



# Staff Report

PLANNING DIVISION  
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

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To: Salt Lake City Planning Commission

From: David J. Gellner, AICP, Principal Planner - 801-535-6107 - [david.gellner@slcgov.com](mailto:david.gellner@slcgov.com)

Date: August 8, 2018

Re: PLNPCM2018-00372 – Conditional Use – Samoan Independent 7<sup>th</sup> Day Adventist Church

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## CONDITIONAL USE

**PROPERTY ADDRESS:** 1624 South 1000 West

**MASTER PLAN:** The Westside Master Plan (2014)

**ZONING DISTRICT:** RMF-35 – Residential Multi-Family

**REQUEST:** Aaron Arbuckle, of Architectural Nexus, representing the Samoan Independent 7<sup>th</sup> Day Adventist Church is requesting Conditional Use approval for a new church building to be located at 1624 South 1000 West. The site currently contains an existing church building which will be demolished in order to accommodate the new building.

**RECOMMENDATION:** Based on the information in this staff report, planning staff recommends that the Planning Commission approve the proposed conditional use project subject to complying with all applicable regulations and the conditions of approval listed below.

1. *Any modifications to the approved plans after the issuance of a building permit must be specifically requested by the applicant and approved by the Planning Division prior to execution.*
2. *Applicant shall comply with all other department/division requirements.*

### ATTACHMENTS:

- [A. Vicinity Map & Aerial](#)
- [B. Property Photos](#)
- [C. Site Plan & Elevations](#)
- [D. Additional Applicant Information](#)
- [E. Existing Conditions & Zoning Requirements](#)
- [F. Analysis of Standards](#)
- [G. Public Process and Comments](#)
- [H. Department Comments](#)

**PROJECT DESCRIPTION:**

This request is for a new church building to be located at 1624 South 1000 West for the Samoan Independent 7<sup>th</sup> Day Adventist Church. The site currently contains an existing church building which will be demolished in order to accommodate the new building. A more detailed description of the project details is included in the narrative submitted by the applicant included in [Attachment D](#) of this report.

The new 2-story church building will include a sanctuary space, a multi-function/gym space, auxiliary conference room, office and support spaces, and, a 2-bedroom residential unit for occasional occupancy by visiting clergy.

Staffing is expected to be approximately 3-4 employees in the building at any one time. The sanctuary will hold approximately 250-206 people while the multi-function space will hold approximately 150-160 people. Both spaces will not be used concurrently.

**KEY CONSIDERATIONS:**

The key considerations listed below have been identified through the analysis of the project, neighbor and community input and department review comments.

**Consideration 1: Residential Unit for Visiting Clergy**

The proposed new church includes a residential unit for occasional occupancy by visiting clergy. The initial zoning reviewer comments indicated a concern that this aspect of the proposal would appear to be along the lines of a hotel/motel, or a dwelling unit for accessory guest & servants quarters, neither of which are permitted in the RMF-35 zoning district. The City, through a past administrative interpretation has determined that a residential unit for clergy is allowed as an accessory use to the main use of the property for a place of worship because this type of residential use is commonly found in many churches. The proposed residential unit is allowed and parking calculations have taken this use into account.

**Consideration 2: Lot Consolidation**

The subject property consists of two adjacent parcels. One parcel contains the existing church at this site while the other parcel is currently dedicated to surface parking. The proposal retains this basic configuration with the church building located on one parcel and the other parcel dedicated to surface parking. Since off-site parking is not a permitted use in this RMF-35 zoning district, consolidation of the two (2) parcels is required. This is an administrative application that can be approved by staff and does not require Planning Commission approval.

**Consideration 3: Neighborhood Compatibility and Impact**

The existing use of the property is for a place of worship (church) which is being replaced by an upgraded building that would better meet the needs of the congregation and the desired programming in that space. The use of the property and anticipated impact from that use would not be significantly changing from that which currently exists on the site.

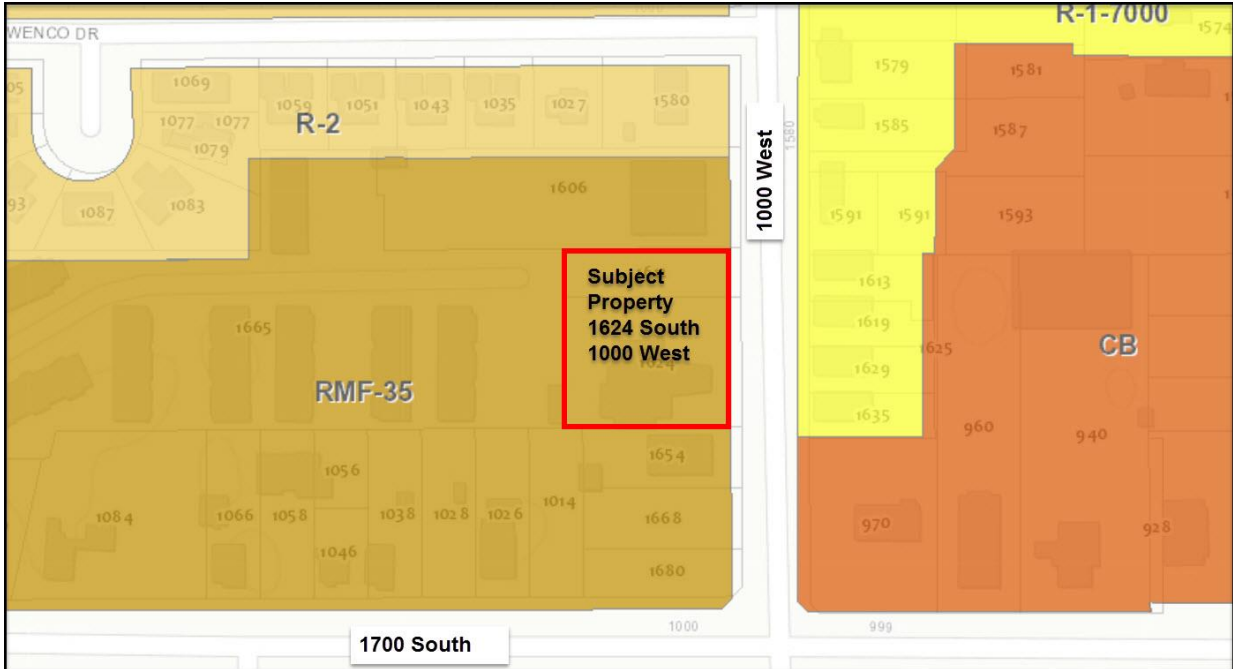
**DISCUSSION:**

The proposed use is essentially replacing an established use on the property with the same but in an upgraded facility. The new facility is expected to continue to work compatibly within the context of its location.

**NEXT STEPS:**

If the conditional use is approved, the applicant will be required to comply with all other department/division requirements and obtain all necessary building permits for the project.

# ATTACHMENT A: VICINITY MAP & AERIAL



## **ATTACHMENT B: PROPERTY PHOTOS**

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# **ATTACHMENT C: SITE PLAN & ELEVATIONS**

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# SAMOAN INDEPENDENT SEVENTH-DAY ADVENTIST CHURCH

## SISDAC UTAH

1624 S 1000 W  
SALT LAKE CITY, UT 84104

Nexus Project #: 18030

Owner Project #:

05/17/18

### DESIGN DEVELOPMENT



ARCH | NEXUS

Architectural NEXUS, Inc.  
2505 East Parleys Way  
Salt Lake City, UT 84109  
T 801.924.5000  
http://www.archnexus.com

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SAMOAN INDEPENDENT SEVENTH-DAY ADVENTIST CHURCH  
**SISDAC UTAH**  
 1624 S 1000 W  
 SALT LAKE CITY, UT 84104

[STAMP] [LOGO] OWNER  
Samoan Independent Seventh-Day Adventist Church  
1624 S 1000 W  
Salt Lake City, UT 84104

CONTACT: Marilyn Spizziri-Patu E-MAIL: mpatu.secretaryutah@gmail.com  
PHONE: 385.775.0313 INTERNET:



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Architectural NEXUS, Inc.  
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CONTACT: Aaron Arbuckle E-MAIL: aarbuckle@archnexus.com  
PHONE: 801.924.5000 INTERNET: http://www.archnexus.com

LANDSCAPE ARCHITECT  
Architectural NEXUS, Inc.  
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CONTACT: Adam Castor E-MAIL: acastor@archnexus.com  
PHONE: 801.924.5000 INTERNET: http://www.archnexus.com

CIVIL  
CRS

4246 S Riverboat Rd, Ste 200  
Salt Lake City, UT 84123

E-MAIL: gregory.nelson@crsengineers.com  
INTERNET:

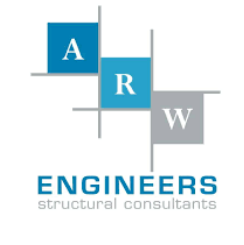


CONTACT: Greg Nelson  
PHONE: 801.359.5565

STRUCTURAL  
ARW Engineers

1594 Park Circle  
Ogden, Utah 84404

E-MAIL: JoshB@arwengineers.com  
INTERNET:



CONTACT: Josh Blazzard  
PHONE: 801.782.6008

MECHANICAL  
VBFA

330 South 300 East  
Salt Lake City, UT 84111

E-MAIL: bcdavis@vbfa.com  
INTERNET:



CONTACT: Ben Davis  
PHONE: 801.530.3148

ELECTRICAL  
EELD

1220 S 300 W  
Salt Lake City, UT 84101

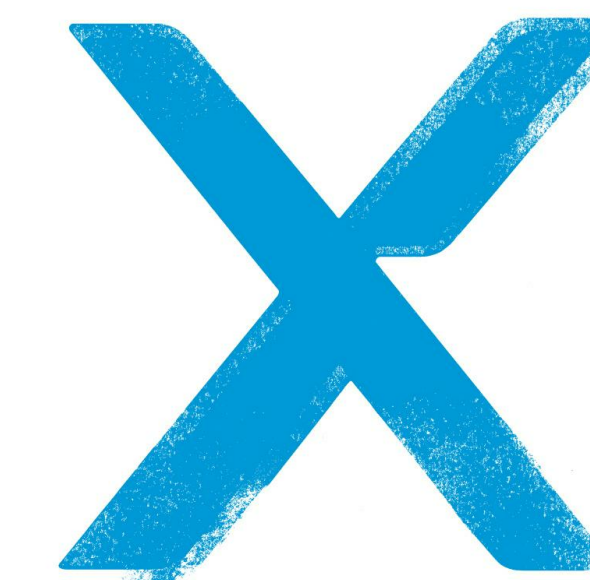
E-MAIL: mansour@ee-ld.com  
INTERNET:



CONTACT: Mansour Aghdasi  
PHONE: 801.486.2222

### APPROVALS

Signer 1	Date	Signer 3	Date
Signer 2	Date	Signer 4	Date
		#	Date Revision



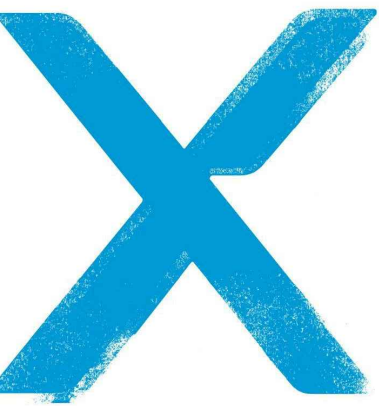
ARCH | NEXUS

### DESIGN DEVELOPMENT

NEXUS PROJECT #: 18030  
CHECKED BY: AA  
DRAWN BY: RS  
DATE: 05/17/18

### COVER SHEET

# G001



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**SAMOAN INDEPENDENT SEVENTH-DAY ADVENTIST CHURCH**  
**SISDAC UTAH**  
1624 South 1000 West  
Salt Lake City, UT 84102

# Date Revision

**CONDITIONAL USE PERMIT**

NEXUS PROJECT #: 18030  
CHECKED BY: AC  
DRAWN BY: HT  
DATE: 05.18.18

**SITE IMPROVEMENTS PLAN**

**AS101**

**SITE PLAN GENERAL**

**NOTES:**

- A. TAX PARCEL #151425201300000. LEGAL DESCRIPTION: BEG E 12 RDS & N 455.395 FT FR SW COR OF NE 1/4 SEC 14, T 1S, R 1W, SLM; N 0°11'15" E 50 FT; S 89°55'53" W 192.78 FT; S 0°11'15" W 50 FT; N 89°55'53" E 192.78 FT TO BEG. 0.22 AC 7100-749 9321-542 9875-6308
- B. TAX PARCEL #151425201400000. LEGAL DESCRIPTION: BEG E 198 FT & N 317.695 FT FR CEN SEC 14, T 1S, R 1W, S L MN 0°11'15" E 137.7 FT; S 89°55'53" W 192.78 FT; S 0°11'15" W 137.7 FT M OR L; N 89°55'53" E 192.78 FT TO BEG. 0.61 AC M OR L 4914-0787 6469-1281 6592-1987 7100-0751 7452-2348 8595-6349 9875-6308
- C. SEE CIVIL, LANDSCAPE, ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- D. OFF-STREET PARKING IS TO COMPLY WITH SALT LAKE CITY ORDINANCE (21A.44.020) AND RELATED SECTIONS.
- E. LANDSCAPE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, LANDSCAPE BUFFERS ARE TO COMPLY WITH SALT LAKE CITY ORDINANCE (21A.48) AND RELATED SECTIONS.

**SITE TABULATIONS:**

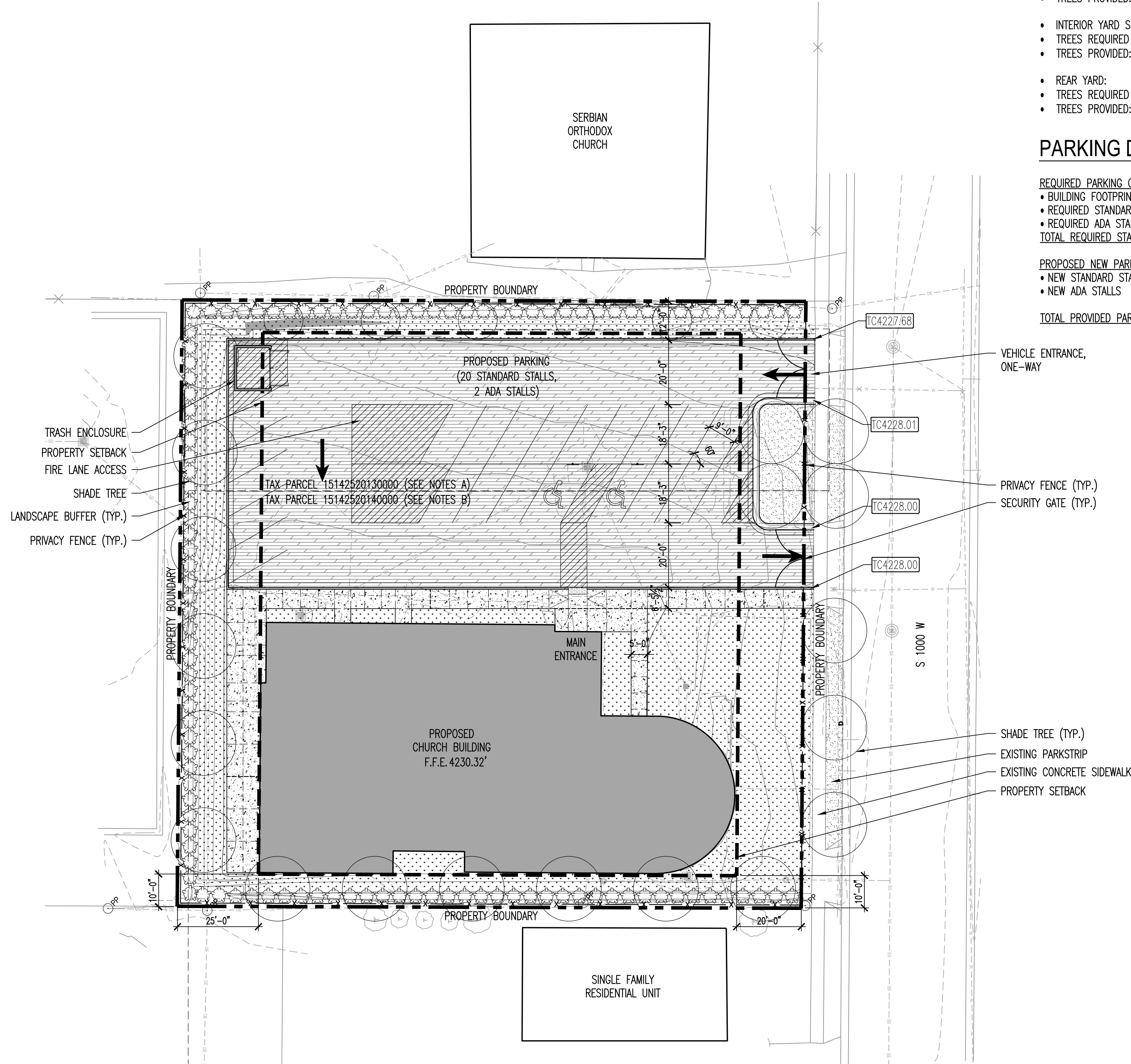
- TOTAL SITE AREA: 0.82 AC (100.0%)
  - BUILDING AREA: 0.22 AC (27%)
  - OFFSTREET PARKING AREA: 0.31 AC (38%)
  - \*IRRIGATED TURF AREA: 0.25 AC (30%)
  - HARDSCAPE PAVING AREA: 0.04 AC (5%)
  - \*EXCLUDES PROPOSED PUBLIC RIGHT-OF-WAY IMPROVEMENTS
- FRONT YARD: 1000 WEST 187.0 LF
  - TREES REQUIRED (1/50 FT): 3.7
  - TREES PROVIDED: 5.0
- INTERIOR YARD NORTH: 192.0 LF
  - TREES REQUIRED (1/30 FT): 6.4
  - TREES PROVIDED: 6.0
- INTERIOR YARD SOUTH: 192.0 LF
  - TREES REQUIRED (1/30 FT): 6.4
  - TREES PROVIDED: 6.0
- REAR YARD: 187.0 LF
  - TREES REQUIRED (1/30 FT): 6.2
  - TREES PROVIDED: 6.0

**PARKING DATA:**

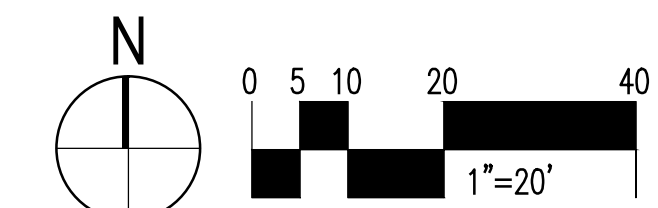
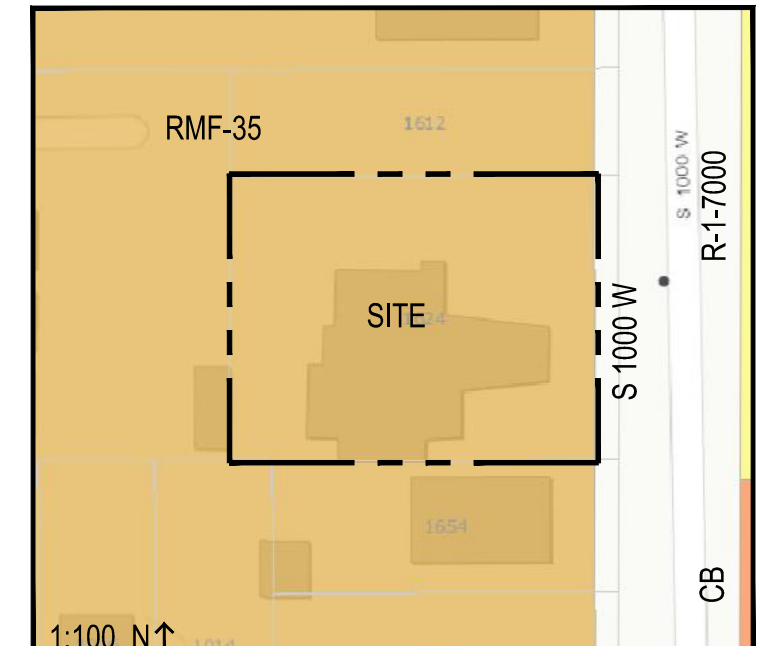
REQUIRED PARKING CALCULATIONS	9,683 SF
• BUILDING FOOTPRINT	19
• REQUIRED STANDARD STALLS	2
• REQUIRED ADA STALLS	2
<b>TOTAL REQUIRED STALLS</b>	<b>21</b>
<b>PROPOSED NEW PARKING</b>	<b>20</b>
• NEW STANDARD STALLS	20
• NEW ADA STALLS	2
<b>TOTAL PROVIDED PARKING</b>	<b>22</b>

**Site Plan Legend**

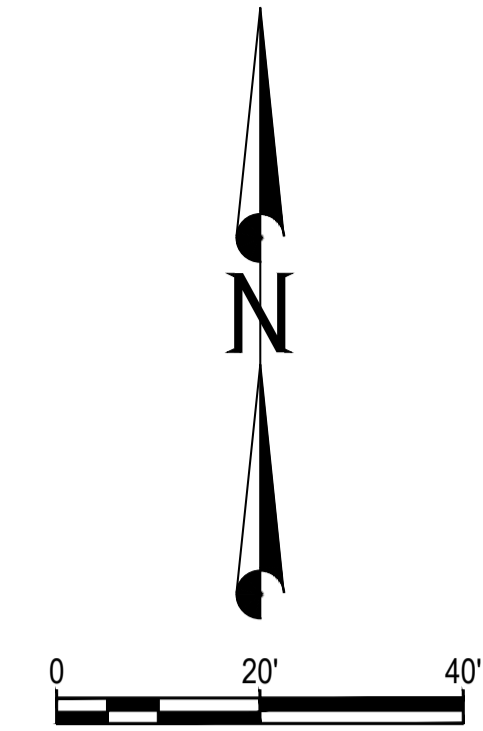
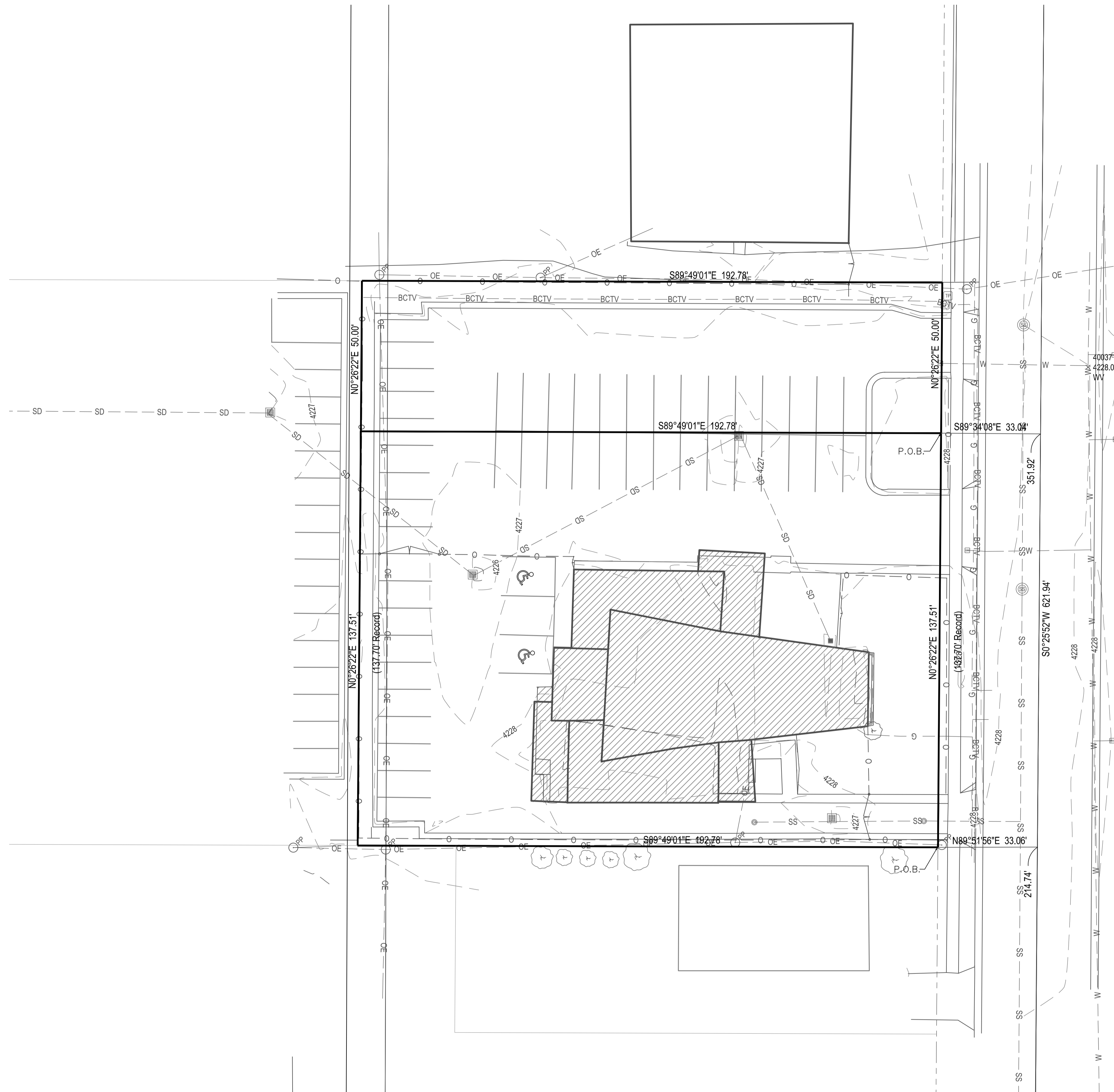
Symbol	Description
	EXISTING ASPHALT (13,088 SF)
	EXISTING TURF (1,174 SF)
	PROPOSED CONCRETE PAVING (1,781 SF)
	PROPOSED TURF (7,345 SF)
	PAVING CONTROL JOINT (SAW CUT)
	PAVING EXPANSION JOINT
	PROPOSED PRIVACY FENCE
	EXISTING CONTOUR
	PROPOSED SHRUB (112 QTY.)
	PROPOSED UTILITY COMPATIBLE TREE (6 QTY.)
	PROPOSED SHADE TREE (19 QTY.)



**KEY MAP**



File Path: P:\18065c\_arch\_nexus\_samoan\_church\Drawings\Sheets\CS101-EXISTING CONDITIONS.dwg May 16, 2018 - 10:45am



**LEGEND**

- SS SANITARY SEWER
- SD STORM DRAIN
- XXXXXXXXXX
- 4200 MAJOR CONTOUR
- 4201 MINOR CONTOUR
- (SS) EX SANITARY SEWER MANHOLE
- (SD) EX STORM DRAIN MANHOLE
- (E) EX ELECTRICAL MANHOLE

**SITE AND UTILITY KEYED NOTES**

- PARCEL 15142520140000**  
 A PART OF THE NORTHWEST QUARTER ( WEST RIGHT-OF-WAY LINE OF 1000 WEST FEET FROM THE CITY MONUMENT IN THE NORTH 317.695 FEET FROM THE CENTER A DISTANCE OF 137.51 FEET (137.70' REC 00°26'22" WEST, A DISTANCE OF 137.51 F CONTAINING 0.6086 ACRES.
- PARCEL 15142520130000**  
 A PART OF THE NORTHWEST QUARTER ( WEST RIGHT-OF-WAY LINE OF 1000 WEST FEET FROM THE CITY MONUMENT IN THE NORTH 455.395 FEET FROM THE CENTER EAST, A DISTANCE OF 50.00 FEET; THEN WEST, A DISTANCE OF 50.00 FEET ALONG CONTAINING 0.2213 ACRES.
- 1 RAISE EXISTING CATCH BASIN TO GRADE
  - 2 PROTECT IN PLACE EXISTING STORM DRAIN PIPE/ CATCH BASIN
  - 3 PROTECT IN PLACE EX LIGHT POLE
  - 4 INSTALL 18" SNOUT OR EQUAL ON OUTLET PIPE
  - 5 OLDCASTLE 2' X 3' CATCH BASIN W/ CURB BACK FRAME AND GRATE OR EQUAL
  - 6 OLDCASTLE 2' X 2' CATCH BASIN W/ FRAME AND GRATE OR EQUAL
  - 7 STORM DRAIN PIPE PER DETAIL 1/CP501
  - 8 RELOCATE EXISTING SIGN PER DETAIL 4/CP502
  - 9 LIGHT POLE. REFER TO ELECTRICAL PLANS FOR DETAIL.
  - 10 FIELD LOCATE EX WATER LINE AND INSTALL PVC C900 WATERLINE, BENDS, AND APPURTENANCES TO CONNECT NEW FIRE HYDRANT ASSEMBLY TO EX WATER LATERAL PER DETAIL 2/CP501 & 4/CP501
  - 11 RAISE POWER LINES BY OTHERS. COORDINATE CONSTRUCTION AND DESIGN WITH COMCAST CABLE
  - 12 CURB WALL PER DETAIL 6/CP501
  - 13 TRANSITION FROM TYPE "A" TO TYPE "B" CURB & GUTTER
  - 14 TYPE "A" CURB & GUTTER PER APWA SP 205
  - 15 TYPE "B" CURB & GUTTER PER DETAIL 1/CP501

**GENERAL NOTES**

1. THE ENGINEER HAS MADE AN EXTENSIVE EFFORT TO LOCATE ALL EXISTING UTILITY LINES FROM RECORDS PROVIDED BY OTHERS AND EVIDENCE IN THE FIELD. CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO COMMENCING WORK.
2. SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH CENTRAL DAVIS SEWER DISTRICT DESIGN STANDARDS & SPECIFICATIONS.
3. ROADWAY CONSTRUCTION SHALL COMPLY WITH FARMINGTON CITY DESIGN STANDARDS AND SPECIFICATIONS.
4. ADD 4200 TO FINISH GRADE ELEVATIONS SHOWN TO 30% ACTUAL

NO.	DATE	DESCRIPTION

IF THE ABOVE SCALE BAR DOES NOT MEASURE 1-INCH IN LENGTH, DO NOT USE THIS DRAWING FOR SCALING PURPOSES. DIMENSIONS AND MEASUREMENTS SPECIFIED IN THE DRAWING TAKE PRECEDENCE TO SCALED MEASUREMENTS.

THE INFORMATION CONTAINED IN THIS DRAWING IS THE PROPERTY OF CRS ENGINEERS AND IS NOT TO BE REPRODUCED, MODIFIED OR USED FOR ANY OTHER PROJECT OR EXTENSION OF THIS PROJECT EXCEPT BY AGREEMENT WITH CRS ENGINEERS.

PROJECT: ARCH NEXUS-SAMOAN CHURCH  
 PROJECT MANAGER: G. NELSON, PE  
 CHECKED BY: D. CROMAR, PE  
 DRAWN BY: K. FOSTER  
 DRAWING SCALE: 1" = 20'  
 ISSUE DATE: DEC 25, 2016

**CRS ENGINEERS**  
 Answers to Infrastructure®

4246 S Riverboat Rd, Ste 200 | Salt Lake City, UT 84123 | P: 801.359.5565 | www.crsengineers.com

SISDAC UTAH  
 ARCH NEXUS-SAMOAN CHURCH  
 EXISTING CONDITIONS

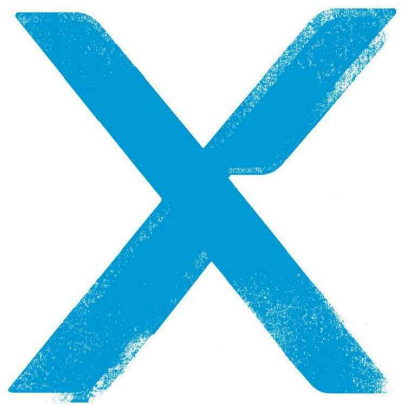
1624 S 1000 W

SALT LAKE CITY, UTAH

PROJECT NUMBER: 18065C  
 SHEET: 3 OF 10  
 SHEET NUMBER: CS101

30% ACTUAL





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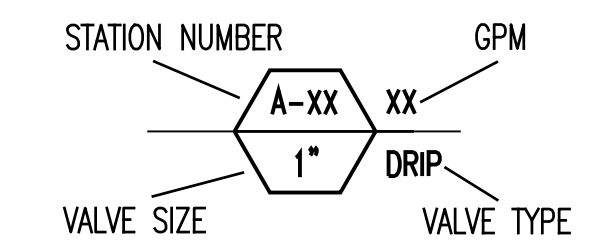
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### IRRIGATION CONSTRUCTION NOTES:

- Ⓐ AT THE POINT OF CONNECTION INSTALL (1) CURB VALVE (STOP AND WASTE) VALVE AND (1) BACKFLOW PREVENTION DEVICE
- Ⓑ COORDINATE LOCATION AND INSTALLATION OF ALL SLEEVES AND CONDUITS AS SHOWN ON THE IRRIGATION PLAN PRIOR TO INSTALLATION OF ASPHALT AND CONCRETE PAVING (SEE TRENCH DETAILS).
- Ⓒ INSTALL MANUAL DRAIN VALVES AT THE LOW POINT OF MAIN LINE LOOP AND AT THE END OF MAIN LINE BRANCHES (SEE LEGEND).
- Ⓓ INSTALL AIR/VACUUM RELIEF VALVE AT LOW POINT OF MAIN LINE LOOP AND AT THE ENDS OF MAIN LINE BRANCHES (SEE LEGEND).
- Ⓔ INSTALL CONTROLLER GROUNDING ROD.

### IRRIGATION GENERAL NOTES:

1. VERIFYING THE STATIC WATER PRESSURE AT THE POINT OF CONNECTION PRIOR TO BEGINNING WORK AND INFORMING THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE STATED STATIC WATER PRESSURE AND ACTUAL STATIC WATER PRESSURE READINGS AT THE POINT OF CONNECTION. WATER PRESSURE DISCREPANCIES SHALL BE NOTED ON CONTRACTOR COMPANY LETTERHEAD AND SUBMITTED TO THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK. IN THE EVENT THE CONTRACTOR FAILS TO VERIFY AND CONFIRM STATED VERSUS ACTUAL STATIC WATER PRESSURE PRIOR TO BEGINNING WORK AND DISCREPANCIES DO IN FACT EXIST, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL MODIFICATIONS TO THE IRRIGATION SYSTEM AT NO ADDITIONAL COST TO THE OWNER.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF THE ELECTRICAL ROOM INSIDE THE BUILDING AND PROVIDING POWER TO THE CONTROLLER LOCATION. SHOULD THE CONTRACTOR FAIL TO PROVIDE POWER TO THE CONTROLLER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL MODIFICATIONS NECESSARY TO PROVIDED POWER TO THE CONTROLLER AT NO ADDITIONAL COST TO THE OWNER.
3. POINT OF CONNECTION COMPONENTS SHALL BE CONNECTED TO THE AUTOMATIC CONTROLLER IN SEPARATE CONDUITS AND AS INSTRUCTED BY THE MANUFACTURER.
4. IRRIGATION CONTROL VALVES SHALL BE CONNECTED TO THE AUTOMATIC CONTROLLER WITH DIRECT BURIAL, CONVENTIONAL WIRING.
5. ALL TURFGRASS AREAS SHALL BE IRRIGATED WITH POP-UP SPRAY HEADS, WHICH SHALL PROVIDE 100% HEAD TO HEAD COVERAGE.
6. ALL PLANTER AREAS SHALL BE IRRIGATED WITH POINT SOURCE DRIP IRRIGATION.
7. IRRIGATION ZONES ARE IDENTIFIED WITH THE FOLLOWING SYMBOL:



### EMITTER SCHEDULE:

PLANT SIZE	EMITTER GPH	QTY. PER PLANT
1 GAL	.5	1
3 GAL	2	1
5 GAL	5	1
2" TREE RING	-	1

WHERE MORE THAN ONE EMITTER IS REQUIRED FOR PLANT, SPACE EMITTERS EQUIDISTANT AROUND ROOTBALL

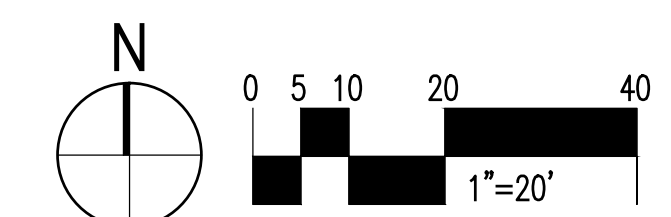
SAMOAN INDEPENDENT SEVENTH-DAY ADVENTIST CHURCH  
**SISDAC UTAH**  
1624 South 1000 West  
Salt Lake City, UT 84102

# Date Revision

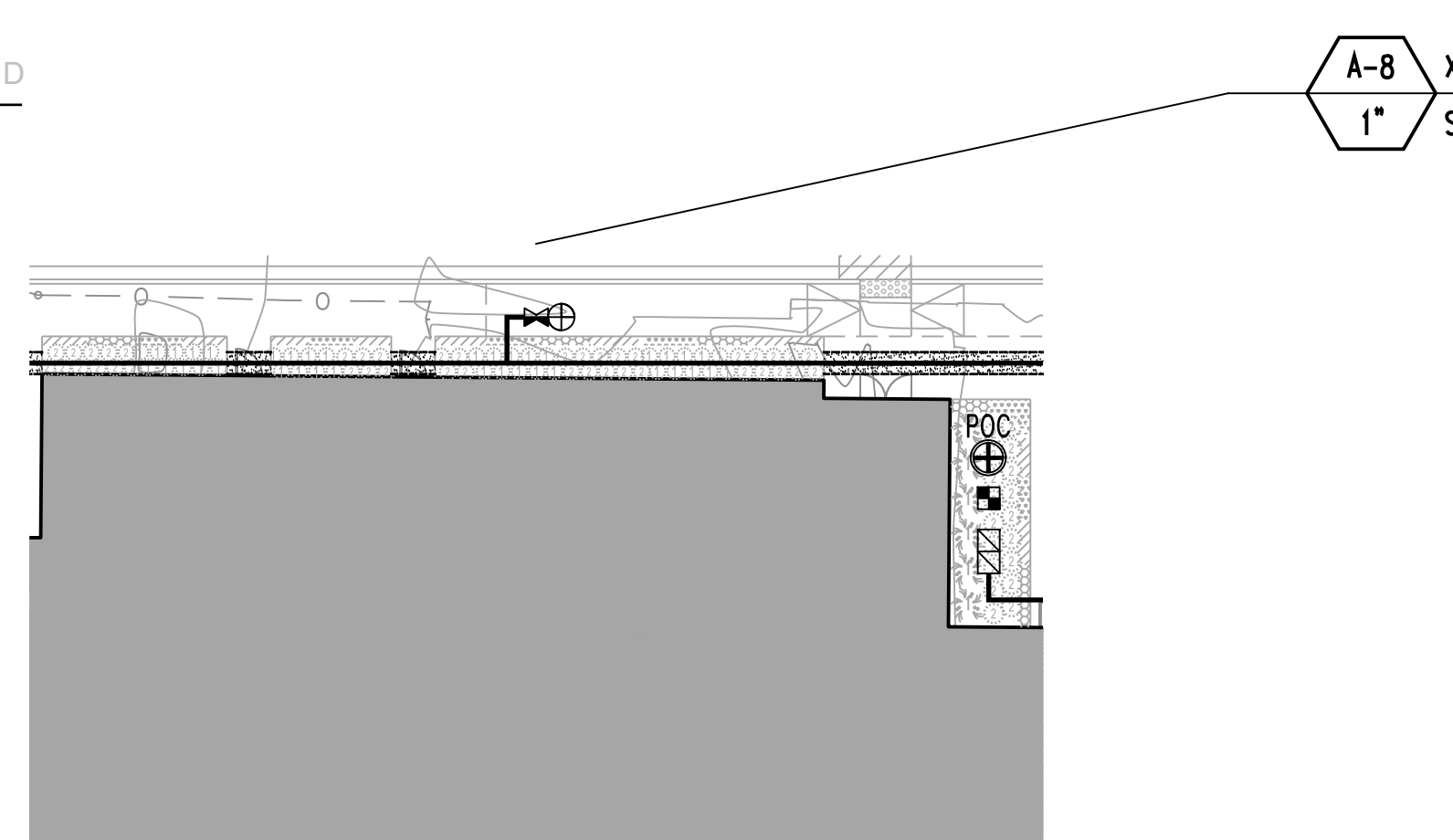
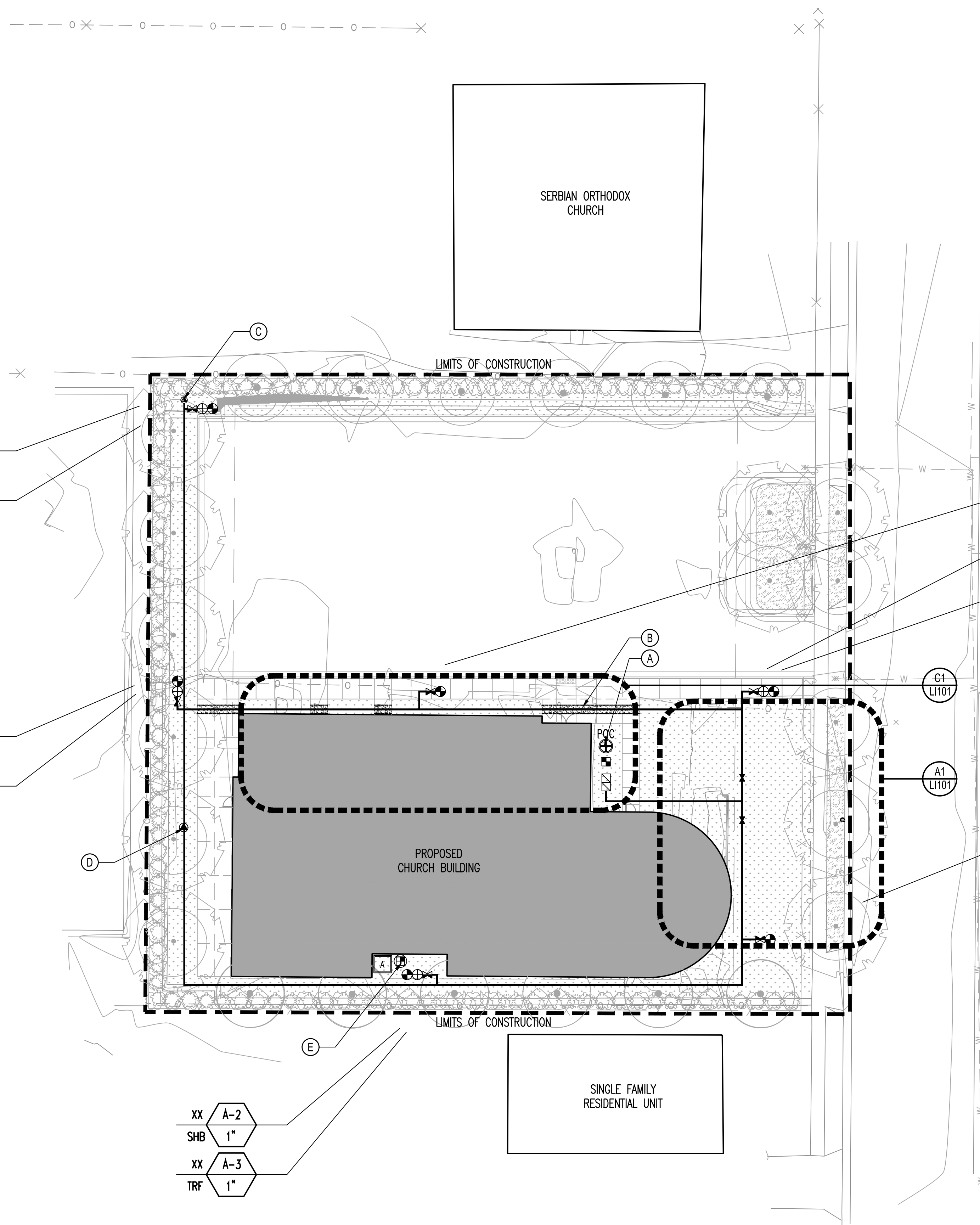
### DESIGN DEVELOPMENT

NEXUS PROJECT #:  
CHECKED BY: AC  
DRAWN BY: HT  
DATE:

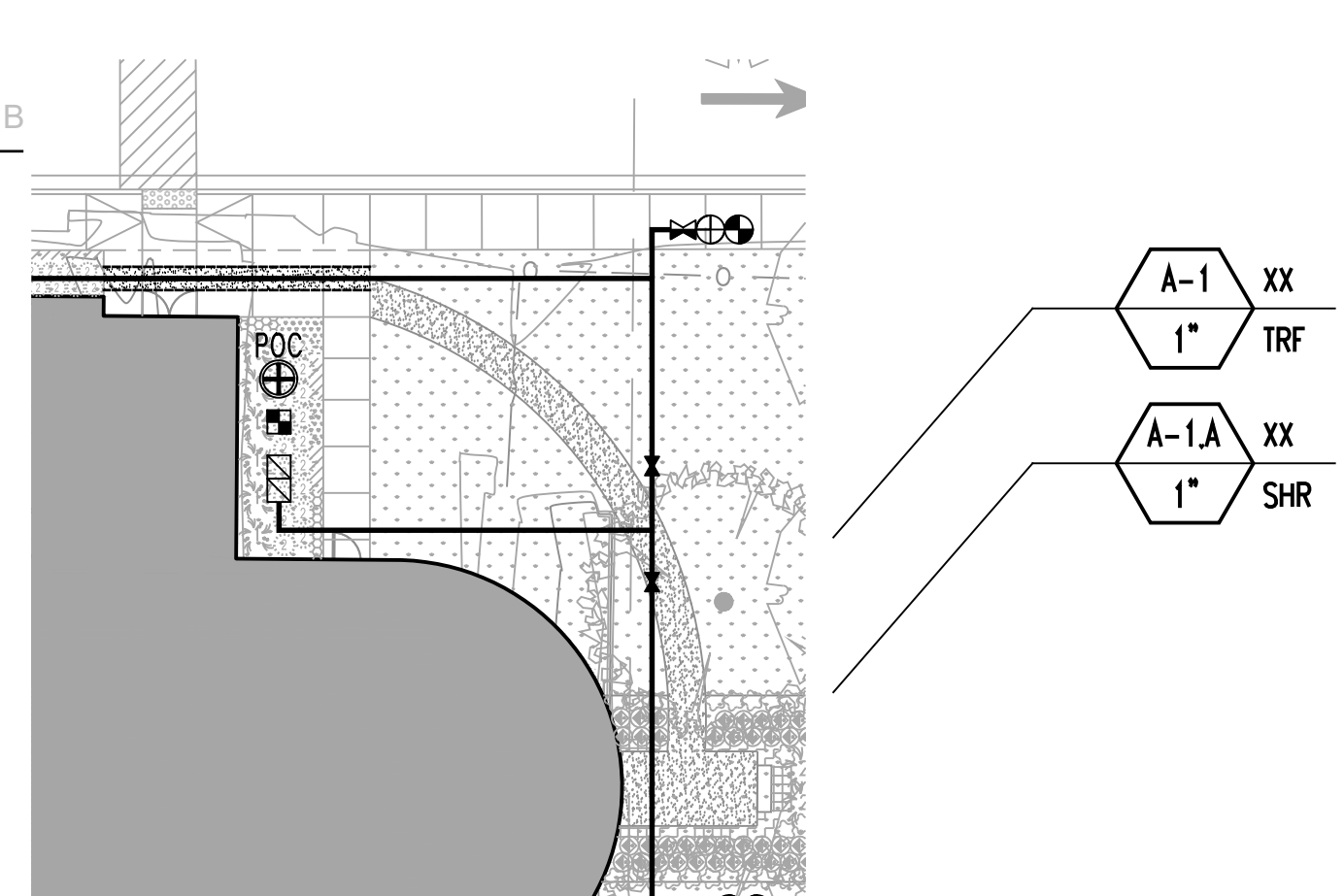
### IRRIGATION PLAN



# LI101



**C1** IRRIGATION PLAN - ADD ALTERNATE  
LP101 SCALE: 1" = 20'



**A1** IRRIGATION PLAN - ADD ALTERNATE  
LP101 SCALE: 1" = 20'

**A3** IRRIGATION PLAN  
LI101 SCALE: 1" = 20'



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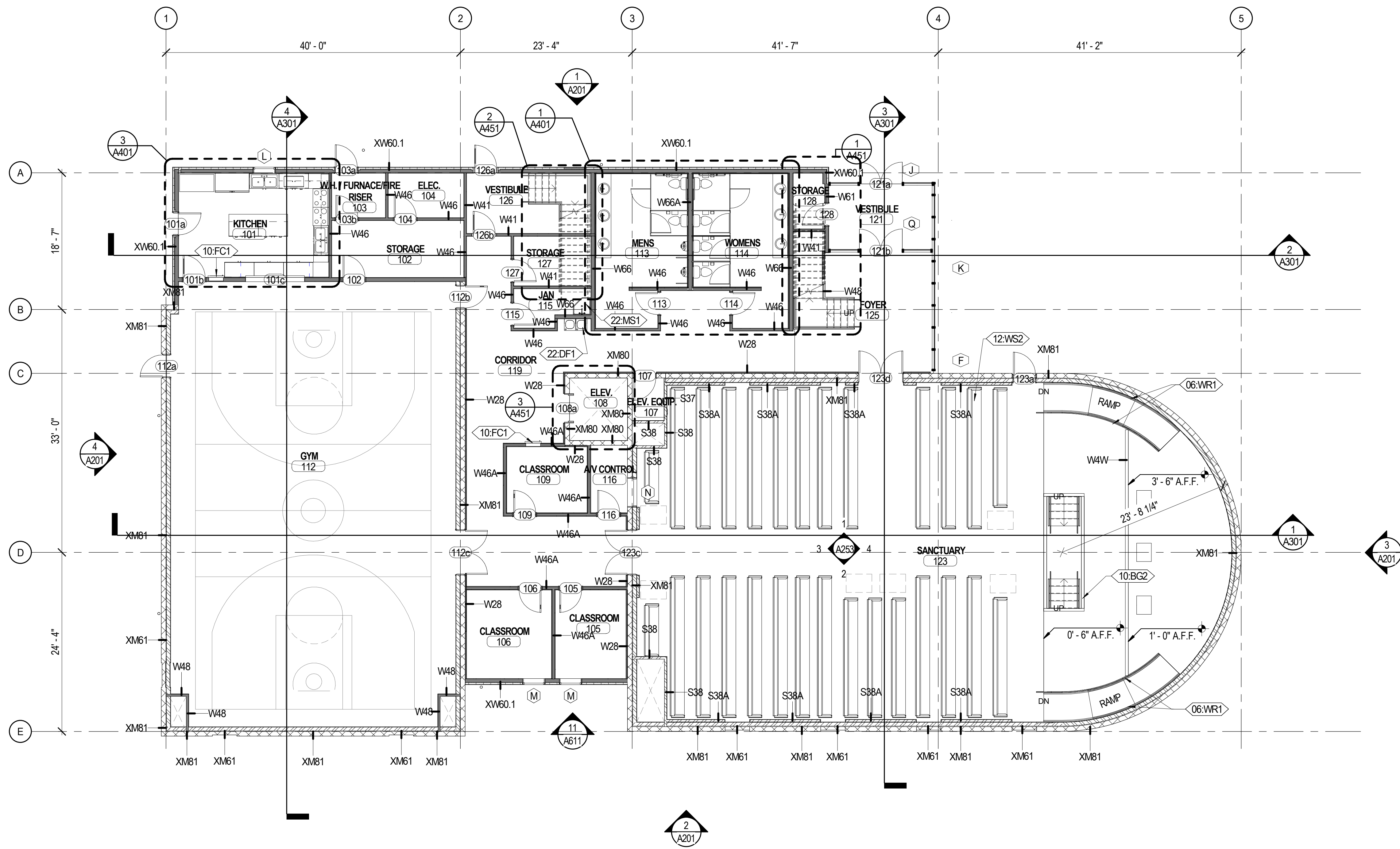
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**GENERAL NOTE - FLOOR PLAN**

- A. PLAN WALL DIMENSIONS ARE TO GRID LINE OR FACE OF WALL STRUCTURE. "CLEAR" DIMENSIONS ARE TO FACE OF WALL FINISH.
- B. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE DISCREPANCIES WITH ARCHITECT.
- C. DO NOT SCALE DRAWINGS.
- D. SEE CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- E. SEE G SERIES SHEETS FOR WALL TYPES AND TYPICAL ACCESSIBILITY CLEARANCE AND COMPLIANCE REQUIREMENTS.
- F. PROVIDE BACKING BEHIND ALL SURFACE MOUNTED EQUIPMENT AND/OR FIXTURES PER DETAIL XXXXXX

KEYNOTE LEGEND	
Key Value	Keynote Text

06:WR1	WOOD HANDRAIL AND GUARDRAIL
10:BG2	PORCELAIN TILE BAPTISMAL FONT WITH REMOVABLE COVER. WATER PROOFING W/ DRAINAGE MAT.
10:FC1	FIRE EXTINGUISHER CABINET - SEE DETAILS A3/A701.
12:WS2	FIXED WOOD PEW, TYP.
22:DF1	DRINKING FOUNTAIN
22:MS1	MOP SINK



**1 LEVEL 01 - OVERALL FLOOR PLAN**  
A101 1/8" = 1'-0"

**SAMOAN INDEPENDENT SEVENTH-DAY ADVENTIST CHURCH**  
**SISDAC UTAH**  
 1624 S 1000 W  
 SALT LAKE CITY, UT 84104

#	Date	Revision

**DESIGN DEVELOPMENT**

NEXUS PROJECT #: 18030  
 CHECKED BY: Checker  
 DRAWN BY: Author  
 DATE: 05/17/18

**FLOOR PLAN**

**A101**

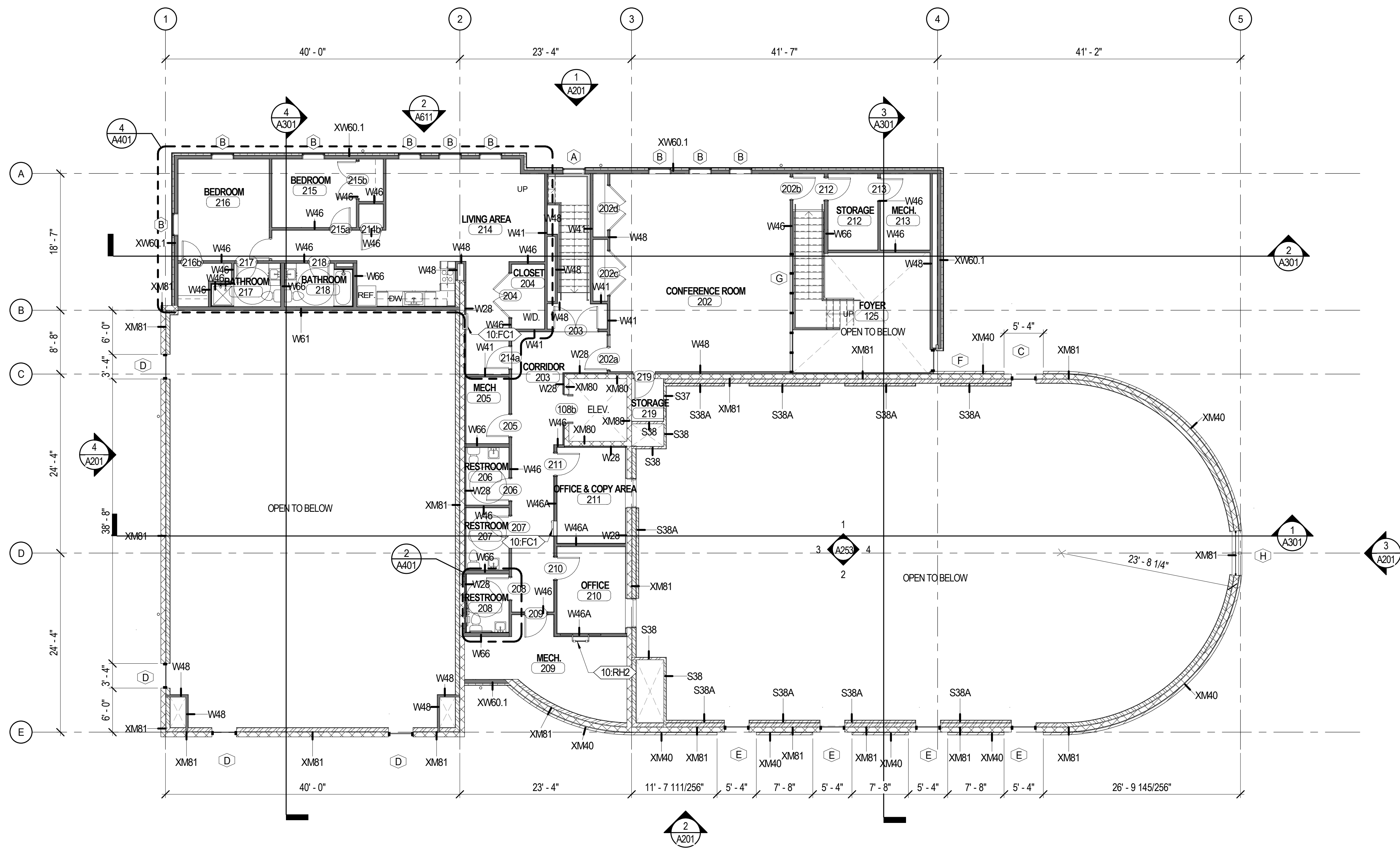


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ADVENTIST CHURCH  
**SISDAC UTAH**  
1624 S 1000 W  
SALT LAKE CITY, UT 84104



**1 LEVEL 02 - OVERALL FLOOR PLAN**  
A102  
1/8" = 1'-0"

#	Date	Revision

**DESIGN DEVELOPMENT**

NEXUS PROJECT #: 18030  
CHECKED BY: Checker  
DRAWN BY: Author  
DATE: 05/17/18

**FLOOR PLAN**

**A102**

5/17/2018 11:06:06 AM



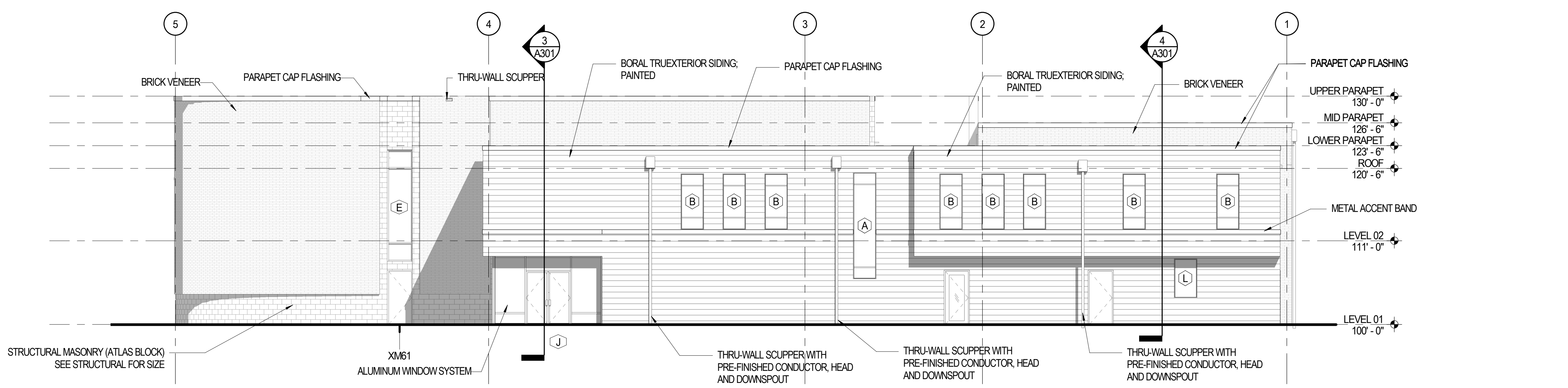
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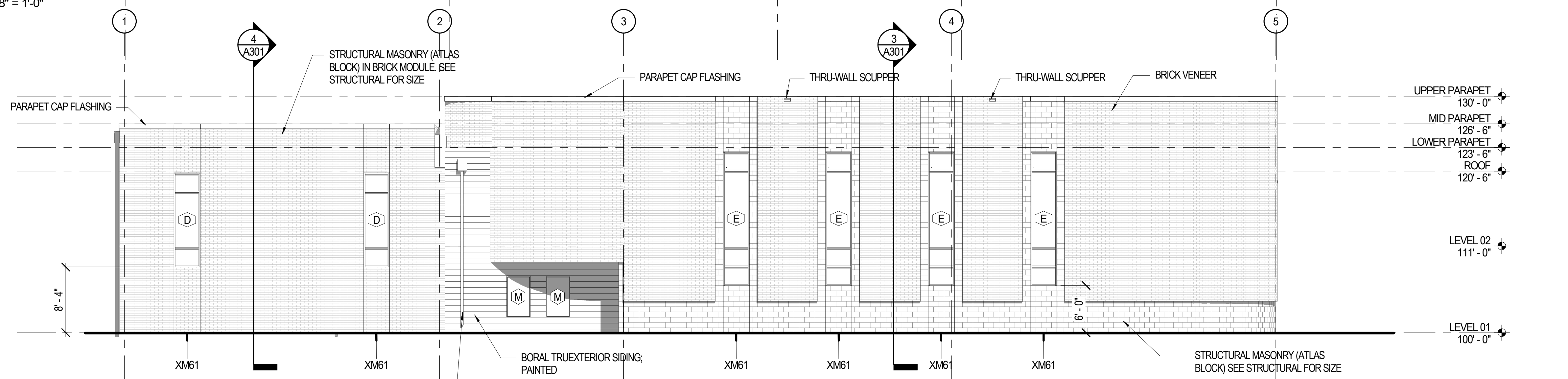
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**GENERAL NOTE - BUILDING ELEVATION**

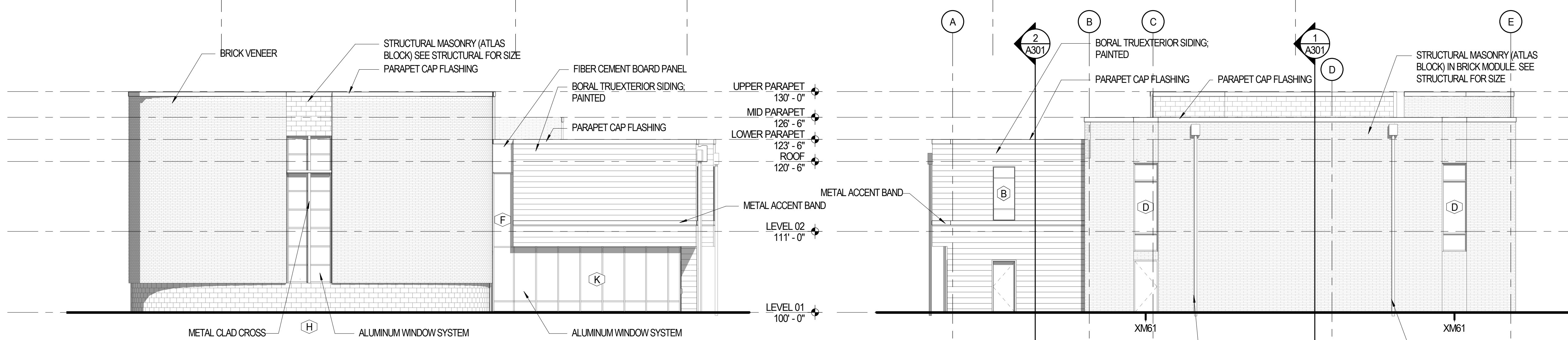
- A. COORDINATE GRADING SHOWN ON ELEVATIONS w/ CIVIL
- B. PROVIDE GUTTERS AND DOWN SPOUTS w/ HEAT CABLE, SNOW FENCES, AND SNOW CLIPS - SEE ROOF PLAN
- C. FOR TYPICAL WALL ASSEMBLY INCLUDING MATERIAL DESIGNATIONS AND DETAILING APPROACH, SEE A360 SERIES



**1 NORTH ELEVATION**  
A201  
1/8" = 1'-0"



**2 SOUTH ELEVATION**  
A201  
1/8" = 1'-0"



**3 EAST ELEVATION**  
A201  
1/8" = 1'-0"

**4 WEST ELEVATION**  
A201  
1/8" = 1'-0"

**SAMOAN INDEPENDENT SEVENTH-DAY ADVENTIST CHURCH**  
**SISDAC UTAH**  
1624 S 1000 W  
SALT LAKE CITY, UT 84104

#	Date	Revision

**DESIGN DEVELOPMENT**

NEXUS PROJECT #: 18030  
CHECKED BY: Checker  
DRAWN BY: Author  
DATE: 05/17/18

**BUILDING ELEVATIONS**

**A201**

5/17/2018 11:46:37 AM



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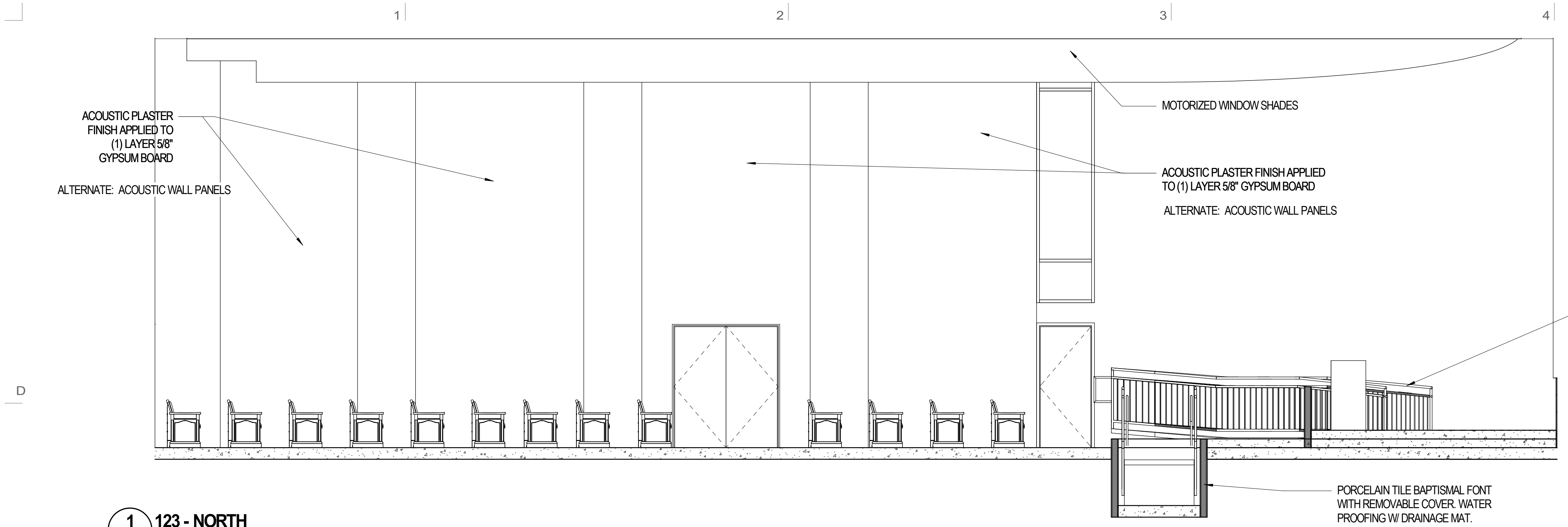
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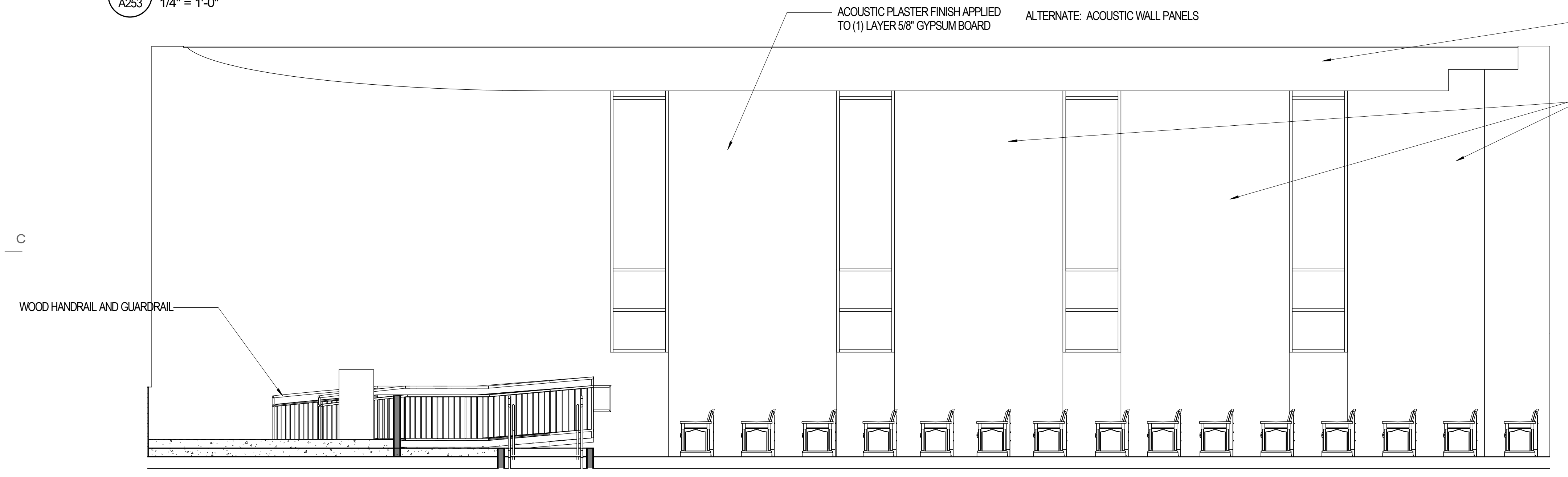
SAMOAN INDEPENDENT SEVENTH-DAY ADVENTIST CHURCH  
**SISDAC UTAH**  
1624 S 1000 W  
SALT LAKE CITY, UT 84104

**GENERAL NOTE - INTERIOR ELEVATION**

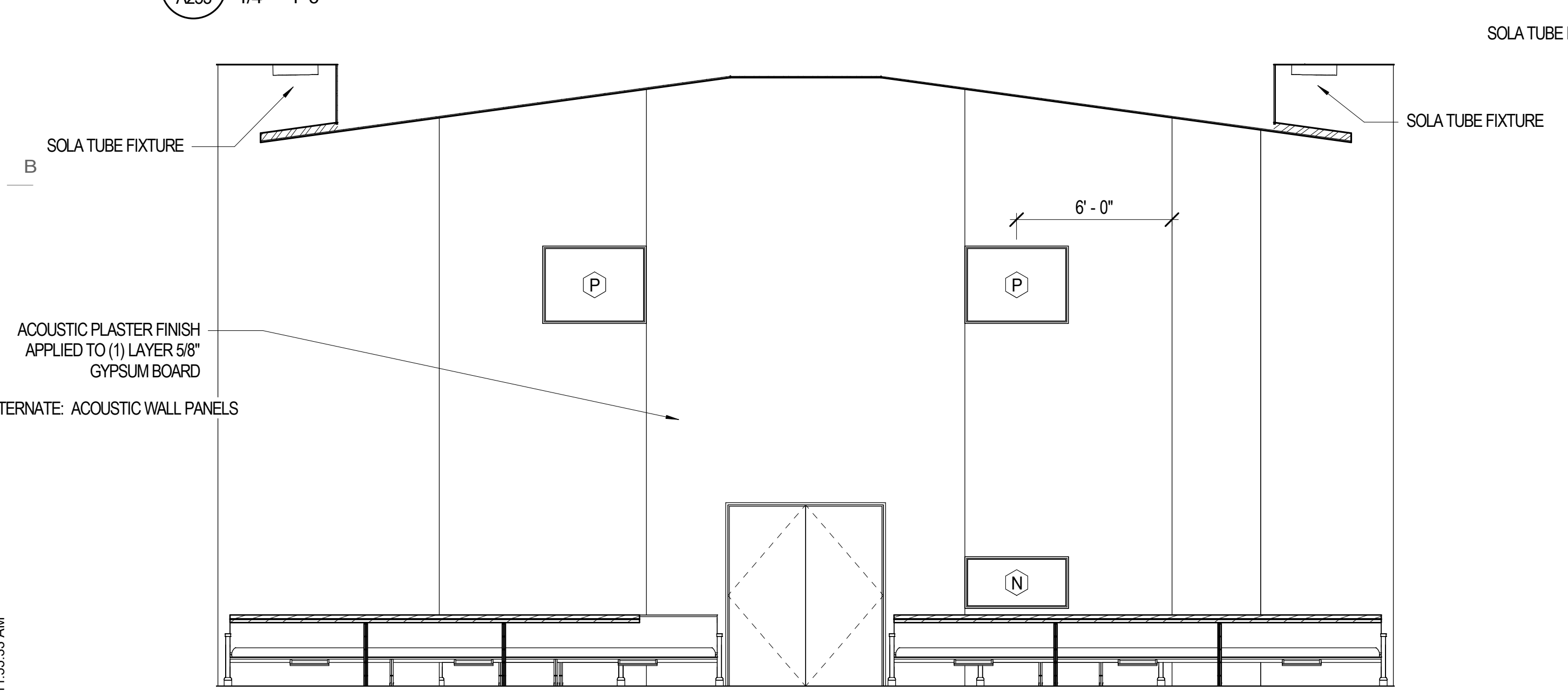
- A. ENSURE THAT ALL REQUIRED FIXTURE AND CABINET CLEARANCES AND OTHER REQUIREMENTS ARE MAINTAINED PURSUANT TO ADAAG AND ANSI A117.1. SEE SHEET G701 FOR GENERAL GUIDANCE ON COMMON MOUNTING HEIGHTS.
- B. PROVIDE BLOCKING/BACKING AS NECESSARY FOR MOUNTING OF WALL-MOUNTED CABINETS, FIXTURES AND EQUIPMENT PER MANUFACTURERS RECOMMENDATIONS. COORDINATE THIS REQUIREMENT THROUGH ALL FLOOR PLANS, EQUIPMENT PLANS, AND INTERIOR ELEVATIONS.
- C. ON ALL EXPOSED CABINET SIDES, INCLUDING KNEE OPENINGS, PROVIDE FINISHED FACE TO MATCH CABINET FRONTS. PROVIDE SIDESPLASHES WHENEVER COUNTERTOPS ARE ADJACENT TO WALLS.



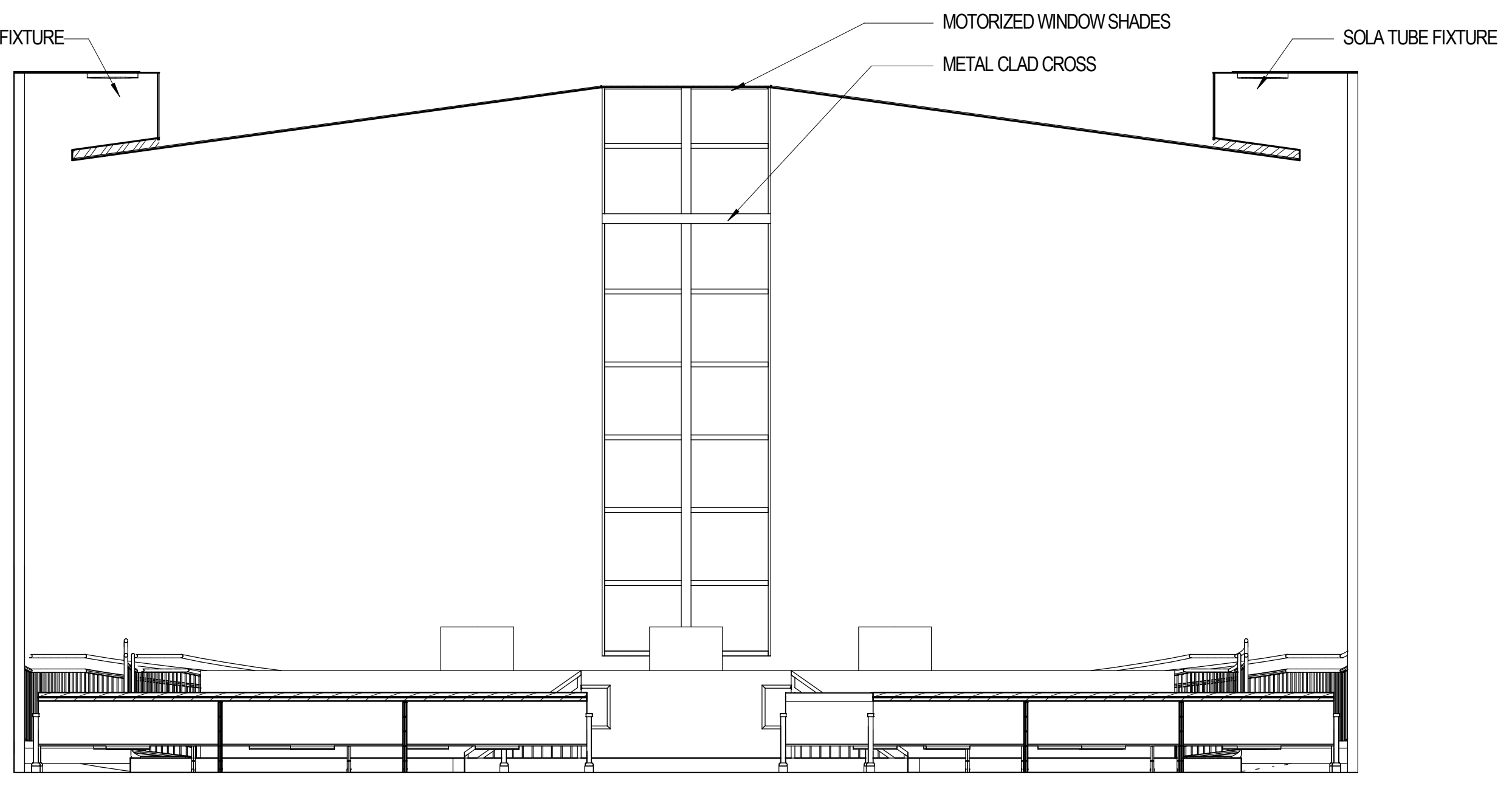
**1 123 - NORTH**  
A253 1/4" = 1'-0"



**2 123 - SOUTH**  
A253 1/4" = 1'-0"



**3 123 - WEST**  
A253 1/4" = 1'-0"



**4 123 - EAST**  
A253 1/4" = 1'-0"

5/17/2018 11:55:33 AM

#	Date	Revision

**DESIGN DEVELOPMENT**

NEXUS PROJECT #: 18030  
CHECKED BY: Checker  
DRAWN BY: Author  
DATE: 05/17/18

**INTERIOR ELEVATIONS**

**A253**

## **ATTACHMENT D: APPLICANT INFORMATION**

---

The narrative found on the following pages was submitted by the applicant.



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## **Samoan Independent Seventh Day Adventist Church**

The Samoan Independent Seventh Day Adventist Church (SISDAC) is currently located on the site referenced in this proposal at 1624 South 1000 West, Salt Lake City, UT 84104. The existing building was not designed for the needs of this congregation and has outlived its useful life. Therefore, SISDAC would like to replace the building with new construction with a similar program. Places of worship are accommodated in an RMF-35 Moderate Density Multi-Family Residential District as conditional uses, which is the purpose of this application.

The proposed project is a two story church building. It includes a sanctuary space, a post-function/gym space, auxiliary conference room, office and support spaces and a two bedroom residential unit for occasional occupancy by visiting clergy.

The service and operation of the building will continue as it currently stands.

The site to the north is occupied by another church, the Serbian Orthodox Church. The site to the west is occupied by a multi-family residential building. The sites to the south and east (across the street) are occupied by single /two family residential buildings.

There are no shift workers in this building, and there will likely be 3-4 employees in the building at any one time.

The sanctuary holds approximately 250-260 people and the post-function space holds approximately 150-160 people, but they would not be occupied concurrently.

All the required setbacks and landscape buffers required are being met.

Site plans, building plans and elevations are attached

# ATTACHMENT E: EXISTING CONDITIONS & ZONING ORDINANCE REQUIREMENTS

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## ADJACENT LAND USES and ZONING

The land use and zoning surrounding the site include the following:

- **North:** RMF-35 – contains the Serbian Orthodox Church. Further north is R-2 – developed for a variety of residential uses, both single and two-family.
- **South:** RMF-35 – residential uses on the same side of the street. On the opposite side of 1000 West to the south zoning changes to CB and across 1700 South the zoning is CG. Along this corridor the uses are more industrial in nature.
- **East:** R-1/7000 – single family residential uses
- **West:** RMF-35 – multi-family residential use

## SALT LAKE CITY ZONING ORDINANCE PROVISIONS

### 21A.24.130: RMF-35 MODERATE DENSITY MULTI-FAMILY RESIDENTIAL DISTRICT:

- A. Purpose Statement: The purpose of the RMF-35 Moderate Density Multi-Family Residential District is to provide an environment suitable for a variety of moderate density housing types, including single-family, two-family, and multi-family dwellings with a maximum height of thirty five feet (35'). This district is appropriate in areas where the applicable Master Plan policies recommend a density of less than thirty (30) dwelling units per acre. This district includes other uses that are typically found in a multi-family residential neighborhood of this density for the purpose of serving the neighborhood. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

### Current Zoning Requirements – RMF-35 – Moderate Density Multi-Family Residential District

Zoning Standard	Required	Existing/Proposed	Status
Min Lot Area	12,000 sq. ft.	33,000 sq. ft.	Complies
Min Lot width	140'	185'	Complies
Maximum Building Height	35'	30'	Complies
Front Yard Setback	20'	20'	Complies
Interior Side Yard	10'	10' on one side and over 50' on the other	Complies
Rear Yard	25% of lot depth but not less than 20' and need not exceed 25'	25' is smallest	Complies



Parking Spaces	19 standard spaces and 2 ADA spaces	20 standard spaces and 2 ADA spaces	Complies
Landscape yard required - front	20'	20'	Complies
Landscape yard required – interior side	10'	10'	Complies
Landscape yard required - rear	20'	20'	Complies
Maximum building coverage	60% of lot area	Approximately 27%	Complies

# ATTACHMENT F: ANALYSIS OF STANDARDS

---

## 21A.54.080 Standards for Conditional Use

**Approval Standards:** A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title;

**Analysis:** The property is located in the RMF-35 (Medium Density Multi Family Residential) zoning district. Per Section 21A.33.020 – Table of Permitted and Conditional Uses for Residential Districts of the Zoning Ordinance, all places of worship in the RMF-35 zone require conditional use approval.

**Finding:** The proposal complies with the applicable provisions of the Salt Lake City Zoning Ordinance. It is allowed in the zone through the conditional use process and complies with all City requirements for such a facility.

2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;

**Analysis:** Surrounding uses include another place of worship as well as residential uses, both single and multi-family in nature. The proposed use is replacing an established use on the property with the same use but in an upgraded facility. The new facility is expected to continue to work compatibly within the context of its location and the size and scale fit in with the existing development.

**Finding:** Staff finds that the use and the scale and intensity of development will be compatible with surrounding uses.

3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and

**Analysis:** The maps in the Westside Master Plan (2014) show that the subject property is located within close proximity to what is envisioned as a smaller regional node near the intersection of 900 West and 1700 South. This node is envisioned to support educational and professional office uses along with supporting commercial retail and services which would act as a transition between residential uses to the north and industrial uses to the south. The use is already established within the neighborhood and is in concert with the Master Plan and the anticipated character of the area over time.

**Finding:** The proposal does not present a conflict with the Master Plan.

4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions (please refer to Detrimental Impacts Chart on the next page for details).

## 21a.54.080B Detrimental Effects Determination

In analyzing the anticipated detrimental effects of a proposed use, the planning commission shall determine compliance with each of the following:

Criteria	Finding	Rationale
1. This title specifically authorizes the use where it is located	<b>Complies</b>	A place of worship such as a church is allowed as a conditional use in the RMF-35 zoning district.
2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps	<b>Complies</b>	The Westside Master Plan recognizes that places of worship across many faiths are distributed throughout neighborhood areas and are part of the assets and resources of the community. The proposed use is in concert with the Master Plan.
3. The use is well-suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area	<b>Complies</b>	The proposed use will replace an existing church of similar size and location on the site. The surrounding area includes a mix of multi and single family residential uses as well as another church immediately to the north of the subject property. The mass and scale is very similar to what could be potentially built by right in the RMF-35 zoning district.
4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered	<b>Complies</b>	The proposed church is approximately 30-feet tall, which is less than the maximum height allowed in the zoning district. The proposed design does not maximize the allowable height or maximize the site coverage. As such, it will fit in with the existing development in the area in terms of mass and scale.
5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows	<b>Complies</b>	There are 3 existing access drives onto 1000 West from the property. The 3 <sup>rd</sup> access drive is located to the south of the church and is unused. It will be abandoned and the curb cut will be replaced with curb and gutter and landscaping. The access points and driveway will not impede traffic flows.
6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic	<b>Complies</b>	The internal site circulation includes an entrance and exit driveway which will allow traffic to flow through the parking area smoothly. There are no anticipated detrimental impacts on adjacent properties from the internal circulation on this site.
7. The site is designed to enable access and circulation for pedestrian and bicycles	<b>Complies</b>	There is existing sidewalk on 1000 W, part of which will be replaced with this project that will provide pedestrian access to the site. In addition, the Transportation Division has indicated that one bicycle rack will be required on the site. The site will enable access for both pedestrians and bicycles.
8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street	<b>Complies</b>	The proposed use is anticipated to be low volume in nature and will not impact the service levels on 1000 West. On the subject property, it recommended that the property owner replace the public sidewalk along 1000 West which is in poor condition.
9. The location and design of off-street parking complies with applicable standards of this code	<b>Complies</b>	The proposed parking will consist of 20 standard parking stalls and 2 ADA accessible spaces. Based on the building floor area for congregation space, offices space and the residential use, a total of 19

		parking spaces and 2 ADA accessible spaces would be required. The RMF-35 zoning district would allow for parking that is 25% greater than the minimum. The extra space is allowable and the parking meets the applicable standards.
10. Utility capacity is sufficient to support the use at normal service levels	<b>Complies</b>	The site is within a developed area with all utility infrastructure in place. The site currently has both water and sewer service. Salt Lake City Public Utilities has been involved in the review process and will work through the building permit process to ensure that the utility infrastructure is adequate for the proposed facility.
11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts	<b>Complies</b>	The proposed landscaping buffers meet the requirements of the RMF-35 zoning district.
12. The use meets City sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke	<b>Complies</b>	There is no indication that the proposed project will introduce any environmental damage to the surrounding area.
13. The hours of operation and delivery of the use are compatible with surrounding uses	<b>Complies</b>	Aside from Sunday service hours, the church will host activities throughout the week as part of their programming for congregation members. The anticipated hours of normal operation will be compatible with surrounding uses.
14. Signs and lighting are compatible with, and do not negatively impact surrounding uses	<b>Complies</b>	Any signs and lighting will be confined to that necessary to provide safety on the site including for adequate security while being minimized in order to not impact adjacent properties.
15. The proposed use does not undermine preservation of historic resources and structures	<b>Complies</b>	There are no historic resources or structures on this site or in the surrounding area.

**Finding:** In analyzing the anticipated detrimental effects of the proposed use, Planning Staff finds that the request complies with the criteria listed above.

# **ATTACHMENT G: PUBLIC PROCESS AND COMMENTS**

---

## **Public Notice, Meetings, Comments**

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project:

- Notice of the project and request for comments sent to the Chair of the Glendale Community Council (GCC) on May 29, 2018 in order to solicit comments.
- Staff sent an early notification announcement of the project to all residents and property owners living within 300 feet of the project site on May 29, 2018 providing notice about the project and information on how to give public input on the project.
- The 45-day recognized organization comment period expired on July 13, 2017.

### **Notice of the public hearing for the proposal included:**

- Public hearing notice mailed on: July 26, 2018
- Public hearing notice sign posted on the property: July 26, 2018
- Public notice posted on City and State websites & Planning Division list serve: July 26, 2018

### **Public Input:**

The Glendale Community Council Chair did not ask staff to attend a meeting to present the project. No additional public comments were submitted for this proposal from any neighboring property owners or residents.

# **ATTACHMENT H: DEPARTMENT REVIEW COMMENTS**

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The following comments from other reviewing departments were submitted in relation to the proposal:

## **PUBLIC UTILITIES COMMENTS**

- Utilities to the neighboring property go through this property. Easements and protection of these utilities is required.
- Minimum separation requirements must be met. 10' between water and sewer. 5' from sewer to all other utilities and buildings and property lines. 3' from water to all other utilities. 5' from water to buildings and property lines. Water meters must have 5' clearance around the meter.
- Utilities cannot cross property lines without appropriate easements and agreements.
- All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.

## **ENGINEERING COMMENTS**

No objections to the conditional use. It is recommended that the badly cracked public sidewalk in 1000 West be replaced as part of this project.

## **FIRE REVIEW COMMENTS**

Fire would have NO objections to the conditional use petition (PLNPCM2018-00372) for the proposed new Samoan Independent 7th Day Adventist Church to be located at 1624 South 1000 West. The proposed new 2-story, 30 feet or taller, church building with sanctuary space, multi-function/gym space, conference room, office and support spaces and a residential unit, shall be provided with an approved means of fire access; and fire flow, in accordance with IFC and the Appendices (including but not limited to the burial of the overhead utilities).

## **TRANSPORTATION COMMENTS**

It appears that parking calculations and parking dimensions are acceptable. One bike rack will be required.

## **ZONING REVIEW COMMENTS**

1. The uses specified as conditional uses in section [21A.33.020](#), "Table Of Permitted And Conditional Uses For Residential Districts", of this title shall be allowed provided they are approved pursuant to the standards and procedures for conditional uses set forth in chapter 21A.54 of this title, and comply with all other applicable requirements of this title [21A.24.010 D].
  - a. The residential unit for occasional occupancy by visiting clergy appears to be along the lines of a hotel/motel, or a dwelling unit for accessory guest & servants quarters, neither of which are permitted in the RMF-35 zoning district.
  - b. This new development proposal appears to represent a single parcel development which intends to use the adjacent 1612 S 1000 West parcel for parking and maneuvering. Off-site parking is not a permitted use in this RMF-35 zoning district, and therefore; consolidation of the two (2) parcels is required.
2. To maintain architectural harmony and primary orientation along the street, all buildings shall be required to include an entrance door, and such other features as windows, balconies, porches, and other such architectural features in the front facade of the building, totaling not less than ten percent (10%) of the front facade elevation area, excluding any area used for roof structures [21A.24.010 I].
3. On site lighting shall be located, directed or designed in such a manner as to contain and direct light and glare only to the property on which it is located [21A.24.010 K].
4. All uses in the residential districts shall comply with the provisions governing off street parking in chapter 21A.44 of this title [21A.24.010 L].
  - a. The Parking Data provided does not address the residential unit for occasional occupancy by visiting clergy.

- b. The Parking Data provided identifies the “Building Footprint” rather than the FLOOR AREA, GROSS as defined in 21A.62 for determining off street parking and loading requirements and therefore; an inaccurate conclusion has likely been reached.
  - c. The Parking Data provided has not indicated the maximum parking allowed, bicycle parking required/provided outside of the building and within 50’ of the principle entry, nor any method used for reducing or increasing the parking requirement if appropriate.
5. In accordance with 21A.44.020 F.7.a (2), except for entrance and exit driveways leading to properly located parking areas, no curb cuts or driveways are permitted. The existing unused curb cut will need to be replaced with curb & gutter and appropriate landscaping.
  6. All required front and corner yards should be maintained as landscape yards. In addition, all uses in residential districts shall comply with the provisions governing landscaping in chapter 21A.48 [21A.24.010 O]. Compliance, or noncompliance to this, and the interior side yard landscaping requirement of 21A.24.130 F is to be documented for processing through the conditional use process.
  7. The maximum building height permitted in this district is thirty five feet (35’). Compliance, or noncompliance is to be documented on each face of each building for processing through the planned development process.
  8. Any fences, walls and hedges, as well as any ground mounted utility boxes are to be consistent with 21A.40.