canyon Blvd.



Two structures to be connected via proposed breezeway



Frontage of property along Parley's Canyon Blvd.



Frontage of property along Parley's Canyon Blvd. –
area of proposed ADU

ATTACHMENT E – ADU ZONING STANDARDS

21A.40.200 – ACCESSORY DWELLING UNITS:

ADU STANDARDS	PROPOSED	COMPLIES (Y/N)
<p>SIZE: ADU footprint shall not exceed 50% of footprint of principal dwelling, up to a maximum of 650 sf.</p>	<p>While this is a Conditional Use review for the ADU only, the feasibility of the ADU project relies on a larger scope of work that the applicant has proposed; namely, the connection of the existing single-family home and existing detached garage (see Project Description section above for further details).</p> <p>Once connected, the combined footprint of the existing single-family home, existing garage, and new breezeway element would measure approximately 1,545 sf. The maximum permitted footprint of the ADU structure would be 650 sf, and the applicant has proposed 649 sf.</p>	Complies
<p>MAXIMUM COVERAGE: The surface coverage of all principal and accessory buildings shall not exceed 40% of the lot area.</p>	<p>Lot area measures 10,802 sf (40% coverage) = 4,321 sf maximum building coverage</p> <p>Proposed footprints are as follows:</p> <ul style="list-style-type: none"> • Combined existing single-family home, garage, and breezeway: 1,545 sf • ADU structure: 649 sf • Proposed detached garage: 300 sf <p>=2,494 sf total building coverage</p> <p>The surface coverage all principal and accessory buildings (existing and proposed) is 23% of the total lot area.</p>	Complies
<p>HEIGHT: Shall not exceed the height of the single-family dwelling on the property or 17 feet, whichever is less.</p> <p>*If the principal dwelling is over 17 feet in height, the ADU may be equal in height up to a maximum of 24 feet if 10 foot side and rear yard setbacks are provided. The setback for additional height may be reduced to 4 feet if the side or rear lot line is adjacent to an alley.</p>	<p>The applicant provided plans showing that the single-family dwelling measures approximately 17 feet, 9 inches (17', 9") in height. The proposed ADU measures 17 feet in height.</p>	Complies
<p>SETBACKS: New accessory structures shall be located a minimum of 4 feet from any side or rear lot line.</p>	<p>The detached accessory structure with ADU would be located 4 feet from the rear (west) lot line. Proposed side yard setbacks (distance from the north and south lot lines) greatly exceed the required 4 foot minimum.</p>	Complies

<p>SEPARATION: Shall be located a minimum of 10 feet from any primary dwelling on the property or adjacent property</p>	<p>The proposed ADU structure would be located approximately 10 feet, 7 inches (10', 7") from the principal structure on site. The closest principal structures on adjacent properties are to the west, and would be 60+ feet away from the proposed ADU.</p>	<p>Complies</p>
<p>ENTRANCE LOCATIONS: The entrance to an ADU in an accessory building shall be located:</p> <p>(1) Facing an alley, public street, or facing the rear façade of the single family dwelling on the same property. (2) Facing a side or rear property line provided the entrance is located a minimum of ten feet (10') from the side or rear property line. (3) Exterior stairs leading to an entrance shall be located a minimum of ten feet (10') from a side or rear property line unless the applicable side or rear property line is adjacent to an alley in which case the minimum setback for the accessory building applies to the stairs.</p>	<p>The proposed ADU contains two (2) entrances. Both meet criteria (2), as they are oriented toward the interior side and corner side yard property lines, and would greatly exceed the minimum required setback of 10 feet.</p>	<p>Complies</p>
<p>REQUIREMENTS FOR WINDOWS:</p> <p>(1) Windows shall be no larger than necessary to comply with the minimum Building Code requirements for egress where required. Skylights, clerestory windows, or obscured glazing shall be used when facing a side or rear property line to comply with minimum Building Code requirements for air and light on building elevations that are within ten feet (10') of a side or rear property line unless the side or rear property line is adjacent to an alley.</p> <p>(2) Except as required in subsection E3g(1) of this section, windows shall maintain a similar dimension and design as the windows found on the principal structure.</p>	<p>(1) Egress windows are required in sleeping rooms. To meet this section of the ordinance, the proposed bedroom window could not exceed the minimum size required to satisfy egress requirements:</p> <ul style="list-style-type: none"> • Bottom of window egress opening shall not exceed 44 inches in height, measured from finished floor; • Minimum window opening area of 5.7 sf; • Minimum window opening height of 24 inches; • Minimum window opening width of 20 inches <p>In addition, the entire west elevations falls within 10 feet (10') of the west property line; therefore, the window schedule shows that all windows on the west elevation shall be made with obscured/frosted glazing.</p> <p>(2) The window openings proposed for the ADU are similar in dimension, proportion, and general style as those found on the single-family home.</p>	<p>Complies under proposed conditions</p> <p>Complies</p>
<p>PARKING: Minimum of one parking space on site</p>	<p>The parking requirement could be waived for this ADU proposal, as there are legally located on-street parking spaces along</p>	<p>Complies</p>

<p>*This requirement may be waived if there is legal on-street parking along the street frontage of the property OR if the property is within 1/4 mile of a transit stop.</p>	<p>the street frontage, and the subject property is within 1/4 mile of a bus stop on 2100 South. However, as discussed in other sections of this report, the applicant has proposed additional improvements beyond the new ADU structure. One component would be a new detached 2-car garage that would be located to the direct north of the ADU. This would provide two (2) on-site parking spaces in addition to the 2 spaces inside of the existing garage, as well as the existing driveway area.</p>	
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ATTACHMENT F – CONDITIONAL USE STANDARDS

21A.54.080 STANDARDS FOR CONDITIONAL USES:

A. Approval Standards: A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title;

Analysis: The proposed ADU use is located in the R-1/7,000 zoning district, which allows for an ADU to be approved through the conditional use process subject to meeting the specific regulations for an ADU in section 21A.40.200 of the zoning ordinance. As analyzed in Attachment E, the ADU complies with the requirements of 21A.40.200.

Finding: The proposed use would comply with the applicable provisions of the Salt Lake City Zoning Ordinance.

2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;

Analysis: ADUs are anticipated in the R-1/7,000 zoning district and are considered a use that is potentially compatible with adjacent and surrounding residential uses by being listed as a conditional use in the land use table. The proposal meets all of the requirements for detached ADUs in terms of setbacks and separation requirements between adjacent houses and the primary house on the property.

Finding: The proposed development and use is compatible with the surrounding uses.

3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and

Analysis: The subject property is zoned R-1/7,000 Single-Family Residential. The purpose of this zone is to provide for conventional single-family residential neighborhoods with lots not less than seven thousand (7,000) square feet in size. This district is appropriate in areas of the City as identified in the applicable community Master Plan. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood (21A.24.060.A).

The regulatory intentions of ADUs are to:

- 1) Create new housing units while respecting the appearance and scale of single-family residential development;
- 2) Provide more housing choices in residential districts;
- 3) Allow more efficient use of existing housing stock, public infrastructure, and the embodied energy contained within existing structures;
- 4) Provide housing options for family caregivers, adult children, aging parents, and families seeking smaller households;
- 5) Offer a means for residents, particularly seniors, single parents, and families with grown children, to remain in their homes and neighborhoods, and obtain extra income, security, companionship, and services;
- 6) Broaden the range of affordable housing throughout the City;
- 7) Support sustainability objectives by increasing housing close to jobs, schools, and services, thereby reducing greenhouse gas emissions and fossil fuel consumption;

- 8) Support transit oriented development and reduce auto usage by increasing density near transit; and
- 9) Support the economic viability of historic properties and the City's historic preservation goals by allowing accessory dwellings in historic structures.

Please refer to the 'Key Considerations' section at the beginning of this report for analysis regarding the project's compliance with the *Sugar House Community Master Plan* and *Growing SLC: A Five-Year Housing Plan 2018-2022*).

Finding: Staff finds that the proposed use is consistent with applicable adopted city planning policies, documents, and master plans.

4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions (refer to Detrimental Impacts Chart below for details).

B. Detrimental Effects Determination: In analyzing the anticipated detrimental effects of a proposed use, the Planning Commission shall determine compliance with each of the following:

Criteria	Finding	Rationale
1. This title specifically authorizes the use where it is located;	Complies	The proposed ADU is an accessory residential use and is allowed as a conditional use within the R-1/7,000 zoning district. The proposed ADU complies with all specific regulations for an ADU including size, height, setbacks, distance to other houses, etc. as outlined in Attachment E.
2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps;	Complies	<p>The proposed use is located in an area that the future land use map in the <i>Sugar House Master Plan</i> indicates should be zoned for low density residential. This designation allows for lots that are 5,000 – 8,000 sf in area. Low density includes single-family dwellings interspersed with duplexes and multi-family dwellings.</p> <p>As discussed both at the beginning of this report under 'Key Considerations' and in Conditional Use standard 3 above, Staff finds that this ADU proposal is consistent with the <i>Sugar House Master Plan</i>, the <i>Growing SLC 5-Year Housing Plan</i>, and the purpose and intents of the R-1/7,000 zoning district and the ADU ordinance. Please refer to those sections for further analysis.</p>
3. The use is well-suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area;	Complies	Nearby properties generally contain small single-family cottages, with a few duplexes that were likely established before the current single-family zoning was put in place. This lot is a good candidate for an ADU, as it has a lot area that is above average, providing space for more off-street parking and landscaped open areas. Despite a large lot area, the ADU structure would be held to the same size standards as other properties, which includes a maximum building footprint and maximum building height. In addition, the ADU ordinance includes some

		requirements meant to mitigate potential negative impacts—these include restrictions on the size and transparency of windows, as well as entrance locations. Staff finds that the ADU is appropriately scaled and would be significantly screened from adjacent right-of-ways and properties by existing and proposed structures, as well as existing fencing and vegetation.
4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered;	Complies	As discussed above, the scale of the proposal is compatible with the existing principal structure on the property (once combined with the existing 2-car garage), as well as surrounding structures. The structure also meets all ADU requirements, including restrictions on footprint, height, setbacks, design, etc.
5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows;	Complies	The property currently has vehicular access via a driveway that stems from Parley’s Canyon Boulevard, which is a collector street. This curb cut will remain as-is, and the same driveway will remain the primary vehicle access point to the property. Traffic associated with the ADU is not anticipated to impede traffic flows.
6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic;	Complies	Because this site is a corner lot, it can be directly accessed from both the east and north without adversely impacting adjacent properties. All vehicles would be able to access the site using the existing driveway, which comes from Parley’s Canyon Boulevard. The proposal includes more off-street parking spaces than what is required, so there should be no on-street parking needed for either the primary residence or ADU. Pedestrians visiting the primary residence could access that structure from 1800 East, while pedestrians visiting the ADU could access that structure from Parley’s Canyon Boulevard.
7. The site is designed to enable access and circulation for pedestrian and bicycles;	Complies	The property is easily accessed via sidewalks that run along both 1800 East and Parley’s Canyon Boulevard, as well as walkways that are internal to the site. In addition, Parley’s Canyon Boulevard has dedicated bike lanes on both sides of the street. 1800 East does not have designated bike lanes, but it is a fairly calm local street that would be a good option for bicyclists.
8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street;	Complies	Vehicles accessing the site to reach the ADU would utilize the same, existing driveway that tenants of the primary residence currently use. This driveway stems from Parley’s Canyon Boulevard, which is designated as a collector street, which is anticipated to have a higher volume of traffic than local streets. The applicants’ larger proposal involves the creation of two parking spaces within a new garage, but there are also two existing garage spaces, as well as an

		existing driveway with adequate space to park at least 1-2 cars. The Transportation Division did not indicate any concerns regarding impact to the service level of the street.
9. The location and design of off-street parking complies with applicable standards of this code;	Complies	As discussed in other areas of this analysis, the parking requirements for the proposed ADU could be waived, as the site is located within ¼ mile of a transit stop and there is adequate on-street parking available on both frontages. However, the applicant has proposed to make improvements beyond the ADU structure, which include the construction of a new 2-car garage. There is also legal parking space provided within the existing/proposed driveway area.
10. Utility capacity is sufficient to support the use at normal service levels;	Complies	The Public Utilities department reviewed this project and indicated that a building and utility plan will need to be submitted at the time of building permit application. Compliance will be ensured during the building permitting process.
11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts;	Complies	The ADU would be residential in nature and would be located within a neighborhood of similar residential uses. Due to the above-average size of the lot, it can legally accommodate multiple accessory structures while also reserving a significant amount of landscaped open space. The proposed ADU structure would be largely hidden from view from adjacent rights-of-way by the existing principal structure and proposed new 2-car garage. In addition, the property is currently enclosed by a chain-link fence with thick vegetation, which screens much of the rear yard from public view. Other potential impacts are mitigated via regulations contained in the ADU ordinance, including obscured windows on elevations that are closer than 10 feet from a property line.
12. The use meets City sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke;	Complies	The use does not significantly impact sustainability plans. The project supports sustainability objectives by increasing housing options near employment opportunities, schools, services, and established transit options, thereby reducing greenhouse gas emissions and fossil fuel consumption.
13. The hours of operation and delivery of the use are compatible with surrounding uses;	N/A	Not applicable.
14. Signs and lighting are compatible with, and do not negatively impact surrounding uses; and	Complies	There are no signs associated with this proposal. Any lighting that may be placed on the accessory structure is not expected to have a negative impact on the surrounding uses or otherwise cause a nuisance.
15. The proposed use does not undermine preservation of historic resources and structures.	Complies	The property is not located within a Local or National Historic District and the proposal does not involve the removal of any historic resources or structures.

ATTACHMENT G – PUBLIC PROCESS & COMMENTS

Early noticing for the proposal included:

- Early engagement letters to owners/tenants of properties located within 300 feet of the site notifying them of the project application mailed on May 6th, 2019
- Notice letter to the Sugar House Community Council notifying them of the project application emailed to Chair on May 6th 2019

Notice of the public hearing for the proposal included:

- Public hearing notice mailed on June 13th, 2019
- Public hearing notice posted at subject property on June 14th, 2019
- Public notice posted on City and State websites and emailed to Planning Division list serve on June 13th, 2019

Public Meetings/Input Opportunities included:

- The applicant and Planning Staff attended the Sugar House Community Council's Land Use and Zoning Committee meeting on June 17th, 2019. No official comments were submitted at that meeting, but attendees noted that they liked the design of the ADU structure, but felt that attaching two existing structures to achieve a larger ADU footprint went against the "spirit" of the ADU ordinance, which aimed to allow for accessory dwelling units that were proportional in massing as the principal structures on site.

Public Input:

As of the publish date of this report, one inquiry was made by phone on May 29th, 2019. A neighbor voiced concerns about existing illegal rental situations in the neighborhood, and that this may turn into another one of them. He also voiced concerns about ruining the neighborhood's character by adding more density and people.

If any comments are received after publication of the Staff Report, they will be forwarded to the Commission and included in the public record.

ATTACHMENT H – DEPARTMENT REVIEW COMMENTS

ZONING:

Compliance with the following two sections requires that the existing detached garage and dwelling are attached.

21A.40.050.B2a: In the FR, R-1, R-2 and SR residential districts the maximum building coverage of all accessory buildings, excluding hoop houses, greenhouses, and cold frames associated solely with growing food and/or plants, shall not exceed fifty percent (50%) of the building footprint of the principal structure up to a maximum of seven hundred twenty (720) square feet for a single-family dwelling and one thousand (1,000) square feet for a two-family dwelling. The maximum footprint for a primary accessory structure within the SR-1A is limited to four hundred eighty (480) square feet with an additional one hundred twenty (120) square feet allowed for a secondary accessory structure. Notwithstanding the size of the footprint of the principal building, at least four hundred eighty (480) square feet of accessory building coverage shall be allowed subject to the compliance with subsection B1 of this section.

21A.40.200.3a: Bulk Requirements: Shall comply with all applicable general yard, bulk, and height limitations found in section 21A.40.050 of this chapter and any accessory building regulation found in the underlying zoning district or any applicable overlay zoning district unless otherwise regulated by this section. An accessory dwelling unit located in an additional accessory building may be constructed and shall not count towards the maximum square footage of all accessory buildings as stated in subsection 21A.40.050B2 of this chapter. The accessory building containing an accessory dwelling unit shall not have a footprint that is greater than fifty percent (50%) of the footprint of the principal dwelling, and shall not exceed six hundred fifty (650) square feet. An accessory building that contains an accessory dwelling unit and any other permitted accessory use shall comply with all building coverage requirements in section 21A.40.050 of this chapter.

Other requirements: It is unclear if the proposed ADU complies with section 21A.40.200.E.3.g: Requirements for Windows. Building code reviewer will need to determine if the proposed windows exceed the minimum Building Code requirement, which is not allowed. West facing windows require obscured glazing or other measures as outlined in code.

The owners will need to comply with section 21A.40.200.F: Registration Process.

No other zoning issues noted.

--Comments provided by Kevin Hamilton, Development Review Planner II. He can be reached at kevin.hamilton@slcgov.com.

BUILDING:

No Building Code issues with the Conditional Use permit. A full building code review will be required before a building permit will be issued.

--Comments provided by Todd Christopher, Plans Examiner III. He can be reached at (801) 535-7918 or todd.christopher@slcgov.com.

FIRE:

The following comments are regarding fire code requirements for the proposed ADU:

For R-3 occupancies up to 30-feet in height, the fire department access road shall be a minimum of 20-feet wide and have an unobstructed clear height of 13-feet 6-inches. For structures greater than 30-feet in height, the roads shall be a minimum of 26-feet in width. The structures shall be placed so the access roads are a minimum of 15-feet away, but not more than 30-feet from the face of the structure. Regardless of height, the fire department access road(s) shall be provided with a maximum grade of 10%, approach and departure of 8 degrees, turning radiuses of 20-feet inside and 45-feet outside. Access roads shall be capable of supporting imposed loads of 80,000 pounds. When the structures are more than 30-feet in height, no utility lines or guy lines shall be placed over or between the fire aerial apparatus access roads and the structures.

-All proposed structures shall be within 150-feet to all exterior portions of the proposed structures from fire apparatus access roads. Measurements are made in straight lines and right angles as the hose would be pulled.

-A fire hydrant shall be within 400-feet of all exterior portions of proposed structures. Measurements are made in straight lines as right angles as the hose would be pulled from the hydrant to the structures.

--Comments provided by Douglas Bateman, Fire Protection Engineer. He can be reached at douglas.bateman@slcgov.com if further assistance is needed.

TRANSPORTATION:

One additional parking stall is required for the ADU. It appears that this is being accommodated by a second garage.

--Comments provided by Michael Barry, Engineer V. He can be reached at (801) 535-7147 or Michael.barry@slcgov.com.

ENGINEERING:

Engineering does not need to review ADU unless there is an impact to the public way, including public alleys.

--Comments provided by Scott Weiler, Engineer VI. He can be reached at (801) 535-6159 or scott.weiler@slcgov.com.

PUBLIC UTILITIES:

No objection to the proposed Conditional Use.

Once approved, the applicant needs to submit plans for a Building and Utilities Development Permit. The Site plan needs to include existing and proposed utilities.

--Comments provided by Jason Draper, Engineer VI. He can be reached at (801) 483-6751 or jason.draper@slcgov.com.