

# **Staff Report**

PLANNING DIVISION DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: David J. Gellner, AICP, Principal Planner; (801) 535-6107; david.gellner@slcgov.com

Date: February 28, 2018

Re: PLNSUB2017-00881 & PLNSUB2017-01081 – Richmond Place Townhomes Planned

Development and Preliminary Subdivision Plat

# Planned Development and Preliminary Subdivision

PROPERTY ADDRESS: 2965 S. Richmond Street

PARCEL ID: 16-29-280-026-0000

MASTER PLAN: Sugar House Master Plan

ZONING DISTRICT: RMF-30 (Low Density Multi-Family Residential) and CB (Community Business)

### **REQUEST:**

Johnsen and Allphin Properties, LLC is requesting Planned Development and Preliminary Subdivision approval for a proposed 9-unit townhome project to be located at 2965 S. Richmond Street. The property parcel is split-zoned with portions in both the RMF-30 – Low Density Multi-Family Residential and CB – Community Business zoning districts. The 9-unit townhome PD will be located on the larger RMF-30 portion of the property. The CB zoned portion of the property will not be part of the Planned Development. The project as proposed would not meet all of the Zoning Ordinance regulations and is requesting relief from those regulations through the Planned Development process. The primary relief request involves the requirement for public street frontage for all lots. The applicant is also requesting relief from other zoning regulations generally related to the location of property lines within the development and to allow for an additional 5-feet of building height.

- a. PLNSUB2017-00881 Planned Development A residential planned development to construct a 9-unit townhome project with modifications to the Zoning Ordinance regulations. Access to the site would be provided via a private driveway that connects to Richmond Street.
- b. PLNSUB2017-01081 Preliminary Subdivision A request to create nine individual lots on the RMF-30 portion of the property with the remainder of the property held in common ownership and to create an individual property parcel out of the property portion zoned CB.

**RECOMMENDATION:** Based on the findings listed in the staff report, it is Planning Staff's opinion that overall the project generally meets the applicable standards and therefore, recommends the Planning Commission approve the proposal, subject to complying with all applicable regulations and the following conditions:

- 1. This approval is limited to the identified modifications and all other base zoning regulations continue to apply.
- 2. The applicant shall submit a final subdivision plat to the Planning division.
- 3. The applicant shall record a document that discloses future private infrastructure costs and shall reference said document on the final recorded plat in compliance with 21A.55.170.
- 4. Documentation that establishes an entity to manage the private infrastructure for the subdivision shall be recorded with the final plat.
- 5. Compliance with all other City department conditions (as noted in <u>Attachment J</u>).

#### **ATTACHMENTS:**

- A. Vicinity Map and Zoning
- B. Site Plan
- C. Building Elevations and Colored Renderings
- **D.** Project Narrative
- E. Property & Vicinity Photographs
- F. Existing Conditions
- G. Analysis of Standards Planned Development
- H. Analysis of Standards Preliminary Subdivision
- I. Public Process and Comments
- J. Department Review Comments

### PROJECT DESCRIPTION:

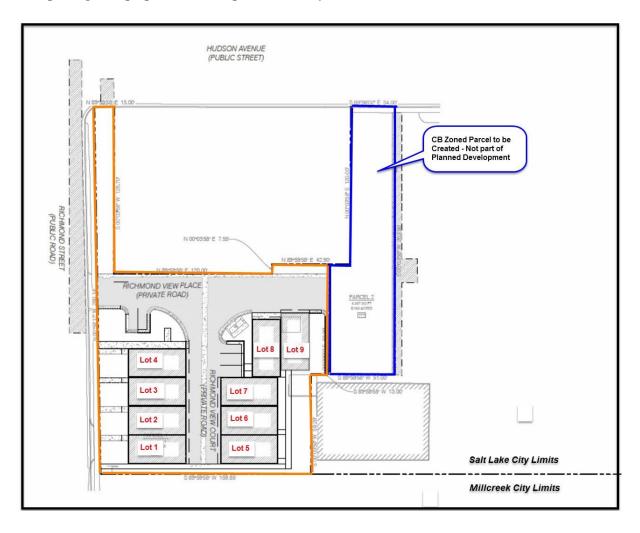
The developer is proposing to construct nine single-family attached units (townhomes) on the subject property. Each townhome unit is proposed to be on its own individual lot and the applicant has also submitted a preliminary subdivision that reflects this configuration. The proposed development requires Planned Development approval because five of the lots will not have frontage on a public street. Normally all lots are required to have frontage on a public street. Additionally, although the overall development generally meets the setback standards for the zone, each individual lot does not meet those standards due to the proposed configuration of the property lines internal to the development. Planned Development approval is also requested to reduce a portion of the rear yard setback and to allow for an additional 5-feet in building height.

The total subject property is 0.83 acres (36,000 square feet) in size. The property is split-zoned RMF-30 (Low Density Multi-Family) and CB – Community Business. Approximately 27,800 square of the property is zoned RMF-30 while the most eastern 8,300 square feet is zoned CB. The proposal is to build nine (9) housing units on the RMF-30 portion of the property and to create a separate parcel from the CB zoned portion of the property. The CB zoned property would be used to develop a multi-family building on the separate parcel that would not be part of the Planned Development request and would be allowed as a permitted use. A private driveway that accesses Richmond Street would be used for both the townhome development and the multi-family development on the separate CB zoned parcel.



### **Building Orientation and Site Configuration**

The nine housing units on the property are proposed in a configuration of two buildings with four (4) side by side units attached toward the western side of the property and five (5) attached units toward the eastern side of the property. The four units to the west (Lots 1, 2, 3 and 4) would face toward Richmond Street and have individual walkways that connect into an existing north/south running sidewalk along Richmond. For the five rear units, lots 5, 6 and 7 would have entrances that face east toward the boundary and a sidewalk along that perimeter. Lot 8 would have an entrance that faces east toward an area of guest parking and the inner driveway court running north and south. Lot 9 would have a south facing entrance that also connects into the sidewalk by Lots 5, 6 and 7. Each unit contains the required two off-street parking stalls within their garage. There are also five (5) guest surface parking stalls proposed off of the private driveway.



The RMF-30 portion of the property being used for the proposed Planned Development is approximately 27,800 square feet in size. The two buildings, one with four units and one with five units are classified as attached single-family dwellings. For single-family attached dwellings the RMF-30 zoning district requires 3,000 square feet lot area per dwelling unit. While the proposed dwelling units would have reduced lots equal to the area of their individual footprints the entire property has the required square footage for the nine-units when taken as a whole.

The applicant is providing the following proposed setbacks for the development. The proposed development has a 22.5 foot front yard setback on the west side to the street facing units, 25-foot rear setback on a portion and 14-foot setback on another portion, 7-8 foot side yard setback on the south and minimum setback of 37 feet on the north along the driveway. The development meets the front and side yard requirements for the RMF-30 zoning district for single-family attached dwellings. The rear yard requirement is 20-feet minimum. It is being met on one portion of the development behind Lots 5, 6, and 7. It has been reduced to 14 feet for Lot 9, the most eastern of the units which is adjacent to the separate CB parcel that is proposed.

The subject parcel has a somewhat irregular shape and includes a strip of property that runs north/south parallel to Richmond Street on the west side of the property (see site plan above and maps in <a href="Attachment A">Attachment A</a>). This property "spur" is approximately 14-feet wide and is located between the single-family residence at 1254 E. Hudson Avenue and Richmond Street. The applicant is planning to landscape the property with street trees, turf grass and a rock wall that runs the length of the spur and will be designed to provide some visual flow along Richmond into the entrance to the development.

The zoning ordinance is written to regulate properties with public street frontage. Because five of these properties do not have public street frontage, the yards do not strictly line up with the normal zoning yard/setback requirements. Because of this, the Planned Development process is required for the particular property line configuration. However, the overall perimeter setbacks for the development provide sufficient separation to neighboring properties.

### **Building Height**

The proposal includes a request for an additional 5-feet of building height. The RMF-30 zoning district limits building height to 30-feet. However, an additional 5-feet may be approved by the Planning Commission if the additional height helps to further achieve one or more of the planned development objectives. The applicant has indicated that this additional height is being requested in order to provide roof-top decks for each unit that will act as a sort of private yard. The decks will be designed to support plants in planters and are intended to make the roof-top a comfortable and green space.

The Sugar House Community Council had questions about the requested additional height and the need for it. The request appears to help better achieve Objective D of a planned development and would provide an attractive private amenity for a resident or owner of one of the units.

### **Building Materials**

Proposed materials include cement board panels and Hardie plank siding. According to the applicant, the cement board panels are intended to relate to commercial materials and development in the area while the wood colored Hardie plank siding will relate more to the residential development in the area.

#### Parking

Single-family attached dwellings require 2 parking stalls per dwelling unit in the RMF-30 zoning district. For each of the nine units, the proposed development would contain the required two off-street parking stalls within their individual garages. There are also five (5) guest surface parking stalls proposed off of the private driveway. The RMF-30 zoning district allows a parking maximum of twenty five percent (25%) greater than the minimum. For the proposed development, the minimum parking is 18 spaces. The maximum would allow for an additional 4.5 parking spaces. The applicant has proposed 5 guest parking stalls in addition to the required parking which meets the ordinance requirements when rounded up.

### **Project Density**

The property is split-zoned RMF-30 (Low Density Multi-Family) and CB – Community Business. The property is being subdivided to create one lot zoned RMF-30 that is approximately 27,800 square feet in size and another lot that is 8,300 square feet and zoned CB. The two buildings, containing nine-units are classified as attached single-family dwellings. Single-family attached dwellings (3 units or more attached) in the RMF-30 zoning district require 3,000 square feet lot area per dwelling unit. The proposed nine units would require a minimum lot area of 27,000 square feet. The entire property has the required square footage for the nine-units and averages to 3,000 square feet per lot taken as a whole. The proposal therefore meets the density requirements for the zoning district.

### **SUBDIVISION:**

The proposed subdivision to create nine lots, common areas, second larger parcel (zoned CB) and shared access driveway will be reviewed as a Preliminary Subdivision Plat and will be subject to final subdivision approval by the City. Five of the nine proposed lots are without the required public street frontage meaning the lots do not share a boundary line with a public street or public way. Normally all lots are required by the zoning code to have public street frontage.

The Preliminary Subdivision has been reviewed the City Engineer and Surveyor and staff has been working with the applicant to work out the technical details of that document to the satisfaction of the reviewing departments. While there are technical details to work out, there is no indication that the property could not be subdivided as proposed. As such, staff is recommend that the Preliminary Plat be conditionally approved by the Planning Commission with final subdivision approval by the City. Final Plat approval will be required.

#### **KEY CONSIDERATIONS:**

The key issues listed below have been identified through the analysis of the project, neighbor and community input and department review comments.

- 1. City Goals and Master Plan Compliance
- 2. Lots Without Public Street Frontage
- 3. Neighborhood Compatibility
- 4. Private Infrastructure and Common Area Maintenance

### Consideration 1: City Goals and Master Plan Compliance

This project will result in the creation of nine (9) housing units on the property that will allow individual ownership. An important City goal is to expand housing opportunities and the availability of various types of housing and at various price points. This project would meet that goal. These goals are also articulated in the Sugar House Master Plan, City Housing Plan and Plan Salt Lake discussion in Attachment F of this report.

### Consideration 2: Lots Without Public Street Frontage

The applicant is proposing to construct five of the single-family attached units without street frontage. The Zoning Ordinance specifies that all lots must front a public street (21A.36.010.C), unless exempted by the Planning Commission. This is a specific requirement to ensure safe and adequate access to the development. In the case of a single-family attached development, the proposed lots consist of the property located directly under each unit, unlike a condominium development.

While the four attached units toward the west side of the project have a street orientation, the five units on the east do not have this street orientation. The development as proposed with four units oriented toward the street would bring some additional street presence to Richmond Street that is currently lacking.

### Consideration 3: Neighborhood Compatibility

While there are some single-family homes in the vicinity of the proposed development, they are located on the side streets that intersect Richmond and generally have their side yards facing Richmond. There are a couple of single-family homes that front Richmond to the south and west of the proposed development, in Millcreek City. There are also some multi-family and small-scale commercial uses in the area as well. The maps in Attachment A illustrate this.

Properties to the south of the proposed development on both sides of Richmond are located within Millcreek City. While the property directly to the south has been developed as a medical/dental office it is zoned R-M – Residential. The R-M zoning designation in Millcreek City is intended for high-density residential development with a maximum building height or 75-feet or 6 stories allowed, which is far more intense than the development allowance on the subject property. The properties across Richmond in Millcreek City are zoned R-2-6.5 Residential which is ca low to medium density residential district within that jurisdiction, similar to areas in Salt Lake City zoned RMF-30 on the opposite side of Richmond Street.

This is also described in Attachment F: Existing Conditions.

The general character of the majority of Richmond to the north and south of this development is as a busy thoroughfare with significant volumes of traffic that flow through the area on the way to the commercial areas to the south and north or to access residential areas via intersecting streets. The development as proposed with four units oriented toward the street could in fact be a pioneering project that would bring some street presence to Richmond Street. It will also provide some transition in scale and intensity between the lower density development to the north within Salt Lake City and the more intensely zoned properties to the south within Millcreek City.

This clarification is provided to put in context the existing development and changes in jurisdiction that occur along this corridor. While the proposed development is not required to comply with the land use designations and general plans of a neighboring jurisdiction, the development of a single parcel and a given area does not occur

in a vacuum. A natural flow and some continuity in the overall development pattern rather than having abrupt changes at jurisdictional lines are in the interest of residents and property owners in both jurisdictions is a consideration in the overall discussion when considering compatibility.

### Consideration 4: Private Infrastructure and Common Area Maintenance

The proposed development utilizes a shared private driveway and includes common space areas. This is a common design for many infill type planned developments that are proposed in the City. One question that comes up on this type of development relates to the long-term and ongoing maintenance of the private infrastructure and who will be responsible for that and how it will be funded. This can be accomplished through an HOA and/or CCNR's for ongoing maintenance and funding for these areas of common ownership. This should be noted on the plat and the agreements should be recorded to perpetuate those obligations.

Staff is recommending that a condition be included that a document showing that ongoing maintenance and funding for the private infrastructure will be provided is required in order to finalize the planned development and that this agreement must be recorded with the plat.

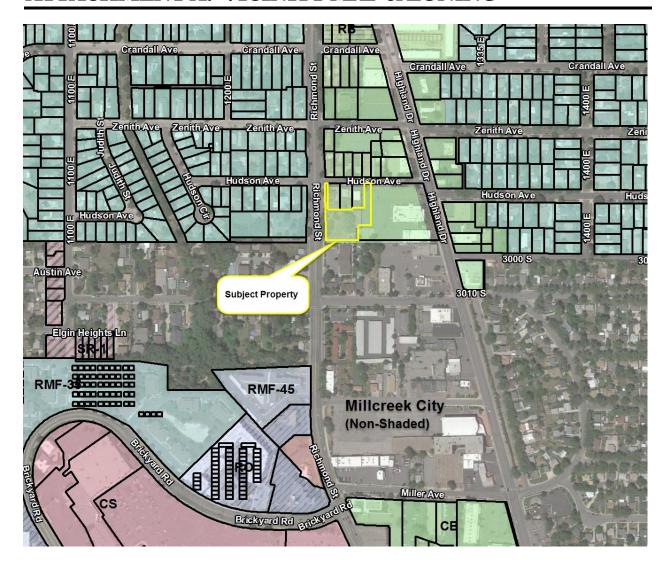
#### **DISCUSSION:**

The proposed design and layout of the single-family attached units have taken the scale of adjacent properties and the existing neighborhood into consideration. By providing relief from certain zoning regulations through this Planned Development process, a project that is compatible with the existing zoning and neighborhood can be constructed while more efficiently utilizing the property. The proposal will provide housing that meets the intent of the multi-family zone and that provides increased home ownership opportunities in the City, which is a policy goal of multiple City master plans. As discussed above and in <a href="Attachment G">Attachment G</a>, the proposal generally meets the standards for a Planned Development. As such, staff is recommending approval of the proposed development with suggested conditions. Additionally, the development generally meets the standards for a Preliminary Subdivision, which are discussed in <a href="Attachment H">Attachment H</a>. As such, staff is recommending approval of the proposed development with the proposed conditions noted on the first page of this report.

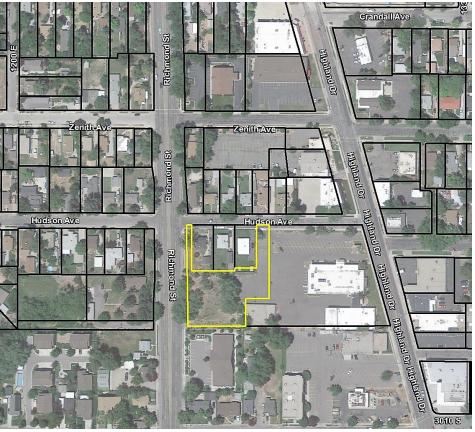
### **NEXT STEPS:**

If approved, the applicant may proceed with the project and will be required to obtain all necessary permits. A final plat application will need to be submitted for approval. If denied, the applicant would not be able to develop the subject parcel as proposed. However, the parcel could still be subdivided to create the separate RMF-30 and CB parcels by right. Development on either or both would be subject to all of the design standards and requirements of each respective zone.

### ATTACHMENT A: VICINITY MAP & ZONING





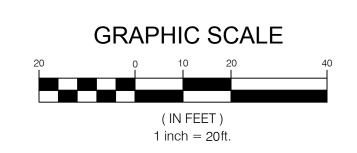


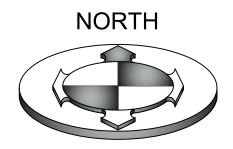
### ATTACHMENT B: SITE PLAN

Please see the following pages for the site plan and preliminary plat provided by the applicant.

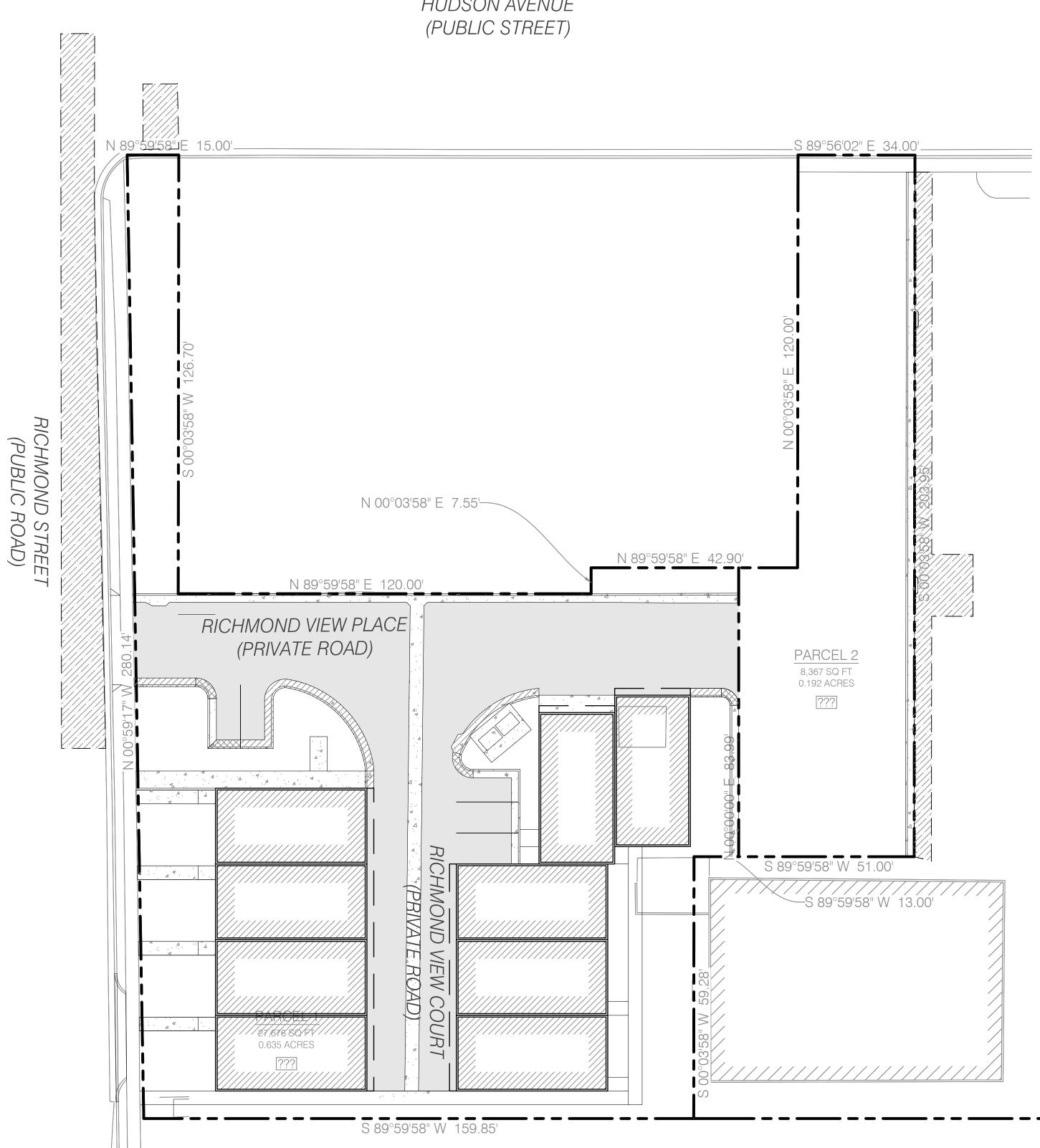
# RICHMOND PLACE

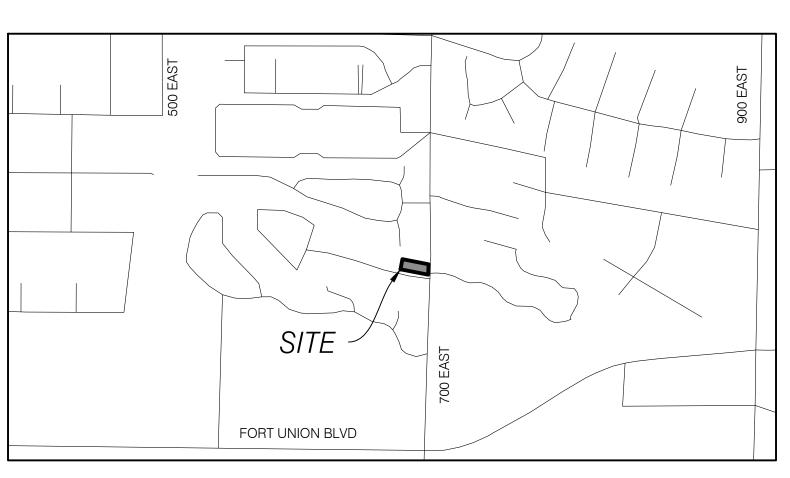
LOCATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN SALT LAKE COUNTY, UTAH





**HUDSON AVENUE** 





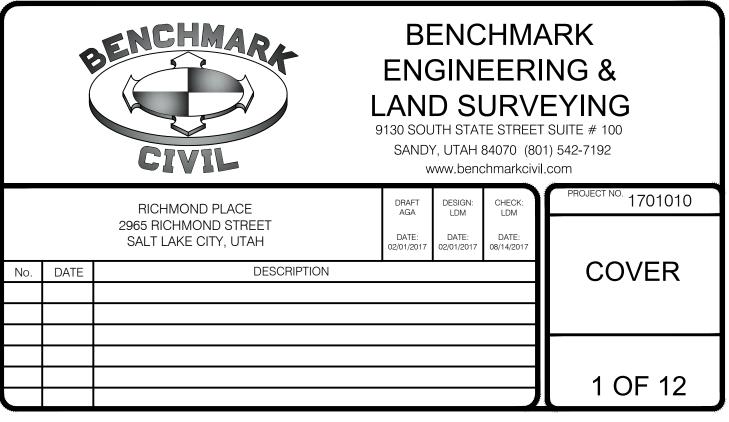
VICINITY MAP N.T.S

> OWNER/DEVELOPER: JOHNSEN AND ALLPHIN PROPERTIES LLC JOE JOHNSEN 10575 SOUTH RIVER FRONT PARKWAY SUITE 110 SOUTH JORDAN, UTAH 801-913-1420

### DRAWING INDEX

**COVER SHEET** COVER CGN.01 GENERAL NOTES, LEGEND & ABBREVIATION SLCPU GENERAL NOTES CGN.02 SITE PLAN CSP.01 CUP.01 UTILITY PLAN PLAN AND PROFILE CPP.01 CGD.01 GRADING & DRAINAGE PLAN EROSION CONTROL PLAN CEP.01 CEP.02 **EROSION CONTROL DETAILS** CDT.01 **DETAILS & NOTES** CDT.02 **DETAILS & NOTES** CDT.03 **DETAILS & NOTES** 

# CIVIL CONSTRUCTION PLANS



#### SURVEYOR'S CERTIFICATE RICHMOND PLACE **NORTH** I, BRIAN A. LINAM DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 7240531 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER LOCATED IN THE NORTHEAST QUARTER OF SECTION 29. CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND TOWNSHIP 1 SOUTH, RANGE 1 EAST. STREETS HEREAFTER TO BE KNOWN AS: SALT LAKE BASE AND MERIDIAN RICHMOND PLACE ALSO LOCATED IN BLOCK 27, 10 ACRE PLAT "A", BIG FIELD SURVEY SALT LAKE CITY, SALT LAKE COUNTY, UTAH AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT. PRELIMINARY PLAT **BOUNDARY DESCRIPTION** BEGINNING AT A POINT ON THE EASTERLY RIGHT OF WAY LINE OF RICHMOND STREET, SAID POINT BEING 1 inch = 20 ft.NORTH 89°59'58" EAST 470.15 FEET FROM THE SOUTHWEST CORNER OF LOT 13, BLOCK 27, TEN ACRE PLAT "A", BIG FIELD SURVEY, SAID POINT ALSO BEING SOUTH 15°34'48" EAST 247.69 FEET AND SOUTH 89°59'58" WEST 582.38 FEET FROM THE CENTERLINE MONUMENT AT HUDSON AVENUE AND HIGHLAND RIM=4402.59 **HUDSON AVENUE** $^{-}$ IE 8" W = 4391.17 N 89°59'58" E IE 8" E = 4391.212<u>950 SOUTH</u> (PUBLIC ROAD) THENCE SOUTH 89°56'02" EAST 34.00 FEET ALONG SAID RIGHT OF WAY; THENCE SOUTH 00°03'58" WEST N 89°59'58" E 15.00'-\_S\_89°56'02" E 34.00'\_ 203.95 FEET; THENCE SOUTH 89°59'58" WEST 64.00 FEET; THENCE SOUTH 00°03'58" WEST 76.11 FEET; THENCE SOUTH 89°59'58" WEST 159.85 TO THE POINT OF BEGINNING. ZENITH AVE. ZENITH AVE. CONTAINS 36,043 SQ FT OR 0.827 ACRES, MORE OR LESS 9 LOTS & 1 PARCEL **HUDSON AVE** HUDSON AVE. TOG=4400.74-IE 36" N = 4392.74ELGIN AVE. GUNN AVE. VICINITY MAP LINE TABLE LINE # BEARING DISTANCE OWNER'S ACKNOLEDGEMENT N 90°00'00" W L2 N 00°00'00" E 22.00' KNOW ALL MEN BY THESE PRESENTS THAT JOHNSON AND ALLPHIN PROPERTIES, LLC., THE UNDERSIGNED OWNER OF THE ABOVE-DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS AND STREETS L3 N 90°00'00" E 44.00' RICHMOND PLACE L4 S 00°00'00" E N 00°03'58" E 7.55'— S 00°00'00" E L5 22.00' N 89°59'58" E 60.00' N 90°00'00" W 44.00' L6 , AS MANAGING MEMBER OF JOHNSON AND ALLPHIN N 89°59'58" E 120.00'— PROPERTIES, LLC., HAVE HEREUNTO SET MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_ L7 N 00°00'00" E 22.00' ್ಲ ಫ RICHMOND VIEW PLACE N 00°00'00" E 22.00' JOHNSON AND ALLPHIN PROPERTIES, LLC 2965 SOUTH COMMON AREA L9 N 90°00'00" E 44.00' N 89°59'58" E 217.34' (PRIVATE\ROAD) 18,964 SQ FT L10 S 00°00'00" E PARCEL A 22.00' 0.435 ACRES ITS: MANAGING MEMBER LEGEND STREET MON. (TO BE CONST.) 8,367 SQ FT L11 S 00°00'00" E 22.00' SDIE 0.192 ACRES LLC ACKNOWLEDGMENT L12 N 90°00'00" E 44.00' 1272 E. N 00°00'00" E L13 22.00' STATE OF UTAH SECTION CORNER (BRASS CAP MONUMENT) County of Salt Lake 13.0' + 13.0' EX. BRASS CAP MONUMENT (RING & LID) L14 N 90°00'00" E 44.00' ON THE DAY C A.D., 2018, PERSONALLY APPEARED BEFORE ME , WHOSE IDENTITY IS PERSONALLY KNOWN TO ME (OR PROVEN ON THE L15 N 00°00'00" E 22.00' MONUMENT TO BE SET BASIS OF SATISFACTORY EVIDENCE) AND WHO, BY ME DULY SWORN/AFFIRMED, DID SAY THAT HE IS A MANAGING MEMBER OF JOHNSON AND ALLPHIN PROPERTIES, LLC, A UTAH LIMITED LIABILITY COMPANY, L16 S 00°00'00" E 22.00' **BOUNDARY CORNER** 968 SQ FT AND THAT THE OWNER'S DEDICATION WAS SIGNED BY HIM ON BEHALF OF SAID LLC, AND SAID (SET % REBAR AND CAP OR AS L17 N 90°00'00" E 44.00' 0.022 ACRES ACKNOWLEDGED TO ME THAT SAID LLC EXECUTED THE SAME. LOT 4 968 SQ FT NOTED ON PLAT) "STAMPED BENCHMARK 1266 E. L18 N 00°00'00" E 22.00' 968 SQ FT 0.022 ACRES MY COMMISSION EXPIRES: COMMISSION NUMBER: 0.022 ACRES 1264 E L19 S 00°00'00" E (DATE) 22.00' **BOUNDARY LINE** 2969 S. HUDSON AVE. & £29 L20 N 90°00'00" W VIEW EAST E ROA 44.00' HIGHLAND DR. S 89°59'58" W 64.00' PRINT NAME NOTARY PUBLIC RESIDING IN ADJACENT PROPERTY (FOUND BRASS CAP) ZLOT 3 SALT LAKE COUNTY L21 N 00°00'00" E 22.00' $\times$ \*BENCHMARK = 4413.60 HMOND V 1620 I (PRIVATE 968 SQ FT STREET MONUMENT LINE EXISTING 968 SQ FT L22 N 90°00'00" W 24.02' 0.022 ACRES 0.022 ACRES ( EASEMENT L23 S 00°00'00" E 22.00' 2971 S. HUDSON AVE. & 2970 S. HIGHLAND DR. LOT LINE L24 S 00°00'00" E 44.00' LOT 2 (NOT FOUND) LOT 6 L25 N 90°00'00" W 22.00' P.U.E. AND D.E. PUBLIC UTILITY EASEMENT AND 968 SQ FT 968 SQ FT 0.022 ACRES DRAINAGE EASEMENT 0.022 ACRES L26 N 90°00'00" W 22.00' L<sub>17</sub> 2972 S. L9 2973 S. L27 N 00°00'00" E 44.00' STATEMENT OF ACCURACY, MINIMUM LINEAR CLOSURE OF 1:15,000. L28 22.00' LOT 1 N 90°00'00" E 968 SQ FT 968 SQ FT L29 19.98' N 90°00'00" E 0.022 ACRES 0.022 ACRES L30 S 00°00'00" E 38.95 L<sub>12</sub> 2975 S. POINT OF 13.00 L33 L31 S 89°00'43" W 22.51' SOUTHEAST CORNER BEGINNING ( <del>-/ L3</del>2 LOT13, BLOCK 27, L32 N 89°59'58"E 470.15' S 89°00'43" W 20.991 10 ACRE PLAT "A" S 89°59'58" W 159.85 **BIG FIELD SURVEY** L33 S 89°56'02" E 25.00' FOUND REBAR AND CAP RICHMOND PLACE L34 25.08' S 89°56'02" E DEVELOPER/OWNER: L35 N 90°00'00" E 14.06' 3000 SOUTH & HIGHLAND DR. LOCATED IN THE NORTHEAST QUARTER OF SECTION 29. JOE JOHNSON TOWNSHIP 1 SOUTH, RANGE 1 EAST, L36 N 90°00'00" E 14.06 JOHNSON AND ALLPHIN PROPERTIES (FOUND BRASS SALT LAKE BASE AND MERIDIAN ADDRESS: 10575 SOUTH RIVER FRONT PARKWAY ALSO LOCATED IN BLOCK 27, 5 ACRE PLAT "A", L37 N 90°00'00" E 26.00' SOUTH JORDAN, UTAH BIG FIELD SURVEY SHEET 1 OF 1 SALT LAKE CITY, SALT LAKE COUNTY, UTAH L38 N 00°00'00" E **BOARD OF HEALTH** CITY DEPT. PUBLIC UTILITIES CITY ENGINEERING DIVISION CITY ATTORNEY CITY APPROVAL SALT LAKE COUNTY RECORDER CITY PLANNING DIRECTOR NUMBER BENCHMARK NUMBER \_\_\_\_ RECORDED # I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED PRESENTED TO THE MAYOR OF SALT LAKE CITY THIS APPROVED AS TO FORM THIS APPROVED AS TO FORM THIS APPROVED THIS DAY OF **ENGINEERING &** STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE APPROVED THIS \_\_A.D., 20\_\_\_\_, BY THE SALT LAKE \_\_DAY OF\_\_\_\_\_, A.D.,20\_\_ AT WHICH TIME ACCOUNT \_\_\_\_\_ DAY OF\_\_\_\_\_, A.D., 20\_\_ DAY OF\_\_\_\_\_, A.D., 20\_\_ LAND SURVEYING ACCOUNT \_\_\_\_ A.D., 20 FILED AT THE REQUEST OF WITH INFORMATION ON FILE. THIS SUBDIVISION WAS APPROVED AND ACCEPTED CITY PLANNING COMMISSION. 9130 SOUTH STATE STREET SUITE # 100 SHEET \_\_\_BOOK\_\_\_PAGE\_\_\_ SHEET \_\_\_\_\_ SANDY, UTAH 84070 (801) 542-7192 DATE **CITY ENGINEER** FEE \$\_\_\_\_\_ www.benchmarkcivil.com OF\_\_\_SHEETS OF<u>SHEE</u>TS S.L.CO. BOARD OF HEALTH PLANNING DIRECTOR SALT LAKE CITY PUBLIC UTILITIES DIRECTOR DATE SALT LAKE COUNTY RECORDER CITY SURVEYOR SALT LAKE CITY ATTORNEY SALT LAKE CITY RECORDER SALT LAKE CITY, MAYOR CHIEF DEPUTY Page 11

# LANDSCAPE PLAN SPECIFICATIONS

PART 1 - GENERAL

1.1 SUMMARY

- A. This section includes landscape procedures for the Project including all labor, materials, and
- installation necessary, but not limited to, the following:
- Soil Amendments
- 2. Fine Grading
- Cultivation
- 4. Landscape Edging
- Turf Planting
- 6. Furnish and Installing Plant
- 7. Maintenance
- 8. Mowing
- 9. Weeding 1.2 SITE CONDITIONS
- A. Examination: Before submitting a Bid, each Contractor shall carefully examine the Contract Documents; shall visit the site of the Work; shall fully inform themselves as to all existing conditions and limitations; and shall include in the Bid the cost of all items required by the Contract Documents are at a variance with the applicable laws, building codes, rules, regulations, or contain obvious erroneous or uncoordinated information, the Contractor shall promptly notify the Project Representative and the necessary changes shall be accomplished
- B. Protection: Contractor to conduct the Work in such a manner to protect all existing underground utilities or structures. Contractor to repair or replace any damaged utility or structure using identical materials to match existing at no expense to the Owner
- C. Irrigation System: Do not begin planting until the irrigation system is completely installed, is adjusted for full coverage and is completely operational.
- A. Blue Stake/ Dig Line: When digging is required, "Blue Stake" or "Dig Line" the work site and identify the approximate location of all known underground utilities or structures.
- 1.4 PLANT DELIVERY, QUALITY, AND AVAILABILITY
- A. Unauthorized substitutions will not be accepted. If proof is submitted that specific plants or plant sizes are unobtainable, written substitution requests will be considered for the nearest equivalent plant or size. All substitution requests must be made in writing and preferably before the bid due date.
- 1.5 FINAL INSPECTION
- A. All plants will be inspected at the time of Final Inspection prior to receiving a Landscape Substantial Completion for conformance to specified planting procedures, and for general appearance and vitality. Any plant not approved by the Project Representative will be rejected and replaced immediately
- 1.6 LANDSCAPE SUBSTANTIAL COMPLETION
- A. A Substantial Completion Certificate will only be issued by the Project Representative for "landscape and irrigation" in their entirety. Substantial Completion will not be proportioned to be designated areas of a project.

### 1.7 MAINTENANCE

A. Plant Material: The Contractor is responsible to maintain all planted materials in a healthy and growing condition for 30 days after receiving a Landscape Substantial Completion at which time the Guarantee period commences. This maintenance is to include mowing, weeding, cultivating, fertilizing, monitoring water schedules, controlling insects and diseases, re-guying and staking, and all other operations of care necessary for the promotion of root growth and plant life so that all plants are in a condition satisfactory at the end of the guarantee period. The Contractor shall be held responsible for failure to monitor watering operations and shall replace any and all plant material that is lost due to improper application of water.

### 1.8 GUARANTEE

A. Guarantee: A guarantee period of one year shall begin from end of maintenance period and final acceptance for trees, shrubs, and ground covers. All plants shall grow and be healthy for the guarantee period and trees shall live and grow in acceptable upright position. Any plant not alive, in poor health, or in poor condition at the end of the guarantee period will be replaced immediately. Any plant will only need to be replaced once during the guarantee period. Contractor to provide documentation showing where each plant to be replaced is located. Any outside factors, such as vandalism or lack of maintenance on the part of the Owner, shall not be part of the guarantee

### PART II - PRODUCTS

2.1 LANDSCAPE MATERIALS

A. Tree Staking: All trees shall be staked for one year warranty period. All trees not plumb shall be replaced. Staked trees shall use vinyl tree ties and tree stakes two (2) inch by two (2) by eight (8) foot common pine stakes used as shown on the details.

### B. Tree Wrap: Tree wrap is not to be used.

- C. Mulch: See Plans. All planter beds to receive a minimum 4" layer for trees, shrubs, and perennials and 1" for groundcovers.
- D. Weed Barrier: DeWitt 5 oz. weed barrier fabric. Manufactured by DeWitt Company, dewittcompany.com or approved equal.
- E. Tree, Shrub, and Grass Backfill Mixture; Backfill mixture to be 50% native soil and 50% topsoil, thoroughly mixed together prior to placement.
- F. Topsoil: Required for turf areas, planter beds and Backfill Mixture. Acceptable topsoil shall
- meet the following standards: a. PH: 5.5-7.5

**ISSUE DATE** 

01-16-2018

- b. EC (electrical conductivity): < 2.0 mmhos per centimeter
- c. SAR (sodium absorption ration): < 3.0
- d. % OM (percent organic matter): >1%
- e. Texture (particle size per USDA soil classification): Sand <70%; Clay < 30%; Silt < 70%. Stone fragments (gravel or any soil particle greater than two (2) mm in size) < 5% by
- G. Turf Sod: All sod shall be 18 month old as specified on plans (or approved equal) that has been cut fresh the morning of installation. Only sod that has been grown on a commercial sod farm shall be used. Only use sod from a single source.
- H. Landscape Edging: Headers and Edging six (6) inches by four (4) inches extruded concrete curb made up of the following materials:

UT17033

- a. Washed mortar sand free of organic material.
- b. Portland Cement (see concrete spec. below for type)

- c. Reinforced fiber Specifically produced for compatibility with aggressive alkaline environment of Portland cement-based composites
- d. Only potable water for mixing.

### PART III - EXECUTION 3.1 GRADING

- A. Topsoil Preparation: Grade planting areas according to the grading plan. Eliminate uneven areas and low spots. Provide for proper grading and drainage.
- B. Topsoil Placement: Slope surfaced away from building at two (2) percent slope with no pockets of standing water. Establish finish grades of one (1) inches for planters below grade of adjacent paved surfaced. Provide neat, smooth, and uniform finish grades. Remove surplus sub-soil and topsoil from the site.
- C. Compaction: compaction under hard surface areas (asphalt paths and concrete surfaces) shall be ninety-five (95) percent. Compaction under planting areas shall be between eighty-five (85) and ninety (90) percent.

### 3.2 TURF GRADING

- A. The surface on which the sod is to be laid shall be firm and free from
- footprints, depressions, or undulations of any kind. The surface shall be free of all materials larger than 1/2" in diameter.
- B. The finish grade of the topsoil adjacent to all sidewalks, mow-strips, etc. prior to the laying of sod, shall be set such that the crown of the grass shall be at the same level as the adjacent concrete or hard surface. No exceptions.

### 3.3 PLANTING OPERATIONS

- A. Review the exact locations of all trees and shrubs with the Project Representative for approval prior to the digging of any holes. Prepare all holes according to the details on the
- B. Water plants immediately upon arrival at the site. Maintain in moist condition until planted. C. Before planting, locate all underground utilities prior to digging. Do not place plants on or
- D. The tree planting hole should be the same depth as the root ball, and three times the
- E. Trees must be placed on undisturbed soil at the bottom of the planting hole.
- F. The tree hole depth shall be determined so that the tree may be set slightly high of finish grade, 1" to 2" above the base of the trunk flare, using the top of the root ball as a guide.
- G. Plant immediately after removal of container for container plants.
- H. Set tree on soil and remove all burlap, wire baskets, twine, wrappings, etc. before beginning and backfilling operations. Do not use planting stock if the ball is cracked or broken before or during planting operation.
- . Apply vitamin B-1 root stimulator at the rate of one (1) tablespoon per gallon.
- J. Upon completion of backfilling operation, thoroughly water tree to completely settle the soil and fill any voids that may have occurred. Use a watering hose, not the area irrigation system. If additional prepared topsoil mixture needs to be added. It should be a courser mix as required to establish finish grade as indicated on the drawings.
- K. The amount of pruning shall be limited to the minimum necessary to remove dead or injured twigs and branches. All cuts, scars, and bruises shall be properly treated according to the direction of the Project Representative. Proper pruning techniques shall be used. Do not leave stubs and do not cut the leader branch. Improper pruning shall be cause for rejection
- L. Prepare a watering circle of 2' diameter around the trunk. For conifers, extend the watering well to the drip line of the tree canopy. Place mulch around the planted trees.
- A. Top Soil Amendments: Prior to laying sod, commercial fertilizer shall be applied and incorporated into the upper four (4) inches of the topsoil at a rate of four pounds of nitrogen per one thousand (1,000) square feet. Adjust fertilization mixture and rate of application as needed to meet recommendations given by topsoil analysis. Include other amendments as
- B. Fertilization: Three weeks after sod placement fertilize the turf at a rate of ½ pound of nitrogen per 1000 square feet. Use fertilizer specified above. Adjust fertilization mixture and rates to meet recommendations given by topsoil analysis.
- C. Sod Availability and Condition: The Contractor shall satisfy himself as to the existing conditions prior to any construction. The Contractor shall be fully responsible for furnishing and lay all sod required on the plans. He shall furnish new sod as specified above and lay it so as too completely satisfy the intent and meaning of the plans and specification at no extra cost to the owner. In the case of plans and specification at no extra cost to the owner. In the case of any discrepancy in the amount of sod to be removed or amount to be used, it shall be the Contractor's responsibility to report such to the Project Representative prior to
- D. Sod Laying: The surface upon which the new sod to be laid will be prepared as specified above. Areas where sod is to be laid shall be cut trimmed, or shaped to receive full width sod (minimum twelve (12) inches). No partial strip or pieces will be accepted.
- E. Sod shall be tamped lightly as each piece is set to insure that good contact is made between edges and also the ground. Sod laid on any sloped areas shall be anchored with wooden dowels or other materials which are accepted by the grass sod industry.
- F. Apply water directly after laying sod. Rainfall is not acceptable.
- G. Watering of the sod shall be the complete responsibility of the Contractor by whatever means necessary to establish the sod in an acceptable manner to the end of the Maintenance period. If an irrigation system is in place on the site, but for whatever reason, water is not available in the system. It is the responsibility of the Contractor to water the sod by whatever means, until the sod is accepted by the Project Representative.
- H. Protection of the newly laid sod shall be the complete responsibility of the Contractor. The Contractor shall provide acceptable visual barriers, to include barricades set appropriate distances with strings or tapes between barriers, as an indication of new work. The Contractor is to restore any damaged areas caused by others (including vehicular traffic),
- erosion, etc, until such time as the lawn is accepted by the Owner. I. All sod that has not been laid within 24 hours shall be deemed unacceptable and will be removed from the site.
- 3.5 WEED BARRIER

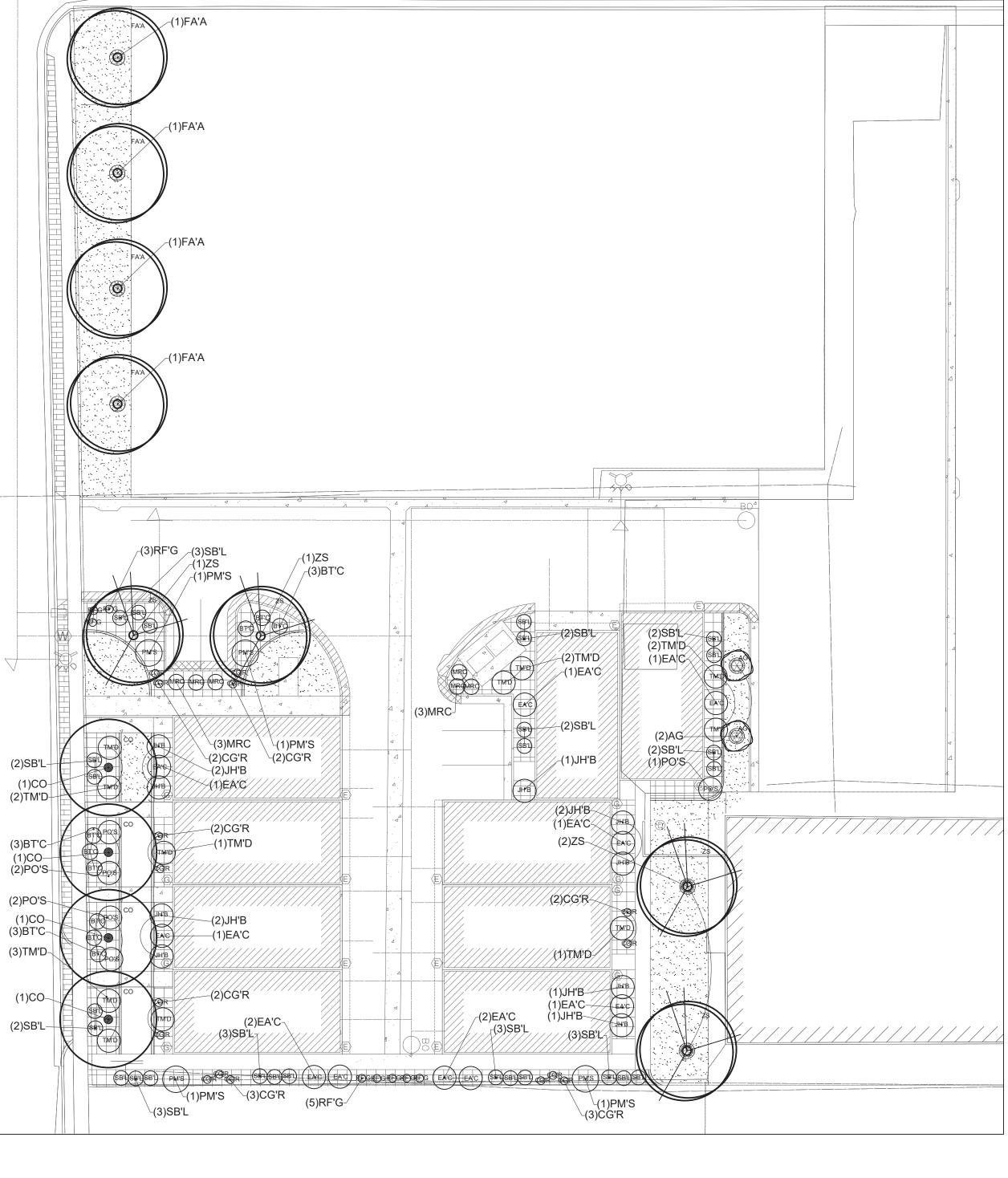
B. Overlap rows of fabric min. 6"

- A. Cut a slit or x at each plant location no larger than necessary to install plant.

PLAN INFORMATION

- C. Stable fabric edges and overlaps to ground. **END OF SECTION**

PROJECT INFORMATION



## SITE REQUIREMENT CALCULATIONS

ET FRONTAGE		REQUIRED:
MOND AVE. (126 FT.)	1 PER 30'	4

\*TREES SELECTED FROM THE RECOMMENDED SALT LAKE CITY PLANT LIST

10 FT. BUFFER ALONG ROAD WITH CONTINUOUS 3' HIGH SHRUBS

**EXISTING TREE PRESERVATION:** TREES MAY NOT BE TOPPED NOR MAY ANY LANDSCAPE MATERIAL BE REMOVED IN BH-MU ZONES WITHOUT CITY APPROVAL. ANY DEAD PLANT MATERIAL SHALL BE REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS CHAPTER AND THE CONDITIONS OF SITE PLAN, PLAT OR MAP APPROVAL.

PROVIDED:

ALL DEVELOPMENTS WITH A TOTAL LANDSCAPED AREA GREATER THAN ONE-HALF (1/2) ACRE ASSIGNED A TIER 2 WATER TARGET BY THE PUBLIC UTILITIES DEPARTMENT.

ALL LANDSCAPE PLANS SHALL IDENTIFY AND INDICATE EACH PLANT, AND ALL PLANTS SHALL BE GROUPED INTO APPROPRIATE HYDROZONES AS LISTED IN THE "SALT LAKE CITY PLANT LIST AND HYDROZONE SCHEDULE'

### \*22 EXISTING TREES TO BE REMOVED

MUST INSTALL AN IRRIGATION METER AT THE EXPENSE OF THE APPLICANT AND SHALL BE

1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE QUANTITIES TO BE USED. 2. PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. IF SUBSTITUTIONS ARE WANTED, PROPOSED

3. ALL PLANTED LANDSCAPING IS TO BE INSTALLED ACCORDING TO THE NURSERY CARE AND INSTALLATION

INSTRUCTIONS WHERE PURCHASED AND BASED ON INDIVIDUAL SOIL CONDITIONS AND SITE CONDITIONS.

LANDSCAPE CHANGES MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO 3. NEW LAWN AREAS TO BE SODDED WITH DROUGHT TOLERANT VARIETY. FINE LEVEL ALL AREAS PRIOR TO

TREE LEGEND (TOTAL PLANT COUNT)

AMUR MAPLE

EASTERN REDBUD

COMMON NAME

**CREEPING MAHONIA** 

DWARF MUGO PINE

BLUE CHIP JUNIPER

DWARF BURNING BUSH

SUMMER WINE NINE BARK 5

DENSE SPREADING YEW 11

CRIMSON PYGMY DWARF 9

JAPANESE BARBERR\

LIMEMOUND SPIREA

RISING SUN TICKSEED

BLACK EYED SUSAN

QUANTITY

3,914 SQ.FT.

610 SQ.FT

(DeWitt 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS)

3,150 SQ.FT. (29 CU.YD)

100 SQ. FT. (1 CU. YD.)

1. THESE PLANS ARE FOR BASIC DESIGN LAYOUT AND INFORMATION. THE INSTALLER IS REQUIRED TO REFER TO

2. THE INSTALLER OF ALL LANDSCAPING AND IRRIGATION SYSTEMS ARE LIABLE AND RESPONSIBLE FOR ALL

JURISDICTIONAL AND CODE REQUIREMENTS, TIME EXECUTIONS, AND INSTALLED PRODUCTS AND MATERIALS

4. LANDSCAPER TO MAINTAIN OR IMPROVE EXISTING FINAL GRADE AND PROPER DRAINAGE ESTABLISHED BY THE

5. IF ANY SWALE, BERM, OR GRADE HAS BEEN DAMAGED OR IS INCORRECT TO ENSURE CORRECT WATER FLOW THE

6. ROOF RUN-OFF DEVICES SHOULD BE INSTALLED TO COLLECT AND DISCHARGE ALL ROOF RUNOFF A MINIMUM OF 10

EXCAVATOR'S FINAL GRADE ACTIVITIES INCLUDING ANY MAINTENANCE, PRESERVATION, OR EXAGGERATION OF

FEET FROM FOUNDATION ELEMENTS OR BEYOND THE LIMITS OF BACKFILL AROUND THE FOUNDATION WALLS;

7. THE GROUND SURFACE WITHIN 10 FEET OF THE FOUNDATIONS SHOULD BE SLOPED TO DRAIN AWAY FROM THE

1. ALL LANDSCAPING IS TO BE INSTALLED PER ALL GOVERNING JURISDICTIONS I.E. INTERNATIONAL BUILDING CODE,

2. NON-COMPLIANCE TO ALL GOVERNING JURISDICTION REQUIREMENTS AND REGULATION ARE THE RESPONSIBILITY

THEIR INDIVIDUAL TRADE - SCOPE OF WORK. OWNER ASSUMES NO LIABILITIES FOR INADEQUATE ENGINEERING

CALCULATIONS. MANUFACTURER PRODUCT DEFECTS, INSTALLATION OF ANY LANDSCAPING AND COMPONENTS, OR

AUTUMN PURPLE ASH 4

ZELKOVA SERRATA

CERCIS CANADENSIS

FRAXINUS AMERICANA 'AUTUMN PURPLE'

PINUS MUGO VAR. MUGO

**EUONYMUS ALATUS** 

SPIREA X BUMALDA

'LIMEMOUND'

PERENNIAL LEGEND

SITE MATERIALS

SYMBOL SITE MATERIAL

COREOPSIS GRANDIFLORA 'RISING SUN'

RUDBECKIA FULGIDATA

3/4" OQUIRRH GRAVEL

LAWN (SOD) AREA

CHOCOLATE BROWN MULCH

LANDSCAPE GENERAL NOTES

1. ALL GRADING IS TO SLOPE AWAY FROM THE STRUCTURE PER CODE.

3. 6" MIN. FOUNDATION LEFT EXPOSED AT ALL CONDITIONS

TRADE CONTRACTOR IS RESPONSIBLE TO FIX STATED ISSUE.

2. FINISHED GRADE IS NOT PERMITTED BY CODE TO DRAIN ON NEIGHBORING PROPERTIES

NSTALLER RESPONSIBILITIES AND LIABILITIES

GRADING AND DRAINAGE REQUIREMENTS

SLOPES BERMS AND SWALES

LANDSCAPING REQUIREMENTS

WHICHEVER DISTANCE IS GREATER.

OF THE LANDSCAPING INSTALLER.

LANDSCAPE NOTES

STRUCTURE WITH A MINIMUM FALL OF 6 INCHES.

PHYSOCARPUS OPULUS 'SUMMER WINE'

TAXUS X MEDIA 'DENSIFORMIS'

'COMPACTUS'

JUNIPERUS HORIZONTALIS

ACER GINNALA

SHRUB LEGEND

MRC MAHONIA REPENS

PM'S

EA'C

QTY. SIZE HYDROZONE SPECIAL NOTES

QTY. SIZE HYDROZONE SPECIAL NOTES

SIZE HYDROZONE SPECIAL NOTES

2" CAL TD4

2" CAL. TD4

2" CAL. TD4

2" CAL. TD4

5 GAL

1 GAL P3

1 GAL P3

SPECIAL NOTES

LOCATED WHERE SPECIFIED

LOCATED IN TREE RINGS

ALONG PARK STRIP

- 4. SANDY LOAM TOPSOIL TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 6" TOPSOIL (WITH 2" HUMUS MIXED
- INTO TOPSOIL PRIOR TO SPREADING) IN ALL NEW PLANTER AREAS AND 4" IN ALL NEW LAWN AREAS. PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ACCOMMODATE NEW TOPSOIL AND/OR PLANTER BED MULCH TO REACH FINISHED GRADE. 5. 4"X6" EXTRUDED CONCRETE MOW CURB TO BE INSTALLED BETWEEN ALL LAWN AND PLANTER AREAS PER PLAN.
- ANY TREES LOCATED IN LAWN MUST HAVE A 4' CONCRETE TREE RING. 6. DeWitt 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS EXCEPT UNDER ANNUAL
- PLANTING AREAS AS SHOWN ON PLAN.
- 7. ROCK MULCH TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 4" IN ALL TREE, SHRUB, AND PERENNIAL PLANTER AREAS; ANNUAL PLANTING AREAS AS SHOWN ON PLAN TO RECEIVE 4" OF SOIL AID MATERIAL. PULL BARK MULCH MIN. 3" AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6" AWAY FROM ALL TREES.
- 8. CONTRACTOR TO PROVIDE NEW AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED IN ALL LANDSCAPE AREAS. ALL LAWN AREA TO RECEIVE 100% HEAD TO HEAD COVERAGE WITH SPRAY AND ROTARY SPRINKLER HEADS. ALL PLANTER AREAS NEED TO RECEIVE A FULL DRIP SYSTEM TO EACH TREE AND SHRUB ON

PROJECT. SEE IRRIGATION PLAN.



BENCHMARK ENGINEERING & LAND SURVEYING 9130 SOUTH STATE STREET SUITE #100 SANDY, UTAH 84070 (801) 542-7192 WWW.BENCHMARKCIVIL.COM

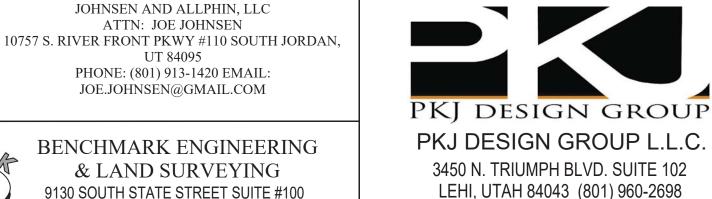
JOHNSEN AND ALLPHIN, LLC

ATTN: JOE JOHNSEN

UT 84095

PHONE: (801) 913-1420 EMAIL:

JOE JOHNSEN@GMAIL.COM



www.pkjdesigngroup.com

LANDSCAPE ARCHITECT / PLANNER



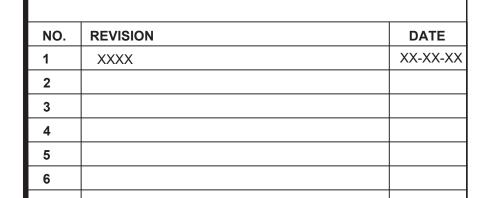
LICENSE STAMP

KBA HECKED: TM

JTA

LANDSCAPE PLAN

LP-1.0





GRAPHIC SCALE: 1" = 20'

# RICHMOND PLACE

2965 RICHMOND STREET SALT LAKE CITY, UTAH

### DEVELOPER / PROPERTY OWNER / CLIENT Developer / Property Owner:

ENCHMARZ

# ATTACHMENT C: BUILDING ELEVATIONS & COLORED RENDERINGS

Please see the following pages for the building elevations colored rendering provided by the applicant. The following conceptual pictures were also provided with the proposal.



Overall view of the Richmond Place PD looking to the north-east



Richmond Place PD street view of the four units oriented toward Richmond Street



Inner driveway view of the four attached units that are street-facing – looking south-west



Sidewalk and door entrance orientation along the eastern side of the development.



Overall view of Richmond Place PD showing driveway from Richmond Street and additional landscaping along "spur" near Richmond – looking south-east.



Street view rendering of Richmond Place PD showing four street oriented units and additional landscaping along "spur" near Richmond – looking south-east.

### **GENERAL NOTES - SITE**

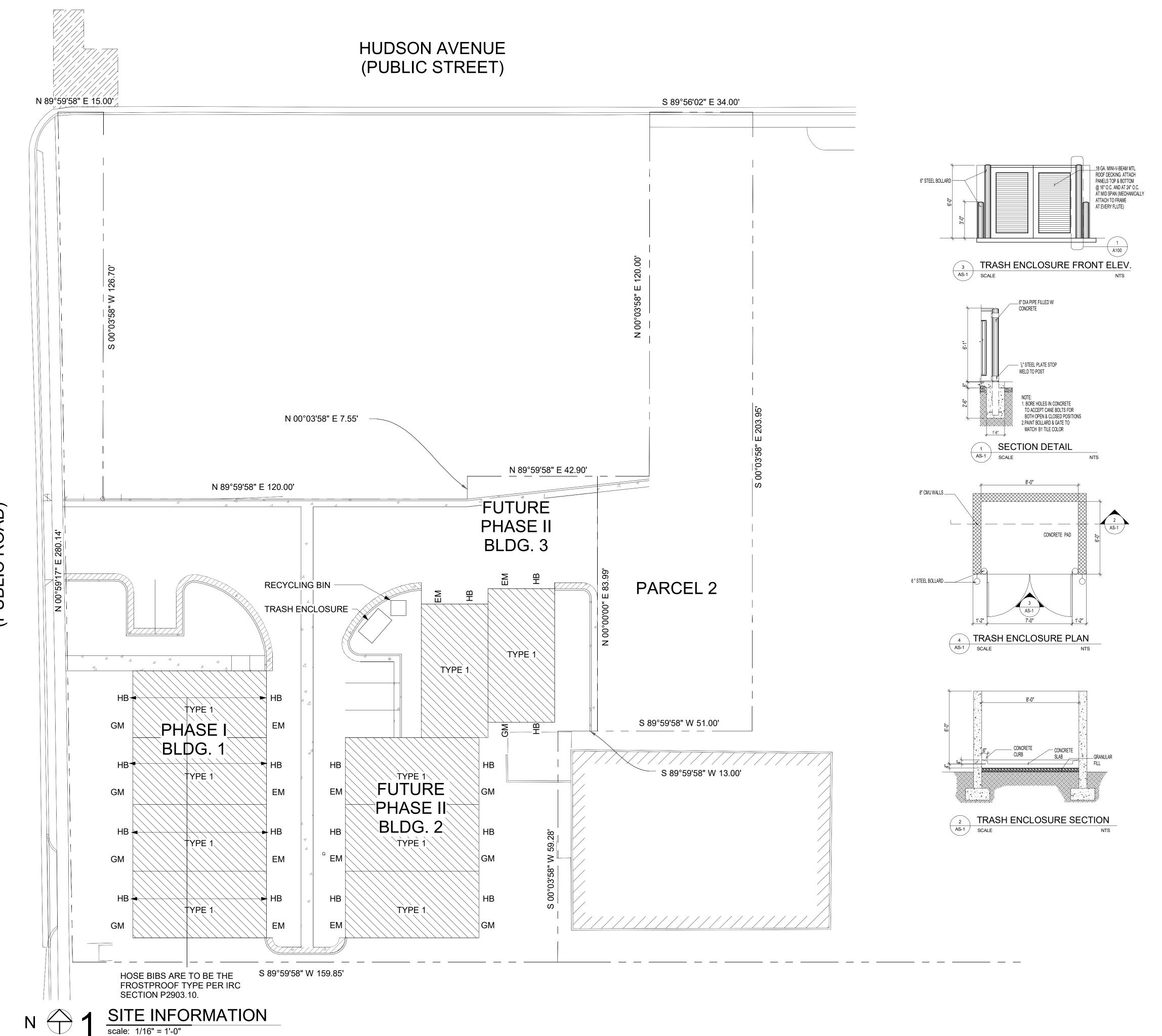
- DUST, MUD & EROSION SHALL BE CONTROLLED BY WHATEVER MEANS NECESSARY AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES.
- 2. NEW CURB & GUTTER OR REPLACEMENT OF EXISTING DAMAGED CURB & GUTTER ALLONG THE FRONTAGE OF THIS PROJECT SHALL BE IN ACCORDANCE WITH SALT LAKE CITY STANDARDS.
- 3. CONTRACTOR SHALL SECURE AN EXCAVATION PERMIT FROM SALT LAKE CITY PUBLIC WORKS DEPARTMENT PRIOR TO DOING ANY WORK IN THE CITY RIGHT-0F-WAY.
- 4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTIFY OWNER OF SIGNIFICANT VARIATIONS THAT MAY EFFECT CONSTRUCTION AS DELINEATED IN THE CONSTRUCTION DOCUMENTS.
- 5. CONTRACTOR SHALL BE RESPONSIBLE TO APPLY FOR AND OBTAIN ALL REQUIRED BUILDING PERMITS PRIOR TO COMMENCING WORK ON THE SIDE. PERMITS SHALL INCLUDE SITE DISTURBANCE AND EXCAVATION PERMIT, UTILITY AND NEW CONSTRUCTION PERMITS.
- 6. CONTRACTOR SHALL TIE INTO EXISTING UTILITY STUB-INS AND EXTEND UTILITIES AS NECESSARY TO SERVICE ALL NEW CONSTRUCTION. SUCH SERVICES SHALL INCLUDE WATER, SEWER, ELECTRICAL, TELEPHONE, AND GAS LINES. WHERE SUCH WORKS REQUIRED IN THE PUBLIC WAY, CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS MAY BE REQUIRED BY SALT LAKE CITY FOR THE PARTICULAR WORK IN
- 7. CONTRACTOR SHALL MAINTAIN THE WORK SITE IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES. HE/SHE SHALL PROVIDE AND MAINTAIN AN ON-SITE REFUSE CONTAINER TO BE USED FOR THE DISPOSAL OF CONSTRUCTION DEBRIS. REFUSE CONTAINER SHALL BE EMPTIED AS NECESSARY AND/OR COVERED TO PREVENT DEBRIS FROM BEING DISTRIBUTED BY WINDS, ETC. CONTRACTOR SHALL MAINTAIN ROADWAYS UTILIZED TO ACCESS THE SITE IN A CLEAN CONDITION AT ALL TIMES. MUD, ROCKS AND OTHER DEBRIS DEPOSITED ON THE ROADWAYS DUE TO TRUCK OR OTHER TRAFFIC TO AND FROM THE SITE SHALL BE IMMEDIATELY REMOVED BY BROOMING OR WASHING AS MAY BE NECESSARY.

SEE CIVIL FOR ALL ROADWAY WORK (DRIVEWAY, ASPHALT TIE-IN, SIDEWALK, ETC.) AND BUILDING

A. LAVATORY FAUCET - 2.2GPM AT 60PSI.
B. SHOWER HEAD - 2.5 GPM AT 80PSI.
C. SINK - 2.2GPM AT 60PSI.
D. TOILET - 1.6 GALLONS PER FLUSH.

LAYOUT CONFIGURATIONS







BTATE OF UTAH

ELL PLATT ARCHITECTURE
HIGHLAND DRIVE SUITE 111

OUSES

SOUTH, RANGE 1 EAST, RUSSELL COUNTY, UTAH

RICHMOND TOWNHOUSE
NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 1 SOUTH, RAN
SALT LAKE RASE AND MERIDIAN SALT LAKE COLINTY LIT

11.8.2017

# REV. Date

SHEET TITLE

SITE INFORMATION

SHEET NUMBER

A100

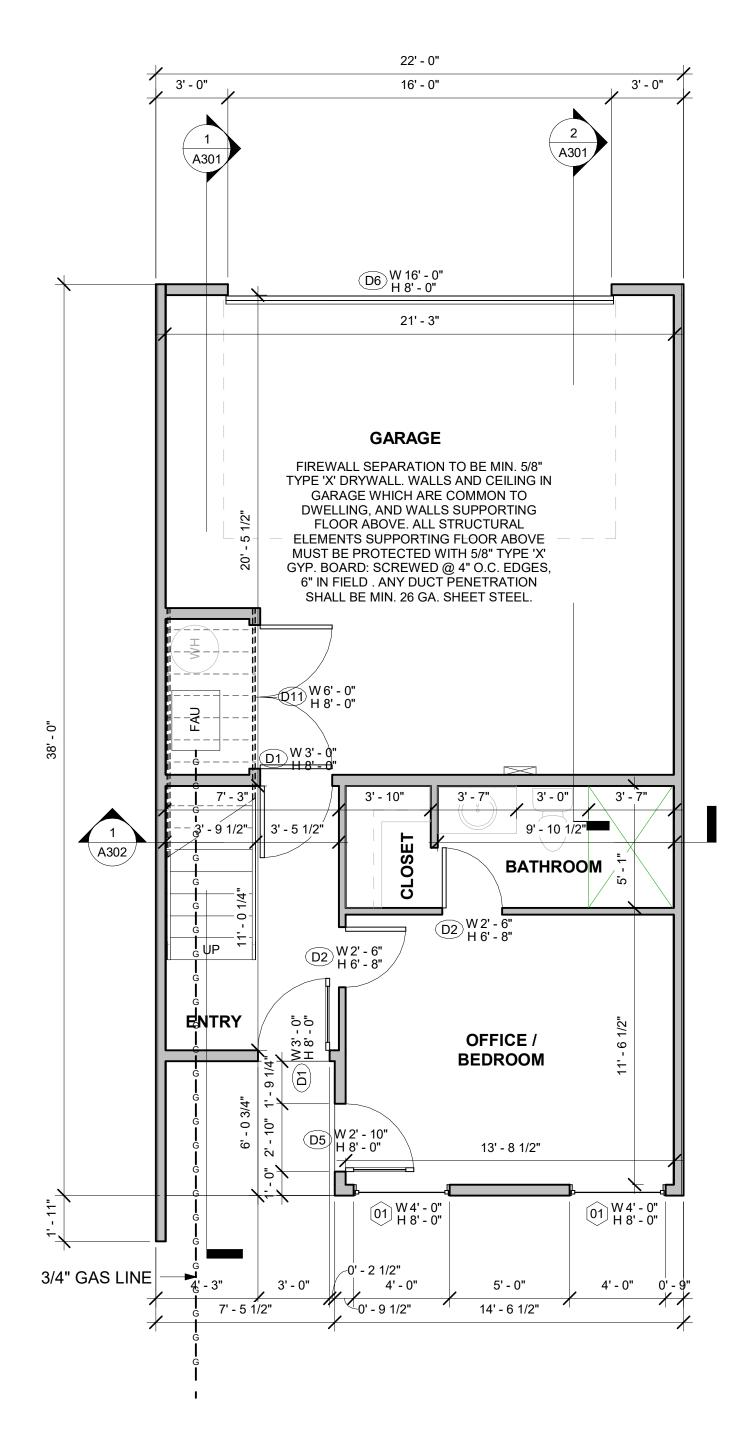
## GENERAL NOTES - PLAN

- 1. FIRE STOP ALL CHASES AT FLOOR AND ATTIC (CODE SECTION 602.8)
- 2. FIREPLACE AND FLUE SPEC'S ARE REQUIRED AT TIME OF INSPECTION
- 3. HEADROOM CLEARANCE FOR STAIRWAY OPENING SHALL NOT BE LESS THAN 6'-8" TO FINISH (CODE SECTION 502.6 607.3)
- 4. BALUSTERS SHALL BE PLACED SO THAT A (4") DIA. SPHERE CANNOT PASS THROUGH (CODE SECTION 316.2)
- 5. 20-MINUTES RATED, SELF-CLOSING DOOR REQUIRED BETWEEN GARAGES AND LIVING SPACES
- 6. SHOWER STALLS TO HAVE TEMPERED GLASS
- ENCLOSURES AND DOORS MIN. 22" WIDE
  7. ALL TUB / SHOWERS TO HAVE ANTI-SCALD VALVES
- 8. ALL COUNTERTOPS TO BE STANDARD DEPTH,
- SOLID SURFACE W/ 4" BACKSPLASH AND BULLNOSE EDGE PER SPEC. OR U.N.O.
- 9. ALL PLUMBING TO BE PROTECTED AGAINST FREEZING, PLUMBING IN EXTERIOR WALLS TO BE WRAPPED W/ BATT. INSUL. TYP.
- 10. FULL RAIN GUTTERS ARE REQ. AND DOWNSPOUT EXTENSION ARE REQ. TO EXTEND 10' AWAY FROM THE FOUNDATION
- 11. TOP OF FOUNDATION WALL A MIN. OF 6" ABOVE FINISHED GRADE R 404.1.6
- 12. PROVIDED PROPER WALL ANCHORAGE WITH 3X3X0.029 SQUARE WASHERS. IF WASHER WITH ELONGATED HOLE IS USED PLACE AN APPROVED CUT FOUNDATION WASHER ON TOP OF THE SQUARE WASHER.
- 13. ALL PLUMBING, ELECTRICAL, HVAC, SHALL BE PROPERLY CONTAINED WITHIN EACH UNIT WITHOUT PENETRATING THE FIRE WALLS OR CROSSING THE PROPERTY LINES INTO OTHER UNITS. ALL PENETRATIONS THROUGH AND INCLUDING ATTIC & ROOF WITH ALL THAT IS ENCOMPASSED INSIDE THESE WALLS.
- 14. PROVIDE INSULATION CERTIFICATION THAT COINCIDES WITH THE RECHECK REQUIREMENTS
- 15. NO PIPE/CONDUIT PENETRATIONS THROUGH RATED WALL.
- 16. COORDINATE PLUMBING AND MECHANICAL WITH STRUCTURAL MEMBERS
- 17. SPRAY FOAM BEHIND ALL OUTLETS ON EXTERIOR WALLS
- 18. THERMAL INSULATION TO BE: ATTIC: R-38 OR BETTER, EXTERIOR WALLS: R-20 OR BETTER, BASEMENT EXTERIOR: R-11 OR BETTER
- 19. ANY WOOD IN CONTACT WITH CONCRETE SHALL BE DECAY RESISTANT
- 20. A WATER CLOSET, LAVATORY OR BIDET SHALL NOT BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO ANY SIDE WALL, PARTITION OR VANITY OR CLOWER THAN 30 INCHES CENTER-TO-CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE AT LEAST A 21-INCH CLEARANCE IN FRONT OF THE WATER CLOSET, LAVATORY OR BIDET TO ANY WALL, FIXTURE OR DOOR.
- 21. EMERGENCY FLOOR DRAINS SHALL BE INSTALLED AT WATER HEATERS, LAUNDRY'S, GARAGES, ETC. AND WILL INCLUDE A TRAP SEAL PRIMER OR A DEEP SEAL TRAP
- 22. <u>SUBSTRATE FOR TILED WET AREAS SHALL</u> CONFORM TO SECTION R702.4.2 IRC 2015 EDITION
- 23. NONABSORBENT FINISHED SURFACE OF INTERIOR
  WALLS AT BATHTUB AND SHOWER LOCATIONS
  SHALL EXTEND TO A MINIMUM OF 6' ABOVE THE
  FLOOR ACCORDING TO SECTION R307.2 IRC 2015
  EDITION.
- 24. RETURN AIR IS REQUIRED FROM ALL ROOMS PER IRC SECTION M1602.2 AND ACCA MANUAL D
- 25. EXHAUST FANS MUST BE VENTED TO THE
- EXTERIOR PER IRC SECTIONS R303.3 AND M1507.4

  26. ALL TUBS AND SHOWERS ARE REQUIRED TO BE EQUIPPED WITH A WATER TEMPERATURE LIMITING DEVICE THAT IS SET TO 120°F MAXIMUM PER IRC SECTIONS P2708.4 AND P2713.3.
- 27. HOSE BIBS ARE TO BE THE FROSTPROOF TYPE PER IRC SECTION P2903.10.

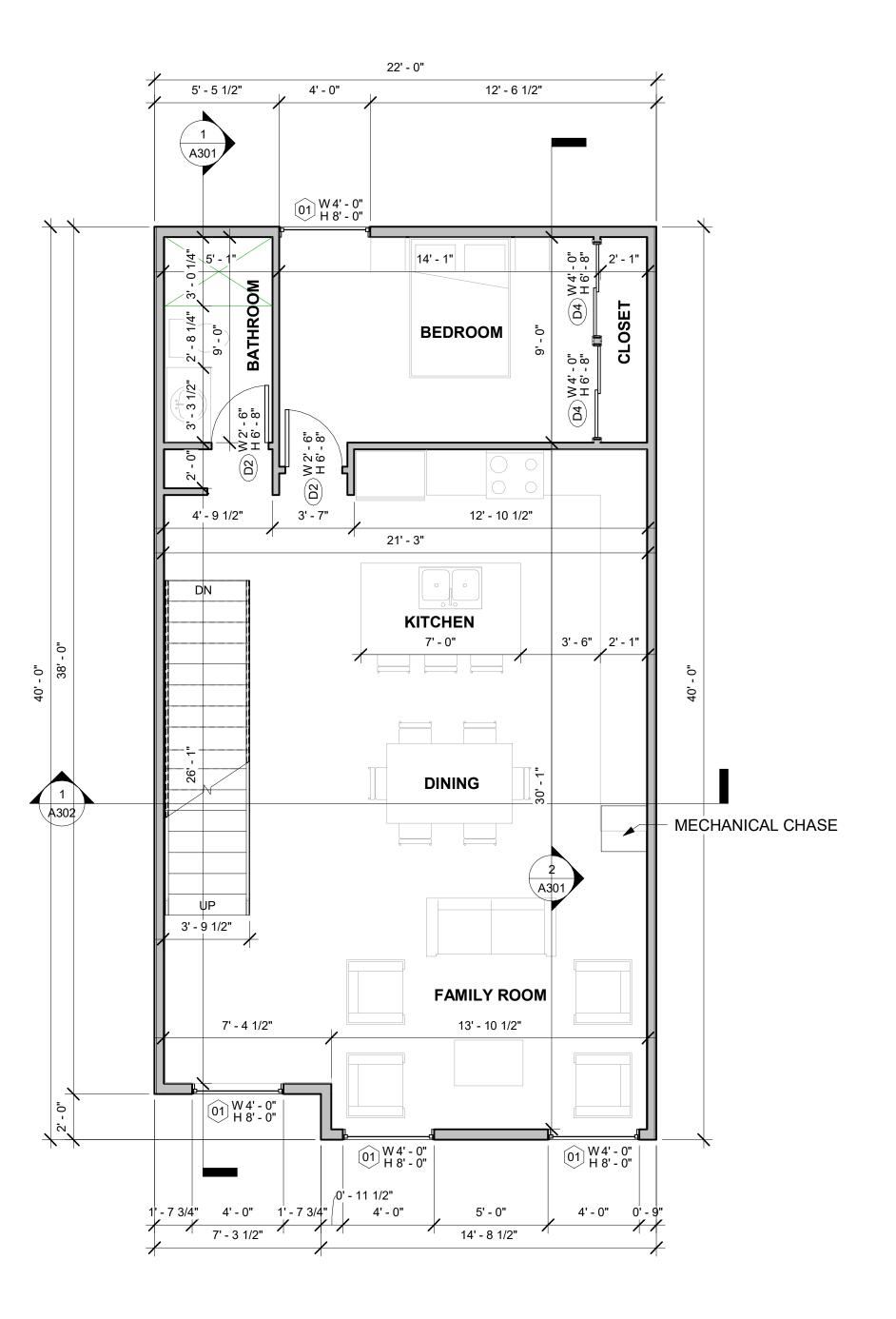
### HOT WATER HEATER NOTES

- 1. PROVIDE COMBUSTION AIR FROM OUTSIDE TO SUPPLY THE FURNACE AND WATER HEATER WITHIN THE UPPER 12" OF THE ROOM. OPENING TO BE CALCULATED AT 1 SQUARE INCH PER 3000 BTU INPUT OF ALL EQUIPMENT IN THE ROOM (IRC SECTION G2407.6.2)
- 2. WATER HEATER TO HAVE A STEEL PAN OF MIN. 24 ga OR OTHER APPROVED PAN PER IRC P2108.5
- 3. WATER HEATER TO BE INSTALLED WITH SEISMIC STRAPS AND EXPANSION TANK

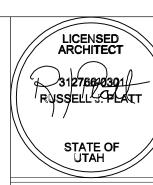


MAIN FLOOR LEVEL

scale: 1/4" = 1'-0"



2 SECOND FLOOR LEVEL scale: 1/4" = 1'-0"



SUITE 111

RUSSELL PLATT ARCHITECT 4141 HIGHLAND DRIVE SUITE

RICHMOND TOWNHOUSES

AST QUARTER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 1 EASALT LAKE BASE AND MERIDIAN, SALT LAKE COUNTY, UTAH

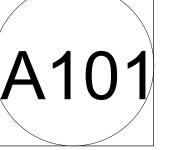
11.8.2017

# REV. Date

SHEET TITLE

MAIN AND SECOND FLOOR PLAN

SHEET NUMBER



### **GENERAL NOTES - PLAN**

- 1. FIRE STOP ALL CHASES AT FLOOR AND ATTIC (CODE SECTION 602.8)
- 2. FIREPLACE AND FLUE SPEC'S ARE REQUIRED AT TIME OF INSPECTION
- 3. HEADROOM CLEARANCE FOR STAIRWAY OPENING SHALL NOT BE LESS THAN 6'-8" TO FINISH (CODE SECTION 502.6 607.3)
- 4. BALUSTERS SHALL BE PLACED SO THAT A (4") DIA. SPHERE CANNOT PASS THROUGH (CODE SECTION 316.2)
- 5. 20-MINUTES RATED, SELF-CLOSING DOOR REQUIRED BETWEEN GARAGES AND LIVING
- SPACES
  6. SHOWER STALLS TO HAVE TEMPERED GLASS
- ENCLOSURES AND DOORS MIN. 22" WIDE

  7. ALL TUB / SHOWERS TO HAVE ANTI-SCALD VALVES
- 8. ALL COUNTERTOPS TO BE STANDARD DEPTH, SOLID SURFACE W/ 4" BACKSPLASH AND
- BULLNOSE EDGE PER SPEC. OR U.N.O.

  9. ALL PLUMBING TO BE PROTECTED AGAINST FREEZING, PLUMBING IN EXTERIOR WALLS TO BE WRAPPED W/ BATT. INSUL. TYP.
- 10. FULL RAIN GUTTERS ARE REQ. AND DOWNSPOUT EXTENSION ARE REQ. TO EXTEND 10' AWAY FROM THE FOUNDATION
- 11. TOP OF FOUNDATION WALL A MIN. OF 6" ABOVE FINISHED GRADE R 404.1.6
- 12. PROVIDED PROPER WALL ANCHORAGE WITH 3X3X0.029 SQUARE WASHERS. IF WASHER WITH ELONGATED HOLE IS USED PLACE AN APPROVED CUT FOUNDATION WASHER ON TOP OF THE SQUARE WASHER.
- 13. ALL PLUMBING, ELECTRICAL, HVAC, SHALL BE PROPERLY CONTAINED WITHIN EACH UNIT WITHOUT PENETRATING THE FIRE WALLS OR CROSSING THE PROPERTY LINES INTO OTHER UNITS. ALL PENETRATIONS THROUGH AND INCLUDING ATTIC & ROOF WITH ALL THAT IS ENCOMPASSED INSIDE THESE WALLS.
- 14. PROVIDE INSULATION CERTIFICATION THAT COINCIDES WITH THE RECHECK REQUIREMENTS
- 15. NO PIPE/CONDUIT PENETRATIONS THROUGH RATED WALL.
- 16. COORDINATE PLUMBING AND MECHANICAL WITH STRUCTURAL MEMBERS
- 17. SPRAY FOAM BEHIND ALL OUTLETS ON EXTERIOR WALLS
  18. THERMAL INSULATION TO BE: ATTIC: R-38 OR
- BETTER, EXTERIOR WALLS: R-20 OR BETTER,
  BASEMENT EXTERIOR: R-11 OR BETTER

  ANY WOOD IN CONTACT WITH CONCRETE SHALL
- 19. ANY WOOD IN CONTACT WITH CONCRETE SHALL
  BE DECAY RESISTANT
- 20. A WATER CLOSET, LAVATORY OR BIDET SHALL NOT BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO ANY SIDE WALL, PARTITION OR VANITY OR CLOWER THAN 30 INCHES CENTER-TO-CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE AT LEAST A 21-INCH CLEARANCE IN FRONT OF THE WATER CLOSET, LAVATORY OR BIDET TO ANY WALL, FIXTURE OR DOOR.
- 21. EMERGENCY FLOOR DRAINS SHALL BE INSTALLED AT WATER HEATERS, LAUNDRY'S, GARAGES, ETC. AND WILL INCLUDE A TRAP SEAL PRIMER OR A DEEP SEAL TRAP
- 22. <u>SUBSTRATE FOR TILED WET AREAS SHALL</u> <u>CONFORM TO SECTION R702.4.2 IRC 2015 EDITION</u>
- 23. NONABSORBENT FINISHED SURFACE OF INTERIOR WALLS AT BATHTUB AND SHOWER LOCATIONS
  SHALL EXTEND TO A MINIMUM OF 6' ABOVE THE FLOOR ACCORDING TO SECTION R307.2 IRC 2015
  EDITION.
- 24. RETURN AIR IS REQUIRED FROM ALL ROOMS PER IRC SECTION M1602.2 AND ACCA MANUAL D
- 25. EXHAUST FANS MUST BE VENTED TO THE EXTERIOR PER IRC SECTIONS R303.3 AND M1507.4
- 26. ALL TUBS AND SHOWERS ARE REQUIRED TO BE EQUIPPED WITH A WATER TEMPERATURE LIMITING DEVICE THAT IS SET TO 120°F MAXIMUM PER IRC SECTIONS P2708.4 AND P2713.3.
- 27. HOSE BIBS ARE TO BE THE FROSTPROOF TYPE PER IRC SECTION P2903.10.

### HOT WATER HEATER NOTES\_

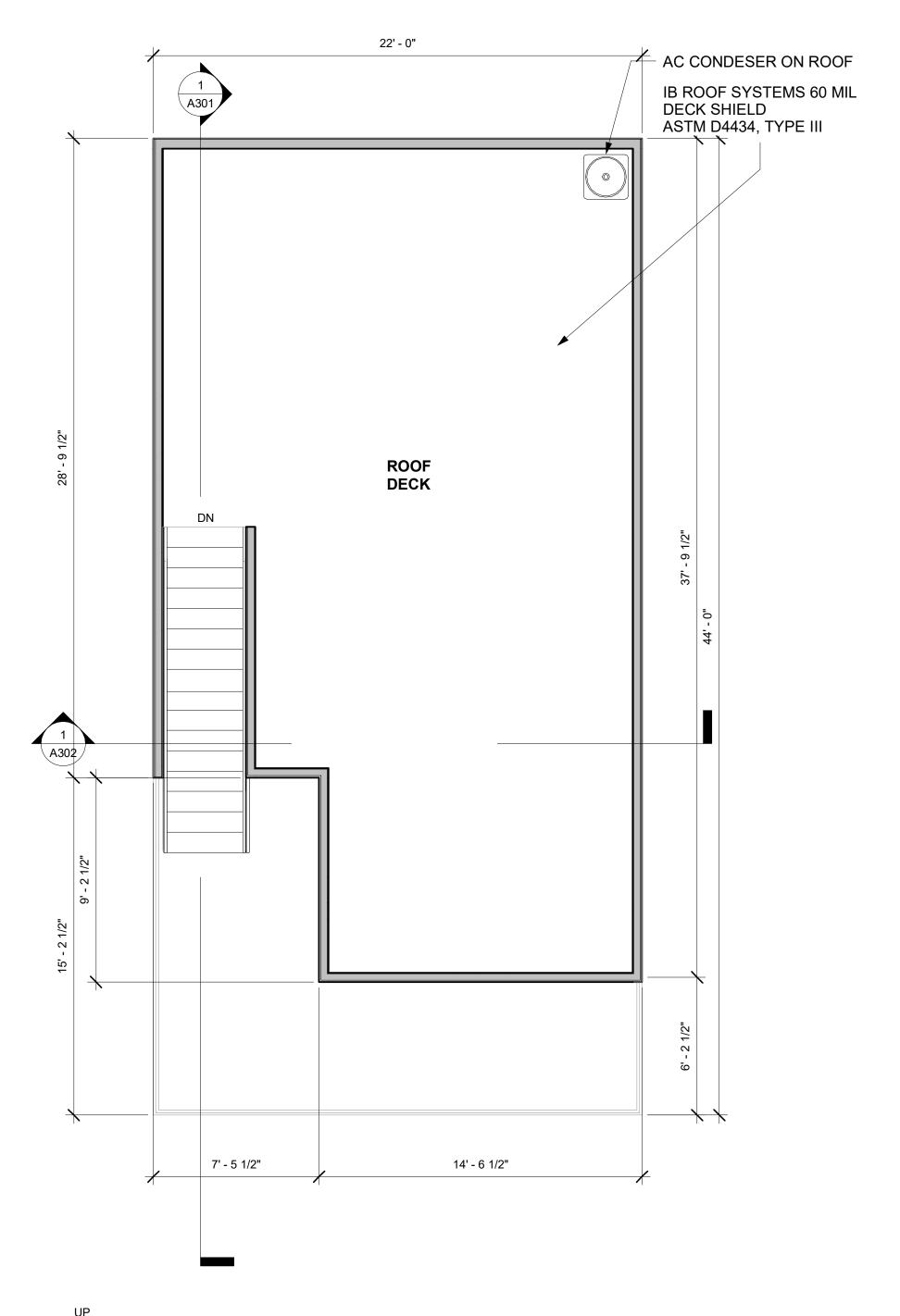
- PROVIDE COMBUSTION AIR FROM OUTSIDE TO SUPPLY THE FURNACE AND WATER HEATER WITHIN THE UPPER 12" OF THE ROOM. OPENING TO BE CALCULATED AT 1 SQUARE INCH PER 3000 BTU INPUT OF ALL EQUIPMENT IN THE ROOM (IRC SECTION G2407.6.2)
   WATER HEATER TO HAVE A STEEL PAN OF MIN. 24
- ga OR OTHER APPROVED PAN PER IRC P2108.5
- 3. WATER HEATER TO BE INSTALLED WITH SEISMIC STRAPS AND EXPANSION TANK

### **GENERAL NOTES - ROOF**

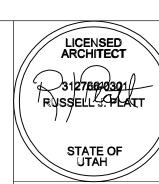
- PARAPET WALLS SHALL BE APPROPRIATELY FLASHED AND CAPPED WITH ALUMINUM COPING
- 2. ALL ROOFING SYSTEMS ARE TO COMPLY WITH A CLASS 'A' OR CLASS 'B' FIRE RATING

22' - 0" 5' - 5 1/2" 12' - 6 1/2" 4' - 0" A301 01 W 4' - 0" H 8' - 0" BEDROOM BATHROOM 14' - 2" A302 **BEDROOM** UP 3' - 9 1/4" . . . . . ≥¤ 7' - 1" 01 W 4' - 0" H 8' - 0" DECK 4' - 6 1/2" 2' - 10" 4' - 0" 5' - 0" 4' - 0" 0' - 9" 0' - 9 1/2" 7' - 5 1/2" 14' - 6 1/2"

THIRD FLOOR LEVEL



2 ROOF DECK
| scale: 1/4" = 1'-0"



SUITE 111 801-580-0181

RUSSELL PLATT ARCHITECTUI

RICHMOND TOWNHOUSES

AST QUARTER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 1 EAS

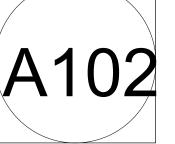
11.8.2017

# REV. Date

SHEET TITLE

THIRD FLOOR & ROOF DECK PLAN

SHEET NUMBER



## **GENERAL NOTES - ELEVATION**

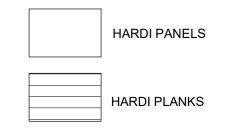
- 1. FINISHES APPLY TO ALL SIMILAR ELEMENTS
- FOR THAT FAÇADE.

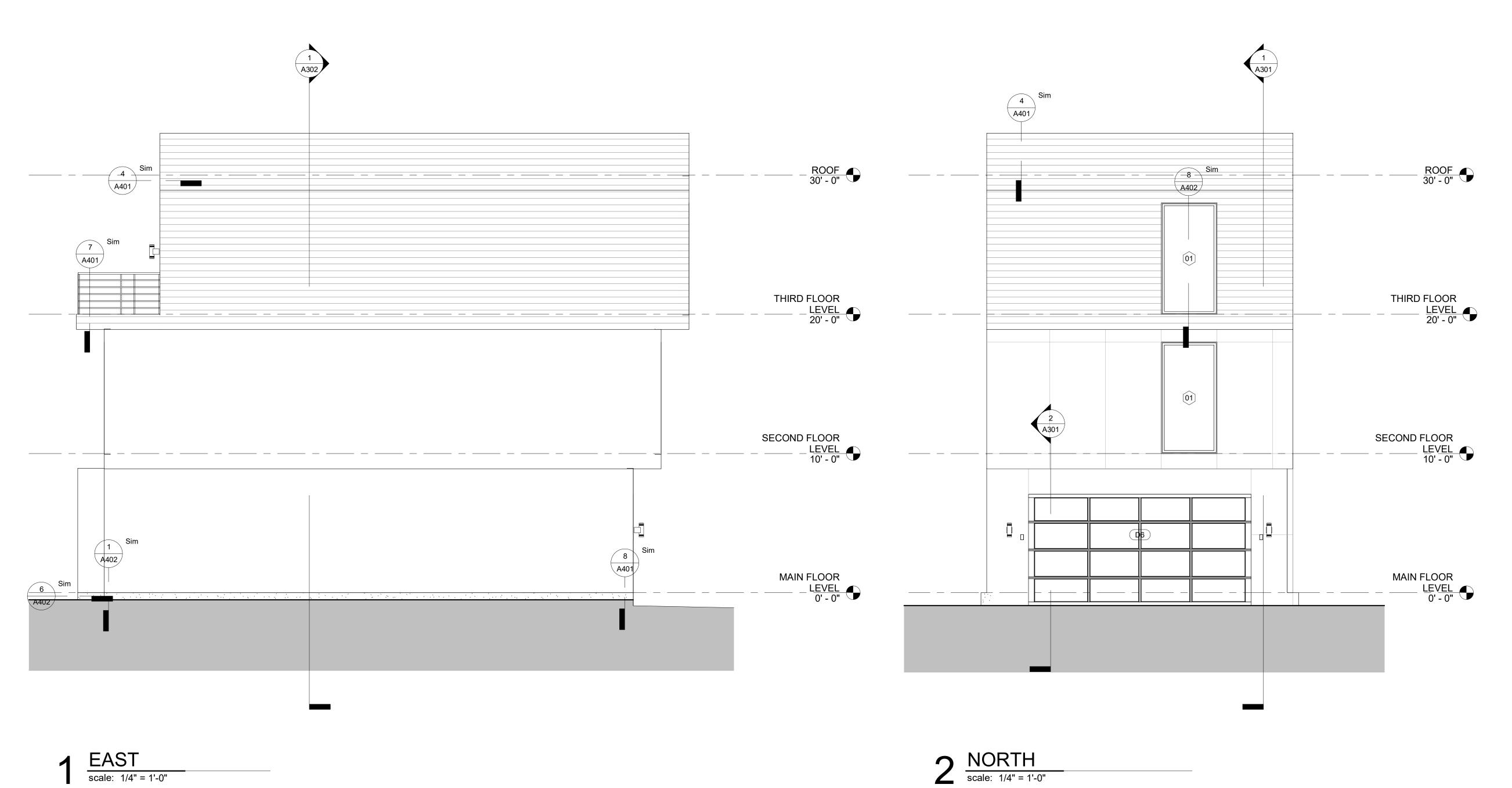
  2. COORDINATE EXTERIOR LIGHTING WITH OWNER.
- 3. ALL EXTERIOR EXPOSED METAL TRIM,TRELLISES, RAILINGS, FRAMES,CASTINGS, ETC., NOT INDICATED TO BEPREFINISHED, SHALL BE PAINTED.
- 4. ALL CHANGES IN EXTERIOR WALL SIDING
  SYSTEMS OF DISSIMILAR MATERIALS TO
  OCCUR ONLY AT INTERIOR CORNERS, UNLESS
  SPECIFIED OTHERWISE.
- 5. BALUSTERS SHALL BE PLACED SO THAT A (4")
  DIA. SPHERE CANNOT PASS THROUGH (CODE
  SECTION 316.2)
- FULL RAIN GUTTERS ARE REQ. AND
   DOWNSPOUT EXTENSION ARE REQ. TO
   EXTEND 10' AWAY FROM THE FOUNDATION
   ANY WOOD IN CONTACT WITH CONCRETE
- SHALL BE DECAY RESISTANT

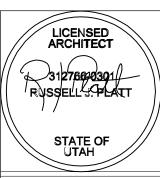
  8. BAFFLE TO ENSURE INSULATION DOES NOT CLOG AIR FLOW. MAKE SURE CLEARS FOR AT
- LEAST 20" INSULATION
  9. PROVIDE TIVEC ON ALL EXTERIOR SURFACES
- MIN. R-11 INSULATION IN ALL INTERIOR BASEMENT WALLS (TYP.)
- 11. MIN. R-19 INSULATIÒN IN ALL EXTERIOR WALLS (TYP.)
- 12. MIN. R-38 INSULATION IN ROOF (TYP.)
   13. CONTRACTOR TO INSTALL PREFINISHED METAL COPING AT ALL WALLS THAT EXTEND BEYOND ROOF. COPING COLOR TO MATCH

# **ELEVATIONS LEGEND**

WINDOW MULLIONS







RUSSELL PLATT ARCHITECTURE
4141 HIGHLAND DRIVE SUITE 111

RICHMOND TOWNHOUSES
AST QUARTER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 1 EASSALT LAKE BASE AND MERIDIAN, SALT LAKE COUNTY, UTAH

# REV. Date

SHEET TITLE

ELEVATIONS (
INDIVIDUAL UNIT
)

SHEET NUMBER

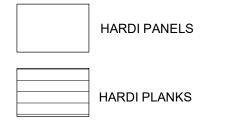
4201

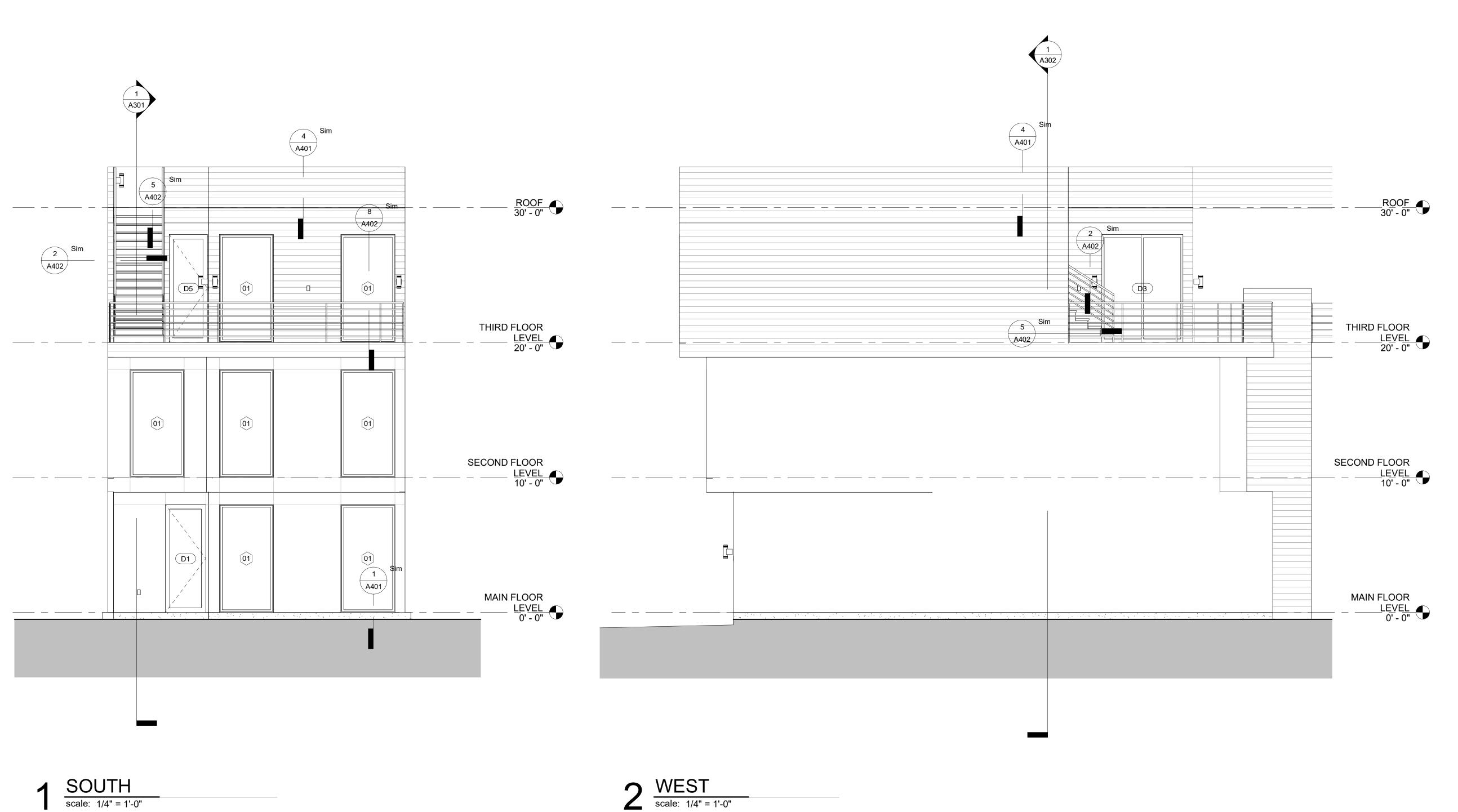
# **GENERAL NOTES - ELEVATION**

- FINISHES APPLY TO ALL SIMILAR ELEMENTS FOR THAT FAÇADE.
- 2. COORDINATE EXTERIOR LIGHTING WITH OWNER.
- 3. ALL EXTERIOR EXPOSED METAL TRIM,TRELLISES, RAILINGS, FRAMES,CASTINGS, ETC., NOT INDICATED TO
- BEPREFINISHED, SHALL BE PAINTED.

  4. ALL CHANGES IN EXTERIOR WALL SIDING SYSTEMS OF DISSIMILAR MATERIALS TO OCCUR ONLY AT INTERIOR CORNERS, UNLESS SPECIFIED OTHERWISE.
- 5. BALUSTERS SHALL BE PLACED SO THAT A (4")
  DIA. SPHERE CANNOT PASS THROUGH (CODE
  SECTION 316.2)
- 6. FULL RAIN GUTTERS ARE REQ. AND DOWNSPOUT EXTENSION ARE REQ. TO EXTEND 10' AWAY FROM THE FOUNDATION
- EXTEND 10' AWAY FROM THE FOUNDATION
  7. ANY WOOD IN CONTACT WITH CONCRETE
- 8. BAFFLE TO ENSURE INSULATION DOES NOT CLOG AIR FLOW. MAKE SURE CLEARS FOR AT LEAST 20" INSULATION
- PROVIDE TIVEC ON ALL EXTERIOR SURFACES
   MIN. R-11 INSULATION IN ALL INTERIOR BASEMENT WALLS (TYP.)
- 11. MIN. R-19 INSULATION IN ALL EXTERIOR WALLS (TYP.)
- 12. MIN. R-38 INSULATION IN ROOF (TYP.)
- 13. CONTRACTOR TO INSTALL PREFINISHED
  METAL COPING AT ALL WALLS THAT EXTEND
  BEYOND ROOF. COPING COLOR TO MATCH
  WINDOW MULLIONS

## **ELEVATIONS LEGEND**





LICENSED ARCHITECT

31276693301

RUSSELL FPLATT

STATE OF UTAH

LL PLATT ARCHITECTURE
GHLAND DRIVE SUITE 111

SOUTH, RANGE 1 EAST, F COUNTY, UTAH

RICHMOND TOWNHOUSES

DRITHEAST QUARTER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 1

SALT LAKE BASE AND MERIDIAN, SALT LAKE COUNTY, UTAH

11.8.2017

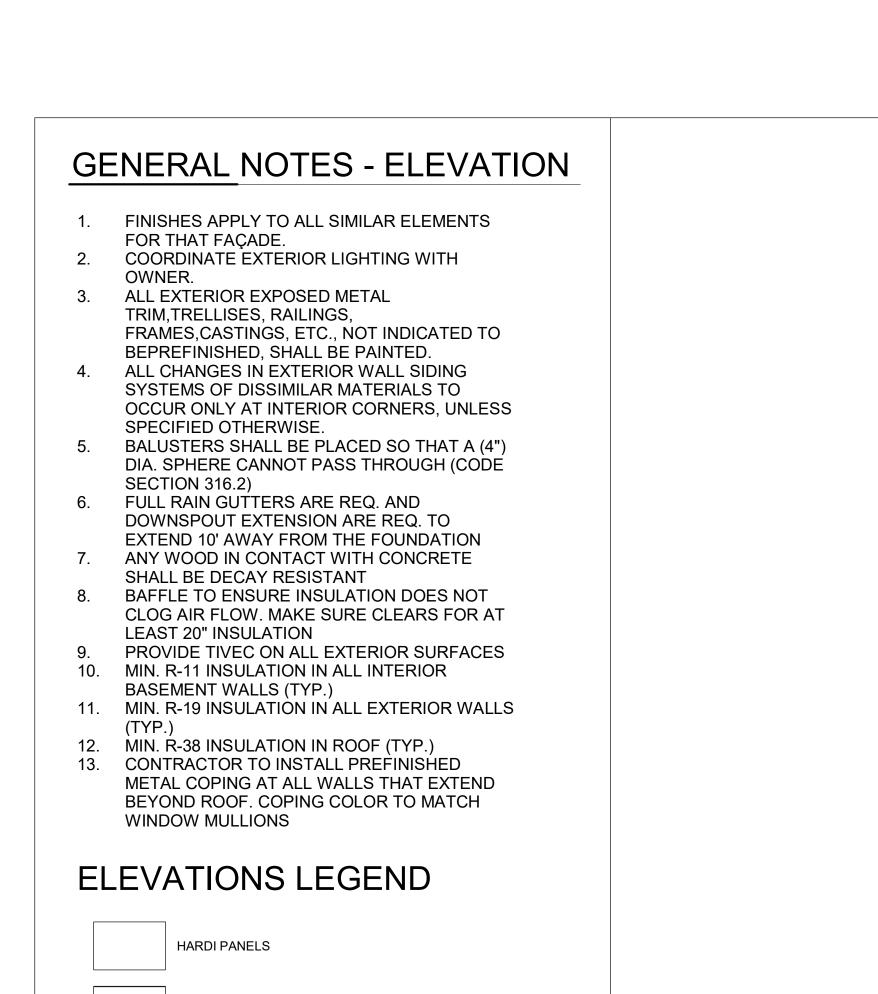
# REV. Date

SHEET TITLE

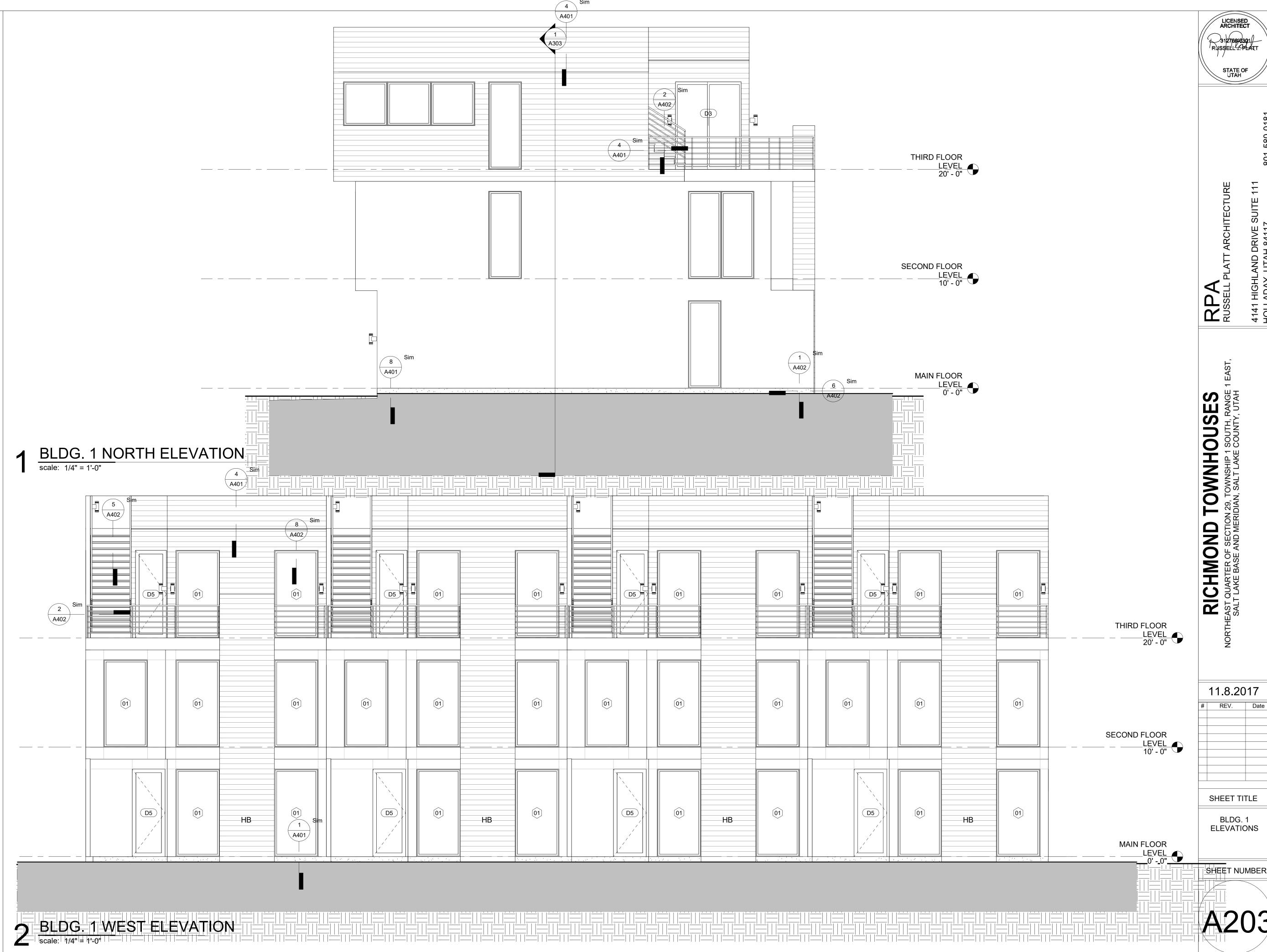
ELEVATIONS (
INDIVIDUAL UNIT

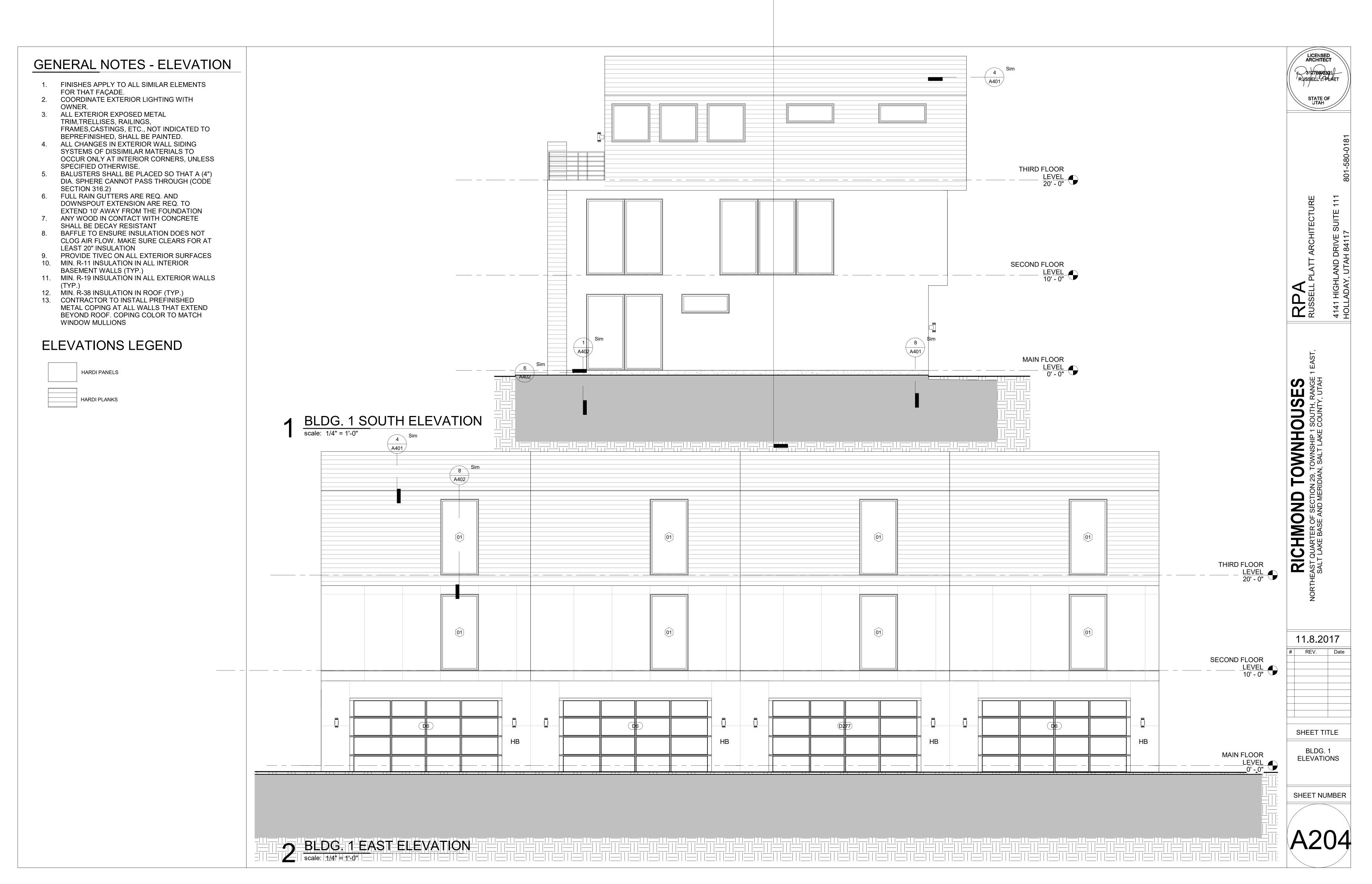
SHEET NUMBER



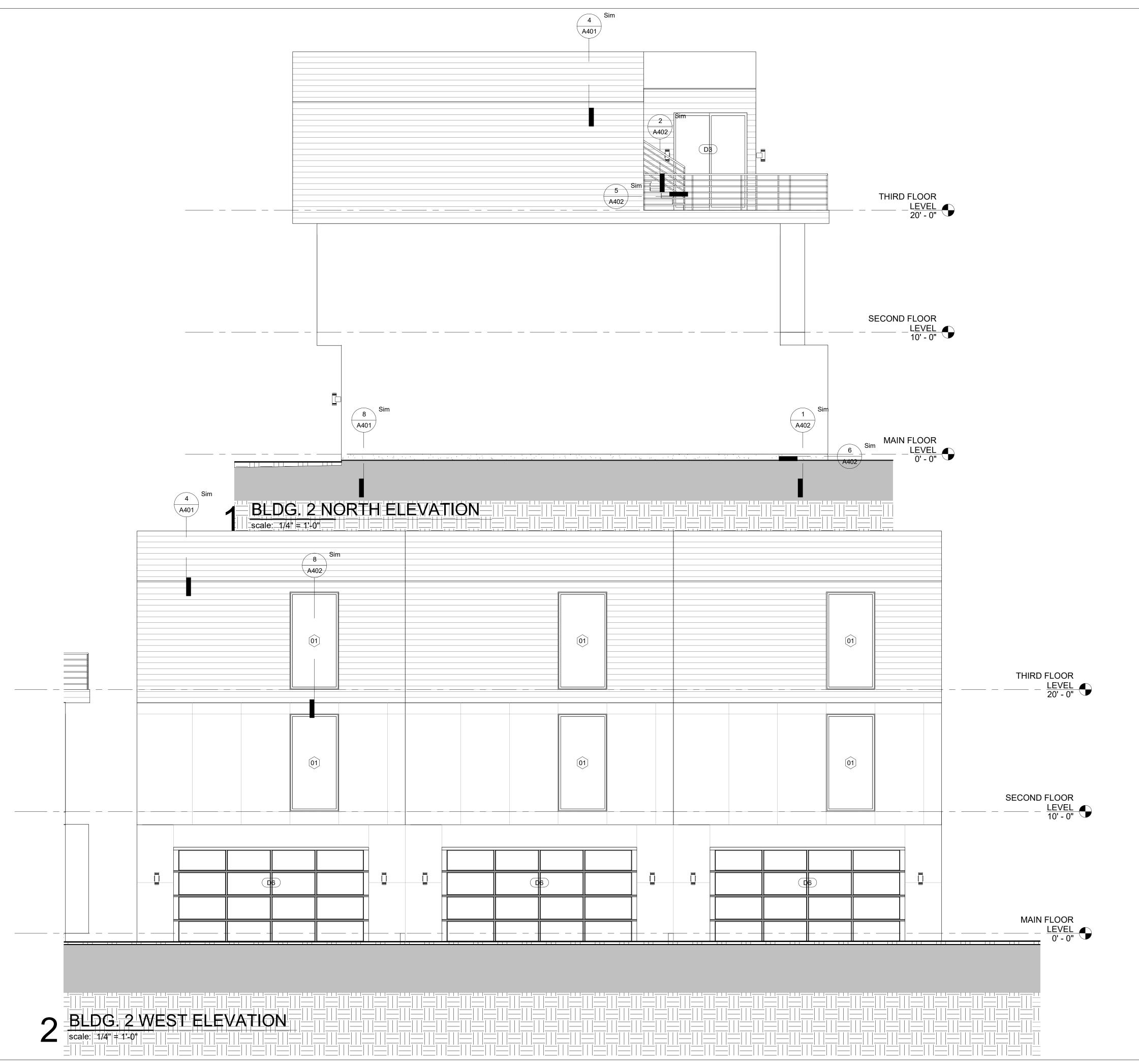


HARDI PLANKS





## **GENERAL NOTES - ELEVATION** 1. FINISHES APPLY TO ALL SIMILAR ELEMENTS FOR THAT FAÇADE. 2. COORDINATE EXTERIOR LIGHTING WITH ALL EXTERIOR EXPOSED METAL TRIM, TRELLISES, RAILINGS, FRAMES, CASTINGS, ETC., NOT INDICATED TO BEPREFINISHED, SHALL BE PAINTED. 4. ALL CHANGES IN EXTERIOR WALL SIDING SYSTEMS OF DISSIMILAR MATERIALS TO OCCUR ONLY AT INTERIOR CORNERS, UNLESS SPECIFIED OTHERWISE. BALUSTERS SHALL BE PLACED SO THAT A (4") DIA. SPHERE CANNOT PASS THROUGH (CODE **SECTION 316.2)** FULL RAIN GUTTERS ARE REQ. AND DOWNSPOUT EXTENSION ARE REQ. TO EXTEND 10' AWAY FROM THE FOUNDATION 7. ANY WOOD IN CONTACT WITH CONCRETE SHALL BE DECAY RESISTANT BAFFLE TO ENSURE INSULATION DOES NOT CLOG AIR FLOW. MAKE SURE CLEARS FOR AT LEAST 20" INSULATION PROVIDE TIVEC ON ALL EXTERIOR SURFACES MIN. R-11 INSULATION IN ALL INTERIOR BASEMENT WALLS (TYP.) MIN. R-19 INSULATION IN ALL EXTERIOR WALLS MIN. R-38 INSULATION IN ROOF (TYP.) 13. CONTRACTOR TO INSTALL PREFINISHED METAL COPING AT ALL WALLS THAT EXTEND BEYOND ROOF. COPING COLOR TO MATCH WINDOW MULLIONS **ELEVATIONS LEGEND** HARDI PANELS HARDI PLANKS



Page 23

RUSSELL

**OWNHOUSES** 

RICHMOND T

11.8.2017

# REV. Date

SHEET TITLE

BLDG. 2 ELEVATIONS

SHEET NUMBER

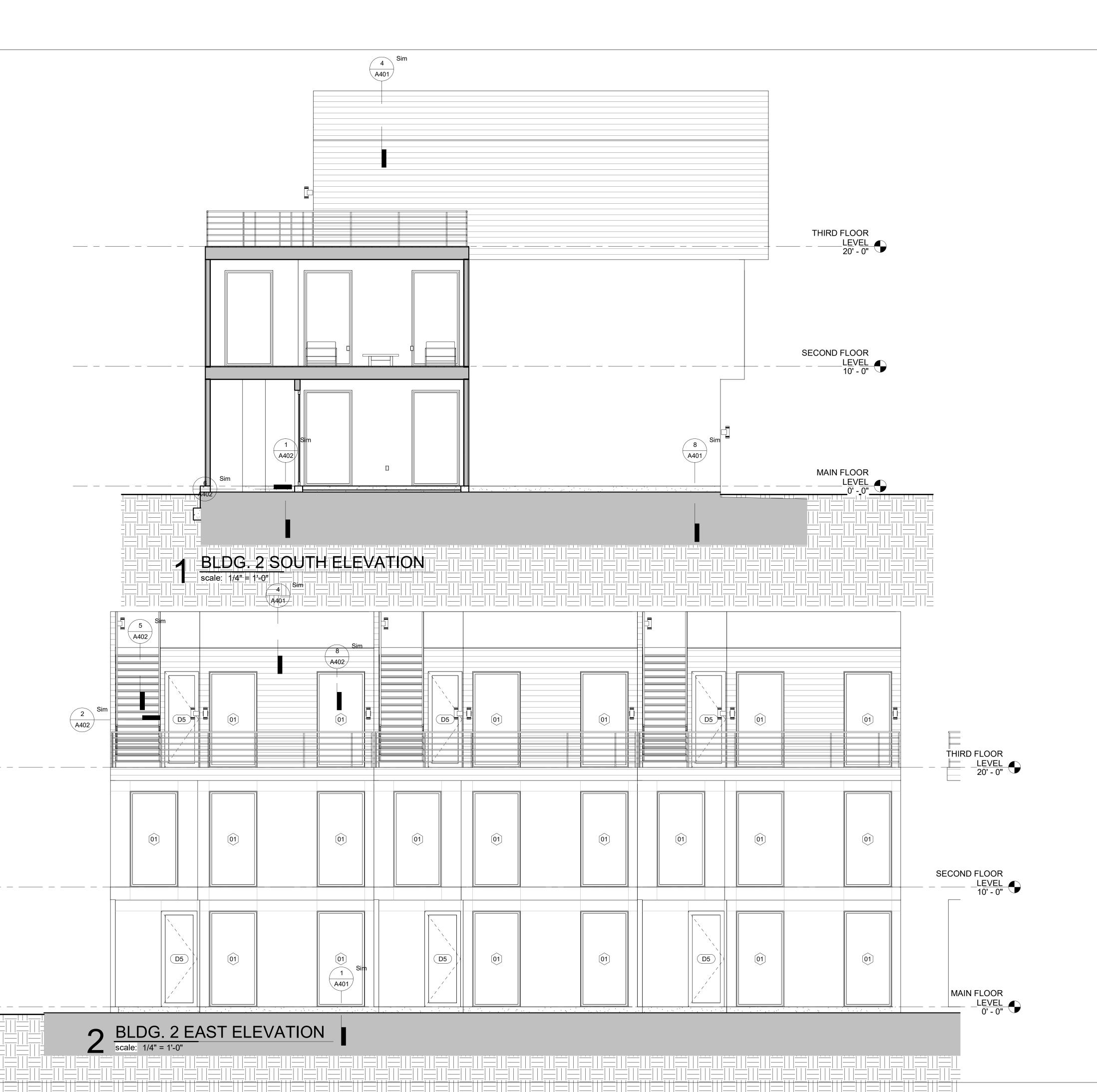
# GENERAL NOTES - ELEVATION

- 1. FINISHES APPLY TO ALL SIMILAR ELEMENTS FOR THAT FAÇADE.
- 2. COORDINATE EXTERIOR LIGHTING WITH
- 3. ALL EXTERIOR EXPOSED METAL TRIM,TRELLISES, RAILINGS, FRAMES,CASTINGS, ETC., NOT INDICATED TO BEPREFINISHED, SHALL BE PAINTED.
- 4. ALL CHANGES IN EXTERIOR WALL SIDING
  SYSTEMS OF DISSIMILAR MATERIALS TO
  OCCUR ONLY AT INTERIOR CORNERS, UNLESS
  SPECIFIED OTHERWISE.
- 5. BALUSTERS SHALL BE PLACED SO THAT A (4")
  DIA. SPHERE CANNOT PASS THROUGH (CODE
  SECTION 316.2)
- 6. FULL RAIN GUTTERS ARE REQ. AND DOWNSPOUT EXTENSION ARE REQ. TO EXTEND 10' AWAY FROM THE FOUNDATION
- 7. ANY WOOD IN CONTACT WITH CONCRETE SHALL BE DECAY RESISTANT
- 8. BAFFLE TO ENSURE INSULATION DOES NOT CLOG AIR FLOW. MAKE SURE CLEARS FOR AT LEAST 20" INSULATION
- 9. PROVIDE TIVEC ON ALL EXTERIOR SURFACES10. MIN. R-11 INSULATION IN ALL INTERIOR
- 10. MIN. R-11 INSULATION IN ALL INTERIOR BASEMENT WALLS (TYP.)
- 11. MIN. R-19 INSULATION IN ALL EXTERIOR WALLS (TYP.)
- 12. MIN. R-38 INSULATION IN ROOF (TYP.)
   13. CONTRACTOR TO INSTALL PREFINISHED METAL COPING AT ALL WALLS THAT EXTEND BEYOND ROOF. COPING COLOR TO MATCH WINDOW MULLIONS

## **ELEVATIONS LEGEND**

HARDI PANELS

HARDI PLANKS



LICENSED ARCHITECT

3127669301

RUSSELL FLATT

STATE OF

STATE OF UTAH

ELL PLATT ARCHITECTURE IGHLAND DRIVE SUITE 111

RUSSELL P

RICHMOND TOWNHOUSES
AST QUARTER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE
SALT LAKE BASE AND MERIDIAN, SALT LAKE COUNTY, UTAH

11.8.2017

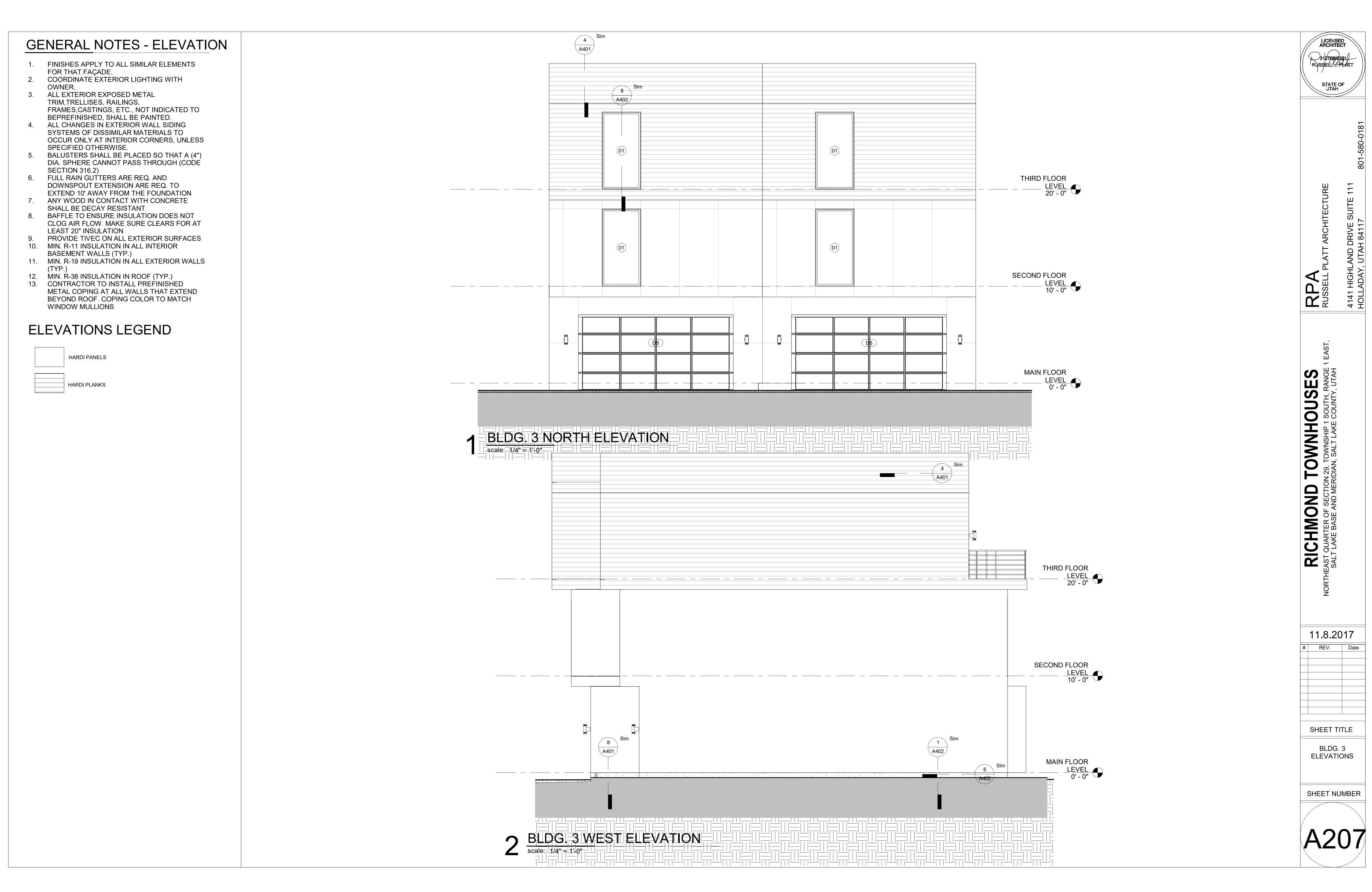
# REV. Date

SHEET TITLE

BLDG. 2
ELEVATIONS

SHEET NUMBER

A206



# GENERAL NOTES - ELEVATION

- 1. FINISHES APPLY TO ALL SIMILAR ELEMENTS FOR THAT FAÇADE.
- 2. COORDINATE EXTERIOR LIGHTING WITH OWNER.
- 3. ALL EXTERIOR EXPOSED METAL TRIM, TRELLISES, RAILINGS, FRAMES, CASTINGS, ETC., NOT INDICATED TO BEPREFINISHED, SHALL BE PAINTED.
- 4. ALL CHANGES IN EXTERIOR WALL SIDING SYSTEMS OF DISSIMILAR MATERIALS TO OCCUR ONLY AT INTERIOR CORNERS, UNLESS SPECIFIED OTHERWISE.
- 5. BALUSTERS SHALL BE PLACED SO THAT A (4") DIA. SPHERE CANNOT PASS THROUGH (CODE SECTION 316.2)
- 6. FULL RAIN GUTTERS ARE REQ. AND DOWNSPOUT EXTENSION ARE REQ. TO EXTEND 10' AWAY FROM THE FOUNDATION
- EXTEND 10' AWAY FROM THE FOUNDATION
  7. ANY WOOD IN CONTACT WITH CONCRETE
- SHALL BE DECAY RESISTANT

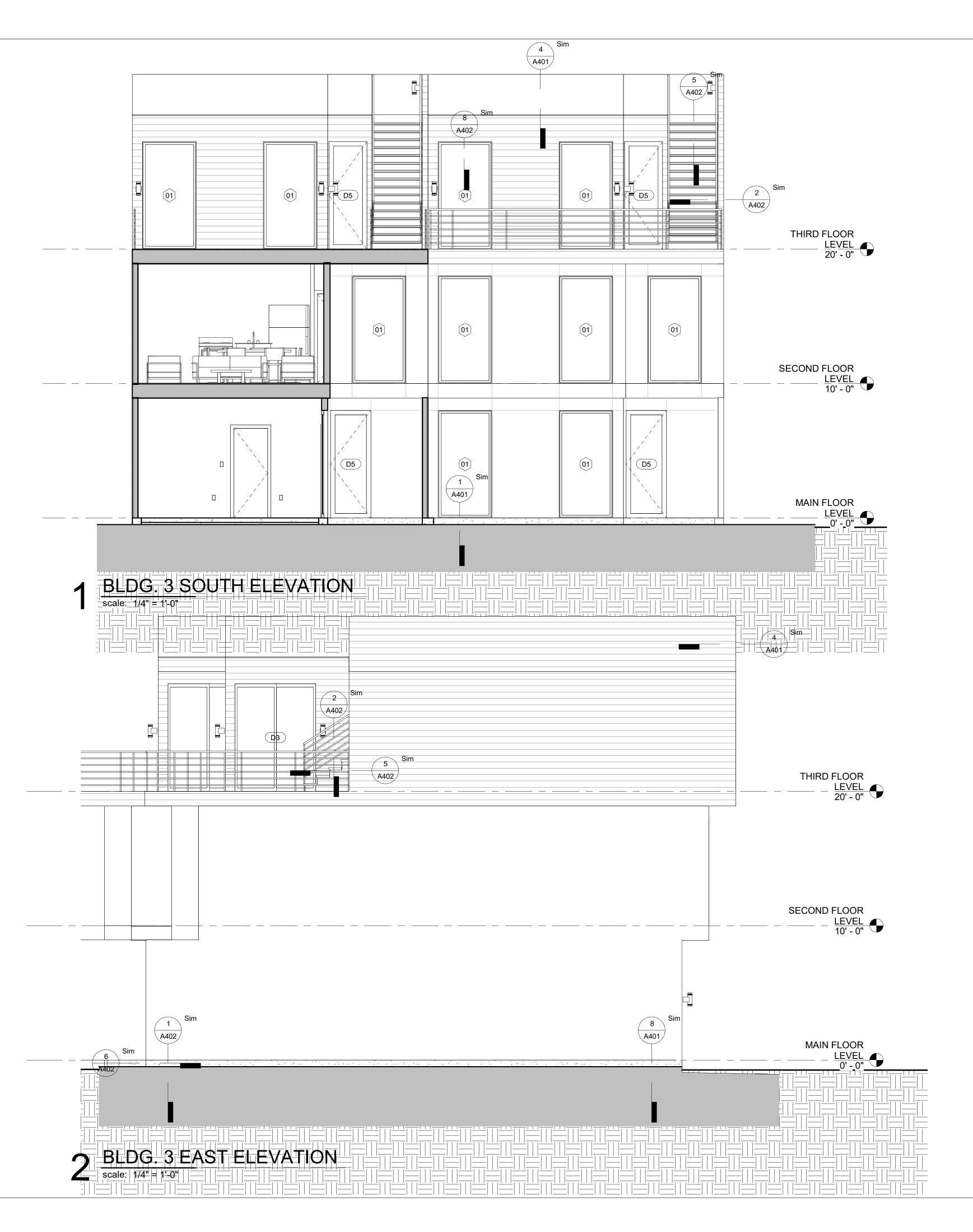
  8. BAFFLE TO ENSURE INSULATION DOES NOT CLOG AIR FLOW. MAKE SURE CLEARS FOR AT LEAST 20" INSULATION
- 9. PROVIDE TIVEC ON ALL EXTERIOR SURFACES10. MIN. R-11 INSULATION IN ALL INTERIOR
- BASEMENT WALLS (TYP.)

  11. MIN. R-19 INSULATION IN ALL EXTERIOR WALLS
- (TYP.)
- MIN. R-38 INSULATION IN ROOF (TYP.)
   CONTRACTOR TO INSTALL PREFINISHED
   METAL COPING AT ALL WALLS THAT EXTEND
   BEYOND ROOF. COPING COLOR TO MATCH
   WINDOW MULLIONS

## **ELEVATIONS LEGEND**

HARDI PANELS

HARDI PLANKS





STATE OF UTAH

RUSSELL PLATT ARCHITECTURE
4141 HIGHLAND DRIVE SUITE 111

RICHMOND TOWNHOUSES

AST QUARTER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 1 EAS

SALT LAKE BASE AND MERIDIAN, SALT LAKE COUNTY, UTAH

# REV. Date

SHEET TITLE

BLDG. 3 ELEVATIONS

SHEET NUMBER



### ATTACHMENT D: PROJECT NARRATIVE

Please see the following pages for the project narrative provided by the applicant.



### RICHMOND PLACE TOWN HOMES

### **Project Description**

Johnsen and Allphin Properties, LLC is proposing to build a 9 (nine) unit for sale planned unit development located on the Richmond Street corridor at 2965 South. This project would absolutely encourage the efficient use of land and promote what current and future urban growth and development stand for in Sugarhouse. Similar project can be found in and around the area you not limited to the project on Highland Drive, Sugarhouse commons, Blue Koi located at 1700 S 900 E, and the urban town homes bordering the Trax line at 850 E 2200 S. Only the highest and best quality will be used to insure this is a project that highlights and attracts good quality people and buyers to the area, who are proud to be homeowners and share the value neighborhood. The architecture and design of this project is certain to improve the aesthetics of Richmond Street where otherwise this site has been a rundown field with overgrowth and vegetation and garbage.

#### **Objective**

We are intending to meet objective **(D)** and this is how? We have engaged RPA Architecture Firm to design and create a unique town-home product specific to the landscape of this unique property that lends itself to community, pride of ownership and aesthetics achieved through the careful layout and design. We are pleased with the urban yet modern design RPA created that allows for the properties to face Richmond Street offering a better corridor environment for this stretch of road pulling people in rather than tucked in sheltered from the road. The project will allow residents and guest to enter off and Richmond into an exciting new residential community.

The design of this PUD is geared toward environment and indoor outdoor living. The intent is to create better sense of living while the town-homes feature an urban feel with open floor plans, two car garages, oversized windows, sharp quality exteriors and roof top amenities.

The project landscape and design will offer perimeter fencing with trees and shrubs along Richmond with the overhanging existing trees that currently face Richmond Street. These landmark trees will be a reminder of old merging with new. The project is sure to enhance the overall appearance of Richmond Street and give the neighborhood renewed energy and life and sense of self contributing to an overall pleasing environment. The project will also eliminate the blighted vacant field where debri, overgrowth of trees, weeds and vegetation have been common place for so many years. We are excited to turn this little run down field into an exciting little urban community ready to embrace all the passionate things that make Sugarhouse such a great place to live.

### **Standards for Planned Developments**

#### Zoning

The current proposed PUD for Richmond St is consistent with zoning requirements and current master plan and future land use map where proposed PUD is to be located. The proposed PUD is very compatible with other new and existing developments happening in and around Sugarhouse.

### Compatibility

The site meets all ingress/egress requirements without jeopardizing the aesthetics and character of the PUD. Its location will not create an unusual pedestrian or vehicle traffic patterns or volumes of traffic not consistent with this area.

Driveways will be located inside the PUD. All traffic will be directed to Richmond St with ample ingress and egress capabilities for people coming and going. Parking will also be handled inside the PUD with 5 guest stall ample room to turn around etc. There is also zero adverse affect on surrounding neighbors as there will be a fence around the property and no parking conflicts with neighbors. There is a commercial parking lot to the east and commercial to the south. Peak hours of traffic will not unreasonably impair the use of any adjacent properties.

### Utilities

Both Rocky Mountain Power and Dominion Energy have visited the site. Both are happy with the proposed project and scope of work we will perform to bring utilities to the site. RMP currently has a power pole on the subject property they would like to vacate with our help. They are pleased to know we can make that happen when we run all the utility lines. Our running new power and gas and water lines will be an added benefits the those around the site. The site also "does not" adversely affect any neighbor to the south, west, east or north. All measures will be taken to insure that the appropriate buffering and mitigation measures are implicated to make certain this PUD is an asset to the community.

### **Landscaping**

All existing trees that can be preserved will be preserved as well as highlight new landscaping shall enhance the overall appearance of the property. Careful thought and consideration will be put into the proper vegetation and green screens to create a nice harmony of landscape architectural design.

### Preservation

There is not any preservation, historical or environmental features of the property.

### **Compliance with Other Applicable Regulations.**

As proposed the Richmond Place PUD would comply with applicable code and ordinance requirements.



10757 S Riverfront Pkwy Ste 110 SJ, UT 84085

### **Planned Unit Description**

Architectural style and building form:

The Richmond Towns architectural style and form is a modern design with materials that bridge the commercial architecture to the East and the residential area to the West of the site.

The cement board panels with their metal framing relate to the commercial materials in the neighborhood, while the wood colored hardi plank siding relates to the residential.

### Landscaping:

The entire site landscaped except for the driveways. The pedestrian and vehicular circulation has been separated by having rear entry garages. This allows for a pleasing pedestrian landscaped experience walking to the entry of each home.

The roof decks of each unit act as a private yard and are designed to support plants in planters, making the roof deck a comfortable and green space.

### **Richmond Towns Project Description**

Richmond Towns is a nine unit townhome PUD.

The units are 1,750 sf, three floors in height, with roof decks.

The mechanical equipment is on the roof, the roof deck railing walls screen the mechanical. Making the units 34'-0" in height.

The units have three to four bedrooms, a home office, deck space off the bedrooms and roof deck area accessible by the entire home.

The townhome unit garages are accessible from a rear car court, separating the car traffic from the pedestrian.

The site is to be fully landscaped and maintained by the HOA.

There are 5 extra parking stalls for guest parking.

# ATTACHMENT E: PROPERTY & VICINITY PHOTOGRAPHS



Subject property on Richmond Street – seen from SW property corner



Subject property – fence between properties is the boundary line between Salt Lake City and start of Millcreek City



Street view looking south on Richmond Street just north of subject property.



Residential houses on Richmond Street – typical orientation with side yard toward Richmond and house frontage on residential side street

### ATTACHMENT F: EXISTING CONDITIONS

The site is generally level with a few existing trees around the perimeter. The southern edge of the property sits on the border between Salt Lake City and neighboring Millcreek City. That southern property boundary is also the approximate City boundary on the west side of Richmond Street. This is shown in more detail on the vicinity and zoning maps found in Attachment A.

Adjacent land uses and zoning include the following:

**North:** Single-family development on Hudson Avenue. Zoning: RMF-30

**East:** Commercial development that fronts on Highland Drive. Zoning CB – Community

**Business** 

**South:** Note: The property directly to the south is located within Millcreek City. Existing

development is commercial with a medical/dental office on the adjacent property which is zoned R-M - Residential. The R-M zoning designation in Millcreek City is intended for high-density residential development such as apartments with densities up to 25

units per acre and a maximum building height or 75-feet or 6 stories allowed.

West: Directly across Richmond Street in Salt Lake City - single-family dwellings. Zoning: R-

1/7000 (Single-family residential)

To the south of the Salt Lake City boundary in Millcreek City, the properties are zoned R-2-6.5 Residential which is considered a low to medium density residential district within that jurisdiction. Allowed uses, density and building heights are similar to areas

within Salt Lake City zoned RMF-30 on the opposite side of Richmond Street.

### **Master Plan Policies**

### **Sugar House Master Plan Discussion**

The subject property is located within the Sugar House Master Plan area and is designated on the future land use map as "Mixed Use – Low Intensity". The abutting properties to the north and east are similarly designated while the properties to the west across Richmond Street are designated as "Low Density Residential". Mixed Use – Low Intensity is described is described in the Sugar House Master Plan (SHMP) as follows:

Low-Intensity Mixed Use allows an integration of residential with small business uses, typically at ground floor levels. Height limits generally include one and two-story structures. The intent is to support more walkable community development patterns located near transit lines and stops. Proposed development and land uses within the Low-Intensity Mixed Use area must be compatible with the land uses and architectural features surrounding each site.

The subject property is zoned RMF-30, a zoning district which is listed in the SHMP that would support desired development in both Low-Density and Medium-Density Residential areas. The proposal generally complies with the following policies in the SHMP related to residential development:

- Encourage new medium-density housing opportunities in appropriate locations in Sugar House.
- Encourage a variety of densities in the medium-density range while ensuring the design of these projects is compatible with surrounding residential structures.
- Provide a diversity of housing types, sizes, and prices with the community.

### Infill Development - SHMP Pages 3 and 4

The Sugar House Master Plan includes a discussion about new single-family housing being largely confined to scattered and vacant infill sites. There are sites identified for new housing opportunities through mixed-used development which includes what is described as "...the island between Richmond Street and Highland Drive."

The subject property lies within this area described in the plan and illustrated within the plan as a "Potential Infill and Reuse Area".

### **Citywide Housing Master Plan**

The City recently adopted a citywide housing master plan titled *Growing SLC: A Five Year Housing Plan 2018-2022* that focuses on ways the City can meet its housing needs in the next five years. The plan includes policies that relate to this development, including:

- 1.1.1 Develop flexible zoning tools and regulations, with a focus along significant transportation routes.
- 1.1.2 Develop in-fill ordinances that promote a diverse housing stock, increase housing options, create redevelopment opportunities, and allow additional units within existing structures, while minimizing neighborhood impacts.

The planned development process is a zoning tool that provides flexibility in the zoning standards and a way to provide in-fill development that would normally not be allowed through strict application of the zoning code. This process allows for an increase in housing stock and housing options and provides a way to minimize neighborhood impacts through its compatibility standards. The proposed development is utilizing this process to provide additional housing ownership options in the City to help meet overall housing needs.

#### **Plan Salt Lake**

The City has an adopted citywide master plan that includes policies related to providing additional housing options. The plan includes policies related to growth and housing in Salt Lake City:

#### Growth:

- Locate new development in areas with existing infrastructure and amenities, such as transit and transportation corridors.
- Promote infill and redevelopment of underutilized land.
- Accommodate and promote an increase in the City's population.

#### Housing:

- Access to a wide variety of housing types for all income levels throughout the City, providing the basic human need for safety and responding to changing demographics.
- Increase diversity of housing types for all income levels throughout the city.
- *Increase the number of medium density housing types and options.*
- Enable moderate density increases within existing neighborhoods where appropriate.

**Staff Discussion:** The proposed development provides in-fill housing on underutilized land. The property is located in an area zoned and intended for multi-family development in the City but is limited to single or two-family development due to lot frontage requirements. The limited modifications promote the redevelopment of this underutilized land to help meet City growth and housing goals. The project also provides an increase in a moderate density housing type (townhomes) that is not common with the City. Recent planning best practices have discussed the lack of a "missing middle" housing types in urban areas. The "missing middle" housing type is generally viewed as multi-family or clustered housing which is compatible in scale with single-family homes that help meet the growing demand for walkable, lower scale urban living. This proposed development helps to meet the goals of the master plan as well as providing needed housing.

### RMF-30 Zoning District Purpose Statement

The purpose of the RMF-30 low density multi-family residential district is to provide an environment suitable for a variety of housing types of a low density nature, including single-family, two-family, and multi-family dwellings, with a maximum height of thirty feet (30'). This district is appropriate in areas where the applicable master plan policies recommend multi-family housing with a density of less than fifteen (15) dwellings units per acre. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

### **Project Details & Zoning Ordinance Compliance**

The following table includes applicable general development standards and notes where standards are being modified through the Planned Development process. The major modification to the zoning regulations requested by this development is for lots without public street frontage, as three of the lots will be accessed by way of a private driveway. The development is also seeking relief from particular yard setbacks. Viewed as one overall building, the proposal generally meets the setback/yard requirements for the use in this zone. However, each individual lot does not strictly meet the setback/yard standards due to the internal property line configuration and orientation of the building. The zoning ordinance is written to regulate properties with public street frontage. Because three of these properties do not have public street frontage, the yards do not strictly line up with the normal zoning yard/setback requirements. Because of this, the Planned Development process is required for the particular property line configuration.

Regulation – Single Family Attached Dwellings	Zoning Regulation for the RMF-30 Zoning District	Proposal/Existing
Minimum Lot Area Required – Single Family Attached Dwellings (3 or more units)	3,000 square feet for each unit. Total requirement for six (9) units is 27,000 square feet. The overall development has an average lot size exceeding the minimum requirement.	27,800 square feet total property area
Maximum Building Height	30 feet – additional 5-feet allowed through the planned development process	35 feet (requesting additional height through Planned Development)
Maximum Building Coverage	50%	Approx. 32%
Front Yard Perimeter Setback	20 feet	22.5 feet
Rear Yard Perimeter Setback	25% of lot depth – minimum 20-feet and need not exceed 25-feet. Still meets the intent of the standard as it relates to air, light and the separation of buildings.	14 feet along a portion by Lot 9 (requesting a reduction)
Side Yard Perimeter Setback	4-feet on one side and 10-feet on the other	7-8 foot side yard setback on the south and 37 feet on the north along the driveway
Frontage on a Public Street	Required per 21A.36.010 unless exempted.	Five lots proposed without a public street orientation. (modification requested)

### ATTACHMENT G: ANALYSIS OF STANDARDS

**21a.55.050: Standards for Planned Developments**: The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

Standard	Finding	Rationale
A. Planned Development Objectives: The planned	Complies	The purpose statement for a Planned Development
development shall meet the purpose statement for		follows:
a planned development (section <u>21A.55.010</u> of this		
chapter) and will achieve at least one of the		"A planned development is intended to encourage the efficient use of land and resources, promoting greater
objectives stated in said section: A. Combination and coordination of		efficiency in public and utility services and
architectural styles, building forms, building		encouraging innovation in the planning and building of
materials, and building relationships;		all types of development. Further, a planned
, ,		development implements the purpose statement of the
B. Preservation and enhancement of		zoning district in which the project is located, utilizing
desirable site characteristics such as natural		an alternative approach to the design of the property
topography, vegetation and geologic features,		and related physical facilities. A planned development
and the prevention of soil erosion;		will result in a more enhanced product than would be achievable through strict application of land use
C. Preservation of buildings which are		regulations, while enabling the development to be
architecturally or historically significant or		compatible and congruous with adjacent and nearby
contribute to the character of the city;		land developments"
D. Use of design, landscape, or architectural		The proposed planned development would result in a 9-
features to create a pleasing environment;		unit residential project being developed on a vacant
E. Inclusion of special development amenities		property that has been somewhat of a community nuisance through squatters camping on the property.
that are in the interest of the general public;		The development is creating a pleasing environment
that are in the interest of the general public,		through providing a mix of architectural styles and
F. Elimination of blighted structures or		design elements and by using landscape and
incompatible uses through redevelopment or		architectural features. This particular development
rehabilitation;		would not be feasible without a planned development,
C. Indusian of offendable benefits with		due to the lots without street frontage and modification
G. Inclusion of affordable housing with market rate housing; or		of building forms and lot dimensions.
market rate nousing, or		The applicant has stated that the project meets
H. Utilization of "green" building techniques		Objective A of the planned development –
in development.		"Combination and coordination of architecture styles,
		building forms, building materials, and building
		relationships" as well as Objective D - "Use of design, landscape, or architectural features to create a pleasing
		environment" as well as (Only one objective must be
		met to go through the Planned Development process).
		A. Combination and coordination of
		architectural styles, building forms, building
		materials and building relationships;
		The proposed 9-unit single-family attached planned
		development is a modern design that will fit in within a
		neighborhood that includes both residential and
		commercial development. The design will also provide
		some transition in scale and intensity between the lower
		density development to the north and the more intensely developed commercial properties to the east and south.
		developed confinercial properties to the east and south.
		D. Use of design, landscape, or architectural
		features to create a pleasing environment;

		The proposal meets this objective with the utilization of the proposed structures within a well-landscaped area. The proposed roof-top decks add to this by providing an alternative to a traditional private yard and function as an attractive amenity for residents.
B. Master Plan And Zoning Ordinance Compliance: The proposed planned development shall be:  1. Consistent with any adopted policy set forth in the citywide, community, and/or small area master plan and future land use map applicable to the site where the planned development will be located, and  2. Allowed by the zone where the planned development will be located or by another applicable provision of this title.	Complies	As demonstrated in Attachment F – Existing Conditions, Staff finds that the proposal is consistent with adopted policies and the adopted master plan.  The proposed use for single-family attached dwellings is a permitted and anticipated uses in the RMF-30 zoning district. Infill development in this area is also specifically called out in the Sugar House Master Plan.
C. Compatibility: The proposed planned development shall be compatible with the character of the site, adjacent properties, and existing development within the vicinity of the site where the use will be located. In determining compatibility, the planning commission shall consider:  1. Whether the street or other adjacent street/access; means of access to the site provide the necessary ingress/egress without materially degrading the service level on such street/access or any  2. Whether the planned development and its location will create unusual pedestrian or vehicle traffic patterns or volumes that would not be expected, based on:  a. Orientation of driveways and whether they direct traffic to major or local streets, and, if directed to local streets, the impact on the safety, purpose, and character of these streets;  b. Parking area locations and size, and whether parking plans are likely to encourage street side parking for the planned development which will adversely impact the reasonable use of adjacent property;  c. Hours of peak traffic to the proposed planned development and whether such traffic will unreasonably impair the use and enjoyment of adjacent property.  3. Whether the internal circulation system of the proposed planned development will be designed to mitigate adverse impacts on adjacent property from motorized, nonmotorized, and pedestrian traffic;  4. Whether existing or proposed utility and public services will be adequate to support the proposed planned development at normal service levels and will be designed in a	Complies	<ol> <li>The property is proposing access from a private driveway off of Richmond Street. This access drive will also serve a multi-family development on the adjacent CB parcel. The development of the site is not expected to cause detrimental impacts to the service level on Richmond Street, which is classified as an arterial street. Arterial streets are intended to facilitate through traffic movement over relatively long distances such as from neighborhood to neighborhood. They are generally multi-lane streets carrying high traffic volumes at relatively high speeds.</li> <li>The site is accessed from a private street coming off of Richmond. All existing traffic will be directed to Richmond Street which is an arterial not local street. The proposed development of 9 single-family attached houses should not detrimentally impact Richmond Street.</li> <li>Each single-family attached home will contain two off-street parking spaces. There are also five (5) surface guest spaces included in the development. Since Richmond would not allow on-street parking, this configuration contained on site will not impact adjacent properties.</li> <li>This is not a substantially high density residential development and is not expected to have a high traffic generation that would impair the use or enjoyment of adjacent properties. The hours of peak traffic to the subject property will be compatible with surrounding uses.</li> <li>The circulation of traffic will be isolated to the interior of the development. The access is provided off of Richmond Street. There are no additional curb cuts provided. The circulation and traffic flow should not impact the adjacent properties. Additionally, the circulation system and the provided access will not impact the pedestrian access. There will only be one driveway that crosses the sidewalk on Richmond Street.</li> </ol>

manner to avoid adverse impacts on adjacent land uses, public services, and utility resources;  5. Whether appropriate buffering or other mitigation measures, such as, but not limited to, landscaping, setbacks, building location, sound attenuation, odor control, will be provided to protect adjacent land uses from excessive light, noise, odor and visual impacts and other unusual disturbances from trash collection, deliveries, and mechanical equipment resulting from the proposed planned development; and  6. Whether the intensity, size, and scale of the proposed planned development is compatible with adjacent properties.  If a proposed conditional use will result in new construction or substantial remodeling of a commercial or mixed used development, the design of the premises where the use will be located shall conform to the conditional building and site design review standards set forth in chapter 21A.59 of this title.		<ol> <li>The development will be required to comply with all requirements specified from public utilities.</li> <li>The requested reduced portion of the rear yard, lots without street frontage and the reduced lot square footage modifications should not result in any mitigation measures. In addition, a decorative wall has been proposed along the north side of the private driveway as a buffer to the single-family residential units to the north. Adverse impacts are not anticipated with this development.</li> <li>The proposed development is located within a zoning district that anticipates the size, scale and intensity of the proposed development. The general area includes both commercial and residential development.</li> <li>The proposal is not subject to conditional building and site design review standards.</li> </ol>
D. Landscaping: Existing mature vegetation on a given parcel for development shall be maintained. Additional or new landscaping shall be appropriate for the scale of the development, and shall primarily consist of drought tolerant species;	Complies	There are existing trees on the site near Richmond. Mature vegetation will be preserved to the extent possible as many of those trees are overgrown. Additional street trees along Richmond are also proposed.  The landscaping includes a spur of property that runs north/south parallel to Richmond Street on the west side of the property. The applicant is planning to landscape the property with street trees, turf grass and a rock wall that runs the length of the spur and will be designed to provide some visual flow along Richmond into the entrance to the development.  In addition, a decorative wall has been proposed along the north side of the private driveway as a buffer to the single-family residential units to the north.  All of the proposed landscaping will need to comply with the "water wise or low water plants" required by 21A.48.055: "Water Efficient Landscaping" section of the zoning ordinance.
E. Preservation: The proposed planned development shall preserve any historical, architectural, and environmental features of the property;	Complies	There are no historical, architectural, or environmental features on this site that warrant preservation.
F. Compliance With Other Applicable Regulations: The proposed planned development shall comply with any other applicable code or ordinance requirement.	Complies	The Planned Development is also being reviewed for compliance with the subdivision standards for preliminary subdivisions found in Attachment H.  Section 21A.55.170 (Disclosure of Private Infrastructure for Planned Developments) requires Planned Developments with private infrastructure (in this case driveways and shared utilities) to disclose the expected cost for maintenance of that infrastructure to owners of property in the development. It also requires owners to be collectively and individually responsible

for maintenance of those facilities. As such, the developer will need to record a cost estimate for the private infrastructure with the subdivision plat and will need to record documentation to establish a home owner's association or similar entity to manage the shared private infrastructure. These requirements have been noted as conditions of approval on the first page of this report.  The Planned Development is subject to all other department and division requirements and conditions.
department and division requirements and conditions.

# ATTACHMENT H: ANALYSIS OF STANDARDS-PRELIMINARY SUBDIVISION

**20.16.100: STANDARDS OF APPROVAL FOR PRELIMINARY PLATS:** All preliminary plats for subdivisions and subdivision amendments shall meet the following standards:

	Standard	Finding	Rationale
A.	The subdivision complies with the general design standards and requirements for subdivisions as established in Chapter 20.12 of the Subdivision Title	Complies – pending Planned Development approval.	The applicant is requesting to modify subdivision and zoning standards through the Planned Development process. The following subdivision modification is proposed for this development:  • Section 20.12.E. Access to Public Streets
В.	All buildable lots comply with all applicable zoning standards	Complies – pending Planned Development approval	The overall proposal complies with lot area standards when calculated together. The applicant is seeking a modification of individual lot standards through the Planned Development process.
C.	All necessary and required dedications are made;	Complies – pending compliance with Department Comments	The proposed preliminary plat does not include any right-of-way dedications. Utility and drainage easements will be determined prior to the final subdivision process. Compliance with Public Utilities requirements is a condition of approval.
D.	Water supply and sewage disposal shall be satisfactory to the public utilities department director;	Complies – pending compliance with Department Comments	Water supply and sewage disposal will be evaluated and any upgrades or changes needed to serve the development will be required by Public Utilities prior to building permit or final subdivision approval.
Е.	Provisions for the construction of any required public improvements, per Section 20.40.010, are included.	Complies – pending compliance with Department Comments	Engineering has not indicated a requirements for public improvements along Richmond. However, any required public improvements are subject to approval by Engineering prior to issuance of a final plat.
F.	The subdivision otherwise complies with all applicable laws and regulations.	Complies	Prior to final approval, staff will ensure the proposed subdivision complies with all other applicable laws and regulations. The project will need to apply for Final Subdivision approval.
G.	If the proposal is an amendment to an existing subdivision and involves vacating a street, right-of-way, or easement, the amendment does not materially injure the public or any person who owns land within the subdivision or immediately adjacent to it and there is good cause for the amendment.	Complies	The proposed subdivision does not alter any street or right-of-way.

### ATTACHMENT I: PUBLIC PROCESS AND COMMENTS

### **Public Notice, Meetings, Comments**

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project:

- Notice of the project and request for comments sent to the Chair of the Sugar House Community Council on November 21, 2017
- Staff held a public open house at the Planning Department in the City and County Building on December 6, 2017 to solicit comments on the proposal. One public comment was submitted.
- Staff attended the Sugar House CC Land Use Committee Meeting of December 11, 2017 to present the project to the community.
- Staff attended the Sugar House Community Council Meeting of January 3, 2018 to present the project to the community.

### Notice of the public hearing for the proposal included:

- Public hearing notice mailed on: February 15, 2018
- Public hearing notice sign posted on property: February 15, 2018
- Public notice posted on City and State websites and Planning Division list serve: February 15, 2018

### **Public Input:**

The Sugar House Community Council submitted a letter to staff in relation to the proposed project. The letter dated January 5, 2018 is included on the **following page**.

Comments from the SHCC were generally favorable in terms of the overall project and the planned development. They noted that this project will provide a needed cleanup to a blighted parcel that has issues with squatters that camp out there illegally. It could also provide some encouragement for redevelopment in the area to bring back some vibrancy to the neighborhood. The community did bring up the following issues and concerns:

- Concerns about traffic in the area and the speed of that traffic on Richmond in terms of safety. A
  suggestion was made to not allow left turns out of the development onto Richmond for safety
  reasons.
  - **Staff's Response:** Information about the proposal was sent to the Transportation Division. No comments or concerns were expressed by Transportation about the access onto Richmond from the proposed development. Any limitations to ingress/egress on the site can be addressed during the Building Permit review of the project.
- Concerns about the practicality of the roof-top deck which also involves a request for an additional 5-feet of building height.
  - **Staff's Response:** The roof-top deck helps to achieve Objective D of a planned development by providing a private amenity for a resident or owner of one of the units. Making the deck practical to use and an appealing amenity for potential owners is an operational and logistic issue for the applicant to address.

January 5, 2018

TO: Salt Lake City Planning Commission

RE: PLNSUB2017-00881 - Richmond Place

Townhouse Planned Development 2965 Richmond Street

FROM: Judi Short, First Vice Chair and Land Use Chair

Sugar House Community Council



This project was on the SHCC Land Use Committee Agenda December 8. There were only four people at the Land Use Committee meeting. We did put flyers around the neighborhood at adjoining properties. The person who delivered the flyers said that one of the residential neighbors was in favor of the development, it seems that the developer had been talking with the neighbors. There are squatters who camp out in the empty lot. The lot is so big, it is easy to hide, and neighbors worry about fires, etc. I did connect the new property owner with the District 7 Community Intelligence Unit police officer to assist with cleaning up the site, and monitoring for further intrusion.

This proposal definitely meets the goal of making a more efficient project. The description says they are building nine units, but the drawings show 4 units in Phase I and 5 in Phase II. We like that the Phase I units will face Richmond Street, and that each of the units appears to have a bit of green space. We hope the trees will be thinned out, and glad they will keep some of the mature trees on the property. It appears they will put thoughtful landscaping into the rest of the project.

The planned development is the best way to achieve this density. Streets can be smaller, the setbacks can be a bit smaller, to get a better design and maybe another unit or two on the parcel. There will be five visitor parking stalls between the two phases. This will be a good cleanup of what has been a blighted parcel for many years, and perhaps will encourage some of the other parcels to be rehabbed, to bring the neighborhood vibrancy back.

We had some comments about cars going in and out, some of our trustees and neighbors travel this regularly. Speeds are high, and the speed limit is 40. Several people requested that there be no left turn allowed out of the project. We ask that Transportation look at this issue carefully. With all the new apartments along the Brickyard, traffic has increased dramatically in the past year, and will only get worse. We don't want this to create a safety hazard.

We are not sure what special amenities there are for the general public. There is no sidewalk along Richmond, except in a few places. This project certainly isn't walkable. It will be difficult to walk to Harmon's because of the lack of sidewalks. We hope when the other phases of this are built along Hudson Avenue, care is taken to put in a sidewalk up to Highland Drive.

We fail to see the benefit of making this project 5 feet taller, just because they can if they ask for it. The use will be limited, because the heat will be oppressive unless they go to lengths to build a shade canopy. We didn't receive any drawings that show the interior layout of these units, nor is it easy to ascertain how large the units will be. It seems to us that for the indoor outdoor amenities to be successful, the patio area needs to be near the kitchen so occupants can easily dine outside. The rooftop deck cannot easily be used for dining, because it is two floors above where the kitchen area probably is.

We would like to review the Part II and III sections of the project when they are ready for prime time. If they acquire the three houses on Hudson, we would expect that any development that is done would fit in nicely with the three existing pieces. We ask that you approve these townhomes, after consideration of the answers to the questions I know you will ask as a result of this letter, including a query about why the extra 5 feet is really necessary. Some of us don't think it is.

### ATTACHMENT J: DEPARTMENT REVIEW COMMENTS

#### **Public Utilities:**

- Planned Development and Preliminary Plat approval do not provide utility connection approval or building permit approval.
- The applicant has submitted plans to public utilities. Please continue to coordinate plans for review and approval.
- A complete Storm Water Pollution Prevention Plan will be required for this project including demolition work.
- All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.
- All utilities must be separated by a minimum of 3ft horizontally and 18" vertically. Water and sewer lines require 10ft minimum horizontal separation.

### **Engineering:**

No objections to the proposed planned development.

### **Transportation:**

Each dwelling unit in the CB zone should have one parking space per unit; each dwelling unit in the RMF-30 should have one space per each single bedroom and two spaces per each two (or more) bedroom units.

#### **Urban Forester:**

No comments provided.

### **Zoning:**

- Planned Development already reviewed for a 9-unit townhome complex at 2965 S Richmond St. with buildings #2 & #3 at this location not having frontage on a public street, and requesting an additional 5-feet of building height.
- From the plat, it is difficult to determine if this is to be platted as an actual townhome project. It appears to be a proposal more similar to a condominium. If so, interior airspace elevations will need to be provided showing private ownership areas (elevations).
- The plat is not definitively defining that these are townhomes, nor are there allocations for private, limited common or common areas. It would be appropriate to define and differentiate between what will be hard surfaced area vs. landscape area. There should also be a note that declares that there will be an HOA and/or CCNR's for ongoing maintenance and funding for these areas of common ownership.
- It appears that two (2) separate projects are being thrown together in this proposal. The Public Information Sheet for the Planned Development requested a proposed 9-unit townhouse project, yet the locator map references the CB zoned portion of the property as the "Subject Property". It is understood that this "Subject Property / Parcel 2" is being carved off for a sixteen (16) unit apartment complex having frontage on Hudson Ave., has access running through the remaining 2965 S Richmond St. parcel and is not the location where the 9-unit townhouse project is proposed to be constructed. Will this area be rezoned for a residential use?
- As noted in the Planned Development comments: 21A.48.080: Landscape Buffers: requires the placement of a 7' landscape buffer between the CB zoned parcel and the RMF-30 parcel in which shade trees shall be planted at the rate of 1 tree for every 30 linear feet of landscape buffer, shrubs, having a mature height of not less than four feet (4') planted along the entire length of the landscape buffer and a solid fence between 4 and six feet (6') in height erected along the property line. The landscape buffer prohibits the proposed access driveway for the 16 unit apartment complex having frontage on Hudson Ave. unless this requirement has been modified through the planned development process.

NOTE: This buffer would be required on the separate CB parcel which is not part of the Planned Development and not as part of the PD. The Zoning Administrator has indicated that this requirement would be waived as part of the development on the CB parcel.

- It is noted that a small southeast portion of the remaining 2965 S Richmond St. parcel will still be zoned CB unless a zoning map amendment is also processed, therefore; this area may technically also require a seven foot (7') landscape buffer between the CB zoning and the RMF-30 zoning.
- This proposal will need to comply with 21A.24.120 C Minimum Lot Area And Lot Width based on a condominium application or a twin home/single family attached dwelling subdivision, 21A.24.120 D Maximum Building Height as modified by the planned development process.
- As noted in the Planned Development comments: No information has been provided for the existing grade elevation datum at each corner of each building, the average grade elevation datum for each face of each building and the proposed height of each building based on the average elevation datum.
- How will waste/recycling pick-up be managed for this development?

#### Fire:

The driveway between the structures is a dead-end greater than 100 feet without a turn around. The structures appear to be are greater than 30 foot tall which requires 2 aerial apparatus access roads. One shall be no closer than 15 ft. from the face of the building and the apparatus access road and no greater than 30 feet. Turning radius shall be 20 ft. inside and 45 ft. outside. Fire hydrants shall be within 400 feet of all exterior walls of the first floor if it is being built under the IBC. Fire hydrants shall be within 600 feet of all exterior walls of the first floor if it is being built under the IBC.

### **Building/Zoning – for the Subdivision:**

From the plat, it is difficult to determine if this is to be platted as an actual townhome project. It appears to be a proposal more similar to a condominium. If so, interior airspace elevations will need to be provided showing private ownership areas (elevations).

The plat is not definitively defining that these are townhomes, nor are there allocations for private, limited common or common areas. It would be appropriate to define and differentiate between what will be hard surfaced area vs. landscape area. There should also be a note that declares that there will be an HOA and/or CCNR's for ongoing maintenance and funding for these areas of common ownership.