



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission
From: Chris Lee, 801-535-7706
Date: November 8, 2018
Re: PLNSUB2018-00496 and PLNSUB2018-00668 – Guadalupe Row Houses

Planned Development and Preliminary Subdivision

PROPERTY ADDRESS: 525, 527, 529, 531 West 500 North, 462, 470 N Beaumont Court

PARCEL ID: 08-36-152-022, 08-36-152-031, 08-36-152-030, 08-36-152-021, 08-36-152-029, 08-36-152-046, 08-36-152-033

MASTER PLAN: Capitol Hill

ZONING DISTRICT: SR-3 (Special Development Pattern Residential)

REQUEST: Jarod Hall, on behalf of the owner, Riley Rogers, has initiated petitions to develop residential row houses on 7 parcels at approximately 529 West 500 North via a Planned Development and Preliminary Subdivision. Currently, there are 2 single family dwellings and a garage on 3 of the parcels with the rest being undeveloped. The proposed development will consist of two residential buildings with a total of 13 units. The planned development seeks to allow for 7 units in one building (6 are allowed per the zoning ordinance), lots without public street frontage, and setback, lot size and width adjustments. The subdivision is to reapportion the land to provide a lot for each unit and one grassy common area. The Planning Commission has final decision making authority for planned development and preliminary subdivision design reviews.

RECOMMENDATION: Based on the information in this staff report, Planning Staff recommends that the Planning Commission approve both the planned development and preliminary subdivision as proposed, subject to compliance with all applicable regulations, and with the following conditions:

- Only the specific changes addressed in this report as part of the planned development or preliminary subdivision review are modified. The applicant must comply with all other applicable zoning regulations.

ATTACHMENTS:

- A. Vicinity and Zoning Map
- B. Site Photos
- C. Site Plan
- D. Plat Map
- E. Plan Set and Renderings
- F. Additional Materials
- G. Existing Conditions
- H. Analysis of Standards

- I. Public Process
- J. Department Comments

PROJECT DESCRIPTION:

Overview

As illustrated on the following map, the site of the proposed development is located midblock between 500 and 600 West on 500 North. It is considered to front on 500 North and extends well into the



Proposed Development Area

interior of the block. The total land area is composed of seven individual parcels and a small section of a private road directly adjacent to the neighboring property to the east (521 West 500 North) known as Beaumont Court. The map indicates that there are eight parcels but two of them actually share the same parcel identification number and are considered to be one. The subject parcels are currently occupied by two single family dwellings and one garage which would all be demolished to allow for the proposed development. All structures on the properties directly abutting to the west along Erie Street and to the south, are single family dwellings. The subject parcels are zoned SR-3 (Special Development Pattern Residential) and are approximately .5692 acres (24,795 square feet) in cumulative size. ([See Attachment A for the vicinity/zoning map](#))

Site Configuration and Perimeter Setbacks

With the parcels having a combined square footage of 24,803 square feet, the applicant is proposing a preliminary subdivision that will reapportion the 7 existing parcels into 14 separate parcels. 13 of the parcels would be for row house units with a lot held in common as a grassy area at the south end of the project for use of the residents of the development. Beaumont Court, located at the northeastern corner of the development area, would be widened and lengthened as common area to allow for access to ground floor parking garages for each of the proposed townhouse units while front doors would be located on the west side. Front doors, with the exception of the end unit which will face 500 North, are located on the west side of the structures and will be accessible by a sidewalk running along the length of the project area ([see Attachment C for site plan](#)):

As indicated on the site plan, the setbacks for the two proposed buildings from the perimeter lines are:

North Perimeter: 7' 7.5"

East Perimeter: 10' 8.75" (abutting Beaumont Court) and 22' 8" (when not abutting Beaumont Court)

West Perimeter: 10' 8.5"

South Perimeter: 35' 4.75" (southwest corner) and 4' 5.75" (southeast corner)

These setbacks meet the SR-3 standards with the exception of the north perimeter. Both the setbacks and the reduction being sought are discussed in more detail in *Consideration 2* of the *Key Considerations* section of the staff report.

Access

The garages attached to each proposed unit are accessed from Beaumont Court, a private right-of-way to the east of the project site that measures approximately 10' wide and 116' deep. The applicant originally submitted plans showing it as a private drive owned by the developer. However, The City Surveyor is of the opinion that the documents included in the title report are not sufficient to determine ownership by the applicant. Therefore, the application has been amended to not include Beaumont Court as part of the development area. The developer may pursue a quiet title process before the final subdivision is submitted to establish himself as the definitive owner if he chooses to do so. Regardless of ownership, the use of the drive will not change. It appears to currently provide access to the two buildings that directly abut it to the east and an easement would be placed on it which will maintain existing access to the neighboring parcel while being extended and improved as part of the proposed development. That easement is shown on the preliminary plat map submitted as part of this application.

Building Massing and Materials

The proposed buildings are two stories in height with the one that fronts on 500 North having seven units while the other has six units. The design of the buildings is characterized by the sloping roofs that run across the entire width of the individual units ([see Attachment E for greater detail](#)) with those on the front building oriented towards the north while those on the rear building being oriented toward the south. Each unit will provide two stories of living space with 2000 total square feet between the

two levels (with the exception of the end unit which will be 2015 square feet). Seven of the units will have two bedrooms and 2.5 bathrooms and six of them will have three bedrooms and 2.5 bathrooms. Each unit also meets the parking requirement with a two car garage. Building materials will consist of a combination of stucco material (EIFS), two types of metal cladding, and asphalt shingles.

Planned Development Objectives

To obtain approval of a Planned Development, at least one of six objectives must be met as indicated in section 21A.55.010 of the Salt Lake City zoning code. The applicant has provided written arguments ([Attachment F](#)) that his petition complies with the *Master Plan Implementation* objective:

Master Plan Implementation: A project that helps implement portions of an adopted Master Plan in instances where the Master Plan provides specific guidance on the character of the immediate vicinity of the proposal:

- 1. A project that is consistent with the guidance of the Master Plan related to building scale, building orientation, site layout, or other similar character defining features.*

Planning Staff is of the opinion that that the following *Housing* objective should also be considered while reviewing this project because it is being met as well:

Housing: Providing affordable housing or types of housing that helps achieve the City's housing goals and policies:

- 2. The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood.*

KEY CONSIDERATIONS:

The key considerations listed below have been identified through the analysis of the project, neighbor and community input, and department review comments.

1. Plan Salt Lake and the Capitol Hill Master Plan
2. Reduced Setbacks
3. Interaction of the End Unit with 500 North
4. Number of Units per Building
5. Lack of Street Frontage
6. Reduced Minimum Lot Widths and Area
7. Roof Slope
8. Development Potential (SR-3 Standards vs. Planned Development)

Consideration 1 – Plan Salt Lake and the Capitol Hill Master Plan

The project site is located within the boundaries of the *Capitol Hill Master Plan* area as well as the city-wide *Plan Salt Lake*. *Plan Salt Lake* addresses a broad range of issues important to the entire city. Chapter 2 of *Plan Salt Lake* focuses on the best ways to encourage positive growth throughout the city and lists several initiatives to achieve those goals including the following:

- 3. Promote infill and redevelopment of underutilized land.*
- 6. Accommodate and promote an increase in the City's population.*

Chapter 3, *Housing*, has the following pertinent initiatives:

1. *Increase the number of medium density housing types and options. Direct new growth toward areas with existing infrastructure and services that have the potential to be people-oriented.*

And Chapter 7, *Parks & Recreation*, also contains a pertinent initiative:

4. *Provide accessible parks and recreation spaces within ½ mile of all residents.*

The proposed project meets each of the initiatives listed above. It would help maintain neighborhood stability, character, and diversity by providing more housing (increase from 2 single family dwellings to 13 townhouses) in an area that already exists as a mix between single family and multi-unit residential along with commercial and manufacturing/distribution uses. It is also less than a block away from Guadalupe Park (located on the southwest corner of the intersection of 500 North and 600 West).

The *Capitol Hill Master Plan* lays out an extensive vision for the area. The proposed development is located within the *Guadalupe Neighborhood and Railroad Redevelopment Area*. Infill development is called out as one of the crucial *Planning Issues* within the Guadalupe neighborhood:

The 1984 Guadalupe Target Area Plan proposed strategies for stabilizing the low-density residential land uses. This target plan also identified areas for medium to high-density residential development. Some housing structures have been removed and replaced with new low-density housing. Medium and high-density housing have never developed as anticipated in the plan. In 1995 the Guadalupe Neighborhood was downzoned as part of the adoption of a new zoning ordinance for Salt Lake City. Current zoning patterns include low-density residential zoning along 600 West with medium density residential zoning along the interstate and on large vacant parcels. The potential exists for more infill housing in the Guadalupe area. It currently contains approximately 19 acres of vacant land zoned residential, the majority of which is zoned for low-medium density residential development. Because the area contains 10-acre blocks with deep lots, there are large portions of unused property which exist on the interior of these blocks. This space often times becomes neglected storage areas for inoperable automobiles and other junk. New housing could potentially be built in these areas through proper block redesign. Developers of infill and block redesign housing in the Guadalupe Neighborhood should analyze and be sensitive to existing development characteristics on the neighborhood, including lot and street patterns, density, building orientation and building materials.

Specific policies associated with infill development include the following:

- *Require that new residential development be compatible in scale, design, site configuration and character with the historical development patterns present in Guadalupe, to strengthen the stability of the neighborhood.*
- *Resubdivision of land should consider the area's existing land development pattern.*

This project directly responds to the call within the *Capitol Hill Master Plan* to provide medium to high-density residential development on land that extends deeply into the center of underutilized blocks. The Future Land Use Map indicates that this proposed development is located within an area that is designated as Medium Density Residential (15-30 dwelling units per acre). The density for this project would be 22.8 dwelling units per acre which classifies it as medium density. It is proposed as a row house development which has been successfully implemented throughout the neighborhood previously at locations such as Hodges Lane, Edmonds Place, and Bliss Court. Consequently, Planning Staff is of the opinion that the proposed residential project meets both the expansive visioning and principles of the overall *Capitol Hill Master Plan* as well as the more directed initiatives outlined for The Guadalupe neighborhood.

Consideration 2 – Reduced Front Yard Setback

For a planned development and subdivision such as this, the perimeter of the entire project is considered when designating yards and the required setbacks for those areas. Consequently, these are the yard designations:

- Front Yard: The northernmost property line adjacent to 500 North
- Interior Side Yards: The perimeter lines on the east and west sides as well as the southeast corner
- Rear Yard: The southernmost property line in the southwest corner

Yard designations, measurements of the setbacks for other principal buildings on the block face, and the zoning districts in which they are located, are illustrated in the following image:



 Approximate Outline of Proposed Structures ↔ Approximate Setback Distances

The SR-3 zone requires that the front yard setback should be established per these criterion:

The minimum depth of the front yard for all principal buildings shall be equal to the average of the front yards of existing buildings within the block face. Where there are no existing buildings within the block face, the minimum depth shall be ten feet (10'). Where the minimum front yard is specified in the recorded subdivision plat, the requirement specified on the plat shall prevail. For buildings legally existing on April 12, 1995, the required front yard shall be no greater than the established setback line of the existing building. (21A.24.100.E.4)

As shown on the map, the average of the front yard setbacks along the block face is 9' 6", establishing it as the required setback for the proposed structures. The applicant is petitioning to reduce down to 7' 7.5" seeing as the proposal does not meet the setback requirement. Planning Staff believes the request to be reasonable in that it is a relatively minor adjustment and serves to transition between the SR-1A and TSA-UC-T zones. Similar to the SR-3 zone, the SR-1A zone considers the average setbacks of existing buildings along the block face to set the standard. However, it has a minimum of a 20 foot setback otherwise, while the SR-3 setback is 10 feet and the TSA requires no setback at all. Consequently, the requested reduction serves to transition between greater setbacks to the west and no setbacks to the east.

While adjustments to interior side yard setbacks are not being sought in this petition, there are some items that should be mentioned. The SR-3 zone has the following criteria:

3. Interior Side Yard:

b. Single-family attached and twin home dwellings: When abutting a single-family dwelling, a four foot (4') yard is required, otherwise no interior yard is required. Where a yard is provided, it shall be not less than four feet (4'). (21A.24.100.E.3)

The proposed project only abuts single family dwellings along interior side yards on the west side and in the southeast corner to trigger the 4' setback. The setbacks along the west side are 10' 8.5" which allows more than sufficient space for the sidewalk and yard area along that side which provides access to the westward facing front doors. Although the western perimeter is considered the interior side yard for the overall project, the individual lots created via the subdivision are oriented with the front towards the west and the rear to the east. The 10' 8.5" setback exceeds the required front yard setback along the block face of 9' 6" meaning that even if the western setback was considered the front yard, it would meet the setback standard.

The setback along the interior side yard in the southeast corner is 4' 5.75" which exceeds the required 4' by a few inches. Additionally, the single family dwelling on the abutting lot to the south is located more than 75' away from the proposed building so the likelihood of inverse impacts is greatly reduced.

Consideration 3 – Interaction of the End Unit with 500 North

Given the layout of the proposed structures extending in a single line deep into the block, the design of the end unit fronting on 500 North is important to maintain, and potentially enhance, the character of the neighborhood. End units such as this should be oriented

toward the street with entrances, windows, and other elements that clearly indicate that it is the front of the building.

The applicant has focused on a design for the end unit that features it as the unequivocal front façade of the home. A sidewalk leads from the street sidewalk along 500 North directly to the front door across the front yard. The entrance is strongly signaled by the prominent green coloration above the door as well as darker gray to the sides. The front door is framed by an appropriate overhang above it, small vertical window directly next to it, and complementary horizontal windows to the left of them which rise up the full height of the façade. Planning staff is of the opinion that the design of the northernmost unit achieves a successful front façade in that it creates visual appeal and interest to those passing by on 500 North and clearly signals the location of the main entrance.

Consideration 4 – Number of Units per Building

Single family attached dwellings are allowed in the SR-3 zone but it is stipulated that, “Not more than 6 dwellings may be attached together”. The submitted plans call for the northernmost building to have 7 units while the rear building has 6 units. The standard of no more than 6 attached units is primarily meant to avoid monolithic buildings along street frontages that overwhelm pedestrians. By limiting the number of units per building, development is broken up into various structures to allow for visual separation and a more pleasing environment.

With this development going into the middle of a block away from the street, Planning Staff is of the opinion that the need to limit the number of units per structure is reduced. Given that, along with the request for only one additional unit in one of the buildings, Planning Staff recommends approval of this request.

Consideration 5 – Lack of Street Frontage

Section 21A.36.010C of the Zoning Ordinance states that all lots must have frontage on a public street. Given the narrow nature of the site, public street frontage for all the lots is not a viable option and only the northernmost lot along 500 West has street frontage. Consequently, the applicant is seeking relief from that requirement as stipulated in the Subdivision chapter of the zoning code (20.12.010.E.1) via planned development. Staff supports this request.

Consideration 6 – Reduced Minimum Lot Widths and Area

The SR-3 zone requires a minimum lot area of 1,500 square feet for each single family attached dwelling unit. This project provides a total which surpasses that minimum as illustrated by dividing 24,795 total square feet by 13 units to equal an average of 1,907.3 minimum lot area for each unit. The smallest parcels would each have a minimum lot area of 1,540 square feet while the largest would be 2,175 square feet. The SR-3 standards indicate that minimum lot widths are 22 feet. To accommodate the proposed development, nine of the parcels would have a minimum lot width of 21 feet 3 inches, with the other four exceeding the required minimum. Please see the site plan in [Attachment C](#) for more details.

Consideration 7 – Roof Slope

There was only one public comment received for this project ([see Attachment I](#)). It was submitted during the open house held on September 20, 2018 and generally praised the design, location, and potential cost of the units. It did make one suggestion however: to adjust the slope of the roofs from a northward orientation to take advantage of as much of the southern sun exposure as possible for anyone that may want to utilize solar panels.

The applicant was open to the idea but mentioned that it would dramatically impact the end unit on 500 North by creating a very high front façade which would not be in character with the majority of the other buildings along that block face. However, seeing as this proposal is for two buildings, the applicant updated his submitted plans so that the roof orientation of the rear structure is south facing while the front building stays as originally proposed. Staff is supportive of this practical design change to address the public feedback.

Consideration 8 – Development Potential (SR-3 Zoning Standards vs. Planned Development Approval)

It is prudent to consider what type of development could occur on the subject parcels if only the underlying SR-3 zoning standards were utilized without seeking approval of the Preliminary Subdivision and Planned Development petitions as requested. Obviously, this proposal would be impossible without the changes to the legal parameters of the existing seven parcels to 14 parcels (with a row house on 13 of them and one used as common area) as specified in the Preliminary Subdivision petition. Due to the long, narrow shape of the project area, the development would change drastically without planned development and subdivision approval. The applicant would need to do a major redesign of the type and number of proposed structures, or simply abandon the project.

The SR-3 zoning standards indicate that 22' of width is required for single family attached or twin home dwellings on an interior lot. Seeing as the subject parcel width is only 72' 6" along 500 North, only three units could be constructed leaving a vast amount of the interior of the block undeveloped.

Such a scenario would detract from higher goals of the development. The loss of so many units goes against the overarching goals of the master plans calling for more housing in the area and the general need of housing throughout the entire city. The *Guadalupe Neighborhood* section of the *Capitol Hill Master Plan* specifically encourages development of interior blocks with these types of medium density projects that are identified as being between 15-30 dwelling units per acre. The three units currently allowed by the SR-3 standards would only provide a density of 5.27 dwelling units per acre. Additionally, the TSA-UC-T zone directly to the east of this development is a fairly intense zone in regards to uses, heights, and setbacks. This project would serve as a good transition between that zone and the less intense residential SR-3 and SR-1 zones to the west. Consequently, Planning Staff supports approval to maintain the overall design integrity of the project and to increase badly needed housing stock as supported by the master plans mentioned in Consideration 1.

DISCUSSION:

The proposed development generally satisfies the Planned Development and Preliminary Subdivision standards as well as the master plans which serve to guide community growth within the Guadalupe neighborhood. The underutilized site for the development is located within a residential area designated as medium density (15-30 dwelling units per acre) that would accommodate the increased density well (from 3.3 to 22.8 dwelling units per acre). Within the neighborhood, there are examples of other row house developments. The proposed structures are compatible with them, as well as the adjacent single family dwellings and commercial structures in regards to massing, height, and the proposed uses. As discussed in depth previously in this report as well as in the [Analysis of Standards](#) attachment, the proposed development meets the objectives of both *Plan Salt Lake* and the *Capitol Hill Master Plan* as well as the Planned Development standards for *Master Plan Implementation* and

Housing. As such, staff recommends approval of the Planned Development and Preliminary Subdivision petitions with the conditions listed on the first page of this report.

NEXT STEPS:

Planned Development and Preliminary Subdivision Approval

If the Planned Development and Preliminary Subdivision are approved, the applicant may proceed with the project after meeting all of the conditions required by City departments and the Planning Commission to obtain all necessary building permits.

Planned Development and Preliminary Subdivision Denial

If the Planned Development and Preliminary Subdivision are denied, the applicant could receive required building permits as long as the development plan is adjusted to comply with the regulations of the SR-3 zoning district.

ATTACHMENT A: VICINITY AND ZONING MAP

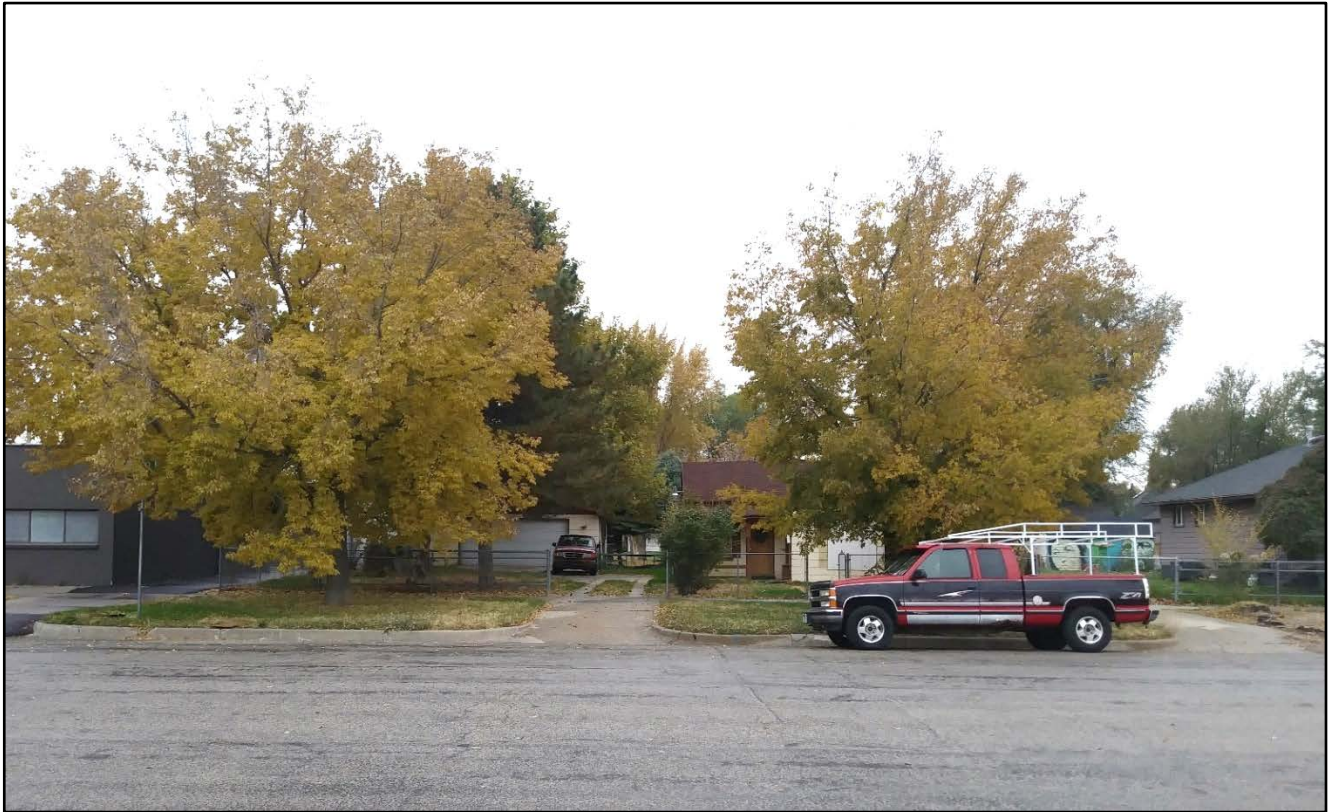


 Subject Parcels

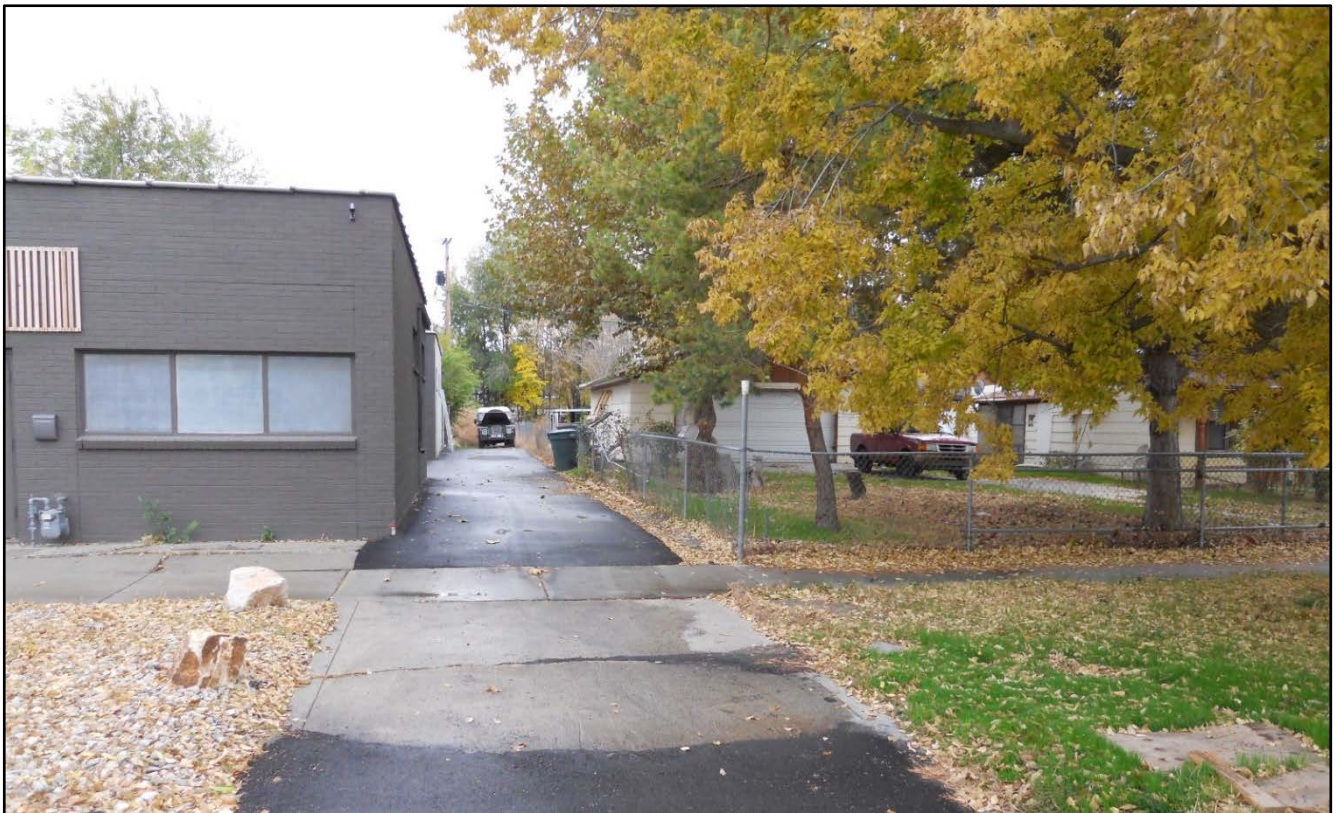
ATTACHMENT B: SITE PHOTOS



View of the subject parcels from above looking towards the south



Looking south across 500 North at the existing house and garage on the front of the property



Looking south along Beaumont Court with the garage and house to the right



On Beaumont Court looking south at much of the undeveloped portion of the site



More extensive view of the rear of the property and the other house (white) that will be removed

ATTACHMENT C: SITE PLAN

ZONING ANALYSIS
SR-3

THE PROJECT WILL REDEVELOP A .569 ACRE LOT THAT IS CURRENTLY A TWO SINGLE LOW DENSITY RESIDENCES. THE PROPOSED PROJECT TAKES ADVANTAGE OF A DEEP LOT BY INFILLING THE SPACE WITH 13 2-STORY CONDOS. THE PROJECT WILL INCREASE THE DENSITY FROM 3.5 DU/ACRE UP TO 22.8 DU/ACRE.

MINIMUM LOT WIDTH	REQUIRED	PROVIDED
INTERIOR CORNER	22' 32'	21'-3" 30'-0"
MIN/MAX LOT AREA	REQUIRED	PROVIDED
SFR ATTACHED	1,500 SF 3,000 SF	1,753 MIN 2,475 MAX

MAXIMUM BUILDING HEIGHT
ALLOWED 28' MEASURED AT RIDGE OF ROOF.
27'-0" PROVIDED, SEE ELEVATIONS

REQUIRED FRONT YARD
REQUIRED MATCH AVERAGE OF BUILDINGS ON BLOCK FACE OR 10'-0" MIN. AVERAGE FRONT YARD OF BLOCK FACE IS 9.5'

DEVELOPMENT FRONT YARD IS 7' - 7.5"

REQUIRED SIDE YARD
REQUIRED 4' OR ZERO WHERE ATTACHED

10' - 8.5" PROVIDED IN WEST SIDE YARD
10' - 8.5" PROVIDED ON 5 UNITS OF EAST SIDE YARD
20' - 10" PROVIDED ON 7 UNITS OF EAST SIDE YARD

REQUIRED REAR YARD
REQUIRED 20% OR LOT DEPTH, BUT NOT MORE THAN 30'

MORE THAN 30' IS PROVIDED FOR 78% OF REAR YARD
4'-5.5" IS PROVIDED FOR 22% OF YEAR YARD

MAX. COVERAGE	REQUIRED	PROVIDED
OVERALL SITE	70% (14,216 SF / 24,795 SF)	57%

ATTACHED GARAGES
ALL ATTACHED GARAGES DOORS ARE LOCATED FACING THE SIDE YARD.

GUADALUPE
ROWHOUSES

REVISIONS:

PROFESSIONAL SEAL:

OWNER:	Revonation Home Group
PROJECT ADDRESS:	529 W 500 N, SLC, UT 84116
ARCH PROJECT #:	17-10
A.D.R.:	JDH
PHASE:	PLANNING SUBMISSION
PUBLISH DATE:	08/24/2018
SHEET SCALE:	1" = 20'-0"
SHEET NAME:	

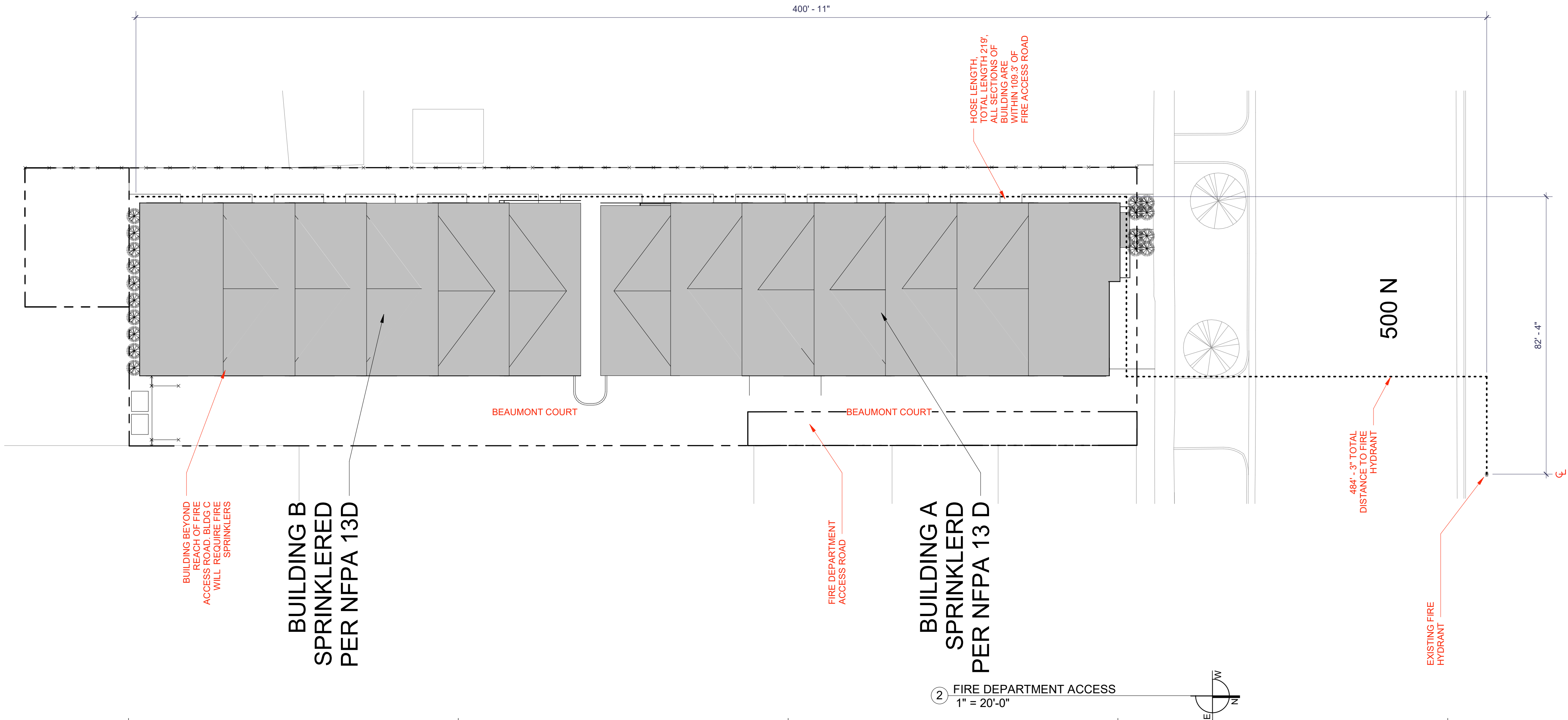
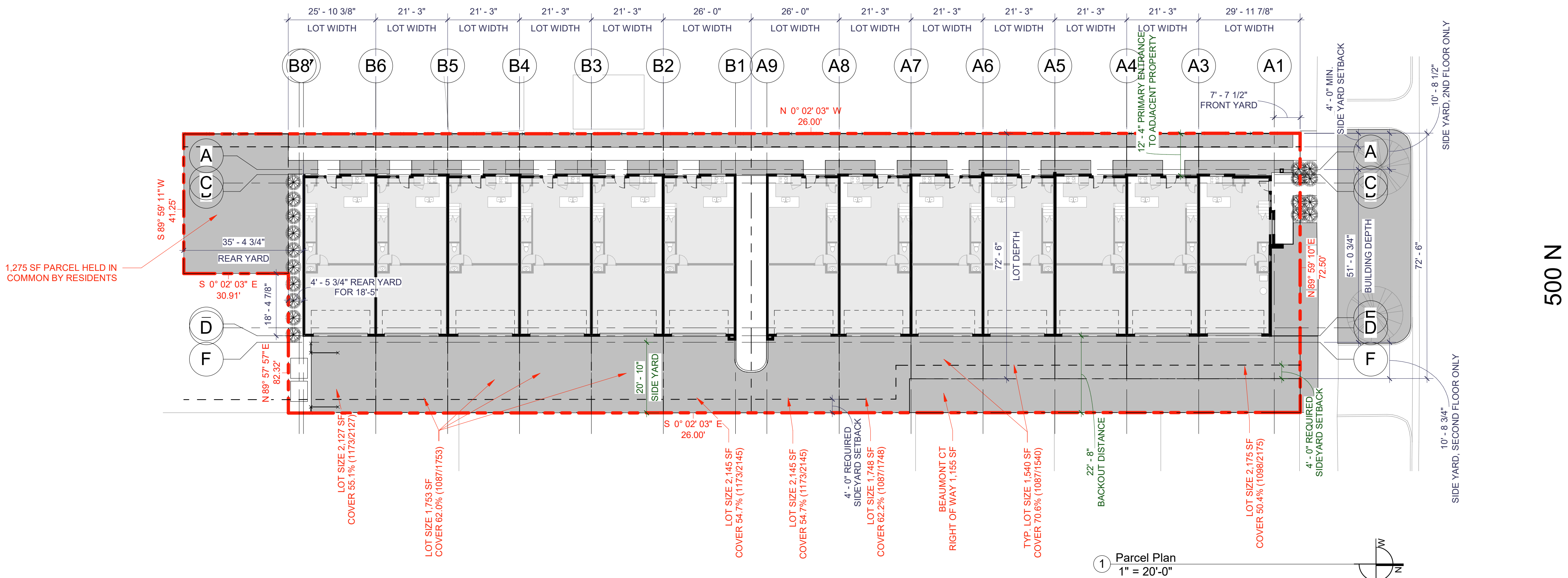
PARCEL AND
FIRE ACCESS
PLANS

SHEET NUMBER:

G100

DIVELEPT DESIGN LLC ©2018

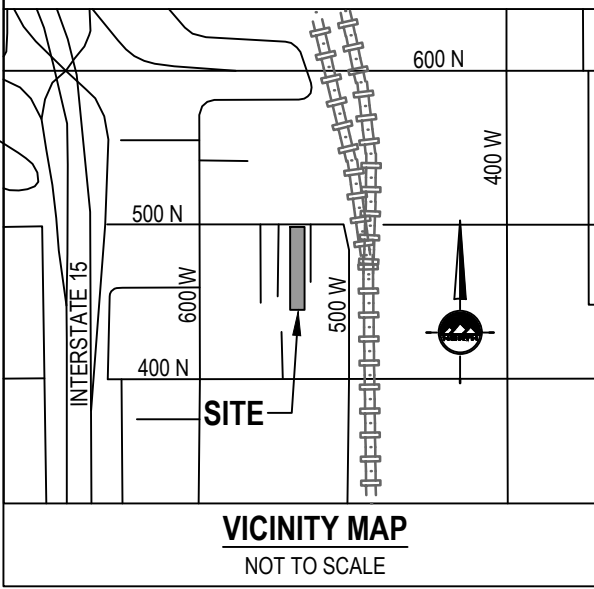
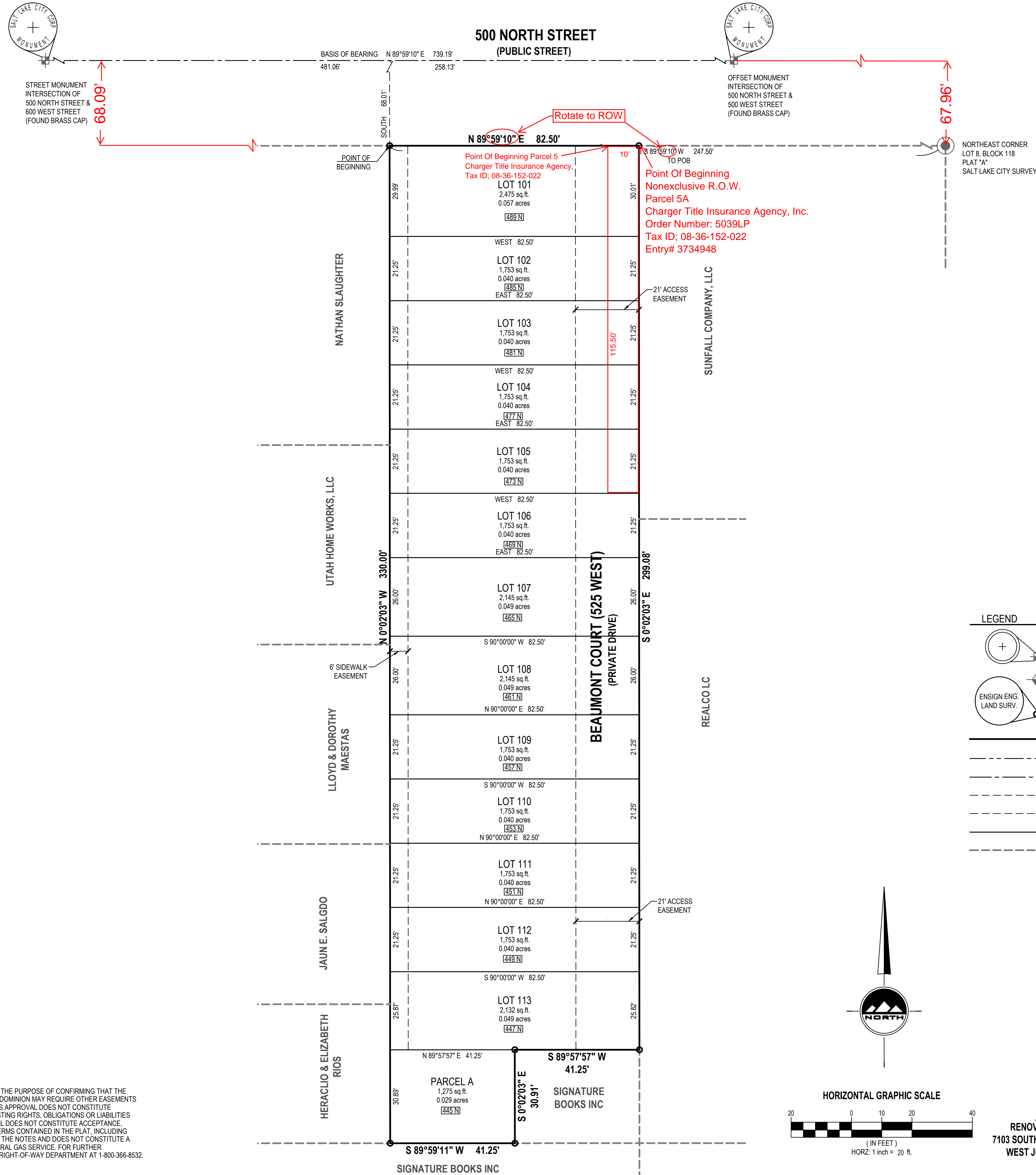
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ATTACHMENT D: PLAT MAP

GUADALUPE ROWHOUSE SUBDIVISION

LOCATED IN THE NORTHWEST QUARTER OF SECTION 36,
TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN
SALT LAKE CITY, SALT LAKE COUNTY, UTAH



SURVEYOR'S CERTIFICATE
I, PATRICK M. HARRIS, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 286882 as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as GUADALUPE ROWHOUSE SUBDIVISION, and that the same has been correctly surveyed and staked on the ground as shown on this plat.

BOUNDARY DESCRIPTION

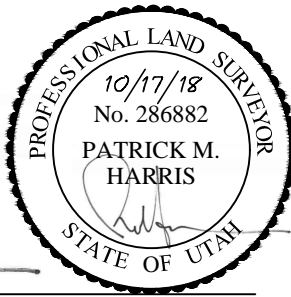
A parcel of land situate in the Northwest Quarter of Section 36, Township 1 North, Range 1 West, Salt Lake Base and Meridian, being more particularly described as follows:

Beginning at a point South 89°59'10" West 247.50 feet along the Northing of Lot 7 & 8 from the Northeast corner of Lot 8, Block 118, Plat A, Salt Lake City Survey, said point also North 89°59'10" East 481.06 feet and South 68.01 feet from the street monument at the intersection 600 West Street and 500 North Street and running:

thence North 89°59'10" East 82.50 feet along the South line of 500 North Street;
thence South 00°02'03" East 239.08 feet;
thence South 89°07'57" West 41.25 feet;
thence South 00°02'03" East 30.91 feet;
thence South 89°59'11" West 41.25 feet;
thence North 00°02'03" West 330.00 feet to the point of beginning.

Contains 25,950 square feet or 0.596 acres or 14 Lots
Parcel No. 08-36-152-021, 08-36-152-022, 08-36-152-029, 08-36-152-030, 08-36-152-031, 08-36-152-033 & 08-36-152-046.

Statement of accuracy: Linear closure of 1:187,498.



10/17/18
Date

PATRICK M. HARRIS
P.L.S. 286882

OWNER'S DEDICATION

TAG SLC, LLC, the owner of the described tract of land to be hereafter known as

GUADALUPE ROWHOUSE SUBDIVISION

, does hereby dedicate for the perpetual use of the public all streets, easements and other property as shown on this plat to be dedicated for public use and hereby consents and gives approval to the recording of this plat for all purposes shown therein.

In witness whereof, I have hereunto set our hand this _____ day of _____ A.D., 20____.

Print Name: _____

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH)
County of Salt Lake)
On the _____ day of _____ A.D., 20____, personally appeared before me _____, the signer of the foregoing instrument, who duly acknowledged to me that he/she is the _____ of _____, a Utah limited liability company, and is authorized to execute the foregoing Agreement in its behalf and that he/she executed it in such capacity.

MY COMMISSION EXPIRES: _____
RESIDING IN _____ COUNTY.

NOTARY PUBLIC

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH)
County of Salt Lake)
On the _____ day of _____ A.D., 20____, personally appeared before me _____, the signer of the foregoing instrument, who duly acknowledged to me that he/she is a _____ of _____, a Utah limited liability company, and is authorized to execute the foregoing Owner's Dedication in its behalf and that he/she executed it in such capacity.

COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____

PRINT NAME: _____
NOTARY PUBLIC COMMISSIONED IN UTAH

GUADALUPE ROWHOUSE SUBDIVISION

LOCATED IN THE NORTHWEST QUARTER OF SECTION 36,
TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN
SALT LAKE CITY, SALT LAKE COUNTY, UTAH

- ROCKY MOUNTAIN POWER NOTES:
- PURSUANT TO UTAH CODE ANN. § 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
 - PURSUANT TO UTAH CODE ANN. § 17-27A-603(4)(C)(II) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
 - A RECORDED EASEMENT OR RIGHT-OF-WAY
 - THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
 - TITLE 54, CHAPTER 6A, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
 - ANY OTHER PROVISION OF LAW.

DOMINION NOTE:
DOMINION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABOGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532.

NUMBER _____
ACCOUNT _____
SHEET 1
OF 1 SHEETS



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529
Fax: 801.255.4449
WWW.ENSIGNENG.COM

LAYTON
Phone: 801.541.1100
TOOELE
Phone: 435.863.3550
CEDAR CITY
Phone: 435.863.1453
RICHFIELD
Phone: 435.866.2983

SALT LAKE COUNTY HEALTH DEPARTMENT

APPROVED THIS _____ DAY OF _____, 20____ BY THE BOARD OF HEALTH.

SALT LAKE COUNTY HEALTH DEPT.

CITY PLANNING DIRECTOR

APPROVED THIS _____ DAY OF _____, 20____ BY THE SALT LAKE CITY PLANNING COMMISSION.

SALT LAKE CITY PLANNING DIRECTOR

CITY ENGINEER DIVISION

I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE.

CITY ENGINEER DATE CITY SURVEYOR DATE

CITY PUBLIC UTILITIES DEPARTMENT

APPROVED AS TO SANITARY SEWER AND WATER UTILITY DETAIL THIS _____ DAY OF _____, 20____.

SALT LAKE CITY PUBLIC UTILITIES DIRECTOR

CITY ATTORNEY

APPROVED AS TO FORM THIS _____ DAY OF _____, 20____, BY THE SALT LAKE CITY ATTORNEY.

SALT LAKE CITY ATTORNEY

CITY APPROVAL

PRESENTED TO SALT LAKE CITY THIS _____ DAY OF _____, 20____, AND IS HEREBY APPROVED.

SALT LAKE CITY MAYOR ATTEST: CITY RECORDER

RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF: _____
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
FEES _____ DEPUTY SALT LAKE COUNTY RECORDER

NUMBER _____
ACCOUNT _____
SHEET 1
OF 1 SHEETS

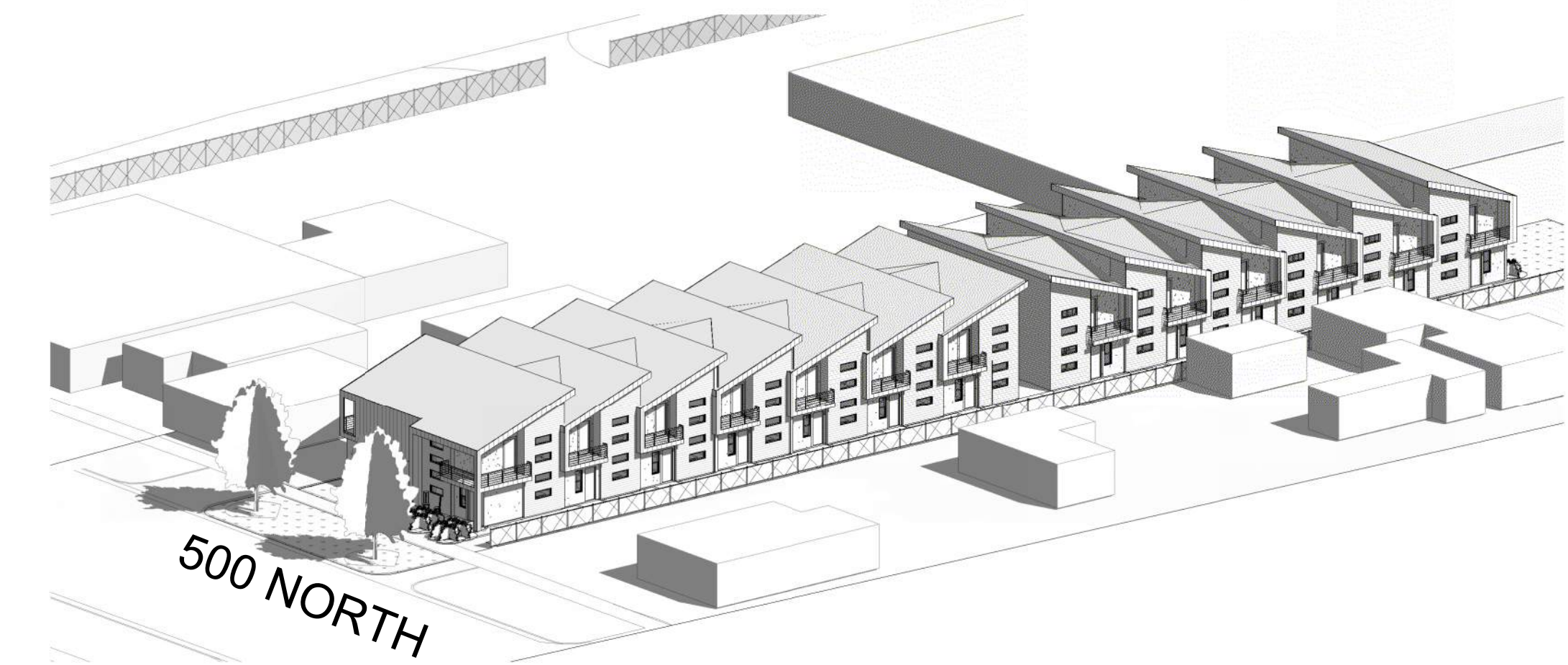
ATTACHMENT E: PLAN SET AND RENDERINGS



3 TYP/ FRONT ELEV



1 FRONT-NORTH VIEW



5 ORTHO VIEW - NW



4 ORTHO VIEW - SE



2 BACK-NORTH VIEW

GUADALUPE ROWHOUSES

REVISIONS:	
PROFESSIONAL SEAL:	
OWNER:	Revonation Home Group
PROJECT ADDRESS:	529 W 500 N, SLC, UT 84116
ARCH PROJECT #:	17-10
A.O.A.:	JDH
PHASE:	PLANNING SUBMISSION
PUBLISH DATE:	08/24/2018
SHEET NAME:	3D IMAGES

ZONING ANALYSIS
SR-3

THE PROJECT WILL REDEVELOP A .569 ACRE LOT THAT IS CURRENTLY A TWO SINGLE LOW DENSITY RESIDENCES. THE PROPOSED PROJECT TAKES ADVANTAGE OF A DEEP LOT BY INFILLING THE SPACE WITH 13 2-STORY CONDOS. THE PROJECT WILL INCREASE THE DENSITY FROM 3.5 DU/ACRE UP TO 22.8 DU/ACRE.

MINIMUM LOT WIDTH	REQUIRED	PROVIDED
INTERIOR CORNER	22' 32'	21'-3" 30'-0"
MIN/MAX LOT AREA	REQUIRED	PROVIDED
SFR ATTACHED	1,500 SF 3,000 SF	1,753 MIN 2,475 MAX

MAXIMUM BUILDING HEIGHT
ALLOWED 28' MEASURED AT RIDGE OF ROOF.
27'-0" PROVIDED, SEE ELEVATIONS

REQUIRED FRONT YARD
REQUIRED MATCH AVERAGE OF BUILDINGS ON BLOCK FACE OR 10'-0" MIN. AVERAGE FRONT YARD OF BLOCK FACE IS 9.5'

DEVELOPMENT FRONT YARD IS 7' - 7.5"

REQUIRED SIDE YARD
REQUIRED 4' OR ZERO WHERE ATTACHED

10' - 8.5" PROVIDED IN WEST SIDE YARD
10' - 8.5" PROVIDED ON 5 UNITS OF EAST SIDE YARD
20' - 10" PROVIDED ON 7 UNITS OF EAST SIDE YARD

REQUIRED REAR YARD
REQUIRED 20% OR LOT DEPTH, BUT NOT MORE THAN 30'

MORE THAN 30' IS PROVIDED FOR 78% OF REAR YARD
4'-5.5" IS PROVIDED FOR 22% OF YEAR YARD

MAX. COVERAGE	REQUIRED	PROVIDED
OVERALL SITE	70% (14,216 SF / 24,795 SF)	57%

ATTACHED GARAGES
ALL ATTACHED GARAGES DOORS ARE LOCATED FACING THE SIDE YARD.

GUADALUPE
ROWHOUSES

REVISIONS:

PROFESSIONAL SEAL:

OWNER:	Revonation Home Group
PROJECT ADDRESS:	529 W 500 N, SLC, UT 84116
ARCH PROJECT #:	17-10
A.D.R.:	JDH
PHASE:	PLANNING SUBMISSION
PUBLISH DATE:	08/24/2018
SHEET SCALE:	1" = 20'-0"
SHEET NAME:	

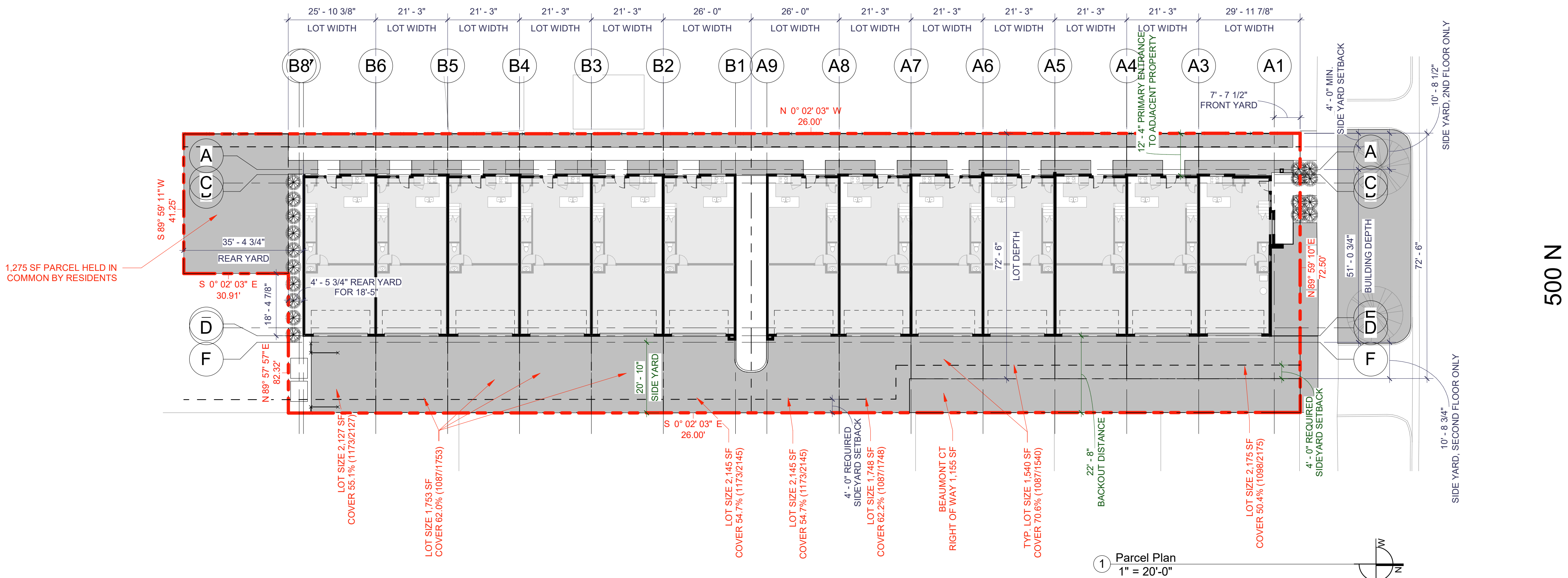
PARCEL AND
FIRE ACCESS
PLANS

SHEET NUMBER:

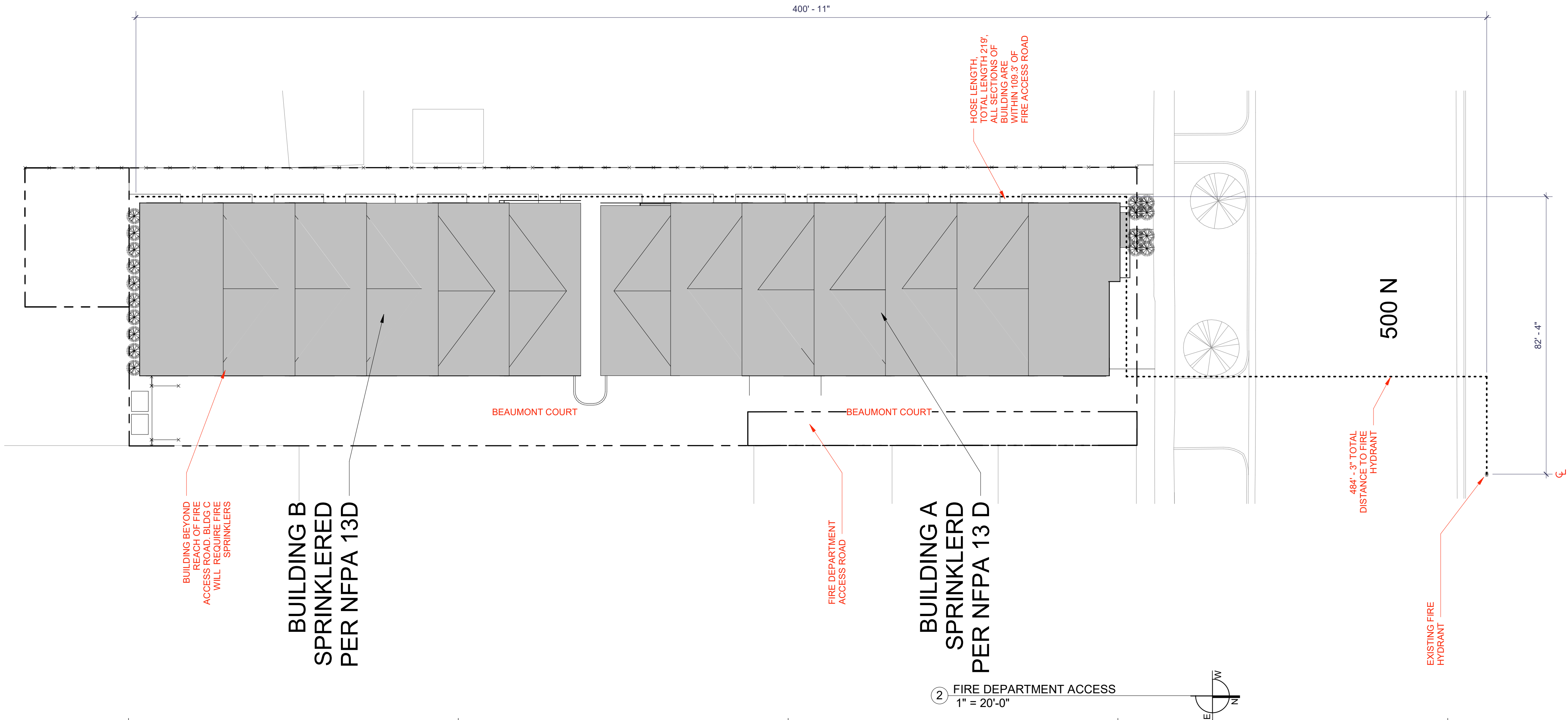
G100

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11/6/2018 9:35:55 PM



1 Parcel Plan
1" = 20'-0"



2 FIRE DEPARTMENT ACCESS
1" = 20'-0"

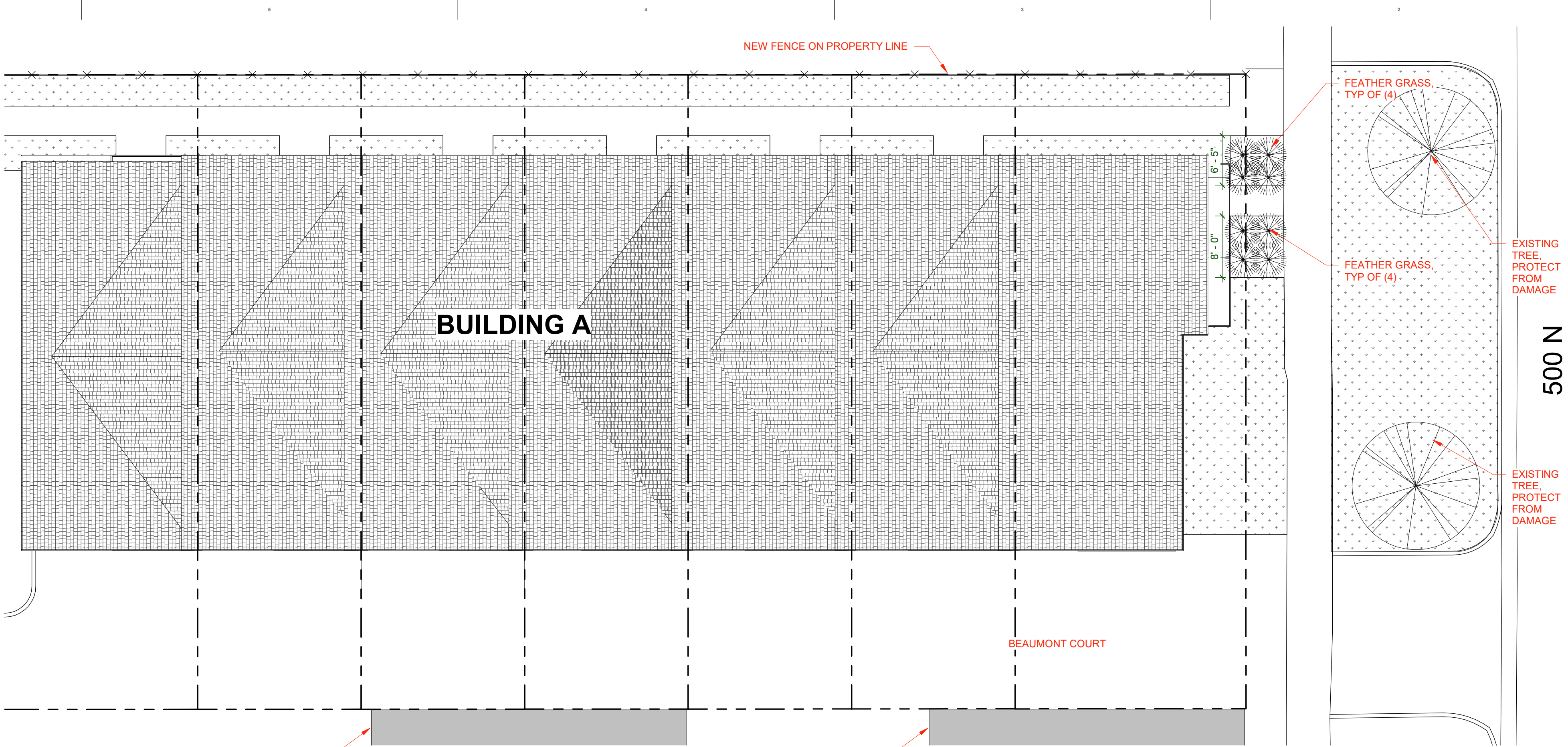


AVERAGE FRONT YARD CALCULATION
 $0' + 12.7' + 0' + 9.9' + 12.7' + 13.1' + 11.0' + 16.6' = 76.0'$
 $76.0' / 8 \text{ PARCELS} = 9.5'$
AVERAGE BLOCK FRONT YARD

GUADALUPE
ROWHOUSES

REVISIONS:	
PROFESSIONAL SEAL:	
OWNER:	Revonation Home Group
PROJECT ADDRESS:	529 W 500 N, SLC, UT 84116
ARCH PROJECT #:	17-10
A.D.R.:	JDH
PHASE:	PLANNING SUBMISSION
PUBLISH DATE:	08/24/2018
SHEET SCALE:	1" = 30'-0"
SHEET NAME:	

AERIAL IMAGE



LANDSCAPE NOTES

- ALL HARDSCAPE TO BE A MINIMUM OF 4" THICK AIR ENTRAINED CONCRETE OVER 6" ROAD BASE. UNO.
- GRADING AT THE BUILDING SHALL HAVE A 5% MINIMUM SLOPE AWAY FROM THE BUILDING FOR A MINIMUM OF 10'-0". UNO.
- CONCRETE SHALL BE SLOPED 2% AWAY FROM BUILDING. FINISH GRADE TO BE 6" BELOW TOP OF FOUNDATION, UNO.
- FINISH GRADE OF SOFTSCAPE SHALL BE 2" UNIFORMLY BELOW PAVING SURFACES UNLESS NOTED OTHERWISE. REFERENCE CIVIL AND LANDSCAPE DRAWINGS
- DROUGHT TOLERANT TALL FESCUE SOD IS A LOW/MODERATE HYDROZONE MATERIAL
- TREE REMOVAL OR PLANTING IN THE PUBLIC WAY REQUIRED APPROVAL FROM SLC URBAN FORESTRY (801-972-7818)

IRRIGATION
MP ROTATOR NOZZLES ON ALL TURF AREAS AND POINT SOURCE DRIP IRRIGATION IN ALL PLANTER BEDS. ACCORDING TO 21A.48.055

LANDSCAPE LEGEND

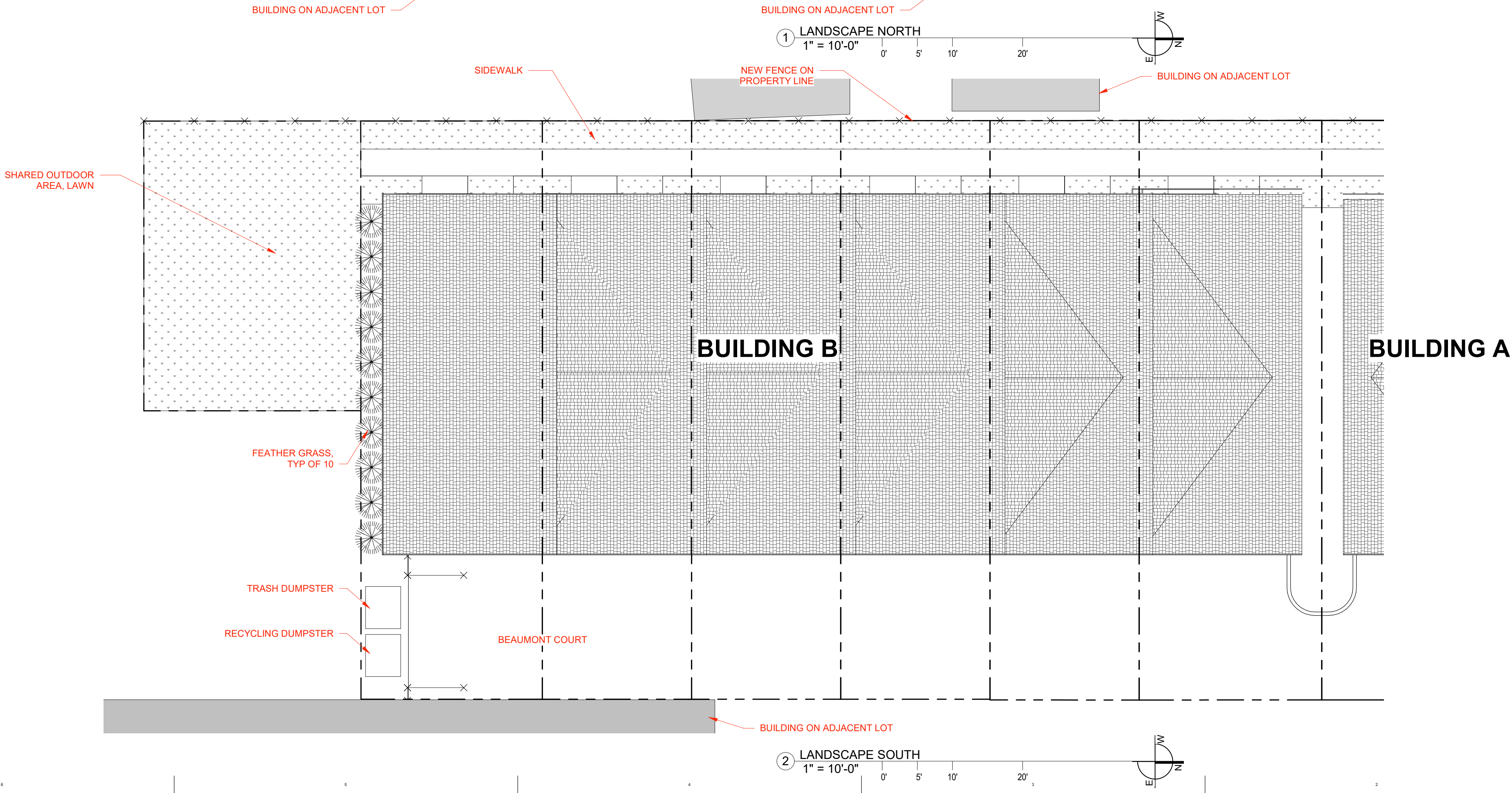
- PROPERTY LINE
- CONCRETE SIDEWALK/DRIVEWAY
- DROUGHT TOLERANT TALL FESCUE SOD
- ROCK MULCH PLANTER (3" DEPTH)

PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE
ACER GINNALA	AMUR MAPLE	1-1/2"
CALAMAGROSTIS X ACUTIFLORA 'STRICTA'	FEATHER REED GRASS	2 GAL.

AREA CALCULATIONS

TOTAL SITE AREA	25,950 SQFT
LANDSCAPE AREA PROVIDED (19.8%)	5,158 SQFT
LAWN AREA PROVIDED (82.5%)	4,257 SQFT
ROCK MULCH AREA PROVIDED (17.5%)	901 SQFT
500 N PARKSTRIP	
TOTAL AREA	2,685 SQFT
GREEN AREA PROVIDED (50.2%)	1,349 SQFT
STREET TREES (1 TREE PER 50')	82 LNFT
TOTAL TREES	2



KEYNOTES

D

di'velept

454 N 600 W, SLC, UT 84116
e: howdy@divelept.com
p: 801-680-4485
w: www.divelept.com

GUADALUPE
ROWHOUSES

REVISIONS:

PROFESSIONAL SEAL:

OWNER:	Revonation Home Group
PROJECT ADDRESS:	529 W 500 N, SLC, UT 84116
ARCH PROJECT #:	17-10
A.O.A.:	JDH
PHASE:	PLANNING SUBMISSION
PUBLISH DATE:	08/24/2018
SHEET SCALE:	1" = 20'-0"
SHEET NAME:	

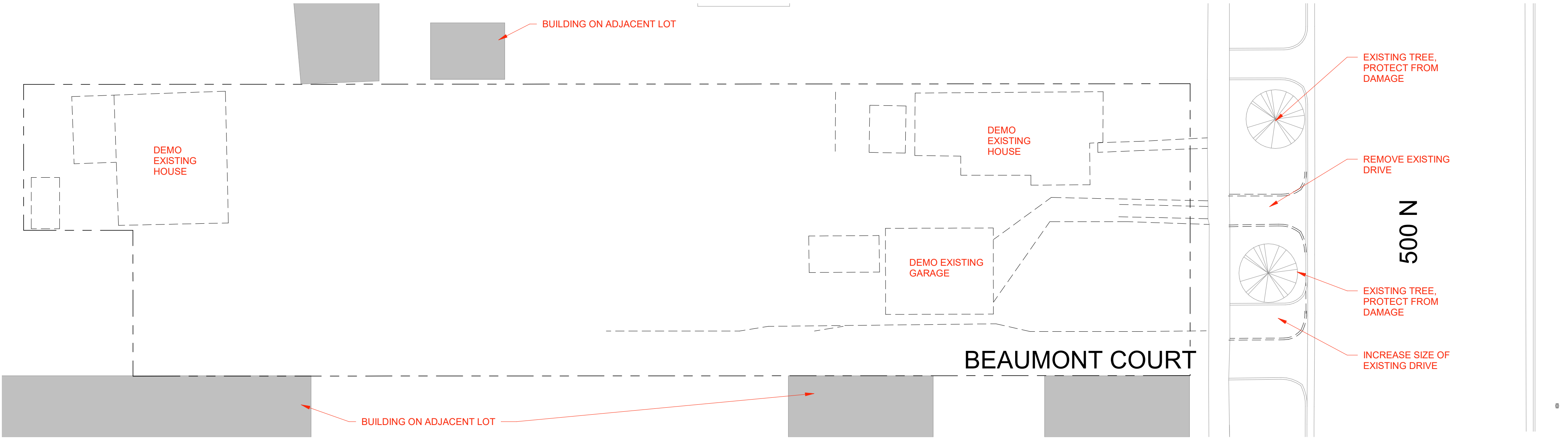
SITE PLAN

SHEET NUMBER:

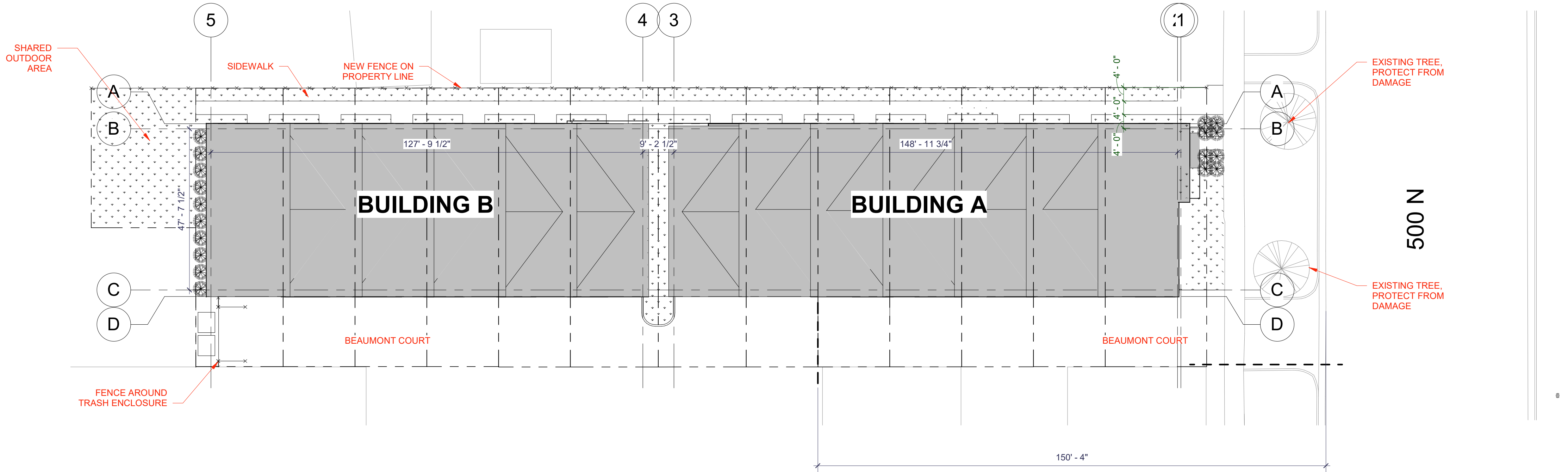
AS100

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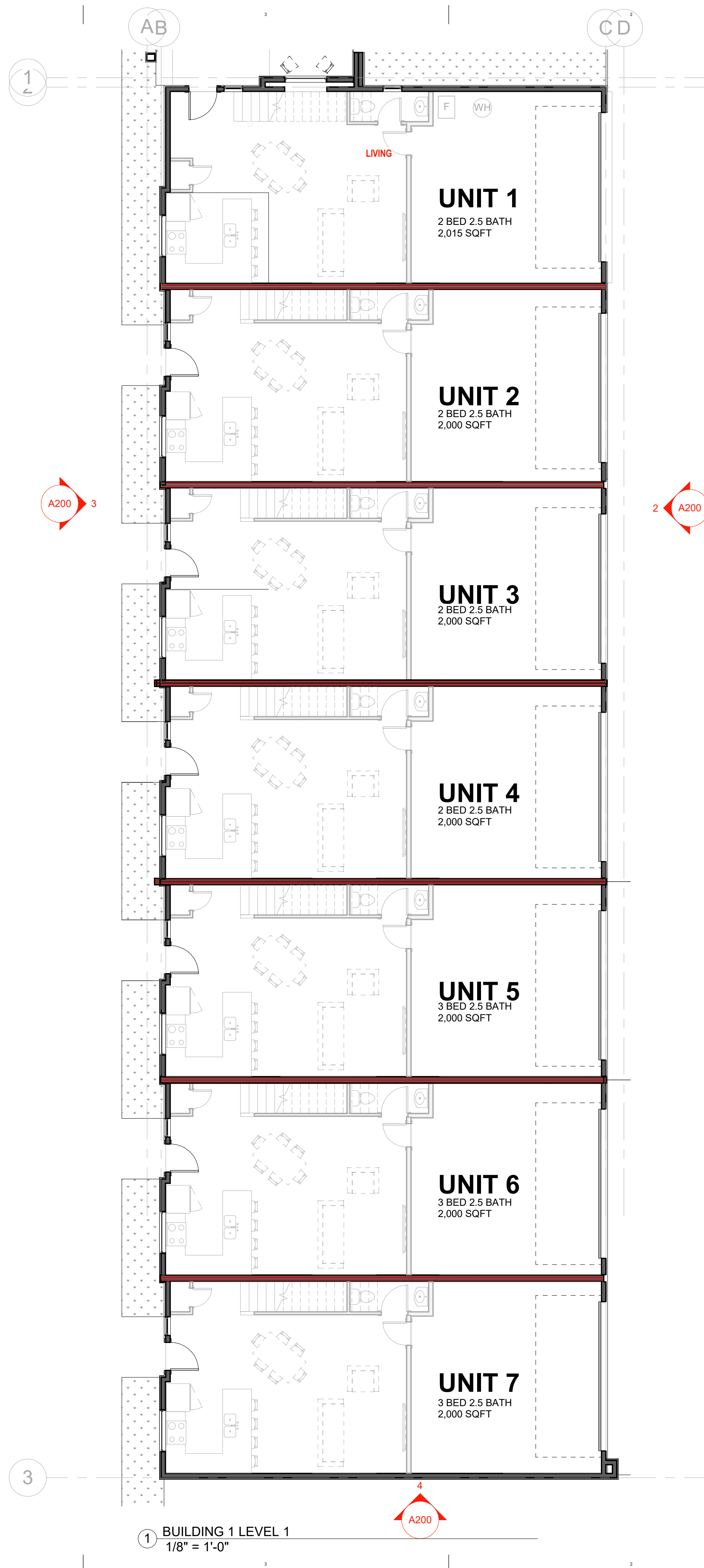
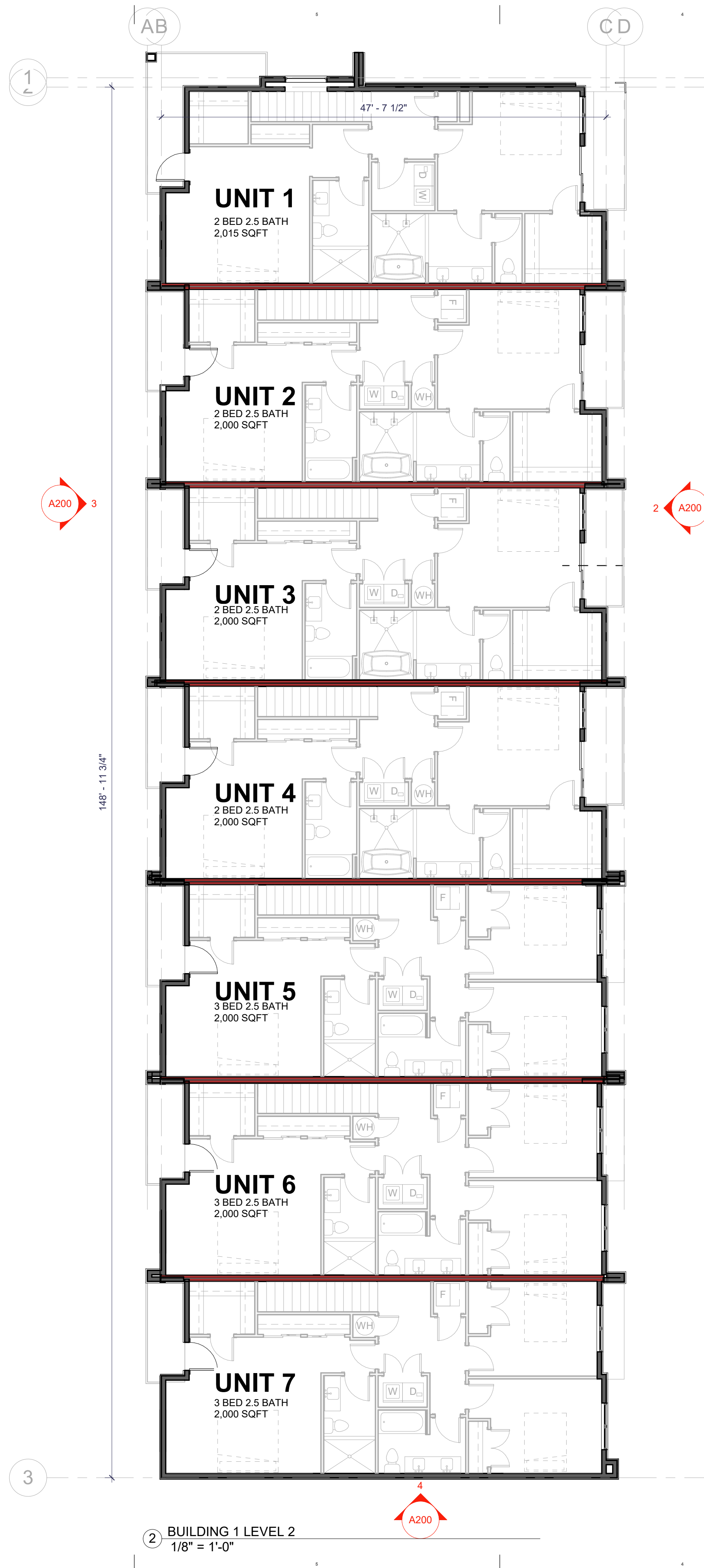
10/9/2018 9:47:18 AM



2 DEMO SITE PLAN
1" = 20'-0"



1 SITE PLAN
1" = 20'-0"



PLAN LEGEND

FRAMED WALL/COLUMN. EXTERIOR WALLS TO BE 2x6 STUD MIN, WITH R-19 BATT. PROVIDE WEATHER BARRIER AT ALL EXTERIOR WALLS. INTERIOR WALLS TO BE 2x4 STUDS.

PLAN NOTES

- DIMENSIONS PROVIDED ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED BY CONTRACTOR. THIS INCLUDES ALL WALLS, OPENINGS, DOORS AND WINDOWS.
- WINDOWS TO HAVE MAX U-VALUE OF .32. ALL WINDOWS TO BE OPERABLE UNLESS NOTED OTHERWISE.
- ANY NEW WALL OR WALL EXPOSED DURING CONSTRUCTION MUST HAVE R-20 INSULATION, MIN. BASEMENT WALLS TO BE INSULATED R-19 MIN. NEW AND EXPOSED CEILINGS TO BE INSULATED R-49 MIN. ALL CEILINGS TO BE FLAT UNLESS NOTED OTHERWISE. INSULATE VAULTED CEILINGS WITH INSULATION EQUAL TO R-49.
- SLABS TO BE INSULATED R-10 FROM FOUNDATION WALL TO 2'-0" TOWARDS INTERIOR OF HOME. FOUNDATION WALLS TO BE INSULATED R-20.
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY INCLUDING LEDGERS AND Furring WALLS MUST BE PRESERVATIVE TREATED OR FOUNDATION-GRADE REDWOOD.
- GLAZING USED IN DOORS AND PANELS OF SHOWERS AND BATHTUB ENCLOSURES AND WALLS ENCLOSING THESE COMPARTMENTS SHALL BE TEMPERED.
- TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARCH OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FT OF STAIRS, OR GLAZING WITHIN 5 FT OF SPAS OR POOLS, CERTAIN FIXED GLASS PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT.
- BATHROOM EXHAUST FANS MUST DISCHARGE DIRECTLY TO THE OUTSIDE OF STRUCTURE

KEYNOTES

GUADALUPE ROWHOUSES

REVISIONS:

PROFESSIONAL SEAL:

OWNER: Revonation Home Group
PROJECT ADDRESS: 529 W 500 N, SLC, UT 84116
ARCH PROJECT #: 17-10
A.D.R.: JDH
PHASE: PLANNING SUBMISSION
PUBLISH DATE: 08/24/2018
SHEET SCALE: 1/8" = 1'-0"
SHEET NAME:

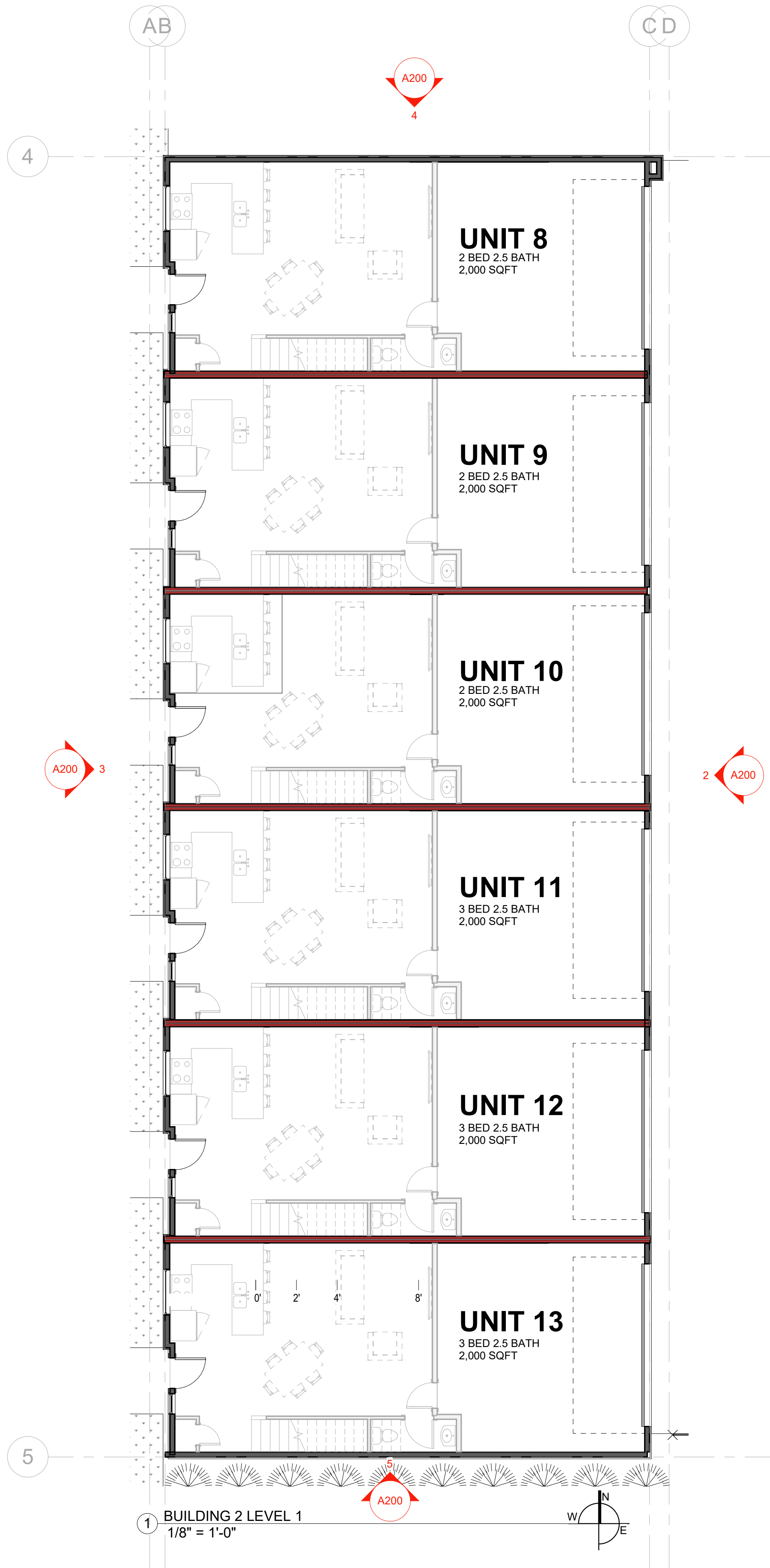
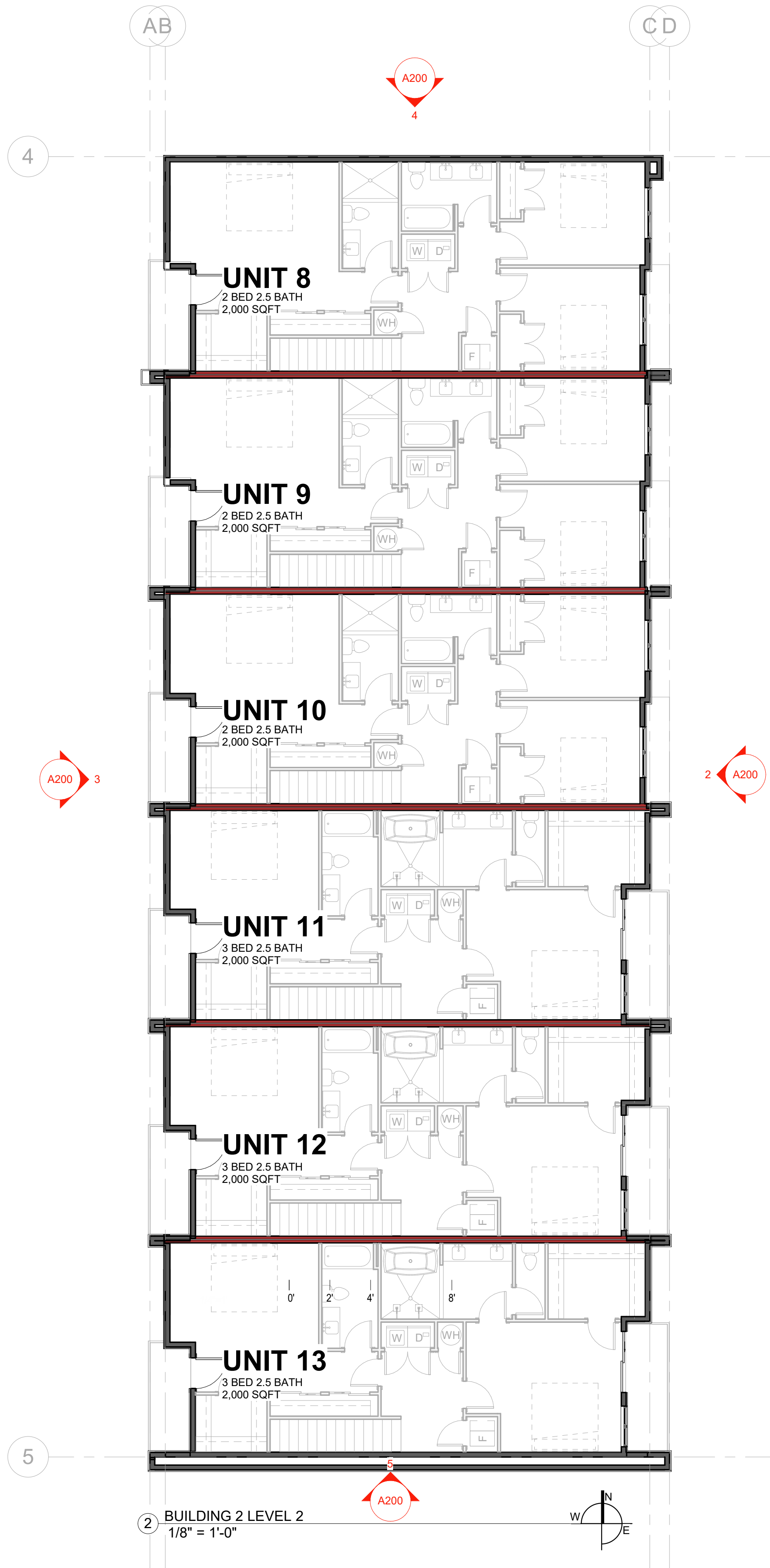
BUILDING 1 PLANS

SHEET NUMBER:

A110

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PLAN LEGEND

FRAMED WALL/COLUMN. EXTERIOR WALLS TO BE 2x6 STUD MIN, WITH R-19 BATT. PROVIDE WEATHER BARRIER AT ALL EXTERIOR WALLS. INTERIOR WALLS TO BE 2x4 STUDS.



PLAN NOTES

- DIMENSIONS PROVIDED ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED BY CONTRACTOR. THIS INCLUDES ALL WALLS, OPENINGS, DOORS AND WINDOWS.
- WINDOWS TO HAVE MAX U-VALUE OF .32. ALL WINDOWS TO BE OPERABLE UNLESS NOTED OTHERWISE.
- ANY NEW WALL OR WALL EXPOSED DURING CONSTRUCTION MUST HAVE R-20 INSULATION, MIN. BASEMENT WALLS TO BE INSULATED R-19 MIN. NEW AND EXPOSED CEILINGS TO BE INSULATED R-49 MIN. ALL CEILINGS TO BE FLAT UNLESS NOTED OTHERWISE. INSULATE VAULTED CEILINGS WITH INSULATION EQUAL TO R-49.
- SLABS TO BE INSULATED R-10 FROM FOUNDATION WALL TO 2'-0" TOWARDS INTERIOR OF HOME. FOUNDATION WALLS TO BE INSULATED R-20.
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY INCLUDING LEDGERS AND FURRING WALLS MUST BE PRESERVATIVE TREATED OR FOUNDATION-GRADE REDWOOD.
- GLAZING USED IN DOORS AND PANELS OF SHOWERS AND BATHTUB ENCLOSURES AND WALLS ENCLOSING THESE COMPARTMENTS SHALL BE TEMPERED.
- TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARCH OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FT OF STAIRS, OR GLAZING WITHIN 5 FT OF SPAS OR POOLS, CERTAIN FIXED GLASS PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT.
- BATHROOM EXHAUST FANS MUST DISCHARGE DIRECTLY TO THE OUTSIDE OF STRUCTURE

KEYNOTES

GUADALUPE ROWHOUSES

REVISIONS:

PROFESSIONAL SEAL:

OWNER: Revonation Home Group
PROJECT ADDRESS: 529 W 500 N, SLC, UT 84116
ARCH PROJECT #: 17-10
A.D.R.: JDH
PHASE: PLANNING SUBMISSION
PUBLISH DATE: 08/24/2018
SHEET SCALE: 1/8" = 1'-0"
SHEET NAME:

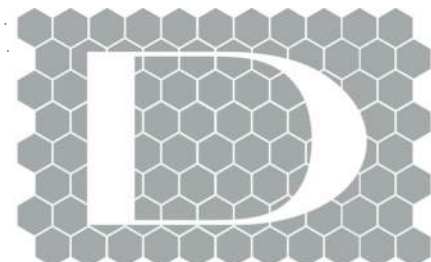
BUILDING 2 PLANS

SHEET NUMBER:

A120

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10/9/2018 9:47:04 AM



454 N 600 W, SLC, UT 84116
e: howdy@divelept.com
p: 801-680-4485
w: www.divelept.com

GUADALUPE ROWHOUSES

REVISIONS:

PROFESSIONAL SEAL:

OWNER: Revonation Home Group
PROJECT ADDRESS: 529 W 500 N, SLC, UT 84116
ARCH PROJECT #: 17-10
A.D.R.: JDH
PHASE: PLANNING SUBMISSION
PUBLISH DATE: 08/24/2018
SHEET SCALE: As indicated
SHEET NAME:

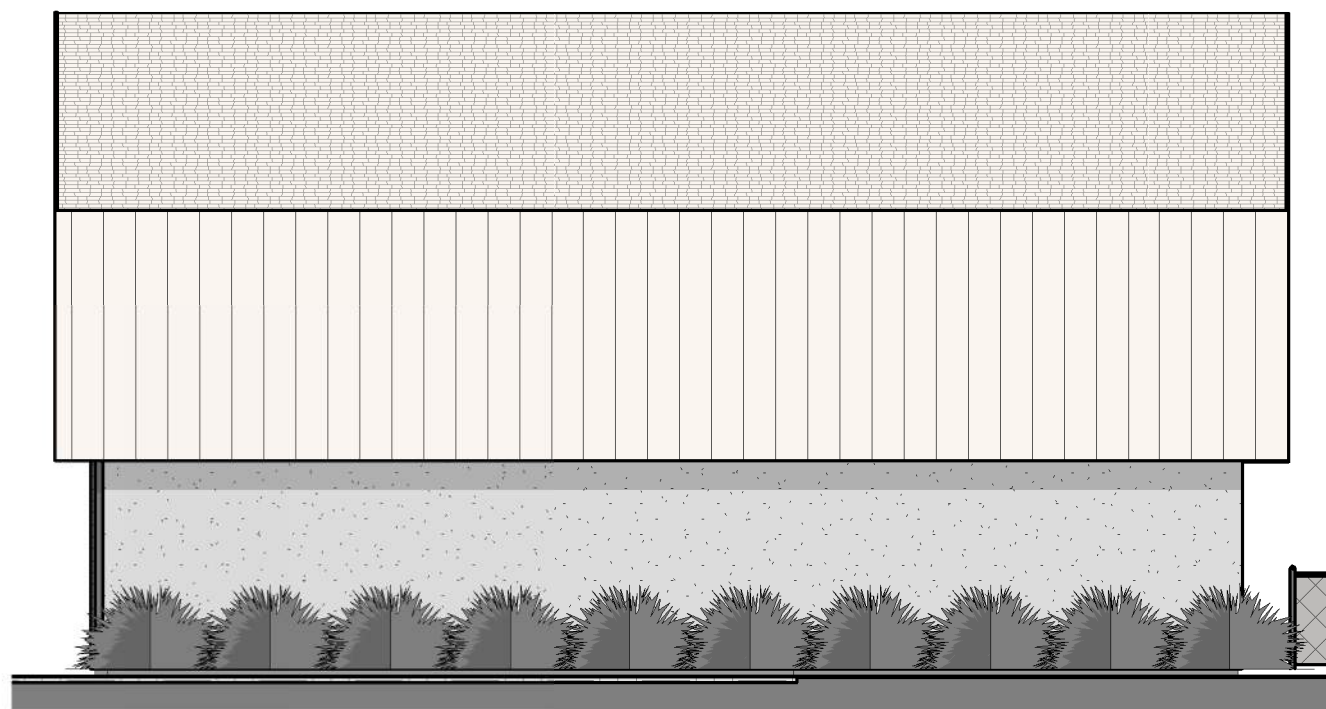
EXTERIOR ELEVATIONS

SHEET NUMBER:

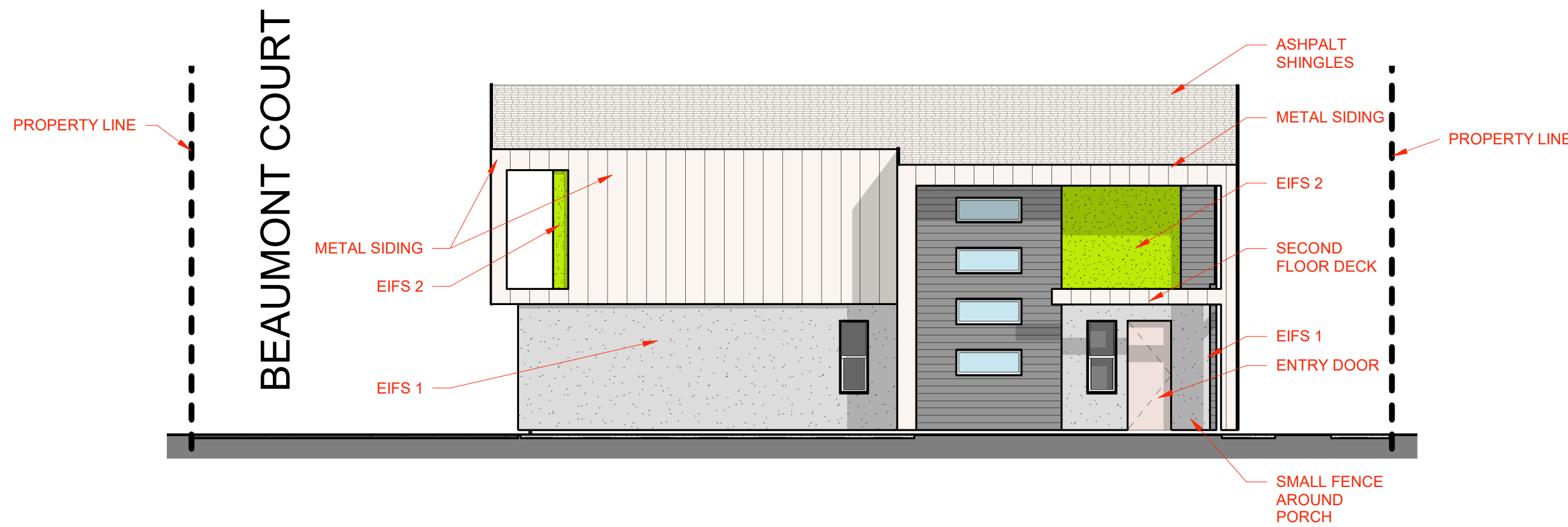
A200

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10/9/2018 9:47:16 AM



5 BUILDING B - SOUTH ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION (500 N)
1/8" = 1'-0"



4 BUILDING B - NORTH ELEVATION &
BUILDING A - SOUTH ELEVATION
1/8" = 1'-0"



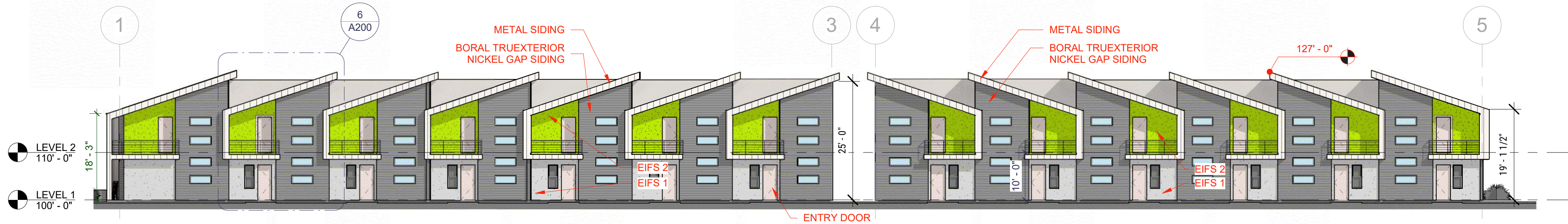
6 TYP. FRONT ELEVATION
1/8" = 1'-0"



7 TYP. 2 BED BACK ELEVATION
1/8" = 1'-0"



8 TYP. 3 BED BACK ELEVATION
1/8" = 1'-0"

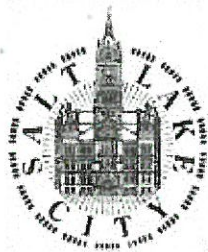


3 WEST ELEVATION (FRONT)
1/16" = 1'-0"



2 EAST ELEVATION (BEAUMONT)
1/16" = 1'-0"

ATTACHMENT F: ADDITIONAL MATERIALS



Planned Development

SALT LAKE CITY PLANNING

OFFICE USE ONLY

Project #:

PLNSUB2018-00496

Received By:

MUMA

Date Received:

6/29/18

Zoning:

SR-3

Project Name:

PLEASE PROVIDE THE FOLLOWING INFORMATION

Request:

Address of Subject Property:

529 W 500 N (and other associated lots)

Name of Applicant:

Jarod Hall

Phone:

801-680-4485

Address of Applicant:

154 N 600 W SLC, UT 84116

E-mail of Applicant:

j@divelept.com

Cell/Fax:

Applicant's Interest in Subject Property:

☐ Owner

☐ Contractor

☒ Architect

☐ Other:

Name of Property Owner (if different from applicant):

Riley Rogers

E-mail of Property Owner:

Riley@renovatehomegroup.com

Phone:

801-808-1499

Please note that additional information may be required by the project planner to ensure adequate information is provided for staff analysis. All information required for staff analysis will be copied and made public, including professional architectural or engineering drawings, for the purposes of public review by any interested party.

AVAILABLE CONSULTATION

Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

WHERE TO FILE THE COMPLETE APPLICATION

Mailing Address: Planning Counter
PO Box 145471
Salt Lake City, UT 84114

In Person: Planning Counter
451 South State Street, Room 215
Telephone: (801) 535-7700

REQUIRED FEE

Filing fee of \$758 plus \$121 per acre in excess of (1) acre.

Plus additional fee for required public notices.

SIGNATURE

If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.

Signature of Owner or Agent:

Date:

6/29/18

SUBMITTAL REQUIREMENTS

Staff Review

1. Project Description



Description of your proposed use and existing use (please attach additional sheet/s)

2. Planned Development Information.



Description of how your project meets one or more of the following objectives (please attach additional sheet/s)

- Combination and coordination of architectural styles, building forms, building materials, and building relationships;
- Preservation and enhancement of desirable site characteristics such as natural topography, vegetation and geologic features, and the prevention of soil erosion;
- Preservation of buildings which are architecturally or historically significant or contribute to the character of the city;
- Use of design, landscape, or architectural features to create a pleasing environment;
- Inclusion of special development amenities that are in the interest of the general public;
- Elimination of blighted structures or incompatible uses through redevelopment or rehabilitation;
- Inclusion of affordable housing with market rate housing; or
- Utilization of "green" building techniques in development.

3. Minimum Plan Requirements



One paper copy (24" x 36") of each plan and elevation drawing



A digital (PDF) copy of the each plan and elevation drawing



One 11 x 17 inch reduced copy of each plan and elevation drawing

4. Site Plan



Site plan (see *Site Plan Requirements* flyer for further details)

5. Elevation Drawing (if applicable)



Detailed elevation, sections and profile drawings with dimensions drawn to scale



Type of construction and list the primary exterior construction materials



Number, size, and type of dwelling units in each building, and the overall dwelling unit density

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

JH

I acknowledge that Salt Lake City requires the items above to be submitted before my application can be processed. I understand that Planning will not accept my application unless all of the following items are included in the submittal package.



SALT LAKE CITY CORPORATION

Buzz Center

451 South State Street, Room 215 Phone: (801) 535-7700
P.O. Box 145471 Fax : (801) 535-7750
Salt Lake City, Utah 84114

Date: Jun 29, 2018

JAROD HALL

SUBDIVISION AND CONDOMINIUM

454 N 600 W

SALT LAKE CITY, UT 84116

Project Name: GUATALUPE ROW

Project Address: 529 W 500 N

Detailed Description:



* P L N S U B 2 0 1 8 - 0 0 4 9 6 *

Description	Qty	Dept	C Ctr	Obj	Amount		
					Invoice	Paid	Due
Invoice Number: 1526325							
Postage	51	06	00600	1890	\$24.99	\$0.00	\$24.99
Filing Fee	1	06	00900	125111	\$758.00	\$0.00	\$758.00
Total for invoice 1526325					\$782.99	\$0.00	\$782.99
Total for PLNSUB2018-00496					\$782.99	\$0.00	\$782.99

OFFICE USE ONLY
Intake By: BM2728

CAP ID #
PLNSUB2018-00496
Total Due: \$782.99



www.slcpermits.com



* P L N S U B 2 0 1 8 - 0 0 4 9 6 *

Treasurer's Office
Rcpt# 12105357
PL PLNSUB2018-00496 Can
\$782.99 6/29/2018

Please Keep This
Box Clear

Planning Review Response



d i ' v e l e p t

di'velept design LLC

454 N 600 W

SLC, UT 84116

801-680-4485

howdy@divelept.com

Project: Guadalupe Row
529 W 500 N
Salt Lake City, UT

Date of 25 July, 2018
Comments:

Owner: Riley Rogers
Revnotation Home Group

Contractor: -

AHJ Project -
Number:

Attention Christopher Lee Salt Lake City

Check
Sheet
Item #

Description Of Changes, Corrections, Additions, Etc.

Location On
Plans

USES

- | | | |
|---|---|--|
| 1 | Standard
Uses in the SR-3 special development pattern residential district, as specified in section 21A.33.020, "Table Of Permitted And Conditional Uses For Residential Districts", of this title, are permitted subject to the general provisions set forth in section 21A.24.010 of this chapter, and this section.

Proposed Development Status
Does not comply.
Single-family attached dwellings are allowed in the zone. However, there are supposed to be a maximum of 6 attached dwellings per structure. One of the buildings submitted has 7 attached dwellings. This can potentially be permitted via the planned development.

The project will apply for a 7 attached dwelling units via the planning development | |
|---|---|--|

MINIMUM LOT AREA AND WIDTH		
2	<p>Standard Single family attached – 1500 square feet per dwelling and 22 feet of width.</p> <p>Proposed Development Status Complies</p> <p>Complies</p>	
MAXIMUM BUILDING HEIGHT (PITCHED ROOF)		
3	<p>Standard a. Twenty eight feet (28') measured to the ridge of the roof; or b. The average height of other principal buildings on the block face.</p> <p>Proposed Development Status Complies</p> <p>Maximum building height is 27' it have been noted on the elevations.</p>	
MAXIMUM EXTERIOR WALL HEIGHT ADJACENT TO INTERIOR SIDE YARD		
5	<p>Standard Maximum exterior wall height adjacent to interior side yards shall be twenty feet (20') for exterior walls placed at the building setback established by the minimum required yard.</p> <p>Proposed Development Status Appears to comply but no measurement is provided.</p> <p>Complies</p> <p>Dimension has been added to the West Elevation to provided the measurement. Front and Rear yard have been relabeled</p>	G100, A100
HEIGHT MEASUREMENTS FOR NEW BUILDINGS		
6	<p>Standard</p>	



	<p>Building height for initial construction of a building shall be measured as the vertical distance between the top of the roof and the established grade at any given point of building coverage. Building height for any subsequent structural modification or addition to a building shall be measured from finished grade existing at the time a building permit is requested. Building height for the R-1 districts, R-2 District and SR districts is defined and illustrated in chapter 21A.62 of this title.</p> <p>Proposed Development Status Appears to comply</p> <p>Complies</p>	



FRONT YARD		
9	<p>Standard The minimum depth of the front yard for all principal buildings shall be equal to the average of the front yards of existing buildings within the block face. Where there are no existing buildings within the block face, the minimum depth shall be twenty feet (10'). Where the minimum front yard is specified in the recorded subdivision plat, the requirement specified on the plat shall prevail. For buildings legally existing on April 12, 1995, the required front yard shall be no greater than the established setback line of the building.</p> <p>Proposed Development Status Does not comply.</p> <p>In a situation like this where the applicant is seeking to consolidate and subdivide several lots, the entire development is generally considered. Consequently, the front yard (for the entire development) is the portion that is adjacent to 500 North with the interior side yards running along each side and the rear yard in the middle of the block at the rear of the overall parcel. Measurements of other principal buildings were not provided. The front yard is shown on the plans as being 8' 7.5". This could potentially be addressed through the planned development.</p> <p>The project will apply for a permit via the planning development</p>	
INTERIOR SIDE YARD		
11	<p>Standard b. Single-family attached and twin home dwellings: When abutting a single-family dwelling, a four foot (4') yard is required, otherwise no interior yard is required. Where a yard is provided, it shall be not less than four feet (4').</p> <p>Proposed Development Status Complies</p> <p>Complies</p>	
REAR YARD		
12	<p>Standard Twenty percent (20%) of the lot depth, but not less than fifteen feet (15') and need not exceed thirty feet (30').</p> <p>Proposed Development Status Does not comply. No measurements provided but it appears to exceed the minimum. May potentially be addressed via the planned development.</p> <p>A portion of the rear yard complies. This project will apply for a permit via the planning</p>	



	development.	
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MAXIMUM BUILDING COVERAGE		
14	<p>Standard The surface coverage of all principal and accessory buildings shall not exceed sixty percent (60%) of the lot area for detached dwellings and seventy percent (70%) for attached dwellings. For lots with buildings legally existing on April 12, 1995, the coverage of existing buildings shall be considered legal conforming.</p> <p>Proposed Development Status Appears to comply but calculations were not included. Please provide these calculations.</p> <p>Complies</p> <p>Calculations are included in the notes on the Parcel and Fire Access Plan. The current coverage is 62.9%</p>	G100
MAXIMUM LOT SIZE		
15	<p>Standard Maximum Lot Size: With the exception of lots created by a subdivision or subdivision amendment recorded in the Office of the Salt Lake County Recorder, the maximum size of a new lot shall not exceed two hundred (200%) of the minimum lot size allowed by the base zoning district. Lots in excess of the maximum lot size may be created through the subdivision process subject to the following standards:</p> <ol style="list-style-type: none"> 1. The size of the new lot is compatible with other lots on the same block face; 2. The configuration of the lot is compatible with other lots on the same block face; and 3. The relationship of the lot width to the lot depth is compatible with other lots on the same block face. <p>Proposed Development Status Complies. A subdivision application will need to be submitted for this project.</p> <p>The project will apply for a subdivision</p>	
STANDARDS FOR ATTACHED GARAGES		
16	<p>Standard 1. Width Of An Attached Garage: The width of an attached garage facing the street may not exceed fifty percent (50%) of the width of the front facade of the house. The width of the garage is equal to the width of the garage door, or in the case of multiple garage doors, the sum of the widths of each garage door plus the width of any intervening wall elements between garage doors. 2. Located Behind Or In Line With The Front Line Of The Building: No attached garage</p>	



	<p>shall be constructed forward of the "front line of the building" (as defined in section 21A.62.040 of this title), unless:</p> <p>a. A new garage is constructed to replace an existing garage that is forward of the "front line of the building". In this case, the new garage shall be constructed in the same location with the same dimensions as the garage being replaced;</p> <p>b. At least sixty percent (60%) of the existing garages on the block face are located forward of the "front line of the building"; or</p> <p>c. The garage doors will face a corner side lot line.</p> <p>Proposed Development Status</p> <p>Complies</p> <p>Complies</p>	
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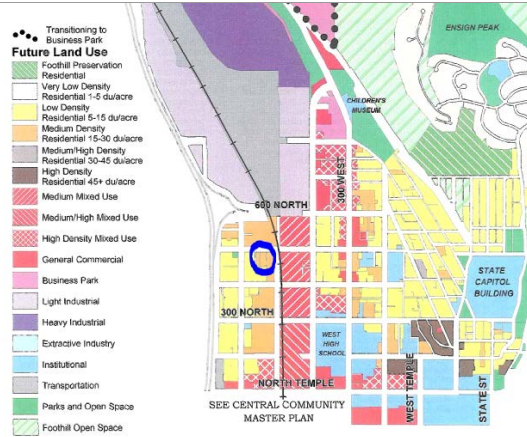
PARKING		
17	<p>Standard One off street parking space per unit is required in the SR-3 zone.</p> <p>Proposed Development Status Complies. It appears that a two car garage will be provided for each unit.</p> <p>Complies</p>	
LANDSCAPING AND REFUSE		
18	<p>Standard See SLC Zoning Code title 21A.48.</p> <p>Proposed Development Status Does not comply. Has not been submitted. Please provide a landscaping and refuse plan that meets the standards.</p> <p>A Landscaping Plan (L01) has been provided</p>	L1
SUBDIVISION		
19	<p>Standard See SLC Municipal Code title 20.</p> <p>Proposed Development Status Does not comply. Has not been submitted. Please submit your subdivision application so that both it and the planned development can be reviewed concurrently.</p> <p>The project will apply for a subdivision</p>	





PLANNING DEVELOPMENT		
20	<p>Standard See SLC Zoning Code title 21A.55.</p> <p>Proposed Development Status Potentially complies.</p> <p>Currently being evaluated. It appears that you are trying to meet objective F: Master Plan Implementation. Please provide citations of the master plan for how you think it is being implemented. Are there additional objectives that you can address?</p> <p>We do feel this project qualifies for the planned development process because we meet the master plan implementation This project is located in the Guadalupe neighborhood of the Capital Hill Area Master Plan adopted November 9th, 1999.</p> <p>Referencing the Capitol Hill Community Master Plan, this project addresses several stated goals:</p> <p>Overall Master Plan Goals (page 1) <i>Encourage appropriate housing opportunities in the community in appropriate locations through renovation of existing structures and compatible infill development and redevelopment.</i></p> <p>This project is a compatible infill project located in a SR-3 zone that is designed as a transition between the TSA zone to the East and the single family zones to the West.</p> <p><i>Ensure adequate community parking while mitigating adverse effects of parking that comes from outside the community.</i></p> <p>This project is providing two parking spaces for each unit. This is higher than required for the 2 bedroom units. Because of the nature of the use across 500 North there is also ample amounts of on-street parking available along 500 N.</p> <p>Future Land Use Map</p>	





As shown on the future land use map on page 2 of the master plan this parcel is envisioned to be Medium density (15-30 cu/acre) residential. The project will redevelop a .595 acre lot that is currently a two single low density residences. The proposed project takes advantage of a deep lot by infilling the space with 13 2-story townhomes. The project will increase the density from 3.3 DU/Acre up to 21.8 DU/Acre.

Infill Development in the Guadalupe Neighborhood (Page 4)

Because this area contains 10-acre blocks with deep lots, there are large portions of unused property which exist on the interior of these blocks. This space often times becomes neglected storage areas and for inoperable automobiles and other junk. New housing could potentially be built in these areas

This project solves a conglomerate of lots that have this exact problem. The existing houses are in poor shape and there has been an accumulation of junk around the houses. This project will fully utilize this long narrow lot and put the communal lawn area at the back of the lot bring people into this previously underutilized area.

Developers of infill and block redesign housing in the guadalupe neighborhood should analyze and be sensitive to existing development characteristics of the neighborhood, including lot and street patterns, density, building orientation and building materials.

This Project project is developing an semi-existing alley. This is very similar to the development patterns that have happened on the same block on the roads 540 W, Tuttle Court, and Erie Place

Require that new residential development be compatible in scale, design, site configuration and character with the historical development patterns present in Guadalupe, to strengthen the stability of the neighborhood.

Throughout the Guadalupe neighborhood there are is quite a variety of building scales. These two story units are in keeping with the many of the two story single family units that are near the project. This project also provides porches at every unit and a ground level patio along the 5th north frontage.

Resubdivision of land should consider the area's existing land development pattern.

	<p>This project is consolidating and subdividing to have parcels that match the existing development pattern along Erie St, and Tuttle Court on the same block.</p> <p>Urban design guidelines for residential area - Guadalupe (page 15) <i>New developments in the Guadalupe Neighborhood should include traditional street layout, front facades oriented to the street and structures which are compatible with existing single family structures.</i></p> <p>While many of these unit don't have frontage to the primary city street the unit that does have frontage has been adjusted to have; the building entry oriented to the street, an additional porch added, and there is a ground level porch along 500 N to help ensure there is not a blank wall along the street.</p> <ol style="list-style-type: none"> 1. It enhances the visual and aesthetic qualities of the community by encouraging private property improvements that are visually compatible with the surrounding neighborhood. The units take on the overall massing of a traditional home, 2 story construction, while including modern elements. They use sloped roofs and changes in material to break up the mass of the buildings and keeps them in scale with the context of the site. 2. It provides for safe, convenient circulation patterns for vehicular and non-vehicular traffic movement, while discouraging commuter and commercial traffic on residential streets and restricting industrial traffic to appropriate routes. The project creates a safe circulation path and avoids placing stress on the street parking by having each townhome has attached garage providing residence with off street parking. <p>In addition to the specific goals of the master plan this it also provides a transitional density from the high density TSA zone on the east to the more residential/low density to the west. The property to the immediate West of this project is zoned TSA-UC-T, which allows for significantly more building height than the proposed project.</p>	
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Planning Review Response



d i ' v e l e p t

di'velept design LLC
454 N 600 W
SLC, UT 84116
[801-680-4485](tel:801-680-4485)
howdy@divelept.com

Project: Guadalupe Row
529 W 500 N
Salt Lake City, UT

Date of 08 Oct., 2018
Comments:

Owner: Riley Rogers
Revnotation Home Group

Contractor: -

AHJ Project -
Number:

Attention Christopher Lee Salt Lake City

Check
Sheet
Item #

Description Of Changes, Corrections, Additions, Etc.

Location On
Plans

ZONING

	<p>Zoning</p> <p>It is understood that this proposal is a Subdivision for thirteen (13) single-family attached dwellings (row houses) in two (2) buildings in a SR-3 zoning district and is not being processed as a condominium as referenced numerous times in the Project Description. It is also understood that this proposal is being processed as a Planned Development due to numerous lots not having frontage on a public street as required by 21A.36.010 C, one (1) building containing more than the maximum number of single-family attached dwellings authorized by 21A.24.100 C and seeking reduced front and rear yard building setbacks.</p>	
1	<p>21A.24.010 H. Side Entry Buildings: To provide for adequate air, light and separation between buildings, greater yard requirements are necessary for buildings whose principal means of entry is located along an interior side yard. For all such buildings, the side yard shall not be less than twelve feet (12'), eight feet (8') of which shall be devoted to landscape area.</p> <p>The principal means of entry side of the building does not meet this twelve feet (12') requirement.</p> <p>West Side yard has been increased to provide 12'-0" between principal entry and property.</p>	

2	<p>21A.24.010 L. Parking And Loading: All uses in the residential districts shall comply with the provisions governing off street parking in chapter 21A.44 of this title and 21A.44.020 F.7.a(2) Residential Districts states: With the exception of legal shared driveways, driveways shall be at least six feet (6') from abutting property lines, twenty feet (20') from street corner property lines and five feet (5') from any public utility infrastructure such as power poles, fire hydrants and water meters.</p> <p>This proposal does not satisfy the six feet (6') from abutting property line requirement, and if a shared driveway scenario were proposed with the abutting property; the shared driveway width (curb cut) would exceed the twenty two feet (22') allowed by 21A.44.020 F.7.b.</p> <p>As Beaumont Court has historically been a shared driveway we will ask for relief this requirement. We will be rebuilding Beaumont in it's historic location with a slightly wider width to provide the backout distance required by transportation.</p>	
3	<p>21A.24.010 N. Front And Corner Side Yard Landscaping: All required front and corner yards should be maintained as landscape yards. In addition, all uses in residential districts shall comply with the provisions governing landscaping in chapter 21A.48 of this title.</p> <p>The Feathered Reed Grass shown on the Landscape Plan is not an acceptable choice for planting in the ten foot (10') sight distance triangle at the driveway since it can grow to a height of four feet (4').</p> <p>Feathered Reed Grass has been removed from this location and replaced with turf grass.</p>	
4	<p>Any park strip tree removal/protection/planting will need to be evaluated by Urban Forestry. The Demo Site Plan does not indicate the location of existing park strip trees and whether they are to be removed or retained.</p> <p>Demo plan and landscape plan have been adjusted to show the two existing street trees to remain.</p>	
5	<p>Trash dumpsters are to be screened per 21A.48.120.</p> <p>A fence that complies with 21A.48.120 will be provided.</p>	
6	<p>21A.24.100 C. Minimum Lot Area And Lot Width: The minimum lot areas and lot widths required in this district are as follows: 1,500 square feet per dwelling unit for Minimum Lot Area and 22 feet for Minimum Lot Width.</p> <p>The intensity of this proposal is such that Lots 102 through 106 and Lots 109 through 112 do not satisfy this requirement.</p> <p>All lots comply with the minimum required square feet per dwelling unit. We will note the request for reduced lot width as part of the planned development.</p>	
7	<p>21A.24.100 D. Maximum Building Height:</p> <p>Proposed building height and proposed exterior wall height adjacent to interior side yards has not been documented as they relate to established and finished grades.</p>	



	See Elevations	
8	Regulations of any fences, walls and hedges, as well as any ground mounted utility boxes are found in 21A.40. Project will comply	
9		
BUILDING		
1	No building code issues at this stage	
Transportation		
1	Two parking spaces are required for each residence. Each unit will have an attached two car garage.	
2	The minimum width of Beaumont Ct. for backing out of the garages is 22 feet 7 inches. This minimum width has been provide. The second floor sticks out just a little bit beyond this, but doesn't affect backout distance	



ATTACHMENT G: EXISTING CONDITIONS

Uses within the Immediate Vicinity of the Property

North: Warehouse and distribution center
 South: single family dwelling
 East: Commercial buildings and warehouses
 West: Single family dwellings

Zoning within the Immediate Vicinity of the Property

North: TSA-UC-T (Transit Station Area-Urban Center-Transition Area)
 South: SR-1A (Special Development Pattern Residential)
 East: TSA-UC-T
 West: SR-3 (Special Development Pattern Residential)

SR-3 Zoning Requirements

Requirement	Standard	Proposed	Compliance
Permitted Uses	Uses in the SR-3 special development pattern residential district, as specified in section 21A.33.020 , "Table Of Permitted And Conditional Uses For Residential Districts", of this title, are permitted subject to the general provisions set forth in section 21A.24.010 of this chapter, and this section.	Single-family attached dwellings are allowed in the zone. However, there are supposed to be a maximum of 6 attached dwellings per structure. One of the buildings submitted has 7 attached dwellings. This can potentially be permitted via the planned development.	Does not comply
Minimum Lot Area and Width	Single family attached – 1500 square feet per dwelling and 22 feet of width.	The overall size of the existing seven parcels when combined is .5692 acres (24,795 square feet). That is plenty of area to accommodate the requirement of a total of 19,500 square feet for the 13 dwellings. However, due to the abnormal shape at the rear of the lot, the applicant is seeking an adjustment from the 22 feet of width required for each unit to 21 feet 3 inches for 9 parcels. The other four parcels exceed the requirement.	Does not comply
Maximum Building Height (Pitched Roof)	a. Twenty eight feet (28') measured to the ridge of the roof; or b. The average height of other principal buildings on the block face.	Maximum building heights are less than 28'	Yes
Maximum Exterior Wall Height adjacent to Interior Side Yards	Maximum exterior wall height adjacent to interior side yards shall be twenty feet (20') for exterior walls placed at the building setback established by the minimum required yard. Exterior wall height may increase one foot (1')	The exterior wall height measurements provided are less than the maximum of 20'.	Yes

	(or fraction thereof) in height for each foot (or fraction thereof) of increased setback beyond the minimum required interior side yard. If an exterior wall is approved with a reduced setback through a special exception, variance or other process, the maximum allowable exterior wall height decreases by one foot (1') (or fraction thereof) for each foot (or fraction thereof) that the wall is located closer to the property line than the required side yard setback.		
Height Measurements for new Buildings	Building height for initial construction of a building shall be measured as the vertical distance between the top of the roof and the established grade at any given point of building coverage. Building height for any subsequent structural modification or addition to a building shall be measured from finished grade existing at the time a building permit is requested. Building height for the R-1 districts, R-2 District and SR districts is defined and illustrated in chapter 21A.62 of this title.	Maximum building heights are less than 28' as measured per the specifications	Yes
Sloping Terrain	Where buildings are stepped to accommodate the slope of terrain, each step shall have a horizontal dimension of at least twelve feet (12').	None of the buildings is stepped to accommodate the terrain.	Yes
Additional Building Height	For properties outside of the H Historic Preservation Overlay District, additional building height may be granted as a special exception by the Planning Commission subject to the special exception standards in chapter 21A.52 of this title and if the proposed building height is in keeping with the development pattern on the block face. The Planning Commission will approve, approve with conditions, or deny the request pursuant to chapter 21A.52 of this title.	N/A. The applicant is not seeking additional building height.	Yes
Front Yard	The minimum depth of the front yard for all principal buildings shall be equal to the average of the front yards of existing buildings within the block face. Where there are no existing buildings within the block face, the minimum depth shall be twenty feet (20'). Where the minimum front yard is specified in the recorded subdivision plat, the requirement specified on the plat shall prevail. For buildings legally existing on April 12, 1995, the required front yard shall be no greater than the established setback line of the building.	In a situation like this where the applicant is seeking to consolidate and subdivide several lots, the entire development is generally considered. Consequently, the front yard (for the entire development) is the portion that is adjacent to 500 North with the interior side yards running along each side and the rear yard in the middle of the block at the rear of the overall parcel. Measurements of other principal buildings were not provided. The front yard is shown on the plans as being 7' 7.5". To be addressed via the planned development.	Does not comply
Corner Side Yard	Ten feet (10')	N/A. There is no corner side yard.	Yes
Interior Side Yard	b. Single-family attached and twin home dwellings: When abutting a single-family dwelling, a four foot (4') yard is required, otherwise no interior	Complies. All interior side yards abutting single family	Yes

	yard is required. Where a yard is provided, it shall be not less than four feet (4').	dwellings are at least 4 feet wide.	
Rear Yard	Twenty percent (20%) of the lot depth, but not less than fifteen feet (15') and need not exceed thirty feet (30').	Complies. The rear yard is 35 feet 4 ¾ inches.	Yes
Accessory Buildings and Structures in Yards	Accessory buildings and structures may be located in a required yard subject to section 21A.36.020 , table 21A.36.020B , "Obstructions In Required Yards", of this title.	N/A. No accessory buildings are proposed.	Yes
Maximum Building Coverage	The surface coverage of all principal and accessory buildings shall not exceed sixty percent (60%) of the lot area for detached dwellings and seventy percent (70%) for attached dwellings. For lots with buildings legally existing on April 12, 1995, the coverage of existing buildings shall be considered legal conforming.	Complies. The total lot coverage is to be 57% with the building footprint being 14,216 square feet and the total lot area being 24,795 square feet.	Yes
Maximum Lot Size	Maximum Lot Size: With the exception of lots created by a subdivision or subdivision amendment recorded in the Office of the Salt Lake County Recorder, the maximum size of a new lot shall not exceed two hundred (200%) of the minimum lot size allowed by the base zoning district. Lots in excess of the maximum lot size may be created through the subdivision process subject to the following standards: 1. The size of the new lot is compatible with other lots on the same block face; 2. The configuration of the lot is compatible with other lots on the same block face; and 3. The relationship of the lot width to the lot depth is compatible with other lots on the same block face.	Complies. A subdivision application has been submitted for this project.	Yes
Standards for Attached Garages	1. Width Of An Attached Garage: The width of an attached garage facing the street may not exceed fifty percent (50%) of the width of the front facade of the house. The width of the garage is equal to the width of the garage door, or in the case of multiple garage doors, the sum of the widths of each garage door plus the width of any intervening wall elements between garage doors. 2. Located Behind Or In Line With The Front Line Of The Building: No attached garage shall be constructed forward of the "front line of the building" (as defined in section 21A.62.040 of this title), unless: a. A new garage is constructed to replace an existing garage that is forward of the "front line of the building". In this case, the new garage shall be constructed in the same location with the same dimensions as the garage being replaced; b. At least sixty percent (60%) of the existing garages on the block face are located forward of the "front line of the building"; or c. The garage doors will face a corner side lot line.	Complies. The garages are all going to be located in the interior side yard. None of them is facing the street.	Yes

ATTACHMENT H: ANALYSIS OF STANDARDS

PLANNED DEVELOPMENT REVIEW

21a.55.050: Standards for Planned Developments: The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

Standard		Finding	Rationale
A. Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (Section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development. The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development. The planning commission should consider the relationship between the proposed modifications to the zoning regulations and the purpose of a planned development, and determine if the project will result in a more enhanced product than would be achievable through strict application of the land use regulations.		Complies	<p>The applicant seeks to achieve the Master Plan Implementation objective of the planned development ordinance. That objective requires that a project:</p> <p><i>...implement portions of an adopted master plan in instances where the master plan provides specific guidance on the character of the immediate vicinity of the proposal.</i></p> <p>Planning Staff is of the opinion that they also comply with the housing objective:</p> <p><i>Housing: Providing affordable housing or types of housing that helps achieve the City's housing goals and policies:</i></p> <p><i>2. The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood.</i></p> <p>Planning Staff has provided analysis of the relationship between the proposed modifications and the purpose of a planned development in the <i>Key Considerations</i> section and considers this project would provide for an enhanced project than allowed by the underlying zoning.</p>
B. The proposed planned development is generally consistent with adopted policies set forth in the citywide, community, and/or small area master plan that is applicable to the site where the planned development will be located.		Complies	<p>As explained in depth in the <i>Key Considerations</i> section, the proposed planned development is consistent with <i>Plan Salt Lake</i> (city wide master plan), the <i>Capitol Hill Master Plan</i> (master plan for that area), and the specific plan for the Guadalupe neighborhood.</p>
C. Design and Compatibility: The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the planning commission should consider:		Complies	<p>The proposed project is compatible with the neighborhood in which it is located and will provide a more enhanced product than what would be achieved by only utilizing the SR-3 zoning standards. The reasons are delineated below.</p>
C1	Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable master plan related to building and site design;	Complies	<p>The proposed development is located within the SR-3 zoning district which anticipates the size, scale and intensity of the proposed development. The nearby properties contain a mix of single family dwellings and commercial properties with row house developments within the neighborhood. The proposal fits well within the neighborhood context and increases the density from low to medium as indicated in the master plan. The proposed project is considered</p>

			"in scale" with the neighboring buildings and matches the mass and intensity.
C2	Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable master plan related to building and site design;	Complies	<p><i>Building Orientation</i> Due to the shape of the plot, the proposed units are mostly designed towards the east and west with the garage entrance on the east side and the main doors on the west. However, the end unit will be oriented toward 500 North. The proposed units are compatible with the neighborhood development pattern and will greatly improve these underutilized parcels by providing much greater density and actively engaging 500 North.</p> <p><i>Building Materials</i> The proposed project utilizes a mix of quality materials including stucco (EIFS), two types of metal siding, and asphalt shingles.</p>
C3	Whether building setbacks along the perimeter of the development: <ul style="list-style-type: none"> a. Maintain the visual character of the neighborhood or the character described in the applicable master plan. b. Provide sufficient space for private amenities. c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise. d. Provide adequate sight lines to streets, driveways and sidewalks. e. Provide sufficient space for maintenance. 	Complies	<p>The proposed project is in a unique location on parcels that extend deeply into the middle of the block. Given the long and narrow orientation of the site, all of the units, with the exception of the end unit on 500 North, are oriented toward the landscaped area running along the west side. Front doors are located on the west side with access to garages on the east side. The setback on the west side is 10' 8.5" which exceeds significantly exceeds the required 4' setback as well as the front yard setback of 9' 5".</p> <p>The critical element to maintaining the character of the neighborhood rests on the end unit which fronts on 500 North and interacts with the street. The setback for that front unit from the property line abutting 500 North is 8.75 feet which is just less than the block face average of 9.5'. It will serve as a good transition between properties in the TSA zone to the east with no setback and those to the west that are setback slightly further. It will integrate well with other structures along the street. There is sufficient space and buffering between neighboring parcels, sufficient site lines and access for maintenance.</p>
C4	Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;	Complies	The ground floor of the buildings offer large windows and glass entry ways which allow for good transparency and access. The architectural details are interesting and inviting. There are contrasts of materials and colors which work well together. This is particularly true of the end unit on 500 North.
C5	Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;	Complies	Proposed lighting is typical for single family and twin home dwellings. There should be minimal impacts to surrounding properties.
C6	Whether dumpsters, loading docks and/or service areas are appropriately screened; and	Complies	Dumpsters are located at the end of the drive access at the rear of the property and will be appropriately screened.
C7	Whether parking areas are appropriately buffered from adjacent uses.	Complies	Parking is all within enclosed garages that are part of the principal buildings.

D. Landscaping: The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the planning commission should consider:		Complies	The proposed project complies with all landscaping considerations.
D1	Whether mature native trees located along the periphery of the property and along the street are preserved and maintained;	Complies	The existing trees will be maintained in the park strip. There are some Siberian elms along the periphery at the rear of the project that will be removed due to the fact that they are an invasive non-native species often considered a “trash tree”. Some other non-native trees along the eastern property line will be removed to accommodate driveway and garage access.
D2	Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved;	Complies	There is very little existing landscaping at the perimeters of the property with the exception of the trees in the park strip which will be kept. Any existing perimeter vegetation is comprised of invasive Siberian elms which will be removed and replaced with more appropriate landscaping.
D3	Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development; and	Complies	The proposed landscaping (see Attachment E) is designed to lessen potential impacts to abutting properties and must meet the requirements of the landscaping chapter (21A.48) of the zoning code. A new fence on the western perimeter will provide privacy between the proposed development and the backyards of existing single family dwellings. Turf grass will comprise most of the west side and common area landscaping with higher grasses along the south end of the rear building and in the front yard along 500 North with the existing trees in the park strip to remain in place.
D4	Whether proposed landscaping is appropriate for the scale of the development.	Complies	The proposed landscaping is appropriate for the development. Tree species selection should be made in coordination with the City Forester.
E. Mobility: The proposed planned development supports citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the planning commission should consider:		Complies	The proposed project complies with the mobility considerations related to the Planned Development review.
E1	Whether drive access to local streets will negatively impact the safety, purpose and character of the street;	Complies	The proposed driveway to serve the garages on the east side of the units will not negatively impact the safety, purpose or character of the street. It will appear as a typical driveway access from the street.
E2	Whether the site design considers safe circulation for a range of transportation options including: a. Safe and accommodating pedestrian environment and pedestrian oriented design; b. Bicycle facilities and connections where appropriate, and orientation to transit where available; and c. Minimizing conflicts between different transportation modes;	Complies	Given the relatively small size of this proposed development and the long and narrow character of the site, there will be minimal transportation within the confines of the development. With that being said, the sidewalk on the east side of the development to provide access to front doors of all the units besides the end unit on 500 North, and the driveway in the back to the garages, naturally separate out uses and should minimize conflicts between transportation modes.

E3	Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities;	Complies	The sidewalk on the west side and driveway on the east side of this development should provide easy access to adjacent uses and amenities.
E4	Whether the proposed design provides adequate emergency vehicle access; and	Complies	The Fire Reviewer has approved the plan for emergency vehicle access. (see attachment J)
E5	Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.	Complies	Given the nature of this development (single family attached) there is no need for loading access and service areas besides simple moving, etc. which can be provided by the private drive and garages.
F. Existing Site Features: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.		Complies	No existing natural or built features on site contribute to the character of the neighborhood or the environment.
G. Utilities: Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area.		Complies	The project should be served by existing utilities with potential upgrades as stated in the Public Utilities comments. It will not have a detrimental effect on the surrounding area.

PRELIMINARY SUBDIVISION REVIEW

21.16.100: Standards of Approval for Preliminary Plats:

All preliminary plats for subdivisions and subdivision amendments shall meet the following standards:

Criteria	Finding	Rationale
A. The subdivision complies with the general design standards and requirements for subdivisions as established in Section 20.12	Does not Comply	The proposed parcel layout means that 13 of the 14 proposed lots will not have direct street access. As stipulated in section 20.12, that standard can be modified via a planned development as proposed by the applicant.
B. All buildable lots comply with all applicable zoning standards;	Does not comply	9 of the 14 lots (13 row houses and one common area) do not meet the width standards of the SR-3 zone and are seeking the planned development to address it.
C. All necessary and required dedications are made;	Complies	Any specific dedications for utilities, etc. will be made.
D. Water supply and sewage disposal shall be satisfactory to the Public Utilities Department director;	Complies	The water and disposal services may need to be upgraded and will work with the Public Utilities division to do so through the permit process.
E. Provisions for the construction of any required public improvements, per section 20.40.010, are included;	Complies	There are no required public improvements.
F. The subdivision otherwise complies with all applicable laws and regulations.	Complies	The proposal complies with all applicable laws and regulations.
G. If the proposal is an amendment to an existing subdivision and involves vacating a street, right-of-way, or easement, the amendment does not materially injure the public or any person who owns land within the subdivision or immediately adjacent to it and there is good cause for the amendment.	Complies	This is not an amendment nor does it involve any sort of vacation.

ATTACHMENT I: PUBLIC PROCESS

Notice of Application to the Fairpark and Capitol Hill Community Council:

A notice of application was sent to the Chairs of the Fairpark and Capitol Hills Community Council (due to the close proximity) on September 5, 2018. The email informed the Chairpersons (XX King and Laura Arellano) of the proposed Subdivision and Planned Development and that the applicant and/or city staff could attend a Community Council meeting if requested. The letter also conveyed that any input from the Community Councils would need to be received within 45 days (11/2/2018). No feedback was received from either Community Council.

Early Notification of the Applications:

Early notification mailers were sent to all property owners and renters within a 300 foot radius of the subject parcels on September 7, 2018. No responses were received.

Open House:

An open house was held on September 20, 2018 with notifications being sent on September 7, 2018. Four people signed the attendance roll and one comment was received (see below).

Notice of the Planning Commission Public Hearing:

Notice was published to a local paper, city and state websites, and the planning division list serve on November 1, 2018 regarding the Planning Commission Public Hearing on November 1, 2018.

OPEN HOUSE PUBLIC COMMENT SHEET

SEPTEMBER 20, 2018



Planning Division
Department of Community
and Neighborhoods

Proposed Guadalupe Row Houses Planned Development and Preliminary Subdivision

Name: CINDY CROMER

Address: 3cins/c@live.com

Zip Code _____

Phone: _____ E-mail _____

Comments: Need to reorient the roofs to take
advantage of solar potential.

positives: potential price, interesting
design, 2 balconies/unit, accessible
main level, close to transit

Please provide your contact information so we can notify you of other meetings or hearings on this issue. You may submit this sheet before the end of the open house, or you can provide your comments via e-mail at chris.lee@slcgov.com or via mail at the following address: Chris Lee, Salt Lake City Planning Division, PO Box 145480, Salt Lake City, UT 84114-5480.

ATTACHMENT J: DEPARTMENT COMMENTS

Zoning

It is understood that this proposal is a Subdivision for thirteen (13) single-family attached dwellings (row houses) in two (2) buildings in a SR-3 zoning district and is not being processed as a condominium as referenced numerous times in the Project Description. It is also understood that this proposal is being processed as a Planned Development due to numerous lots not having frontage on a public street as required by 21A.36.010 C, one (1) building containing more than the maximum number of single-family attached dwellings authorized by 21A.24.100 C and seeking reduced front and rear yard building setbacks.

Zoning issues to be consider for this proposal are as follows:

- 1. 21A.24.010 H. Side Entry Buildings: To provide for adequate air, light and separation between buildings, greater yard requirements are necessary for buildings whose principal means of entry is located along an interior side yard. For all such buildings, the side yard shall not be less than twelve feet (12'), eight feet (8') of which shall be devoted to landscape area.*

The principal means of entry side of the building does not meet this twelve feet (12') requirement.

- 2. 21A.24.010 L. Parking And Loading: All uses in the residential districts shall comply with the provisions governing off street parking in chapter 21A.44 of this title and 21A.44.020 F.7.a(2) Residential Districts states: With the exception of legal shared driveways, driveways shall be at least six feet (6') from abutting property lines, twenty feet (20') from street corner property lines and five feet (5') from any public utility infrastructure such as power poles, fire hydrants and water meters.*

This proposal does not satisfy the six feet (6') from abutting property line requirement, and if a shared driveway scenario were proposed with the abutting property; the shared driveway width (curb cut) would exceed the twenty two feet (22') allowed by 21A.44.020 F.7.b.

- 3. 21A.24.010 N. Front And Corner Side Yard Landscaping: All required front and corner yards should be maintained as landscape yards. In addition, all uses in residential districts shall comply with the provisions governing landscaping in chapter 21A.48 of this title.*

The Feathered Reed Grass shown on the Landscape Plan is not an acceptable choice for planting in the ten foot (10') sight distance triangle at the driveway since it can grow to a height of four feet (4').

Any park strip tree removal/protection/planting will need to be evaluated by Urban Forestry. The Demo Site Plan does not indicate the location of existing park strip trees and whether they are to be removed or retained.

Trash dumpsters are to be screened per 21A.48.120.

- 4. 21A.24.100 C. Minimum Lot Area And Lot Width: The minimum lot areas and lot widths required in this district are as follows: 1,500 square feet per dwelling unit for Minimum Lot Area and 22 feet for Minimum Lot Width.*

The intensity of this proposal is such that Lots 102 through 106 and Lots 109 through 112 do not satisfy this requirement.

5. *21A.24.100 D. Maximum Building Height:
Proposed building height and proposed exterior wall height adjacent to interior side yards has not been documented as they relate to established and finished grades.*
6. *Regulations of any fences, walls and hedges, as well as any ground mounted utility boxes are found in 21A.40.*

Fire

If the structure height is below 30 ft., then a 20 foot clear width and 13 ft. 6 inch clear height will be OK. However it appears that the fire department access road is longer than 150 ft in length. Also the requirement of fire department access is also needs to be within 150 feet of all exterior walls of the first floor. If they could provide a turnaround then the dead-end would not be a problem and they could apply for an Alternative Means and Methods to provide different fire protection. I have reprinted the sections of the International Fire Code regarding providing additional fire protection and a description of a modified hammerhead.

Note: The attached Alternative Means and Methods document resolves these concerns.

Public Utilities

No public utility objections to the proposed planned development. A couple of notes and conditions:

Planned Development review does not provide utility or building permits

The existing 6" water main and existing hydrants may not be adequate to provide fire flow. The main may need to be upsized.

The existing water meter is likely insufficient for the proposed building.

The existing sewer lateral was installed in 1947 and will need to be inspected prior to reuse.

Unused water and sewer laterals must be capped at the main.

All improvements must meet SLCPU ordinance, policies, and standards.

Transportation

Two parking spaces are required for each residence. The minimum width of Beaumont Ct. for backing out of the garages is 22 feet 7 inches. Bicycle parking is required for multifamily developments.

Engineering

Sent redlines to Chris 9/18/18.

Building

No building code issues at this stage.

**BUILDING SERVICES DIVISION**

451 South State Street, Room 215

Salt Lake City, UT 84111

Main (801) 535-6000 Fax (801) 535-7750

**APPLICATION FOR MODIFICATION
FROM THE BUILDING/FIRE CODE**

11-7-18

DATE

PERMIT OR LOG NO. WIN2018-09779
DRI-2018-00089

PROJECT NAME Guadalupe Row	PROJECT ADDRESS 529 W 500 N	PHONE 801-808-1499
OWNER'S NAME Renovation Home Group	OWNER'S ADDRESS 7103 S Redwood Rd. #347 West Jordan, UT 84084	PHONE 801-680-4485
TENANT'S NAME (If other than owner)	TENANT'S ADDRESS	PHONE
APPLICANT'S NAME (Not company name) (Please Print) Jarod Hall	APPLICANT'S ADDRESS 454 N 600 W, SLC, UT 84116	PHONE 801-680-4485

RELATIONSHIP OF APPLICANT TO PROJECT AND COMPANY NAME
di'velept design - ArchitectBUILDING SERVICES EMPLOYEE FAMILIAR WITH PROJECT
Ted Itchon

Appeal is hereby made to the Building Official for a modification from, or interpretation of, Section 503 of the IFC Code, which requires that:

This is an amended application to an previously approved application (previous application included at the end of this pdf). This application has a few more townhouse units in basically the same configuration. We are requested that we provide additional fire sprinklers in lieu of fire apparatus access road within 150' of all the first story of the building.

This Code requirement presents extreme difficulty in this project because:
(Use attachment if necessary.)

The size of a typical turn around doesn't fit on the proposed property.

I request your acceptance of:

(Use attachments if necessary.)

an increase in the dimension of 150' as allowed in IFC 503.1 exception 1.1

I believe this proposal is a minor modification and meets the intent of the Code because:

See attached letter and site plan

IF THE APPLICANT IS NOT THE OWNER OR THE OWNER'S ARCHITECT OR ENGINEER,
THEN THE OWNER'S SIGNATURE MUST APPEAR ON THE LINE ABOVE.

APPLICANT'S SIGNATURE

Architect

TITLE

DECISION OF THE BUILDING OFFICIAL

- ☐ Approved
☒ Approved with Stipulations:
☐ Denied

NFPA-13 D System for Both Structures shall Be installed Similar Protect
As NFPA 13 No small Room Rule Also Protect The garages.

Attendees: Jarod Kenney Bud

DATE:

11-7-18

BUILDING CODE OFFICIAL:

DATE:

11/7/18

FIRE MARSHAL:

APPLICANT'S AGREEMENT TO ABIDE BY CONDITIONS

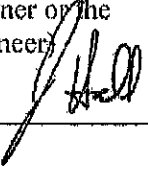
The undersigned expressly acknowledges and agrees that acceptance of this application for modification from the construction code and any subsequent issuance of a permit(s) based upon the proposed alternative(s) or modification(s), has been made subject to certain conditions which Building Services Division, in its sole discretion, deems necessary. The undersigned agrees to comply strictly with all conditions imposed by Building Services Division. With respect to all permit(s) issued based upon any alternative to or modification of the Salt Lake City Construction Codes, the undersigned's failure to comply strictly with all conditions imposed by Building Services Division in granting any permit(s) pursuant to this application will render any right to proceed with construction, occupancy or use of any property or premises pursuant to said permit VOID, and will subject the undersigned to immediate revocation of said permit issued in connection with this application. The undersigned and all subsequent owners, occupants or users of these premises claiming any right of occupancy or use of the premises through the undersigned, shall be liable for all costs and expenses, including any reasonable Attorney's Fees and Expert Witness Fees, for enforcement of any condition or term of any permit(s) issued to this application.

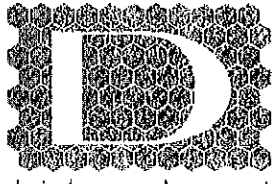
The undersigned acknowledges that this agreement does not in any way limit any remedy or right the City may otherwise have with respect to enforcement of any of its Codes or Ordinances.

AGREED AND ACCEPTED:

Owner's Signature: _____ Date: _____

(if Applicant is not the Owner or the
Owner's Architect or Engineer)

Applicant Signature/Title:  _____ Date: 10/30/2018



di'velept

di'velept design LLC

454 N 600 W

SLC, UT 84116

801-680-4485

howdy@divelept.com

30 October, 2018

RE: Alternative Means and Method of Fire Apparatus Access Road

The proposed project will be two buildings. One with 7 townhomes and the other with 6. Both buildings will have a total building height of less than 30'-0". The project will be designed under the IRC.

Due to the state amendment of IRC section 313 automatic sprinkler systems are not required.

We are proposing using a 13D automatic sprinkler system on both buildings as a means of providing life safety protection in lieu of having the fire access road within 150' of the structure.

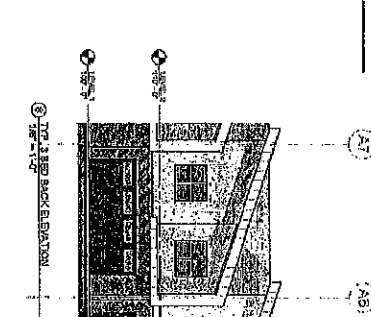
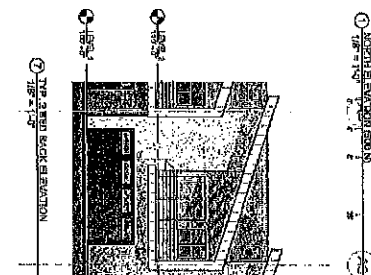
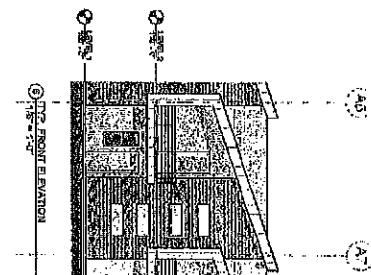
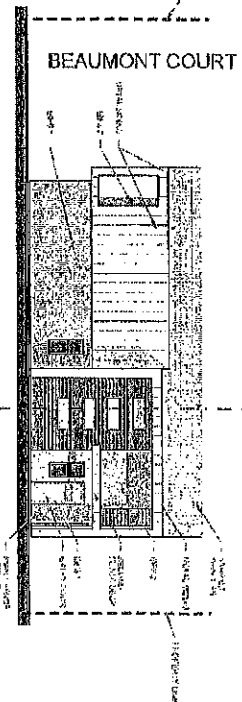
See the included site plan for a graphic description.

Sincerely,

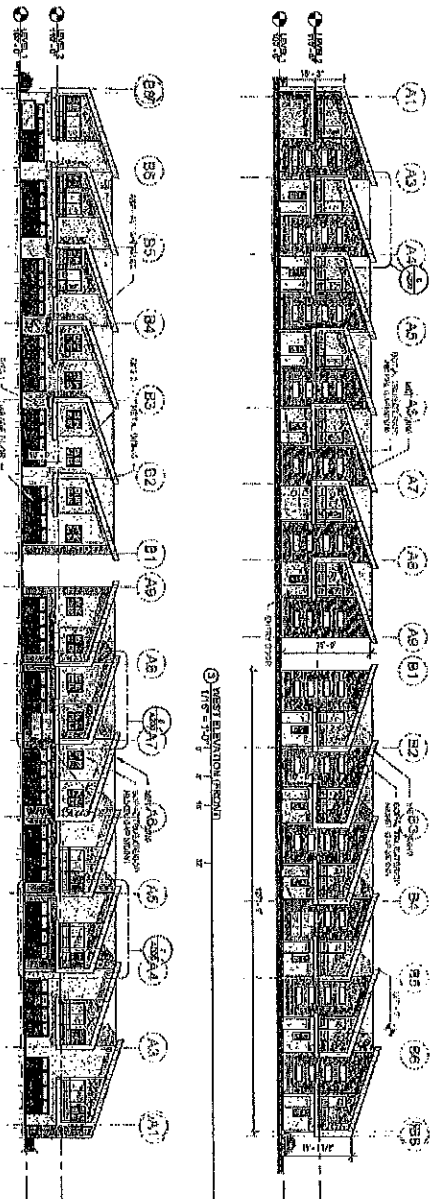
Jarod Hall, AIA

Manager

di'velept design LLC



GUADALUPE ROWHOUSES



Stipulation Clarification

Project Name: Guadalupe Row

Address: 523, 529, West 500 North

Subject: International Fire Code (IFC) Section 503.1.1 Fire Department access.

Date: 11-7-18

Synopsis:

The Project consists of two buildings of R-3 occupancy town homes. The north building has 7 townhomes and the South has 6 townhomes constructed under the International Residential Code (IRC). These town homes fronts on a private driveway that is 20 ft clear width. However, the driveway can be used for fire department access as required in IFC Section 503.1.1, but it is over the allowed 150 ft dead end requirement in IFC Section 503.2.5. To limit the continued use as a fire department access road an island is installed between the buildings which narrows the fire department access (driveway) not to exceed the dead end at 150 ft. or less.

Stipulation Clarification:

To meet the intent of IFC Section 503.1.1 exception 1.2 the fire sprinkler system to be installed will be constructed as required by National Fire Protection Association (NFPA) Standard 13D with the following features (provide fire sprinkler protection);

- All rooms, closets, bathrooms (regardless of size),
- Garages, and
- Attics or filled with batt insulation that the covering and batts shall be tested in accordance with American Society of Testing Materials E-84 with a flame spread of 0-25 and a smoke index of 0-450. BLOWN IN INSULATION IS NOT ACCEPTABLE.