



Staff Report

PLANNING DIVISION
COMMUNITY AND NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Ashley Scarff, Planner
ashley.scarff@slc.gov
(801) 535-7660

Date: February 14, 2018

Re: PLNPCM2017-01020: Rose Park Neighborhood Community Center Conditional Use

Conditional Use

PROPERTY ADDRESS: 754 North 800 West
PARCEL ID: 08-26-477-020-0000
MASTER PLAN: Northwest Master Plan (1992)
ZONING DISTRICT: RMF-35 Moderate Density Multi-Family Residential

REQUEST: This is a request made by Dan Rip, Real Property Manager for Salt Lake City Corporation (property owner), on behalf of the Good Samaritan Foundation, for conditional use approval to construct a community recreation center at 754 North 800 West.

RECOMMENDATION: Based on the information contained in this report, Planning Staff recommends that the Planning Commission approve the proposed conditional use for a community recreation center subject to the condition listed below and in the motion sheet:

1. The subject property currently consists of two (2) separate parcels, which will need to be combined through the lot consolidation process prior to the issuance of any building permits.

ATTACHMENTS:

- A. Vicinity Map with Zoning
- B. Site Aerial and Photographs
- C. Submitted Narrative and Plans
- D. Analysis of Standards
- E. Public Process and Comments
- F. Department Review Comments

PROJECT DESCRIPTION:

Proposal

Dan Rip, Real Property Manager for Salt Lake City Corporation, is requesting the approval of a community recreation center conditional use at 754 North 800 West on parcels that were recently created from street closures. If granted, the City plans to extend a long-term land lease to the Good Samaritan Foundation to allow the organization to construct a facility on the subject property that will operate as a resource for local refugees. Community recreation centers are permitted within the RMF-35 Zoning District as a conditional use.

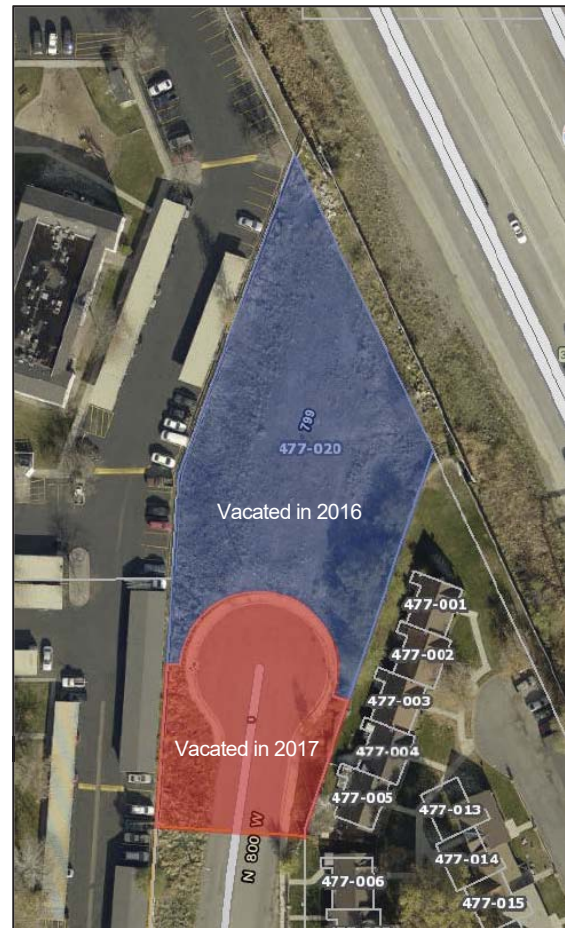
The Good Samaritan Foundation’s mission is “to help individuals with refugee status and others obtain the means, skills, education and employment necessary to become independent, self-reliant and a contributing member of society. [They] do this by providing services at strategic locations in neighborhoods where [their] clients live.” In support of this, the Foundation is proposing to construct a single-level, 4,200 sf facility that will serve as a resource for local refugees in the Rose Park area. Floor plans (included in Attachment C) show a kitchen with pantry, multiple meeting rooms, a multi-purpose room, offices, counseling areas, and storage.

Proposed operations include citizenship programs, adult English language classes, health clinics, parenting classes, workforce development, early childhood education, youth after-school programs, and more. The resource center will be open from 8 a.m. to 6 p.m., Monday through Saturday. The Applicant estimates that during peak operation hours there will be up to four employees on site, and the maximum occupancy at any given time will be 20-30 clients, but will ultimately be based on need.

Background Information

The subject property (at the time of publication of this report) consists of two (2) contiguous, City-owned parcels that resulted from 2 separate street closure petitions. The 2 separate parcels will need to be combined through the lot consolidation process prior to the issuance of a building permit for construction. Prior to the closures, 800 West continued north through the subject property and crossed Interstate-15 via overpass, before touching down and connecting with Warm Springs Road on the other side. When I-15 was expanded, UDOT terminated 800 West at the subject property and eventually capped it with a cul-de-sac, an existing feature that is being incorporated into this project. The rest of the site is currently undeveloped. To date, the following actions have been taken in support of the proposed community recreation center:

- Ordinance 61 of 2016 adopted by City Council on September 20th, 2016, amended the Code to allow community recreation centers as conditional uses in the RMF-35 Zoning District;
- Ordinance 62 of 2016 adopted by City Council on September 20th, 2016, approved the closure of the portion of 800 West north of the terminating cul-de-sac (highlighted in blue);
- Ordinance 49 of 2017 adopted by City Council on September 5th, 2017, approved the closure of the portion of right-of-way between approximately 740 North and the cul-de-sac (highlighted in red)



Development Details

The site is surrounded on 2 sides by multi-family housing developments, which are buffered from the site by distance, existing fencing, and parking structures. The property abuts the freeway to the north. The community center will be accessed via 800 West, which approaches the lot from the south and dead-ends at the subject’s front property line. This portion of 800 West will almost exclusively serve the site, as adjacent properties to the east and west are accessed from other nearby streets.

The Applicant is proposing to construct the community center structure within the undeveloped area shown in blue in the graphic above, and contain all required off-street parking spaces within the paved areas shown in red. At the time of this report, the Applicant still needs to provide off-street parking calculations to the Transportation

Division, but according to section 21A.44.030.G Minimum Off Street Parking Requirements, a “miscellaneous” use would require 3 spaces per 1,000 sf of usable area (Planning Staff finds that no specific listed use is similar to the community recreation center use). Using this ratio, the proposed 4,200 sf community center would require 13 parking spaces. The most current site plan shows 18 unmarked spaces, with an additional 2 spaces designated for persons with disabilities; however, Planning Staff has informed the Applicant that the RMF-35 Zoning District does not permit parking spaces to be located within front yard setback areas, which may result in the loss of 3 of the shown spaces. Even with this loss, Staff estimates that the project will exceed the minimum requirement by 2 spaces.

Due to the large lot area, Staff has also found that the project greatly exceeds all minimum lot requirements of the RMF-35 Zoning District, including minimum lot area and width, minimum yard requirements, and maximum building coverage, as shown in the table below. This analysis was completed in anticipation of the 2 lots being consolidated into one parcel. In addition, the building height is proposed at approximately 20 feet, 15 feet less than the maximum building height requirement.

RMF-35 Zoning District Requirements		
Standard	Proposed	Finding
Minimum Lot Area: 5,000 sf	Approx. 49,148 sf total	Complies
Minimum Lot Width: 50 ft.	98.22 ft.	Complies
Maximum Building Height: 35 ft.	Approx. 20 ft. to ridge	Complies
Minimum Yard Requirements:		
Front Yard: 20 ft.	Approx. 188 ft.	Complies
Interior Side Yard: 10 ft. on each side	Approx. 50 ft. (north side) & 38 ft. (south side)	Complies
Rear Yard: 25% of lot depth, 20 ft. minimum	Approx. 55 ft. at narrowest point	Complies
Maximum Building Coverage: 60% of lot area	Approx. 4,200 sf = 8.5% of lot area	Complies

Attachment D includes a full analysis of the proposal’s compliance with the conditional use standards per 21A.54.080, which consider factors such as compatibility with surrounding uses, traffic and circulation, pedestrian and bicycle accessibility, impact of the proposed operations, etc.

KEY CONSIDERATIONS:

Compliance with City Goals

This project supports multiple guiding principles and initiatives of Plan Salt Lake, the citywide vision for Salt Lake City (2015).

Guiding Principle 1: NEIGHBORHOODS – Neighborhoods that provide a safe environment, opportunity for social interaction, and services needed for the wellbeing of the community therein.

“...We believe all of our neighborhoods should be inclusive and supportive of all people, at all stages of life including families, young people, and older adults. Our neighborhoods provide valuable opportunities and amenities for recreation, culture, social interaction, and community gathering places, services, and events. These places include businesses, schools, parks and natural lands, libraries, community events, and more. It is important that these resources are located within neighborhoods, close to residents and accessible by walking, bicycling, and public transit” (Plan Salt Lake, p. 17).

Guiding Principle 11: EQUITY – Ensure access to all City amenities for all citizens while treating everyone equitably with fairness, justice, and respect.

“Our City is a place where residents and visitors can live, work, play, and do business free from discrimination, and be treated with tolerance and respect...Salt Lake City is a place for opportunity...we will strive to provide our citizens with ample opportunity to improve their quality of life through access to quality education, employment, housing, and community resources. We will strive to eliminate concentrated areas of poverty to improve overall quality of life and opportunity for all of our residents” (p. 37).

Attachment D outlines the proposal’s level of compliance with the Northwest Master Plan, which covers the Rose Park neighborhood area.

DISCUSSION:

Per 21A.54.080, the proposed conditional use of a community recreation center shall be approved if reasonable conditions can be proposed to mitigate the reasonably anticipated detrimental effects of the use. Staff conducted a full analysis of the proposal against the standards of approval, including a detrimental effects determination, and found no significant issues with the project. Staff finds that the proposed use will be an improvement on existing conditions, an isolated section of dead-end street, and will also provide a valuable service to nearby refugee residents. The project will also advance multiple objectives of Plan Salt Lake. It is the opinion of Staff that this conditional use will have little to no negative impact and should be approved.

NEXT STEPS:

If approved, the applicant will be required to obtain all necessary building permits, and comply with the condition of approval listed above and in the motion sheet. If denied, the applicant would not have City approval for the conditional use, and the Rose Park Neighborhood Community Center could not be constructed at the proposed location.

ATTACHMENT A: VICINITY MAP WITH ZONING



ATTACHMENT B: SITE AERIAL AND PHOTOGRAPHS



Subject property:
754 N 800 W





View of development site



Proposed site of community center



View of adjacent Solara Apartment complex from development site



View of typical Solara apartment structure from 900 West



View of back side of adjacent townhomes from development site



View of front side of adjacent townhomes from Grant Street

ATTACHMENT C: SUBMITTED NARRATIVE AND PLANS



MEMORANDUM

To: Salt Lake City Planning and Zoning
From: Dan Rip
Date: December 6, 2017
Re: Good Samaritan Foundation – conditional use permit

Dear City Planner,

For your consideration, attached is a Conditional Use permit application. The purpose of the application is to obtain approval to develop and build a refugee community center. Earlier this year, the right of way was closed and a lot was created that is owned by Salt Lake City. Currently, the City is in the process of extending a long term land leasing to the Good Samaritan Foundation in order for this organization to develop and build a much needed refugee center. As there are over 70,000 refugees in the Salt Lake Valley, demand is significant for this type of service not only in Salt Lake City but also in the immediate neighborhood based on community demographics.

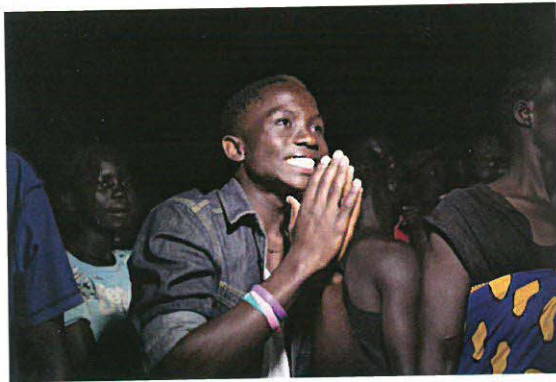
The Rose Park Neighborhood Community Center will consist of a 4,200 square foot, single level facility that will operate as a resource for local refugees. Hours of operation will be from 8 a.m. to 6 p.m., Monday through Saturday. During peak operation hours, there will be up to four employees on site and the maximum occupancy at any given give is anticipated at 20-30 people (based on need). Other medium density multi-family apartments surround the future community center site and so far the reaction has been positive.

Services offered at the Community Center will include continuing education for professional and job skill development as well as language training. In addition, there will be academic advising and employee mentoring. Early childhood language development is also a slated service offering.

The site is currently zoned RMF-35 and a recent text amendment to this zone makes it possible for community centers to be considered a conditional use within this zone. Please let me know if you need any additional information.

Sincerely,

Dan Rip
Real Property Manager



Every person is important and valuable to society and given opportunity, individuals with refugee status and others will obtain the means to care for themselves and seek to become independent and self-reliant.



The mission of **Neighborhood Centers** is to help individuals with refugee status and others to obtain the means, skills, education and employment necessary to become independent, self-reliant and a contributing member of society.

In a **Neighborhood Center**, a coach and mentor help each individual

- Relate his or her experiences, skills, interest, and hope for the future
- Consider employment compatible with their skills and interest that will provide a living wage
- Develop a step-by-step plan leading to independence and self-reliance, and
- Access resources and support needed to follow their plan.



Neighborhood Centers
Good Samaritan Foundation

Resources that may be accessed at a Neighborhood Center include:

Basic Care such as:

- Food, clothing and shelter
- Basic English
- Health care
- Family counseling
- Budget/finances
- Life skills
- Tutoring

Education and Training

- Intensive English
- Occupational English
- Scholarship and grants
- On the job training
- School enrollment

Employment with a Living Wage

- Interviewing and resume building
- Job search skills
- Business partnerships
- Employment agencies
- Self employment

Assistance for Success

- A coach to make resources available
- A mentor to guide, encourage and help

** Neighborhood Centers provide or partner with organizations to provide services.*

ROSE PARK NEIGHBORHOOD COMMUNITY CENTER

GOOD SAMARITAN FOUNDATION
754 NORTH, 800 WEST, SALT LAKE CITY, UT, 84116



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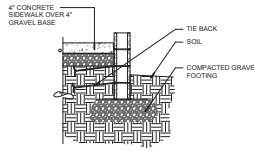
CONSTRUCTION DOCUMENT
2017 - 11 - 30

GENERAL SITE PLAN NOTES

- GRADING AT THE BUILDING SHALL HAVE A 0% MINIMUM SLOPE AWAY FROM THE BUILDING FOR A MINIMUM OF 30'. UNO. CONCRETE SHALL BE SLOPED 2% AWAY FROM BUILDING. BC 2012 SECTION 18A.3
- FOUNDATION TO BE 6" ABOVE FINISHED GRADE UNO. (IF FOR DFCM PROJECT, ALSO REVIEW BC 2012 SECTION 18B.1)
- ALL CONNECTIONS FROM CITY STREETS TO THE BUILDING ARE TO BE PROVIDED UNDER THIS CONTRACT. CONTRACTOR TO VERIFY CITY STANDARDS FOR ROAD, CURB, UTILITY AND SIGNAGE REQUIREMENTS.
- ALL EXTERIOR SIDEWALKS, STAIRS AND LANDINGS TO HAVE POSITIVE DRAINAGE BUT NO MORE THAN A MAXIMUM OF 1/4" SLOPE PER FOOT TO ALLOW POSITIVE DRAINAGE. ALL STAIRS AND RAMPS TO HAVE A LANDING OF 48 INCHES LONG AT THE TOP AND BOTTOM WITH A MAXIMUM SLOPE OF 1/4" PER FOOT. ALL REAR EXTERIOR APPLICATIONS TO BE EPoxy COATED.
- ALL HARDSCAPE TO BE A MINIMUM OF 4" THICK AIR ENTRAINED CONCRETE OVER 8 ROAD BASE. UNO. AND ALL SIDEWALKS SHALL BE NO LESS THAN 6" WIDE.
- FINISH GRADE OF SOFTSCAPE SHALL BE 2" UNIFORMLY BELOW PAVING SURFACES UNLESS NOTED OTHERWISE.
- FINISH GRADE OF SOFTSCAPE SHALL BE 2" UNIFORMLY BELOW PAVING SURFACES UNLESS NOTED OTHERWISE.
- 12" X 4" CONTINUOUS MINIMUM CONCRETE MOW STRIP TO BE PROVIDED AROUND ENTIRE BUILDING EXCEPT WHERE CONCRETE SIDEWALKS OR PLANTERS OCCUR. TYP. SEE DETAIL AA8A.02.
- LIGHT POLE BASE IN ALL LANDSCAPE LOCATIONS TO BE 6" ABOVE FINISHED GRADE. BE LOCATED AT LEAST 30' FROM FACE OF POLE BASE TO BACK OF CURB AND HAVE A CONCRETE MOW STRIP PER DETAIL AA8A.02. VERIFY LOCATION ON SITE WITH ARCHITECT PRIOR TO ANY INSTALLATION.
- LIGHT POLE BASE IN ALL PAVED LOCATIONS TO BE 30" ABOVE FINISHED GRADE. VERIFY LOCATION ON SITE WITH ARCHITECT PRIOR TO ANY INSTALLATION.
- REMOVE POE TO HAVE VAULT FOR DRAINAGE. SEE DETAIL X0A3.0X.
- COORDINATE ORIENTATION OF FIRE HYDRANT OUTLETS WITH THE FIRE MARSHALL'S OFFICE PRIOR TO THE FINAL INSTALLATION OF THE HYDRANT ASSEMBLY.

LEGAL DESCRIPTION

Parcel # 08-35-477-003
 Address: 730 N 800 W
 800 West 800 North Parcel
 Beginning at a point on the east line of the vacated right of way parcel recorded in Ordinance Number 42 of 1989 at the East Lake City Recorder's Office and is 89' 00.00" N, 19' 12.59" E, 86.28' East from the Southeast Corner of Lot 1, Block 10, of Salt Lake City Survey, said Southeast Corner of Lot 1, said being 86' 59.25" W, 63.90' East and N00°00'20" E, 83.86' East from the intersection of the East line of Salt Lake City Survey, said Southeast Corner of Lot 1, said being 19' 12.59" E, 86.28' East from the Southeast Corner of Lot 1, said being 215.75' East to the north corner of Wright Engineering Park Subdivision recorded in Book 1995, Page 181 with the Salt Lake County Recorder's Office, thence along the northwest line of said Wright Engineering Park 538' 19" W, 174.70' East, thence N77° 01' 10" W, 15.78' East to a point on a non-sagittal curve to the left, thence along said curve 177' East, radius 52 feet, chord length 103.11 feet, chord bearing N79° 31' 53" W, and Date 1957' 01' 00", thence N85° 47' 58" E, 85.22' East to the east line of said vacated parcel Number 42 of 1989 and the point of beginning. Contains 33,106.19 sq. ft. or 0.760 acres.



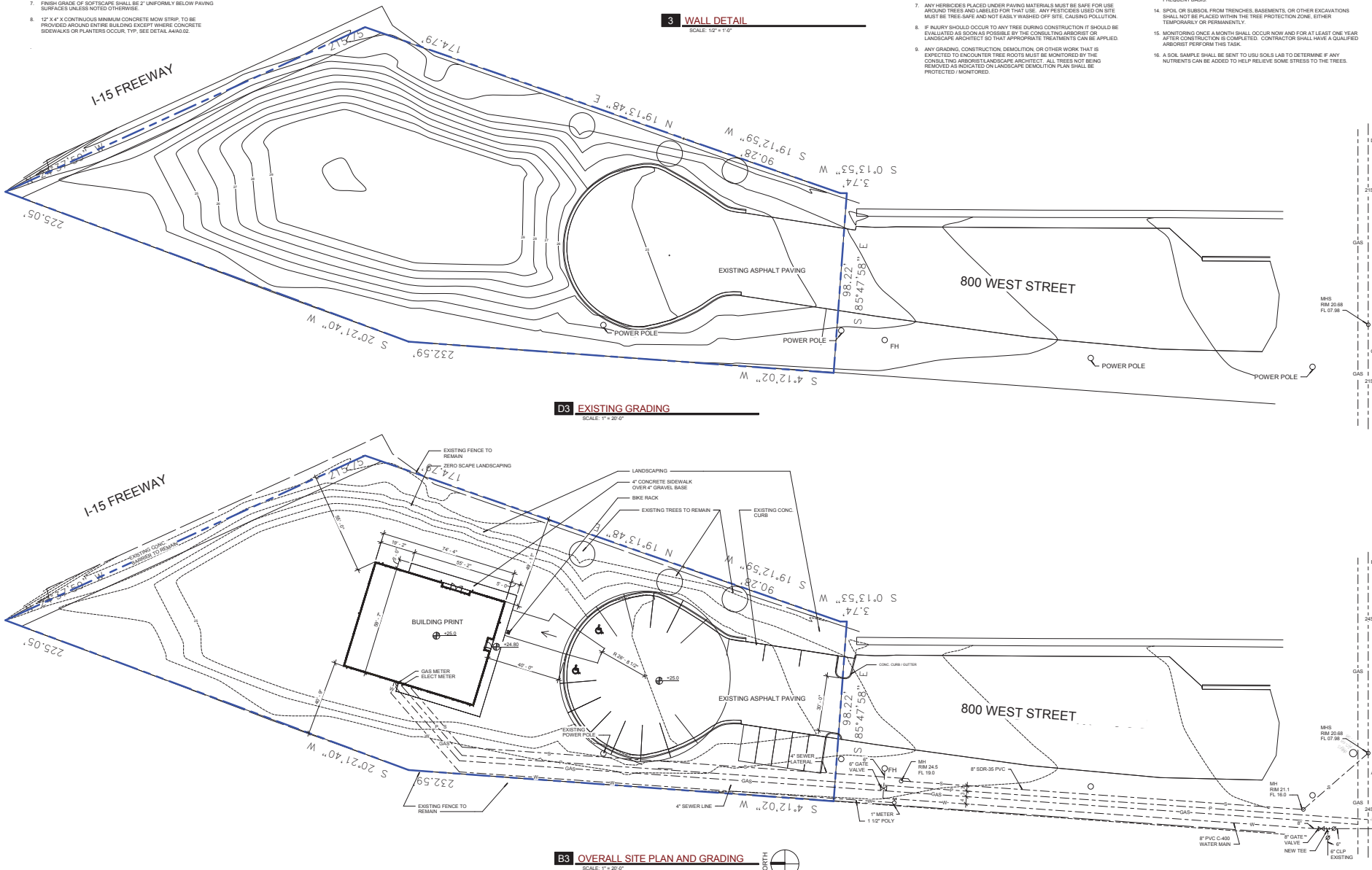
3 WALL DETAIL
 SCALE: 1/2" = 1'-0"

TREE PRESERVATION GUIDELINES AND NOTES

- FENCES WILL BE ERRECTED TO PROTECT TREES TO BE PRESERVED. FENCES DEFINE A SPECIFIC PROTECTION ZONE FOR EACH TREE OR GROUP OF TREES. FENCE TO BE AT A MINIMUM OF 30' FROM TRUNK OR AT DROP LINE OF TREE, WHICHEVER IS GREATER. FENCES ARE TO REMAIN UNTIL ALL SITE WORK HAS BEEN COMPLETED. FENCES MAY NOT BE RELOCATED OR REMOVED WITHOUT THE WRITTEN PERMISSION OF THE CONSULTING ARBORIST OR THE ARCHITECT.
- INSIDE ALL PROTECTED TREE FENCE AREAS, CONTRACTOR TO PROVIDE WOOD CHIPS, MINIMUM 4" DEEP.
- CONSTRUCTION TRAILERS AND TRAFFIC STORAGE AREAS MUST REMAIN OUTSIDE FENCED AREAS AT ALL TIMES.
- ALL UNDERGROUND UTILITIES AND DRAIN OR IRRIGATION LINES SHALL BE ROUTED OUTSIDE THE TREE PROTECTION ZONE. IF LINES MUST TRAVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREE(S).
- NO MATERIALS, EQUIPMENT, SPOIL OR WASTE OR WASHOUT WATER MAY BE DEPOSITED, STORED OR PARKED WITHIN THE TREE PROTECTION ZONE (IF APPLICABLE).
- ADDITIONAL TREE PRUNING REQUIRED FOR CLEARANCE OR TREE HEALTH DURING CONSTRUCTION MUST BE PERFORMED BY A QUALIFIED ARBORIST AND NOT BY CONSTRUCTION PERSONNEL.
- ANY HERBICIDES PLACED UNDER PAVING MATERIALS MUST BE SAFE FOR USE AROUND TREES AND LABELED FOR THAT USE. ANY PESTICIDES USED ON SITE MUST BE TREE-SAFE AND NOT EASILY WASHED OFF SITE, CAUSING POLLUTION.
- IF AN INJURY SHOULD OCCUR TO ANY TREE DURING CONSTRUCTION IT SHOULD BE EVALUATED AS SOON AS POSSIBLE BY THE CONSULTING ARBORIST OR THE LANDSCAPE ARCHITECT SO THAT APPROPRIATE TREATMENTS CAN BE APPLIED.
- ANY GRADING, CONSTRUCTION, DEMOLITION, OR OTHER WORK THAT IS EXPECTED TO ENCOUNTER TREE ROOTS MUST BE MONITORED BY THE CONSULTING ARBORIST/LANDSCAPE ARCHITECT. ALL TREES NOT BEING REMOVED AS INDICATED ON LANDSCAPE DEMOLITION PLAN SHALL BE PROTECTED / MONITORED.
- IRRIGATION WATER TO THE TREES AND SHRUBS TO REMAIN SHOULD BE AT LEAST 1 INCH A WEEK DURING GROWING SEASON UNTIL PROJECT COMPLETION (MAY VARY). THIS WILL BE APPLIED WITH SPRINKLERS EVENLY OVER THE WHOLE ROOT SYSTEM. AT LEAST A WEEK TWO TIMES PER WEEK WITH 1/2 INCH OF WATER DELIVERED EACH WATERING CYCLE. NEWLY PLANTED PLANTS THAT HAVE NOT BECOME ESTABLISHED (2 YEARS OR LESS) WILL ALSO NEED IRRIGATION TO ENSURE THEIR SURVIVAL. IT IS RECOMMENDED THAT A TEMPORARY IRRIGATION SYSTEM BE DESIGNED ACCORDING TO THE VOLUME AND FLOW OF THE WATER SOURCE TO WATER THE PLANT MATERIAL.
- EROSION CONTROL DEVICES SUCH AS Silt FENCING, Silt BARRIERS, BARRIERS, AND WATER DIVERSION STRUCTURES SHALL BE INSTALLED TO PREVENT SILTATION AND OR EROSION WITHIN THE TREE PROTECTION ZONE.
- ANY ROOTS DAMAGED DURING GRADING, TRENCHING OR CONSTRUCTION SHALL BE EXPOSED TO SOUND TISSUE AND CUT CLEANLY WITH A SAW. CONTRACTOR SHALL HAVE A QUALIFIED ARBORIST OR LANDSCAPE ARCHITECT OBSERVE THIS WORK.
- IF TEMPORARY HAUL OR ACCESS ROADS MUST PASS OVER THE ROOT AREA OF TREES TO BE RETAINED, A MINIMUM OF 6 INCHES OF COURSE WOOD CHIP MULCH SHALL BE CREATED TO PROTECT THE SOIL AND ROOTS. THE ROAD BED MATERIAL SHALL BE REPLISHED AS NECESSARY TO MAINTAIN A 4-INCH DEPTH UNDER NO CIRCUMSTANCES SHALL SUCH ACCESS ROADS BE USED ON A FREQUENT BASIS.
- SPOIL OR SUBSOIL FROM TRENCHES, BASEMENTS, OR OTHER EXCAVATIONS SHALL NOT BE PLACED WITHIN THE TREE PROTECTION ZONE, EITHER TEMPORARILY OR PERMANENTLY.
- MONITORING ONCE A MONTH SHALL OCCUR NOW AND FOR AT LEAST ONE YEAR AFTER CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL HAVE A QUALIFIED ARBORIST PERFORM THIS TASK.
- A SOIL SAMPLE SHALL BE SENT TO USU SOILS LAB TO DETERMINE IF ANY NUTRIENTS CAN BE ADDED TO HELP RELIEVE SOME STRESS TO THE TREES.

D3 EXISTING GRADING
 SCALE: 1" = 20'-0"

B3 OVERALL SITE PLAN AND GRADING
 SCALE: 1" = 20'-0"



REV	DATE	DESCRIPTION

VCBO NUMBER: 18095
 CLIENT NUMBER: 2017-07-28
 DATE: 2017-07-28

ROSE PARK NEIGHBORHOOD COMMUNITY CENTER
 GOOD SAMARITAN FOUNDATION
 754 NORTH, 800 WEST, SALT LAKE CITY, UT, 84116
 CONSTRUCTION DOCUMENT



KEYED NOTES	
006.1	REINFORCED CONCRETE SLAB ON GRADE SLOPED TO SIDEWALK
006.4	COUNTERTOP: PLASTIC LAMINATE WITH BACK AND SIDE SPLASH
017.0	MILWORK: FREE STANDING RECEPTION DESK
000.0	2019 FLUSH SC DOOR AND/OR FRAME
800.1	2019 FLUSH SC DOOR AND/OR FRAME - 20 MIN RATED DOOR
801.0	2019 MIL WORK AND FRAME
802.0	ALUMINUM THERMALLY-BREAK SYSTEM, NFRC ASSEMBLY (U-FACTOR 0.38 MIN)
805.0	2019 DOUBLE GLAZED FIXED WINDOW SYSTEM NFRC ASSEMBLY (U-FACTOR 0.38 MIN.)
806.0	2019 DOOR ACTUATOR
000.0	1" THICK RATED 2x6 WOOD STUD PARTITION
000.2	1" THICK RATED 2x4 WOOD STUD PARTITION
1004.1	FOLDING PANEL PARTITION
1004.2	GLAZED DOOR/FOLDING PARTITION
1009.0	FIRE EXTINGUISHER
1011.0	TRASH RECEPTACLE
1019.0	FOLDING BABY CHANGING STATION
1100.4	REF REFRIGERATOR NFRC
1200.0	STREET FURNITURE
2000.0	SINK + FAUCET
2212.0	SERVICE SINK
2202.0	H-LO DRINKING FOUNTAIN
2000.1	4" THICK CONCRETE SIDEWALK WITH SUBBASE

PARTITION + FRAMING GENERAL NOTES

- STUCCO WALL PARTITIONS**
- PARTITION TYPE INDICATIONS ARE ASSIGNMENT OF APPLIED FINISHES. SEE FINISH SHEETS AND INTERIOR ELEVATIONS FOR WALL FINISHES INCLUDING THE COURSE AND LAYOUT AND/OR THE ELEVATIONS ON THE PLANS FOR ADDITIONAL INFORMATION REGARDING APPLIED FINISHES.
 - WHERE PARTITION TYPE DESIGNATION ON FLOOR PLANS IS INTERRUPTED BY DOOR OPENING, GLAZED PARTITION, ETC., CONSTRUCTION ABOVE INTERRUPTION AND WHERE APPLICABLE BELOW IS TO BE THE SAME AS THAT DESIGNATED FOR THE PARTITION IN WHICH THE INTERRUPTION OCCURRED.
 - THE MINIMUM REQUIREMENTS FOR CONSTRUCTION OF EACH PARTITION TYPE AS EXPRESSED BY THE INDICATED REFERENCES ARE INCORPORATED BY REFERENCE AND ARE APPLICABLE TO THE WORK OF THIS PROJECT. HOWEVER, ADDITIONAL AND/OR MORE RESTRICTIVE REQUIREMENTS MAY BE INDICATED BY THE SPECIFICATIONS AND DRAWINGS. SUCH REQUIREMENTS ALSO APPLY AND SHALL GOVERN. SUCH REQUIREMENTS INCLUDE BUT ARE NOT LIMITED TO:
 - USE 5/8" THICK OYSPUM BOARD THROUGHOUT UNLESS NOTED OTHERWISE.
 - USE 1/2" OC WALL STUDS UNLESS NOTED OTHERWISE IN THESE DOCUMENTS. THE MAX SPACING IF ALLOWED IN THESE DOCUMENTS.
 - USE STUDS OF GAUGE INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS. THE GAUGE STATED BY THE REFERENCED APPROVAL OR TEST REPORT IS THE MINIMUM GAUGE TESTED. 20 GA (30 MILS) IS THE MINIMUM ALLOWED IN THESE DOCUMENTS.
 - USE STUDS OF DEPTH INDICATED BY THIS SET OF DOCUMENTS. THE DEPTH STATED BY THE REFERENCED APPROVAL OR TEST REPORT IS THE MINIMUM DEPTH TESTED. OYSPUM ALLOWED IN THESE DOCUMENTS. SEE STRUCTURAL DOCUMENTS FOR ADDITIONAL INFORMATION PERTAINING TO THE CONSTRUCTION OF CONCRETE, MASONRY AND STUD WALLS.
 - PROVIDE FIRE RATED CONSTRUCTION ASSEMBLIES WHERE INDICATED ON SHEETS 0105 AND FLOOR PLAN DRAWINGS.
 - ALL DIMENSIONS ARE CENTER OF STUD (OR STUD) FACE OF CONCRETE, ROUGH OPENING UNLESS NOTED OTHERWISE. EDGE FINISHES WILL BE NOTED AS FOL.
 - WALL TYPES NOT NOTED ARE ASSUMED TO MATCH ADJACENT ROOMS. SEE SHEETS FOR FINISHES. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - AT WALL OPENINGS FOR PENETRATION OF PIPES, DUCTS, DEVICES, ETC., OYSPUM BOARD IS TO BE CUT TO MATCH THE SHAPE AND DIMENSION OF THE PENETRATING OBJECT AND THE GAP BETWEEN THE OBJECT AND THE WALL IS TO BE SEALED W/ ACETOXIC OR FIRE SEALANT ON ALL SIDES WITH A 3/4" JOINT AT ALL SIDES. MAXIMUM OPENING FOR DUCTS OR LARGE PENETRATIONS SHALL BE FRAMED WITH A HEADER, AND AN ANKLED CORNER BRACE IF THE GAP EXCEEDS 3" FROM FRAMING TO THE OPENING.
 - PROVIDE BLOCKING / BACKING FOR ALL WALL MOUNTED EQUIPMENT. SEE FLOOR PLANS AND INTERIOR ELEVATIONS FOR CABINETS, GRAB BARS ETC. INSTALL BLOCKING AS DETAILED OR AS REQUIRED TO MOUNT SUCH DEVICES. ALL BLOCKING IS TO BE FIRE RETARDANT TREATED.
 - WHERE THERE IS LIMITED WATER EXPOSURE: INSTALL ONE LAYER OF 5/8" TYPE X WATER RESISTANT OYSPUM BOARD PER ASTM C1336 (WHERE OYSPUM BOARD OCCURS) OF BASIC PARTITION AT THE FOLLOWING LOCATIONS:
 - WITHIN 2 FEET HORIZONTALLY AND 4 FEET VERTICALLY OF JANITORS SINKS
 - AT OTHER LOCATIONS, I.E. TOILET ROOMS AND KITCHENS, AND AS INDICATED ON THE ARCHITECTURAL FINISH PLANS AND ELEVATIONS.
 - INSTALL ONE LAYER OF 5/8" GLASS MAT TLE BACKER BOARD IN LIEU OF OYSPUM BOARD WHERE OYSPUM BOARD OCCURS OF BASIC PARTITION WHERE THERE IS NO FIRE RATING AND OTHER OYSPUM BOARD FACE LAYER AT FIRE RATED PARTITIONS AT THE FOLLOWING LOCATIONS:
 - AT WET LOCATIONS, SUCH AS SHOWER STALLS AND TUB SURROUNDS.
 - WHERE CERAMIC TILE FINISHES ARE INDICATED FOR THE FINISH PLANS AND/OR INTERIOR ELEVATIONS.
 - AT OTHER LOCATIONS AS INDICATED BY THE ARCHITECTURAL FINISH PLANS AND ELEVATIONS.
 - WHERE NEW WALLS OR PARTITIONS ARE INDICATED TO BE DIMENSIONED OFF OF AN EXISTING WALL, THE NEW WALL SHALL BE STRAIGHT AND PLUMB REGARDLESS OF THE CONDITION OF THE EXISTING WALL.
 - ALL EXTERIOR STUD WALLS TO HAVE CONTINUOUS INSULATION, VAPOR BARRIER AND AIR INFILTRATION BARRIER FOR THE FULL HEIGHT AND LENGTH OF THE WALL. SEE ALL PARTITIONS. SEE DETAILS ON SHEET A011 FOR TYPICAL TOP OF WALL CONDITION.
 - THE AIR INFILTRATION BARRIER IS TO WRAP INTO ALL WINDOW AND DOOR OPENINGS.
 - COORDINATE WITH FIRE MARSHAL FOR FIRE EXTINGUISHER LOCATIONS.

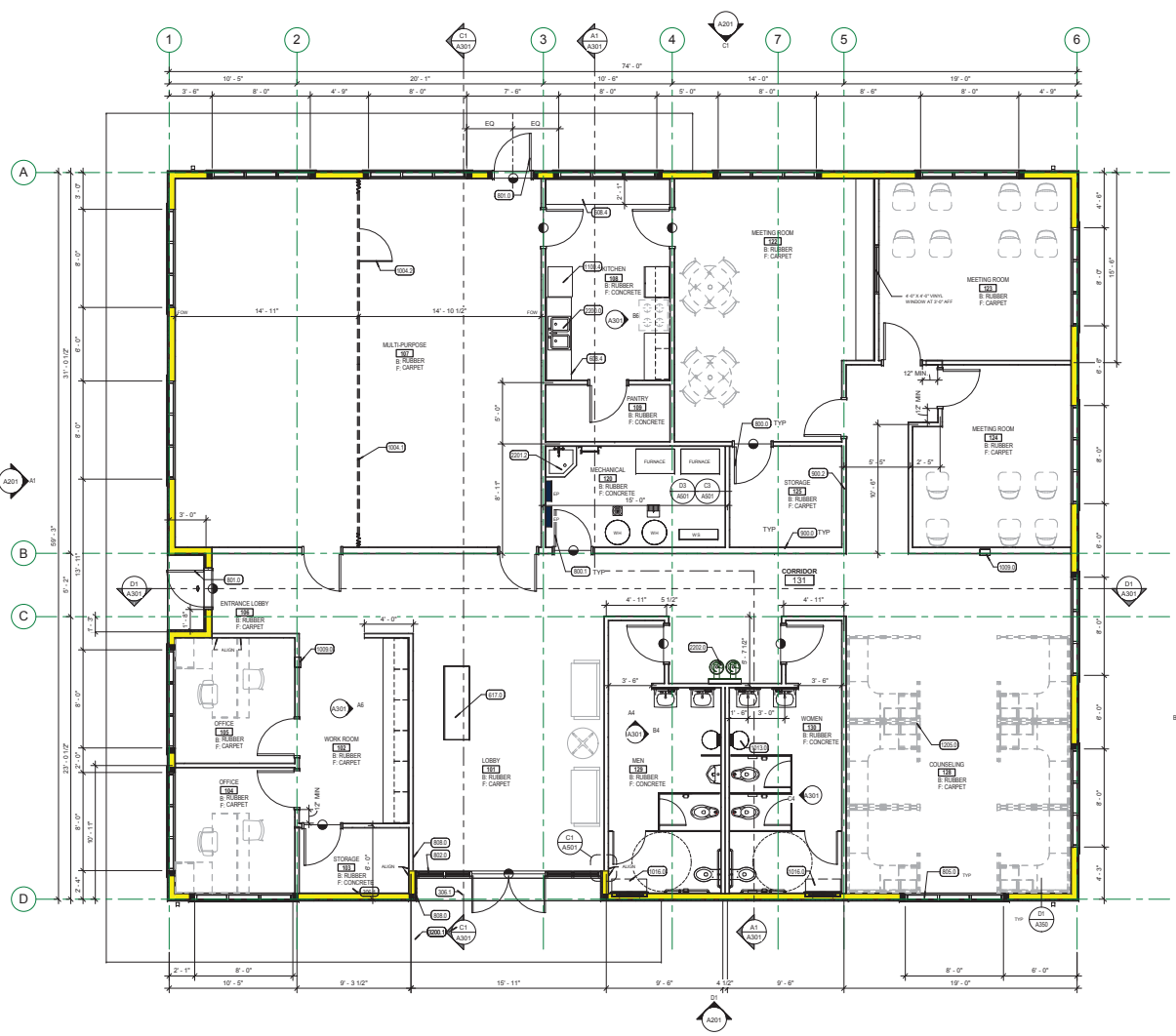


REV	DATE	DESCRIPTION

VCBO NUMBER: 16095
 CLIENT NUMBER: 2017-11-30
 DATE:

ROSE PARK NEIGHBORHOOD COMMUNITY CENTER
 GOOD SAMARITAN FOUNDATION
 754 NORTH, 800 WEST, SALT LAKE CITY, UT, 84116
 CONSTRUCTION DOCUMENT

PLAN - ANNOTATED - LEVEL 01
A111.1



A2 PLAN - LEVEL 01 - ANNOTATED
 SCALE: 1/4" = 1'-0"

KEYED NOTES

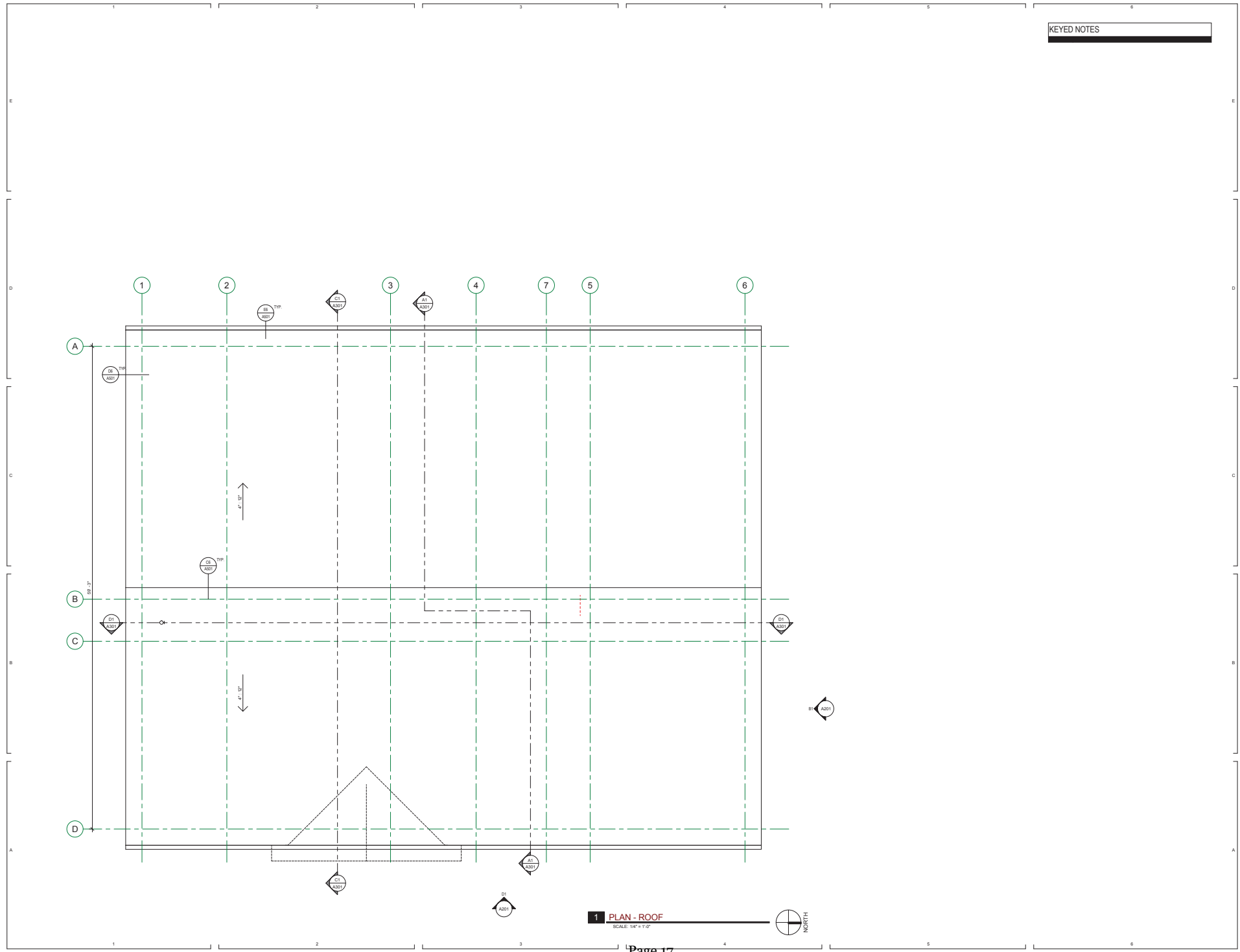


REV	DATE	DESCRIPTION

VCBO NUMBER: 16095
 CLIENT NUMBER: 2017-11-30
 DATE: 2017-11-30

ROSE PARK NEIGHBORHOOD COMMUNITY CENTER
 GOOD SAMARITAN FOUNDATION
 754 NORTH, 800 WEST, SALT LAKE CITY, UT, 84116
 CONSTRUCTION DOCUMENT

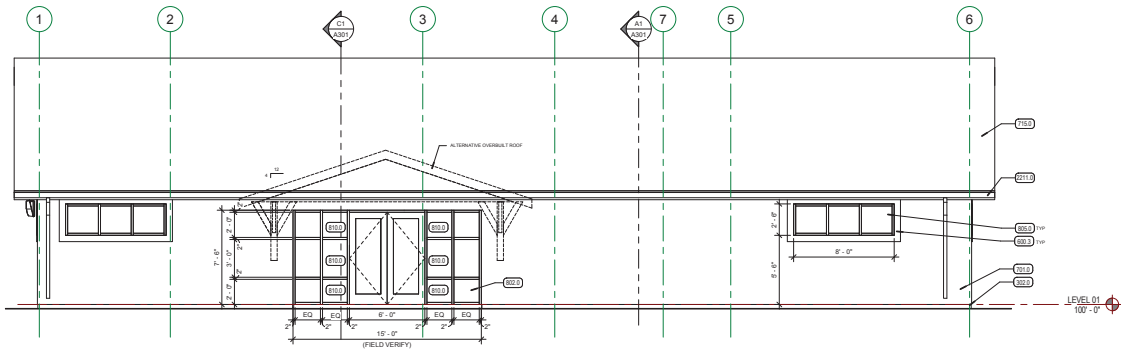
PLAN - ROOF
A130



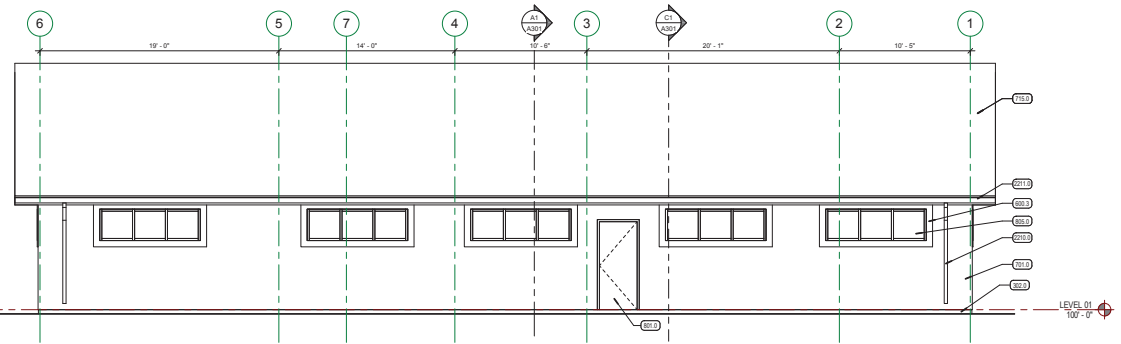
1 PLAN - ROOF
 SCALE: 1/4" = 1'-0"



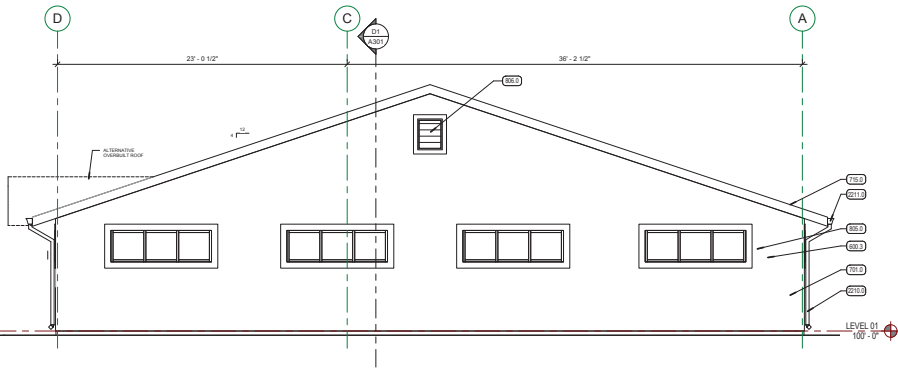
KEYED NOTES	
012.0	REINFORCED CONCRETE FOUNDATION WALL, ARCHITECTURAL GRADE FINISH WHERE EXPOSED
013.0	1/2" WOOD T&B FINISH, COARSE BY ARCHITECT
021.0	1" EXTERIOR EPS INSULATION, METAL LATH AND STUCCO FINISH, COLOR BY ARCHITECT
715.0	ASPHALT SHINGLES
801.0	80/20 HM DOOR AND FRAME
802.0	ALUMINUM STOREFRONT SYSTEM, NFRC ASSEMBLY (U-FACTOR = 0.38 MN)
805.0	W/NG, DOUBLE GLAZED FIXED WINDOW SYSTEM W/NG30" NFRC ASSEMBLY (U-FACTOR = 0.38 MN)
806.0	ATYC VENT W/NG
810.0	GLAZING, TEMPERED
0210.0	DOWNPOUT
0211.0	PRE-FORMED GUTTER, TOP MOUNTED



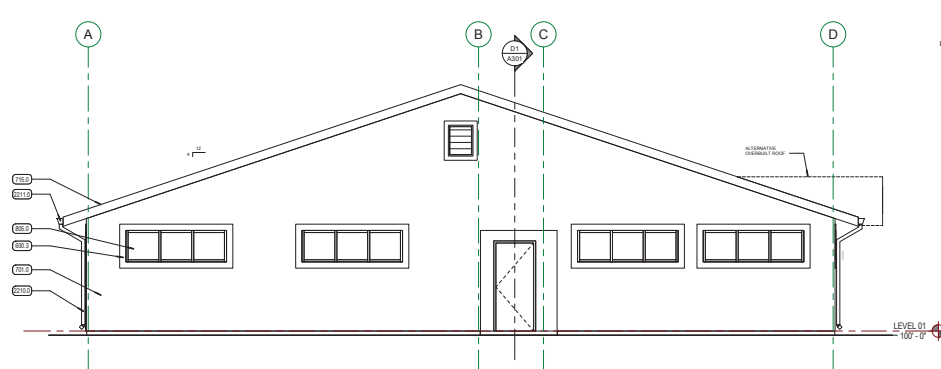
D1 ELEVATION - EXTERIOR - EAST
SCALE: 1/4" = 1'-0"



C1 ELEVATION - EXTERIOR - WEST
SCALE: 1/4" = 1'-0"



B1 ELEVATION - EXTERIOR - NORTH
SCALE: 1/4" = 1'-0"



A1 ELEVATION - EXTERIOR - SOUTH
SCALE: 1/4" = 1'-0"

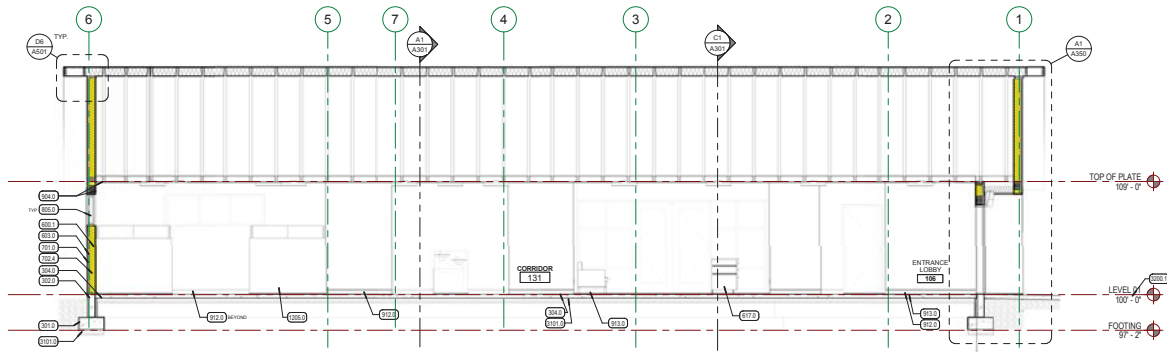


REV	DATE	DESCRIPTION

VCBO NUMBER: 16095
CLIENT NUMBER: 2017-07-28
DATE: 2017-07-28

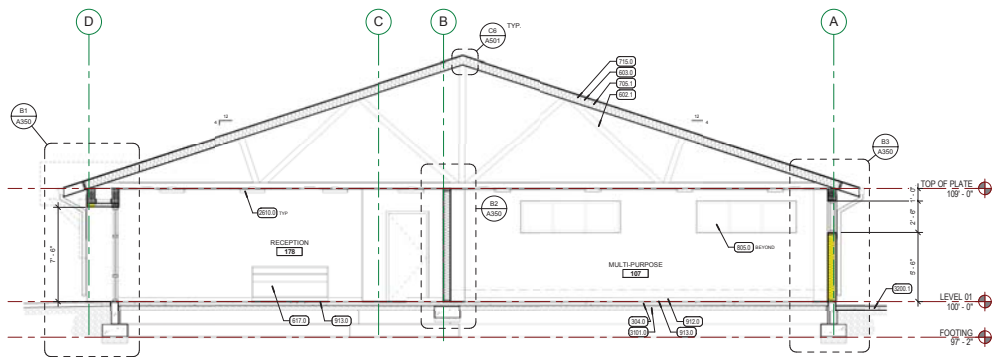
ROSE PARK NEIGHBORHOOD COMMUNITY CENTER
GOOD SAMARITAN FOUNDATION
754 NORTH, 800 WEST, SALT LAKE CITY, UT, 84116
CONSTRUCTION DOCUMENT

EXTERIOR ELEVATIONS
A201



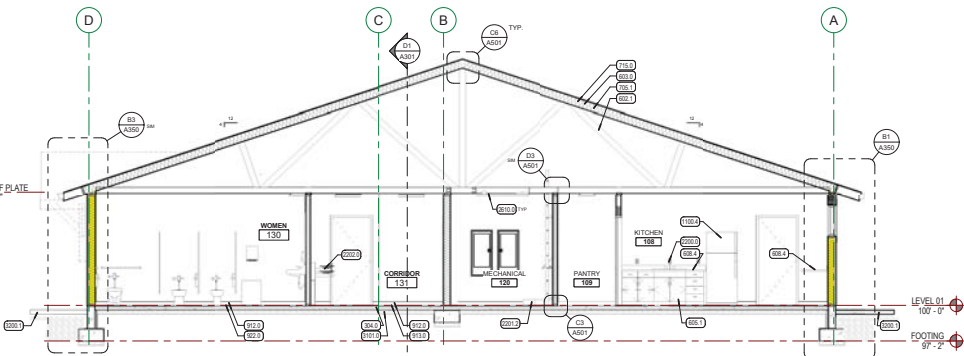
D1 BUILDING SECTION A

SCALE: 1/4" = 1'-0"



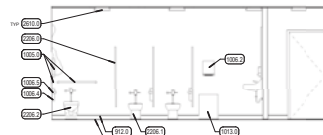
C1 BUILDING SECTION B

SCALE: 1/4" = 1'-0"



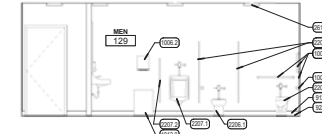
A1 BUILDING SECTION C

SCALE: 1/4" = 1'-0"



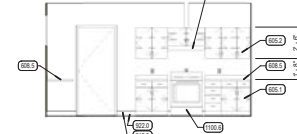
C4 RESTROOM ELEVATION - WOMEN

SCALE: 1/4" = 1'-0"



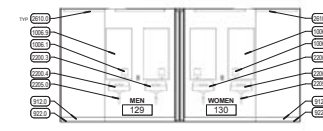
B4 RESTROOM ELEVATION - MEN

SCALE: 1/4" = 1'-0"



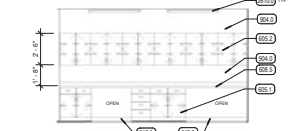
B6 KITCHEN

SCALE: 1/4" = 1'-0"



A4 RESTROOM ELEVATION

SCALE: 1/4" = 1'-0"



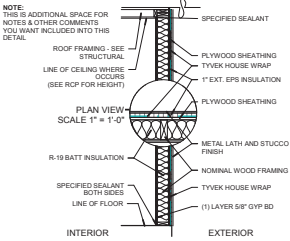
A6 INTERIOR ELEVATION - PRINTING

SCALE: 1/4" = 1'-0"

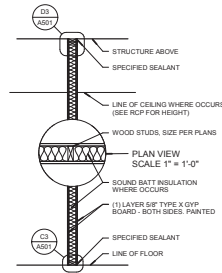
KEYED NOTES

051.0	REINFORCED CONCRETE FOOTING
052.0	REINFORCED CONCRETE FOUNDATION WALL, ARCHITECTURAL GRADE FINISH WHERE EXPOSED
054.0	REINFORCED CONCRETE SLAB, 4"
055.1	2X6 WOOD FRAMING
055.1	PRE MANUFACTURED ROOF TRUSS - SEE STRUCTURAL
055.9	PLYWOOD BREATHING W/ AIR MOISTURE BARRIER
055.1	MILWORK WALL MOUNTED BASE CABINET WITH BLOCKING
055.2	MILWORK WALL MOUNTED UPPER CABINET WITH BLOCKING
055.4	COUNTERTOP, PLASTIC LAMINATE WITH BACK AND SIDE SPLASH
055.5	COUNTERTOP, PLASTIC LAMINATE WITH BACK SPLASH / SIDE SPLASH
057.0	MILWORK FREE STANDING RECEPTION DESK
059.0	1" EXTERIOR EPS INSULATION, METAL LATH AND STUCCO FINISH, COLOR BY ARCHITECT
102.4	2" TO BATH INSULATION TUBE, THICKNESS
105.1	ROOF BATH INSULATION
115.0	SPRINKY TRINKLES
050.0	VINYL DOUBLE GLAZED FIXED WINDOW SYSTEM 50"X20" NFRC ASSEMBLY (U FACTOR @ 0.30 W/W)
054.0	5/8" GYPSUM BOARD PAINTED WHERE EXPOSED
072.0	CEILING BASE
013.0	CABINET
022.0	SEALED CONCRETE FLOOR, EPOXY PAINT
105.0	STAIRS
105.1	DISPENSER, SOAP, OWNER PROVIDED/CONTRACTOR INSTALLED
105.4	DISPENSER, PAPER TOWELS, OWNER PROVIDED/CONTRACTOR INSTALLED
105.4	DISPENSER, SANITARY MOPPING
105.5	DISPENSER, TOILET PAPER
105.9	BRICK WITH SF FRAME
105.10	TRASH RECEPTACLE
1100.4	REF REFRIGERATOR, N/C
1150.8	ELECTRIC RANGE AND OVEN
1150.8	TYPE I HOOD
1200.0	TYPE 15M FINISHURE
2200.0	SINK + FAUCET
2200.4	SAVATORY + FAUCET, ADA COMPLIANT
2201.2	SERVICE SINK
2201.2	HAND DRINKING FOUNTAIN
2202.0	INSULATED PLUMBING PIPES
2202.0	TOILET PARTITION
2206.1	TOILET FLOOR KNOCK
2206.5	TOILET ADA COMPLIANT FRESHY
2207.1	URINAL, ADA COMPLIANT
2207.2	URINAL SCREEN
25.00	LIGHT FIXTURE
3101.0	FREE DRAINING GRAVEL BASE
3200.1	4" THICK CONCRETE SIDEWALK WITH SUBBASE

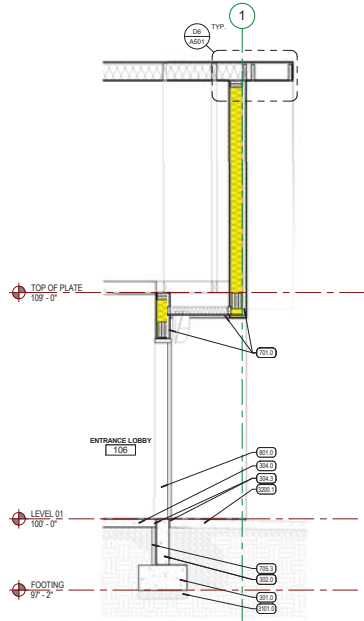
KEYED NOTES	
020.0	REINFORCED CONCRETE FOOTING
020.0	REINFORCED CONCRETE FOUNDATION WALL, ARCHITECTURAL GRADE FINISH WHERE EXPOSED
034.0	REINFORCED CONCRETE SLAB, 4"
034.3	EXPANSION STRIP, CONT.
050.1	2x6 WOOD FRAMING
050.0	PLYWOOD SHEATHING W/ AIR / MOISTURE BARRIER
711.0	1" EXTERIOR EPS INSULATION, METAL LATH AND STUCCO FINISH, COLOR BY ARCHITECT
702.4	R-19 BATT INSULATION, FULL THICKNESS
702.3	2" RIGID BD. INSL. CONT. AT FOUNDATION WALL (R-10 MIN.)
712.0	SOUND BATT INSULATION
801.0	3070 HM DOOR AND FRAME
802.0	ALUMINUM STOREFRONT SYSTEM, NFRC ASSEMBLY (U-FACTOR 1.0-3.0 MIN.)
044.0	1/2" GYPSUM BOARD PAINTED WHERE EXPOSED
011.0	CASPIE
1150.0	ENGINE EPS FILL
1201.0	FREE DRAINING GRAVEL BASE
1200.1	4" THICK CONCRETE SIDEWALK WITH SUBBASE



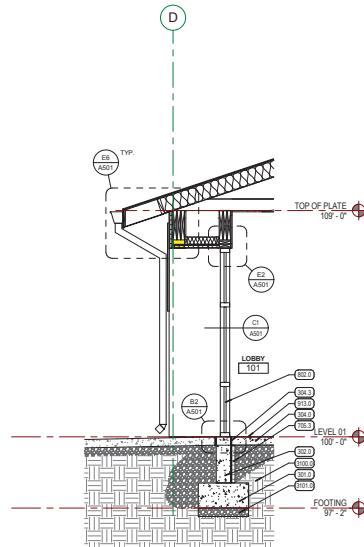
D1 EXTERIOR WALL
SCALE: 1/2" = 1'-0"



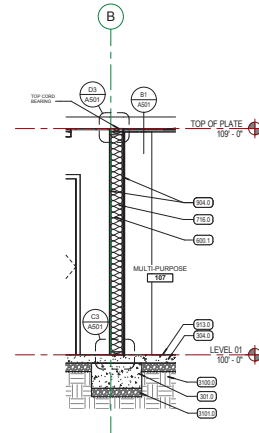
D2 NON-RATED WOOD STUD PARTITION
SCALE: 1/2" = 1'-0"



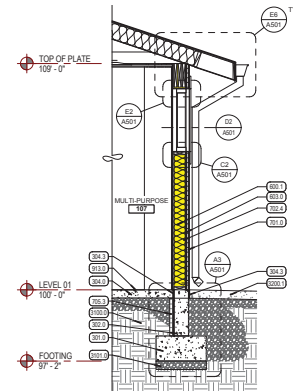
A1 WALL SECTION A1
SCALE: 1/2" = 1'-0"



B1 WALL SECTION B1
SCALE: 1/2" = 1'-0"



B2 WALL SECTION B2
SCALE: 1/2" = 1'-0"



B3 BUILDING SECTION B3
SCALE: 1/2" = 1'-0"

SCHEDULE - FOOTING								
Mark	Width	Length	Thickness	Crosswise		Lengthwise		Notes
				Reinforcing	Spacing	Reinforcing	Spacing	
FC2.0	2'-0"	Cont.	12"			(3) #4 x Cont.	EQ	
FS3.0	3'-0"	3'-0"	12"	(4) #4 x 2'-6"	EQ	(4) #4 x 2'-6"	EQ	

- FOOTING NOTES**
- PLACE CROSSWISE REINFORCING 3' CLEAR FROM GRADE
 - WHERE TOP REINFORCING IS INDICATED, PLACE TOP CROSSWISE REINFORCING 2' CLEAR FROM TOP OF FOOTING AND LENGTHWISE REINFORCING UNDER CROSSWISE REINFORCING
 - REINFORCING FOOTINGS MARKED WITH AN ASTERISK (*) EQUALLY TOP AND BOTTOM
 - REINFORCING FOOTINGS MARKED WITH AN ASTERISK (*) WITH #4@12" OC, EACH WAY AT TOP AND BOTTOM MAT AS SCHEDULED
 - ALL CONTINUOUS FOOTING SHALL BE FC2.0, AND SQUARED FOOTINGS SHALL BE FS3.0, MINIMUM, UNLESS NOTED OTHERWISE ON PLANS

PLAN KEYED NOTES

- FOOTING STEP: SEE DETAIL A65001. STEP LOCATIONS ARE SHOWN SCHEMATICALLY ONLY. COORDINATE STEPS WITH FINISH GRADES AND FLOOR ELEVATIONS TO MAINTAIN MINIMUM FROST DEPTH.
FOOTING ELEVATIONS SHOWN ARE BASED ON A UNIFORM GRADE 6" BELOW SLAB, PLUS 2' FROST COVER. COORDINATE ELEVATIONS SHOWN WITH CIVIL AND SITE PLANS FOR ANY ADDITIONAL DEPTH THAT MAY BE REQUIRED TO MAINTAIN MINIMUM FROST COVER OVER FOOTINGS.
- SHEARWALL TYPE ABOVE: SEE SHEET S201 FOR TYPICAL SHEARWALL ATTACHMENT.
ALL EXTERIOR SHEARWALLS ABOVE SHALL BE TYPE 1 CONSTRUCTION, UNO.
- SLAB ON GRADE SHALL BE 4" CONCRETE OVER 4" FREE-DRAINING GRAVEL UNO, REINFORCE SLAB WITH #6@18" x 18" W/W (USE FLAT SHEETS).
- IDENTIFIED SMIPRON HOLD-DOWN: INSTALL AT THE EDGE OF SHEARWALL PER MANUFACTURER'S RECOMMENDATIONS & SPECIFICATIONS. ANCHOR BOLT SHALL EMBED INTO FOUNDATION WALL 12" MINIMUM.

FOOTING & FOUNDATION GENERAL NOTES

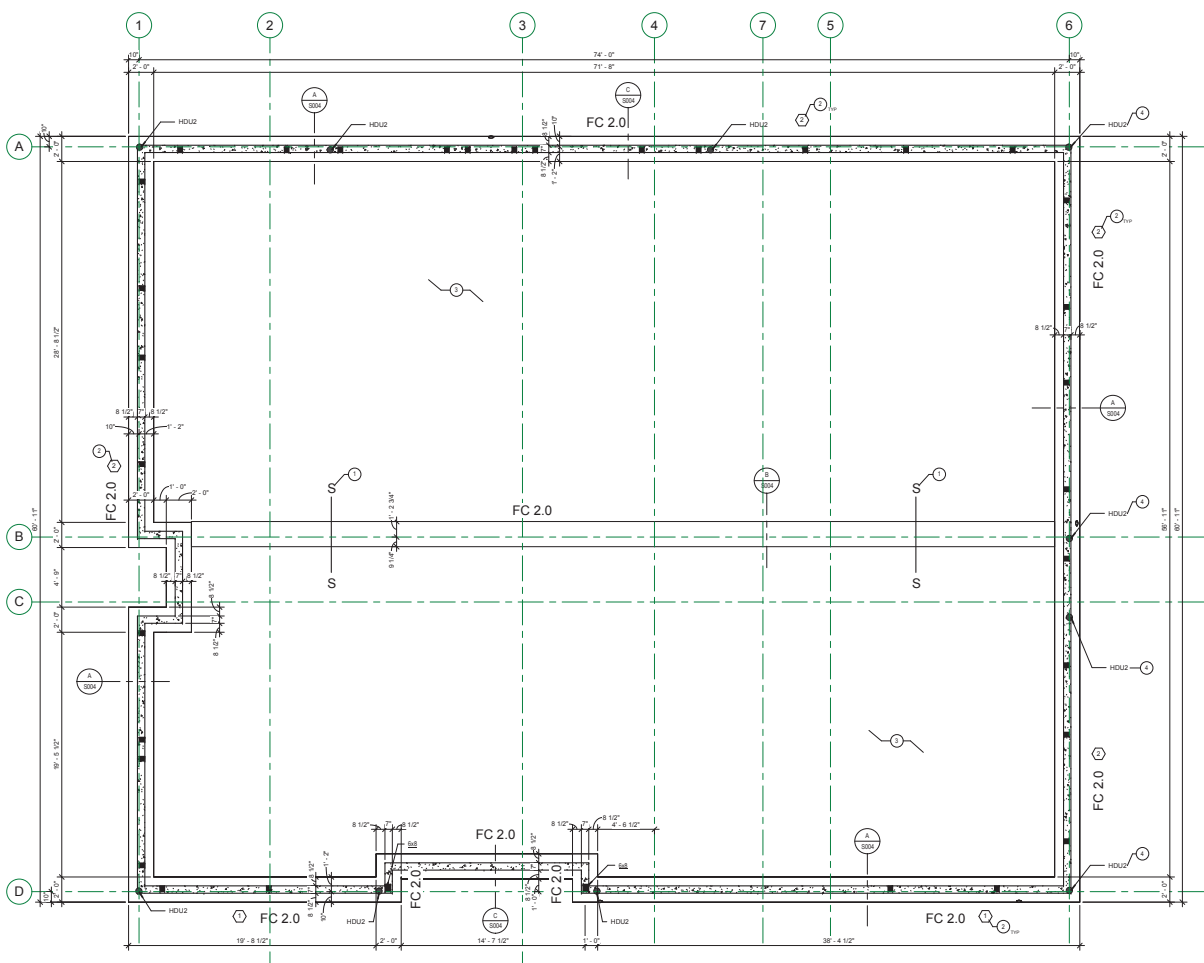
- # NUMBERED NOTES BELOW ARE KEYED ON PLAN.
 - SB DENOTES SLAB TYPES KEYED ON PLAN.
 - ** NOT ALL NOTES MAY APPLY TO AREA SHOWN ON SHEET.
- SEE STRUCTURAL NOTES ON SHEET S001 FOR ADDITIONAL INFORMATION.
 - TOP OF SLAB ELEVATION = 100'-0", UNLESS NOTED THUS. SLOPE UNFORMALLY TO FLOOR DRAIN.
 - PLACE CONTROL JOISTS AND CONSTRUCTION JOISTS IN SLAB PER STRUCTURAL NOTES. SEE DETAIL C5/S001.
 - SEE PLAN FOR FOOTING TYPE. SEE SCHEDULE THIS SHEET FOR FOOTING SIZE & REINFORCEMENT.
 - CENTER FOOTINGS ON WALLS AND COLUMNS UNLESS DIMENSIONED OTHERWISE ON PLANS.
 - SEE STRUCTURAL NOTES ON SHEET S_201 FOR MINIMUM FROST COVER FOR ALL EXTERIOR FOOTINGS.
 - WHERE RECESS IN SLAB OCCURS SEE DETAIL A55001.



REV	DATE	DESCRIPTION

VCBO NUMBER: 16095
CLIENT NUMBER: 2017-07-28
DATE: 2017-07-28

ROSE PARK NEIGHBORHOOD COMMUNITY CENTER
GOOD SAMARITAN FOUNDATION
745 NORTH, 800 WEST, SALT LAKE CITY, UT, 84116
CONSTRUCTION DOCUMENT



1 FOOTING AND FOUNDATION PLAN
SCALE: 1/4"=1'-0"

SHEET KEYNOTES

1. PROVIDE UNSWITCHED HOT TO EXIT SIGN.

GENERAL SHEET NOTES

1. PROVIDE UNSWITCHED HOT CONDUCTOR TO ALL EXIT SIGNS AND BATTERY PACKS.



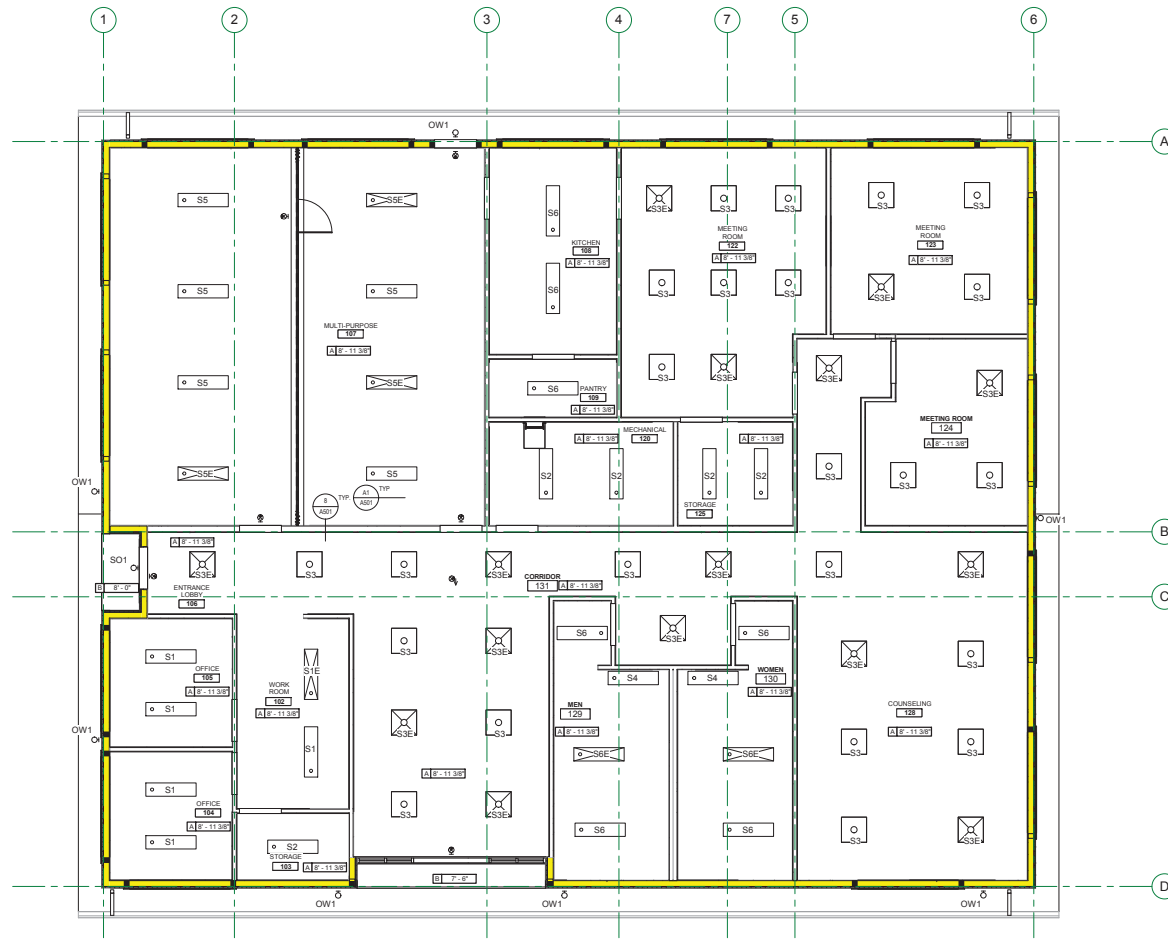
REV DATE DESCRIPTION

VCBO NUMBER: 16095
 CLIENT NUMBER: 00090
 DATE ISSUED: JULY 2017

ROSE PARK NEIGHBORHOOD COMMUNITY CENTER

GOOD SAMARITAN FOUNDATION
 745 NORTH, 800 WEST, SALT LAKE CITY, UT, 84116

CONSTRUCTION DOCUMENT



PLAN NORTH
 LIGHTING PLAN
 1/4" = 1'-0"

Rev: 08/16/17, Aug. 16, 2017 - 4:02pm
 S:\Projects\2017\Rose Park\170711-170711.dwg

ATTACHMENT D: ANALYSIS OF STANDARDS

21A.54.080 Standards for Conditional Uses

A. Approval Standards: A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title;

Analysis: Section 21A.33.020 Table of Permitted and Conditional Uses for Residential Districts lists community recreation centers as a conditional use within the RMF-35 Zoning District.

Finding: Staff finds that the use complies with, or can be made to comply with, all applicable provisions of this title, including the conditional use standards and requirements of the RMF-35 Zoning District.

2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;

Analysis: Please refer to Criteria 3 and 4 of the Detrimental Effects Determination, below, which analyzes the proposed use’s compatibility with adjacent land uses based on intensity, size, scale, and architectural design and detailing.

Finding: Based on the analysis below, Staff finds that the project, as proposed, is compatible with surrounding uses and its scale and design complements the surrounding neighborhood.

3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and

Analysis: The Northwest Master Plan and associated future land use map reserves the subject area for “high density residential” uses. The more specific zoning map designation of RMF-35 supports the master plan, and allows community recreation centers as a conditional use. The community recreation center use was added to the residential land use table via text amendment (Ordinance 61 of 2016) that was initiated by the applicant for the purpose of allowing this specific project to go forward.

Finding: The use is consistent with the adopted Northwest Master Plan and the proposed use is listed as a conditional use in this zoning district.

4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions (refer to analysis contained in chart below).

B. Detrimental Effects Determination: In analyzing the anticipated detrimental effects of a proposed use, the planning commission, or in the case of administrative conditional uses, the planning director or designee, shall determine compliance with each of the following:

Criteria	Finding	Rationale
1. This title specifically authorizes the use where it is located;	Complies	A community recreation center is listed as a conditional use in the RMF-35 zone.

<p>2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps;</p>	<p>Complies</p>	<p>The proposed use is consistent with the Northwest Master Plan, associated future land use map, and objectives of the RMF-35 Zoning District. Please refer to the analysis and finding for conditional use standard 3, above.</p>
<p>3. The use is well suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area;</p>	<p>Complies</p>	<p>The proposed use is compatible in intensity, size, and scale to existing sites and uses in the surrounding area. The subject property consists of two contiguous, City-owned parcels: a vacant portion of former right-of-way that abuts the freeway, which was vacated on September 20, 2016, and a portion that contains a cul-de-sac bulb that terminates 800 West, which was vacated on September 5, 2017. These two parcels will need to be consolidated prior to the issuance of a building permit to construct this project. The development will utilize the bulb to provide on-site parking, and the structure will be built on the undeveloped part of the site next to the freeway.</p> <p>Adjacent properties can be characterized as multi-family housing developments, with an apartment complex made up of multiple 3-story structures to the immediate west, and rows of single-story townhouses to the immediate east of the site. I-15 borders the northernmost property line.</p> <p>The footprint of the proposed structure is minimal in relation to the overall area of the site, with setback areas that greatly exceed the minimum required by code. In addition, the community center will only have one story that measures approximately 20 feet in height, well below the maximum allowable height of 35 feet and complementary to the existing nearby development. Staff finds that a community recreation center is an appropriate use for this portion of former right-of-way, and the new building may even serve as a buffer between the freeway and existing residences.</p>
<p>4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered;</p>	<p>Complies</p>	<p>As described above, all adjacent structures contain multi-family housing. As can be seen in Attachment B, the Solara apartment complex to the west consists of multiple 3-story structures with minimal architectural detailing. The single-level townhomes to the east are also very simple in form and design. The proposed community center fits in with the precedent already set, and is very modest with a single-story rectangular mass with one pitched roof form. The structure is not architecturally complex, but fits in with</p>

		the nearby housing types in mass, scale, design, and architectural detail.
5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows;	Complies	<p>All vehicular access points and driveways are already in place, as the development site was formerly a portion of 800 West, which was terminated in this area and capped with a cul-de-sac bulb. The portion of 800 West that is north of 700 North will almost exclusively serve the site, as the adjacent properties to the east and west are accessed from other nearby streets. 800 West dead-ends at the afore-mentioned cul-de-sac, which will contain all required parking spaces for the community center.</p> <p>The site can be accessed via 800 West, which dead-ends at the site, or 700 North. Both of these roads stem from the more major local roadways of 600 North and 900 West, which have adequate capacity to handle the anticipated traffic to the site each day (20-30 visitors at any given time).</p>
6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic;	Complies	<p>The site's unique location at the end of a now dead-end street with the existing cul-de-sac bulb serving as the parking area makes it so vehicular circulation is contained within those existing paved areas, and never really becomes internal to the site.</p> <p>There is an existing sidewalk that wraps around the perimeter of the bulb and extends along the east side of 800 West, ultimately connecting with the larger neighborhood sidewalk network. The proposal includes the addition of parking stalls near the cul-de-sac, but it appears that the majority of the sidewalks will be retained to allow for pedestrian access.</p> <p>In addition, all of the surrounding properties are fenced off from both the subject property and 800 West, preventing any unwanted vehicular, non-motorized, or pedestrian access in any direction. Due to the site characteristics outlined above, it's likely that visitors to the center traveling by any mode will utilize the roadways and sidewalks to directly access the building, and there will be no/very minimal impact on nearby properties.</p>
7. The site is designed to enable access and circulation for pedestrian and bicycles;	Complies	<p>The site is easily accessible for pedestrians and bicyclists due to its direct frontage on 800 West. There is an existing sidewalk on the east side of 800 West that leads to the site and connects with existing sidewalks throughout the rest of the</p>

		surrounding residential neighborhood. The closest UTA bus stops are on 900 West, one block away from the site. The surrounding streets do not have designated bike lanes, but they receive minimal traffic, and are relatively safe for bikers of various comfort levels. There will be bike racks installed at the community center for visitor use.
8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street;	Complies	As discussed above, all access routes to the site are already in place, and will only require minor modifications to serve the community center. The site will contain the minimum number of off-street parking spaces as required by the zoning ordinance. The applicant has indicated that they anticipate 20-30 visitors to the site at any given time, which would not cause significant increases in traffic or congestion on any abutting or adjacent streets, especially given that no nearby properties utilize this portion of 800 West to access their homes or parking areas. In addition, the clientele will largely be refugees transitioning to life in Utah, and it is not unreasonable to assume that they may not own personal vehicles, and will choose to access the site by foot, bike, or transit.
9. The location and design of off-street parking complies with applicable standards of this code;	Complies	The proposed off-street parking is located entirely within the subject property, with most spaces contained within the established cul-de-sac that was constructed by UDOT when 800 West was terminated in this area. Planning Staff has informed the Applicant that the RMF-35 Zoning District does not permit parking spaces to be located within the front yard setback area, which may result in the loss of approximately three (3) of the spaces shown on the attached site plan. The Transportation Division has requested that the site plan be updated to reflect the off-street parking calculation, but Planning Staff estimates that even with the loss of 3 spaces, the project will still exceed the minimum required number of spaces by two (2). In addition, the front yard setback area will need to be landscaped on both sides of the approach to the cul-de-sac.
10. Utility capacity is sufficient to support the use at normal service levels;	Complies	The proposal will need to comply with all comments provided by Public Utilities prior to the issuance of permits.

<p>11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts;</p>	<p>Complies</p>	<p>As mentioned above, the footprint of the proposed structure is minimal in relation to the total lot area, resulting in setback areas that significantly exceed the minimum required by the RMF-35 zoning district. In addition, all adjacent properties are screened from the site by various types of fencing. The Solara Apartment buildings to the west of the site are further buffered by their own parking structures, which line the western property line of the subject property.</p>
<p>12. The use meets City sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke;</p>	<p>Complies</p>	<p>The proposed use is planned for a location that will allow visitors to conveniently access the site by transit, foot, or bicycle, which greatly supports City sustainability goals. The project will not negatively impact the quality of surrounding air or water, and will not introduce any hazards or damage to adjacent properties. If patrons choose to smoke outdoors, there will be significant separation between the proposed community center building and any adjacent structures, and the operation will be subject to standards of the Salt Lake County Health Department.</p>
<p>13. The hours of operation and delivery of the use are compatible with surrounding uses;</p>	<p>Complies</p>	<p>In the submitted narrative, the applicant indicated that the hours of operation for the community center will be 8 a.m. to 6 p.m., Monday through Saturday. Staff finds that this schedule is compatible with adjacent multi-family residential uses, as the times of operation are not too early or too late in the day to cause nuisance to neighbors.</p>
<p>14. Signs and lighting are compatible with, and do not negatively impact surrounding uses; and</p>	<p>Complies</p>	<p>All proposed signage will need to comply with requirements of 21A.46.</p>
<p>15. The proposed use does not undermine preservation of historic resources and structures.</p>	<p>Complies</p>	<p>There are no historic resources or structures on site.</p>

ATTACHMENT E: PUBLIC PROCESS AND COMMENTS

The following is a list of public input opportunities related to the proposed project that have occurred:

Recognized Organizations:

Notice of the project and request for comment was sent to the Chairs of the Capitol Hill and Rose Park Community Councils (2) on December 12th, 2017. No response or request for a meeting presentation was received from either Council.

Open House:

Planning Staff held an Open House on January 18th, 2018, to solicit comments on the proposal. No comments were received.

Notice of the public hearing for the proposal included:

- Public hearing notice mailed on: February 1st, 2018
- Public hearing notice sign posted on property: January 30th, 2018
- Public notice posted on City and State websites and Planning Division list serve: February 7th, 2018

Public Comments Received:

At the time of this report, no public comments had been received.

ATTACHMENT F: DEPARTMENT REVIEW COMMENTS

Planning Staff notified and requested input from all City divisions and departments pertinent to this Conditional Use request. The comments listed below represent all feedback received.

Planning – *Ashley Scarff*

- The subject property currently consists of two (2) separate parcels, which will need to be combined through the lot consolidation process prior to the issuance of any building permits.
- The RMF-35 Zoning District does not permit off-street parking spaces to be located within front yard setback areas. Any parking spaces that fall within the first 20 feet of the parcel will need to be eliminated. The remainder of the front yard area shall be landscaped per 21A.24.130.F.

Zoning – *Gregory Mikolash*

Building Services finds no zoning related issues associated with the proposed use. Future comments may be associated with building permit construction and site documents.

Engineering – *Scott Weiler*

The Architectural Site Plan shows the existing cul-de-sac bulb on private property. Engineering has no objection to this but the SLC Fire Department needs to be consulted to see if an easement is required for a fire truck turn around.

Fire – *Kenney Christensen*

The proposed 4,200 square foot, single story structure under 30 feet in height, measured from grade plane to the highest roof surface or eave of a pitched roof; can have a single means of fire truck access; and would not require any aerial fire truck access, only hand-line and hand ladder access.

I recognize the proposed design from a pre-consultation meeting with the designer. Our office does have some clarification questions pertaining to the drawings submitted (PLNPCM2017-01020) since the dimensions are not clearly noted, in reference to the hand line fire hose access; and the turnaround (cul-de-sac); and the fire hydrant placement.

Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of IFC and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility, in accordance with IFC Section 503.1.1 buildings and facilities (the 150 feet hand line access can be extended when fire sprinklers are provided with an approved Alternate Means & Methods (AM&M) agreement). Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in IFC Sections 503.2.1 and 503.2.2 shall be maintained at all times. Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus (e.g. cul-de-sac), in accordance with IFC Section 503.2.5 Dead ends; and fire apparatus access roads shall be in accordance with IFC appendix D (see figure D103.1 required cul-de-sac diameter, radius, width; and Table D103.4), will determine if the road width leading to the cul-de-sac shall be 20 feet wide or 26 feet wide (note: structures under 30 feet in height only require 20 feet wide access road, however the length of the access road; and the placement of a fire hydrant near the access road will determine if 26 feet wide road is required leading up to the cul-de-sac; regardless of road width the cul-de-sac shall have a 96-foot wide diameter excluding the proposed parking area).

- **FIRE APPARATUS ACCESS ROAD.** A road that provides fire apparatus access from a fire station to a facility, building or portion thereof. This is a general term inclusive of all other terms such as fire lane, public street, private street, parking lot lane and access roadway.

- **FIRE LANE.** A road or other passageway developed to allow the passage of fire apparatus. A fire lane is not necessarily intended for vehicular traffic other than fire apparatus.

If the diameter of the cul-de-sac cannot be met, due to the nature of the cul-de-sac spanning both public and private property the any deviation in size and overall use will require AM&M approved by the Fire Prevention Bureau (FPB).

Compliance with the information noted above does not guarantee compliance with the International Fire and Building Codes, nor does it guarantee issuance of any permit.

Transportation – *Michael Barry*

The site plan must provide complete parking calculations indicating the following:

- Each type of use and associated parking ratio per Table 21A.44.030; and square footage (or other specified basis of measurement) of each type of use.
- Minimum number of ADA parking spaces required (21A.44.020.D)
- Minimum number of passenger vehicle parking spaces required (21A.44.030.G)
- Maximum number of passenger vehicles parking spaces required (21A.44.030.H)
- Minimum number of bicycle parking spaces required (21A.44.050.B.3)
- Any modifications to parking requirements (21A.44.040)
- Number of parking spaces provided (include both existing and proposed quantities)

Public Utilities – *Jason Draper*

Public Utilities has no objection to the conditional use. However, I do want to make the applicant aware of the following items related to building permit and construction:

- There is not currently public sewer, water or storm drain in 800 West north of 700 North.
- A new building on this property will require the installation of a new water main and sewer main in 700 North. These improvements would be at the developer's expense.
- Public Utility permit, connection, survey and inspection fees will apply.
- Please submit site utility and grading plans for review. Other plans such as erosion control plans and plumbing plans may also be required depending on the scope of work. Submit supporting documents and calculations along with the plans.
- Required improvements on the public sewer system will be determined by the Development Review Engineer. A plan and profile and Engineer's cost estimate must be submitted for review. The property owner is required to bond for the amount of the approved cost estimate.
- All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.
- All utilities must be separated by a minimum of 3ft horizontally and 18" vertically. Water and sewer lines require 10ft minimum horizontal separation.
- Required improvements on the public water system will be determined by the Development Review Engineer. New water mains must cross the entire frontage of the property. A plan and profile and Engineer's cost estimate must be submitted for review. The property owner is required to bond for the amount of the approved cost estimate.

One culinary water meter and one fire line are permitted per parcel. If the parcel is larger than 0.5 acres, a separate irrigation meter is also permitted. Each service must have a separate tap to the main.