



MEMORANDUM

PLANNING DIVISION
DEPARTMENT *of* COMMUNITY *and* NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Amy Thompson, Principal Planner, amy.thompson@slcgov.com or 801-535-7281

Date: September 6, 2018

Re: Work Session for the Exchange Planned Development and Conditional Building and Site Design Review at 320 E 400 South (PLNSUB2018-00434 & PLNPCM2018-00470)

ACTION REQUIRED: Discuss the proposed development and identify any issues or concerns with the applicant's current plans as they relate to the applicable standards.

RECOMMENDATION: None

BACKGROUND:

Staff recommended the Exchange applicants present their project to the Planning Commission in a work session so the applicant can be aware of any concerns that the Planning Commission may have and potentially address those concerns before taking this to the Commission for a decision later on. This work session is intended to obtain preliminary input from the Planning Commission on how the development proposal is or is not complying with the applicable development standards. This memo briefly outlines the development proposal, the associated standards of review, and community and Planning Staff concerns.

DEVELOPMENT DESCRIPTION:

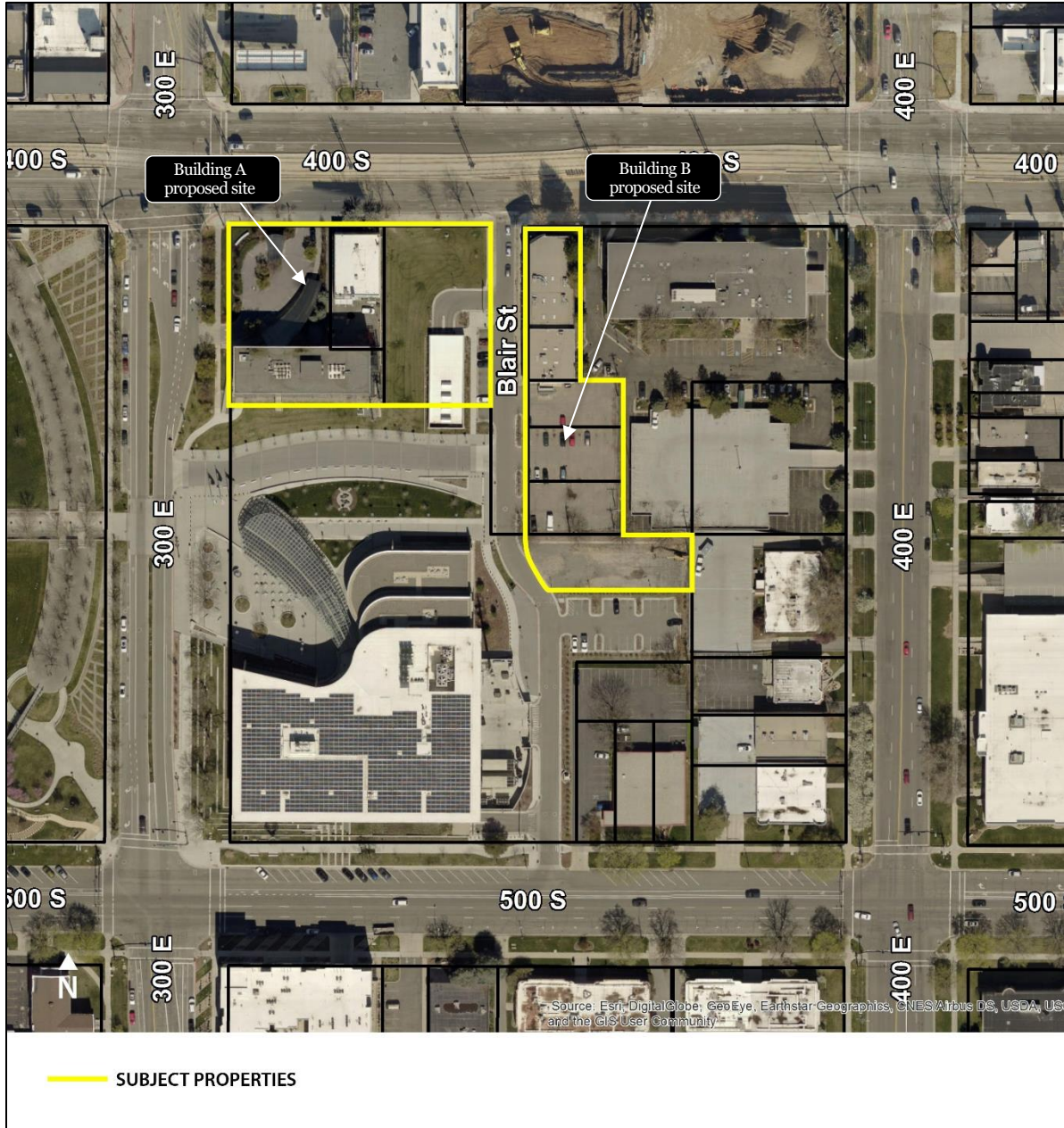
Downtown SLC Partners, the developer representing the property owner, Salt Lake City Corporation, has initiated petitions for a Planned Development and Conditional Building and Site Design (CBSD) for "The Exchange" a proposed mixed use development at approximately 320 E 400 South in the TSA-UC-C – Transit Station Area-Urban Center-Core zoning district. The proposal consist of two new buildings referred to as Building A & B that will be completed in phases:

- **Building A** – 9-story structure with over 15,000 square feet of retail, 286 mixed-income units, and rooftop gardens, and solar powered heating and cooling systems.
- **Building B** – 5 story structure with 2,700 square feet of retail, 126 mixed-income units, 30,000 square feet of incubator, accelerator, and co-working space, and innovative solar powered mechanical and electrical design.

The developer's proposed plans are attached to this memo and provide more details.



CONCEPTUAL RENDERINGS PROVIDED BY APPLICANT - VIEW FROM 400 S



REQUIRED PLANNING PROCESSES:

TSA Development Review Score

A TSA Development Review Score was required for both buildings. The purpose of the development score is to allow flexibility for designers while implementing the City's vision of the applicable station area plans and the purpose of the TSA zoning district. The development score measures the level of compatibility between a proposed project and the station area plan. The development score is based on the development guidelines and development incentives in the "Transit Station Area Development Guidelines" book.

Building A received a TSA Development score of 171 points out of the submitted 226. *Building B* received a TSA Development score 136 points out of the submitted 225 points. A score of 125 points or more qualifies for Staff approval of the TSA Development Score, and Staff issued approvals for the TSA score on July 2, 2018.

In addition to the TSA Development Score review process, the project also has to meet the development and design standards as indicated in the zoning ordinance. The applicant is requesting modifications to those standards through the Planned Development and Conditional Building and Site Design Review process which requires Planning Commission review and approval.

Planned Development Request

The maximum height for buildings located in the TSA-UC-C zone is 90 FT; additionally, projects that achieve a development score that qualifies for administrative review are eligible for an increase in height that is limited to one story of habitable space. The height of the additional story shall be equal to or less than the average height of the other stories in the building.

Based on the applicants development review score, they were eligible for an additional story equal to the average height of the other floors of the proposed building which is 11 feet 3/8 inches.

$$90' + 11' 3/8" = \mathbf{101' 3/8"} \text{ allowed by the TSA zoning district standards}$$

Through the Planned Development process, the applicant is requesting 5 feet of additional building height for Building A.

$$101' 3/8" + 5' = \mathbf{106' 3/8"} \text{ maximum height allowed with Planned Development request}$$

The applicants narrative identifies several Planned Development objectives they seek to achieve with the proposal including preservation of open space and community gathering areas, housing units with 20% at or below 50% AMI, sustainable construction that is powered entirely by the sun, and implementation of Master Plan policies related to affordable housing in Growing SLC and transit oriented development that provides an environment that allows residents to live, work, shop and provide for their daily needs along the transit corridor.

CBSD Request

The applicant is requesting modifications of some of the Design Standards located in [21A.37](#) and [21A.26.078](#) of the zoning ordinance for both Building A & B. Staff has provided a brief summary of the requirements for design standards the applicant is requesting to modify and what is proposed for each building below. For a complete definition of each design standard please refer to [Attachment A](#).

DESIGN STANDARD	REQUIREMENT	PROPOSED – BUILDING A	PROPOSED – BUILDING B
21A.37.050	<p>80% Active Uses: 80% of the ground floor of a street facing façade occupied by a permitted or conditional use other than parking for a depth of 25 FT.</p> <p><i>Or</i></p> <p>60% Active Use & 25% Visual Interest: 60% Active use as identified above and 25% visual interest and features to facilitate pedestrian interaction with the building</p>	<p>Blair St. –24% Active Use</p> <p>More information needed from applicant on proposed visual interest percentage.</p>	<p>Blair St. – 17% Active Use</p> <p>More information needed from applicant on proposed visual interest percentage.</p>
A. Active Ground Floor Uses and Visual Interest:			
C. Glass	<p>Ground Floor Glass: The ground floor building elevation of all new buildings facing a street shall have a minimum of 60% glass between 3 and 8 FT above grade. All ground floor glass shall allow unhampered and unobstructed visibility into the building for a depth of at least 5 FT.</p>	<p>Blair St. – 38% Ground Floor Glass</p>	<p>Blair St. – 36% Ground Floor Glass</p>
D. Building Entrances	<p>At least one operable building entrance on the ground floor for every street facing facade. Additional operable building entrances are required at a minimum of every 40 FT of street facing building facade.</p>	<p>400 S - Largest distance between entrances is approximately 86 FT 3 IN</p>	<p>Blair St. – Approximately 9 entrances required 2 entrances proposed. More information is needed on proposed building entrances.</p>
E. Maximum Length of a Blank Wall	<p>The maximum length of any blank wall uninterrupted by windows, doors, art or architectural detailing at the ground floor level along any street facing facade shall be 15 FT.</p>	<p>Blair St. – 16 FT</p> <p>300 E – 29 FT 11 IN</p>	<p>Blair St. – 147 FT</p> <p>Information is needed on 400 S. elevation</p>
F. Maximum Length of a Street Facing Façade	<p>Maximum length of a street facing façade is 200 FT. A minimum of 20 FT is required between separate buildings and the space between buildings shall include a pedestrian walkway at least 5 FT wide.</p>	<p>400 S – 277 FT</p> <p>300 E – 214 FT 4 IN</p>	<p>Blair St. – Approx. 378 FT</p>
M. Parking Garages & Structures	<p>The street level facing facades of all parking structures shall be wrapped along all street frontages with habitable space that is occupied by a use that is allowed in the zone as a permitted or conditional use.</p>	<p>Blair St. – Portions of the street facing façade along Blair St. is parking that is not wrapped with habitable space. The longest length of parking along the street level façade is approximately 158 FT</p>	<p>Blair St. - Portions of the street facing façade along Blair St. is parking that is not wrapped with habitable space. The longest length of parking along the street level façade is approximately 70 FT.</p>
21A.26.078(F)(2)	<p>All required building entries shall include at least one (1) of the following features:</p>	<p>Applicant has proposed awnings as their entry feature however some awnings do not extend</p>	<p>Blair St. - More information is needed on entry features along Blair St.</p>
c. Entry Feature Requirement			

	<p>(1) An awning or canopy over the entrance that extends a minimum of five feet (5') from the street facing building facade;</p> <p>(2) A recessed entrance that is recessed at least five feet (5') from the street facing facade;</p> <p>(3) A covered porch that is at least five feet (5') in depth and at least forty (40) square feet in size; or</p> <p>(4) A stoop that is at least two feet (2') above sidewalk level and that includes an awning or canopy that extends at least three feet (3') from the street facing building facade.</p>	<p>the required 5 FT from the building façade. Awnings that extend 3 FT 3 IN are proposed in some areas. More information on which awnings do not extend the required 5 FT is needed.</p>	
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In addition to the requested modifications above, in accordance with section 21A.37.050.B the Planning Director will need to make a determination on the durability of the proposed building materials for both building A and B. Additional information is needed in regards to the durability of the proposed building materials.

PROCESSING TIMELINE AND COMMUNITY INPUT:

Planning Staff is on the City’s Design Review Committee related to this proposed development. During early stages of conceptual design development, Planning Staff provided comments on the proposal as it relates to the applicable zoning district standards. A TSA Development Review Score application was submitted in January of 2018. Planning Staff provided an initial review to the developer on February 6, 2018 identifying TSA Development and Design standards the project did not appear to be meeting and informed the applicant of the process to request modifications to these standards.

The developer submitted applications for a Planned Development and CBSD mid-June. The Planning Division has been reviewing the plans for compliance with the applicable standards in the TSA zoning district, the Design Standards, the Planned Development section, and Conditional Building and Site Design Review section. Planning Staff provided the developer with two cycles of review comments about the development’s compliance with some of those standards and also indicated where additional information was needed. At the same time, the Central City Community Council as well as property owners and residents within 300 FT of the development have been provided notice of the proposal.

A City Open House was held on the project on August 16th. Three members of the public attended the open house. As of the publication of this memo, Staff has not received any public comments related to the proposal.

The Central City Community Council requested a presentation on the project at their September 5th community council meeting. Comments at the meeting were made about the existing homeless population in the area, the breakdown of affordable unit’s vs. market rate and construction timeline. As of the publication of this memo, Staff has not received any public comments related to the proposal. If Staff receives any future comments on the proposal, they will be included in the public record.

ISSUES IDENTIFIED BY STAFF IN RELATION TO ZONING STANDARDS

After reviewing the submitted plans, the Planning Division identified issues generally related to the pedestrian and transit orientation of the development as required by the associated zoning, CBSDR, and PD standards. As a starting point for further discussion by the Commission, the section below

identifies aspects of the proposal that, in Planning Staff's opinion, may be in conflict with the zoning standards:

Building A – Staff Concerns

- ***Request for increased façade length on 400 S***

The intent of this design standard is to break up the massing and scale of building facades. The upper levels of the 400 S elevation utilize variations in materials, recessed windows and projecting balconies to help to visually break-up the overall massing of the façade. There is approximately 52 feet of the upper 3 stories of the 400 S elevation that will serve as rooftop terrace space. This area is setback approximately 28 feet from the front façade of the lower floors which further helps to break up the building and gives the appearance of separate building masses. The ground floor is proposed with 80% glass which helps to provide visual interest and emphasizes the pedestrian level of the building. The ground floor of the building has minimal modulation – the largest variation proposed is 2 feet. This design standard calls for a 20 foot separation in between buildings with a façade length longer than 200 feet. The applicant is requesting a modification to allow a façade length of 277 feet; Staff is of the opinion that with the additional length proposed, the ground floor of the 400 S elevation would benefit from increased building articulation. Perhaps recessing/projecting ground floor building sections would help to provide a visual separation and break up the scale of the building at the pedestrian level which would be more consistent with intent of this design standard.

- ***Request for Increased Length of a Blank Wall on 300 E***

The design standard related to the 15 foot maximum length of a blank wall is intended to create variety and break up building scale at the ground level. On the 300 E elevation, the proposal includes approximately 30 feet of blank wall area. This blank area is designed to conceal the stairwell and elevator for the building. Staff is of the opinion the request for increased blank wall area would more closely meet the intent of this design standard with the addition of architectural detailing such as a change in plane, texture, materials, scale of materials, patterns or art.

Building B – Staff Concerns

- ***Ground Floor Use – Blair Street***

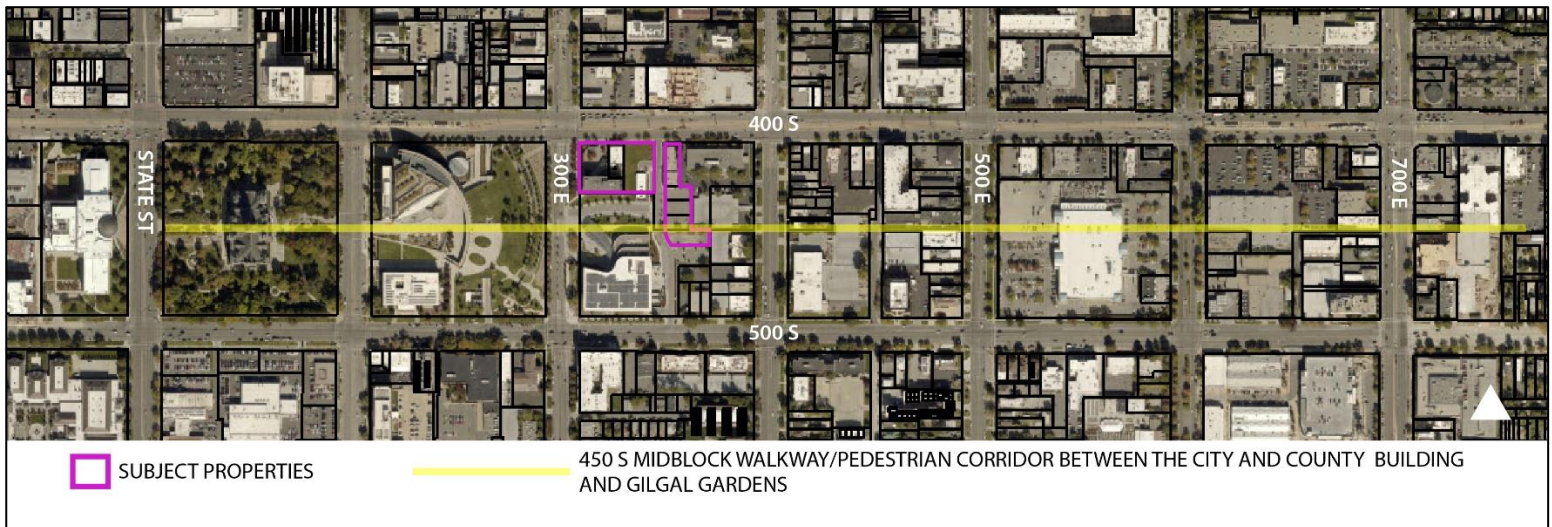
The ground floor of Building B is primarily parking along Blair Street, and the design of the building reflects the proposed use. Staff acknowledges that because of the dimensions of the site, locations to incorporate parking for the development are limited, however the applicant still needs to demonstrate how the requested modifications meet the intent of the design standards which is to activate the streetscape. As currently proposed, Staff is of the opinion the requested reductions to ground floor active use and visual interest requirements paired with the proposed increased façade length, which is almost twice as long as the maximum 200 feet allowed in the zoning ordinance, do not meet the intent of this design standard. Approximately 100 feet of the south end of this building has some visually interesting art and architectural features, however, those elements are not continued along the remaining 278 feet of street facing façade. Staff has offered some ideas including interactive lighting features, or looking at the possibility of reorienting the proposed bike parking so it fronts on Blair St. and maybe adding a fix it station as opposed to having pedestrians traveling along Blair Street look directly in on parking stalls. Additional ideas should be explored by the applicant for the Blair Street ground floor elevation to demonstrate how the project meets the intent of providing active ground floor uses and visual interest at the pedestrian level.

- **Limited Pedestrian Access Points on Blair Street**

Because a large portion of the ground floor use along Blair Street is proposed as parking, the applicant is requesting a reduction of operable building entrances which are required every 40 feet. The proposed length of the Blair Street façade is approximately 378 feet and therefore required to have 9 operable building entrances. There are 3 building entrances proposed on Blair Street and Staff is of the opinion the entrances that are provided are rather discrete and appear more like service entrances and could be better defined with a greater level of architectural detail or more prominent entry feature. The applicant will need to provide more information with their proposal to demonstrate how the intent of this design standard is being met.

- **Extension of the 450 S Midblock Walkway**

Amendments to the Central City Community Master Plan (Ordinance 83 of 2010) identifies a midblock walkway/pedestrian corridor at 450 S and indicates the plan should be amended to include a policy statement that states that any development between the City and County Building and Gilgal Gardens shall preserve the 450 South corridor. The amendments also included legislative intent from the City Council requesting that the City's Administration research the costs to acquire a public easement of 450 S. between 300 and 400 East. Additionally, the TSA zoning standards require any new development to provide a midblock walkway if a midblock walkway on the subject property has been identified in a master plan that has been adopted by the City. The standards indicate the walkway must be a minimum of 10 feet wide and include a minimum 6 foot wide unobstructed path. The midblock walkway may be incorporated into the building provided it is open to the public and a sign is posted indicating that the public may use the walkway. The submitted plans do not include a midblock walkway at 450 S. The applicant is exploring options to include the walkway to the south of the development site which is currently used for parking for the Public Safety Building. Additional information is needed from the applicant in relation to the developments inclusion of the 450 S midblock walkway and its design.



- ***Incomplete Information***

More information is needed regarding entry features, signage and lighting. Additionally, information is needed regarding ground floor building materials, specifically, the proposed metal screening/mesh that is proposed to screen the proposed parking on the ground floor elevation adjacent to Blair St. The proposed materials will need approval from the Planning Director to ensure they meet the requirements for durability and are appropriate for the ground floor of a structure.

Standards of Review

Planning staff generally does not have concerns with the proposal's compliance with the majority of the Planned Development standards that generally deal with compatibility with surrounding development. This is a development in a high-intensity mixed use area that is not near low scale residential uses that would generally cause compatibility concerns.

Staff believes that it would be most useful for the Commission to focus on the requested modifications to the design standards and if the requested modifications meet the intent of the specific design standards requested to be modified through the [Conditional Building and Site Design Review Standards](#) as they relate to the development.

ATTACHMENTS:

- A. [Design Standards 21A.37](#)
- B. [Conditional Building and Site Design Review Standards](#)
- C. [Planned Development Standards](#)
- D. [TSA District Zoning & Design Standards](#)
- E. [Development Plans and Renderings](#)

ATTACHMENT A: DESIGN STANDARDS & MODIFICATIONS

A definition of the design standards as they relate to this project/zoning district are provided below.

21A.37.040: MODIFICATIONS OF DESIGN STANDARDS:

The planning commission may modify any of the design standards identified in this chapter subject to the requirements of chapter 21A.59, "Conditional Building and Site Design Review". The applicant must demonstrate that the modification meets the intent for the specific design standards requested to be modified, the standards for conditional building and site design review and any adopted design guidelines that may apply.

21A.37.050: DESIGN STANDARDS DEFINED:

The design standards in this chapter are defined as follows. Each design standard includes a specific definition of the standard and may include a graphic that is intended to help further explain the standard, however the definition supersedes any conflict between it and a graphic.

A. Ground Floor Use and Visual Interest: The purpose of this standard is to increase the amount of active uses and/or visual interest on the ground floor of a building. There are two (2) options for achieving this, one dealing solely with the amount of ground floor use, and the other combining a lesser amount of ground floor use with increased visual interest in the building facade's design.

1. Ground Floor Use Only (80%): This option requires that on the ground floor of a new principal building, a permitted or conditional use other than parking shall occupy a minimum of 80% of any street facing building façade. All portions of such ground floor spaces shall extend a minimum of twenty five feet (25') into the building. Parking may be located behind these spaces. Vehicle entry and exit ways necessary for access to parking are exempt from this requirement. Such accessways shall not exceed thirty feet (30') in width.
2. Ground Floor Use & Visual Interest (60% & 25%): This option allows for some flexibility in the amount of required ground floor use, but in return requires additional design requirements for the purpose of creating increased visual interest and pedestrian activity where the lower levels of buildings face streets or sidewalks. The requirement for this zone if this option is pursued is 60% ground floor use and 25% visual. An applicant utilizing this option must proceed through the conditional building and site design review process for review of the project for determination of the project's compliance with those standards, and in addition, whether it contributes to increased visual interest through a combination of increased building material variety, architectural features, facade changes, art, and colors; and, increased pedestrian activity through permeability between the building and the adjacent public realm using niches, bays, gateways, porches, colonnades, stairs or other similar features to facilitate pedestrian interaction with the building.

B. Building Materials –

1. **Ground Floor Building Materials:** Other than windows and doors, 90% of the ground floor facade's wall area of any street facing facade shall be clad in durable materials. Durable materials include stone, brick, masonry, textured or patterned concrete, and fiber cement board. Other materials may be used for the remainder of the ground floor facade adjacent to a street. Other materials proposed to satisfy the durable requirement may be approved at the discretion of the planning director if it is found that the proposed material is durable and is appropriate for the ground floor of a structure.

2. Upper Floor Building Materials: Floors above the ground floor level shall include 60% durable materials on any street facing building facade of those additional floors. Windows and doors are not included in that minimum amount.

C. Glass—

1. Ground Floor Glass: The ground floor building elevation of all new buildings facing a street shall have a minimum of 60% glass between three (3) and eight feet (8') above grade. All ground floor glass shall allow unhampered and unobstructed visibility into the building for a depth of at least five feet (5').

D. Building Entrances: At least one operable building entrance on the ground floor is required for every street facing facade. Additional operable building entrances shall be required, at a minimum of every 40 FT of street facing building facade. The center of each additional entrance shall be located within six feet (6') either direction of the specified location. Each ground floor nonresidential leasable space facing a street shall have an operable entrance facing that street and a walkway to the nearest sidewalk. Corner entrances, when facing a street and located at approximately a forty five degree (45°) angle to the two (2) adjacent building facades (chamfered corner), may count as an entrance for both of the adjacent facades.

E. Maximum Length of Blank Wall: The maximum length of any blank wall uninterrupted by windows, doors, art or architectural detailing at the ground floor level along any street facing facade shall be 15 FT. Changes in plane, texture, materials, scale of materials, patterns, art, or other architectural detailing are acceptable methods to create variety and scale. This shall include architectural features such as bay windows, recessed or projected entrances or windows, balconies, cornices, columns, or other similar architectural features. The architectural feature shall be either recessed a minimum of twelve inches (12") or projected a minimum of twelve inches (12").

F. Maximum Length of Street Facing Facades: No street facing building wall may be longer than 200 FT. A minimum of twenty feet (20') is required between separate buildings when multiple buildings are placed on a single parcel according to subsection [21A.36.010B](#), "One Principal Building Per Lot", of this title. The space between buildings shall include a pedestrian walkway at least five feet (5') wide.

H. Exterior Lighting: All exterior lighting shall be shielded and directed down to prevent light trespass onto adjacent properties. Exterior lighting shall not strobe, flash or flicker.

J. Screening of Mechanical Equipment: All mechanical equipment for a building shall be screened from public view and sited to minimize their visibility and impact. Examples of siting include on the roof, enclosed or otherwise integrated into the architectural design of the building, or in a rear or side yard area subject to yard location restrictions found in section [21A.36.020](#), table [21A.36.020B](#), "Obstructions In Required Yards", of this title.

K. Screening of Service Areas: Service areas, loading docks, refuse containers and similar areas shall be fully screened from public view. All screening enclosures viewable from the street shall be either incorporated into the building architecture or shall incorporate building materials and detailing compatible with the building being served. All screening devices shall be a minimum of one foot (1') higher than the object being screened, and in the case of fences and/or masonry walls the height shall not exceed eight feet (8'). Dumpsters must be located a minimum of twenty five feet (25') from any building on an adjacent lot that contains a residential dwelling or be located inside of an enclosed building or structure.

M. Parking Garages or Structures: The following standards shall apply to parking garages or structures whether stand alone or incorporated into a building:

1. Parking structures shall have an external skin designed to improve visual character when adjacent to a public street or other public space. Examples include heavy gauge metal screen, precast concrete panels; live green or landscaped walls, laminated or safety glass, decorative photovoltaic panels or match the building materials and character of the principal use. The planning director may approve other decorative materials not listed if the materials are in keeping with the decorative nature of the parking structure.
2. The architectural design of the facades should express the internal function of the structure. Facade elements shall align to parking levels and there shall be no sloped surfaces visible from a public street, public trail or public open space.
3. Internal circulation must be designed such that parking surfaces are level (or without any slopes) along all primary facades. All ramping between levels need to be placed along the secondary facade or to the center of the structure. Parking structures shall be designed to conceal the view of all parked cars and drive ramps from public spaces.
4. Elevator and stairs shall be highlighted architecturally so visitors, internally and externally, can easily access these entry points.
5. Signage and wayfinding shall be integrated with the architecture of the parking structure and be architecturally compatible with the design. Public parking structures entrances shall be clearly signed from public streets.
6. Interior garage lighting shall not produce glaring sources toward adjacent properties while providing safe and adequate lighting levels. The use of sensor dimmable LEDs and white stained ceilings are a good strategy to control light levels on site while improving energy efficiency.
7. Where a driveway crosses a public sidewalk, the driveway shall be a different color, texture, or paving material than the sidewalk to warn drivers of the possibility of pedestrians in the area.
8. The street level facing facades of all parking structures shall be wrapped along all street frontages with habitable space that is occupied by a use that is allowed in the zone as a permitted or conditional use.
9. Parking structures shall be designed to minimize vehicle noise and odors on the public realm. Venting and fan locations shall not be located next to public spaces and shall be located as far as possible from adjacent residential land uses.

ATTACHMENT B: CONDITIONAL BUILDING & SITE DESIGN REVIEW STANDARDS

21A.59.060: STANDARDS FOR DESIGN REVIEW

In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

- A. Development shall be primarily oriented to the street**, not an interior courtyard or parking lot.
- B. Primary access** shall be oriented to the pedestrian and mass transit.
- C. Building facades** shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.
- D. Architectural detailing** shall be included on the ground floor to emphasize the pedestrian level of the building.
- E. Parking lots shall be appropriately screened and landscaped** to minimize their impact on adjacent neighborhoods. Parking lot lighting shall be shielded to eliminate excessive glare or light into adjacent neighborhoods.
- F. Parking and on site circulation** shall be provided with an emphasis on making safe pedestrian connections to the street or other pedestrian facilities.
- G. Dumpsters and loading docks** shall be appropriately screened or located within the structure.
- H. Signage** shall emphasize the pedestrian/mass transit orientation.
- I. Lighting** shall meet the lighting levels and design requirements set forth in chapter 4 of the Salt Lake City lighting master plan dated May 2006.
- J. Streetscape improvements** shall be provided as follows:
 - 1. One street tree chosen from the street tree list consistent with the city's urban forestry guidelines and with the approval of the city's urban forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the city's urban forester.
 - 2. Landscaping material shall be selected that will assure eighty percent (80%) ground coverage occurs within three (3) years.
 - 3. Hardscape (paving material) shall be utilized to designate public spaces. Permitted materials include unit masonry, scored and colored concrete, grasscrete, or combinations of the above.
 - 4. Outdoor storage areas shall be screened from view from adjacent public rights of way. Loading facilities shall be screened and buffered when adjacent to residentially zoned land and any public street.
 - 5. Landscaping design shall include a variety of deciduous and/or evergreen trees, and shrubs and flowering plant species well adapted to the local climate.
- K. The following additional standards shall apply to any large scale developments with a gross floor area exceeding sixty thousand (60,000) square feet:**
 - 1. The orientation and scale of the development shall conform to the following requirements:
 - a. Large building masses shall be divided into heights and sizes that relate to human scale by incorporating changes in building mass or direction, sheltering roofs, a distinct pattern of divisions on surfaces, windows, trees, and small scale lighting.

b. No new buildings or contiguous groups of buildings shall exceed a combined contiguous building length of three hundred feet (300').

2. Public spaces shall be provided as follows:

a. One square foot of plaza, park, or public space shall be required for every ten (10) square feet of gross building floor area.

b. Plazas or public spaces shall incorporate at least three (3) of the five (5) following elements:

(1) Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");

(2) A mixture of areas that provide shade;

(3) Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted;

(4) Water features or public art; and/or

(5) Outdoor eating areas.

L. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as adopted master plan policies, the city's adopted "urban design element" and design guidelines governing the specific area of the proposed development. Where there is a conflict between the standards found in this section and other adopted plans and regulations, the more restrictive regulations shall control.

ATTACHMENT C: PLANNED DEVELOPMENT STANDARDS

21A.55 Standards for Planned Developments

The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

- A. Planned Development Objectives:** The planned development shall meet the purpose statement for a planned development (section [21A.55.010](#) of this chapter) and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development. The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development. The Planning Commission should consider the relationship between the proposed modifications to the zoning regulations and the purpose of a planned development, and determine if the project will result in a more enhanced product than would be achievable through strict application of the land use regulations.
- B. Master Plan Compatibility:** The proposed planned development is generally consistent with adopted policies set forth in the Citywide, community, and/or small area Master Plan that is applicable to the site where the planned development will be located.
- C. Design and Compatibility:** The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the Planning Commission should consider:
1. Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;
 2. Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design;
 3. Whether building setbacks along the perimeter of the development:
 - a. Maintain the visual character of the neighborhood or the character described in the applicable Master Plan.
 - b. Provide sufficient space for private amenities.
 - c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise.
 - d. Provide adequate sight lines to streets, driveways and sidewalks.
 - e. Provide sufficient space for maintenance.

4. Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;
5. Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;
6. Whether dumpsters, loading docks and/or service areas are appropriately screened; and
7. Whether parking areas are appropriately buffered from adjacent uses.

D. **Landscaping:** The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the Planning Commission should consider:

1. Whether mature native trees located along the periphery of the property and along the street are preserved and maintained;
2. Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved;
3. Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development; and
4. Whether proposed landscaping is appropriate for the scale of the development.

E. **Mobility:** The proposed planned development supports Citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the Planning Commission should consider:

1. Whether drive access to local streets will negatively impact the safety, purpose and character of the street;
2. Whether the site design considers safe circulation for a range of transportation options including:
 - a. Safe and accommodating pedestrian environment and pedestrian oriented design;
 - b. Bicycle facilities and connections where appropriate, and orientation to transit where available; and
 - c. Minimizing conflicts between different transportation modes;
3. Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities;
4. Whether the proposed design provides adequate emergency vehicle access; and
5. Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.

F. Existing Site Features: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.

G. Utilities: Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area. (Ord. 8-18, 2018)

21A.55.010: PURPOSE STATEMENT (FOR PLANNED DEVELOPMENTS)

A planned development is intended to encourage the efficient use of land and resources, promoting greater efficiency in public and utility services and encouraging innovation in the planning and building of all types of development. Further, a planned development implements the purpose statement of the zoning district in which the project is located, utilizing an alternative approach to the design of the property and related physical facilities. A planned development incorporates special development characteristics that help to achieve City goals identified in adopted Master Plans and that provide an overall benefit to the community as determined by the planned development objectives. A planned development will result in a more enhanced product than would be achievable through strict application of land use regulations, while enabling the development to be compatible with adjacent and nearby land developments. The City seeks to achieve at least one or any combination of the following objectives through the planned development process. Each objective includes strategies that are intended to be used to determine if an objective has been accomplished through a specific proposal:

A. Open Space and Natural Lands: Preserving, protecting or creating open space and natural lands:

1. Inclusion of community gathering places or public recreational opportunities, such as new trails or trails that connect to existing or planned trail systems, playgrounds or other similar types of facilities.
2. Preservation of critical lands, watershed areas, riparian corridors and/or the urban forest.
3. Development of connected greenways and/or wildlife corridors.
4. Daylighting of creeks/water bodies.
5. Inclusion of local food production areas, such as community gardens.
6. Clustering of development to preserve open spaces.

B. Historic Preservation:

1. Preservation, restoration, or adaptive reuse of buildings or structures that contribute to the character of the City either architecturally and/or historically, and that contribute to the general welfare of the residents of the City.
2. Preservation of, or enhancement to, historically significant landscapes that contribute to the character of the City and contribute to the general welfare of the City's residents.

C. Housing: Providing affordable housing or types of housing that helps achieve the City's housing goals and policies:

1. At least twenty percent (20%) of the housing must be for those with incomes that are at or below eighty percent (80%) of the area median income.

2. The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood.

D. Mobility: Enhances accessibility and mobility:

1. Creating new interior block walkway connections that connect through a block or improve connectivity to transit or the bicycle network.
2. Improvements that encourage transportation options other than just the automobile.

E. Sustainability: Creation of a project that achieves exceptional performance with regards to resource consumption and impact on natural systems:

1. **Energy Use And Generation:** Design of the building, its systems, and/or site that allow for a significant reduction in energy usage as compared with other buildings of similar type and/or the generation of energy from an on-site renewable resource.
2. **Reuse of Priority Site:** Locate on a brownfield where soil or groundwater contamination has been identified, and where the local, State, or national authority (whichever has jurisdiction) requires its remediation. Perform remediation to the satisfaction of that authority.

F. Master Plan Implementation: A project that helps implement portions of an adopted Master Plan in instances where the Master Plan provides specific guidance on the character of the immediate vicinity of the proposal:

1. A project that is consistent with the guidance of the Master Plan related to building scale, building orientation, site layout, or other similar character defining features.

ATTACHMENT D: TSA ZONING AND DESIGN STANDARDS

Development Standards:

1. **Application:** The dimensional requirements of this section apply to all new buildings and developments as well as additions to existing buildings. Additions that bring the property closer to compliance are allowed. The following development standards apply to the core and transition areas of all station types.
2. **Building Height:** The minimum and maximum building heights are found in table 21A.26.078E2, "Building Height Regulations", of this section. The following exceptions apply:
 - a. The minimum building height applies to all structures that are adjacent to a public or private street. The building shall meet the minimum building height for at least fifty percent (50%) of the width of the street facing building wall.
 - b. Projects that achieve a development score that qualifies for administrative review are eligible for an increase in height. The increase shall be limited to one (1) story of habitable space. The height of the additional story shall be equal to or less than the average height of the other stories in the building. This is in addition to the height authorized elsewhere in this title.

TABLE 21A.26.078E2
BUILDING HEIGHT REGULATIONS

	Minimum Height¹	Maximum Height
Urban center:		
Core	40'	90' ²
Transition	25'	60'

Notes:

1. Minimum building heights apply to those properties with frontage on the street where fixed rail transit is located.
2. Buildings with a roof that has at least 2 sloping planes may be allowed up to 105 feet. The slope of the plane must have a minimum slope of a 2 feet rise over a 12 foot run. The additional height may include habitable space. The sloping planes must be clearly visible and create a sloped roof shape. The sloping planes shall not be hidden by a parapet wall.

3. Setbacks:

a. General Standards For Front/Corner Side Yards:

- (1) All portions of the yard not occupied by building, driveways, walkways or other similar features must be landscaped or include an active outdoor use, such as outdoor dining, plazas, courtyards or other similar outdoor use. See subsection F of this section for specific front yard design requirements.
- (2) Parking is prohibited in the front and corner side yards.
- (3) Walls up to three feet (3') in height, patios and other similar elements intended to activate the sidewalk can be located to the property line.

- (4) Awnings or canopies may be located within any portion of the yard and are not subject to the front or corner side yard restrictions in subsection [21A.36.020B](#), table 21A.36.020B of this title.
- (5) Balconies may project up to two feet (2') into the required yards and are not subject to the front or corner side yard restrictions in subsection [21A.36.020B](#), table 21A.36.020B of this title.
- (6) All front and corner side yard standards in table 21A.26.078E3b of this subsection E may be modified through the Conditional Building and Site Design Review process of chapter 21A.59 of this title, except that the front and corner side yard setback for 400 South shall not be reduced below the minimum.

b. Table 21A.26.078E3b Setback Standards:

TABLE 21A.26.078E3b
SETBACK STANDARDS

Property Frontage	Front/Corner Side Yard Setback	Interior Side Yard	Rear Yard
400 South	<p>Minimum: 10', and at least 50% of the street facing building facade must be built to the minimum.</p> <p>Maximum setback: 20', but may be increased if the additional setback is used for plazas, courtyards, or outdoor dining areas.</p> <p>In locations where the sidewalk is not a minimum of 10' wide, additional sidewalk width shall be installed by the developer so there is a minimum width sidewalk of 10'. This applies to new buildings and to additions that increase the gross building square footage by more than 50%. This standard does not require removal of existing buildings or portions thereof.</p>		<p>Minimum: None, except a 25' setback is required when adjacent to an OS, R-1, R-2, SR, RMF-30, RMF-35 or RMF-45 Zoning District. The minimum shall increase 1' for every 1' increase in building height above 25' and is applied to the portion of the building over 25' in height.</p>
All other streets	<p>Minimum: None</p> <p>At least 50% of the street facing building facade shall be within 5' of the front or corner side property line.</p>		

4. Minimum Lot Area and Lot Width Requirements:

TABLE 21A.26.078E4
MINIMUM LOT AREA AND LOT WIDTH STANDARDS

Standard	Required Dimension
Minimum lot area	2,500 square feet
Minimum lot width	40 feet

- a. The minimum lot area applies to all new subdivisions of land and shall not be used to calculate residential density.
 - b. Any legally existing lot may be developed without having to comply with the minimum lot size or width requirements.
 - c. Lots subdivided for single-family detached, single-family attached, and two-family residential dwellings are exempt from minimum lot width requirements.
 - d. Lots subdivided for single-family attached dwellings are exempt from minimum lot area provided that:
 - (1) Parking for units shall be rear loaded and accessed from a common drive shared by all units in a particular development;
 - (2) Driveway access shall connect to the public street in a maximum of two (2) locations; and
 - (3) No garages shall face the primary street and front yard parking shall be strictly prohibited.
5. Open Space: Open space shall be provided at a rate of one (1) square foot for every ten (10) square feet of land area included in the development, up to five thousand (5,000) square feet for core areas, and up to two thousand five hundred (2,500) square feet for transition areas. Open space includes landscaped yards, patios, public plazas, pocket parks, courtyards, rooftop and terrace gardens and other similar types of open space amenity. All required open space shall be accessible to the users of the building(s).
6. Circulation and Connectivity: Development within the station area shall be easily accessible from public spaces and provide safe and efficient options for all modes of travel. Circulation networks, whether public or private, require adequate street, pedestrian and bicycle connections to provide access to development. The internal circulation network shall be easily recognizable, formalized and interconnected.
- a. All parking lots shall comply with the standards in section [21A.44.020](#), "General Off Street Parking Regulations", of this title.
 - b. Parking is prohibited between the street-facing building line and any front or corner side property line. This shall include any drive aisle that is not perpendicular to the front or corner side property line.
 - c. Any new development shall provide a midblock walkway if a midblock walkway on the subject property has been identified in a master plan that has been adopted by the City. The following standards apply to the midblock walkway:
 - (1) The midblock walkway must be a minimum of ten feet (10') wide and include a minimum six foot (6') wide unobstructed path.

(2) The midblock walkway may be incorporated into the building provided it is open to the public. A sign shall be posted indicating that the public may use the walkway.

7. Accessory Structures: No accessory structure shall be located in a required front yard or between the primary building and a property line adjacent to a public street.

F. Design Standards:

1. Development shall comply with the design standards in chapter 21A.37 of this title when applicable as specified in that chapter.

2. All developments required to obtain a review score by subsection C of this section shall comply with the following additional design standards. These specific standards may be modified through the Conditional Building and Site Design Review process in chapter 21A.59 of this title if the modifications meet the intent of the specific design standard requested to be modified:

a. EIFS and Stucco Limitation: Use of Exterior Insulation and Finishing System (EIFS) or traditional stucco is not allowed as a building material on the ground floor of street facing building facades. Use of EIFS and stucco is allowed for up to ten percent (10%) of the upper level street facing facades.

b. Front and Corner Side Yard Design Requirements:

(1) In yards greater than ten feet (10') in depth, one (1) shade tree shall be planted for every thirty feet (30') of street frontage. For the purpose of this section, a shade tree is any tree that has a mature minimum tree canopy of thirty feet (30') and a mature height that is forty feet (40') or greater.

(2) At least fifty percent (50%) of the front or corner side yards shall be covered in live plant material. This can include raised planter boxes. This percentage can be reduced to thirty percent (30%) if the yard includes outdoor dining, patios, outdoor public space, or private yards for ground floor residential uses that cover at least fifty percent (50%) of the provided front or corner side yard.

(3) At least thirty percent (30%) of the front or corner side yard shall be occupied by outdoor dining areas, patios, outdoor public space, or private yards for ground floor residential uses.

(4) Driveways necessary for vehicle access to the site are allowed regardless of compliance with the minimum percentages required by this subsection.

c. Entry Feature Requirements: All required building entries shall include at least one (1) of the following features:

(1) An awning or canopy over the entrance that extends a minimum of five feet (5') from the street facing building facade;

(2) A recessed entrance that is recessed at least five feet (5') from the street facing facade;

(3) A covered porch that is at least five feet (5') in depth and at least forty (40) square feet in size; or

(4) A stoop that is at least two feet (2') above sidewalk level and that includes an awning or canopy that extends at least three feet (3') from the street facing building facade.

d. Ground Floor Use Requirement for 400 South And North Temple Boulevard: When facing 400 South or North Temple Boulevard, the ground floor use area required by chapter 21A.37 of this title shall be built to accommodate an allowed commercial, institutional, or public use. Live/work uses qualify as a commercial use for this subsection.

(1) Exception: Residential uses may be permitted within the required area in lieu of the required use, if the ground floor is designed so that it can be converted to an allowed commercial use in the future. To accommodate this conversion, the shell space of the ground floor shall be built to an occupancy standard required by the adopted Building Code that can accommodate conversion of the interior of the space to a future permitted commercial use.

(2) The following additional requirements shall apply to the ground floor space if used for residential uses:

(A) The shell space shall be at least twelve feet (12') in height;

(B) The street facing facade of each ground floor residential unit shall be at least sixty percent (60%) glass;

(C) Each ground floor unit shall have a direct entrance from the sidewalk to the unit;

(D) Each ground floor unit shall be ADA accessible; and

(E) Each ground floor unit shall include a porch, patio, stoop or other entrance feature that is a minimum depth of at least five feet (5').

G. Multiple Buildings on a Single Parcel: Multiple principal buildings on a single parcel are permitted provided each principal building meets the requirements of this chapter and each principal building obtained a separate development score. New principal buildings can be located toward the rear of a parcel provided there is an existing or additional new principal building that complies with the front yard building setbacks. If one (1) principal building receives a development score lower than other principal buildings on the site, the project shall be processed based on the lowest development score obtained. Multiple single-family detached dwellings and two-family dwellings may be located on one (1) lot and are not required to obtain a development score.

H. Parking: The purpose of this subsection is to provide locations for off street parking. All off street surface parking lots should be located so that they are compatible with pedestrian oriented streets. New uses and development or redevelopment within this district shall comply with the requirements of this subsection.

1. Surface Parking On Corner Properties: On corner properties, surface parking lots shall be located behind principal buildings or at least sixty feet (60') from the intersection of the front and corner side lot lines, and are subject to the additional requirements established for core or transition areas below.

2. Surface Parking in the Core Area: Surface parking lots in the core area are required to be located behind the principal building or to the side of a principal building.

- a. Requirements: When located to the side of a building, the parking lot shall be:
 - (1) Set back a minimum of thirty feet (30') from a property line adjacent to a public street. The space between the parking lot and the property line adjacent to a public street shall be landscaped or activated with outdoor dining, plazas or similar feature.
 - (2) Screened with a landscaped hedge or wall that is at least thirty six inches (36") above grade and no taller than forty two inches (42") above grade. Landscaping berms are not permitted.
 - (3) The parking lot shall be no wider than what is required for two (2) rows of parking and one (1) drive aisle as indicated in section [21A.44.020](#), table 21A.44.020 of this title.
 - b. One Driveway and Drive Aisle Per Street Frontage: Only one (1) driveway and drive aisle is permitted per street frontage and the access point shall be located a minimum of one hundred feet (100') from the intersection of the front and corner side property lines. If the front or corner side property line is less than one hundred feet (100') in length, then the drive approach shall be located within twenty feet (20') of the side or rear property line.
3. Surface Parking in the Transition Area: Surface parking lots in the transition area are required to be located behind the principal building or to the side of a principal building.
- a. Requirements: When located to the side of a principal building, the parking lot shall be:
 - (1) Set back so that no portion of the parking area other than the driveway is closer to the street than the front wall setback of the building. In cases where the front wall of the building is located within five feet (5') of a property line adjacent to a street, the parking lot shall be set back a minimum of eight feet (8'). The space between the parking lot and the property line adjacent to a street shall be landscaped or activated with outdoor dining, plazas or similar feature.
 - (2) Screened with a landscaped hedge or wall that is at least thirty six inches (36") above grade and no taller than forty two inches (42") above grade. Landscaping berms are not permitted.
4. Walkways Through Parking Lots: Parking lots with more than fifteen (15) spaces shall provide a pedestrian walkway through the parking lot to the primary building entrance or a sidewalk providing access to a primary building entrance. One (1) walkway must be provided for every three (3) drive aisles. Walkways shall be curb separated from the parking areas and a minimum of five feet (5') wide. Vehicles shall not overhang the walkway. Parking lot landscaping requirements in chapter 21A.48 of this title shall be included on the side of the walkway. Where the walkway crosses a drive aisle, a crosswalk that is clearly identified by a change in color, material, or similar technique shall be used.
5. Other Applicable Standards: All other standards in chapter 21A.44, "Off Street Parking, Mobility And Loading", of this title shall apply.
- I. Conflicting Regulations: In cases where the regulations of this section conflict with another section of this zoning ordinance, this section shall take precedence except in situations where the conflict is related to the use of the property, in which case the more restrictive regulation takes precedence. In station areas within an overlay district, the overlay district shall take precedence.

ATTACHMENT E: DEVELOPMENT PLANS & RENDERINGS

THE EXCHANGE (A)

PLANNED DEVELOPMENT REQUEST

Downtown SLC Partners LLC requests the ability to increase the height of The Exchange (A) by less than 5' over what is proscribed in the TSA-UC-C zone.

1. PROJECT DESCRIPTION

The Exchange (A) building is the primary parcel in the mixed-use, master-planned Exchange Project that was selected in Salt Lake City's recent Barnes Bank RFP. The proposed use for this site is a striking, 9-story structure that boasts over 15,000 ft of retail, 286 mixed-income units, rooftop gardens, and innovative heating and cooling systems that derive 100% of their power from the sun. This building would serve as a worthy endcap to the City's beautiful civic center and be a powerful demonstration that high-end market residential can successfully include low-income units, that large structures can be powered from renewable sources, and that dynamic, mixed-use structures can pencil and thrive along our 400 South corridor.

The principal reason for this PUD request is to improve the height of our pedestrian-level retail to 16' and our units to 10'. Both will be needed to achieve the rents required to offset the affordable housing component and fully-wrapped parking decks that the project seeks to provide. The site currently consists of several vacant commercial structures.

We believe this project exemplifies the vibrant, mixed-use, and mixed-income environments the TSA zone was written to encourage.

2. PLANNED DEVELOPMENT INFORMATION PROJECT

This project fulfills many of the itemized objectives planned developments are designed to produce:

- a. The Exchange is designed to reside well within the context of Salt Lake City's iconic civic campus. The materiality of its base floor is a direct nod to the adjacent main library while its upper floors incorporate several cues from the neighboring Public Safety Building. The structure is significant and provides a strong anchor to the area. The functional entirety of the main floor is community retail while the residential tower sets aside 20% of its units for those making 50% of the median income or less. This truly is a building for everyone as befits its location among the City's most public structures.

- d. This building has the rare distinction of having streets along each of its four sides. The proposed design wraps 400 S and 300 E with retail and continues the treatment along People's Way. This ensures all regularly traveled street faces maintain active uses and helps activate People's Way into the hidden pedestrian gem it could be.
- e. By increasing Exchange A's height, we are able to completely eliminate surface parking on the site. Doing so allows the pedestrian experience around, and in, the structure to be utilized by all of SLC's residents. These community retail spaces will also serve to open the large amount of public space along Peoples Way for use to a wider variety of patrons than the Public Safety building currently provides.
- f. The project replaces several long-vacant structures that currently reside along 300 E with dense, active uses designed to return life to 300 E.
- g. This project serves as a powerful demonstration that affordable housing can be built in high-rent residential buildings without decreasing the rents those buildings' market units provide. A full 20% of the structure's units will be set aside for households making 50% or less of the area's AMI, a level of affordability rarely seen in developments that are not financed with 9% LIHTC credits.
- h. In keeping with the pedigree of the neighboring Public Safety Building, this building's residential units are 100% electrically powered. They will also be the 2nd multifamily building in Utah (Giv's Project Open was the first) to derive 100% of that electricity from Rocky Mountain Power's Subscriber Solar program.

The Exchange project thoughtfully meets the purpose of TSA zone and area master plan by bringing top-quality, mixed-use, and renewably-powered density to the heart of the City's civic core. Its design creates a pleasing environment to pedestrians, transit-riders, and residents alike. Most importantly, the Exchange proves a model for creating deeply affordable housing that resides well within a high-rent structure and doesn't require scarce 9% credits to build. We look forward to working with the City on this important project. Please do not hesitate to reach out with any questions that may arise.

Sincerely,

Chris Parker
SLC Downtown Partners
801.427.0844.

THE EXCHANGE (A)

CBSD REQUEST

To facilitate this important development, Downtown SLC Partners requests modifications to some building entrance, depth of ground floor use, and length requirements. The standards are well thought out and seek to create excellence in design. However, treating all four of a building's sides as the front of the building creates design and cost challenges that are very difficult to overcome and that buildings with one or two street-facing façades do not have to contend with. Each of the requests listed below stems from the property's unique position of having streets on each of its sides as well as the need to incorporate the Public Safety Building's existing parking entrance into the building.

Specifically, as listed below, the property requests a modification to the 5' awning required at each entrance, the number of required building entrances, the length of a street facing façade, the ground floor use depth, the length of a blank wall, and, if one material is not considered a durable material, the percentage of durable materials on upper floors.

The property meets or exceeds all other planning and zoning requirements.

PROJECT DESCRIPTION

The Exchange (A) building is the primary parcel in the mixed-use, master-planned Exchange Project that was selected in Salt Lake City's recent Barnes Bank RFP. The proposed use for this site is a striking, 9-story structure that boasts over 15,000 ft of retail, 286 mixed-income units, rooftop gardens, and innovative heating and cooling systems that derive 100% of their power from the sun. This building would serve as a worthy endcap to the City's beautiful civic center and be a powerful demonstration that high-end market residential can successfully include low-income units, that large structures can be powered from renewable sources, and that dynamic, mixed-use structures can pencil and thrive along our 400 South corridor.

We believe this project exemplifies the vibrant, mixed-use, and mixed-income environments the TSA zone was written to encourage.

DETAILS OF SPECIFIC MODIFICATION REQUESTS

Ground Floor Use and Visual Interest:

The property requests a modification to this requirement due to the parking vault that makes it impossible to provide the required active use as well as the unique character of the property which positions it on four city streets, two of which are used by a very limited number of people. The property fulfills the intent of the standard by ensuring that the faces that are able to provide active use are at or near 100% active use as well as by providing significant visual interest through art, changes in detailing, and changes in material.

The property exceeds this requirement on its 2 main façades. Where the requirement asks for 80% ground floor use, the 400 S and 300 E faces are 100% active ground floor use that is over 25 feet deep. These uses are all residential and retail/commercial.

The other two faces of the building are on minor roads that are much less trafficked (People's Way and Blair Street). Because of the existing Public Safety Building parking vault entrance that is not able to be removed or modified in any way, the property is not able to comply with this requirement on those two streets.

The People's Way façade has 42% active use that is at least 25 feet deep. An additional 13% is active use ranging from 18 to 22 feet in depth because the necessary parking structure does not allow for deeper spaces. 25% of the façade is the existing parking vault entrance which will be covered in art to create some visual interest. The remaining portions will have architectural visual interest through detailing that is at least 1 foot in depth or a change in materials.

The parking vault accounts for 57% of the Blair Street side of the property. In order to minimize the impact of the vault, the property will wrap the existing wall with residential uses. However, these uses cannot be 25 feet in depth because there is not room between the vault and the public street to provide 25 feet of active use plus the necessary sidewalk. The active use provided is closer to 20 feet in depth. If that use were to be counted as compliant, since its lack of depth is due to forces outside the property's control, the Blair Street side would be nearly 100% active use. The only portion that does not have an active use is a 27-foot wide garage entrance, which is exempt from this requirement. In order to enhance this elevation's visual interest, the property will include art on the portion of the parking vault that will remain exposed.

Refer to the elevations.

Maximum Length of Street Facing Façades:

The property requests a modification to this requirement in order to allow façade lengths in excess of 200 feet.

When the city awarded this RFP to the development group, Salt Lake City's intent was to provide as much housing as possible with an emphasis on bringing more affordable housing to the downtown area. As such, the development team proposed a structure that would maximize the parcel in order to provide this much-needed housing in a way that makes the project financially viable over the long-term. This led to a structure that is roughly 277 feet in length and 213 feet in depth. Reducing the length of these façades would severely reduce the number of apartments that could be built on the property and would hinder the long-term feasibility of the project.

Another reason the property needs to be so long stems from the unique layout of four city streets surrounding the structure. Because there is no side that does not have a street, the

development team is attempting to conceal all of the parking within the structure itself. In order to provide the required parking while keeping it hidden from public view, the building's footprint extends to the edges of the parcel. Even at this length, the required parking between both Exchange buildings can only be met with three levels of structured parking. This is one of the cost constraints that leads to the required number of apartments in order to sustain long-term feasibility.

In an effort to meet the intent of this requirement, the building's longest two façades (400 S and People's Way) include large cutouts that provide the massing relief sought by this requirement. The building also includes large portions of different materials. These two design decisions create a feeling of varied massing that create the visual separation sought by this requirement while retaining the wealth of active public uses that has been missing from previous 400 S developments.

Maximum Length of Blank Wall:

The property requests a modification to this requirement for only one small section on the west side of the building. In order to break up the massing of the building and to facilitate efficient interior use of the property, there is one section that exceeds the maximum allowed length by 5 feet. However, this section is inset 2 feet from the rest of the building, making the 20 feet of blank wall visually imperceptible from the pedestrian view. Because this is where the elevator and staircase are located, it is difficult to break up the façade. The development team pursued the option of adding windows into the staircase but that would have placed windows in random locations and ruined the visual design.

Refer to the west elevation (300 E).

Building Entrances:

The property requests a modification to this requirement due to the structural and use layout of the building. The way the building is laid out, to provide as much active use as possible and with incorporating the existing Public Safety Building parking vault entrance, it is difficult to space the doors so that they are exactly 40 feet or less apart. Also, because each face of the building is surrounded by streets, there is nowhere that the building façade can hide its less attractive, yet necessary, maintenance, fire riser, and other features like a property on a less unique site could do.

There are a handful of areas on each façade that require more than 40 feet between doors. One of these is along Blair Street where the existing parking vault needs to be wrapped by the new building. Another is on 400 South where adding doors to the exterior would lead directly into the private leasing offices. Other locations that are over 40 feet are in areas where shifting the doors would cause people to enter directly into an interior column or would put the door on an exterior structural column.

The building meets the intent of this requirement by providing essentially the same number of doors that would normally be required but spaces them out in such a way that the use of the structure is better laid out. The number of doors that would be required if they were evenly spaced every 40 feet, not counting the garage entrance or the south wall of the parking vault that cannot have doors, is between 19 and 21, depending on how they are spaced. The total number of doors provided is 19.

Refer to the architectural site plan.

Entry Feature Requirements:

Some portions of the building do not allow awnings that are 5 feet deep without intruding into the public way. This is also another requirement where having four “fronts” adds cost that would otherwise not exist. In order to keep the design of the building consistent throughout and to provide increased visual interest, the property requests a modification to this requirement. The awnings at the major entries to the building will be 5 feet in depth. In order to make those entrances the noticeably more prominent entries and to provide increased visual interest, it is requested that the awnings over the other entrances be reduced to 3 feet 3 inches in depth.

Refer to the storefront design.

Building Materials:

The property requests a modification only if the planning department does not approve ACM as a durable material. Samples and spec sheets have been provided to the planning department. If ACM is approved as a durable material, the building would be clad in 100% durable materials. If ACM is not approved, 89% of the ground floor and 50% of all upper stories would be already-approved durable materials.

Properties that have successfully used ACM in our climate include the University of Utah Crocker Science Center, The Marmalade SLC Library, the BYU Harmon Building, and Larry H Miller Ford in Draper. There are many other properties in Utah, Idaho, Colorado, and other parts of the country with similar climates that have successfully used ACM.

Thank you again for your consideration of this landmark project. We’re excited to see it become a part of 400 S. and Salt Lake City’s civic core.

Sincerely,

Chris Parker
SLC Downtown Partners
801.427.0844



APPLICANT:
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OWNER SIGNED CONSENT TO APPLICANT

PROJECT ADDRESS:
320 EAST 400 SOUTH
SALT LAKE CITY, UTAH 84116
SEE SURVEY FOR TAX PARCEL NUMBER
AND LEGAL DESCRIPTION

ZONING CLASSIFICATION:
TSA-UC-C

PRESENT USE OF PROPERTY:
UN-OCCUPIED BUILDINGS

PROJECT NAME:
THE EXCHANGE A

ARCHITECT:
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12555 W. JEFFERSON BLVD., STE. 100
LOS ANGELES, CA 90066

LANDSCAPE ARCHITECT:
DUANE BORDER DESIGN
2404 WILSHIRE BLVD., STE. 5A
LOS ANGELES, CA 90057

CIVIL ENGINEER:
AWA ENGINEERING
2010 N. REDWOOD RD.
SALT LAKE CITY, UT 84116

SITE PLAN (21A.58.060)

LOADING AREAS
1 LOADING BERTH (LESS THAN 200,000 RESIDENTIAL USABLE SF)
264 PARKING STALLS
(PROVIDING OFFICE AND RETAIL FOR THE EXCHANGE B)

MIXED-USE RETAIL RESIDENTIAL BUILDING
9 STORIES ABOVE GRADE 1 STORY BELOW GRADE
BUILDING HEIGHT
7 STORIES OF RESIDENTIAL LEVELS
INCLUDE STUDIO, 1-BED, 2-BED 3-BED RENTABLE UNITS
1ST STORY ON GRADE HAS 15,000 SF RETAIL
SEE TABLE FOR MORE SQUARE FOOTAGE INFORMATION

SIGNAGE
ALL SIGNAGE TO BE ON METAL AWNINGS
AND WILL MEET ZONING CHP 21A.46

SITE COVERAGE
1.3 ACRES (LOT 3 1.45 - .15 ACCESS EASEMENT)

DWELLING UNITS
SEE TABLE (DENSITY 220 DU/ACRE)

PARKING
SEE TABLE

DEVELOPMENT STANDARDS (21A.26.078E)

OPEN SPACE
1.3 ACRES / 56,605 SF (LOT 3 1.45 - .15 ACCESS EASEMENT)
10% OF 56,605 5,660 SF
2,866+382+2,951+13,658+1,395+18,552 SF (33%)

DESIGN STANDARDS (21A.26.078F)

2,169 SF - PLANT MATERIAL AT GRADE (SEE LANDSCAPE)
6,199 SF - OPEN SPACE (SEE SITE PLAN)
35% PLANT MATERIAL 65% OUTDOOR PUBLIC SPACE

ZONING ORDINANCE (21A.37)

- A. GROUND FLOOR USE AND VISUAL INTEREST
SEE ELEVATION SHEETS
- C. GROUND FLOOR GLASS
SEE ELEVATION SHEETS
TOTAL OF ALL ELEVATIONS 63% (60+81+44+66 / 251/4 63)
(EXCLUDING GARAGE ENTRANCE EXISTING RAMP)

ZONING ADMINISTRATOR APPROVAL

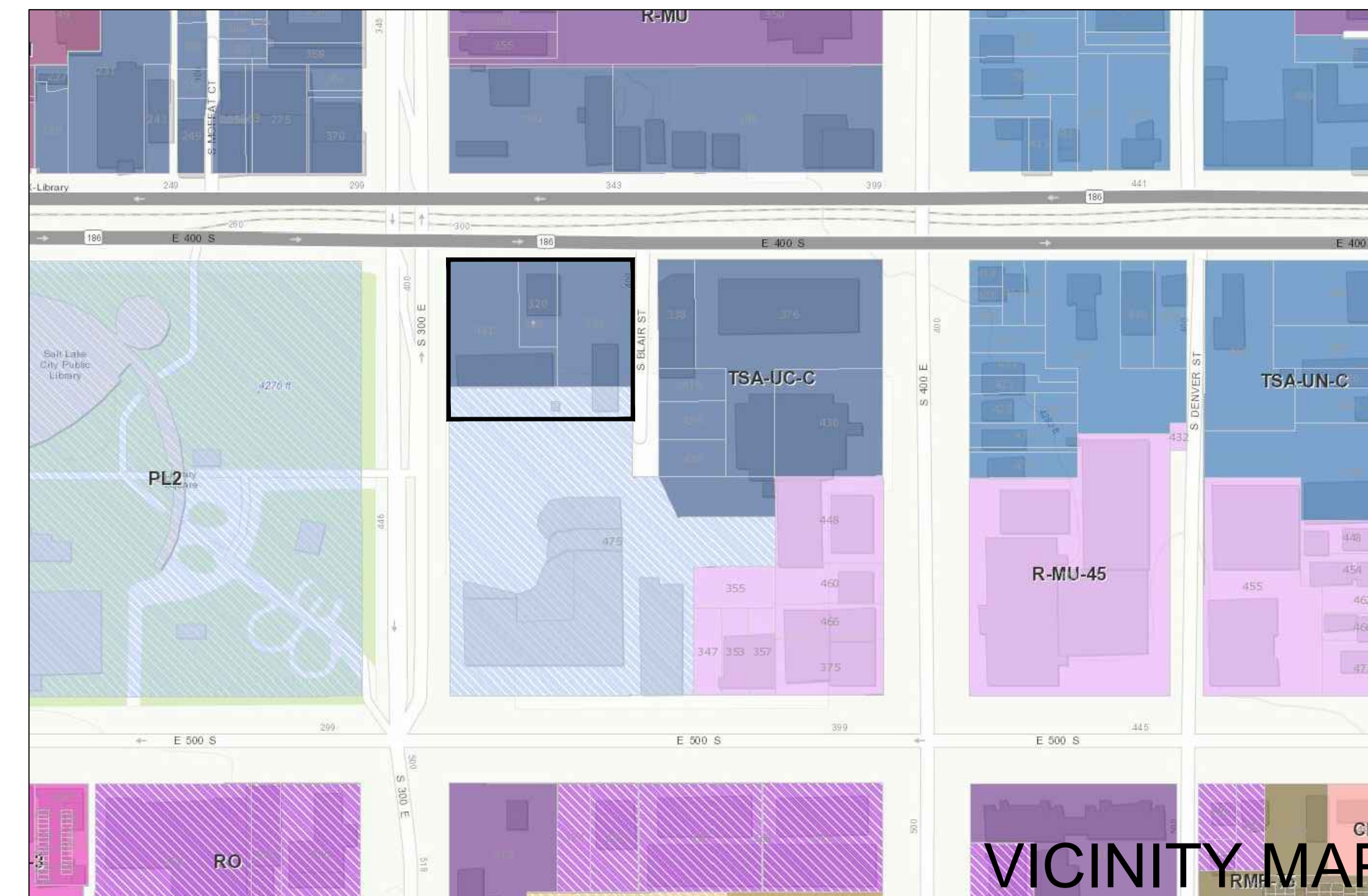
UNIT SCHEDULE					
Units	Net Area	Gross Area	Count	Percentage	Total Unit & %
UNIT 1A.1	609 SF	658 SF	125	44%	172/286=60%
UNIT 1A.2	600 SF	649 SF	1	0%	
UNIT 1A.3	581 SF	630 SF	6	2%	
UNIT 1A.4	609 SF	658 SF	7	2%	
UNIT 1A.5	609 SF	653 SF	13	5%	
UNIT 1A.6	609 SF	653 SF	1	0%	
UNIT 1B.1	585 SF	633 SF	5	2%	
UNIT 1C.1	672 SF	736 SF	12	4%	
UNIT 1C.2	672 SF	736 SF	2	1%	
UNIT 2A.1	873 SF	940 SF	29	10%	
UNIT 2A.2	873 SF	940 SF	1	0%	
UNIT 2A.3	873 SF	940 SF	6	2%	
UNIT 2B.1	946 SF	1,013 SF	4	1%	64/286=22%
UNIT 2C.1	888 SF	954 SF	3	1%	
UNIT 2D.1	889 SF	951 SF	6	2%	
UNIT 2D.2	889 SF	951 SF	1	0%	
UNIT 2E.1	938 SF	1,004 SF	6	2%	
UNIT 2E.2	938 SF	1,004 SF	1	0%	
UNIT 2F.1	1,014 SF	1,096 SF	3	1%	
UNIT 2F.2	1,014 SF	1,096 SF	3	1%	
UNIT 3A.1	1,190 SF	1,282 SF	5	2%	
UNIT 3B.1	1,046 SF	1,121 SF	5	2%	
UNIT 3B.2	1,046 SF	1,121 SF	5	2%	
UNIT 3C.1	1,133 SF	1,212 SF	4	1%	31/286=11%
UNIT S1.1	478 SF	523 SF	30	11%	
UNIT S1.2	478 SF	523 SF	1	0%	
Total:			285	100%	

REQUIRED PARKING COUNT					
UNITS	VEHICLES	BICYCLES			
TYPE	COUNT	FACTOR	COUNT	FACTOR	COUNTS
RESIDENTIAL (ZONING TABLE 21A.44.039 - 25% AFFORDABLE/60% AMI UNITS)	286	5 DU	143	5%	8
TOTAL RESIDENTIAL:			143		8
RESIDENTIAL (ACCESSIBLE PARKING-IBC 1106.3)	150	2%	3	N/A	N/A
PROVIDED					
RESIDENTIAL (ACCESSIBLE VAN PARKING SPACES)	6				
PROVIDED					
RESIDENTIAL ELECTRIC VEHICLE CHARGING STATION (ZONING)	150	1.25	6	N/A	N/A
PROVIDED					
RETAIL BUILDING A (INCLUDING LEASING)	15,647 SF	2/1000	31	5%	2
FIRST FLOOR					
RETAIL BUILDING B	3,150 SF	2/1000	6	21A.44.050	2
FIRST FLOOR					
TOTAL RETAIL:			37		4
RETAIL (ACCESSIBLE PARKING SPACES)	37	IBC 1106.1	2	N/A	N/A
PROVIDED					
RETAIL (ACCESSIBLE VAN PARKING SPACES)	2	1.6	1	N/A	N/A
PROVIDED					
OFFICE BUILDING B	31,000	28.08	10%		3
FIRST FLOOR	9,360 SF				
SECOND	8,973 SF	1-1/4/1000	11,21625	10%	1
THIRD FLOOR	8,464 SF	1-1/4/1000	10,805	10%	1
TOTAL OFFICE:			50		6
OFFICE BUILDING B (ACCESSIBLE PARKING SPACES)	50	IBC 1106.1	2	N/A	N/A
PROVIDED					
OFFICE BUILDING B (ACCESSIBLE VAN PARKING SPACES)	2	1.6	1	N/A	N/A
PROVIDED					
TOTAL:			230		18

PROVIDED PARKING SCHEDULE		
Family	Type	QTY
LEVEL G0	OFFICE ADA (#-9X17'-6)	2
	OFFICE STD (#-9X17'-6)	11
	OFFICE STD (#-6X17'-6)	3
	OFFICE STD (#-9X17'-6)	24
	OFFICE STD EV (#-9X17'-6)	2
	RESIDENTIAL ADA (#-9X17'-6)	2
	RESIDENTIAL STD (#-3X17'-6)	6
	RESIDENTIAL STD (#-9X17'-6)	24
TOTAL:		74
LEVEL G1	OFFICE ADA (#-9X17'-6)	8
	RETAIL ADA (#-9X17'-6)	2
	RETAIL STD (#-9X17'-6)	34
	RETAIL STD EV (#-9X17'-6)	2
TOTAL:		46
LEVEL G2	RESIDENTIAL ADA (#-9X17'-6)	4
	RESIDENTIAL STD (#-3X17'-6)	3
	RESIDENTIAL STD (#-9X17'-6)	11
	RESIDENTIAL STD (#-9X17'-6)	89
	RESIDENTIAL STD EV (#-9X17'-6)	11
TOTAL:		118
TOTAL:		238

BIKE PARKING SCHEDULE		
Family	Type	Count
BIKE RACK SINGLE SIDED	RESIDENTIAL BIKE RACK	51
TOTAL:		51

NOTE: PER 21A.44.030 OF THE MUNICIPAL CODE, WHEN DETERMINATION OF THE OFF STREET PARKING SPACES RESULTS IN A REQUIREMENT OF A FRACTIONAL SPACE, ANY FRACTION OF LESS THAN 1/2 MAY BE DISREGARDED.



SHEET INDEX

- A0 COVER SHEET
- A01 3D RENDERINGS
- A02 3D RENDERINGS
- A1 ARCHITECTURAL SITE PLAN
- A2 COURTYARD AND TERRACE
- A3 BUILDING HEIGHT
- A4 NORTH SOUTH ELEVATIONS
- A5 EAST WEST ELEVATIONS
- A6 STOREFRONT DESIGN
- PRELIMINARY PLAT SURVEY
- C2.1 GRADING PLAN
- C3.1 UTILITY PLAN
- L-1.10 LANDSCAPE
- L-1.11 LANDSCAPE



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THE DOMAIN COMPANIES
11 PARK PLACE, SUITE 1705
NEW YORK, NY 10007

THE EXCHANGE A
SALT LAKE CITY, CA □ 20170058

PLANNING SUBMITTAL
AUGUST 10, 2018

3D RENDERING

A01



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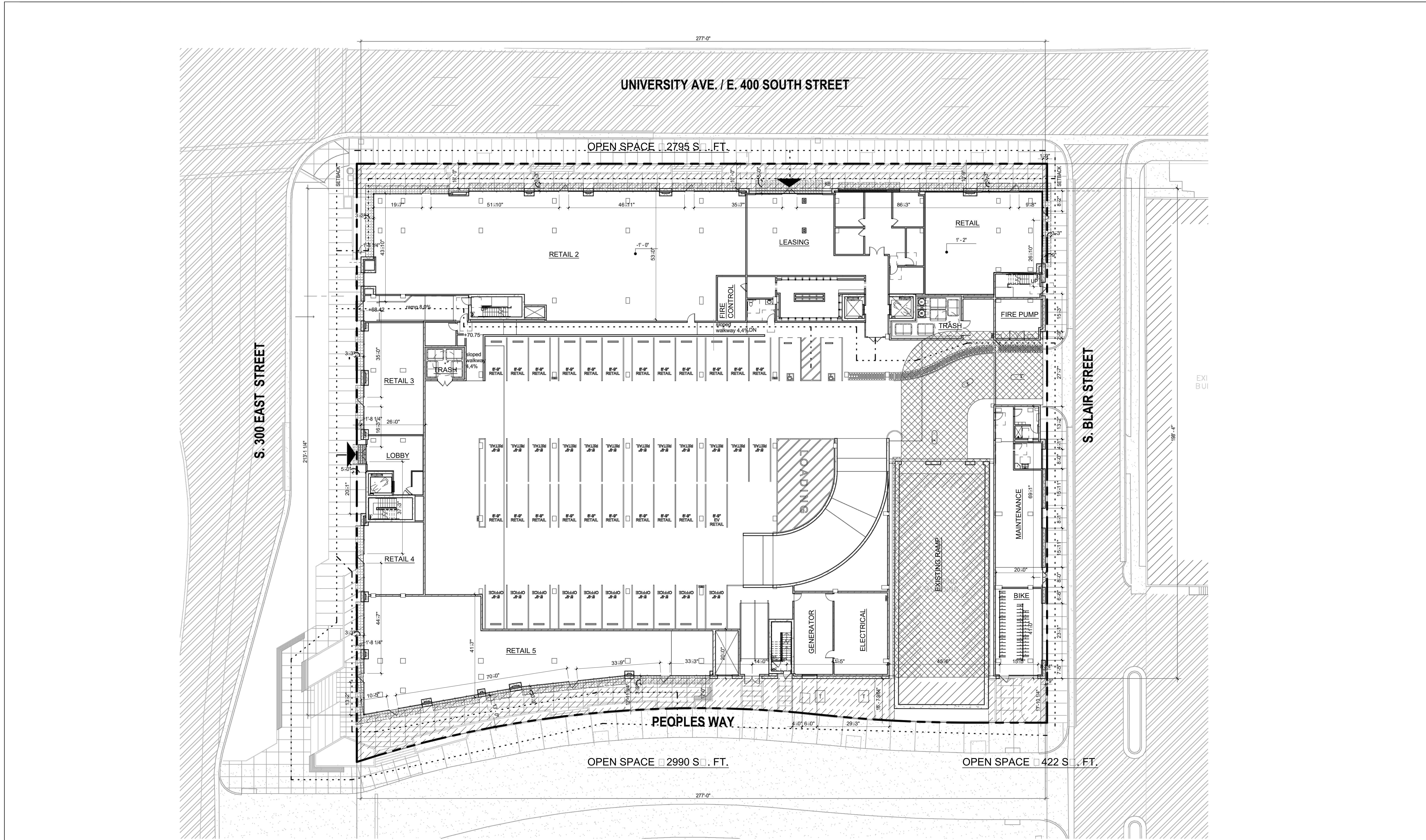
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 SALT LAKE CITY, CA # 20170058

PLANNING SUBMITTAL
 AUGUST 10, 2018

3D RENDERING

A02



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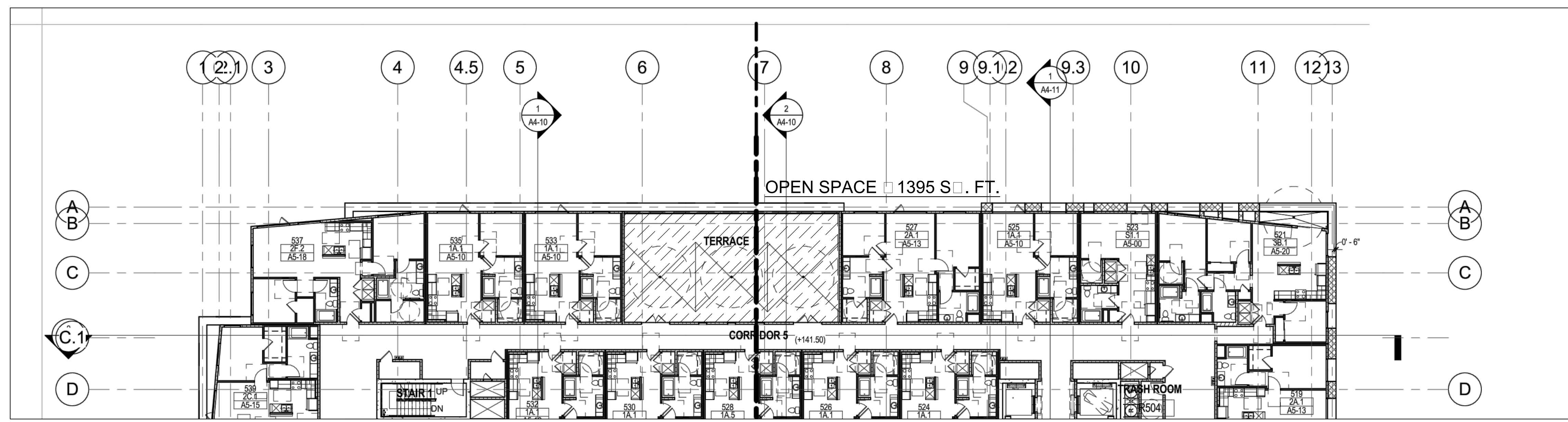
THE EXCHANGE A
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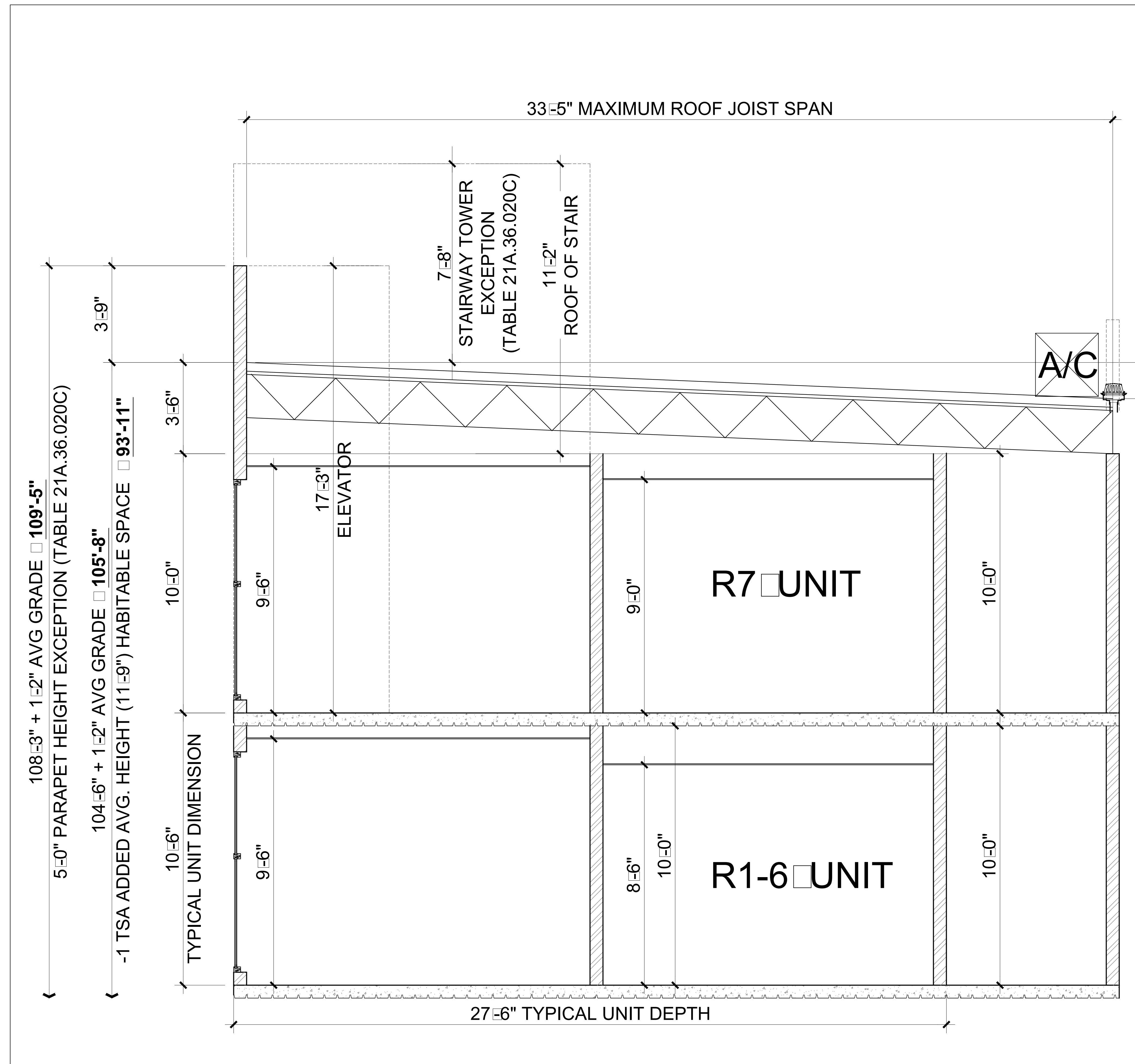
PLANNING SUBMITTAL
 AUGUST 10, 2018



ARCHITECTURE SITE PLAN

A1





TSA - INCREASE BUILDING HEIGHT BY ONE STORY OF HABITABLE SPACE - EQUAL TO AVERAGE OF ALL STORIES (REMOVED (1) STORY TO CALCULATE AVERAGE STORY)
 16'-0"(G1) + 12'-0"(G2) + 52'-6"(10-6" 5 STORIES RESIDENTIAL) + 13'-6"(TOP UNIT) = 94'-0" / 8 STORIES = 11'-9" INCREASED BUILDING HEIGHT

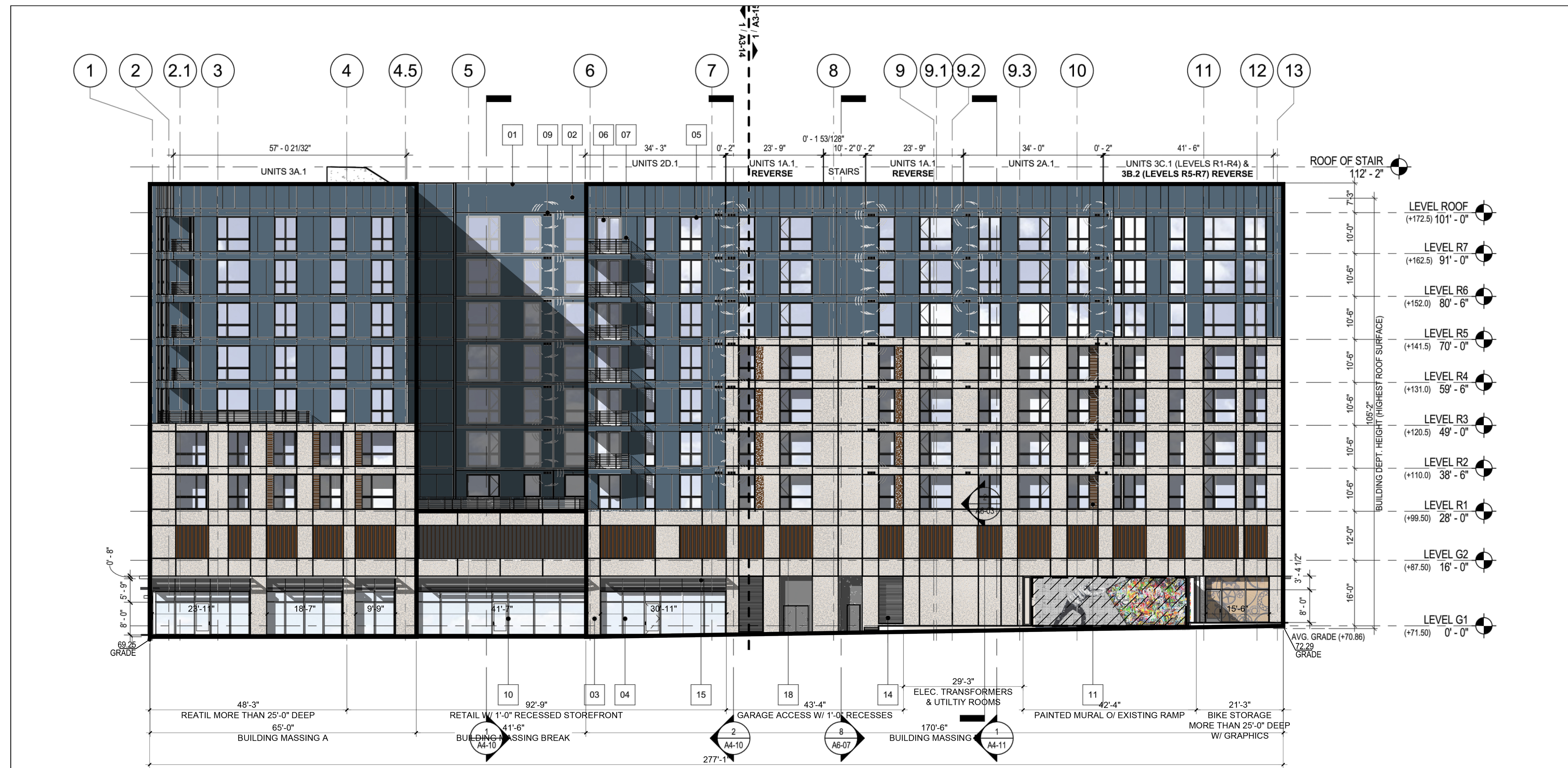
AVERAGE GRADE
 LOWEST GRADE AT ALL (4) CORNERS = 72.65 + 70.50 + 68.00 + 72.29 = 283.44 / 4 = 70.86

AVERAGE GRADE = 70.86 - 71.50(G1 SLAB HEIGHT) = 0.64 ± 8"

AVERAGE BUILDING HEIGHT(SEE ELEVATIONS)	
(BUILDING HEIGHT / BUILDING MASSING WIDTH / AREA)	
PEOPLES WAYS	
104'-6" / 170'-6"	17,817.25
28'-0" / 48'-6"	1,358
104'-6" / 65'-0"	6,792.5
400 SOUTH	
104'-6" / 103'-9"	10,841.88
70'-0" / 53'-6"	3,745
104'-6" / 119'-9"	12,513.88
BLAIR STREET	
104'-6" / 198'-6"	20,743.25
300 EAST	
49'-0" / 13'-3"	649.25
104'-6" / 194'-9"	20,351.38
28'-0" / 6'-3"	175
(TOTAL AREA / BUILDING LENGTH / AVERAGE HEIGHT)	
94,987.39 / 973.75	97.55 / 97'-7"
(+/- AVG GRADE - AVERAGE STORY)	
97'-7" + 8"(70.86) - 11'-9"	86'-6"

LEGEND

- GFRC
- ACM PANEL
- WOOD COMPOSITE PANEL / FIN



AVERAGE BUILDING HEIGHT(PEOPLES WAY)
 (BUILDING HEIGHTxBUILDING MASSING WIDTH = AREA)
 $104'-6" \times 170'-6" = 17,817.25$
 $28'-0" \times 48'-6" = 1,358$
 $104'-6" \times 65'-0" = 6,792.5$
 (TOTAL AREA / BUILDING LENGTH = AVERAGE HEIGHT)
 $25,967.75 / 284 = 91.4 = 91'-5"$
 (+/- AVG GRADE - AVERAGE STORY)
 $91'-5" + 9'(70.77) - 11'-9" = 80'-5"$

GROUND FLOOR USE AND VISUAL INTEREST(PEOPLES WAY)

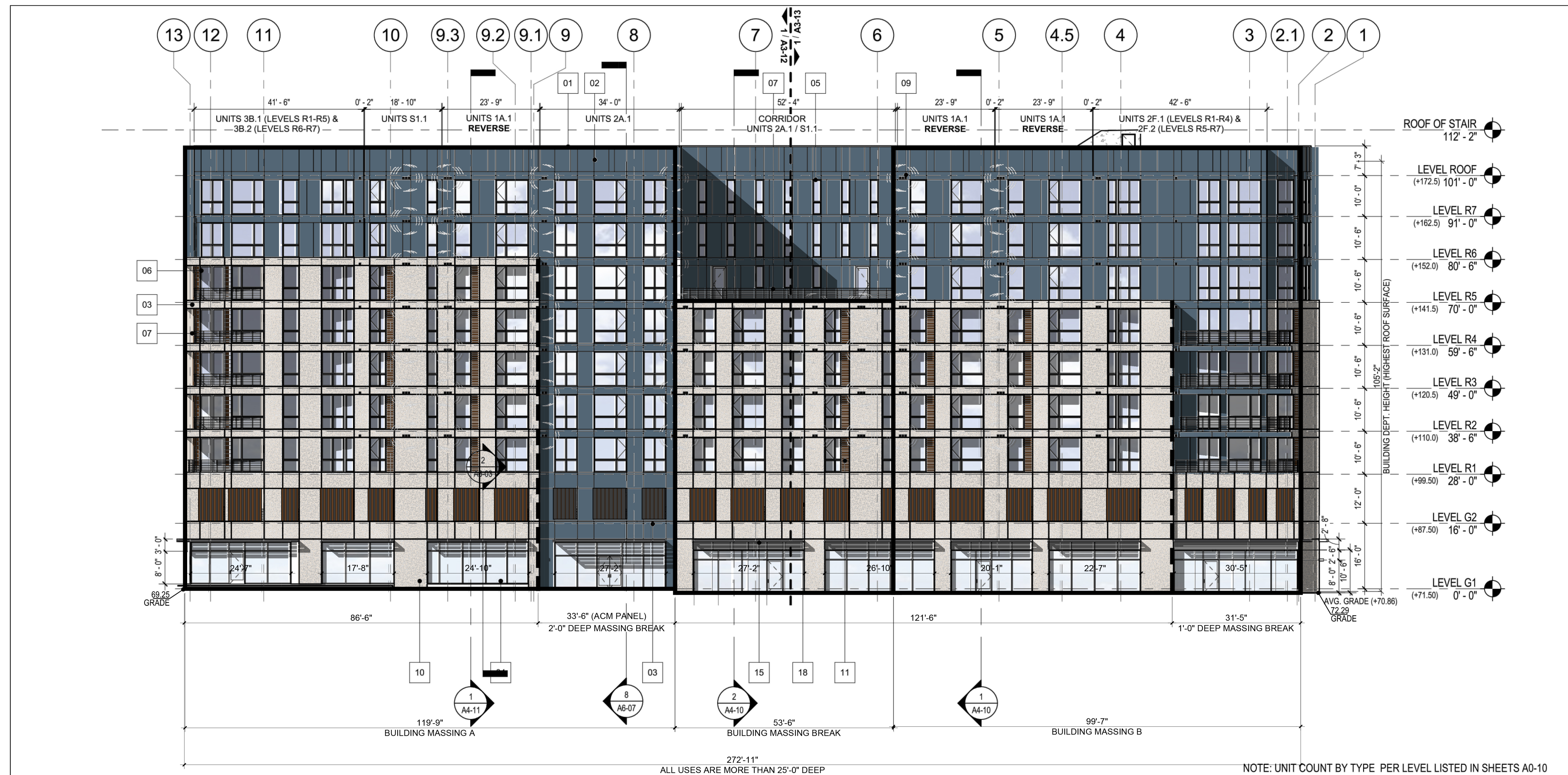
25'-0" DEEP GROUND FLOOR USE IS ACHIEVED AT RETAIL & BIKE STORAGE = APPROX. 42% OF THE FACADE
 $(48'-0" + 23'-0" = 71'-0" / 170'-0")$

EXISTING RAMP LIMITATION = APPROX. 25% OF FACADE
 $(42'-0" / 170'-0")$

VISUAL INTEREST IS PROVIDED IN MULTIPLE WAYS VIA 1'-0" DEEP RECESSES, CONTINUATION OF STOREFRONT DESIGN, PAINTED MURAL ON EXISTING RAMP AND "BIKE" GRAPHIC

GROUND FLOOR GLASS(PEOPLES WAY)

$23'-11" + 18'-7" + 9'-9" + 41'-7" + 30'-11" + 15'-6" = 140'-3" / 277'-1" = 50%$
 $(REMOVE EXISTING RAMP 42'-4" = 140'-3" / 234'-9" = 60%)$



AVERAGE BUILDING HEIGHT(400 SOUTH)
 (BUILDING HEIGHTxBUILDING MASSING WIDTH = AREA)
 $104'-6" \times 103'-9" = 10,841.88$
 $70'-0" \times 53'-6" = 3,745$
 $104'-6" \times 119'-9" = 12,513.88$
 (TOTAL AREA / BUILDING LENGTH = AVERAGE HEIGHT)
 $27,100.76 / 277 = 97.84 = 97'-10"$
 (+/- AVG GRADE - AVERAGE STORY)
 $97'-10" - 1'(71.58) - 11'-9" = 86'-0"$

GROUND FLOOR USE AND VISUAL INTEREST(400 SOUTH)

25'-0" DEEP GROUND FLOOR USE IS AT ALL RETAIL/LOBBY

GROUND FLOOR GLASS(400 SOUTH)

$30'-5" + 22'-7" + 20'-1" + 26'-10" + 27'-2" + 27'-2" + 24'-10" + 17'-8" + 24'-7" = 221'-4" / 272'-11" = 81%$

LEGEND

- GFRC
- ACM PANEL
- WOOD COMPOSITE PANEL / FIN



AVERAGE BUILDING HEIGHT(BLAIR STREET)
 (BUILDING HEIGHTxBUILDING MASSING WIDTH = AREA)
 $104'-6" \times 198'-6" = 20,743.25$
 (TOTAL AREA / BUILDING LENGTH = AVERAGE HEIGHT)
 $20,743.25 / 198.5 = 104.5 = 104'-6"$
 (+/- AVG GRADE - AVERAGE STORY)
 $104'-6" - 1'-0" (72.47) - 11'-9" = 91'-9"$

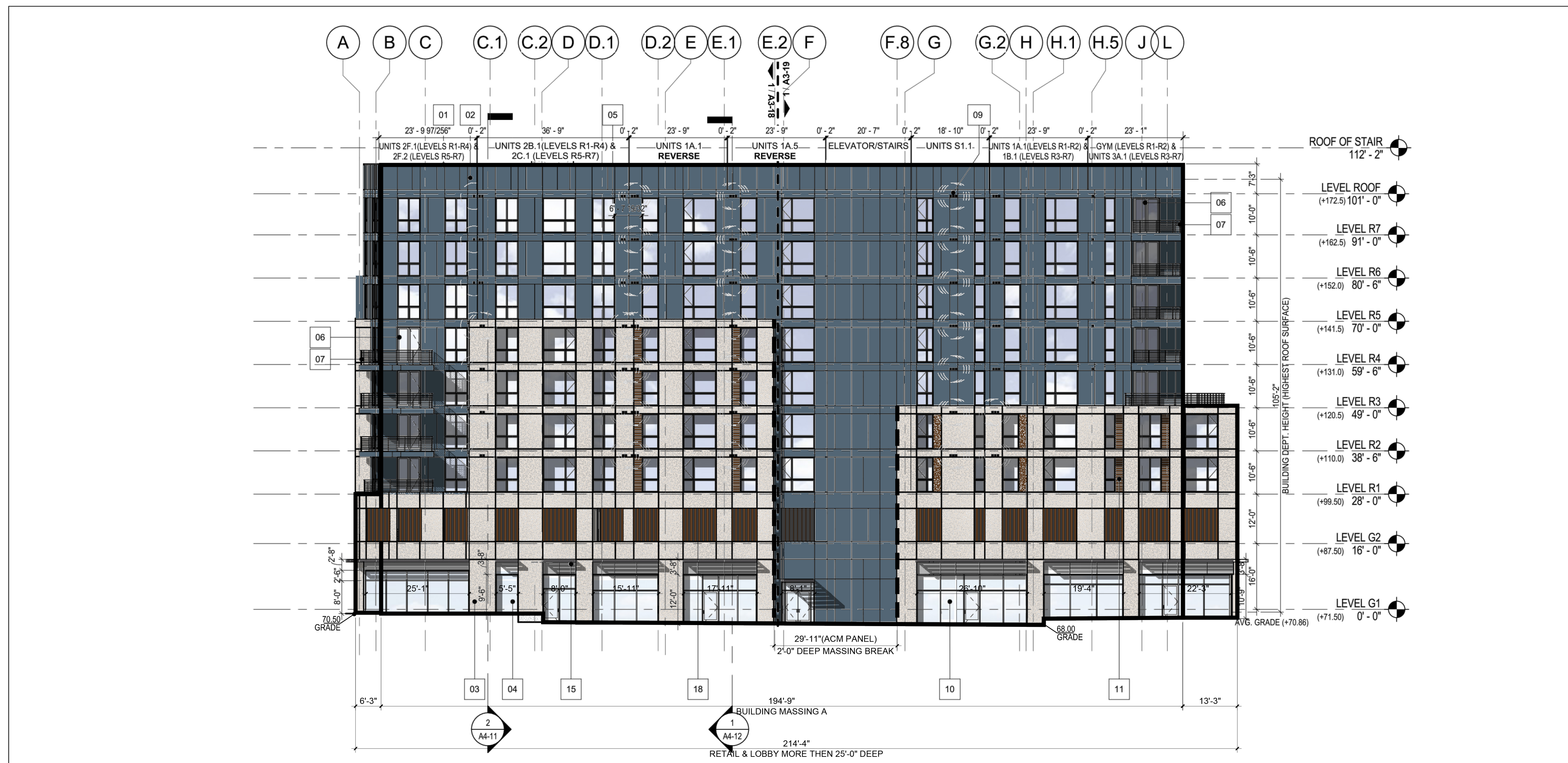
GROUND FLOOR USE AND VISUAL INTEREST(BLAIR STREET)
 25'-0" DEEP GROUND FLOOR USE IS ACHIEVED AT RETAIL = APPROX. 15% OF THE FACADE (31'-0"/199'-0")

GARAGE EXEMPTION 21A.37, EXISTING RAMP LIMITATION = APPROX. 57% OF FACADE (87'-0"+27'-0"=114'-0"/199'-0")

VISUAL INTEREST IS PROVIDED IN MULTIPLE WAYS VIA 1'-0" TO 2'-0" DEEP RECESSES, CONTINUATION OF STOREFRONT DESIGN AND "BIKE" GRAPHIC

GROUND FLOOR GLASS(PEOPLES WAY)

$23'-1" + 8'-0" + 8'-0" + 8'-0" + 28'-11" = 76'-0" / 198'-6" = 38\%$
 (REMOVE GARAGE ENTRANCE 27'-0" = $76'-0" / 171'-6" = 44\%$)

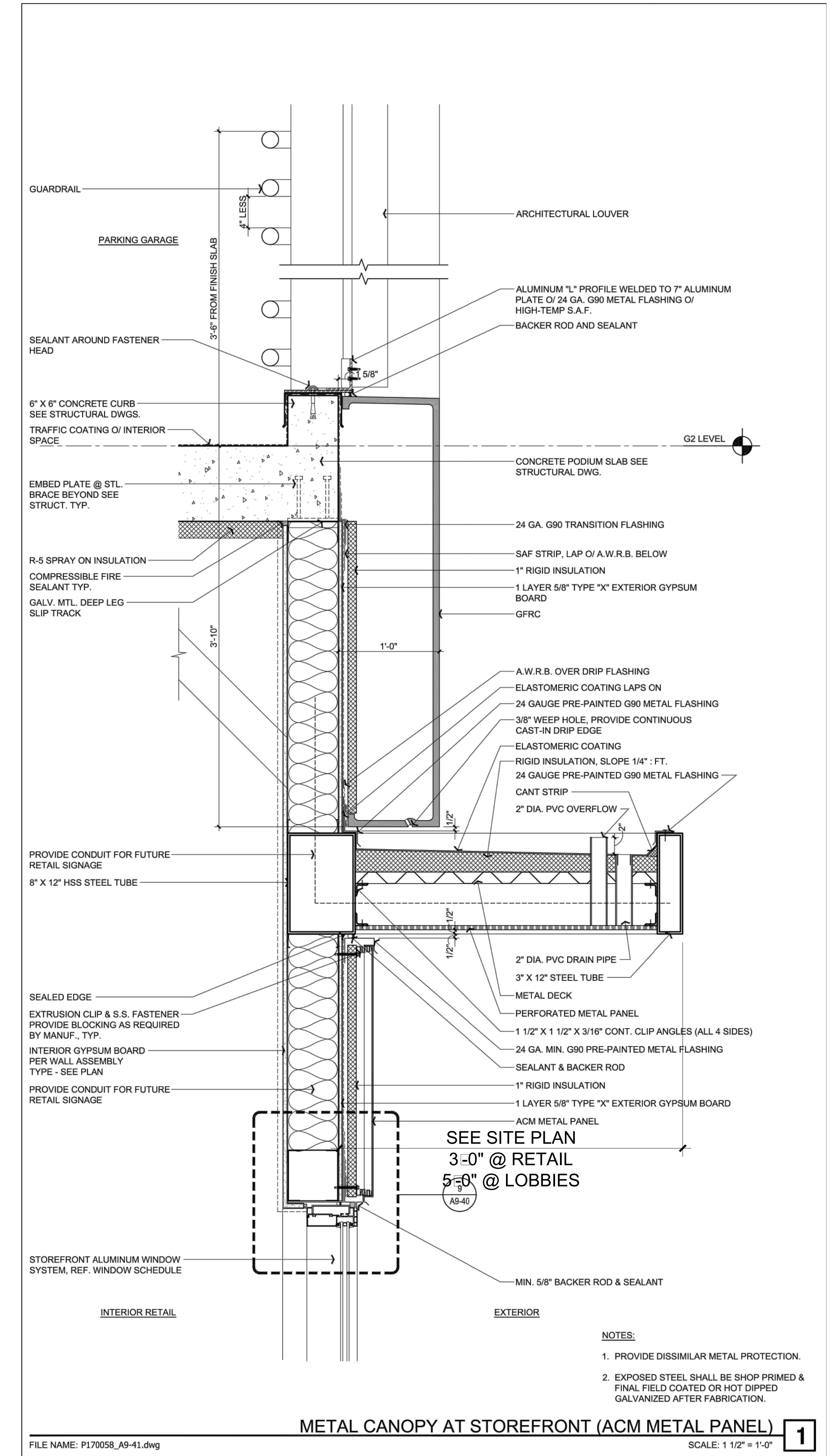
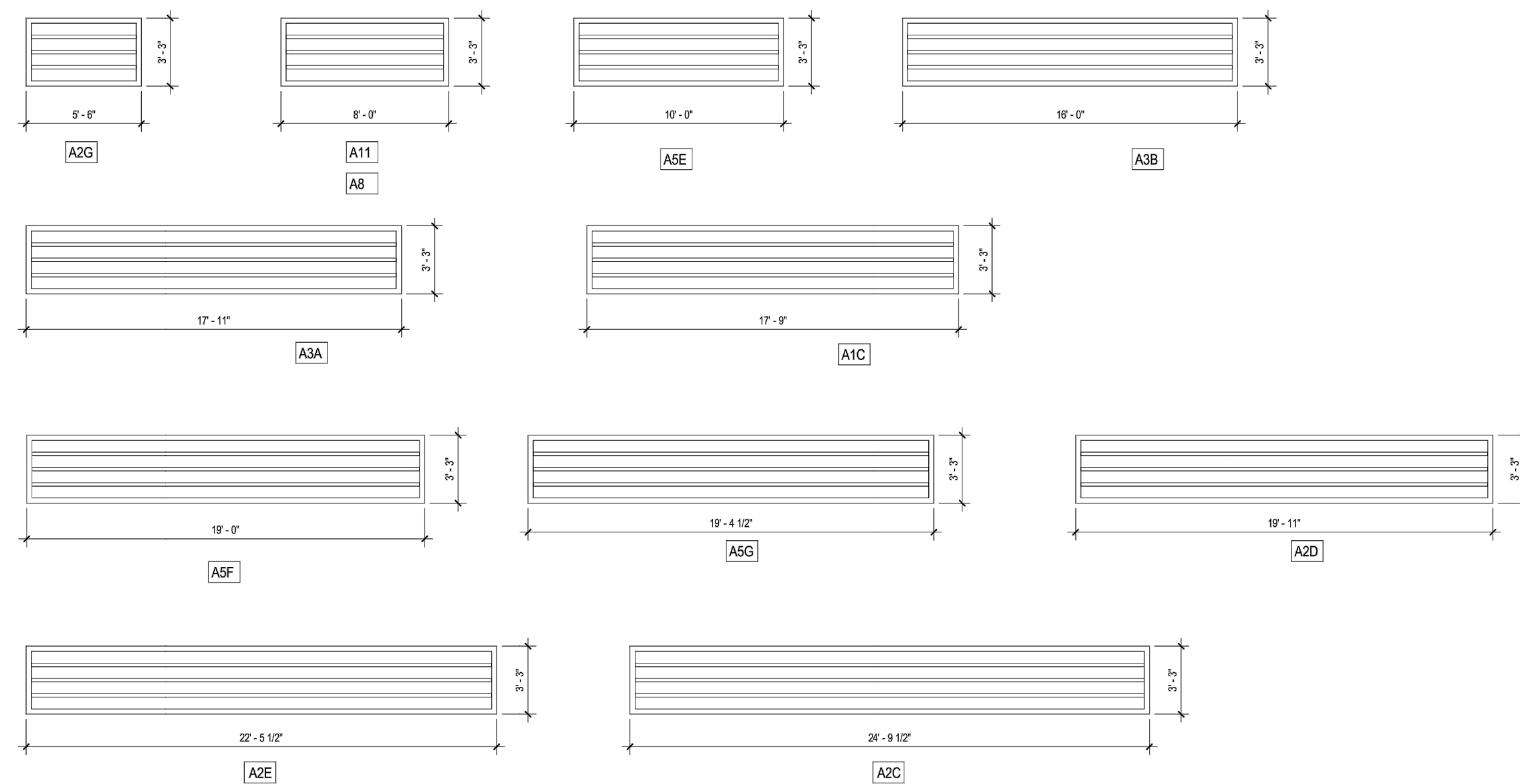
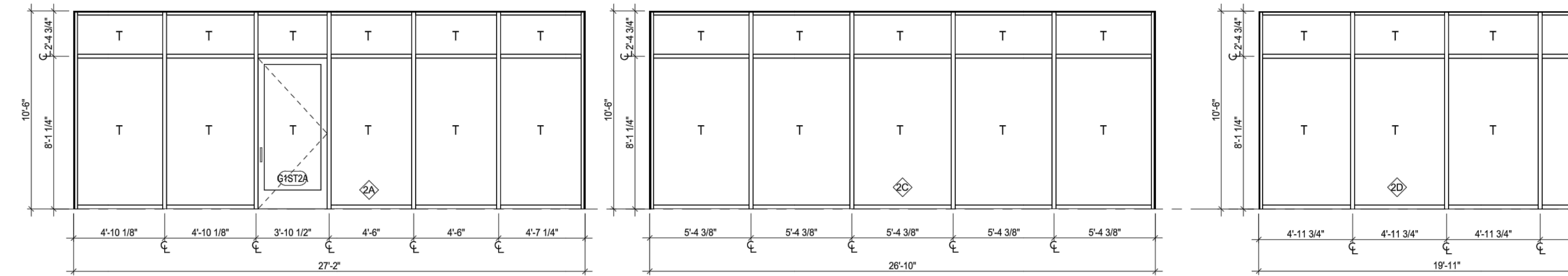
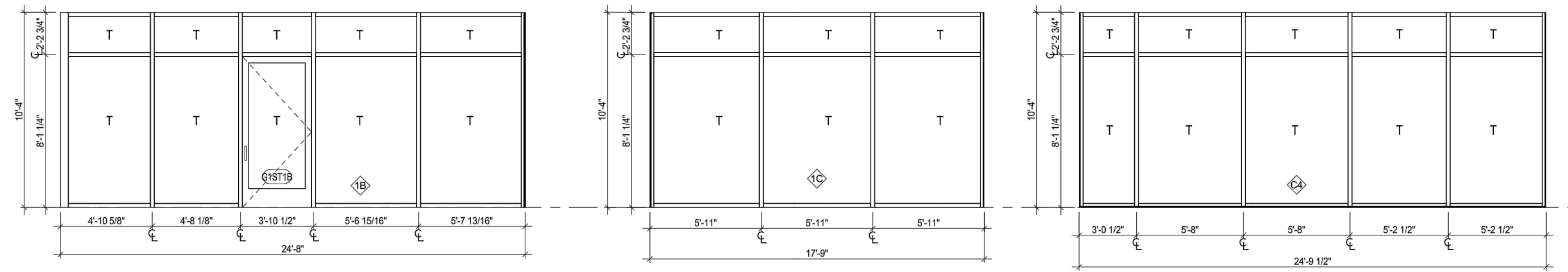


AVERAGE BUILDING HEIGHT(300 EAST)
 (BUILDING HEIGHTxBUILDING MASSING WIDTH = AREA)
 $49'-0" \times 13'-3" = 649.25$
 $104'-6" \times 194'-9" = 20,351.38$
 $28'-0" \times 6'-3" = 175$
 (TOTAL AREA / BUILDING LENGTH = AVERAGE HEIGHT)
 $21,175.63 / 214.25 = 98.84 = 98'-10"$
 (+/- AVG GRADE - AVERAGE STORY)
 $98'-10" + 2'-3" (69.25) - 11'-9" = 89'-4"$

GROUND FLOOR USE AND VISUAL INTEREST(300 EAST)
 25'-0" DEEP GROUND FLOOR USE IS AT ALL RETAIL/LOBBY

GROUND FLOOR GLASS(PEOPLES WAY)

$25'-1" + 5'-5" + 8'-0" + 15'-11" + 17'-11" + 26'-10" + 19'-4" + 22'-3" = 140'-9" / 214'-4" = 66\%$

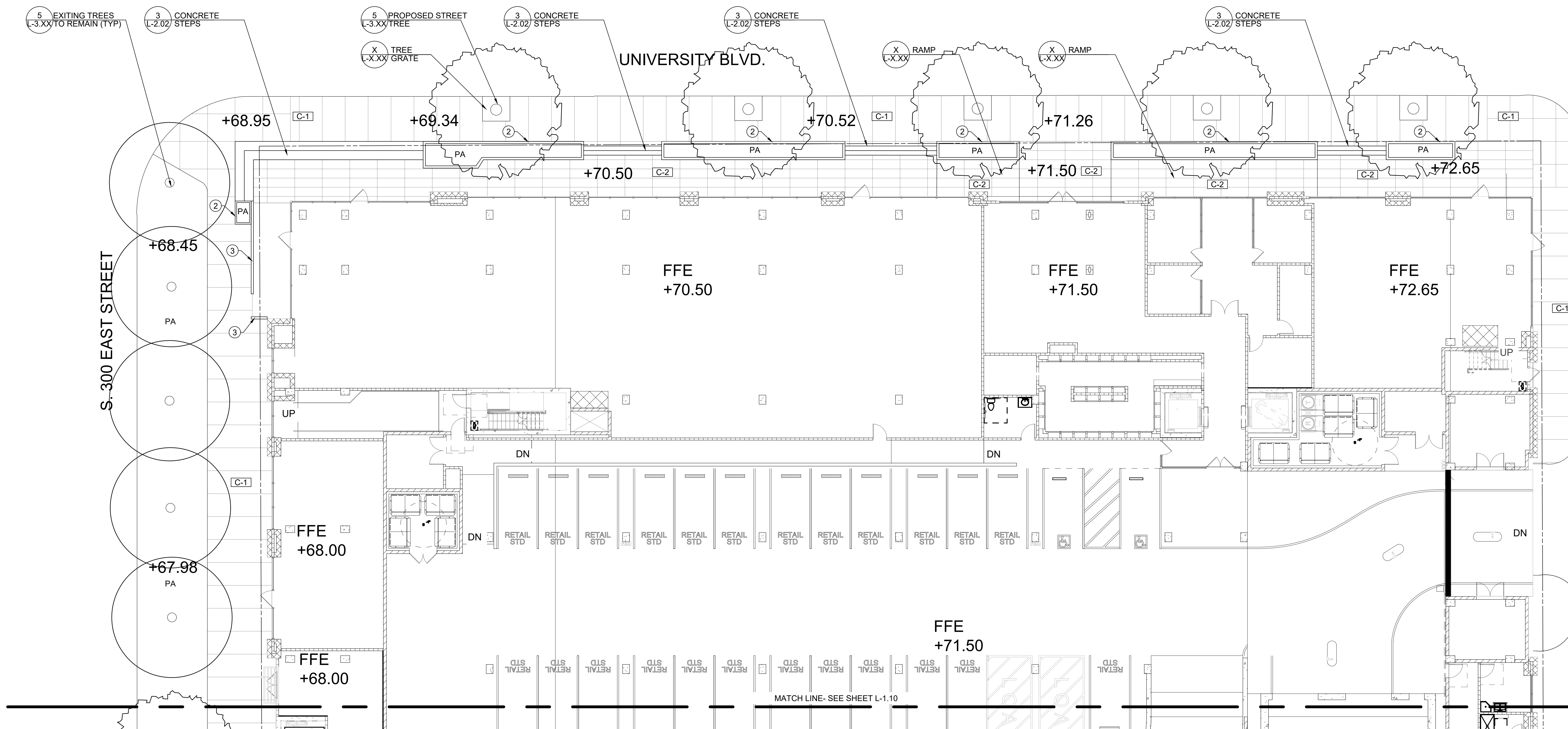


No.	Date	Description
01-26-2018	50% D.D. SET	
03-05-2018	100% D.D. SET	
04-16-2018	50% C.D. SET	

It is the client's responsibility prior to or during construction to notify the architect in writing of any proposed areas or conditions in the plans and specifications of which a contractor is not responsible for review. Written instructions addressing such proposed areas or conditions shall be received from the architect prior to the start or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

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 Los Angeles, CA 90013
 213.265.7246

**Ground Level
 Layout and
 Materials**



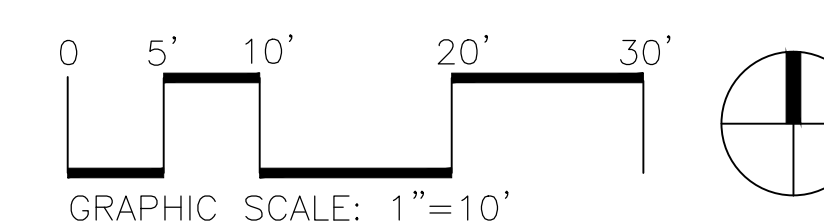
MATERIALS SCHEDULE

SYM	ITEM	MATERIAL	COLOR	FINISH	DETAIL
C-1	CONCRETE 1	NATURAL CONCRETE	N/A	LIGHT SAND-FINISH (T-15)	1-2/L-2.01
C-2	CONCRETE 2	INTEGRAL COLORED CONCRETE	TBD	MED. SAND-FINISH (T-50)	1-2/L-2.01
C-3	CMU WALL	CONCRETE	COOL GRAY	SPLIT FACE	4/L-2.01
P-1	PAVER	PRECAST CONCRETE	ALMOND	LIGHT SANDBLAST	10/L-2.03
P-2	PAVER	PRECAST CONCRETE	ALMOND	MEDIUM SANDBLAST	10/L-2.03
T-1	TILE	PORCELAIN	PIETRA PIASENTINA	NA	4/L-2.01
T-2	TILE	PORCELAIN	CLASSIC	NA	4/L-2.01
T-3	TILE	PORCELAIN	BLOCK	NA	4/L-2.01
T-4	TILE	PORCELAIN	TOBACCO- P403	POLISHED / TEXTURED	1-2/L-2.05
T-5	TILE	PORCELAIN	COFEE - P404	POLISHED/TEXTUED	1-2/L-2.05
G-1	AGGREGATE	GRAVEL	GREY	NATURAL	1/L-2.02

NAME OF XX ← DETAIL NUMBER
 DETAIL L-2.0X ← SHEET NUMBER

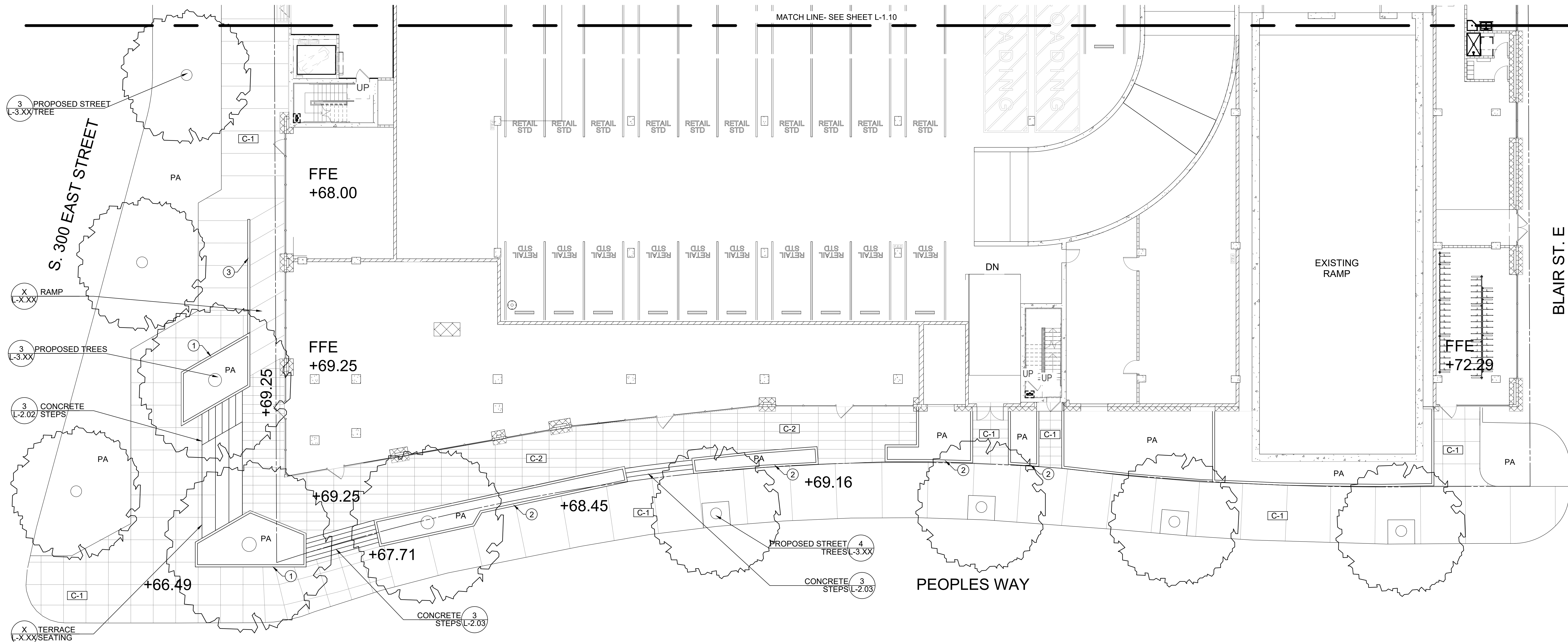
WALL SCHEDULE

SYM	ITEM	MATERIAL	COLOR	SIZE	DETAIL
1	PLANTER WALL	CMU BLOCK	C-2	36" HT.	4-6/L-2.01
2	PLANTER WALL	CMU WITH STUCCO	SEE DETAIL	SEE DETAIL	5/L-2.01
3	RETAINING WALL	CMU BLOCK	C-2	SEE DETAIL	4-6/L-2.01



THE EXCHANGE A

SALT LAKE CITY, UTAH



MATERIALS SCHEDULE

SYM	ITEM	MATERIAL	COLOR	FINISH	DETAIL
C-1	CONCRETE 1	NATURAL CONCRETE	N/A	LIGHT SAND-FINISH (T-15)	1-2/L-2.01
C-2	CONCRETE 2	INTEGRAL COLORED CONCRETE	TBD	MED. SAND-FINISH (T-50)	1-2/L-2.01
C-3	CMU WALL	CONCRETE	COOL GRAY	SPLIT FACE	4/L-2.01
P-1	PAVER	PRECAST CONCRETE	ALMOND	LIGHT SANDBLAST	10/L-2.03
P-2	PAVER	PRECAST CONCRETE	ALMOND	MEDIUM SANDBLAST	10/L-2.03
T-1	TILE	PORCELAIN	PIETRA PIASENTINA	NA	4/L-2.01
T-2	TILE	PORCELAIN	CLASSIC	NA	4/L-2.01
T-3	TILE	PORCELAIN	BLOCK	NA	4/L-2.01
T-4	TILE	PORCELAIN	TOBACCO- P403	POLISHED / TEXTURED	1-2/L-2.05
T-5	TILE	PORCELAIN	COFEE - P404	POLISHED/TEXTUED	1-2/L-2.05
G-1	AGGREGATE	GRAVEL	GREY	NATURAL	1/L-2.02

NAME OF (XX) ← DETAIL NUMBER
 DETAIL (L-2.0X) ← SHEET NUMBER

WALL SCHEDULE

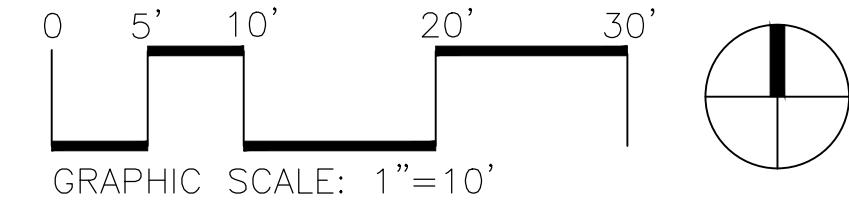
SYM	ITEM	MATERIAL	COLOR	SIZE	DETAIL
①	PLANTER WALL	CMU BLOCK	C-2	36" HT.	4-6/L-2.01
②	PLANTER WALL	CMU WITH STUCCO	SEE DETAIL	SEE DETAIL	5/L-2.01
③	RETAINING WALL	CMU BLOCK	C-2	SEE DETAIL	4-6/L-2.01

No.	Date	Description
01-26-2018	50% D.D. SET	
03-05-2018	100% D.D. SET	
04-16-2018	50% C.D. SET	

It is the clients responsibility prior to or during construction to notify the architect in writing of any proposed areas or conditions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such proposed areas or conditions shall be received from the architect prior to the start or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

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 LANDSCAPE ARCHITECTURE
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**Ground Level
 Layout and
 Materials**



L-1.11

THE EXCHANGE (B)

CBSD REQUEST

To facilitate this important development, Downtown SLC Partners requests slight modifications to the ground floor use and building length requirements. These requests stem from the property's unique position of having streets on both its short front entry as well as its long side entry, exposing a part of the property that would normally be hidden behind other buildings. The width of the lot is also a contributing factor to the request. Despite these limitations, Exchange B will be one of the more attractive buildings along the 400 S. corridor. It will contribute significantly to the overall Exchange Project, which will likely become the most complete rental development in Utah.

1. PROJECT DESCRIPTION

The Exchange (B) building is the smaller of two parcels in the mixed-use, master-planned Exchange project that was selected in Salt Lake City's recent Barnes Bank RFP. The proposed use for this site is a modern, 5-story structure that boasts 2,700 sq ft of retail, 126 mixed-income units, 30,000 sq ft of incubator, accelerator, and co-working space, and innovative mechanical and electrical design that derive 100% of their power from the sun. This building will serve as a powerful demonstration that through thoughtful planning and innovative thinking affordability can exist in the very center of downtown SLC, that structures providing the density a downtown area requires can be powered entirely from renewable sources, and that dynamic, mixed-use structures can thrive along our 400 South corridor.

We believe this project exemplifies the vibrant, mixed-use, and mixed-income environments the TSA zone was written to encourage.

2. Responses to CBSD review letter.

Front and Corner Side Yard Design Requirements:

1. In yards greater than ten feet (10') in depth, one (1) shade tree shall be planted for every thirty feet (30') of street frontage. For the purpose of this section, a shade tree is any tree that has a mature minimum tree canopy of thirty feet (30') and a mature height that is forty feet (40') or greater.

The current design meets the requirements of this rule by providing 21 shade trees with a mature canopy over 30' and a mature height over 40'. There are only two sections of the property that have yards 10 feet in depth. The 400 South front of the building is just over 60 feet in length and has 2 large trees in front of it. The southwest corner of the property on Blair Street is nearly half planted material and includes a grouping of 9 shade trees that are expected to reach a mature height of 35 feet with a 45 foot canopy. Even though there is no yard anywhere along the remainder of the Blair Street portion, the property will include 10 additional trees along that street. Refer to the attached plan pages L-4.01 and L-4.02.

2. At least fifty percent (50%) of the front or corner side yards shall be covered in live plant material. This can include raised planter boxes. This percentage can be reduced to thirty percent (30%) if the yard includes outdoor dining, patios, or outdoor public space.

The street faces available to this building are essentially access roads, not pedestrian walkways that are, or will be, used much by the public. Also, the Blair Street portion of the property will be almost entirely concealed by the other building in The Exchange project. Still, the project complies with this rule by providing planter boxes along its access streets, planter areas around its many trees, and a large planted area at the southwest corner of the property. Because of the outdoor patios and public spaces, the property needs to provide live plant material on 30% of its front and side yards. The 400 South yard exceeds 30% planted area just with the planters surrounding the retail, without counting the trees which add to that percentage. Because the building is built to its property line, the only yard on the Blair Street face is at the southwest corner of the property which is 48% covered by planted material. Refer to attached plan pages L-4.01 and L-4.02.

3. At least thirty percent (30%) of the front or corner side yard shall be occupied by outdoor dining areas, patios, or outdoor public space.

The 400 S face of the building has an outdoor patio area in front of the retail space that is expected to be used as outdoor patio or dining areas depending on the commercial tenant using the space. The Blair Street side of the building is built to its property line at all points except at the southwest corner. This yard has an outdoor public space and patio with planters and public art murals. Refer to the attached plan pages L-4.01, L-4.02, and Conceptual Rendering – View From Blair Street Looking North.

Ground Floor Use and Visual Interest: This purpose of this standard is to increase the amount of active uses and/or visual interest on the ground floor of a building. There are two (2) options for achieving this, one dealing solely with the amount of ground floor use, and the other combining a lesser amount of ground floor use with increased visual interest in the building facade's design.

- **Ground Floor Use Only (80%):** This option requires that on the ground floor of a new principal building, a permitted or conditional use other than parking shall occupy a minimum of 80 FT of any street facing building façade. All portions of such ground floor spaces shall extend a minimum of twenty five feet (25') into the building. Parking may be located behind these spaces. Vehicle entry and exit ways necessary for access to parking are exempt from this requirement. Such access ways shall not exceed thirty feet (30') in width.

Other than one stair access, the entire north face of the building, which is the main street frontage along 400 South, is built as retail or commercial uses. This commercial space extends approximately 50 feet into the building.

Because of the restrictions of the site layout, parking is located behind the front portion of the building. Due to the narrowness of the parcel, the majority of the length of the property is along the access road Blair Street. In order to effectively utilize the property and provide sufficient parking, the only place parking can be located is on the main floor behind the commercial use. However, essentially the only section of the parking that is not covered by

residential uses or outdoor planters and yard space is the 28' wide garage entrance. With the construction of the other building that is a part of The Exchange, the only portion of this building that will be visible via a trafficked thoroughfare, is the 400 S section that is already almost entirely commercial and the Blair section of the building that artistically curves and has ground floor activity.

There are two options that would allow the property to provide sufficient parking and still comply with this ground floor use requirement. The first is to construct a fully-underground parking structure, which would be cost-prohibitive for what is already a stretched, affordable housing budget. The second is to not provide parking, which would be impractical and likely lead to the PSB's parking lot being perpetually full of residents rather than patrons of that facility. The project requests a modification to this rule in order to provide the minimum necessary parking while maintaining as much ground floor use and visual interest as possible. Refer to the attached Ground Floor / Parking Plan page/300 E. view rendering.

Maximum Length of Street Facing Facades: No street facing building wall may be longer than 200 FT in this zoning district. A minimum of twenty feet (20') is required between separate buildings when multiple buildings are placed on a single parcel according to subsection 21A.36.010B, "One Principal Building Per Lot", of this title. The space between buildings shall include a pedestrian walkway at least five feet (5') wide.

The project's unusual site drives our request to modify this requirement. This parcel is long and narrow. Although the midblock access road is beneficial for many reasons, it is impossible to efficiently utilize the property if the 200' limit is applied to the Blair Street frontage. Breaking the space into two buildings with a 20 foot gap would do little to create a different look on the midblock, and would severely impact the use of the land. Also, the other building that will be a part of The Exchange will cover almost the entire Blair Street side of this building. There is no 200-foot section that will be visible to pedestrians or vehicles from either 400 S or 300 E. The building has also been broken into 3 distinctly themed sections, the largest of which is about 200 ft.

On a parcel such as this where the majority of its face sits on what is essentially an access road, the limitation of this rule places a near impossible burden on the property. This is especially true in a downtown location such as this where the best use is to provide as much housing as possible, in particular as much affordable housing as possible. It is the development team's belief that the project and surrounding neighborhood would benefit more from allowing a modification in this case than it would from the design benefits achieved by limiting the length of the building. As such, we cordially request a modification to this requirement.

Maximum Length of Blank Wall: The maximum length of any blank wall uninterrupted by windows, doors, art or architectural detailing at the ground floor level along any street facing facade shall be 15 FT. Changes in plane, texture, materials, scale of materials, patterns, art, or other architectural detailing are acceptable methods to create variety and scale. This shall include architectural features such as bay windows, recessed or projected entrances or windows, balconies, cornices, columns, or other similar architectural features. The architectural feature shall be either recessed a minimum of twelve inches (12") or projected a minimum of twelve inches (12").

Any sections of ground floor wall that is uninterrupted by windows, doors, or architectural detailing for more than the allowed 15' will include a change in texture, material, patterns, or art. The project will comply with this requirement and no request is being made for modification. Refer to the attached Blair Street Elevation and Blair Street Elevation – Material Reference pages.

Building Entrances: At least one operable building entrance on the ground floor is required for every street facing facade. Additional operable building entrances shall be required, at a minimum of every 40 FT of street facing building facade. The center of each additional entrance shall be located within six feet (6') either direction of the specified location. Each ground floor nonresidential leasable space facing a street shall have an operable entrance facing that street and a walkway to the nearest sidewalk. Corner entrances, when facing a street and located at approximately a forty five degree (45°) angle to the two (2) adjacent building facades (chamfered corner), may count as an entrance for both of the adjacent facades.

The only sections that are impacted by this rule are due to the unique nature of the site. With two sides of the building on a street and with the slope of the site, the parking located behind the retail space and under the residential units is the only location where a modification is being sought. Doors could potentially be inserted into the façade but would walk directly into a parking stall or other inaccessible area. The design team has opted instead to install additional windows that provide a similar feel of permeability from a pedestrian perspective and are useful to the residents of the property. The additional art and architectural details that will be on this west face also serve to provide interest to any passerby who travels the midblock street. With the other building that is part of The Exchange almost completely concealing the Blair Street portion of this building, the reduction in the number of entrances will not detrimentally impact the function or the aesthetic of the property for the surrounding area. The project team requests a modification to this requirement.

Entry Feature Requirements: All required building entries shall include at least one (1) of the following features:

1. An awning or canopy over the entrance that extends a minimum of five feet (5') from the street facing building facade;
2. A recessed entrance that is recessed at least five feet (5') from the street facing facade;
3. A covered porch that is at least five feet (5') in depth and at least forty (40) square feet in size; or
4. A stoop that is at least two feet (2') above sidewalk level and that includes an awning or canopy that extends at least three feet (3') from the street facing building façade

Assuming the number of required building entrances can be modified as requested above, the building will meet these standards. The 400 S entrance has a portion of the building above it overhanging. The residential entrances on Blair Street are recessed more than 5 feet. All other entrances that are not recessed or have the building overhanging them will include a canopy or awning extending a minimum of 5 feet from the street facing façade.

Building Materials (show calculations on plans): If the included high-end metal paneling is approved, 100% of the materials on Exchange are durable.

- Ground Floor Building Materials: Other than windows and doors, 90% of the ground floor facade's wall area of any street facing facade shall be clad in durable materials. Durable materials include stone, brick, masonry, textured or patterned concrete, and fiber cement board. Other materials may be used for the remainder of the ground floor facade adjacent to a street. Other materials proposed to satisfy the durable requirement may be approved at the discretion of the planning director if it is found that the proposed material is durable and is appropriate for the ground floor of a structure. [See above](#)
- Upper Floor Building Materials: Floors above the ground floor level shall include a minimum of 60% durable materials on any street facing building facade of those additional floors. Windows and doors are not included in that minimum amount. [See above.](#)
- Ground Floor Glass: The ground floor building elevation of all new buildings facing a street, and all new ground floor additions facing a street, shall have a minimum of 60% glass between three (3) and eight feet (8') above grade. All ground floor glass shall allow unhampered and unobstructed visibility into the building for a depth of at least five feet (5'). The planning director may approve a modification to ground floor glass requirements if the planning director finds:
 - o The requirement would negatively affect the historic character of an existing building;
 - o The requirement would negatively affect the structural stability of an existing building;
 - or o The ground level of the building is occupied by residential uses that face the street, in which case the specified minimum glass requirement may be reduced by fifteen percent (15%).

[A modification is being requested only due to the unique site with Blair Street and the slope of the parking garage that is partially above ground. Due to a portion of the property facing Blair Street being used as parking and building operations behind the retail space, it is requested that windows not be installed in those areas that would look into the trash room just north of the garage entrance. If windows will be required, it is requested that they not allow unhampered visibility into the room.](#)

Parking Garages Or Structures: Refer to 21A.37.050.M for standards that apply to parking garages or structures whether stand alone or incorporated into a building.

Parking: Refer to 21A.26.078.H and 21A.44 for parking requirements.

[The property meets these standards](#)

Parking: Refer to 21A.26.078.H and 21A.44 for parking requirements.

[The property meets these standards](#)

Thank you again for your consideration of this landmark project. We're excited to see it become a part of 400 S. and Salt Lake City's civic core.

Sincerely,

Chris Parker
SLC Downtown Partners
801.427.0844

THE EXCHANGE

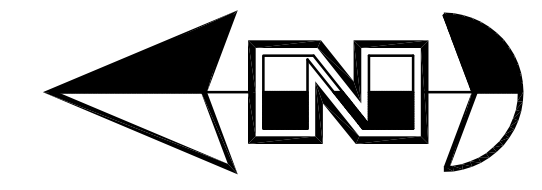
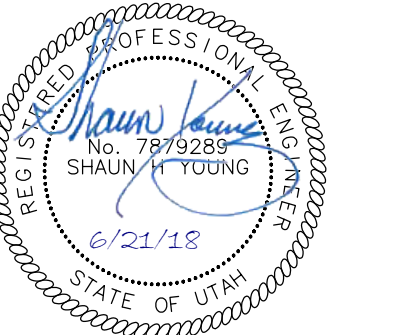
BUILDING B CBSD RESPONSE

09 JULY 2018

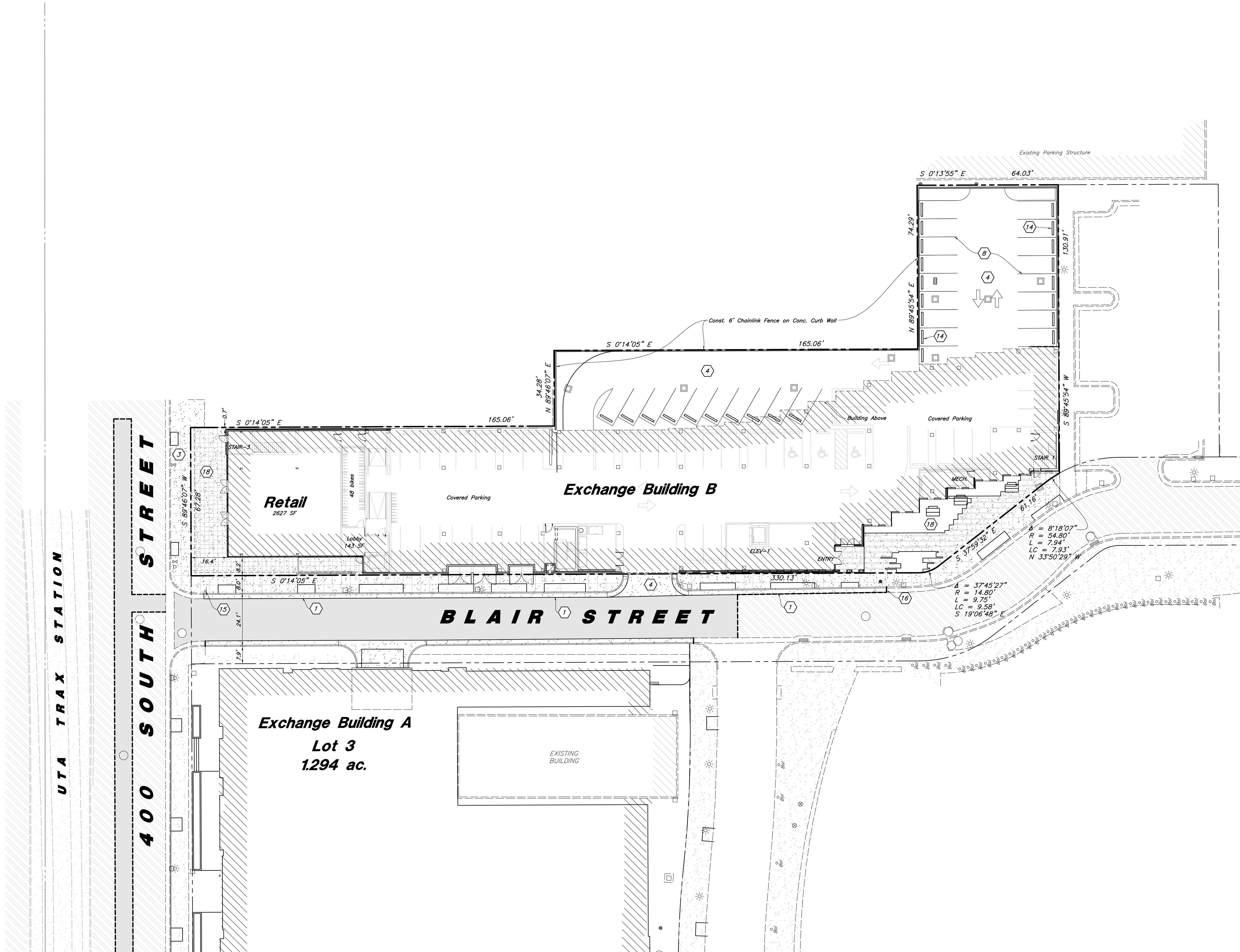
ESKEW+DUMEZ+RIPPLE ARCHITECTURE. INTERIOR ENVIRONMENTS. URBAN STRATEGIES



ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801 521-8529 - AWEngineering.net



Scale: 1" = 20'



Site Construction Notes

- 1 Const. 24" Mountable Curb & Gutter per ADWA (Type I) Plan 205
- 2 Const. Asphalt Paving
- 3 Const. Public Conc. Sidewalk per APWA Plan 231
- 4 Const. Conc. Paving
- 5 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Editions) White Symbol & Border, Blue Background Contractor shall provide 15 mils min. thickness
- 6 Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition)
- 7 Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Editions)
- 8 Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness
- 9 Const. Conc. Paving
- 10 Sawcut; Provide Smooth Clean Edge
- 11 Dumpster Enclosure (See Arch. Plans)
- 12 Const. Directional Arrows per MUTCD
- 13 Const. 24" White Stop Bar
- 14 Const. Conc Wheel Stop
- 15 Const. Stop Sign per MUTCD R1-1
- 16 Conn. & Match Existing Improvements
- 17 Protect Existing Pavement When Removing Curb & Gutter if Asphalt Edge is in Good Condition, it can be Used to Form New Curb & Gutter
- 18 Const. Planters, Sidewalks, & Stairs per Landscape Plan

Note:
Provide Carbon Monoxide (CO) Detection and warning equipment to meet National fire Protection Association (NFPA) 720 and the State of Utah Amendments.

General Site Notes:

- 1. Stalls designated as Accessible will require a painted Accessible symbol and sign. (See Details)
- 2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
- 3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- 4. All dimensions are to back of curb unless otherwise noted.
- 5. Const. curb transition at all points where curb abuts sidewalks, see detail.
- 6. Contractor shall place asphalt paving in the direction of vehicle travel where possible.

Accessible Note:
Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement notify Consultant immediately.
The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117.1-Latest Edition) and/or FHAA.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Survey Control Note:
The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or an electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or an electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

THE EXCHANGE B

340E 400S STREET
SALT LAKE CITY, UTAH
84111
EDR PROJECT NO. |

PROJECT ISSUE DATE | 6-20-18

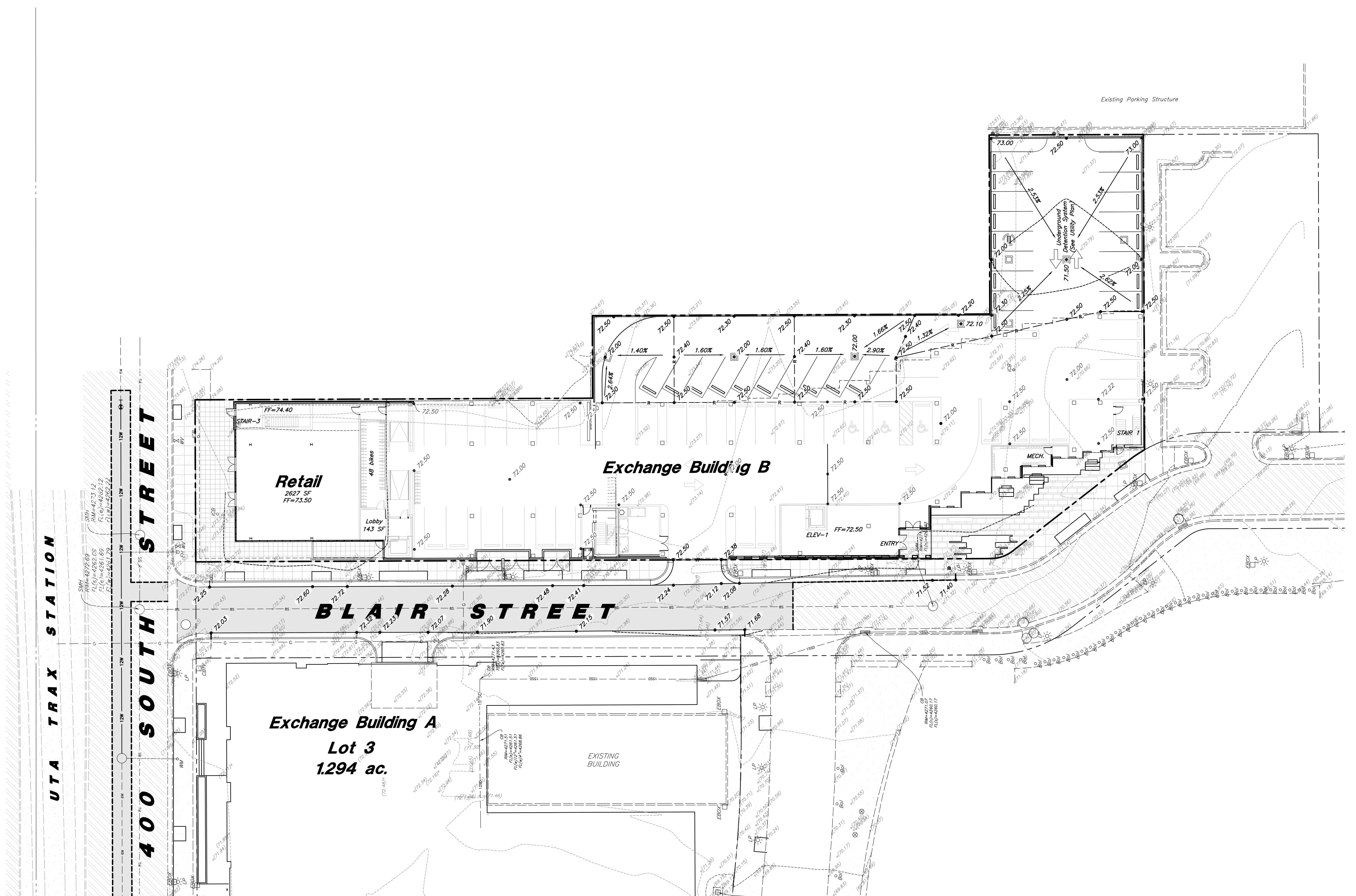
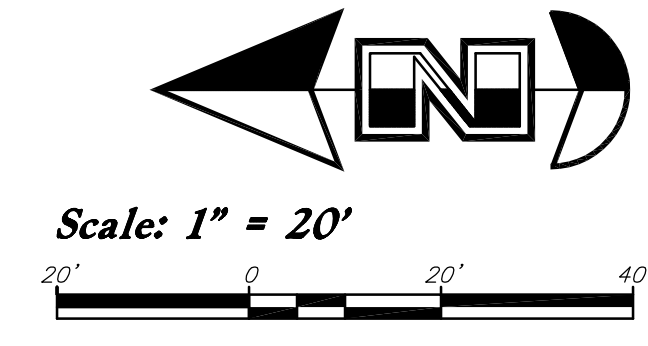
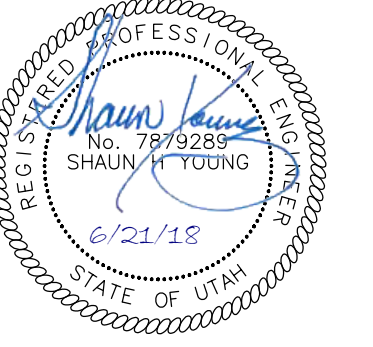
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The intent of the Contract Documents is to include all items necessary for proper execution and completion of the work by Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the indicated results.

REVISIONS

**SITE PLAN
CITY SUBMITTAL**



- General Grading Notes:**
- All grading shall be in accordance with the project geotechnical study.
 - Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
 - Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
 - Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
 - Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
 - Fills shall be benched into competent material as per specifications and geotechnical report.
 - All trench backfill shall be tested and certified by a Geotechnical Engineer.
 - A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
 - The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
 - Dust shall be controlled by watering.
 - The location and protection of all utilities is the responsibility of the permittee.
 - Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
 - All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
 - The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
 - The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
 - Aggregate base shall be compacted per the geotechnical report prepared for the project.
 - The recommendations in the following Geotechnical Engineering Report by _____ are included in the requirements of grading and site preparation. The Report is titled "_____".
- Project No.: _____
Date: _____
- As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
 - If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of soil materials or contaminated soil.

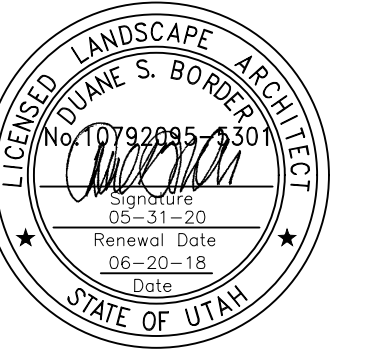
- Curb and Gutter Construction Notes:**
- Open face gutter shall be constructed where drainage is directed away from curb.
 - Open face gutter locations are indicated by shading and notes on the grading plan.
 - It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
 - Refer to the typical details for standard and open face curb and gutter dimensions.
 - Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
 - Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.

Accessible Note:
Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement notify Consultant immediately.
The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117.1—Latest Edition) and/or ADA.

THE EXCHANGE B
340E 400S STREET
SALT LAKE CITY, UTAH
84111
EDR PROJECT NO. |
PROJECT ISSUE DATE | 6-20-18
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The intent of the Contract Documents is to include all items necessary for proper execution and completion of the work by Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as necessary to produce the indicated results.
REVISIONS

**GRADING PLAN
CITY SUBMITTAL**



SHEET INDEX

SHEET NUMBER	SHEET TITLE
L-1.00	CONSTRUCTION SCHEDULE
L-1.01	GROUND LEVEL LAYOUT AND MATERIALS
L-1.02	GROUND LEVEL LAYOUT AND MATERIALS
L-1.10	ROOF LEVEL LAYOUT AND MATERIALS
L-2.01	SITE AND LIVE ROOF SYSTEM DETAILS
L-3.01	GROUND LEVEL IRRIGATION PLAN
L-3.02	GROUND LEVEL IRRIGATION PLAN
L-3.10	IRRIGATION DETAILS
L-3.20	ROOF LEVEL IRRIGATION PLAN GROUND
L-4.01	LEVEL PLANTING PLAN GROUND LEVEL
L-4.02	PLANTING PLAN
L-4.01	ROOF LEVEL PLANTING PLAN PLANTING
L-4.20	DETAILS
L-5.01	GROUND LEVEL LIGHTING PLAN GROUND
L-5.10	LEVEL LIGHTING PLAN
L-5.10	ROOF LEVEL LIGHTING PLAN
L-5.20	LIGHTING DETAILS

GENERAL NOTES

1. Base information including the location of property lines, easements, buildings, roads and curbs has been taken from the drawings provided by the Owner.
2. Verify site information, including property lines, roadway curb and gutters, utilities and other information affecting the scope of work included on these drawings. If actual site conditions vary from what is shown on the landscape architect's plans, the contractor shall contact the owner and the landscape architect for direction on how to proceed.
3. Excavation in the vicinity of utilities shall be carefully undertaken. The contractor bears full responsibility for this work. Any damage to utilities caused by any person, vehicle, equipment, or tool related to the execution of the contract shall be repaired immediately at no expense to the Owner.
4. The Contractor shall notify Underground Service Alert (1-800-227-2600) 48 hours prior to any excavation.

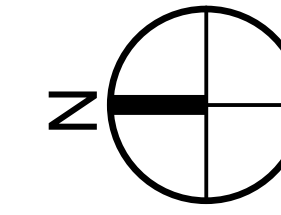
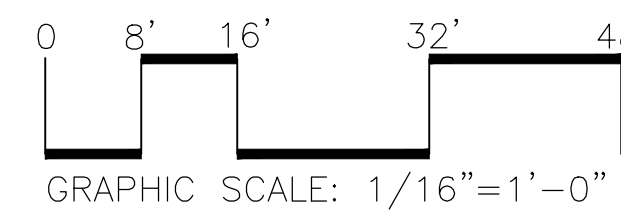
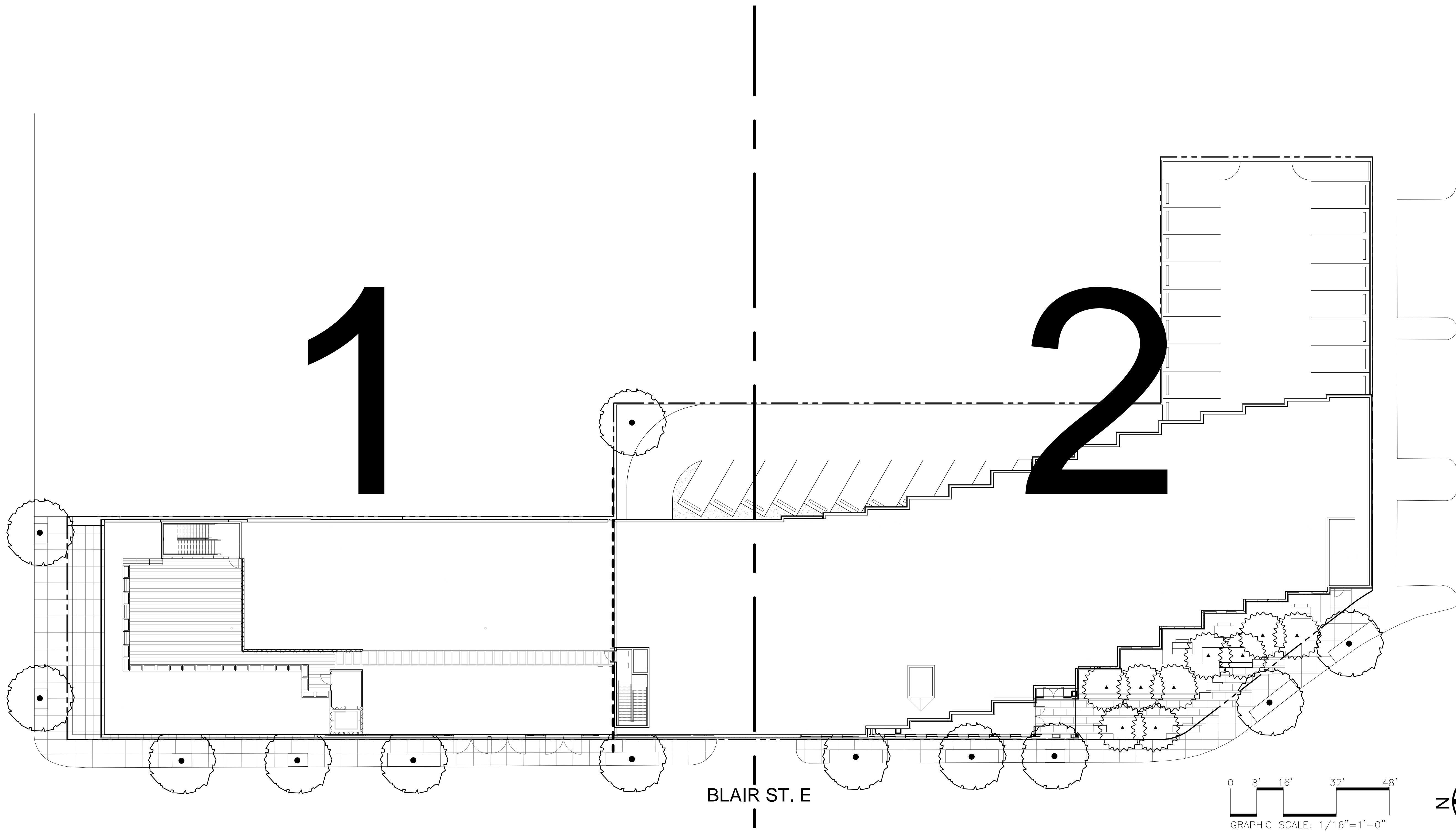
DEMOLITION NOTES

1. The Contractor shall verify the location of all site utilities prior to beginning demolition. The Contractor bears full responsibility for this work. Any damage to utilities which are to remain caused by any person, vehicle, equipment, or tool related to the execution of the contract shall be repaired immediately at no expense to the owner. The Contractor shall notify Underground Service Alert (800-227-2600) 48 hours prior to any excavation.
2. All debris created by removal operations shall become the property of the contractor and shall be disposed of away from the job site daily in a manner and in a location acceptable to the owner.
3. Prior to demolition in the contract limit area, the contractor shall walk the area to be demolished with the landscape architect to identify specific limits of work.
4. Notify landscape architect prior to construction to verify the final location of sawcuts and concrete removal.
5. Remove 18" of soil in planting areas where paving has been removed. Replace with plant mix as specified.

LAYOUT AND MATERIALS NOTES

1. The contractor shall lay out and verify all dimensions prior to construction. Any discrepancies shall be brought to the attention of the Landscape Architect.
2. Written dimensions take precedence over scale.
3. Where dimensions are called as "equal", all referenced items shall be spaced equally, measured to their center lines.
4. All measurements are to face of building, wall or other fixed site improvement. Dimensions to center lines are indicated.
5. Install all intersecting elements at 90 degrees to each other unless otherwise noted.
6. Provide expansion joints where concrete flatwork meets vertical structures such as walls, curbs, steps and building.
7. Expansion joints in walkways shall be located (20'-0") on center maximum unless otherwise noted.
8. Score joints in walkways shall be located as shown in the drawings.

UNIVERSITY BLVD.



MATERIALS SCHEDULE

SYM	ITEM	MATERIAL	COLOR	FINISH	DETAIL	SIZE	MODEL	SUPPLIER
C-1	CONCRETE 1	CONCRETE	NATURAL	BROOM	1-2/L-2.01	SCORED PER PLAN	N/A	N/A
P-1	PAVER	PRECAST CONCRETE	ALMOND	LIGHT SANDBLAST	3/L-2.01	24" X 48" X 2-1/2"	CAL ARC	STEPSTONE (310.327.7474)
P-2	PAVER	PRECAST CONCRETE	ALMOND	MEDIUM SANDBLAST	3/L-2.01	6" X 36" X 2-1/2"	CAL ARC	STEPSTONE (310.327.7474)
B-1	WOOD TILE	IFE WOOD	NATURAL	NATURAL	4, 6-12/2.01	PER PLAN	BISON PEDESTAL	BISON (800.333.4234)
G-1	AGGREGATE	GRAVEL	GREY	NATURAL	N/A	3/4" - 1"	N/A	KRC ROCK (800.572.7625)

NAME OF **XX** ← DETAIL NUMBER
DETAIL **L-2.0X** ← SHEET NUMBER

POTTERY SCHEDULE

SYM	COLOR	FINISH	SIZE (L X W X H)	MODEL	OPTION	SUPPLIER
P1	TBD	NA	36" ROUND	CIRQUE	N/A	KORNEGAY
P2	TBD	SAND	28" ROUND	CURRENT	SELF WATERING	OLD TOWN FIBERGLASS
P3	TBD	TBD	24" X 48" X 36"	STANDARD RECTANGLE	SELF WATERING	OLD TOWN FIBERGLASS

XX ← QUANTITY
PX ← POT NUMBER

WALL SCHEDULE

SYM	ITEM	MATERIAL	COLOR	SIZE	DETAIL
Ⓢ	SEAT WALL	INTEGRAL COLOR CONCRETE	MESA BUFF	20" HT.	6-7/L-2.01

THE EXCHANGE B

340E 400S STREET
SALT LAKE CITY, UTAH
84111
EDR PROJECT NO. | 17044

PROJECT ISSUE DATE | JUNE 20, 2018

PERMIT SET NOT FOR CONSTRUCTION

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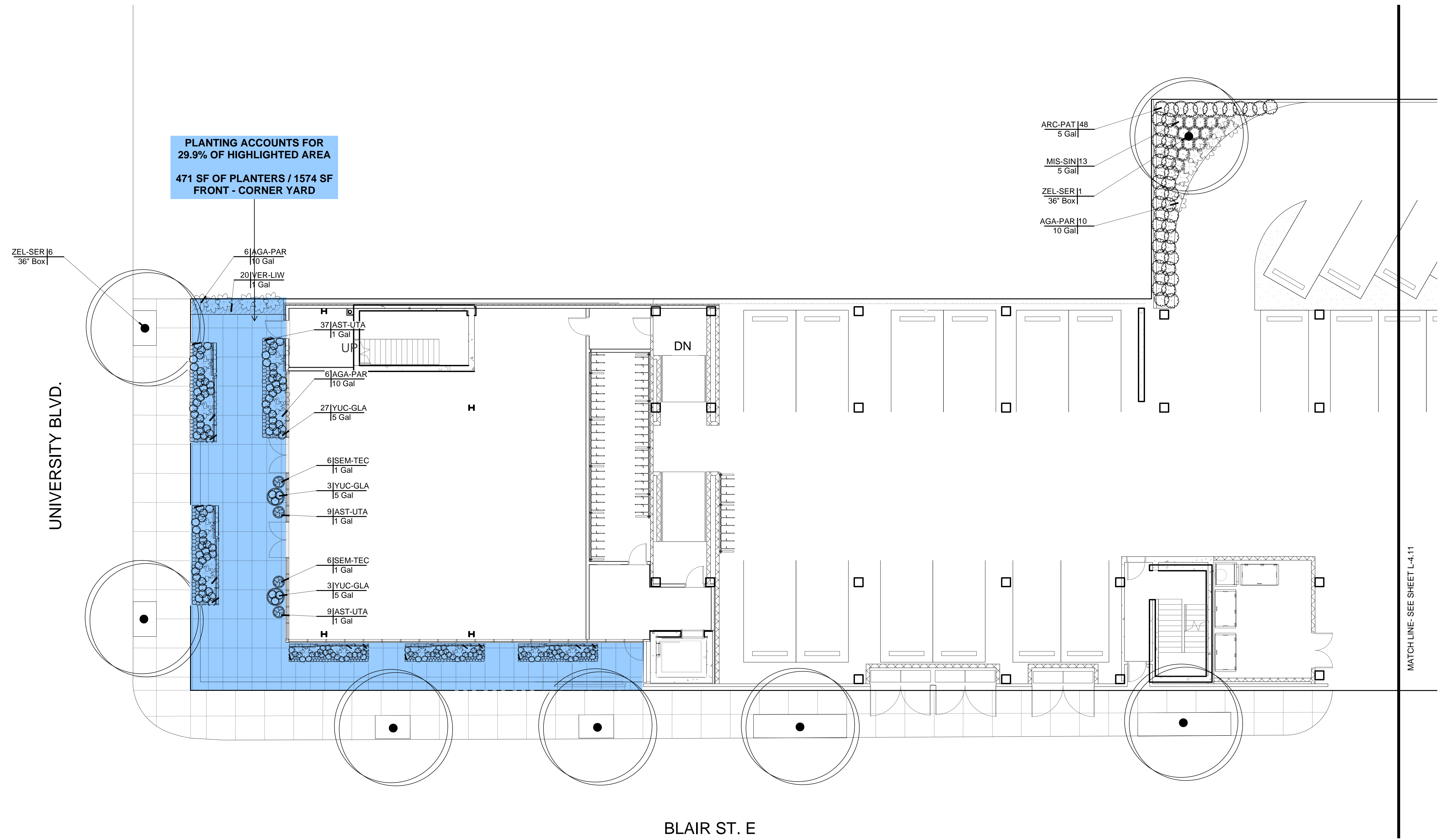
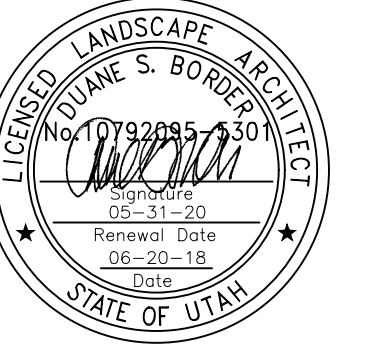
REVISIONS



CONSTRUCTION SCHEDULE

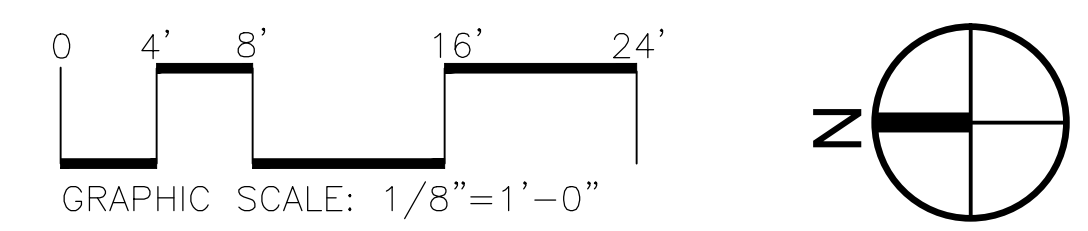
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PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	
GIN-BIL	Ginkgo biloba / Ginkgo	36" Box	
ZEL-SER	Zelkova serrata / Japanese Zelkova	36" Box	
EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	
ARC-PAT	Arctostaphylos patula / Greenleaf Manzanita	15 Gal	
	Arctostaphylos patula / Greenleaf Manzanita	5 Gal	
BUX BEA	Buxus microphylla japonica 'Green Beauty' / Green Beauty Boxwood	5 Gal	
PAX-MYS	Paxistima myrsinites / Mountain Lover	5 Gal	
YUC-FIL	Yucca filamentosa / Adam's Needle	5 Gal	
YUC-GLA	Yucca glauca / Spanish Bayonet	5 Gal	
ORNAMENTAL GRASSES	BOTANICAL NAME / COMMON NAME	CONT	
CAL-ACU	Calamagrostis x acutiflora 'Karl Foerster' / Foerster Reed Grass	5 Gal	
MIS-SIN	Miscanthus sinensis / Maidenhair Grass	5 Gal	
PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT	
AGA-PAR	Agave parryi 'Truncata' / Parry's Agave	10 Gal	
AST-UTA	Astragalus utahensis / Utah Lady Finger	1 Gal	
HES-PAR	Hesperaloe parviflora / Red Yucca	5 Gal	
OPH JAP	Ophiopogon japonicus / Mondo Grass	1 Gal	
SEM-TEC	Sempervivum tectorum / Hens and Chicks	1 Gal	
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING
AJU-REP	Ajuga reptans / Bugleweed	1 Gal	12" o.c.
FES-GLA	Festuca ovina glauca / Blue Fescue	1 Gal	8" o.c.
VER-LIW	Veronica liwanensis / Turkish Speedwell	1 Gal	12" o.c.



THE EXCHANGE B

340E 400S STREET
SALT LAKE CITY, UTAH
84111
EDR PROJECT NO. | 17044

PROJECT ISSUE DATE | JUNE 20, 2018

PERMIT SET NOT FOR CONSTRUCTION

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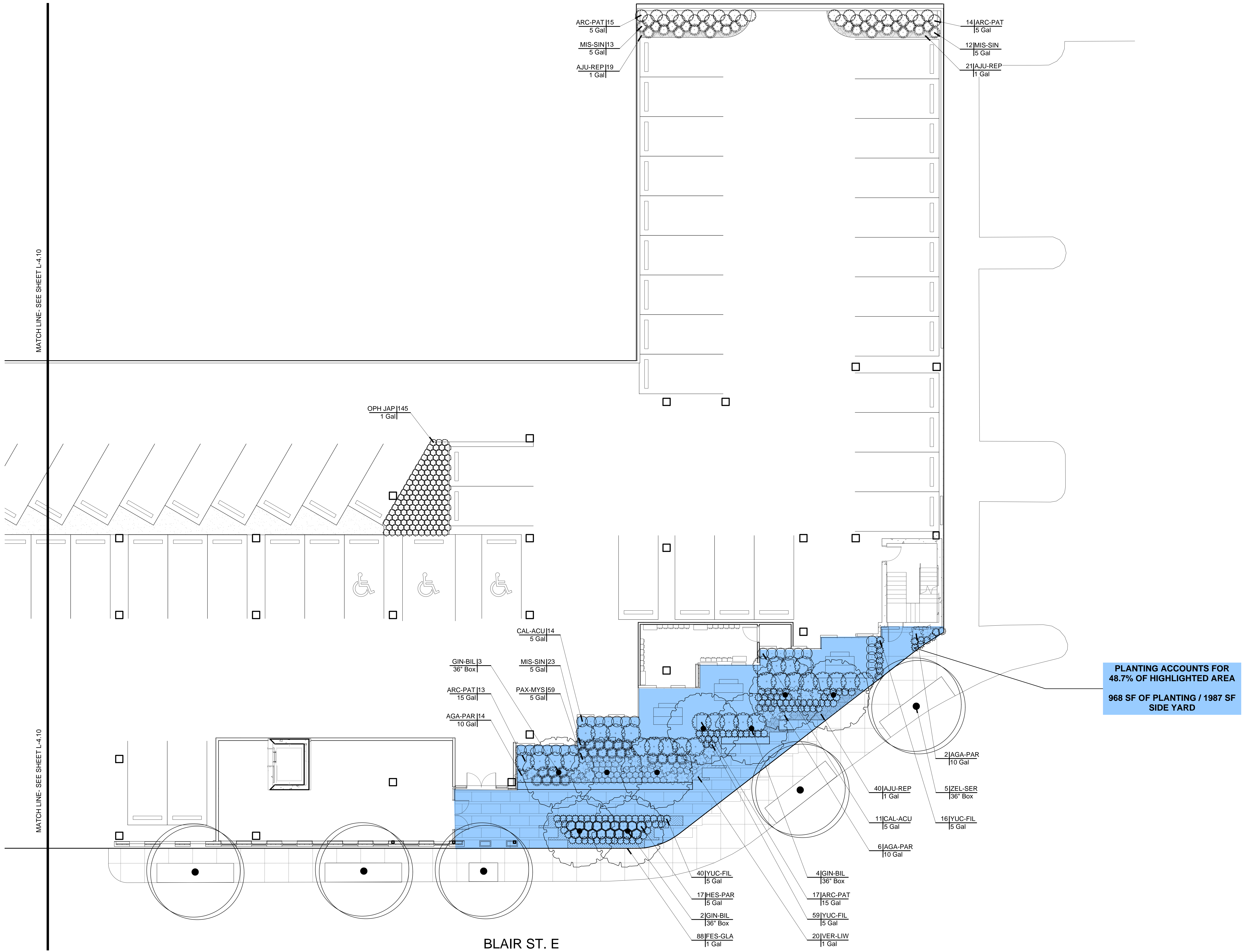
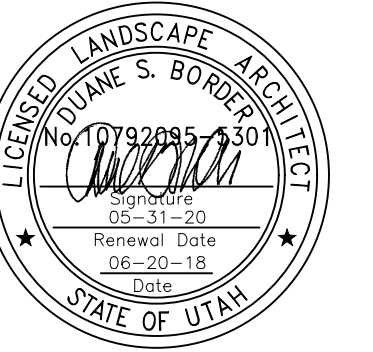
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REVISIONS

GROUND LEVEL PLANTING PLAN

DRAWN BY | JT/DB

L-4.01



**PLANTING ACCOUNTS FOR
48.7% OF HIGHLIGHTED AREA
968 SF OF PLANTING / 1987 SF
SIDE YARD**

THE EXCHANGE B

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REVISIONS

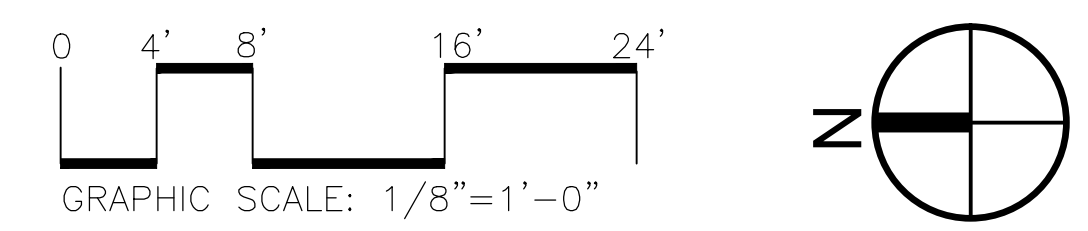
**GROUND LEVEL
PLANTING PLAN**

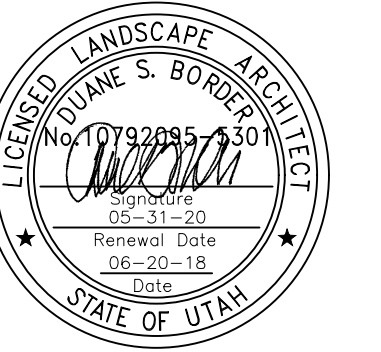
DRAWN BY | JT/DB

L-4.02

PLANT SCHEDULE

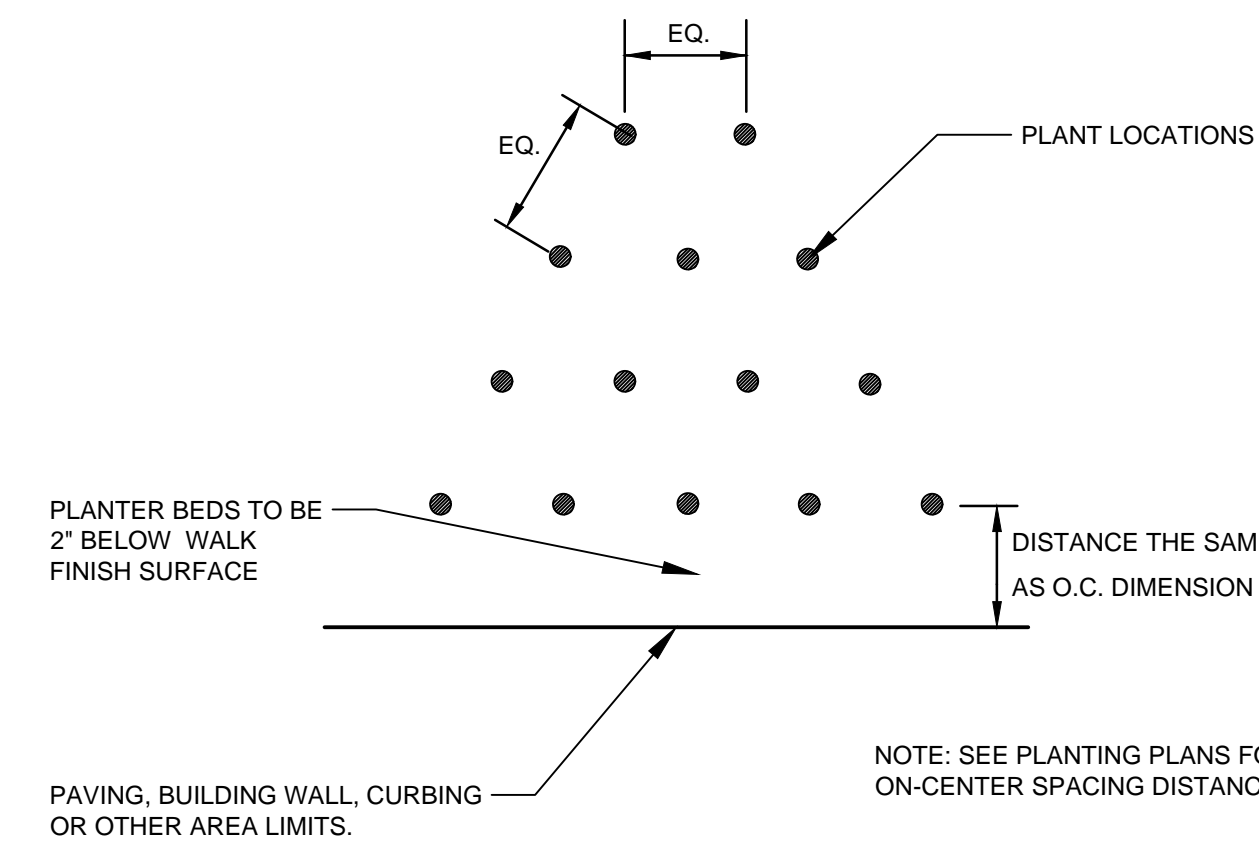
TREES	BOTANICAL NAME / COMMON NAME	CONT	ORNAMENTAL GRASSES	BOTANICAL NAME / COMMON NAME	CONT	GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING
GIN-BIL	Ginkgo biloba / Ginkgo	36" Box	CAL-ACU	Calamagrostis x acutiflora 'Karl Foerster' / Forester Reed Grass	5 Gal	AJU-REP	Ajuga reptans / Bugleweed	1 Gal	12" o.c.
ZEL-SER	Zelkova serrata / Japanese Zelkova	36" Box	MIS-SIN	Miscanthus sinensis / Maidenhair Grass	5 Gal	FES-GLA	Festuca ovina glauca / Blue Fescue	1 Gal	8" o.c.
EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT	VER-LIW	Veronica liwanensis / Turkish Speedwell	1 Gal	12" o.c.
ARC-PAT	Arctostaphylos patula / Greenleaf Manzanita	15 Gal	AGA-PAR	Agave parryi 'Truncata' / Parry's Agave	10 Gal				
	Arctostaphylos patula / Greenleaf Manzanita	5 Gal	AST-UTA	Astragalus utahensis / Utah Lady Finger	1 Gal				
BUX BEA	Buxus microphylla japonica 'Green Beauty' / Green Beauty Boxwood	5 Gal	HES-PAR	Hesperaloe parviflora / Red Yucca	5 Gal				
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YUC-FIL	Yucca filamentosa / Adam's Needle	5 Gal	SEM-TEC	Sempervivum tectorum / Hens and Chicks	1 Gal				
YUC-GLA	Yucca glauca / Spanish Bayonet	5 Gal							



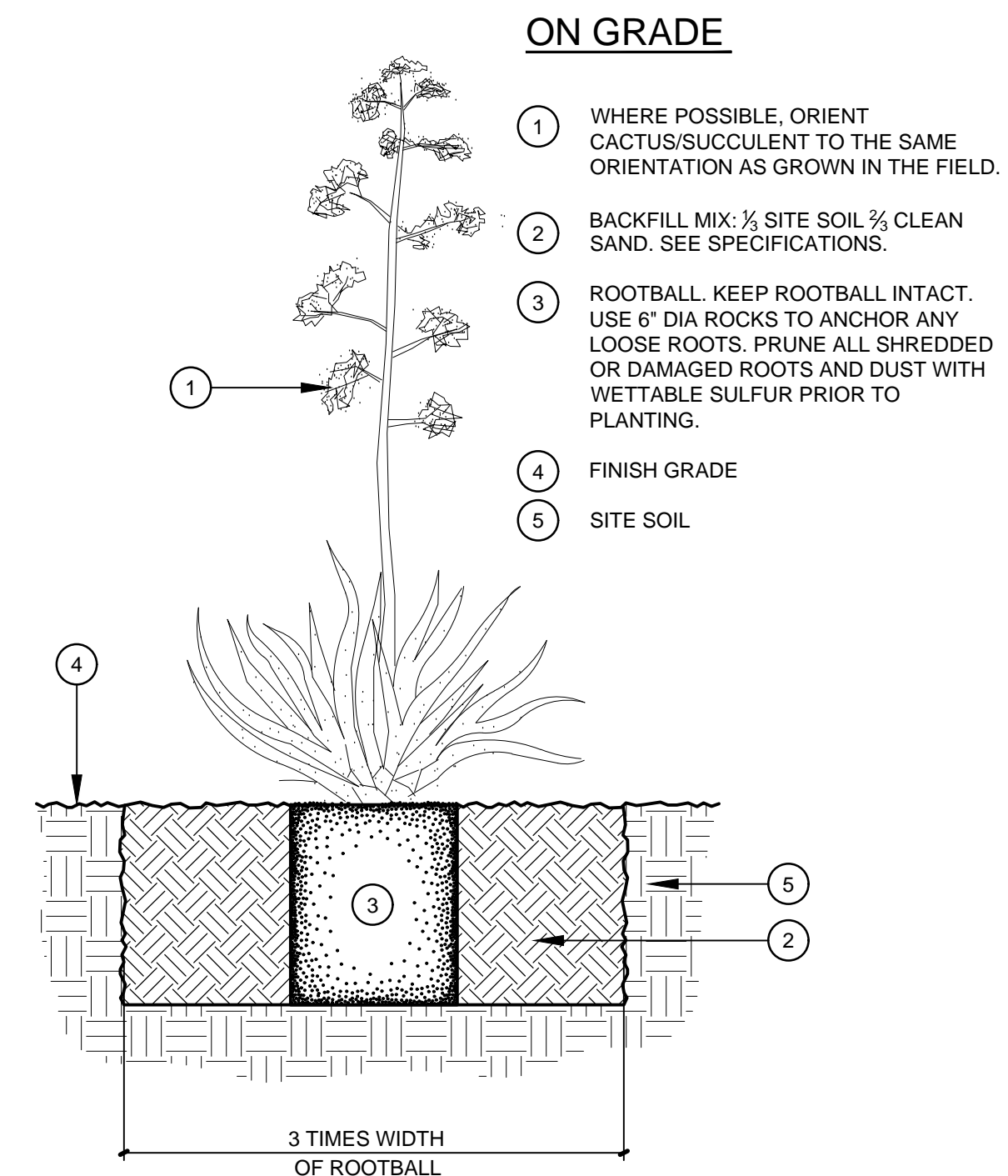


PLANTING NOTES

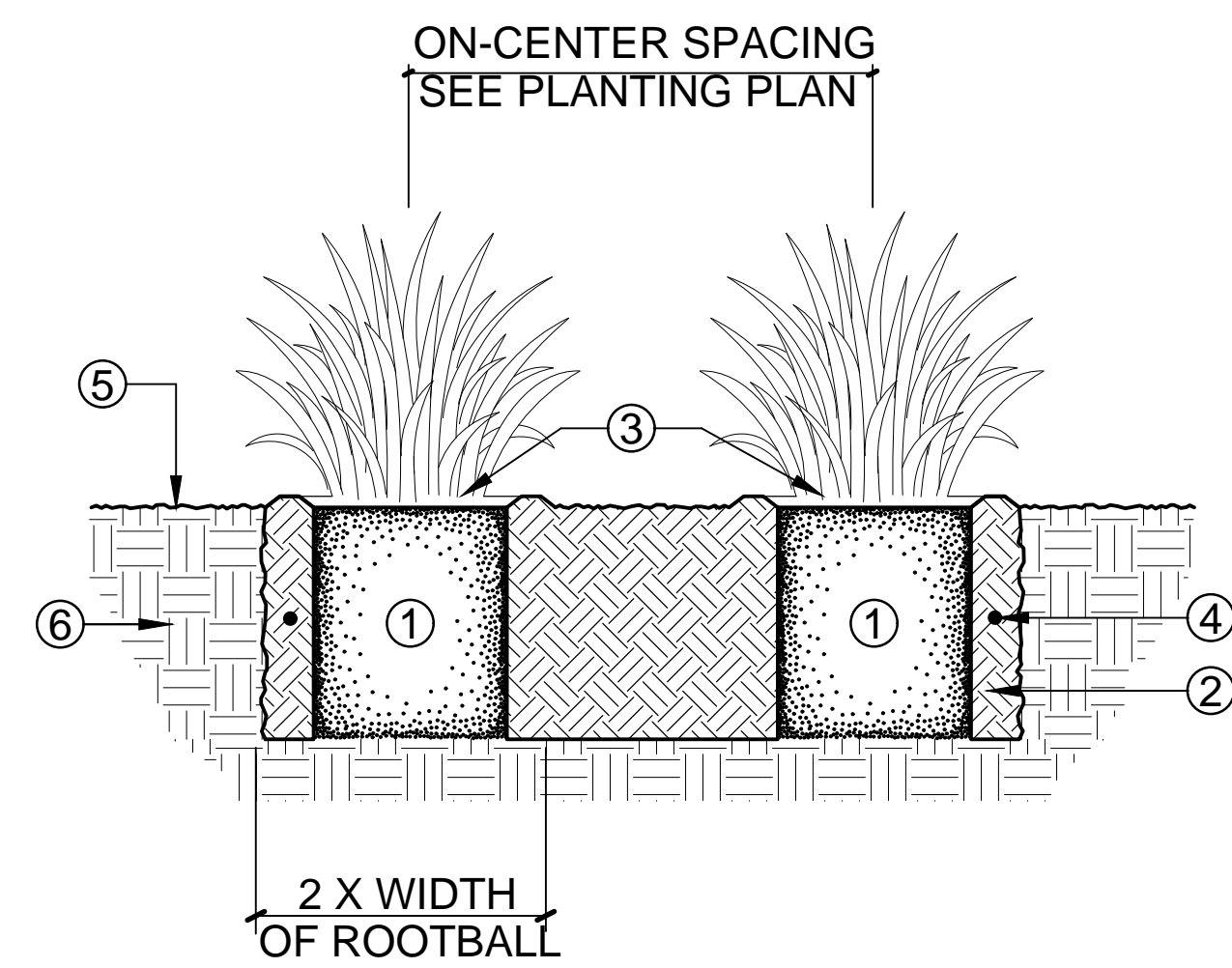
1. Verify locations of all pertinent site improvements. If any part of this plan cannot be followed due to site conditions, contact the Landscape Architect for instructions prior to commencing work.
2. Provide one (1) Agricultural suitability soil test. Follow the recommendations attached to the soils test for amending site soils.
3. All soil that is located under existing paving to be removed shall be tested for contaminants that will be detrimental to plant growth. Any contaminated soils shall be removed from site and replaced with approved topsoil.
4. Excess soil from landscape grading to be removed and disposed of off-site by contractor.
5. Continuous soil preparation is required at all planting areas including areas between trees and shrubs.
6. Exact locations of plant materials shall be approved by the Landscape Architect in the field prior to installation. Contractor shall be responsible for verifying all plant counts and square footages. Quantities, if provided, are owner information only.
7. All box size plant material shall be approved by the Landscape Architect at the nursery prior to shipping. Submit pictures in separate photographs for preliminary approval. Each photograph shall contain the subject plant with a person or object in the photo for scale. Upon preliminary approval of the plant materials in the photographs, schedule a time with the Landscape Architect to review the plants at the nursery.
8. Provide matching forms and sizes for all plant materials within each specie and size designated on the drawings.
9. Prune newly planted plant materials only as directed by Landscape Architect.
10. Align and equally space in all directions all plants designed per these notes and drawings.
11. Plants shall bear same relation to finish grade as at place of growth.
12. Finish grades of all shrub shall be (2 1/2") below adjacent curb, pavement or header to allow for installation of mulch.
13. All areas that are not turf and are 2:1 slope or less shall be covered in a two (2) inch deep layer of organic mulch unless otherwise noted. Submit 1 cu. ft. sample prior to application.
14. Finish grade of all turf areas, prior to sodding, shall be 1" for Fescue and 1/2" for Bermuda below adjacent curb, pavement or header.
15. Root barrier shall be provided for all trees (with the exception of Palm Trees) within ten feet of sidewalks, curbs, or walls, on grade as required by landscape architect.
16. The Contractor shall notify Underground Service Alert (1-800-227-2600) 48 hours prior to any excavation.
17. Prior to construction of landscape area or irrigation, the contractor must obtain and review a copy of the Water-Efficient Landscape and Irrigation Standards.
18. All landscaping and irrigation systems must comply with all local, state, and federal laws and regulations.
19. The irrigation system must comply with all local, state, and federal laws and regulations.
20. The irrigation designer or landscape architect or landscape designer shall perform one or more site observations during system installation to check for adherence to the design, including the proper installation of the backflow prevention assembly, main line, laterals, valves, sprinkler heads, drip irrigation equipment, control wire, controllers, and sensors and should assure that the intent of the irrigation design has been preserved.



06 PLANT SPACING
NTS



05 SUCCULENT / PERENNIAL PLANTING ON GRADE
NTS

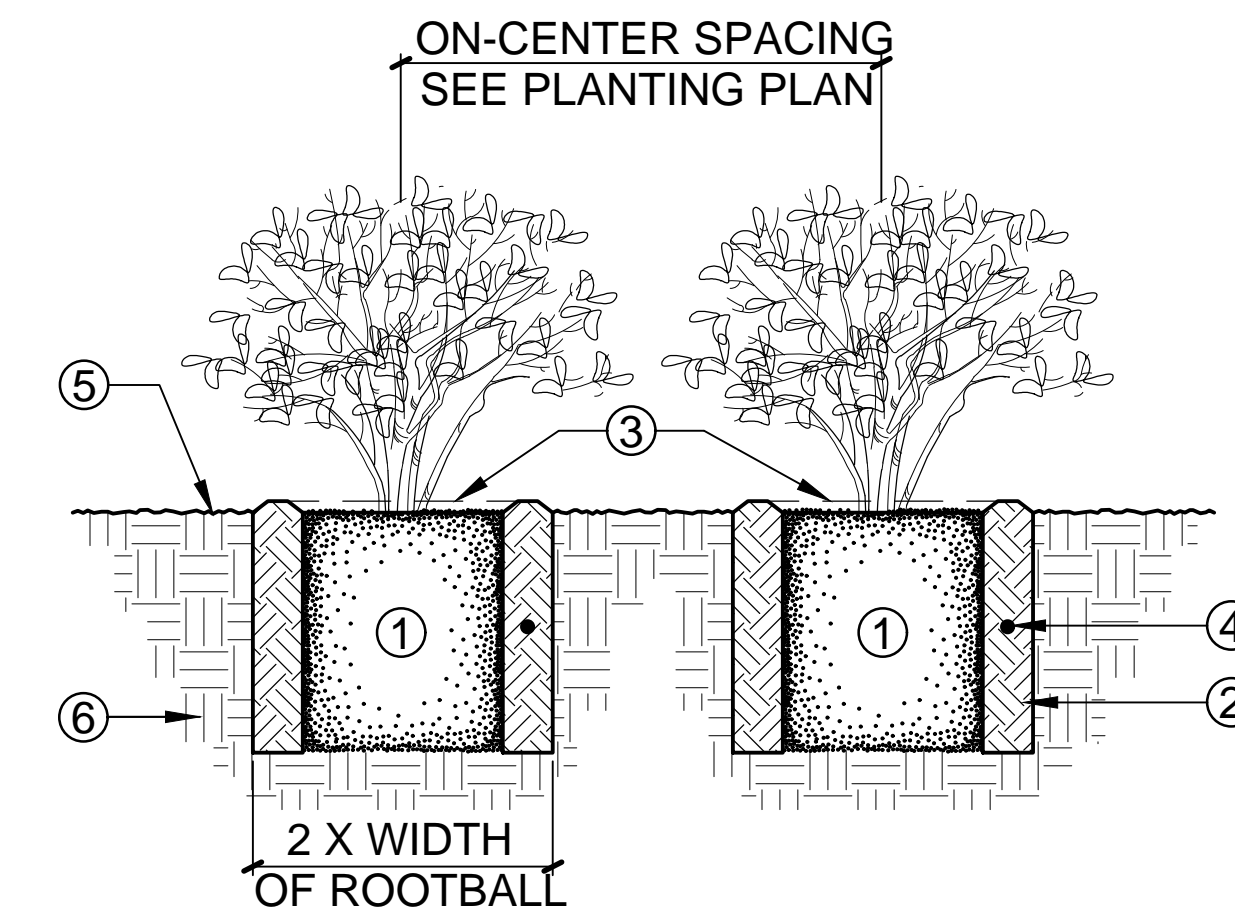


ON GRADE

- 1 ROOTBALL
- 2 REPLACE ALL EXISTING SOIL WITH IMPORTED PLANTING SOIL
- 3 WATERING BASIN
- 4 PLANT FERTILIZER TABLETS SEE SPECIFICATIONS
- 5 FINISH GRADE
- 6 SITE SOIL

NOTE: KEEP TOP OF ROOTBALL AND TOP OF FINISH GRADE AT SAME LEVEL.

04 SHRUB PLANTING ON GRADE
NTS

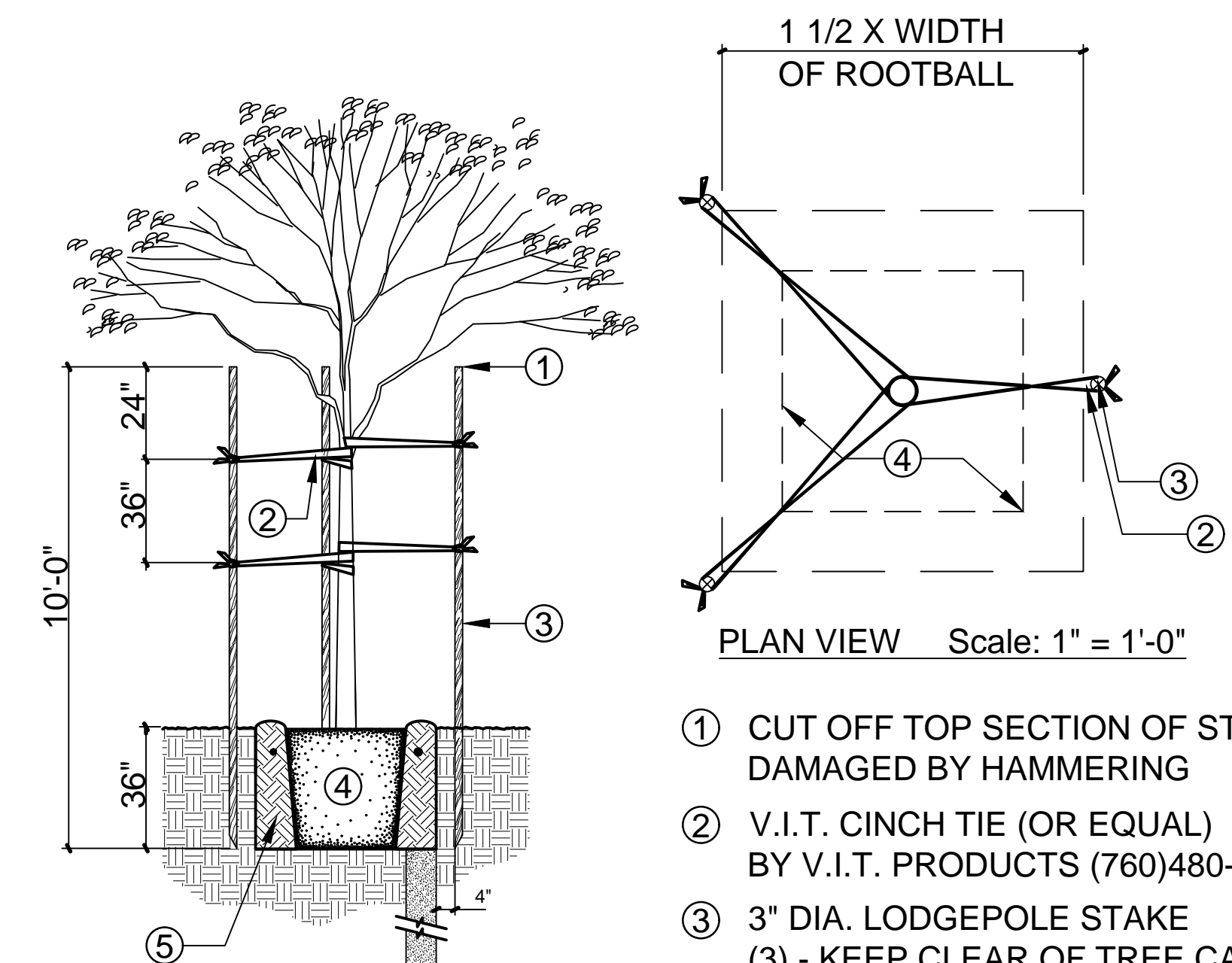


ON GRADE

- 1 ROOTBALL
- 2 BACKFILL MIX: 2/3 SITE SOIL 1/3 ORGANIC AMENDMENTS SEE SPECIFICATIONS
- 3 WATERING BASIN
- 4 PLANT FERTILIZER TABLETS SEE SPECIFICATIONS
- 5 FINISH GRADE
- 6 SITE SOIL

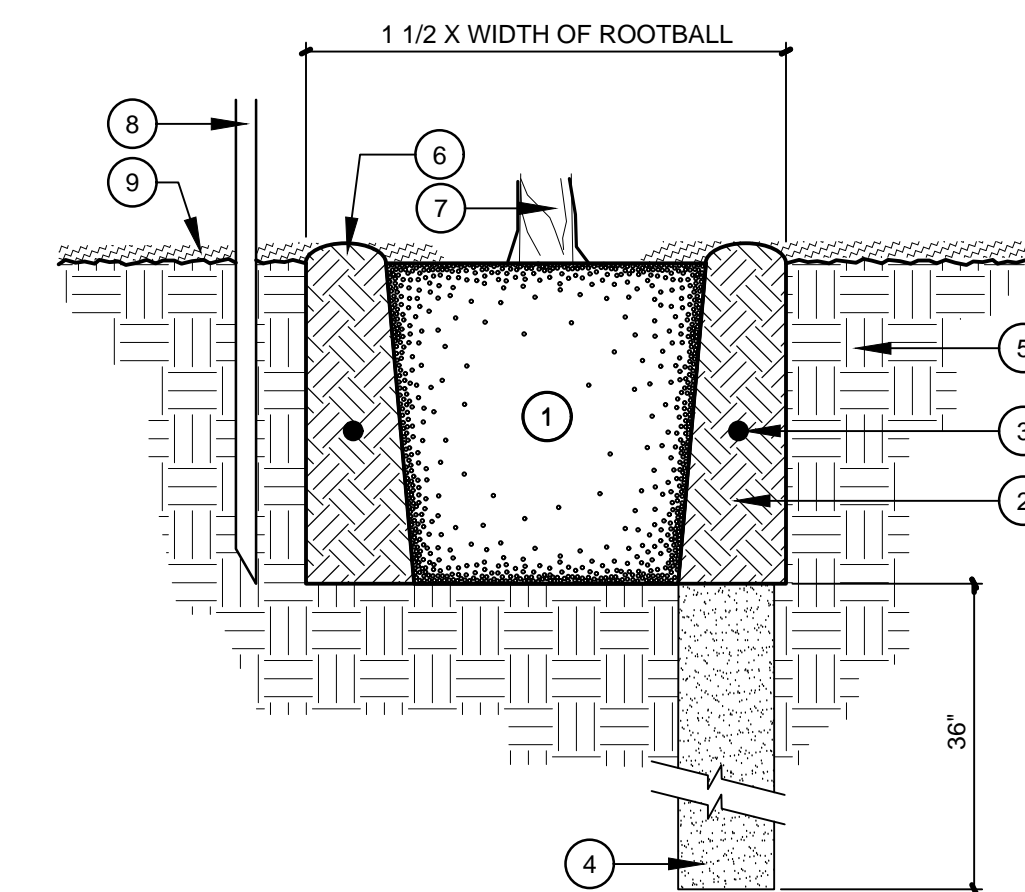
NOTE: KEEP TOP OF ROOTBALL AND TOP OF FINISH GRADE AT SAME LEVEL.

03 SHRUB PLANTING ON GRADE
NTS



NOTE: INSPECT STRAPS MONTHLY FOR PROPER ADJUSTMENT, AND DAMAGE TO TREE. ADJUST AS REQUIRED.

02 TRIPLE STAKE TREE
NTS



- 1 ROOTBALL
- 2 BACKFILL MIX: 2/3 SITE SOIL 1/3 ORGANIC AMENDMENTS SEE SPECIFICATIONS.
- 3 PLANT FERTILIZER TABLETS. SEE SPECIFICATIONS.
- 4 12" DIA. X 3'-0" DEEP SAND FILLED SUMP
- 5 SITE SOIL
- 6 WATERING BASIN
- 7 TREE TRUNK
- 8 STAKING FOR REFERENCE. SEE DETAIL 2 THIS SHEET.
- 9 MULCH. KEEP 6" AWAY FROM TREE TRUNK. SEE SPECIFICATIONS.

01 BOX TREE PLANTING
NTS

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	
GIN-BIL	Ginkgo biloba / Ginkgo	36" Box	
ZEL-SER	Zelkova serrata / Japanese Zelkova	36" Box	
EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	
ARC-PAT	Arctostaphylos patula / Greenleaf Manzanita	15 Gal	
	Arctostaphylos patula / Greenleaf Manzanita	5 Gal	
BUX BEA	Buxus microphylla japonica 'Green Beauty' / Green Beauty Boxwood	5 Gal	
PAX-MYS	Paxistima myrsinites / Mountain Lover	5 Gal	
YUC-FIL	Yucca filamentosa / Adam's Needle	5 Gal	
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ORNAMENTAL GRASSES	BOTANICAL NAME / COMMON NAME	CONT	
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MIS-SIN	Miscanthus sinensis / Maidenhair Grass	5 Gal	
PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT	
AGA-PAR	Agave parryi 'Truncata' / Parry's Agave	10 Gal	
AST-UTA	Astragalus utahensis / Utah Lady Finger	1 Gal	
HES-PAR	Hesperaloe parviflora / Red Yucca	5 Gal	
OPH-JAP	Ophiopogon japonicus / Mondo Grass	1 Gal	
SEM-TEC	Sempervivum tectorum / Hens and Chicks	1 Gal	
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING
AJU-REP	Ajuga reptans / Bugleweed	1 Gal	12" o.c.
FES-GLA	Festuca ovina glauca / Blue Fescue	1 Gal	8" o.c.
VER-LIW	Veronica liwanensis / Turkish Speedwell	1 Gal	12" o.c.

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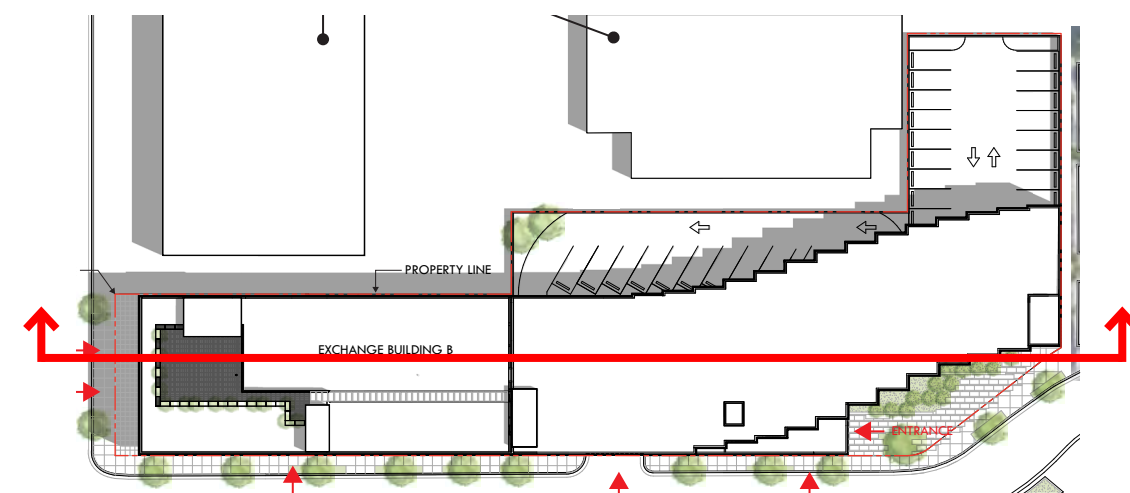
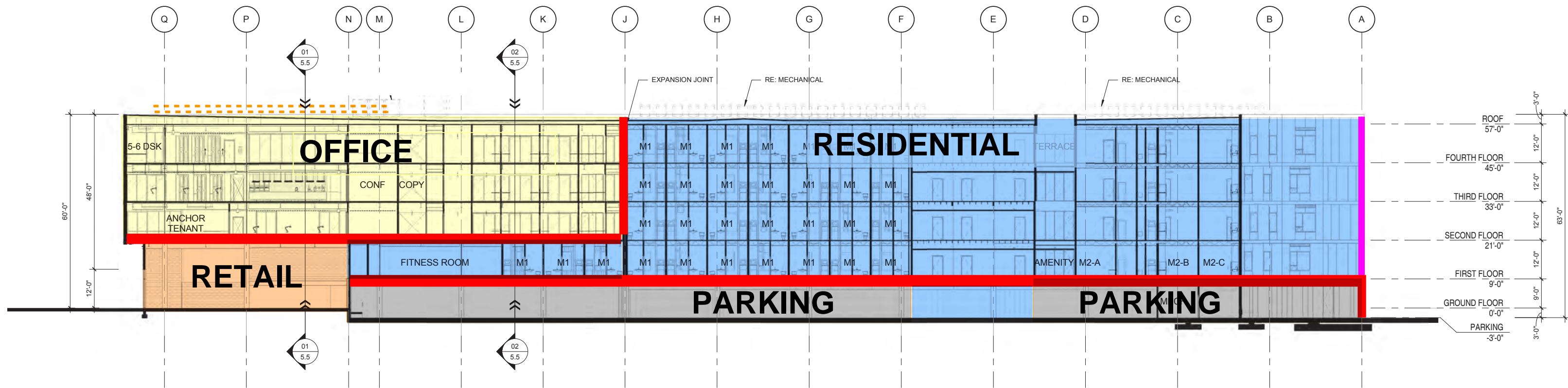
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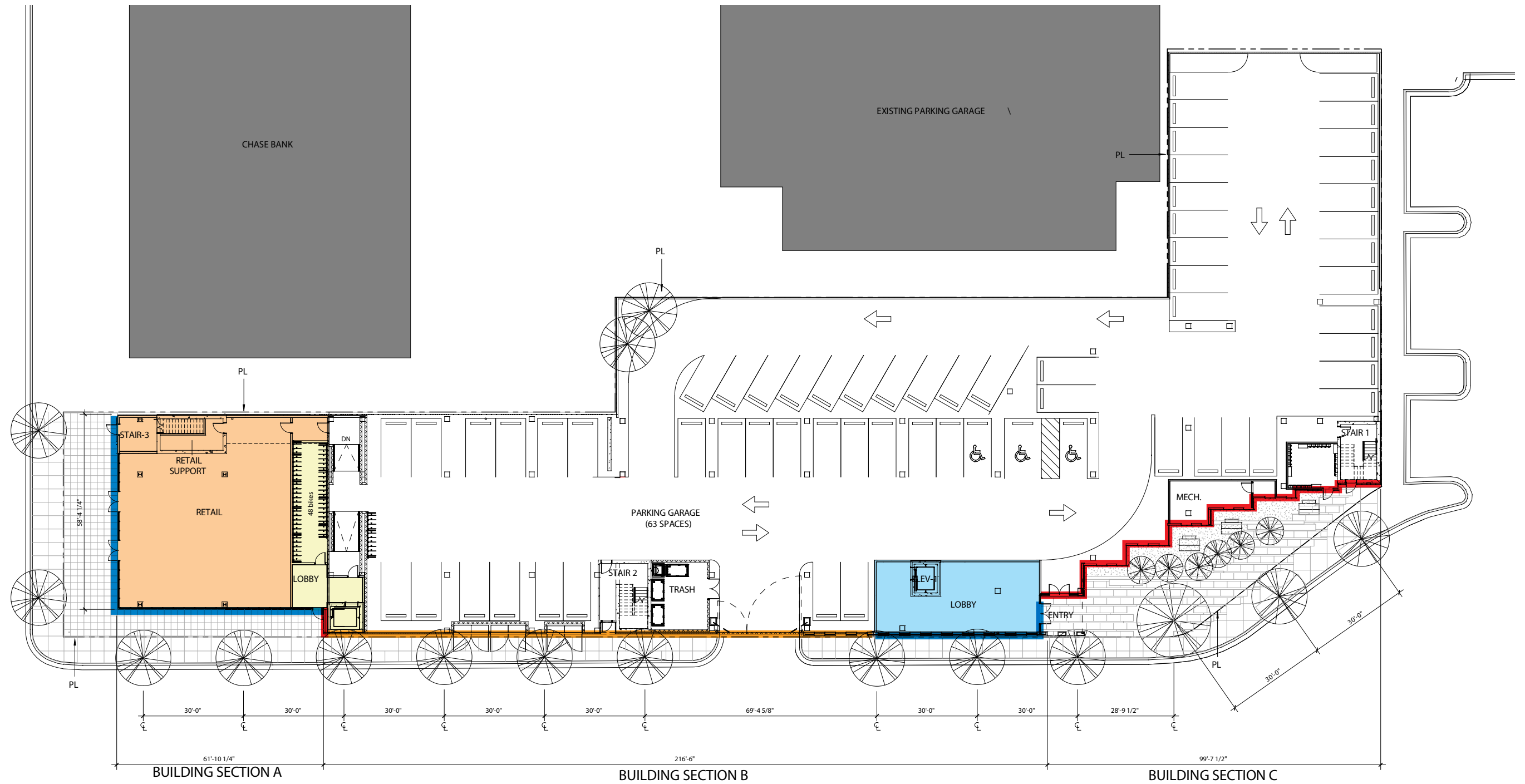
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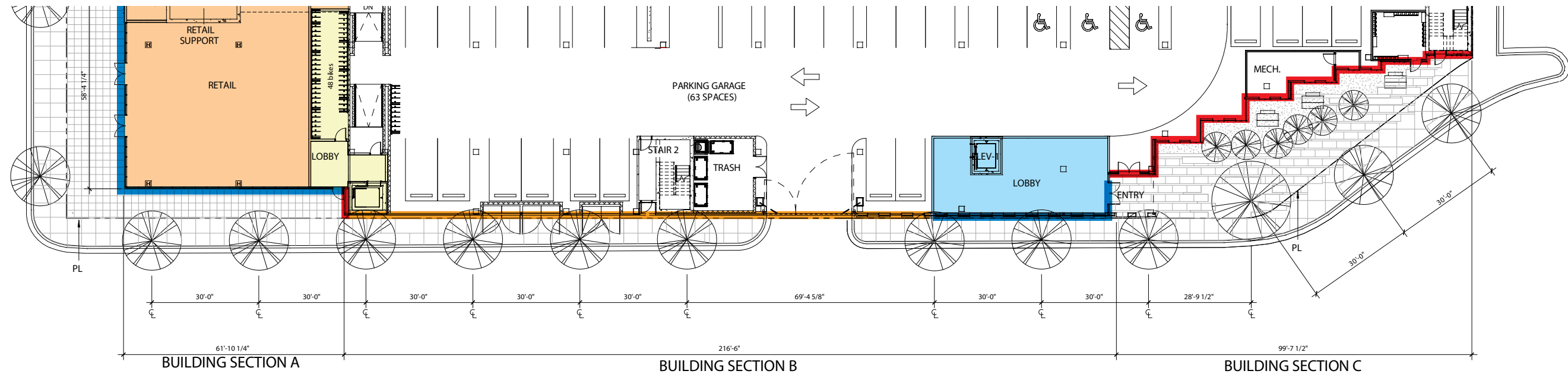
PLANTING DETAILS



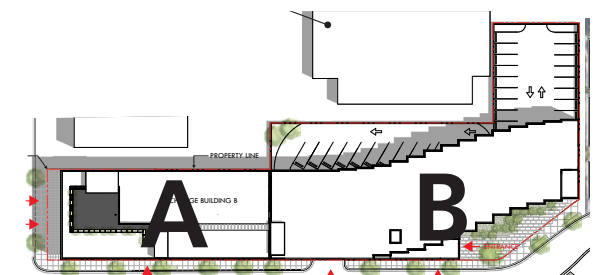
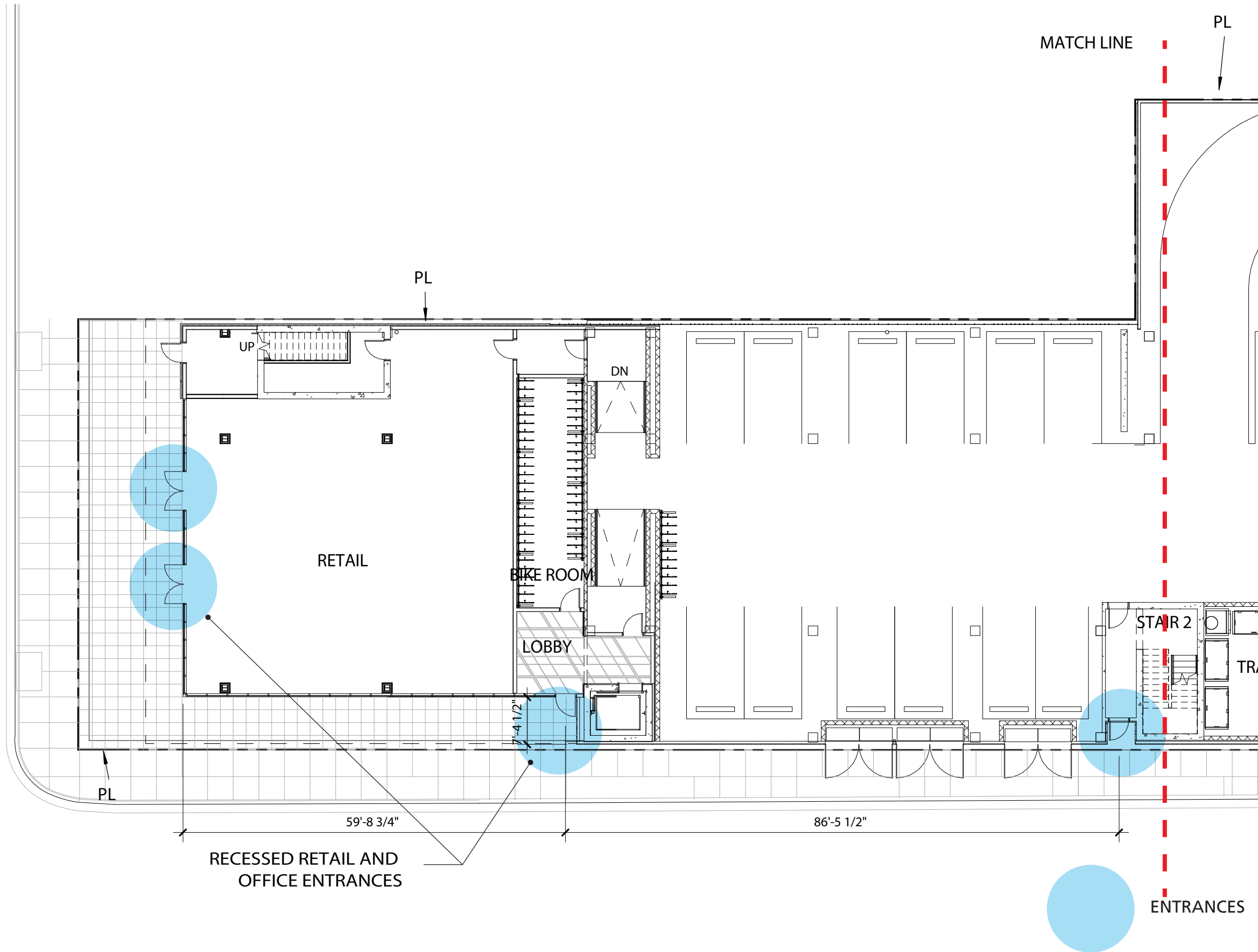
PROGRAM SECTION



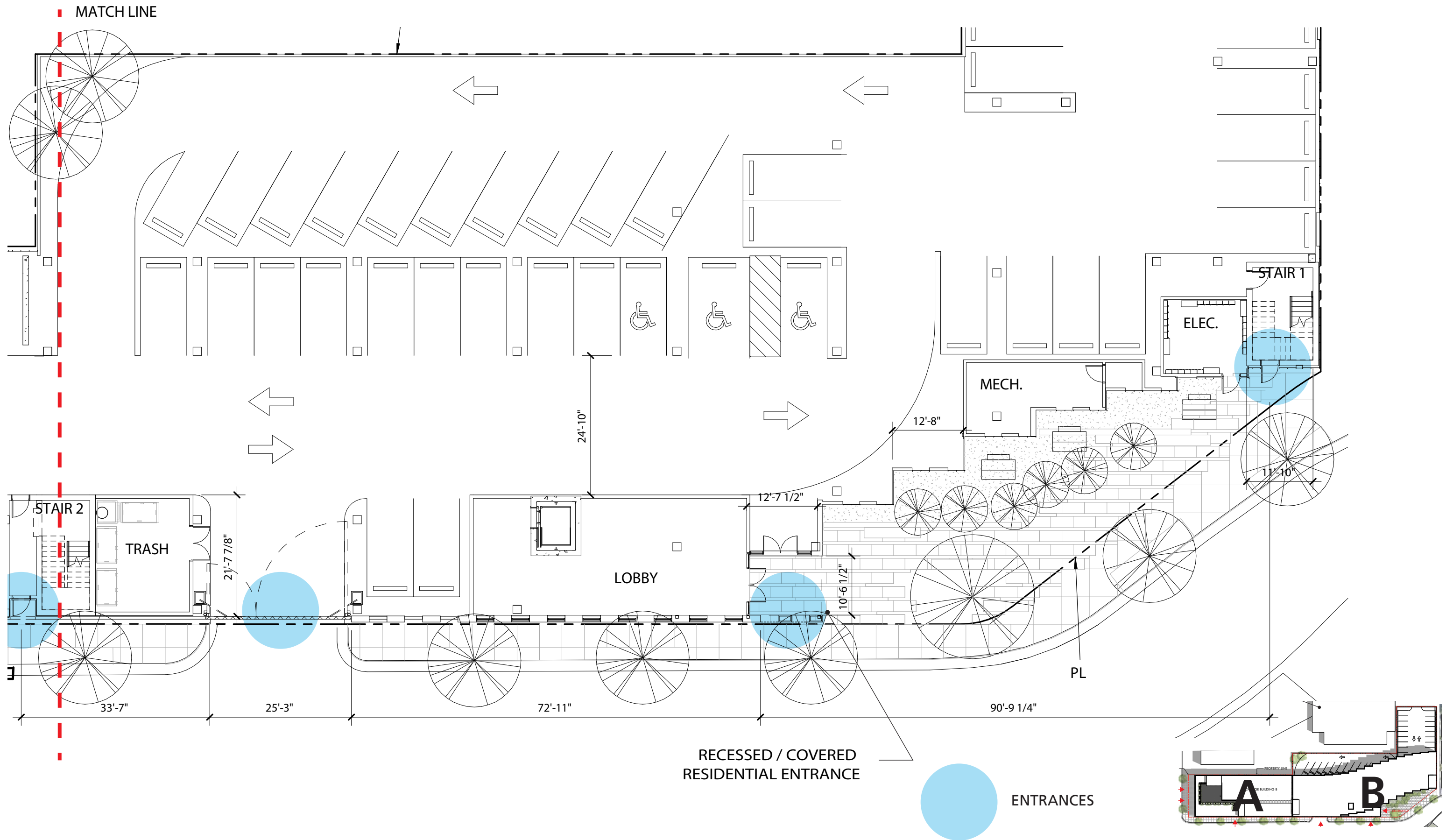
GROUND FLOOR / PARKING PLAN



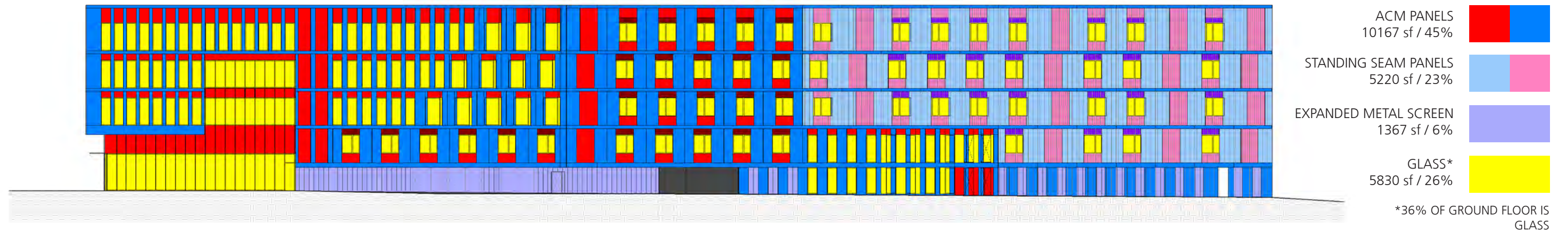
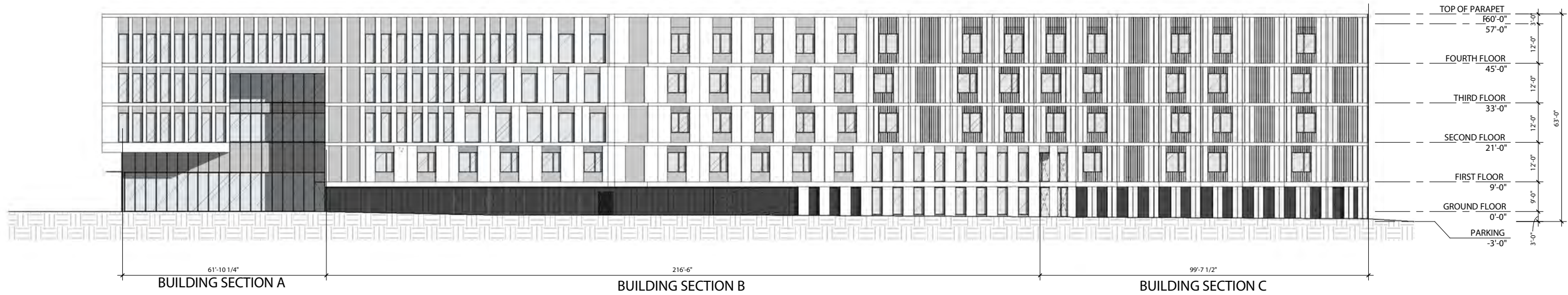
- GROUND FLOOR RETAIL / RESIDENTIAL
- SCULPTURAL BUILDING ARTICULATION AND PLAZA
- FACADE MATERIAL VARIES

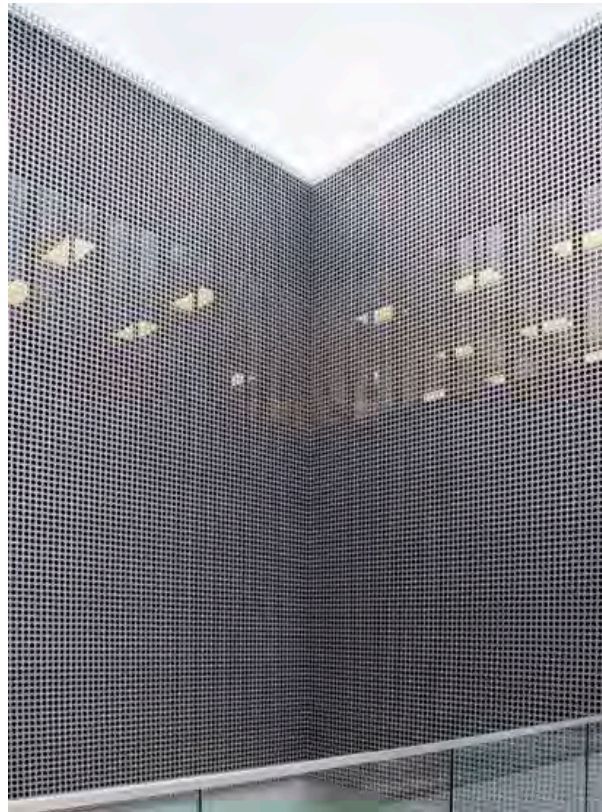


GROUND FLOOR ENTRANCES - ENLARGED PLAN A



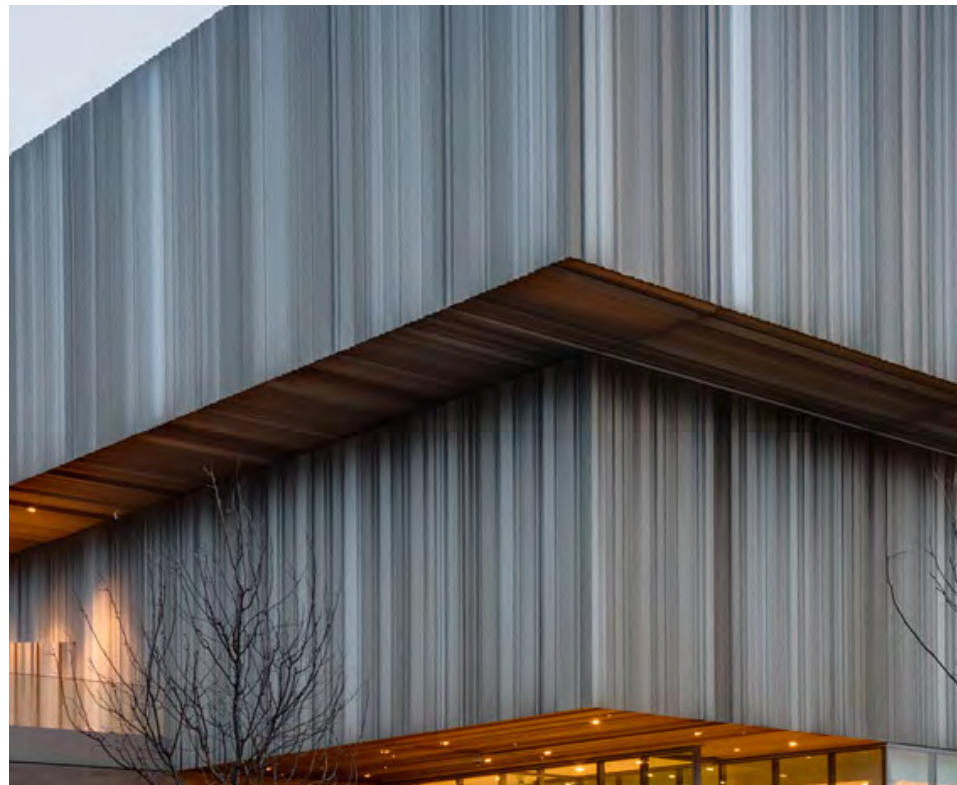
GROUND FLOOR ENTRANCES - ENLARGED PLAN B





TRANSPARENCY PROMOTES ACTIVATED ELEVATION - A DYNAMIC FACADE DURING DAY AND NIGHT, VENTILATION, AND SECURITY.

GARAGE ENCLOSURE MATERIAL PRECEDENTS - PERFORATED METAL



PRIMARY FACADE MATERIAL PRECEDENTS - ACM AND STANDING SEAM PANELS



BUILDING A RENDERING ARE FOR RELATIVE SCALE ONLY - ARCHITECTURAL FEATURES MAY NOT BE CURRENT

ARTWALL

CONCEPTUAL RENDERING - VIEW FROM 400S LOOKING SOUTHEAST

NOTE:
ARTWORK IS FOR ILLUSTRATIVE
PURPOSES ONLY



ARTWALL

CONCEPTUAL RENDERING - VIEW 400S AND BLAIR STREET - RETAIL / OFFICE ENTRANCE

NOTE:
ARTWORK IS FOR ILLUSTRATIVE
PURPOSES ONLY

BUILDING A RENDERING ARE FOR RELATIVE SCALE ONLY - ARCHITECTURAL FEATURES MAY NOT BE CURRENT



CONCEPTUAL RENDERING - VIEW FROM PEOPLE'S WAY LOOKING EAST

BUILDING A RENDERING ARE FOR RELATIVE SCALE ONLY -
ARCHITECTURAL FEATURES MAY NOT BE CURRENT



AREA FOR POTENTIAL PARKLET

NOTE:
ARTWORK IS FOR ILLUSTRATIVE
PURPOSES ONLY

CONCEPTUAL RENDERING - VIEW FROM BLAIR STREET LOOKING NORTH