



Staff Report

PLANNING DIVISION
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Lauren Parisi, lauren.parisi@slcgov.com, 801-535-7226

Date: September 26, 2018

Re: PLNSUB2018-00555 and PLNSUB2018-00665
TAG 700 Planned Development and Preliminary Subdivision

Planned Development and Preliminary Subdivision

PROPERTY ADDRESS: 2593 S. 700 East
PARCEL ID: 16-20-352-007
MASTER PLAN: Sugar House Master Plan
ZONING DISTRICT: RMF-30 (Low Density Multi-Family Residential)

REQUEST: Jordan Atkin, the developer and owner of the property, is requesting Planned Development and Preliminary Subdivision approval to construct four single-family attached units (townhomes) on the property at 2593 S. 700 East. The applicant is requesting relief from the City's Zoning and Subdivision Ordinance through the Planned Development process for: 1) modified setbacks; 2) reduction of the side entry landscape buffer; and, 3) the creation of undersized lots without public street frontage. The property is located in the RMF-30 (Low Density Multi-Family Residential) zoning district. The Planning Commission has final decision making authority for all Planned Developments.

- a. PLNSUB2018-00555 Planned Development – A residential planned development to construct four single-family attached homes (townhomes) with modifications to Zoning Ordinance regulations.
- b. PLNSUB2018-00665 Preliminary Subdivision – A request to create four individual lots for the four associated single-family attached homes.

RECOMMENDATION: Based on the information in the staff report, Planning staff recommends that the Planning Commission approve the proposal, subject to complying with all applicable regulations and the following conditions:

1. The applicant shall submit a final subdivision plat to the Planning division.
2. The applicant shall record a document that discloses future private infrastructure costs and shall reference said document on the final recorded plat in compliance with 21A.55.110.
3. Documentation that establishes an entity to manage the private infrastructure for the subdivision shall be recorded with the final plat.
4. Compliance with all other City department conditions (as noted in [Attachment I](#)).

PROJECT DESCRIPTION:

Developer *TAG SLC* is proposing to construct four single-family attached units (townhomes) that would be “side-oriented” on the lot as opposed to all having frontage directly off of 700 East. Each unit will be two stories, approximately 2,400 gross square feet with three bedrooms, three bathrooms and a 2-car garage. A 20-foot wide driveway will run along the south side of the site to access each units’ garage and front doorway. A small patio area has also been provided on the back of each unit or the north side of the building. The development’s total footprint will be approximately 4,830 square feet and will measure 29 feet tall to the top of the pitched roofs.

The subject property is located in Salt Lake City’s Sugar House neighborhood just south of I-80 on UDOT road 700 East. The street is lined with a mix of WWII-era brick cottages and larger midcentury apartment buildings. A brick duplex and two larger accessory structures currently sit on the subject property, both of which will be removed to accommodate the new development. The site, and most all of 700 East south of I-80, is zoned RMF-30 or Low Density Multi-Family Residential. The properties just behind or to the east of the site are zoned R-1-7,000 Single-Family Residential. Smaller commercial nodes are located just down the street on the corners of 700 East and 2700 South.



While the proposed townhomes are relatively contemporary in design, the pitched roofs tie in with the existing gable forms on the rest of the block face and also distinguish each individual unit as its own. The design incorporates multiple building materials including white EIFS (Exterior Insulated Finishing System or “synthetic stucco”) siding; black stained cedar accent siding, soffit and balcony railings; and black prefinished sheet metal roofing among other metal accent features. The garage doors on the south side of the building will utilize black privacy glass (see [Attachment C](#) for details) in an effort to be a bit more discrete than the originally proposed white, aluminum doors. Each of the entries on the south side of the building will be recessed approximately six feet from the building plane, while the entry on the front unit will be in line with the building wall and centered on the front façade.

The applicant is requesting relief from the City's Zoning and Subdivision Ordinance through the planned development process for:

1. A reduced front yard setback to accommodate the front balcony
2. A reduced "side entry" landscape buffer
3. The creation of undersized lots without street frontage

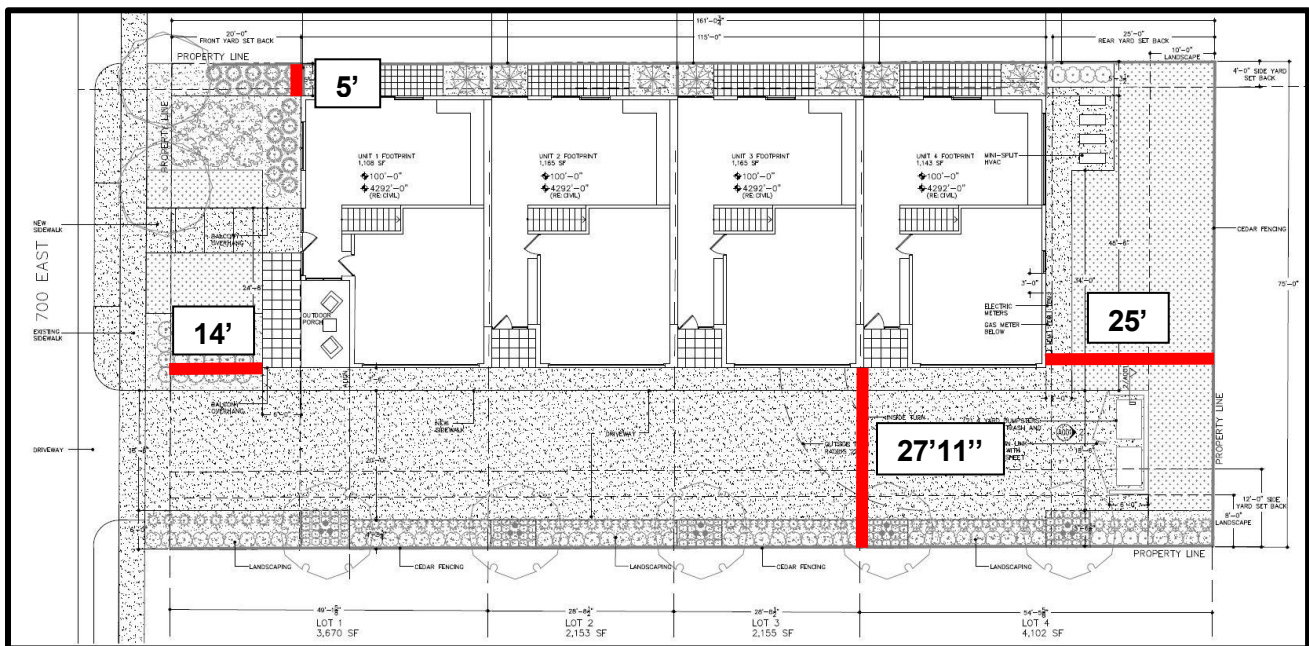
1. Reduced Front Yard Setback

The required front yard setback for buildings in the RMF-30 zoning district is 20 feet. The proposed townhouse development does meet this front yard setback requirement measured to the front building wall; however, the front balcony will encroach 6 feet into the required yard. Balconies and other architectural features are required to meet specified setbacks. It should be noted, the applicant's initial submittal did not include as large of a front balcony. Upon revising their plans to increase street presence, the cedar balcony was elongated to wrap around the front unit from the south to the west. While the balcony may encroach in the front yard, it does work to break up the massing of the more vertically-oriented façade. It adds interest to the front and creates a welcoming feeling similar to the other entrance features along the street.

2. Reduced Side Entry Landscape Buffer

The City's Zoning Code requires a larger 12-foot setback for buildings with principal entries in an interior side yard – 8 feet of which must be landscaped. The intent of this requirement is provide for adequate light, air and separation between buildings. While the proposed south interior setback is more than wide enough (27'11 3/4"), the full 8 feet of landscaping cannot be accommodated. This is partially because the drive needs to be at least 20 feet wide to meet Fire Code access requirements. Instead, the applicant has proposed to install 4-6 feet of landscaping as well as cedar fence along the south property line in an effort to create this distinct separation or buffer between the neighboring home and proposed driveway area.

Building Setbacks from Property Lines



3. Undersized Lots without Street Frontage

As detailed in [Attachment E](#), two of the four lots being created will be under the 3,000 square foot lot size requirement at 2,155 square feet. However, the lot as a whole meets this requirement – averaging 3,020 square feet per lot. Lot size can be modified to accommodate different lot/building arrangements as long as the lot as a whole meets the area requirement. In addition to lot size, the two smaller lots also exceed the maximum building coverage of 40% and do not technically meet the “rear yard” setback and “front yard” landscaping requirement; however, again, the development as a whole meets all of these requirements and the intent of the Zoning Ordinance. The two smaller lots also accommodate a larger backyard space for all of the development and a greater buffer between the townhomes and the neighbors to the east.

Additionally, because each unit will be on its own, individual lot, the three back lots do not have direct public street frontage meaning they do not share a boundary with a public street/public way. This is typically not permitted to discourage landlocked parcels that tend to lack visibility, pedestrian and vehicular access and create other complications for developers and property owners alike. However, here, the proposed lot/building configuration can be easily seen from the street and accessed with appropriate easements. It also allows for the back portion of this long, narrow lot to be better utilized.

KEY DISCUSSION POINTS:

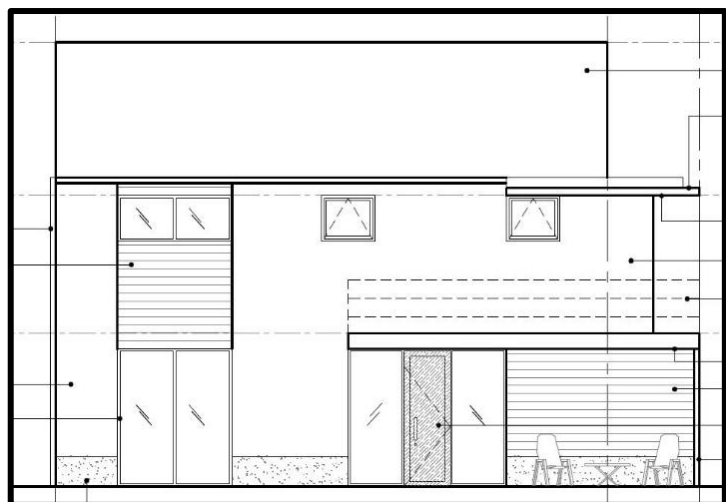
The key points listed below have been identified through the analysis of the project, neighbor and community input and department review comments.

1. **Building Façade Facing 700 East**
2. **Compatibility with Adjacent Properties**
3. **Limitations of the Lot**

1. Building Façade Facing 700 East

In the initial proposal, the front façade of the development included few features that would identify it as the front face of a residence. Instead, this façade resembled the side of a building that lacked street presence. Although the RMF-30 zone includes very few design requirements for new development, the Sugar House Master Plan includes specific recommendations for Planned Developments that the architecture of proposed buildings still address the public street, rather than turning their back (or side) to the street.

In response to staff and community council concerns regarding this lack of a front, the applicant revised their plans to emphasize the entryway by relocating the front door towards the center of the façade between two vertical window panes. The door will also be painted a light blue for additional emphasis against its white backdrop. The balcony was modified to wrap further around this façade, creating somewhat of a canopy above the front door and providing an element of human scale. Further, the entryway stands out on the front plane of the building while the side plane/patio area is slightly recessed. This patio area also increases the street presence off of the front



Updated Front Façade

unit. Finally, additional windows and wood siding were added on the building's front to create a sense of balance and increased visual interest.

In addition to the changes made on the front of the building, the applicant also worked to create more depth and interest on the north side of the building. Metal canopies (1' ½" x 9") were added above each unit's set of sliding back doors. Vertical panels of wood siding were also added between each unit's upper and lower windows. These additions help to break up the massing of this interior wall as to not loom over the home to the north.



2. Compatibility with Adjacent Properties

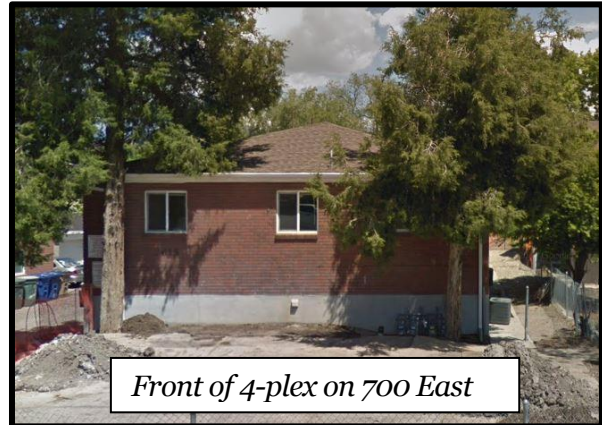
Standard "C" within the planned development chapter focuses on the *design and compatibility* of the proposed development as they relate to scale, massing, materials, siting and orientation on the lot, architectural detailing to facilitate pedestrian interaction, etc. Again, this property is located off of 700 East, which is a busier arterial road in the city. Both of the homes to the north and south of the development are 1-story, single-family brick cottages. However, there are various multi-family buildings scattered throughout the neighborhood.

While the proposed development is taller and has a larger footprint than the homes to the immediate north and south, the mix of building materials, significant amount of glazing and subtle changes in articulation work together to break up its overall mass. These elements also distinguish each individual unit as its own, as opposed to being mistaken for one larger residence. The townhomes will be approximately 29 feet tall to the top of each roof's peak, but the gabled roof forms do tend to break up this upper massing as opposed to a flat roof. The open gable forms with stucco gable walls and metal roofing material somewhat mimic the box gables found along the rest of the street. Larger window openings also mimic the picture windows on the street. Stucco or EIFS is not a predominant building material along the block, but it is used as accent material on homes throughout the immediate neighborhood.

In terms of siting, the building will be pulled closer to the north property line to accommodate the driveway along the south side of the lot. This is a typical development pattern found off of 700 East. Still, the back of the units will be facing the interior of the lot, which is not as typical. As discussed under the first discussion point, the applicants did work to better orient the front unit to the street in keeping with the rest of the homes on the block face.

3. Limitations of the Lot

With any planned development, it's important to note what could be constructed on the lot without special approval. Because the lot is 75 feet wide and under the 80 feet of width required for multi-family uses (3 or more units), a single-family home or a duplex could be constructed on the subject property without special approval. However, this lot does have sufficient lot area – 3,000 square feet per unit – to accommodate 4 units. The Sugar House Master Plan also calls for “medium density residential – 8-20 du/acre,” which would allow one unit per every 2,200 square feet of land. If the lot did meet the minimum width requirement, 4 units could be built within one building on one lot. This is conducive to construct a boxier-style apartment building, similar to the 4-plex just three houses south of the subject property. Without a planned development, fewer design standards are in place to encourage an engaging front façade. With a planned development, the 4 units can be put on their own individual lot which, in turn, may encourage home ownership. Townhomes also tend to be a desirable housing option that target the “missing middle,” but simply would not fit on this lot if they were all required to front 700 East.



NEXT STEPS:

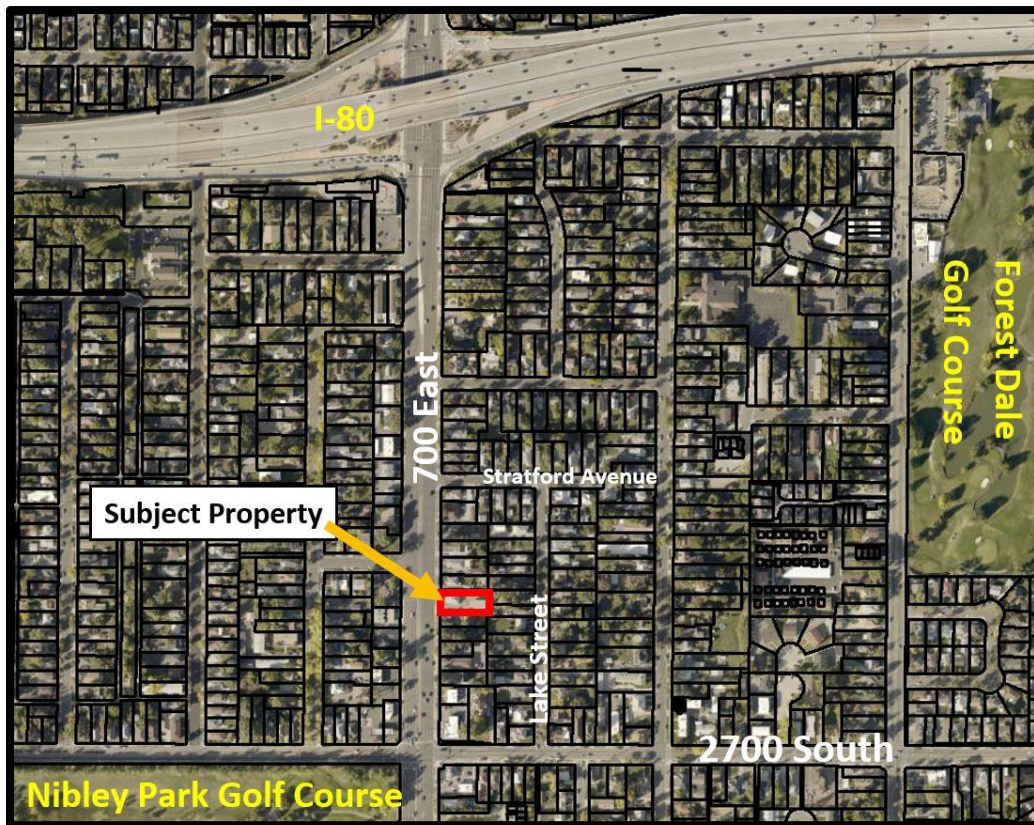
If approved, the applicant may proceed with the project and will be required to obtain all necessary building permits. A final subdivision plat application will need to be submitted for approval.

If denied, the applicant would not be able to redevelop the subject parcel with four single-family attached units and instead would be limited to a single-family home or two dwelling units (duplex or twin home) due to the lot width of the property. Such a development would not be required to go through a Planned Development process and wouldn't be subject to Planning Commission approval.

ATTACHMENTS:

- A. [Vicinity and Zoning Maps](#)
- B. [Property And Vicinity Photographs](#)
- C. [Application Materials](#)
- D. [Master Plan Policies](#)
- E. [Zoning Standards](#)
- F. [Analysis of Standards – Planned Development](#)
- G. [Analysis of Standards – Preliminary Subdivision](#)
- H. [Public Process and Comments](#)
- I. [Department Review Comments](#)

ATTACHMENT A: VICINITY AND ZONING MAPS



ATTACHMENT B: PROPERTY AND VICINITY PHOTOS



View of the subject property (existing duplex to be removed)



Single-family home to the north



Single-family home to the south



Directly across the street (700 East) looking west



Rear of the subject property looking east



Apartment buildings down the street off of 700 East

ATTACHMENT C: APPLICATION MATERIALS

Project Description

We are seeking approval to demolish the existing duplex and out buildings and to construct four single family attached dwelling units.

We feel our proposal meets two main planned development objectives.

C. Housing: Providing affordable housing or types of housing that helps achieve the City's housing goals and policies:

2. The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood.

Response:

Per the *Growing SLC* five year housing plan, the city will continue to grow over the next decade, "...adding an additional 30,000 residents by 2030". (pg. 5) Since Salt Lake City is a mostly built out urban area, currently underutilized lots will need to be redeveloped to accommodate more units than previously existed on the site. Through this method, Salt Lake City will be able to absorb the tens of thousands of new residents reported to be moving into the city in the next 11.5 years. Adding townhomes to this area will also increase the variety of housing stock to the neighborhood. Diversifying the housing stock of Sugar House only makes the neighborhood stronger since more choices for potential home buyers will be available to them than the sole single family homes which currently dominate the area.

F. Master Plan Implementation: A project that helps implement portions of an adopted Master Plan in instances where the Master Plan provides specific guidance on the character of the immediate vicinity of the proposal:

1. A project that is consistent with the guidance of the Master Plan related to building scale, building orientation, site layout, or other similar character defining features. (Ord. 8-18, 2018)

Response:

We understand the city is navigating through a housing crisis and is in need of for-sale housing. As a result, we intend for our project to be a for-sale product that will encourage home ownership in the city. This goes against the trend of what has typically been built in Salt Lake City-specifically in Sugar House-where hundreds of *for-rent* units have been and are currently being built instead of *for-sale* units like we intend to build. As a result, this project will be a net benefit to Sugar House by providing better and more diverse housing options that more fully support the homeowner.

APPLICABLE CODES:

- 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2015 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC), TO INCLUDE APPENDIX J, ISSUED BY THE INTERNATIONAL CODE COUNCIL
- 2015 EDITION OF THE INTERNATIONAL PLUMBING CODE (IPC), ISSUED BY THE INTERNATIONAL CODE COUNCIL (HEREAFTER REFERRED AS "ICC")
- 2015 EDITION OF THE INTERNATIONAL MECHANICAL CODE (IMC), ISSUED BY THE ICC
- 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), ISSUED BY THE ICC
- 2015 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC), ISSUED BY THE ICC
- 2015 EDITION OF THE INTERNATIONAL FUEL GAS CODE (IFGC), ISSUED BY THE ICC
- 2015 EDITION OF THE INTERNATIONAL FIRE CODE (IFC), ISSUED BY THE ICC
- 2014 EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), ISSUED BY THE NATIONAL FIRE PROTECTION ASSOCIATION
- ICC/ANSI A117.1-2009
- ALL UTAH STATE ADOPTED CODES INCLUDING STATE AMENDMENTS

2593 SOUTH 700 EAST
SCHEMATIC DRAWINGS



NOT FOR CONSTRUCTION

SLC ZONING

RMF-3D

PROJECT NARRATIVE

THIS PROJECT CONSISTS OF THE FOLLOWING:
TWO STORY TOWNHOUSE UNITS WITH ATTACHED TWO CAR GARAGES

CODE ANALYSIS:

NOTE : 2015 IRC AS BASIS OF ANALYSIS

CONSTRUCTION TYPE:	VB
OCCUPANCY BASIS:	R-2
AREA OF EACH UNIT:	2,408 G.S.F.
TOTAL AREA (ACTUAL)	9,804 SF
NUMBER OF STORIES:	2
FIRE SPRINKLERS:	NO
FIRE SEPARATION:	1 HR. REQUIRED / 2 HR PROVIDED
RATED WALL ASSEMBLIES:	2 HR UL #263
DRAFTSTOPS:	NOT REQUIRED FOR AREAS < 1000 SF
WINDOW EGRESS:	SEE WINDOW TYPES

SHEET

INDEX

CVR

INDEX + CODE REVIEW

CIVIL

	SUBDIVISION PLAT
C0.00	CIVIL COVER SHEET
C0.01	GENERAL NOTES, LEGEND AND ABBREVIATIONS
C1.01	DEMOLITION PLAN
C2.01	GRADING AND DRAINAGE PLAN
C2.02	EROSION CONTROL PLAN
C4.01	SITE UTILITY PLAN
C5.01	CIVIL DETAILS
C5.02	CIVIL DETAILS
C5.03	CIVIL DETAILS

LANDSCAPE

L1.01	LANDSCAPE PLAN
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ARCHITECTURAL

A000	3D VIEWS
A001	SITE PLAN
A100	FLOOR PLAN L.1
A101	FLOOR PLAN L.2
A200	ELEVATIONS
A201	ELEVATIONS

LANDSCAPE ARCHITECT

SCOTT SCHOONOVER

MCNEIL ENGINEERING
801-255-7700

CIVIL ENGINEER

ROBERT POIRIER

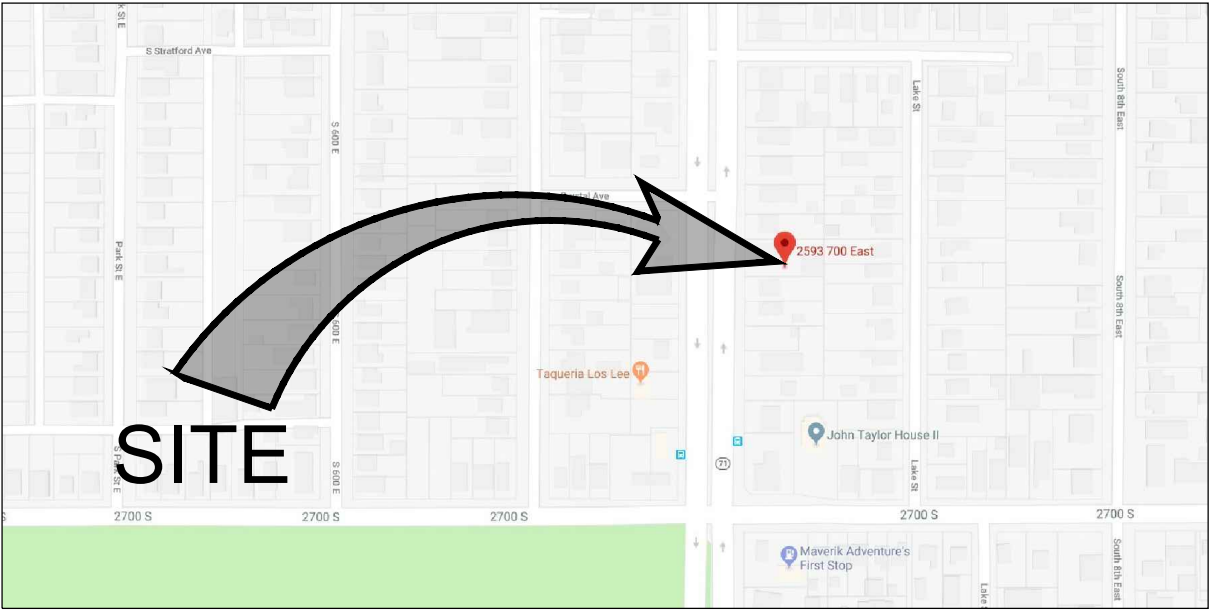
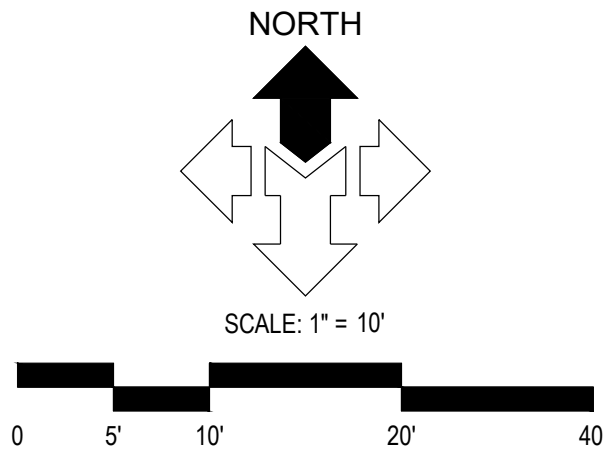
MCNEIL ENGINEERING
801-255-7700

TAG 700 EAST

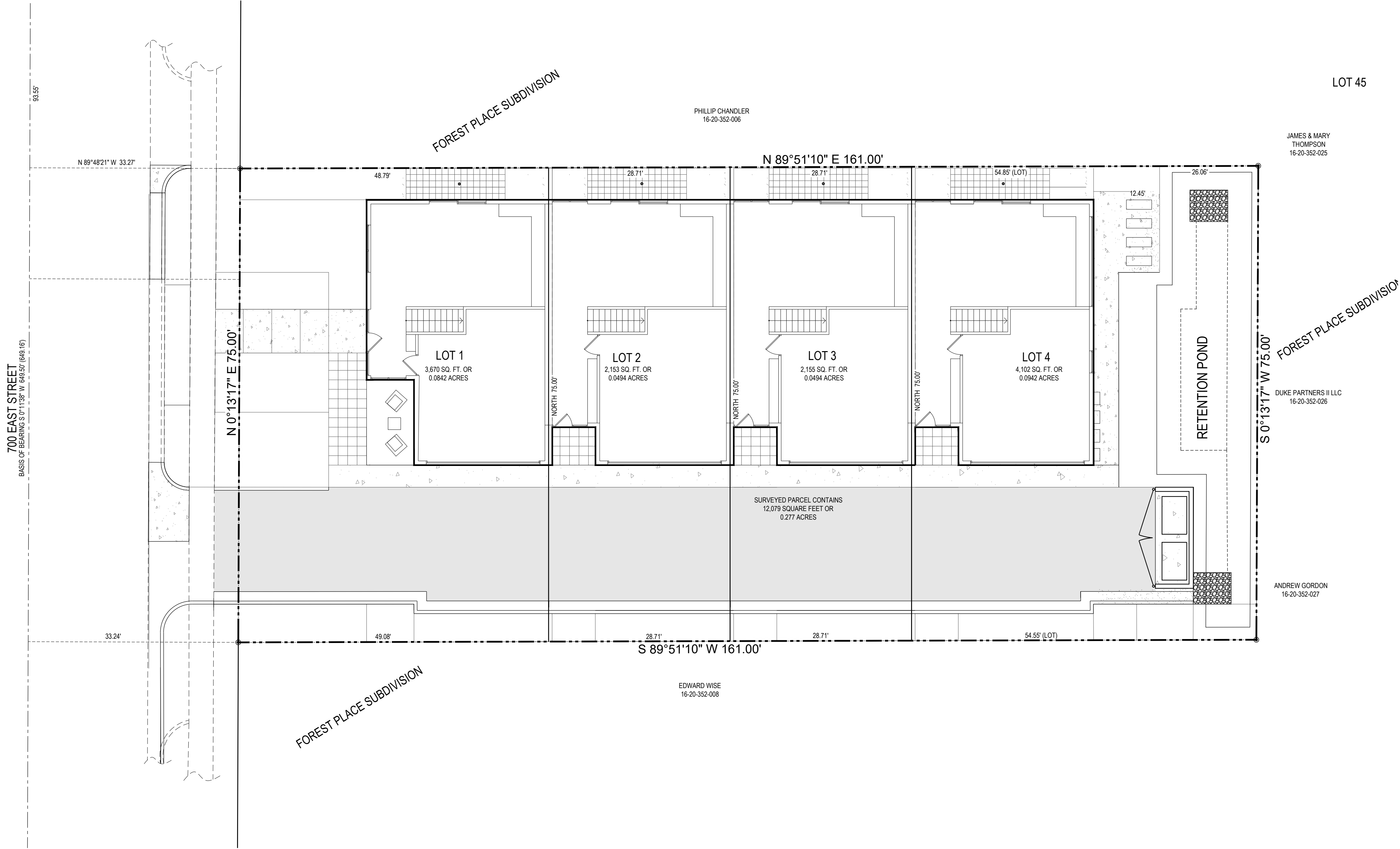
2593 S 700 E

SALT LAKE CITY, UTAH 84106

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 1 EAST, S.L.B. & M.



VICINITY MAP
N.T.S.



DRAWING INDEX

SHEET	DESCRIPTION
C0.00	CIVIL COVER SHEET
C0.01	GENERAL NOTES, LEGEND AND ABBREVIATIONS
C1.01	HORIZONTAL CONTROL PLAN
C2.01	GRADING AND DRAINAGE PLAN
C2.02	EROSION CONTROL PLAN
C4.01	SITE UTILITY PLAN
C5.01	CIVIL DETAILS
C5.02	CIVIL DETAILS
C5.03	CIVIL DETAIL

PRIOR TO WORKING IN THE PUBLIC RIGHT OF WAY, A LICENSED, INSURED, AND BONDED CONTRACTOR, WHO HAS SAID INFORMATION ON FILE WITH SLC ENGINEERING, MUST OBTAIN A PUBLIC RIGHT OF WAY PERMIT FROM SLC ENGINEERING AND PERHAPS A TRANSPORTATION PERMIT. ALL WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW APWA STANDARD PLANS.

ALL WORK AND MATERIALS FOR WATER MUST CONFORM TO SALT LAKE CITY PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS

ALL WORK AND MATERIALS FOR SEWER MUST CONFORM TO SALT LAKE CITY PUBLIC UTILITIES STANDARDS AND SPECIFICATIONS

ALL WORK MUST CONFORM TO SALT LAKE CITY PUBLIC UTILITIES STANDARDS OF PRACTICE FOR MODIFICATIONS TO THE APWA STANDARDS

DEVELOPER & OWNER

CLIENT: JORDAN ATKINS
PO BOX 711548
SALT LAKE CITY, UT 84171
PHONE: (801) 401-0662
EMAIL: jordan@tagslc.com



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Structural Engineering • Land Surveying & HDS

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SALT LAKE CITY PUBLIC UTILITIES GENERAL NOTES

1. **COMPLIANCE**
ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, AND SLC PUBLIC UTILITIES MODIFICATIONS TO APWA STANDARD PLANS AND APPROVED MATERIALS AND SLC PUBLIC UTILITIES APWA SPECIFICATIONS MODIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED IN WRITING BY THE SALT LAKE CITY DIRECTOR OF PUBLIC UTILITIES.
2. **COORDINATION**
THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL APPROPRIATE GOVERNMENT AND PRIVATE ENTITIES ASSOCIATED WITH THE PROJECT. THE FOLLOWING MUST BE CONTACTED 48-HOURS PRIOR TO CONSTRUCTION AS APPLICABLE TO THE PROJECT:

PUBLIC UTILITIES:
BACKFLOW PREVENTION - 483-6795
DEVELOPMENT REVIEW ENGINEERING - 483-6781
INSPECTIONS, PERMITS, CONTRACTS & AGREEMENTS - 483-6727
PRETREATMENT - 799-4002
STORM WATER - 483-6751

SLC DEPARTMENTS:
ENGINEERING - PUBLIC WAY PERMITS AND ISSUES - 535-6248
ENGINEERING - SUBDIVISIONS - 535-6159
FIRE DEPARTMENT - 535-6636
PERMITS AND LICENSING (BLDG SERVICES) - 535-7752
PLANNING AND ZONING - 535-7700
TRANSPORTATION - 535-6630

- ALL OTHER POTENTIALLY IMPACTED GOVERNING AGENCIES OR ENTITIES
- ALL WATER USERS INVOLVED IN WATER MAIN SHUTDOWNS
- APPLICABLE SEWER, WATER AND DRAINAGE DISTRICTS
- BLUESTAKES LOCATING SERVICES - 532-5000
- COUNTY FIRE DEPARTMENT - 743-7231
- COUNTY FLOOD CONTROL - 468-2773
- COUNTY HEALTH DEPARTMENT - 385-468-3913
- COUNTY PUBLIC WAY PERMITS - 468-2241
- HOLLADAY CITY - 272-3450
- SALT LAKE COUNTY HIGHWAY DEPARTMENT - 468-3705 OR 468-2156
- THE UTAH TRANSIT AUTHORITY FOR RE-ROUTING SERVICE - 262-5626
- UNION PACIFIC RAILROAD CO. SUPERINTENDENTS OFFICE - 595-3405
- UTAH DEPARTMENT OF TRANSPORTATION, REGION #2 - 975-4800
- UTAH STATE ENGINEER - 539-7240
3. **SCHEDULE**
PRIOR TO CONSTRUCTION THE CONTRACTOR WILL PROVIDE, AND WILL UPDATE AS CHANGES OCCUR, A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE SPECIFICATIONS AND SALT LAKE CITY ENGINEERING OR SALT LAKE COUNTY REGULATIONS AS APPLICABLE FOR WORKING WITHIN THE PUBLIC WAY.
4. **PERMITS, FEES AND AGREEMENTS**
CONTRACTOR MUST OBTAIN ALL THE NECESSARY PERMITS AND AGREEMENTS AND PAY ALL APPLICABLE FEES PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT SALT LAKE CITY ENGINEERING (483-6248) FOR PERMITS AND INSPECTION REQUIRED FOR ANY WORK CONDUCTED WITHIN SALT LAKE CITY'S PUBLIC RIGHT-OF-WAY. APPLICABLE UTILITY PERMITS MAY INCLUDE MAINLINE EXTENSION AGREEMENTS AND SERVICE CONNECTION PERMITS. ALL UTILITY WORK MUST BE BONDED. ALL CONTRACTORS MUST BE LICENSED TO WORK ON CITY UTILITY WORKS. CONSTRUCTION SITES MUST BE IN COMPLIANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) STORM WATER PERMIT FOR CONSTRUCTION ACTIVITIES (538-6823). A COPY OF THE PERMITS STORM WATER POLLUTION PREVENTION PLAN MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADDITIONAL WATER QUALITY AND EROSION CONTROL MEASURES MAY BE REQUIRED. THE CONTRACTOR MUST ALSO COMPLY WITH SALT LAKE CITY'S CLEAN WHEEL ORDINANCE.
5. **ASPHALT AND SOIL TESTING**
THE CONTRACTOR IS RESPONSIBLE TO PROVIDE MARSHALL AND PROCTOR TEST DATA 24 HOURS PRIOR TO USE. CONTRACTOR IS TO PROVIDE COMPACTION AND DENSITY TESTING AS REQUIRED BY SALT LAKE CITY ENGINEERING, UDOT, SALT LAKE COUNTY OR OTHER GOVERNING ENTITY. TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS, SECTION 3305.2 - BACKFILLING TRENCHES, OR AS REQUIRED BY THE SLC PROJECT ENGINEER IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED WITHIN THE PIPE ZONE. THE MAXIMUM LIMITS FOR BACKFILLING EXCAVATIONS IS 8-INCHES. ALL MATERIALS AND COMPACTION TESTING IS TO BE PERFORMED BY A LAB RECOGNIZED AND ACCEPTED BY SALT LAKE COUNTY PUBLIC WORKS AND/OR SALT LAKE CITY ENGINEERING.
6. **TRAFFIC CONTROL AND HAUL ROUTES**
TRAFFIC CONTROL MUST CONFORM TO THE MOST CURRENT EDITION OF SALT LAKE CITY PUBLIC CONTROL MANUAL - PART 6 OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STATE, COUNTY AND STATE ROADS. SLC TRANSPORTATION MUST APPROVE ALL PROJECT HAUL ROUTES (535-1729). THE CONTRACTOR MUST ALSO CONFORM TO UDOT, SALT LAKE COUNTY OR OTHER APPLICABLE GOVERNING ENTITIES REQUIREMENTS FOR TRAFFIC CONTROL.
7. **SURVEY CONTROL**
CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS APPROVED. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE GRADE OF THE MAIN AND/OR FACILITY AS APPROVED. IN ADDITION, THE CONTRACTOR AND/OR SURVEYOR SHALL PROVIDE TO SALT LAKE CITY PUBLIC UTILITIES CUT SHEETS FILLED OUT COMPLETELY AND CLEARLY SHOWING THE PERTINENT GRADIES, ELEVATIONS AND CUTFILLS ASSOCIATED WITH THE FIELD STAKING OF THE MAIN AND/OR FACILITY. THE CUT SHEET FORM IS AVAILABLE AT THE CONTRACTS AND AGREEMENTS OFFICE AT PUBLIC UTILITIES. ALL MAINS AND LATERALS NOT MEETING MINIMUM GRADE REQUIREMENTS AS SPECIFIED BY ORDINANCE OR AS REQUIRED TO MEET THE MINIMUM REQUIRED FLOWS OR AS APPROVED MUST BE REMOVED AND RECONSTRUCTED TO MEET DESIGN GRADE. THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS UNTIL PUBLIC UTILITY SURVEYORS COMPLETE FINAL MEASUREMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE COUNTY SURVEYOR (468-2028) FOR MONUMENT LOCATIONS AND CONSTRUCTION REQUIREMENTS. ALL ELEVATIONS SHALL BE REFERENCED TO SALT LAKE CITY DATUM UNLESS NOTED OTHERWISE ON THE PLANS.
8. **ASPHALT GUARANTEE**
THE CONTRACTOR SHALL REMOVE, DISPOSE OF, FURNISH AND PLACE PERMANENT ASPHALT PER SALT LAKE CITY ENGINEERING, UDOT, COUNTY, OR OTHER GOVERNMENT STANDARDS AS APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING ENTITY.
9. **TEMPORARY ASPHALT**
IF THE CONTRACTOR CHOOSES TO WORK WITHIN THE PUBLIC WAY WHEN HOT MIX ASPHALT IS NOT AVAILABLE, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE APPROPRIATE GOVERNING ENTITY PRIOR TO INSTALLING TEMPORARY ASPHALT SURFACING MATERIAL WITHIN SALT LAKE CITY. WHEN PERMANENT ASPHALT BECOMES AVAILABLE, THE CONTRACTOR SHALL REMOVE THE TEMPORARY ASPHALT, FURNISH AND INSTALL THE PERMANENT ASPHALT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING ENTITY FROM THE DATE OF COMPLETION.
10. **SAFETY**
THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA, STATE, COUNTY AND OTHER GOVERNING ENTITY REQUIREMENTS.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS.
11. **DUST CONTROL**
THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL, ACCORDING TO THE GOVERNING ENTITY STANDARDS. USE OF HYDRANT WATER OR PUMPING FROM CITY-OWNED CANALS OR STORM DRAINAGE FACILITIES IS NOT ALLOWED FOR DUST CONTROL ACTIVITIES WITHOUT WRITTEN APPROVAL OF THE PUBLIC UTILITIES DIRECTOR.
12. **DEWATERING**
ALL ON-SITE DEWATERING ACTIVITIES MUST BE APPROVED IN WRITING BY PUBLIC UTILITIES. PROPOSED OUTFALL LOCATIONS AND ESTIMATED FLOW VOLUME CALCULATIONS MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADEQUATE MEASURES MUST BE TAKEN TO REMOVE ALL SEDIMENT PRIOR TO DISCHARGE. PUBLIC UTILITIES MAY REQUIRE ADDITIONAL MEASURES FOR SEDIMENT CONTROL AND REMOVAL.
13. **PROJECT LIMITS**
THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF FRENCH EXCAVATION. IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN PERMISSION AND/OR APPROPRIATE GOVERNING ENTITY APPROVAL PRIOR TO ANY INDIVIDUAL, PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
14. **WATER, FIRE, SANITARY SEWER AND STORM DRAINAGE UTILITIES**
A. **INSPECTIONS**
IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE ANY WATER, SEWER, BACKFLOW AND DRAINAGE INSPECTION 48-HOURS IN ADVANCE TO WHEN NEEDED. CONTACT 483-6727 TO SCHEDULE INSPECTIONS.

B. **DAMAGE TO EXISTING UTILITIES**
THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES DURING WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR, MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE, TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.

C. **UTILITY LOCATIONS**
CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING AND AVOIDING ALL UTILITIES AND SERVICE LATERALS, AND FOR REPAIRING ALL DAMAGE THAT OCCURS TO THE UTILITIES DUE TO THE CONTRACTOR'S ACTIVITIES. CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, MATERIAL AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF 300-FEET AHEAD OF SCHEDULED CONSTRUCTION IN ORDER TO IDENTIFY POTENTIAL CONFLICTS AND PROBLEMS WITH

- FUTURE CONSTRUCTION ACTIVITIES. EXISTING UTILITY INFORMATION OBTAINED FROM SLC PUBLIC UTILITIES MAPS MUST BE ASSUMED AS APPROXIMATE AND REQUIRING FIELD VERIFICATION. CONTACT BLUE STAKES OR APPROPRIATE OWNER FOR COMMUNICATION LINE LOCATIONS.
- D. **UTILITY RELOCATIONS**
FOR UTILITY CONFLICTS REQUIRING MAINLINE RELOCATIONS, THE CONTRACTOR MUST NOTIFY THE APPLICABLE UTILITY COMPANY OR USER A MINIMUM OF 2 WEEKS IN ADVANCE. A ONE-WEEK MINIMUM NOTIFICATION IS REQUIRED FOR CONFLICTS REQUIRING THE RELOCATION OF SERVICE LATERALS. ALL RELOCATIONS ARE SUBJECT TO APPROVAL FROM THE APPLICABLE UTILITY COMPANY AND/OR USER.
- E. **FIELD CHANGES**
NO ROADWAY, UTILITY ALIGNMENT OR GRADE CHANGES ARE ALLOWED FROM THE APPROVED CONSTRUCTION PLANS/DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE SLC PUBLIC UTILITIES DIRECTOR. CHANGES TO HYDRANT LOCATIONS AND/OR FIRE LINES MUST BE REVIEWED AND APPROVED BY THE SALT LAKE CITY OR SALT LAKE COUNTY FIRE DEPARTMENT (AS APPLICABLE TO THE PROJECT) AND PUBLIC UTILITIES.
- F. **PUBLIC NOTICE TO PROJECTS IN THE PUBLIC WAY**
FOR APPROVED PROJECTS THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND DISTRIBUTE WRITTEN NOTICE TO ALL RESIDENTS LOCATED WITHIN THE PROJECT AREA AT LEAST 72-HOURS PRIOR TO CONSTRUCTION. WORK TO BE CONDUCTED WITHIN COMMERCIAL OR INDUSTRIAL AREAS MAY REQUIRE A LONGER NOTIFICATION PERIOD AND ADDITIONAL CONTRACTOR COORDINATION WITH PROPERTY OWNERS. THE WRITTEN NOTICE IS TO BE APPROVED BY THE SLC PUBLIC UTILITIES PROJECT ENGINEER.
- G. **PUBLIC NOTICE FOR WATER MAIN SHUT DOWNS**
THROUGH THE SLC PUBLIC UTILITIES INSPECTOR AND WITH THE PUBLIC UTILITIES PROJECT ENGINEER APPROVAL, SLC PUBLIC UTILITIES MUST BE CONTACTED AND APPROVE ALL WATER MAIN SHUTDOWNS. ONCE APPROVED THE CONTRACTOR MUST NOTIFY ALL EFFECTED USERS BY WRITTEN NOTICE A MINIMUM OF 48-HOURS (RESIDENTIAL) AND 72-HOURS (COMMERCIAL/INDUSTRIAL) PRIOR TO THE WATER MAIN SHUT DOWN. PUBLIC UTILITIES MAY REQUIRE LONGER NOTICE PERIODS.

- H. **WATER AND SEWER SEPARATION**
IN ACCORDANCE WITH UTAH'S DEPARTMENT OF HEALTH REGULATIONS, A MINIMUM TEN-FOOT HORIZONTAL AND 1.5-FOOT VERTICAL (WITH WATER ON TOP) SEPARATION IS REQUIRED. IF THESE CONDITIONS CANNOT BE MET, STATE AND SLC PUBLIC UTILITIES APPROVAL IS REQUIRED. ADDITIONAL CONSTRUCTION MEASURES WILL BE REQUIRED FOR THESE CONDITIONS.
- I. **SALVAGE**
ALL METERS MUST BE RETURNED TO PUBLIC UTILITIES, AND AT PUBLIC UTILITIES REQUEST ALL SALVAGED PIPE AND/OR FITTINGS MUST BE RETURNED TO SLC PUBLIC UTILITIES (483-6727) LOCATED AT 1530 SOUTH WEST TEMPLE.

- J. **SEWER MAIN AND LATERAL CONSTRUCTION REQUIREMENTS**
SLC PUBLIC UTILITIES MUST APPROVE ALL SEWER CONNECTIONS. ALL SEWER LATERALS 8-INCHES AND SMALLER MUST WYE INTO THE MAINS PER SLC PUBLIC UTILITIES REQUIREMENTS. ALL 8-INCH AND LARGER SEWER CONNECTIONS MUST BE PETITIONED FOR AT PUBLIC UTILITIES (483-6762) AND CONNECTED AT A MANHOLE. INSIDE DROPS IN MANHOLES ARE NOT ALLOWED. A MINIMUM 4'-0" BURY DEPTH IS REQUIRED ON ALL SEWER MAINS AND LATERALS. CONTRACTOR SHALL INSTALL INVERT COVERS IN ALL SEWER MAINS WITHIN THE PROJECT AREA.

- K. **WATER AND FIRE MAIN AND SERVICE CONSTRUCTION REQUIREMENTS**
SLC PUBLIC UTILITIES MUST APPROVE ALL FIRE AND WATER SERVICE CONNECTIONS. A MINIMUM 3'-0" SEPARATION IS REQUIRED BETWEEN ALL WATER AND FIRE SERVICE TAPS INTO THE MAIN. ALL CONNECTIONS MUST BE MADE MEETING SLC PUBLIC UTILITIES REQUIREMENTS. A 5'-0" MINIMUM BURY DEPTH (FINAL GRADE TO TOP OF PIPE) IS REQUIRED ON ALL WATER/FIRE LINES UNLESS OTHERWISE APPROVED BY PUBLIC UTILITIES. WATER LINE THRUST BLOCK AND RESTRAINTS AS PER SLC APPROVED DETAIL DRAWINGS AND SPECIFICATIONS. ALL EXPOSED RISERS AND BOLTS WILL BE COATED WITH CHEVRON FPM GREASE PLUS MINIMUM 8 MIL THICKNESS PLASTIC PROVIDE STAINLESS STEEL NUTS, BOLTS AND WASHERS FOR HIGH GROUNDWATER/SATURATED CONDITIONS AT FLANGE FITTINGS, ETC.

- L. **WATERLINES INSTALLATIONS AND TESTING**
ALL WATERLINES INSTALLATIONS AND TESTING TO BE IN ACCORDANCE WITH AWWA SECTIONS C900, C801, C561, C206, C200, C300, C303 AWWA MANUAL M11 AND ALL OTHER APPLICABLE AWWA, UPWS, ASTM AND ANSI SPECIFICATIONS RELEVANT TO THE INSTALLATION AND COMPLETION OF THE PROJECT. AMENDMENT TO SECTION C900 SECTION 4.1.1. DOCUMENT TO READ MINIMUM TEST PRESSURE SHALL NOT BE LESS THAN 20 P.S.I. GAUGED TO A HIGH POINT OF THE PIPELINE BEING TESTED. ALL MATERIALS USED FOR WATERWORKS PROJECTS TO BE RATED FOR 150 P.S.I. MINIMUM OPERATING PRESSURE.

- M. **BACKFLOW PREVENTORS ARE REQUIRED ON ALL IRRIGATION AND FIRE SPRINKLING TAPS PER PUBLIC UTILITIES AND SLC FIRE DEPARTMENT REQUIREMENTS. CONTRACTORS SHALL INSTALL BACKFLOW PREVENTION DEVICES ON FIRE SPRINKLER CONNECTIONS. DOUBLE CHECK VALVE ASSEMBLIES SHALL BE INSTALLED ON CLASS 1, 2 AND 3 SYSTEMS. REDUCED PRESSURE PRINCIPLE VALVES SHALL BE INSTALLED ON CLASS 4 SYSTEMS. ALL FIRE SPRINKLING BACKFLOW ASSEMBLIES SHALL CONFORM TO ASSE STANDARD 1048, 1013, 1047 AND 1015. THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM BACKFLOW PREVENTION TESTS PER SALT LAKE CITY STANDARDS AND SUBMIT RESULTS TO PUBLIC UTILITIES. ALL TESTS MUST BE PERFORMED AND SUBMITTED TO PUBLIC UTILITIES WITHIN 10 DAYS OF INSTALLATION OR WATER TURN-ON. BACKFLOW TEST FORMS ARE AVAILABLE AT PUBLIC UTILITIES CONTRACTS AND AGREEMENTS OFFICE.**

- N. **GENERAL WATER, SEWER AND STORM DRAIN REQUIREMENTS**
ALL WATER, FIRE AND SEWER SERVICES STUBBED TO A PROPERTY MUST BE USED OR WATER AND FIRE SERVICES MUST BE KILLED AT THE MAIN AND SEWER LATERALS CAPPED AT PROPERTY LINE PER PUBLIC UTILITIES REQUIREMENTS. ALL ALLOWABLE SERVICES TO BE KEPT WILL BE AS DETERMINED BY THE PUBLIC UTILITIES PROJECT ENGINEER. ALL WATER AND FIRE SERVICE KILLS AND SEWER LATERAL CAPS ARE TO BE KILLED AND CAPPED AS DETERMINED AND VISUALLY VERIFIED BY THE ON-SITE PUBLIC UTILITIES INSPECTOR.

- O. **ALL MANHOLES, HYDRANTS, VALVES, CLEAN-OUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER PUBLIC UTILITIES STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS AND VALVES PER PUBLIC UTILITIES STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED AS REQUIRED BY THE PUBLIC UTILITIES INSPECTOR. ALL MANHOLE, CLEANOUT BOX OR CATCH BASIN DISCONNECTIONS MUST BE REPAIRED AND GROUTED AS REQUIRED BY THE ON-SITE PUBLIC UTILITIES INSPECTOR.**

- P. **CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION. UTILITY TRENCHING, BACKFILL, AND PIPE ZONE AS PER SLC PUBLIC UTILITIES, "UTILITY INSTALLATION DETAIL."**

- Q. **STREETLIGHTS-**
ALL STREETLIGHTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT SALT LAKE CITY STANDARDS AND N.E.C. (NATIONAL ELECTRICAL CODE). A STREET LIGHTING PLAN SHOWING WIRING LOCATION, WIRING TYPE, VOLTAGE, POWER SOURCE LOCATION, AND WIRING SHALL BE SUBMITTED TO SALT LAKE CITY AND BE APPROVED PRIOR TO CONSTRUCTION. NO DEVIATION OF STREETLIGHT, POLE BOXES, CONDUITS, AND, ETC. LOCATIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE STREET LIGHTING PROGRAM MANAGER OR HIS/HER REPRESENTATIVE.

- R. **STREETLIGHT POLES SHALL NOT BE INSTALLED WITHIN 5 FEET OF A FIRE HYDRANT. THE LOCATION SHALL BE SUCH THAT IT DOES NOT INTERFERE THE OPERATION OF THE FIRE HYDRANT AND WATER LINE OPERATION VALVES.**

- S. **STREETLIGHTS AND STREETLIGHT POLES SHALL NOT BE INSTALLED WITHIN 5 FEET FROM ANY TREE, UNLESS WRITTEN APPROVAL IS RECEIVED FROM THE STREET LIGHTING PROGRAM MANAGER. BRANCHES MAY NEED TO BE PRUNED AS DETERMINED BY THE INSPECTOR IN THE FIELD AT THE TIME OF INSTALLATION.**

- T. **STREETLIGHTS SHALL NOT BE INSTALLED WITHIN 5 FEET FROM THE EDGE OF ANY DRIVEWAY.**

- U. **ANTI-SIZE LUBRICANT SHALL BE USED ON ALL COVER BOLTS AND GROUND SOLE BOLTS.**

- V. **IF APPROVED PLANS REQUIRE REMOVAL OF STREETLIGHT POLES DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POLES WHILE THEY ARE DOWN. THE POLES SHALL BE STORED IN A SECURE LOCATION AND RAISED OFF THE GROUND. PICTURES SHALL BE TAKEN BEFORE THE POLES ARE REMOVED TO DOCUMENT THE CONDITION OF THE POLES BEFORE THEY WERE REMOVED. PICTURES SHALL BE SENT TO THE CITY. CONTRACTOR SHALL ENSURE THE POLES ARE IN SIMILAR CONDITION WHEN RESTORED TO THEIR ORIGINAL LOCATIONS.**

- W. **IF APPROVED PLANS REQUIRE PERMANENT REMOVAL OF STREETLIGHT POLES THE CONTRACTOR SHALL COORDINATE SALVAGE AND/OR DISPOSAL OF POLES, FIXTURES, AND LIGHTS WITH THE STREET LIGHTING PROGRAM MANAGER.**

- X. **ANY STRUCTURE SUCH AS BLOCK WALLS, CHAIN LINK FENCES, RETAINING WALLS, ETC. SHALL LEAVE A MINIMUM OF EIGHTEEN (18) INCHES TO THE FACE OF THE STREETLIGHT POLE ON ALL SIDES.**

GENERAL NOTES

- 1.1. **COMPLIANCE**
1. ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
2. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING: INTERNATIONAL BUILDING CODE (IBC), THE INTERNATIONAL PLUMBING CODE, STATE DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, ADA ACCESSIBILITY GUIDELINES.
3. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.

- 1.2. **PERMITTING AND INSPECTIONS**
1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
3. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE, CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.

- 1.3. **COORDINATION & VERIFICATION**
1. ALL DIMENSIONS, GRADES & UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
2. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
3. CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO: LANDSCAPE PLANS, SITE ELECTRICAL, SITE LIGHTING PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S), MECHANICAL PLANS FOR LOCATION OF SERVICES TO THE BUILDING(S), INCLUDING FIRE PROTECTION, ARCHITECTURAL SITE PLAN FOR DIMENSIONS, ACCESSIBLE ROUTES, ETC., AND/OR CIVIL PLANS.
4. CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.

- 1.4. **SAFETY AND PROTECTION**
1. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
3. CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS AND PUBLIC.
4. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.
5. CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF FRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL, PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
6. CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADE, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," LATEST EDITION.
7. CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
8. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL, ACCORDING TO GOVERNING AGENCY STANDARDS.
9. CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
10. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROCEEDED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
11. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
12. NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
13. THE CONTRACTOR SHALL TAKE REASONABLE MEASURE TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DURING THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

- 1.5. **MATERIALS**
1. SITE CONCRETE SHALL BE A MINIMUM 6.5 BAG MIX, 4000 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 1/4" OR 1/4" AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. SEE SPECIFICATION A. SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/4" DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
2. CONCRETE WATERWAYS, CURB WALLS, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED (1/4" DEPTH) AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET.
3. UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 8" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE.
4. UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90%) SUBGRADE.
5. ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN."
6. ALL JOINTS (CONTRACT, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION).
7. ASPHALTIC CONCRETE PAVEMENT SHALL BE A MINIMUM 7" OVER 6" OF COMPACTED (95%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE. SEE SPECIFICATIONS, AND DETAIL "D1" SHEET C5.01.
8. ASPHALT CONCRETE SHALL BE A MINIMUM 95% (MARSHALL DESIGN).
9. SURFACE COURSE SHALL BE 1 1/2" MINUS, MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.
10. C. PAVEMENT TO BE A 1" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.
11. D. THICKNESSES OVER 3" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.

- 1.6. **GRADING / SOILS**
1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
3. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 98% MIN. OF LOCAL DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE OR 3% BELOW OPTIMUM.
4. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE DRIVING AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
5. THESE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
6. ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

GENERAL NOTES: CONTINUED

- AC ACRE
ADA AMERICANS WITH DISABILITIES ACT
ATMS ADVANCED TRAFFIC MGMT. SYSTEM
B&C BAR & CAN
BC BUILDING CORNER
BOV BLOW-OFF VALVE
BOW BACK OF WALK
BW BOTTOM OF WALL
C CENTERLINE
CATV CABLE TELEVISION
CBR CONCRETE BARRIER
CC CURB CUT
COL COLUMBIA
COMM COMMUNICATIONS
CONC CONCRETE
CONST CONSTRUCTION
COP CONTROL POINT
CTREE CONIFEROUS TREE
CUFT CUBIC FOOT
CYD CUBIC YARD
D DIA OR Ø DIAMETER
DIP DIAPHRAGM
DYL DOUBLE YELLOW LINE
E EAST
EB ELECTRIC BOX
EG HEADS
EGL ENERGY GRADE LINE
ELEV ELEVATION
EM ELECTRIC METER
EOA EDGE OF ASPHALT
EOC EDGE OF CONCRETE
EOG EDGE OF GRAVEL
EOH EDGE OF HIGHWAY
EX or EXIST EXISTING
F FIRE
FC FOUNDATION CORNER
FD FOUND
FDC FIRE DEPT. CONNECTION
FDM FOUND MONUMENT
FDS FOUND SECTION CORNER
FEE FINISHED FLOOR ELEVATION
FG FINISHED GRADE
FH FLOW LINE
FL FLOW LINE
FNC FENCE
FNCL CHAIN LINK FENCE
FNCV VINYL FENCE
FNWD WOOD FENCE
FO FRONT OF WALK
FT FEET
FV FLOW VALVE
GAR GARAGE
GB GRADE BREAK
GL GROUND LIGHT
GM GAS METER
GMH GAS MANHOLE
GUY WIRE
GVS GAS VALVE
HDP HIGH DENSITY POLYETHYLENE
HG HEADS
HGL HYDRAULIC GRADE LINE
HP HIGH POINT
HW HEADWALL or HIGH WATER
HWH HIGHWAY
ICV IRRIGATION CLEANOUT
ICO IRRIGATION CONTROL VALVE
IRF IRON FENCE
IRRR IRRIGATION
LIP LIP OF GUTTER
LP LOW POINT or LIGHT POLE
LX LOW POINT
M MAXIMUM
MIN MINIMUM
MON MONUMENT
MP METAL PIPE
MW MONITORING WELL
N NORTH
NG NATURAL GROUND
NGRT NG AT RETAINING WALL
NR NAIL & REBBER
NW NAIL & WASHER
NTS NOT TO SCALE
OG ORIGINAL GROUND
OVR OVERLAP
OHC OVERHEAD COMMUNICATIONS
OHP OVERHEAD POWER
OHT OVERHEAD TELEPHONE
OTD STANDARD
P PROPERTY LINE
PB POWER BOX
PC POINT OF CURVATURE
PDC POINT OF COMING AND CURVE
PI POINT OF INTERSECTION
PM PARKING METER
PP POWER POLE
PRK PARKING STRIKE
PCC POINT OF CONNECTION
PT POINT OF TANGENCY
PWR POWER
PVC POLYVINYL CHLORIDE PIPE
R RANGE
RCP REINFORCED CONCRETE PIPE
RR RAILROAD
REV REVISION
ROW RIGHT-OF-WAY
RS TRAFFIC SIGNAL POLE
RTR TRAFFIC SIGNAL BOX
S SOUTH
SAD SEE ARCHITECTURAL DRAWINGS
SD STORM DRAIN
SDCB STORM DRAIN CATCH BASIN
SDCO STORM DRAIN CLEANOUT BOX
SDMH STORM DRAIN MANHOLE
SDM SECTION
SDS SPECIFICATIONS
SLB&M SALT LAKE BASE & MERIDIAN
SQ SQUARE
SFT SQUARE FEET
SOYD SQUARE YARD
SS SANITARY SEWER
SSR SANITARY SEWER CLEANOUT
SSMH SANITARY SEWER MANHOLE
ST STEAM
STA STATION
STD STANDARD
STM STORM
SYL SLOD YELLOW LINE
SWL SLOD YELLOW LINE
T TOWNSHIP
TBC TOP BACK OF CURB
TELE TELEPHONE
TFC TOP FACE OF CURB
TMA TELEPHONE MANHOLE
TMAH TOP OF ASPHALT
TTC TOP OF CONCRETE
TOS TOP OF SLOPE
TOP TOP OF SLOPE or TOP OF PIPE
TR TOP OF WALK
TRR TELEPHONE RISER
TRF TRAFFIC SIGNAL POLE
TSB TRAFFIC SIGNAL BOX
U UNDERDRAIN
USC UNDERGROUND COMMUNICATIONS
USGP UNDERGROUND POWER
UST UNDERGROUND TELEPHONE
UGTV UNDERGROUND TELEVISION
UNO UNLESS OTHERWISE NOTED
UP UTILITY POLE
VCP VITRIFIED CLAY PIPE
VP VERTICAL PIPE
W WEST or WATER
WM WATER METER
WMH WATER MANHOLE
WRS WATER REPAIR SURFACE
WTR WATER
WV WATER VALVE
WW WATERWAY

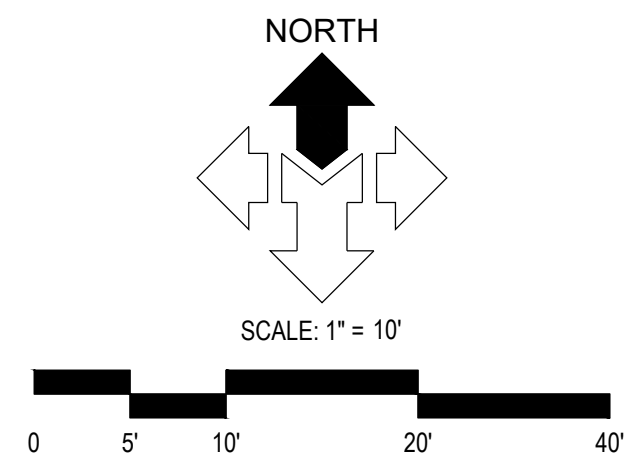
- 1.7. **UTILITIES**
1. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
2. CONTRACTOR TO VERIFY BY POTHOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW UTILITIES. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
3. CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWEST POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
4. CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF 300 FEET AHEAD. PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE. REQUIRING FIELD VERIFICATION.
5. CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
6. SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
7. STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
8. ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
9. ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
10. NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
11. ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

- 1.8. **SURVEY CONTROL**
1. CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND/OR FACILITY AS SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
3. CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

- 1.9. **AMERICAN DISABILITIES ACT**
1. PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
- "ROUTES SHALL HAVE A 2.0% (1:50) MAXIMUM CROSS SLOPE.
- "ROUTES SHALL HAVE A 5.0% (1:20) MAXIMUM RUNNING SLOPE.
- "RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
2. ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.0% MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
3. THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

ABBREVIATIONS

- | | | | | | |
|------|---------------------------|------|--------------------------|------|-----------------------------|
| GV | GAS VALVE | PP | POWER POLE | TFC | TOP FACE OF CURB |
| HDP | HIGH DENSITY POLYETHYLENE | SSCO | SANITARY SEWER CLEANOUT | TMA | TELEPHONE MANHOLE |
| HP | HIGH POINT | PRK | PARKING STRIKE | TMAH | TOP OF ASPHALT |
| HW | HEADWALL or HIGH WATER | PCC | POINT OF CONNECTION | TTC | TOP OF CONCRETE |
| HWH | HIGHWAY | PT | POINT OF TANGENCY | TOS | TOP OF SLOPE |
| ICV | IRRIGATION CLEANOUT | PVC | POLYVINYL CHLORIDE PIPE | TOP | TOP OF SLOPE or TOP OF PIPE |
| ICO | IRRIGATION CONTROL VALVE | R | RANGE | TR | TOP OF WALK |
| IRF | IRON FENCE | RCP | REINFORCED CONCRETE PIPE | TRR | TELEPHONE RISER |
| IRRR | IRRIGATION | RR | RAILROAD | TRF | TRAFFIC SIGNAL POLE |
| LIP | LIP OF GUTTER | REV | REVISION | TWB | TRAFFIC SIGNAL BOX |
| LP | LOW POINT or LIGHT POLE | ROW | RIGHT-OF-WAY | U | UNDERDRAIN |
| LX | LOW POINT | RS | TRAFFIC SIGNAL POLE | USC | UNDERGROUND COMMUNICATIONS |
| M | MAXIMUM | SD | STORM DRAIN | USGP | UNDERGROUND POWER |
| MIN | MINIMUM | SDCB | STORM DRAIN CATCH BASIN | UST | UNDERGROUND TELEPHONE |
| MON | MONUMENT | SDCO | STORM DRAIN CLEANOUT BOX | UGTV | UNDERGROUND TELEVISION |
| MP | METAL PIPE | SDMH | STORM DRAIN MANHOLE | UNO | UNLESS OTHERWISE NOTED |
| MW | MONITORING WELL | SDM | SECTION | UP | |



COORDINATE WITH GOVERNING AGENCY PRIOR TO DEMOLITION OF ANY PUBLIC UTILITY.

DEMOLISH AND/OR REMOVE THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

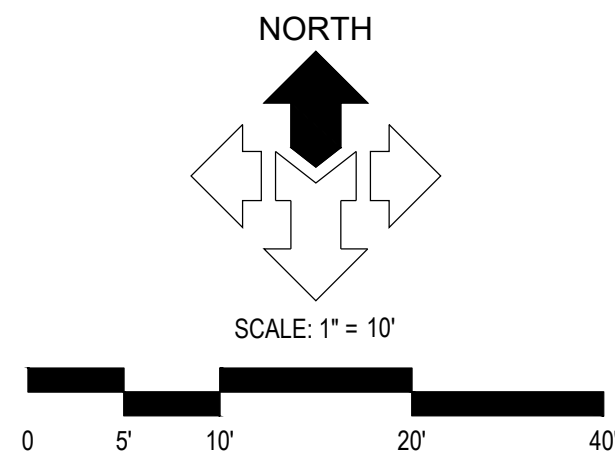
- 4 EXISTING SITE FEATURES (FENCES, GATES, BOLLARDS, GRAVEL DRIVEWAYS, IRRIGATION GATES, CONCRETE DETENTION, WHEEL STOPS, LANDSCAPING, GROUND LIGHTING, IRRIGATION, MOWSTRIPS, ETC.) TO BE DEMOLISHED AND PROPERLY DISPOSED OF.
- 5 EXISTING WALL, INCLUDING FOOTINGS TO BE DEMOLISHED AND PROPERLY DISPOSED OF.
- 6 EXISTING SANITARY SEWER LATERAL TO BE CAPPED AT MAIN, PER SALT LAKE CITY PUBLIC UTILITIES STANDARDS.
- 7 EXISTING WATER SERVICE TO REMAIN FOR LANDSCAPE USE. SEE LANDSCAPE PLANS FOR DETAILS.
- 8 EXISTING GAS LATERAL AND METER TO BE REMOVED. CONTRACTOR TO COORDINATE WORK WITH DOMINION ENERGY.
- 9 EXISTING POWER SERVICE AND METER TO BE REMOVED. CONTRACTOR TO COORDINATE WORK WITH ROCKY MOUNTAIN POWER.

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

DATE:	8-23-18
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CO.10



DESCRIPTION	AREA	%
HARDSCAPE	4,503 SQFT	37%
LANDSCAPE	2,914 SQFT	24%
BUILDINGS	4,662 SQFT	39%
TOTAL	12,079 SQFT	100%

ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED






SEE ARCHITECT'S SITE PLAN FOR ADDITIONAL INFORMATION

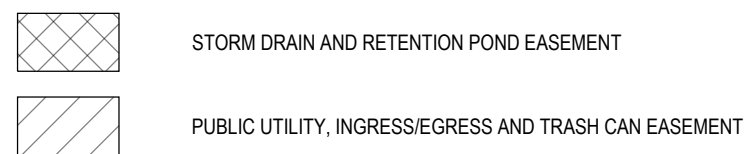
SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING

ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS

ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ①  STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL 'B2', SHEET C5.01.
- ②  4' CONCRETE SIDEWALK WITH 4' GRANULAR BASE PER DETAIL 'A1', SHEET C5.01.
- ③  6' CONCRETE PAVEMENT WITH 6' GRANULAR BASE PER DETAIL 'A1', SHEET C5.01.
- ④  CONSTRUCT PORTION OF A FLARED DRIVE APPROACH AS SHOWN, PER APWA PLAN UDOT STD PLAN GW-4B, SHEET C5.01.
- ⑤  CONCRETE CURB WALL. SEE DETAIL 'B1', SHEET C5.01.
- ⑥



AVOID CUTTING UNDERGROUND
UTILITIES. IT'S COSTLY.

Call
BEFORE YOU
Dig

1-800-662-4111

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

[illegible]

PROJECT NO: 18392

DRAWN BY: JPP

CHECKED BY: RJP

DATE: 8-23-18

HORIZONTAL CONTROL PLAN

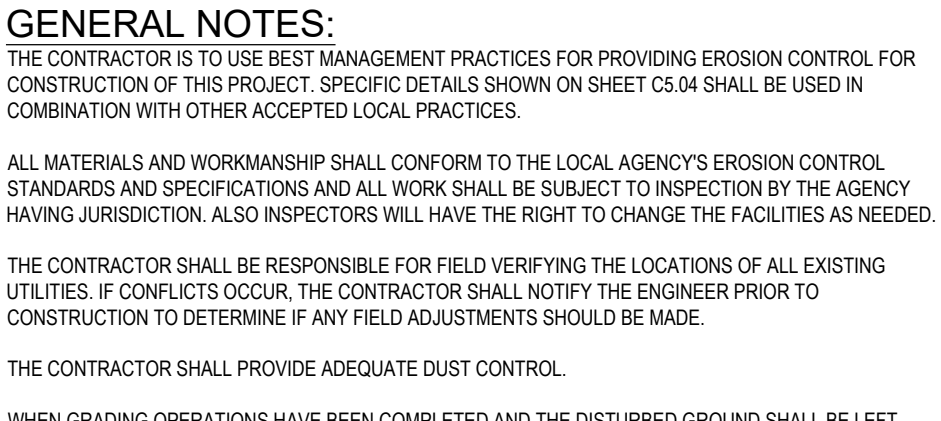
C1.01

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Economic and Sustainable Designs, Professionals You Know and Trust
8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcneilengineering.com
Civil Engineering • Consulting & Landscape Architecture
Structural Engineering • Land Surveying & HDS



TAG 700 EAST

2593 E 700 S
SALT LAKE CITY, UTAH
LOCATED IN THE SW 1/4 OF SECTION 20, T1S, R1E, S.L.B. & M.



THE OWNER'S REPRESENTATIVE SHALL MAKE ROUTINE CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIRS OR SEDIMENT REMOVAL IS NECESSARY. DUE TO CONDITIONS THAT MAY ARISE IN THE FIELD, ADDITIONAL CONTROL MAY BE DETERMINED TO BE NECESSARY.

SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT THE LEAST DAILY DURING PROLONGED RAINFALL.

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCES, END RUNS, AND UNDERCUTTING BENEATH SILT FENCING.

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCES, END RUNS, AND UNDERCUTTING BENEATH SILT FENCING.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.

- ① SLIT FENCE AS SHOWN ON PLAN. SEE DETAIL "C3, SHIELD C5.04.
- ② CONCRETE WASHOUT AREA, CREATE A MIN. 1'X10' AREA WITH A 1" HIGH BERM, LINE AREA WITH PLASTIC, DISCARD WASTE IN DUMPSTER WITH FULL, AND LEGALLY DISPOSE OF. SEE DETAIL "C3, SHIELD C5.04. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
- ③ CONSTRUCTION DUMPSTER, CHECK LEVEL, DAILY, LEGALLY DISPOSE OF WASTE AS NEEDED. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
- ④ PORTABLE CONSTRUCTION TOILET, TOILET TO BE PROPERLY SECURED TO PREVENT TIPPING. BUILD 6" BERM AROUND TOILET. CONTAIN ANY SPILLS OR LEAKAGE. CHECK LEVEL DAILY. LEGALLY DISPOSE OF WASTE AS NEEDED. SEE DETAIL "C3, SHIELD C5.04. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
- ⑤ INLET PROTECTION AROUND EXISTING OR NEW STORM DRAIN CATCH BASINS OR CURB INLETS. SEE DETAIL "C1, SHIELD C5.01.

NOTICE!

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PROJECT NO: 18392

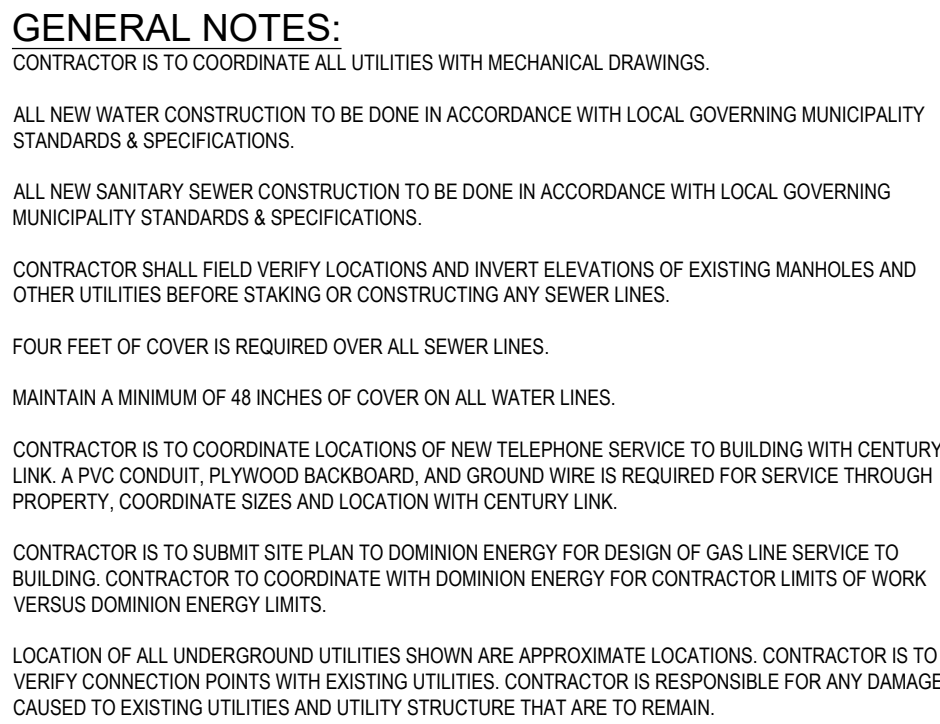
DRAWN BY: JPP

CHECKED BY: RJF

DATE: 8-23-18

EROSION CONTROL PLAN

C2.02



- AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

Call
BEFORE YOU
Dig

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NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

TAG 700 EAST
2593 E 700 S
SALT LAKE CITY, UTAH
LOCATED IN THE SW 1/4 OF SECTION 20, T15S,

**SITE
UTILITY
PLAN**

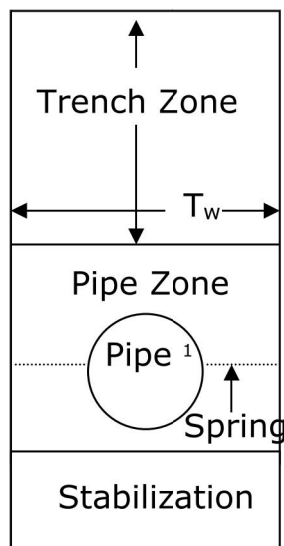
C4.01

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STANDARD PRACTICE #1

SALT LAKE CITY PUBLIC UTILITY

TO: All contractors doing work for SLCPU
FROM: Charles H. Call, Jr., P.E., Chief Engineer
DATE: January 14, 2010
SUBJECT: Trench Backfill Requirements (APWA Section 33 05 20)



Trench Zone Material
2-inch minus - Granular Backfill Borrow (APWA 31 05 13)
Notes: Material must be free of slag or recycled asphalt.
Material can be 2-inch minus pit run material.

Pipe Zone Material (12" above to 6" below the pipe)
Dry conditions - Grade ¾ UTBC (APWA 32 11 23) ²
Wet conditions - 2" minus sewer rock (APWA 31 05 13) ³
Note: Material must be free of slag or recycled asphalt.

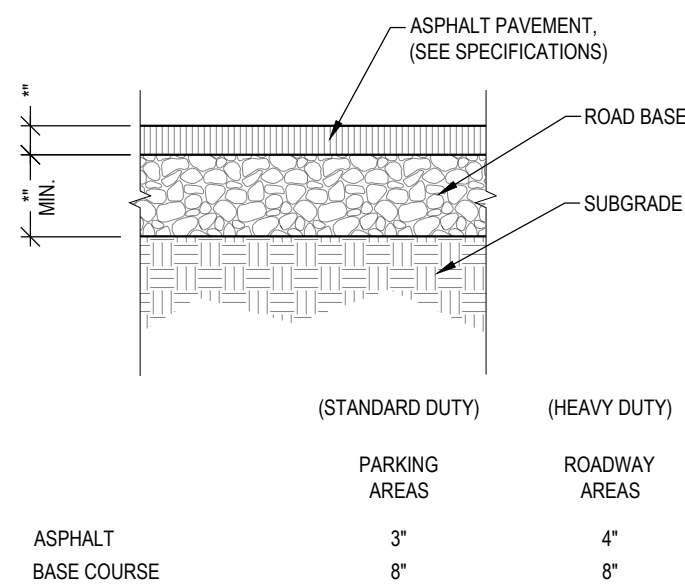
Stabilization Material (starts 6" below pipe)
2" minus sewer rock (APWA 31 05 13)
Note: Material must be free of slag or recycled asphalt

Table 1 - Pipe zone material and minimum pipe zone width.

Pipe Material	Pipe Zone Material	Min. Pipe Zone Top Width (Tw)
PVC	3/4" minus well graded ²	Tw = OD + 24" ≥ 36"
HDPE-N12	3/4" minus well graded ³	Tw = OD + 24" ≥ 36"
DI	3/4" minus well graded ²	Tw = OD + 24" ≥ 36"
Concrete	3/4" minus well graded ²	Tw = OD + 24" ≥ 36"

- Center pipe in trench.
- Variations must be approved in advance by Chief Engineer.
- 2" minus sewer rock can be used in areas below water table when approved in advance by Chief Engineer.
- Outside diameter of the pipe.
- 2" minus material not permitted with PVC or HDPE pipe.

SLCPU Standard Practice 1 1/5/2009

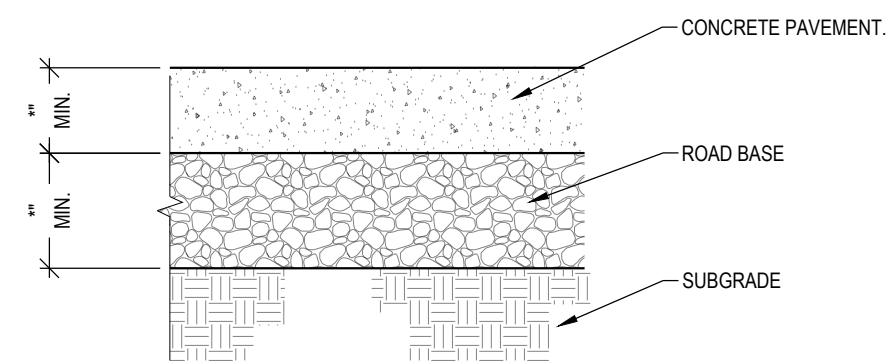


NOTE:
REFER TO SOILS REPORT FOR PROJECT SECTION SOILS REPORT OVERRIDES.

ASPHALTIC PAVEMENT SECTION

SCALE: N.T.S.

B2

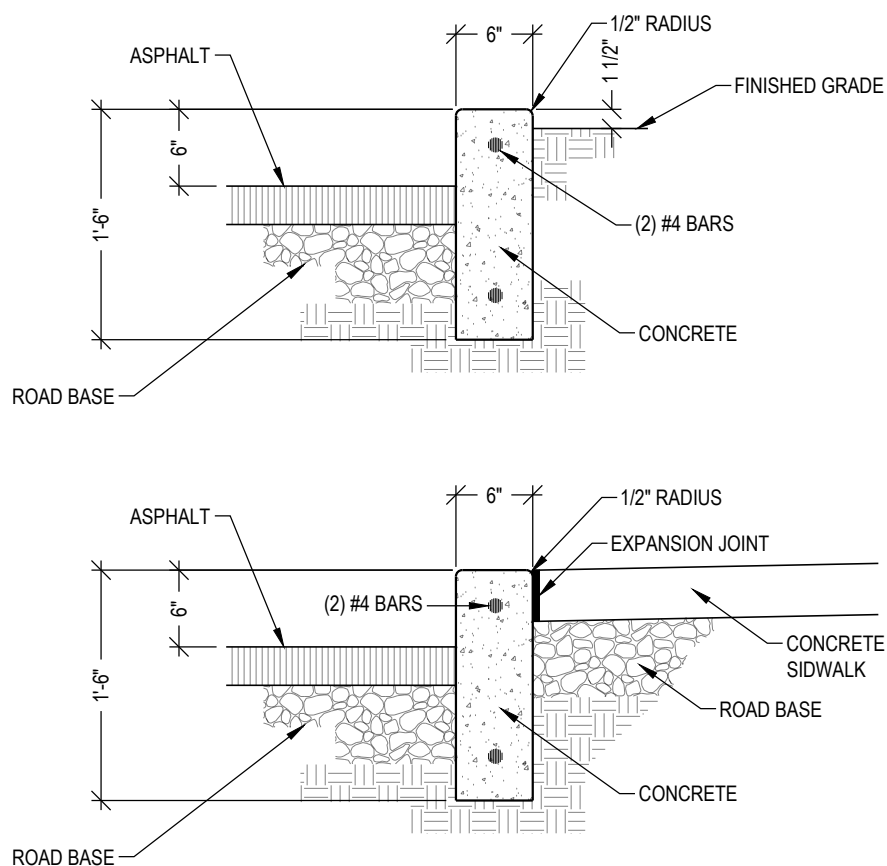


NOTE:
REFER TO SOILS REPORT FOR PROJECT SECTION SOILS REPORT OVERRIDES.

CONCRETE PAVEMENT SECTION

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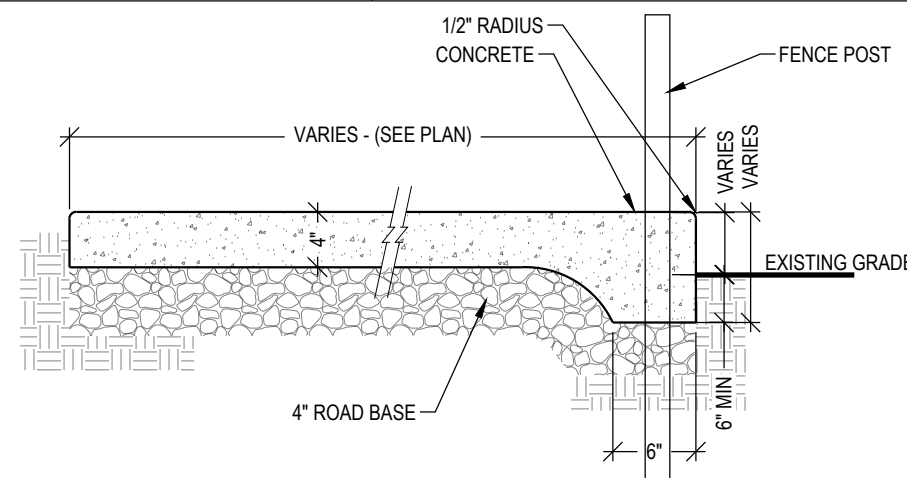
A1



CURB WALL DETAIL

SCALE: N.T.S.

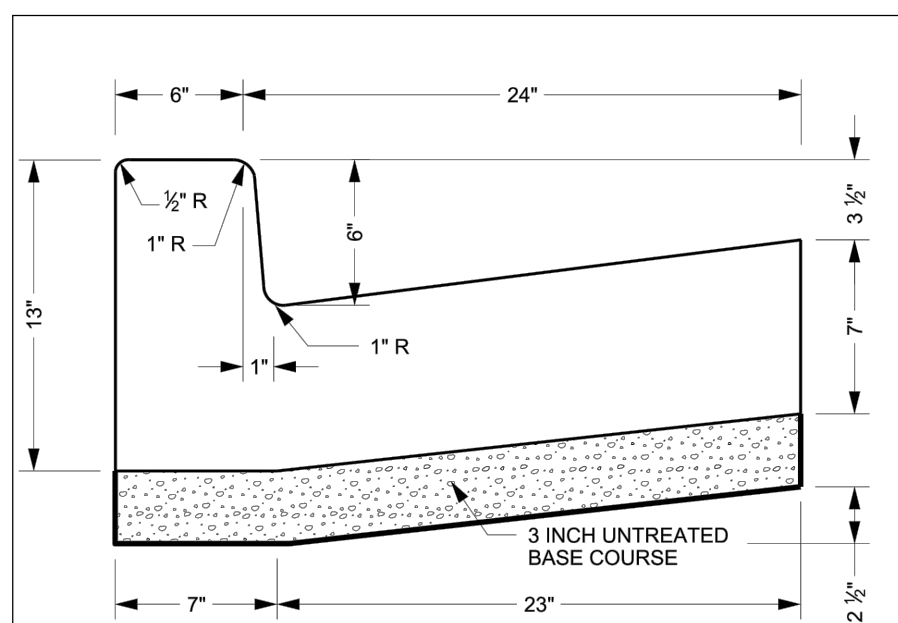
A2



THICKENED EDGE CONCRETE SLAB

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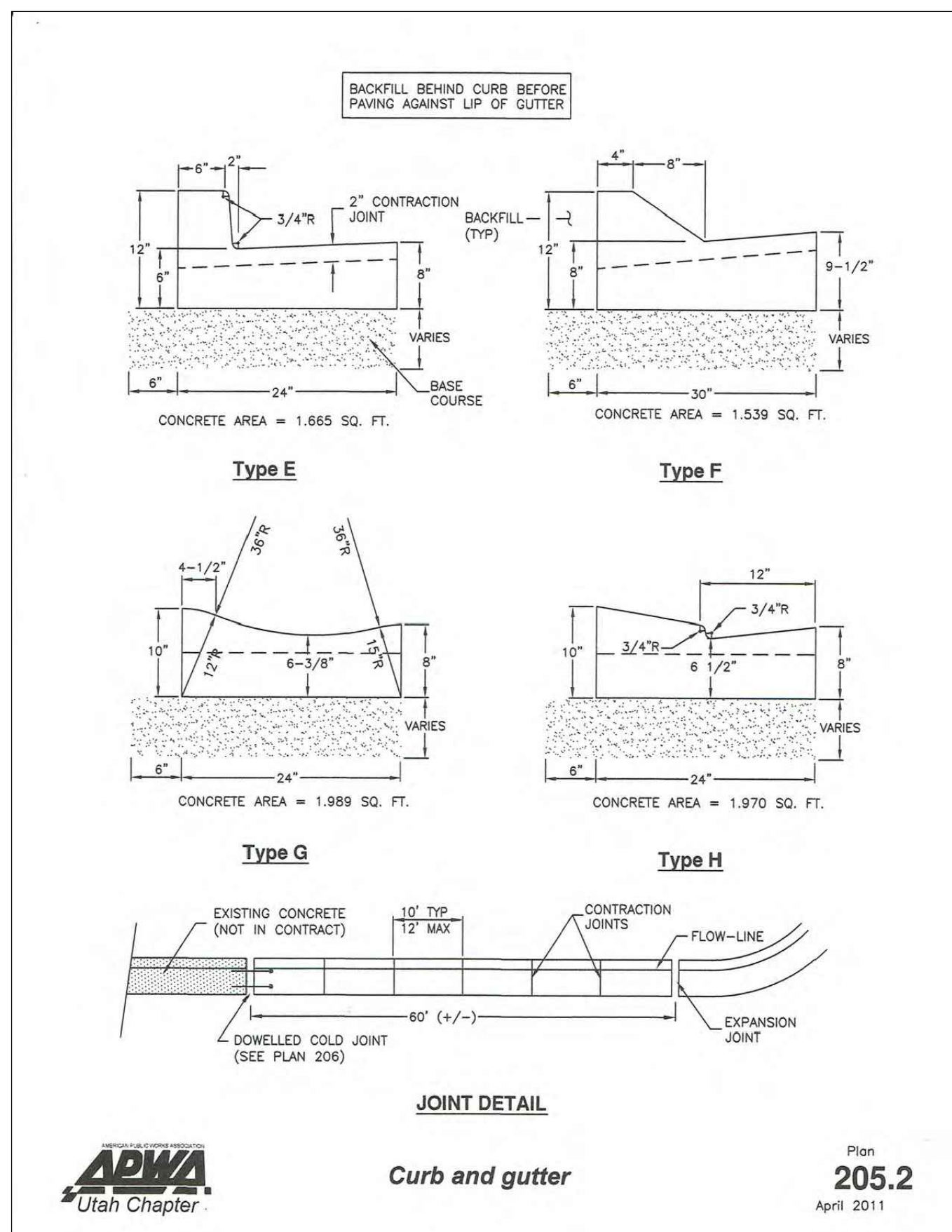
B3



TYPE B1 CURB & GUTTER

AREA = 1.680 SQ FT

A3



JOINT DETAIL

Curb and gutter

Plan
205.2
April 2011



TAG 700 EAST

2593 E 700 S
SALT LAKE CITY, UTAH
LOCATED IN THE SW 1/4 OF SECTION 20, T1S, R1E, S1L.B. & M.

REVISIONS

REV	DATE	DESCRIPTION

PROJECT NO: 18392

DRAWN BY: JPP

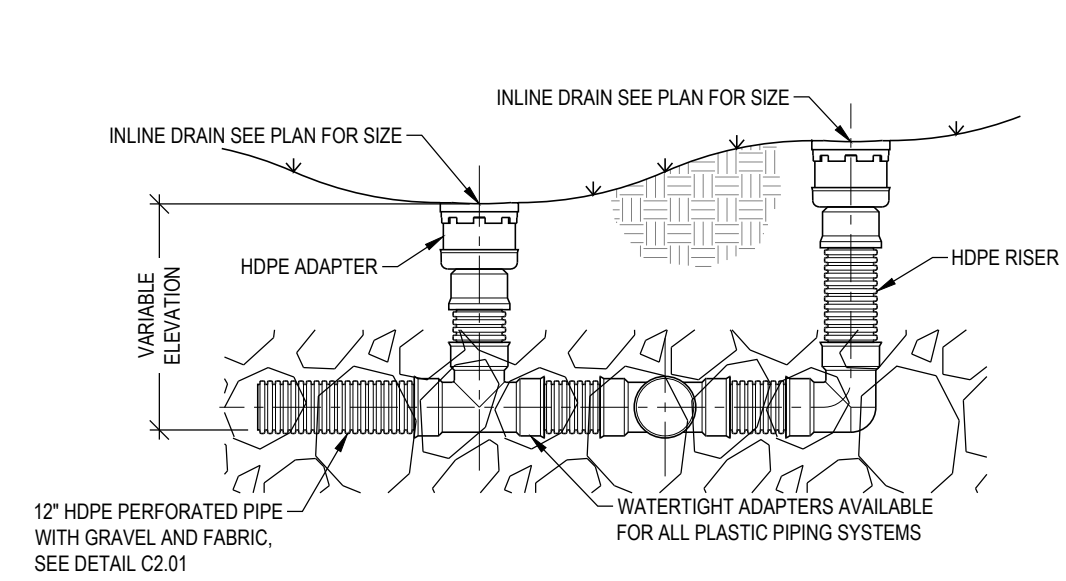
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DATE: 8-23-18

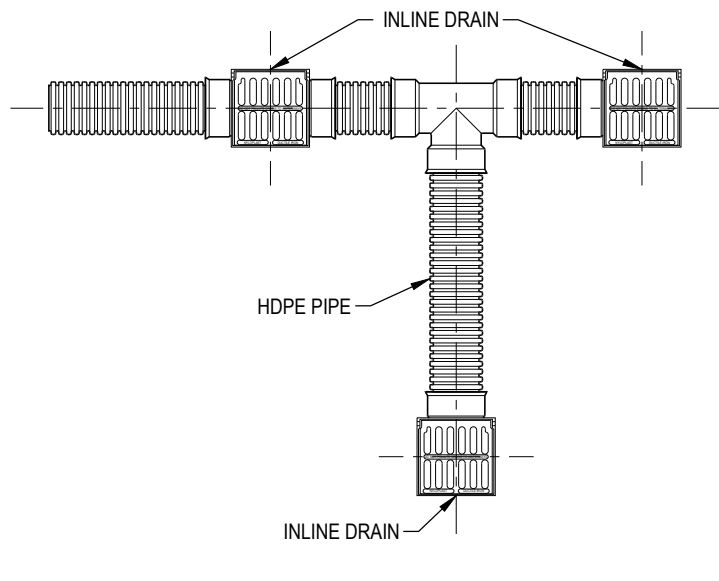
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DETAILS

C5.01

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SECTION VIEW



PLAN VIEW

HDPE INLINE DRAIN DETAIL

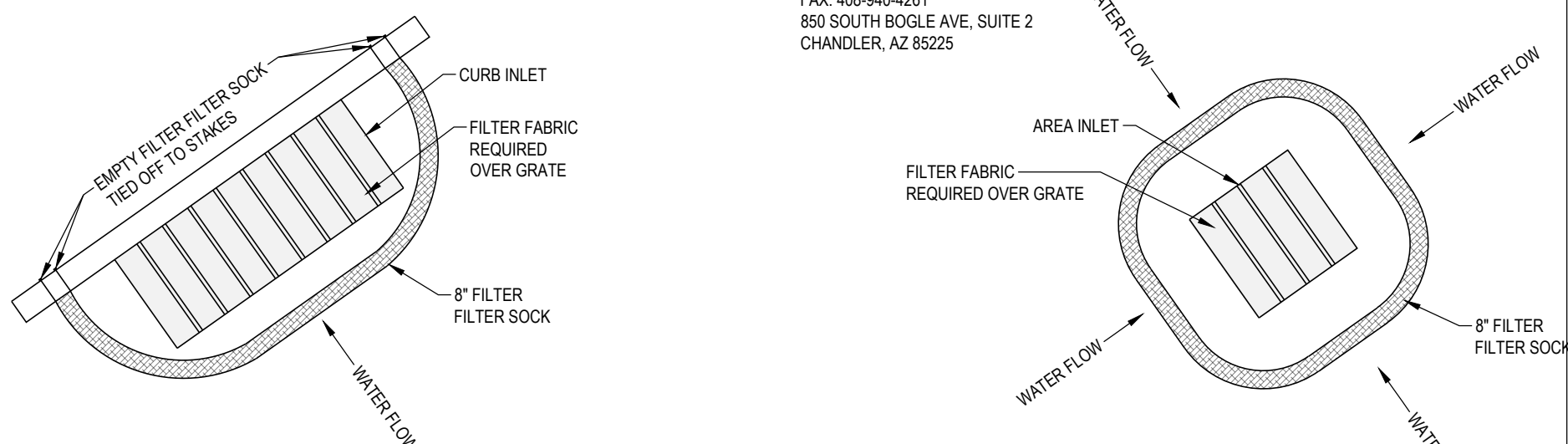
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C1

FILTERSOCK SPECIFICATION:

FILTREXX FILTERSOCK INSTALLATION AND MAINTENANCE

- DESCRIPTION:
THIS WORK SHALL CONSIST OF FURNISHING, INSTALLING, MAINTAINING AND DISPERSING (IF NEEDED) A WATER PERMEABLE COMPOST FILTER SOCK (FILTREXX FILTERSOCK) TO CONTAIN SOIL EROSION AND SEDIMENT BY REMOVING SOIL PARTICLES FROM WATER MOVING OFF SITE INTO ADJACENT WATERWAYS OR STORM WATER DRAINAGE SYSTEMS. FILTERSOCKS WILL BE USED AS A FORM OF INLET PROTECTION FOR OPERATIONAL STORM DRAINAGE SYSTEMS.
- COMPOST PRODUCTS USED TO FILL FILTREXX FILTERSOCKS
 - COMPOST: COMPOST USED FOR FILTREXX FILTERSOCKS SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER. THE COMPOST SHALL BE PRODUCED USING AN AEROBIC COMPOSTING PROCESS MEETING CFR 503 REGULATIONS, INCLUDING TIME AND TEMPERATURE DATA INDICATING EFFECTIVE WEED SEED, PATHOGEN AND INSECT LARVAE KILL. THE COMPOST SHALL BE FREE OF ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. NON-COMPOSTED PRODUCTS WILL NOT BE ACCEPTED. TEST METHODS FOR THE ITEMS BELOW SHOULD FOLLOW USCC TMECC GUIDELINES FOR LABORATORY PROCEDURES:
 - PH - 5.0-8.0 IN ACCORDANCE WITH TMECC 04.11-A, "ELECTROMETRIC PH DETERMINATIONS FOR COMPOST"
 - PARTICLE SIZE - 80% PASSING A 1" SIEVE, 30% PASSING A 1/2" SIEVE AND A MINIMUM OF 70% GREATER THAN THE 3/8" SIEVE. A TOTAL OF 98 % SHALL NOT EXCEED 3 INCHES IN LENGTH, IN ACCORDANCE WITH TMECC 02.02-B, "SAMPLE SIEVING FOR AGGREGATE SIZE CLASSIFICATION"
 - MOISTURE CONTENT OF LESS THAN 60% IN ACCORDANCE WITH STANDARDIZED TEST METHODS FOR MOISTURE DETERMINATION
 - MATERIAL SHALL BE RELATIVELY FREE (<1% BY DRY WEIGHT) OF INERT OR FOREIGN MAN-MADE MATERIALS.
 - A SAMPLE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO BEING USED AND MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- CONSTRUCTION AND INSTALLATION OF FILTREXX FILTERSOCKS:
 - FILTREXX FILTERSOCKS WILL BE USED AS A FORM OF INLET PROTECTION ON CONSTRUCTION SITES WHICH REQUIRE PROTECTION AGAINST SEDIMENT LADEN WATER AFTER STORM DRAINS BECOME OPERATIONAL.
 - FILTREXX FILTERSOCKS WILL BE PLACED AT LOCATIONS INDICATED ON PLANS AS DIRECTED BY THE ENGINEER. FILTERSOCKS SHOULD BE INSTALLED IN A PATTERN THAT ALLOWS COMPLETE PROTECTION OF THE INLET AREA
 - INSTALLATION OF FILTREXX FILTERSOCKS WILL ENSURE A MINIMAL OVERLAP OF AT LEAST ONE FOOT ON EITHER SIDE OF THE OPENING BEING PROTECTED. THE FILTERSOCKS WILL BE ANCHORED TO THE SOIL BEHIND THE CURB USING STAPLES, STAKES OR OTHER DEVICES CAPABLE OF HOLDING THE FILTERSOCK IN PLACE
 - STANDARD SIZES OF FILTERSOCKS FOR INLET PROTECTION WILL BE 8" DIAMETER PRODUCTS. IN SEVERE FLOW SITUATIONS, LARGER FILTERSOCKS MAY BE RECOMMENDED BY THE ENGINEER
 - FILTERSOCKS SHALL BE CONSTRUCTED OF A WOVEN MATERIAL AND FILLED WITH A COMPOST PRODUCT THAT PASSES THE CRITERIA LISTED IN SECTION 2
 - IF THE FILTERSOCKS BECOME CLOGGED WITH DEBRIS AND SEDIMENT, THEY SHALL BE MAINTAINED SO AS TO ASSURE A PROPER DRAINAGE AND WATER FLOW INTO THE STORM DRAIN. IN SEVERE STORM EVENTS, OVERFLOW OF THE FILTERSOCK MAY BE ACCEPTABLE IN ORDER TO KEEP THE AREA FROM FLOODING
 - THE FILTERSOCKS SHALL BE POSITIONED SO AS TO PROVIDE COMPLETE PHYSICAL BARRIER TO THE DRAIN ITSELF, ALLOWING SEDIMENT TO COLLECT ON THE OUTSIDE OF THE

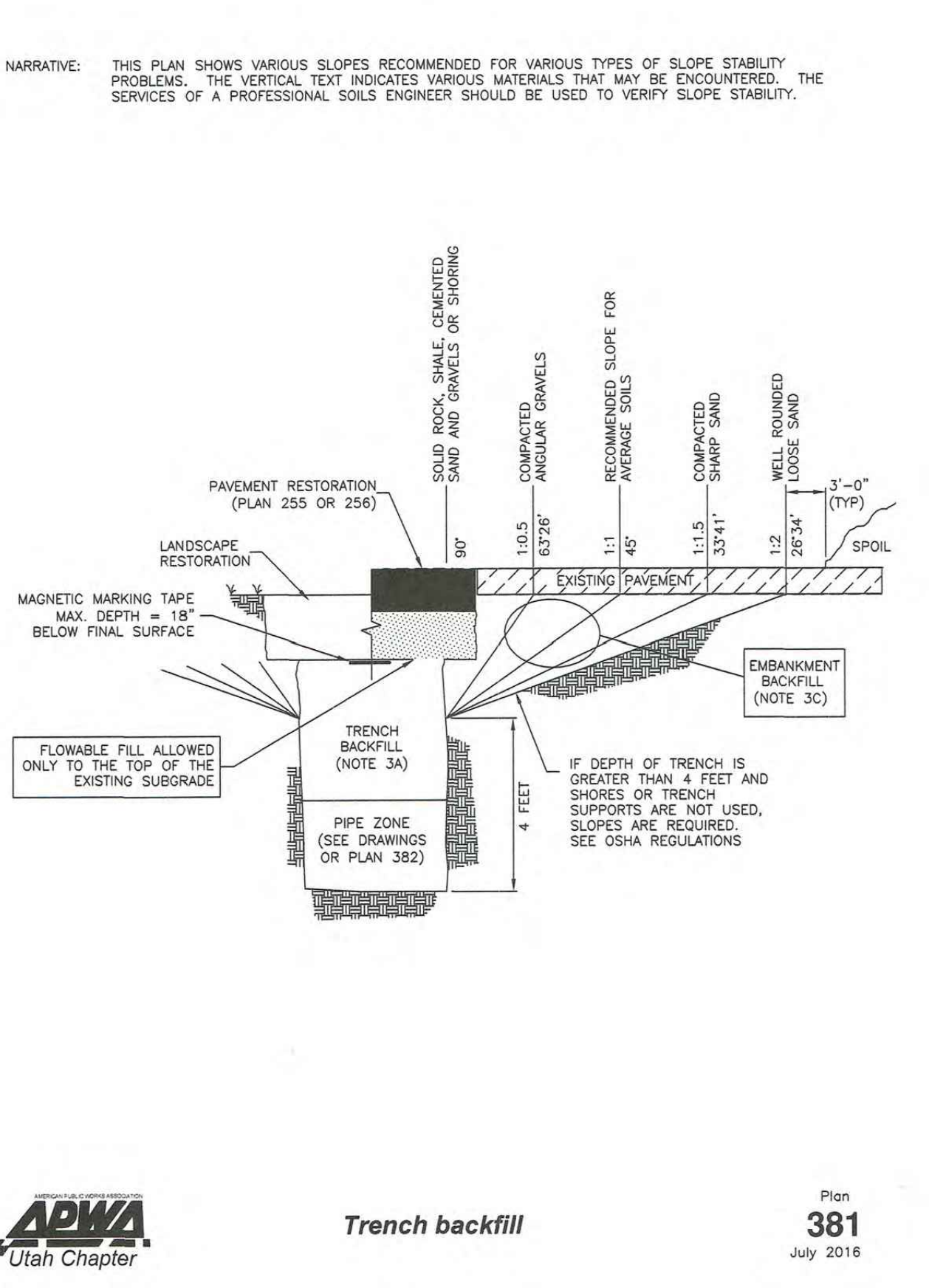


SEDIMENT BARRIER / FILTER SOCK PROTECTION

SCALE: 1/4" = 1'-0"

© REPLENISH

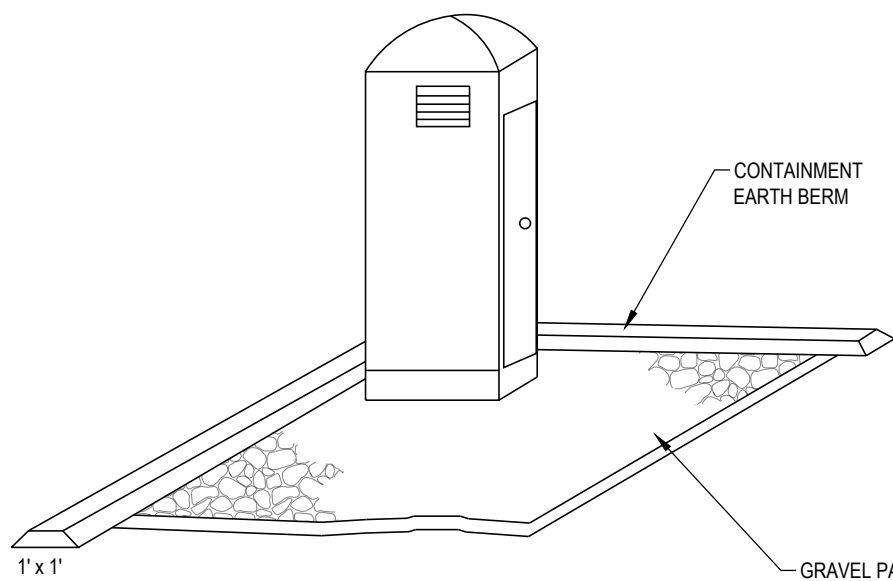
A1



Trench backfill

Plan 381

July 2016



DESCRIPTION:
TEMPORARY ON-SITE SANITARY FACILITIES FOR CONSTRUCTION PERSONNEL.

- APPLICATIONS:
- ALL SITES WITH NO PERMANENT SANITARY FACILITIES OR WHERE PERMANENT FACILITY IS TO FAR FROM ACTIVITIES.

INSTALLATION/APPLICATION CRITERIA:

- LOCATE PORTABLE TOILETS IN CONVENIENT LOCATIONS THROUGHOUT THE SITE.
- PREPARE LEVEL, GRAVEL SURFACE AND PROVIDE CLEAR ACCESS TO THE TOILETS FOR SERVING AND FOR ON-SITE PERSONNEL.
- CONSTRUCT EARTH-BERM PERIMETER (SEE EARTH-BERM BARRIER INFORMATION SHEET), CONTROL FOR SPILL/PROTECTION LEAK.

LIMITATIONS:

- NO LIMITATIONS

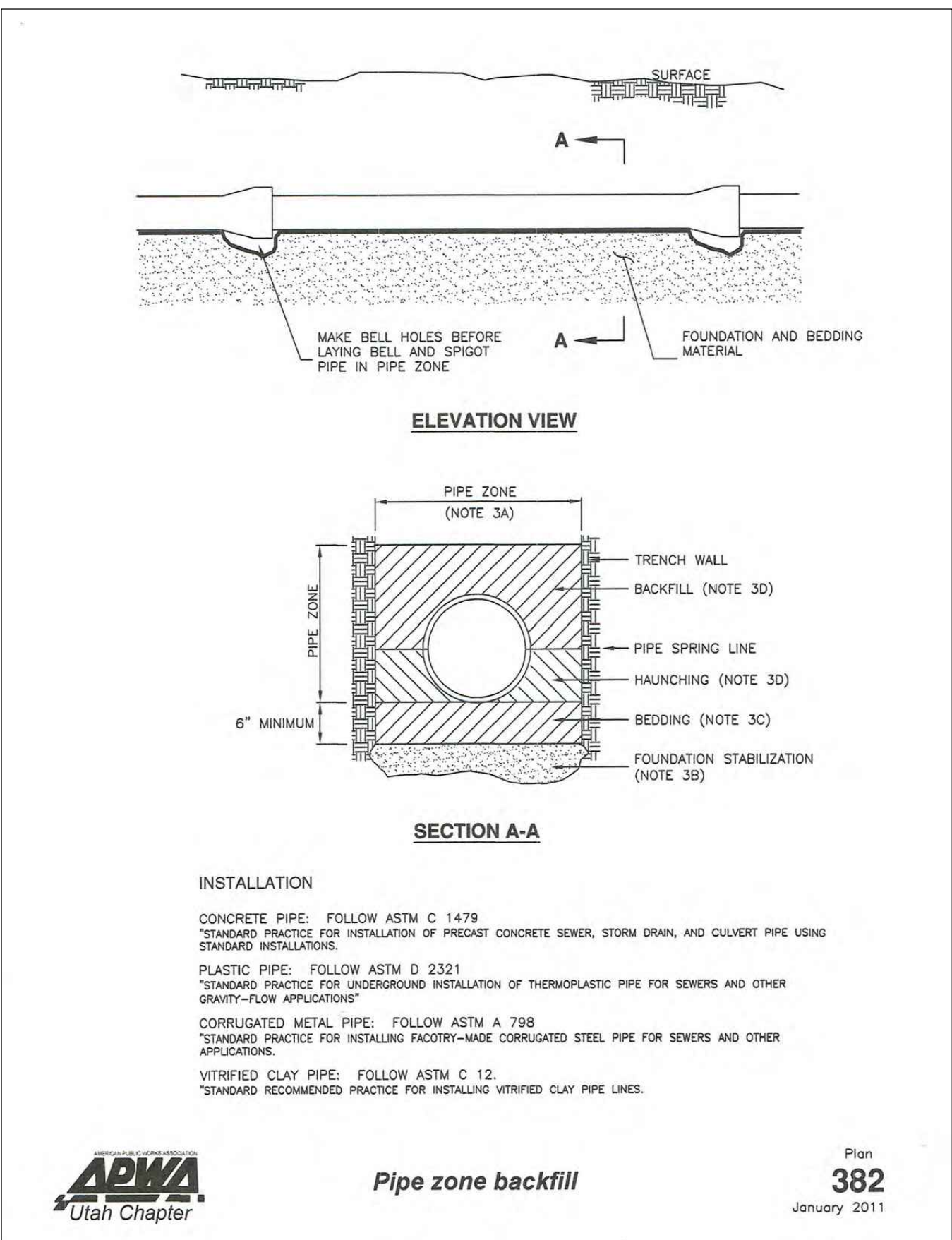
MAINTENANCE:

- PORTABLE TOILETS SHOULD BE MAINTAINED IN GOOD WORKING ORDER BY LICENSED SERVICE WITH DAILY OBSERVATION FOR LEAK DETECTION.
- REGULAR WASTE COLLECTION SHOULD BE ARRANGED WITH LICENSED SERVICE.
- ALL WASTE SHOULD BE DEPOSITED IN SANITARY SEWER SYSTEM FOR TREATMENT WITH APPROPRIATE AGENCY APPROVAL.

PORTABLE TOILETS

SCALE: N.T.S.

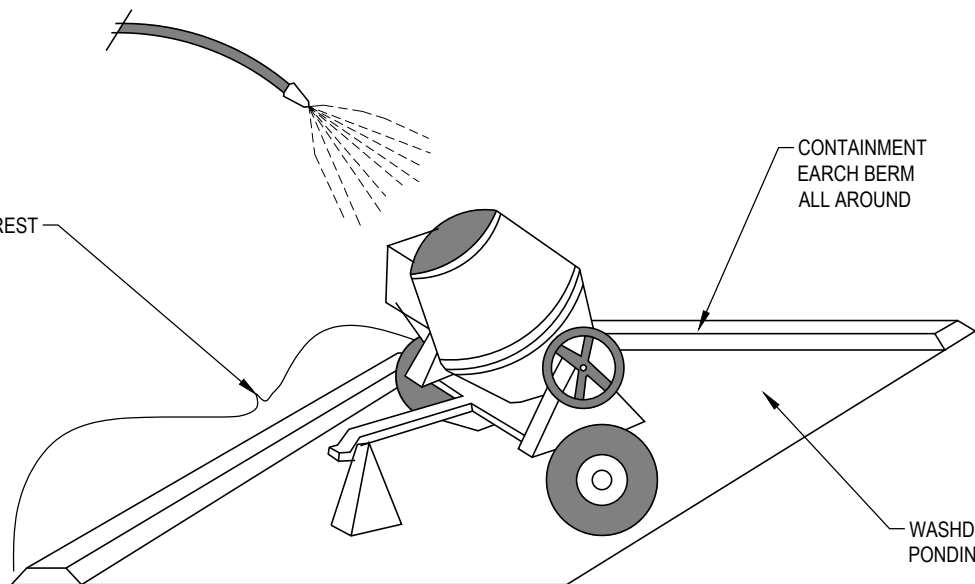
B1



Pipe zone backfill

Plan 382

January 2011



DESCRIPTION:
PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONCRETE WASTE BY CONDUCTING WASHOUT OFF-SITE, PERFORMING ON-SITE WASHOUT IN A DESIGNATED AREA, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

APPLICATIONS:

- THIS TECHNIQUE IS APPLICABLE TO ALL TYPES OF SITES.

INSTALLATION/APPLICATION CRITERIA:

- STORE DRY AND WET MATERIALS UNDER COVER, AWAY FROM DRAINAGE AREAS.
- AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON-SITE.
- PERFORM WASHOUT OF CONCRETE TRUCKS OFF-SITE OR IN DESIGNATED AREAS ONLY.
- DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
- DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED AREAS.
- WHEN WASHING CONCRETE TO REMOVE FINE PARTICLES AND EXPOSE THE AGGREGATE, AVOID CREATING RUNOFF BY DRAINING THE WATER WITHIN A BERMED OR LEVEL AREA (SEE EARTH-BERM BARRIER INFORMATION SHEET).
- TRAIN EMPLOYEES AND SUBCONTRACTORS IN PROPER CONCRETE WASTE MANAGEMENT.

LIMITATIONS:

- OFF-SITE WASHOUT OF CONCRETE WASTES MAY NOT ALWAYS BE POSSIBLE.

MAINTENANCE:

- INSPECT SUBCONTRACTORS TO ENSURE THAT CONCRETE WASTES ARE BEING PROPERLY MANAGED.
- IF USING A TEMPORARY PIT, DISPOSE HARDENED CONCRETE ON A REGULAR BASIS.

CONCRETE WASTE MANAGEMENT

SCALE: N.T.S.

C1

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TAG 700 EAST

2593 E 700 S
SALT LAKE CITY, UTAH

LOCATED IN THE SW 1/4 OF SECTION 20, T1S, R1E, S1E.B. & M.

REVISIONS

REV	DATE	DESCRIPTION

PROJECT NO: 18392

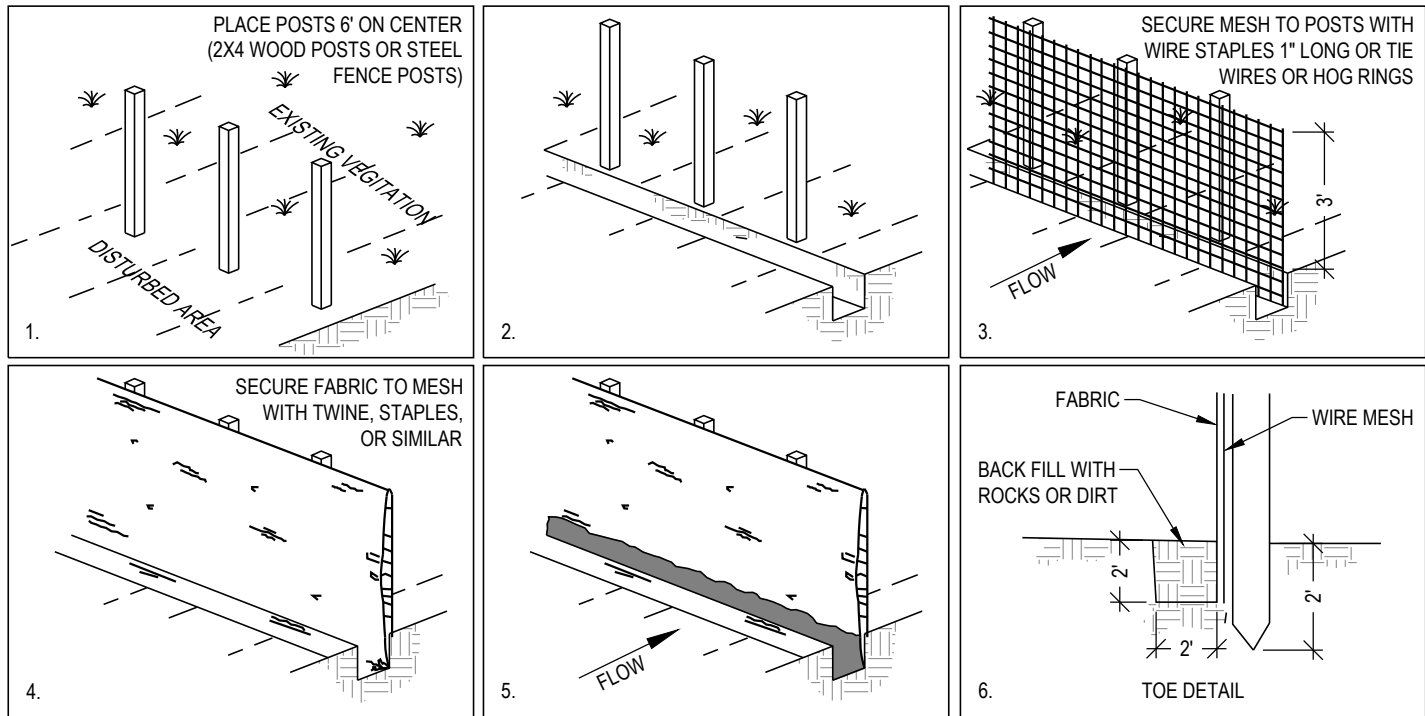
DRAWN BY: JPP

CHECKED BY: RJP

DATE: 8-23-18

CIVIL
DETAILS

C5.02



- DESCRIPTION:**
A TEMPORARY SEDIMENT BARRIER CONSISTING OF ENTRENCHED FILTER FABRIC STRETCHED ACROSS AND SECURED TO SUPPORTING POSTS.
- APPLICATIONS:**
- PERIMETER CONTROL: PLACE BARRIER AT DOWNGRADE LIMITS OF DISTURBANCE.
 - SEDIMENT BARRIER: PLACE BARRIER AT TOE OF SLOPE OR SOIL STOCKPILE.
 - PROTECTION OF EXISTING WATERWAYS: PLACE BARRIER AT TOP OF STREAM BANK.
 - INLET PROTECTION: PLACE FENCE SURROUNDING CATCH BASINS.
- INSTALLATION/APPLICATION CRITERIA:**
- PLACE POSTS 6 FEET APART ON CENTER ALONG CONTOUR (OR USE PRE-ASSEMBLED UNIT) AND DRIVE 2 FEET MINIMUM INTO GROUND. EXCAVATE AN ANCHOR TRENCH IMMEDIATELY UPGRADIENT OF POSTS.
 - SECURE WIRE MESH (1/4 GAGE MIN. WITH 6 INCH OPENINGS) TO UPSLOPE SIDE OF POSTS. ATTACH WITH HEAVY DUTY 1 INCH LONG WIRE STAPLES, TIE WIRES OR HOG RINGS.
 - CUT FABRIC TO REQUIRED WIDTH. UNROLL ALONG LENGTH OF BARRIER AND DRAPE OVER BARRIER. SECURE FABRIC TO MESH WITH TWINE, STAPLES, OR SIMILAR, WITH TRAILING EDGE EXTENDING INTO ANCHOR TRENCH.
 - BACKFILL OVER FILTER FABRIC TO ANCHOR.
- LIMITATIONS:**
- RECOMMENDED MAXIMUM DRAINAGE AREA OF 0.5 ACRE PER 100 FEET OF FENCE.
 - RECOMMENDED MAXIMUM UPGRADIENT SLOPE LENGTH OF 150 FEET.
 - RECOMMENDED MAXIMUM UPHILL GRADE OF 2:1 (50%).
 - RECOMMENDED MAXIMUM FLOW RATE OF 0.5 CFS.
 - PONDING SHOULD NOT BE ALLOWED BEHIND FENCE.
- MAINTENANCE:**
- INSPECT IMMEDIATELY AFTER ANY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
 - LOOK FOR RUNOFF BYPASSING ENDS OF BARRIERS OR UNDERCUTTING BARRIERS.
 - REPAIR OR REPLACE DAMAGED AREAS OF THE BARRIER AND REMOVE ACCUMULATED SEDIMENT.
 - REANCHOR FENCE AS NECESSARY TO PREVENT SHORTCUTTING.
 - REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE.

- OBJECTIVES**
- HOUSEKEEPING PRACTICES
 - CONTAIN WASTE
 - MINIMIZE DISTURBED AREA
 - STABILIZE DISTURBED AREA
 - PROTECT SLOPES/CHANNELS
 - CONTROL SITE PERIMETER
 - CONTROL INTERNAL EROSION

- TARGETED POLLUTANTS**
- SEDIMENT
 - NUTRIENTS
 - TOXIC MATERIALS
 - OIL & GREASE
 - FLOATABLE MATERIALS
 - OTHER WASTE

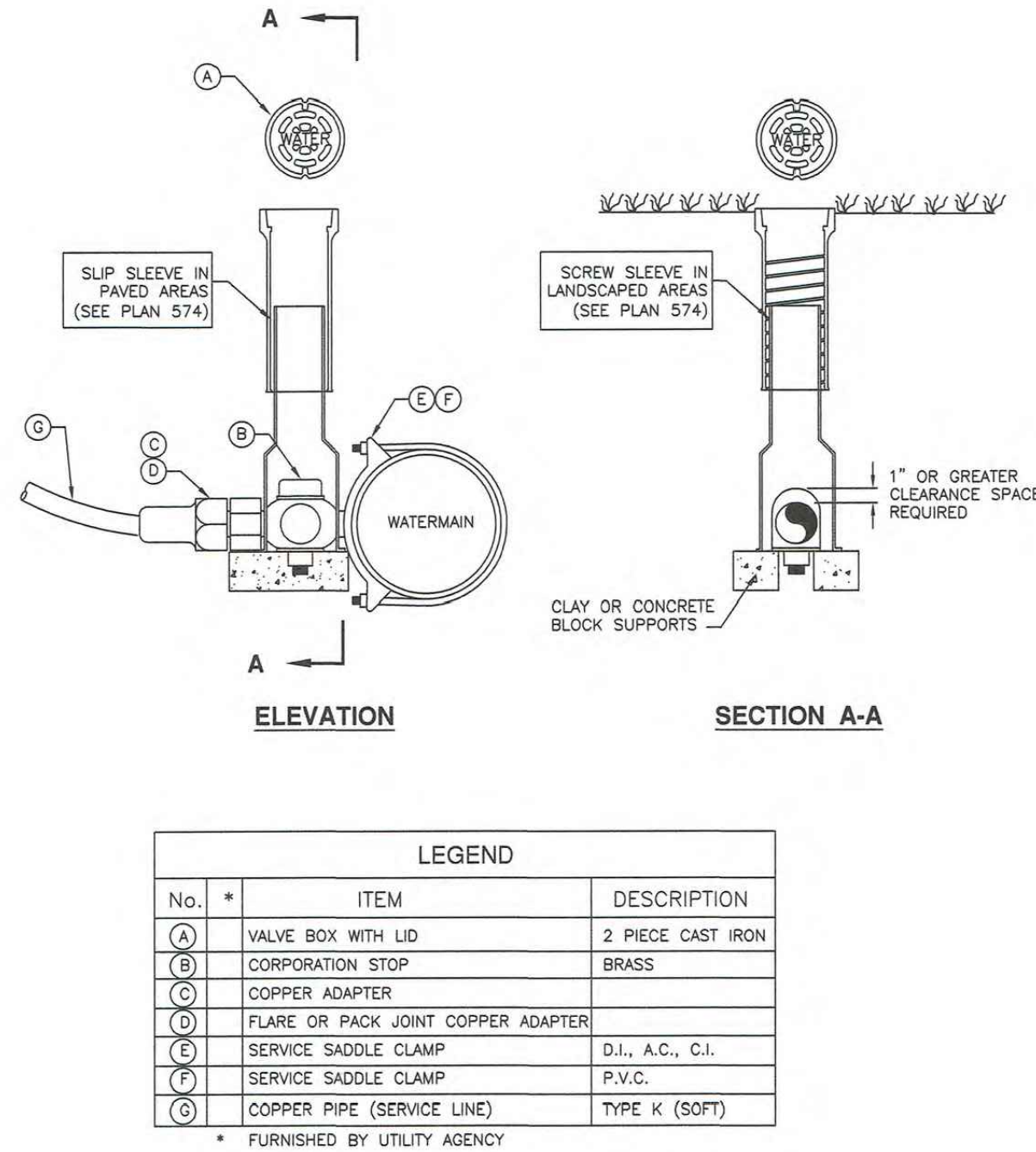
- HIGH IMPACT
- MEDIUM IMPACT
- LOW OR UNKNOWN IMPACT

- IMPLEMENTATION REQUIREMENTS**
- CAPITAL COSTS
 - O & M COSTS
 - MAINTENANCE
 - TRAINING

- HIGH
- MEDIUM
- LOW

SILT FENCE
SCALE: N.T.S.

A2



LEGEND			
No.	*	ITEM	DESCRIPTION
(A)		VALVE BOX WITH LID	2 PIECE CAST IRON
(B)		CORPORATION STOP	BRASS
(C)		COPPER ADAPTER	
(D)		FLARE OR PACK JOINT COPPER ADAPTER	
(E)		SERVICE SADDLE CLAMP	D.I., A.C., C.I.
(F)		SERVICE SADDLE CLAMP	P.V.C.
(G)		COPPER PIPE (SERVICE LINE)	TYPE K (SOFT)

1 1/2" and 2" Service taps

Plan
552
August 2001

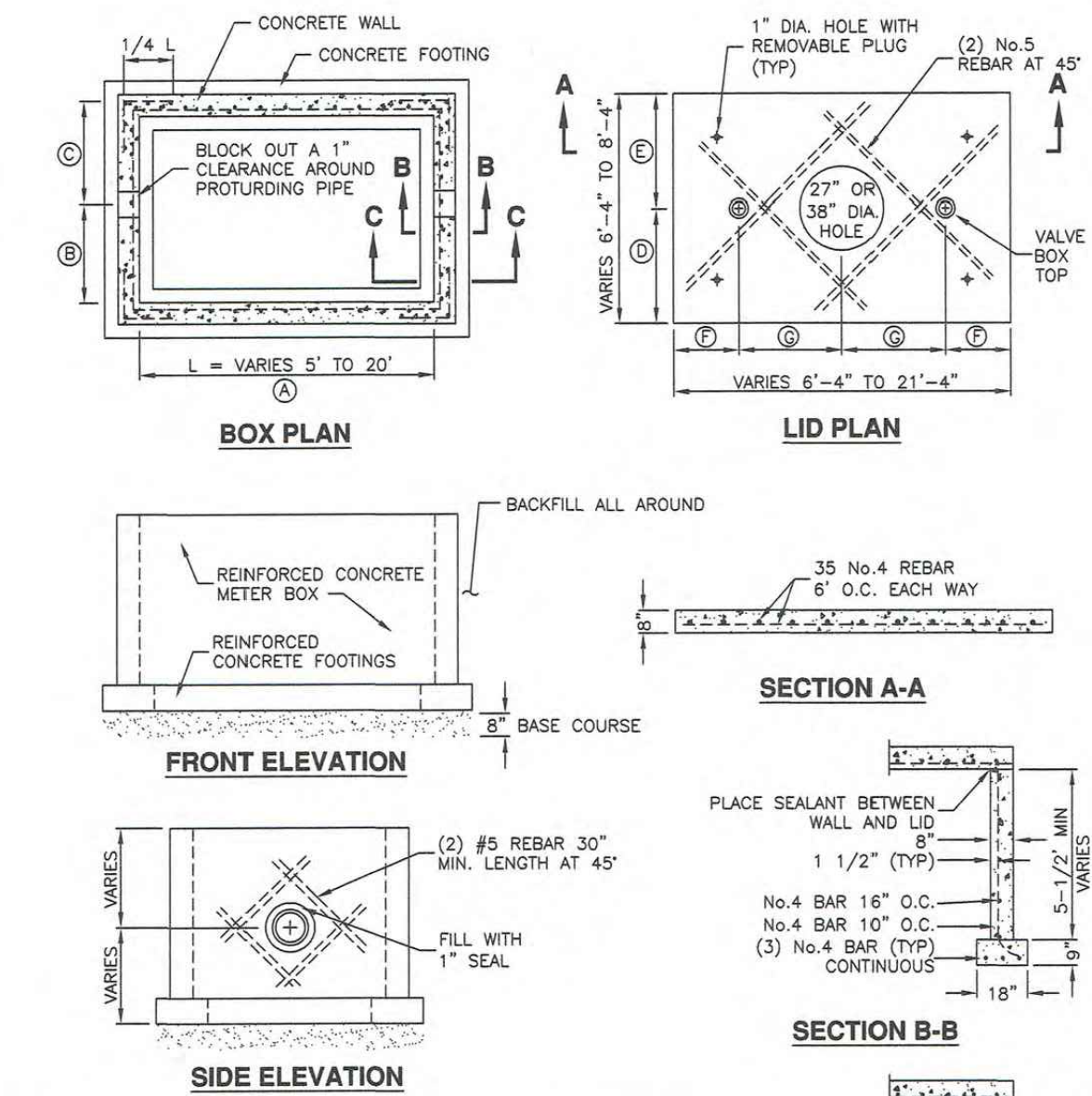
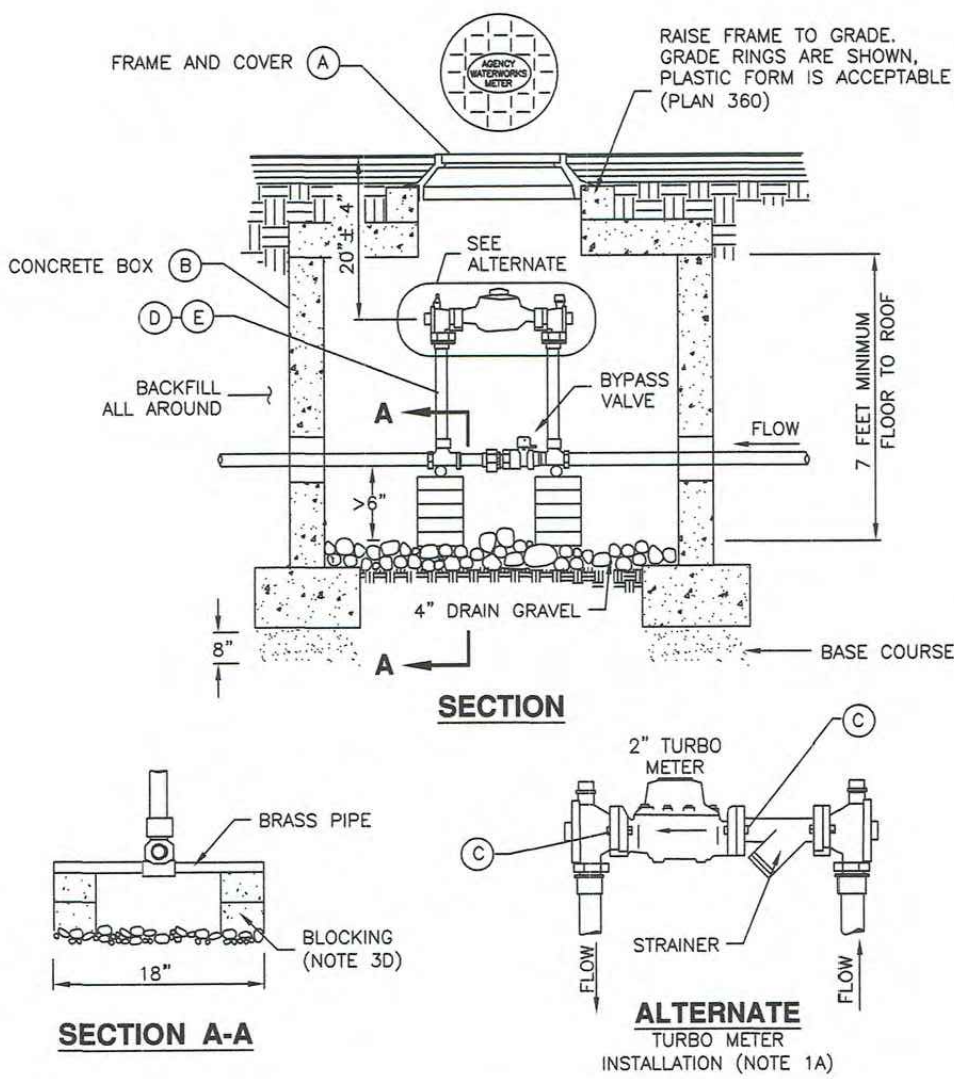


TABLE OF DIMENSION					
No.	10"	8"	6"	3" & 4"	1 1/2" & 2"
(A)	20'-0"	11'-0"	11'-0"	9'-0"	5'-0"
(B)	3'-10"	3'-5"	3'-5"	3'-0"	2'-6"
(C)	6'-2"	3'-5"	3'-5"	2'-0"	2'-6"
(D)	4'-8"	4'-1"	4'-1"	3'-8"	2'-6"
(E)	6'-10"	4'-1"	4'-1"	2'-8"	2'-6"
(F)	4'-8"	3'-5 3/4"	3'-10 1/4"	3'-5 1/2"	CENTER
(G)	5'-4"	2'-8 1/4"	2'-3 3/4"	1'-8 1/2"	

Concrete meter boxes

Plan
505
August 2001

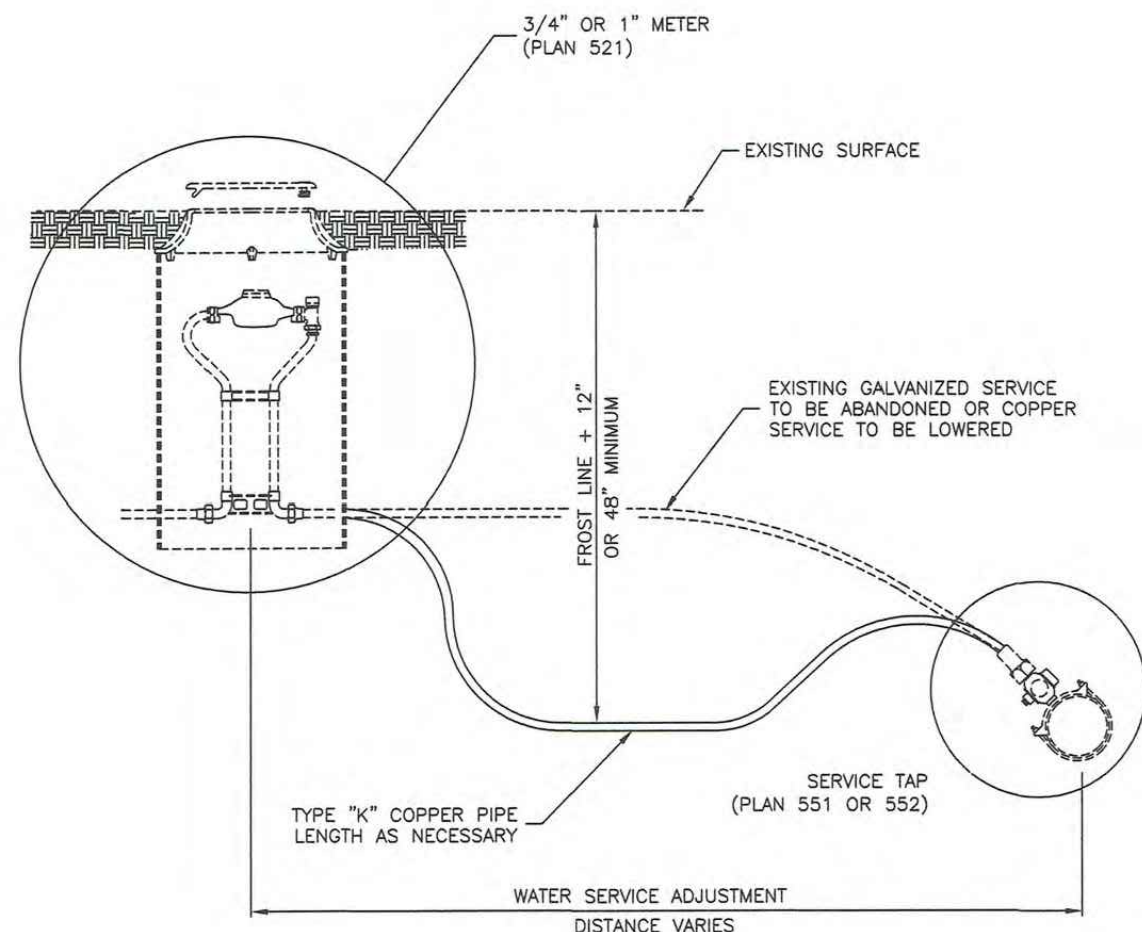


LEGEND			
No.	*	ITEM	DESCRIPTION
(A)		27" FRAME AND COVER	PLAN 502
(B)		CONCRETE BOX	PLAN 505
(C)		STAINLESS STEEL METER BOLTS	5/8" x 2 3/4" BRASS
(D)		1 1/2" CUSTOM SETTER WITH BYPASS	
(E)		2" CUSTOM SETTER WITH BYPASS	

* FURNISHED BY UTILITY AGENCY

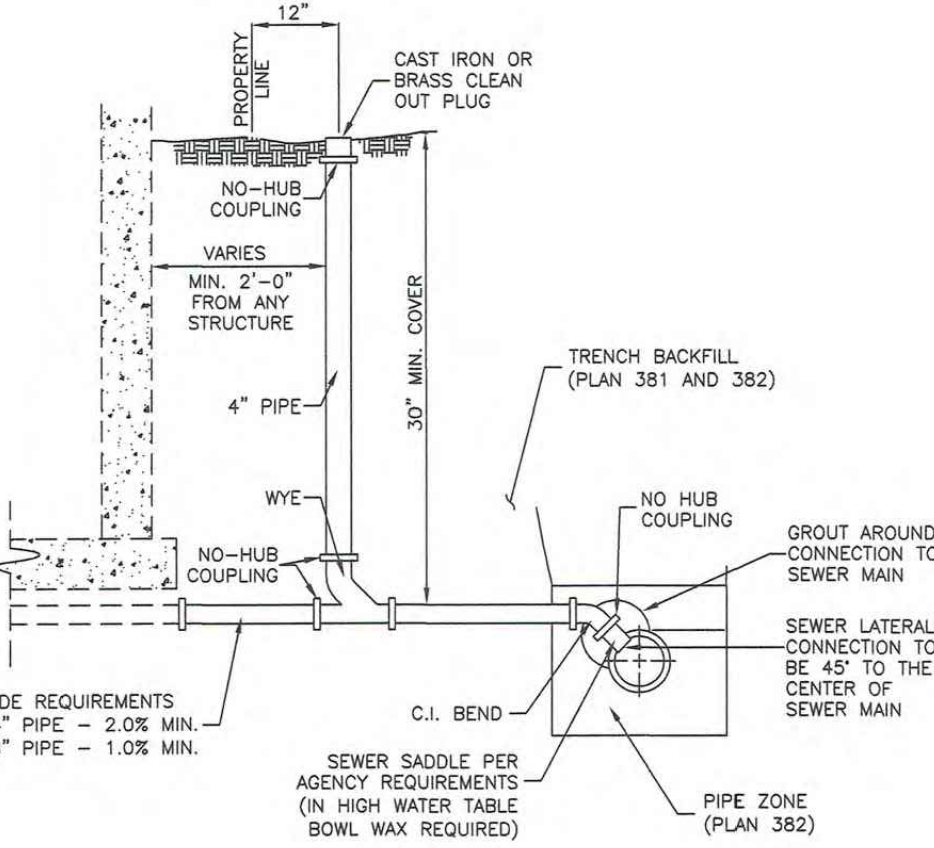
1 1/2" and 2" meter

Plan
522
August 2001



Water service line

Plan
541
August 2001



Sewer lateral connection

Plan
431
January 2011

TAG 700 EAST

2593 E 700 S
SALT LAKE CITY, UTAH
LOCATED IN THE SW 1/4 OF SECTION 20, T1S, R1E, S1E.B. & M.

REVISIONS

REV	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT NO: 18392
DRAWN BY: JPP
CHECKED BY: RJP
DATE: 8-23-18

CIVIL DETAILS

C5.03

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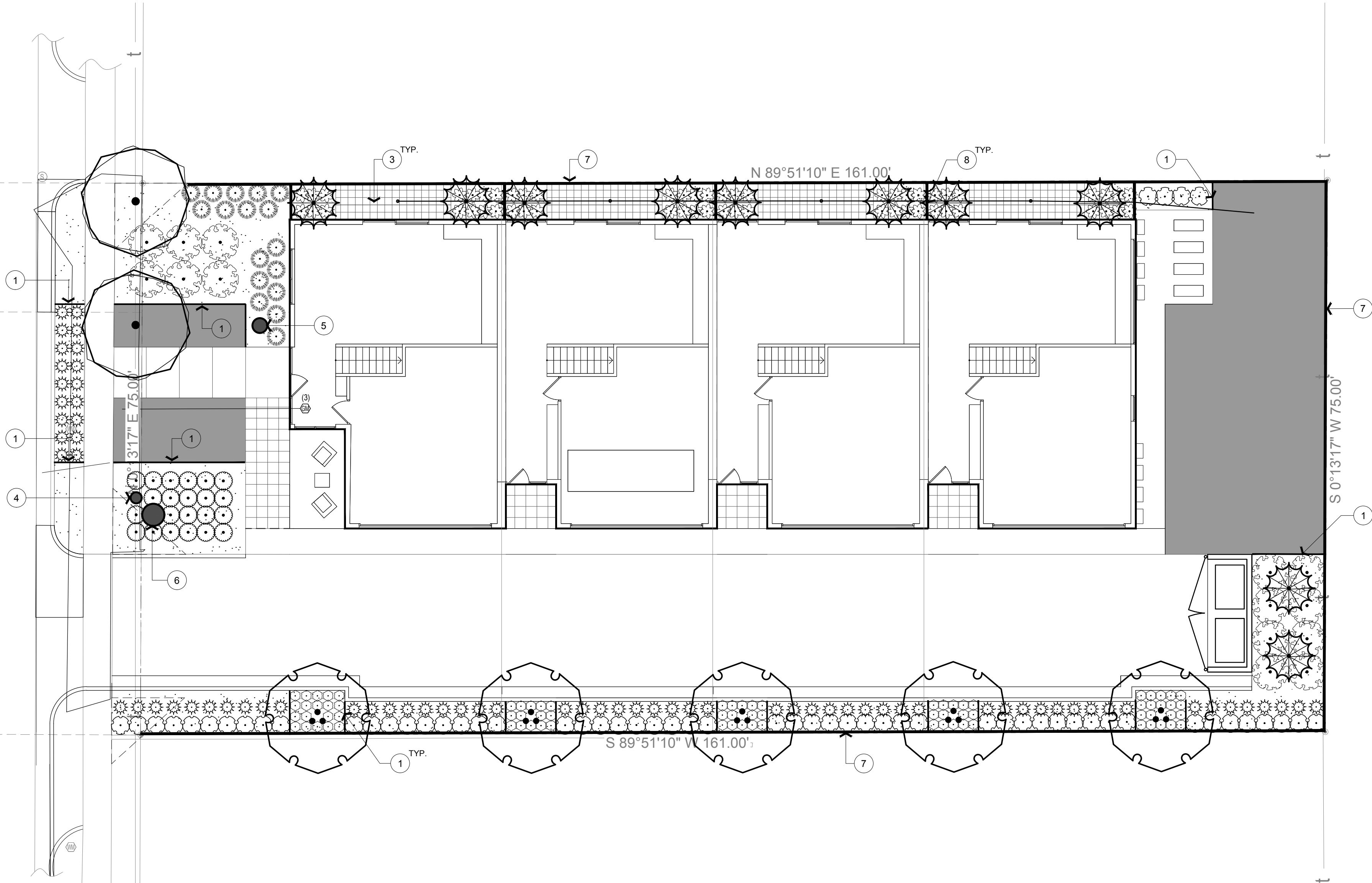
PROFESSIONAL ENGINEER
173416-2201
ROBERT J. POIRIER
01-17-18
STATE OF UTAH

S:\2018files\18392\Landscape\Prod Draw\18392_LND.dwg Scott's Sep 18, 2018 - 8:05am

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NOTICE!
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

700 EAST STREET

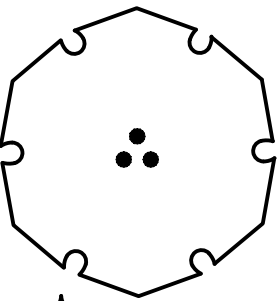
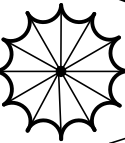
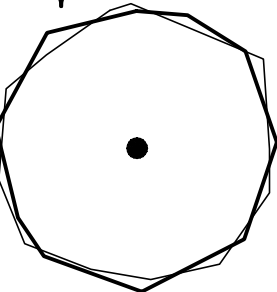


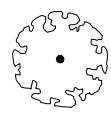




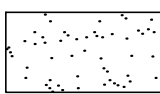



LANDSCAPE SUMMARY DATA - SALT LAKE CITY		
ZONED AS	RMF-30	
TOTAL SITE AREA (ON-SITE ONLY)	28 AC. = 12,079 S.F.	
TOTAL AREA AND PERCENTAGE OF SITE IN LANDSCAPE AREA:	3,177 S.F. / 12,079 S.F. = 26%	
TOTAL AREA AND PERCENTAGE OF LANDSCAPE IN TURF GRASS	955 S.F. / 3,177 S.F. = 30%	
TOTAL AREA AND PERCENTAGE OF LANDSCAPE IN PLANTING BED	2,222 S.F. / 3,177 S.F. = 70%	
	REQUIRED	PROVIDED
DROUGHT TOLERANT TREES AND SHRUBS	80%	338 / 411 = 82%
700 EAST STREET		
TREES - 1 TREE PER 30' L.F. OF FRONTAGE	75' L.F. / 30' = 2	2
PARK STRIP/ PUBLIC WAY PLANT COVERAGE	33%	39%
YARD LANDSCAPE AREA		
YARD LANDSCAPE PLANT COVERAGE	33%	MORE THAN 33%

PLANT TYPE	HYDROZONES
AUTUMN BRILLIANCE SERVICEBERRY*	TD2
COLUMNAR BLUE ATLAS CEDAR	TE3
FERNSPRAY HINOKI FALSE CYPRESS	
SAWLEAF ZELKOVA	TD4
EL DORADO FEATHER REED GRASS	TW2
EVEREST JAPANESE SEDGE	
MONARD JUNIPER	
HIDCOTE BLUE LAVENDER	P2
HAMELN FOUNTAIN GRASS	TW2
FINE LINE BUCKTHORN	SD3
ANGELINA SEDUM	GV1

* Amelanchier hydrozoned as TD2 based on "Water-wise Plants for Utah" list (waterwiseplants.utah.gov)

PLANT SCHEDULE

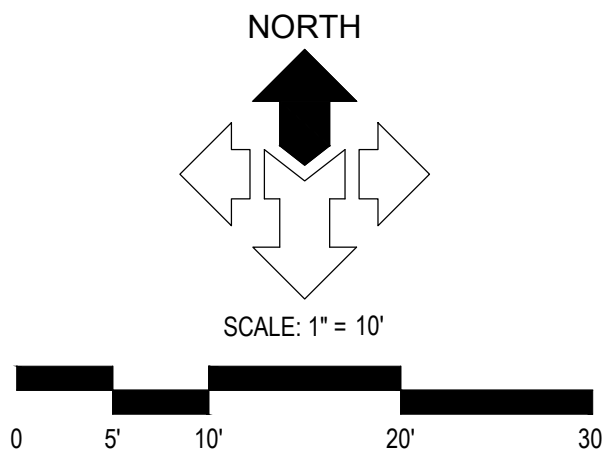
TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	DETAIL
	5	SPRING FLURRY SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'SPRING FLURRY'	8'-10' CLUMP	
	10	COLUMNAR BLUE ATLAS CEDAR	CEDRUS ATLANTICA 'FASTIGIATA'	6'-7' HT	
	2	MUSHASHINO COLUMNAR ZELKOVA	ZELKOVA SERRATA 'MUSASHINO'	2' CAL	
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	DETAIL
	17	EL DORADO REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'EL DORADO'	1 GAL	
	56	EVEREST JAPANESE SEDGE	CAREX OSHIMENSIS 'EVEREST'	1 GAL	
	14	MONARD JUNIPER	JUNIPERUS SABINA 'MONARD'	5 GAL	
	22	HIDCOTE BLUE LAVENDER	LAVANDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	3 GAL	
	72	HAMELN DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	1 GAL	
	58	FINE LINE BUCKTHORN	RHAMNUS FRANGULA 'FINE LINE'	5 GAL	
	120	YELLOW STONECROP	SEDUM RUPESTRE 'ANGELINA'	1 GAL	
DECORATIVE STONE					
	2,191 s.f.	CRUSHED ROCK, 1/2" SCREENED "WASATCH GRAY" FROM STAKER & PARSON COMPANIES (801) 819-9089 OR APPROVED EQUAL INSTALLED A MINIMUM 3" DEEP.	Install over Dewitts Pro 5 weed barrier fabric. Rock shall be washed and free of dirt and other foreign debris.		See Detail G/L4.01 & Planting Note 3
LAWN					
	4,675 s.f.	LAWN SOD, "IMPERIAL BLUE" FROM CHANSHARE FARMS (866) SOD-EASY OR APPROVED EQUAL	Install over minimum 5" topsoil layer.		HL4.01

PLANTING NOTES

- ALL QUANTITIES ARE SHOWN AS AN AID ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR FOR ALL QUANTITY CALCULATIONS BASED ON THE PLANTING PLAN.
- PLANT COMMON NAMES ARE SHOWN AS A REFERENCE ONLY. USE COMPLETE BOTANICAL NAMES WHEN PURCHASING ALL PLANT MATERIAL.
- APPLY A PRE-EMERGENT HERBICIDE TO ALL PLANTING BED AND CORBEL AREAS FOLLOWING INSTALLATION OF PLANT MATERIAL BUT PRIOR TO PLACING FABRIC AND MULCH. AREAS SHALL BE FREE OF EXISTING WEED GROWTH BEFORE APPLICATION OF HERBICIDE.

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
	METAL EDGING
	PRECAST CONCRETE STEPPING STONE, 36" SQUARE
	CONCRETE PAVING, 18" SCORE JOINTS
	PRECAST CONCRETE SPHERE, 18" DIAMETER, FROM BELSON OUTDOORS, PHONE (830) 897-8489, OR APPROVED EQUAL. FINISH TO BE ACID WASH STAIN (WHITE COLOR) WITH ANCHOR STYLE 'A'. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS AND DETAILS.
	PRECAST CONCRETE SPHERE, 24" DIAMETER, FROM BELSON OUTDOORS, PHONE (830) 897-8489, OR APPROVED EQUAL. FINISH TO BE ACID WASH STAIN (WHITE COLOR) WITH ANCHOR STYLE 'A'. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS AND DETAILS.
	PRECAST CONCRETE SPHERE, 36" DIAMETER, FROM BELSON OUTDOORS, PHONE (830) 897-8489, OR APPROVED EQUAL. FINISH TO BE ACID WASH STAIN (WHITE COLOR) WITH ANCHOR STYLE 'A'. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS AND DETAILS.
	SOLID CEDAR WOOD FENCE ALONG PERIMETER BOUNDARY, 6' HIGH
	SOLID CEDAR WOOD FENCE (DOUBLE SIDED) BETWEEN UNITS, 6' HIGH

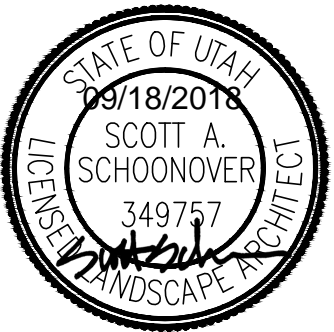


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TAG 700

2593 SOUTH 700 EAST
SALT LAKE CITY, UTAH

REVISIONS	
REV	DESCRIPTION

PROJECT NO:

DRAWN BY:

CHECKED BY: 18392

DATE: SS

PROP NO: SS

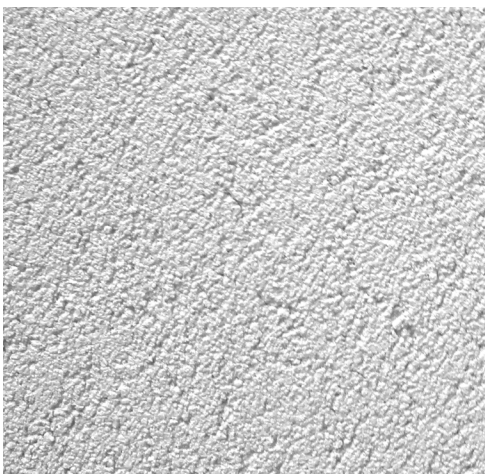
JULY 2018

LANDSCAPE PLAN

L1.01



1
SMOOTH FINISH WHITE EIFS



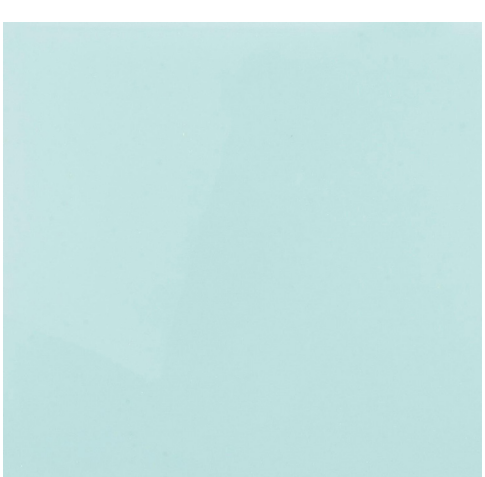
2
BLACK STAINED CEDAR
SIDING
SOFFIT
RAILING
FENCING



3
BLACK PREFINISHED SHEET METAL
FASCIA
BLACK WINDOW SYSTEM
FLASHING
DOWNSPOUTS



4
ROBBINS EGG BLUE SOLID DOORS



5
WHITE FRAMED GARAGE WITH
BLACK GLAZING INFILL



6
DARK GRAY STAINED
ARCHITECTURALLY
FINISHED CONCRETE



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TAG 700
2593 SOUTH 700 EAST
TAG SLC 84106

08.8.18

SD

3D
VIEWS

A000

GENERAL NOTES

BUILDING COVERAGE 41%

SITE - 12,079 SF
BUILDING - 4,830 SF

SEE LANDSCAPE DRAWINGS FOR PLANTING
PLAN AND FENCING - REF: L1.01

UTILITIES SHOWN ARE SCHEMATIC , SEE
C4.01 UTILITY PLAN FOR REQUIREMENTS

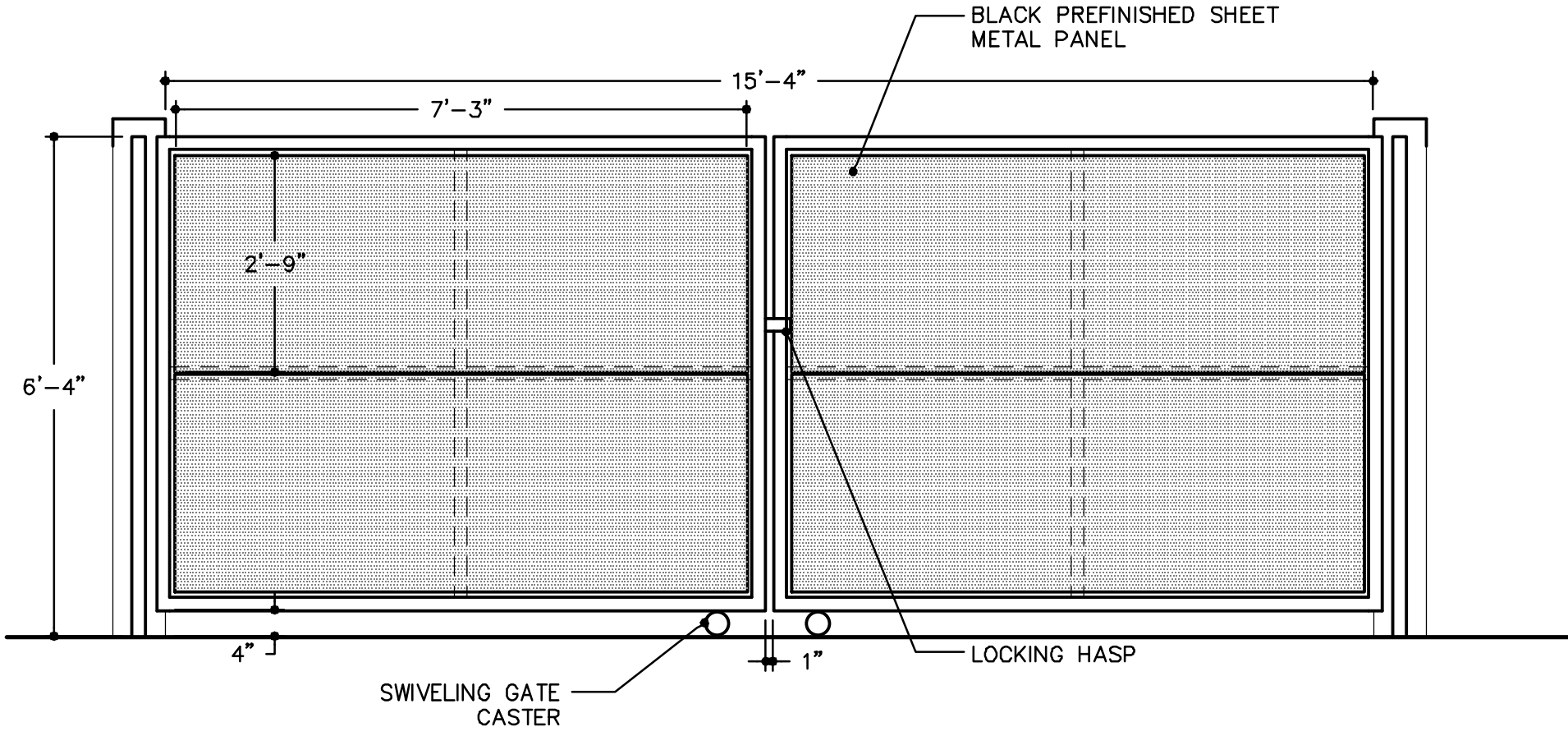
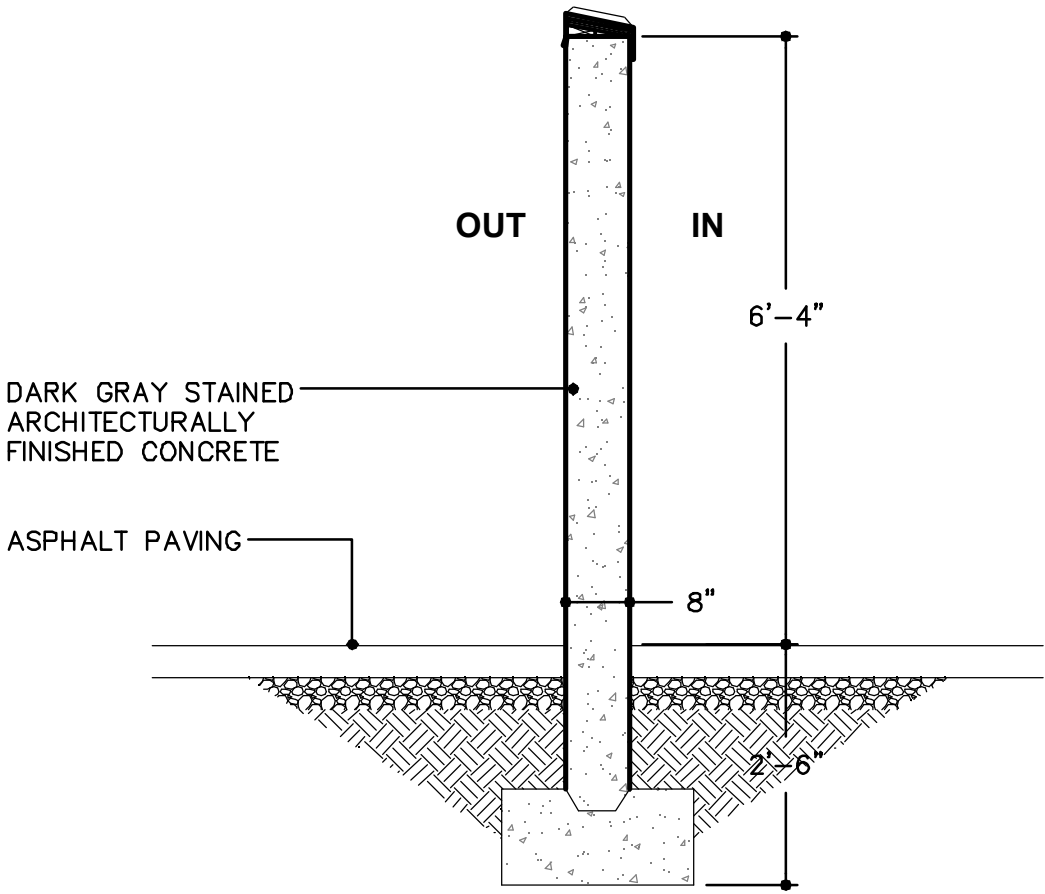
BOUNDARY DESCRIPTION

ALL OF LOTS 12, 13 AND 14, FOREST PLACE SUBDIVISION, AS RECORDED IN
BOOK "H" OF PLATS, AT PAGE 42 IN THE OFFICE OF THE SALT LAKE COUNTY
RECORDER, SAID LOTS BEING DESCRIBED MORE PARTICULARLY AS
FOLLOWS:

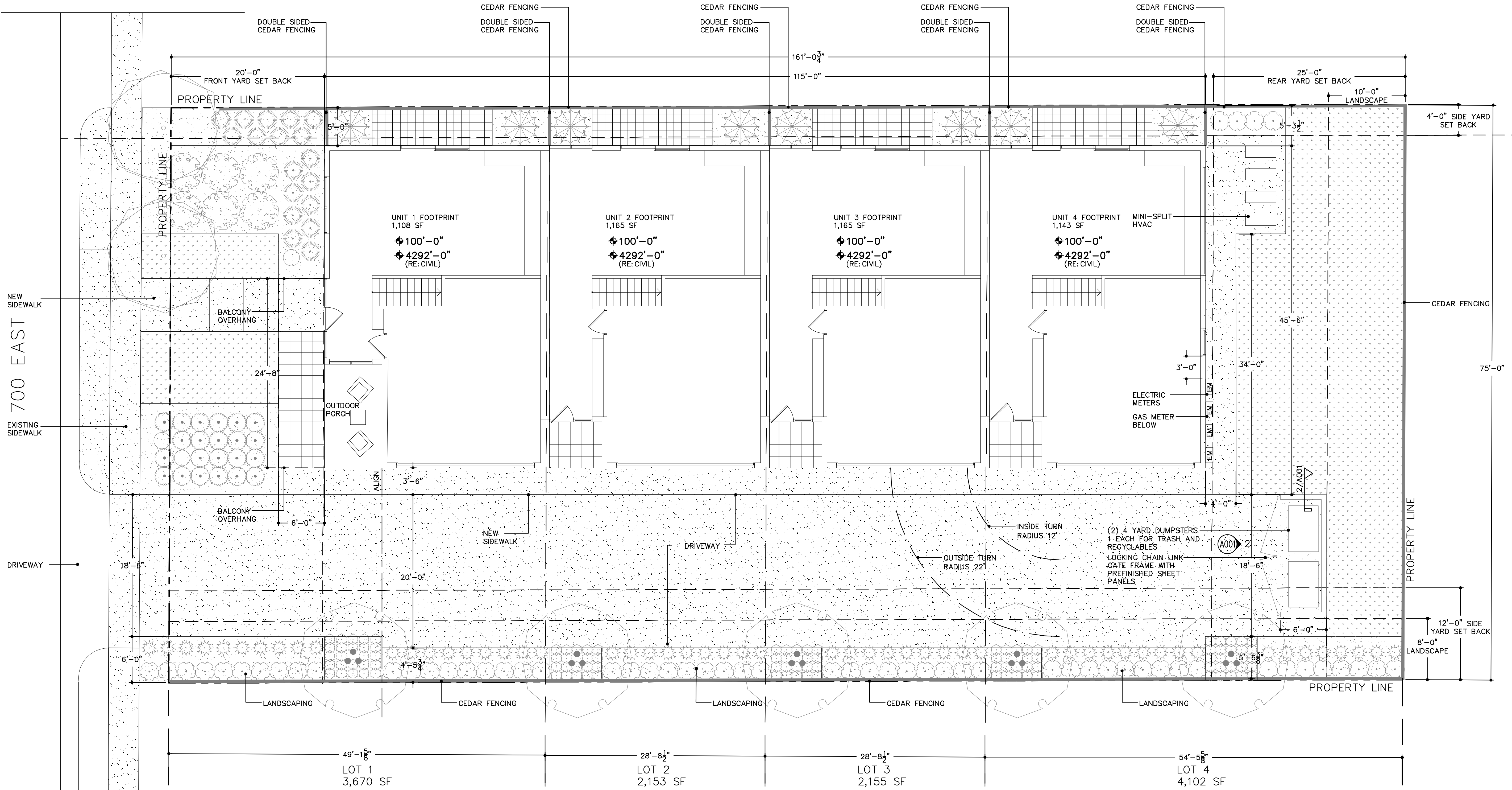
BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 12, AND RUNNING
THENCE NORTH 0°13'17" EAST ALONG THE WEST LINE OF SAID LOTS 12, 13
AND 14 A DISTANCE OF 75.00 FEET TO THE NORTHWEST CORNER OF SAID
LOT 14; THENCE NORTH 89°51'10" EAST ALONG THE NORTH LINE OF SAID LOT
14, A DISTANCE OF 161.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 14;
THENCE SOUTH 0°13'17" WEST ALONG THE EAST LINE OF SAID LOTS 12, 13
AND 14 A DISTANCE OF 75.00 FEET TO THE SOUTHEAST CORNER OF SAID LOT
12; THENCE SOUTH 89°51'10" WEST ALONG THE SOUTH LINE OF SAID LOT 12
A DISTANCE OF 161.00 FEET TO THE POINT OF BEGINNING.

CONTAINS 12,075 SQ. FT. OR 0.277 ACRES (4 LOTS AND COMMON AREA)

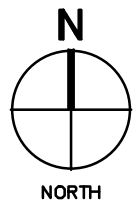
dumpster enclosure open area = 13,984 square inches
gate frame = 2,564 square inches
sheet metal panels = 11,202 square inches
total = 13,766 or 98% opaque



TRASH ENCLOSURE & GATE DETAIL 2
SCALE: 1/2" = 1'-0" A002

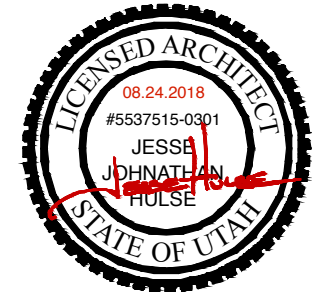


SITE PLAN 1
SCALE: 1:80 A001



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TAG SLC 84106

08.24.18

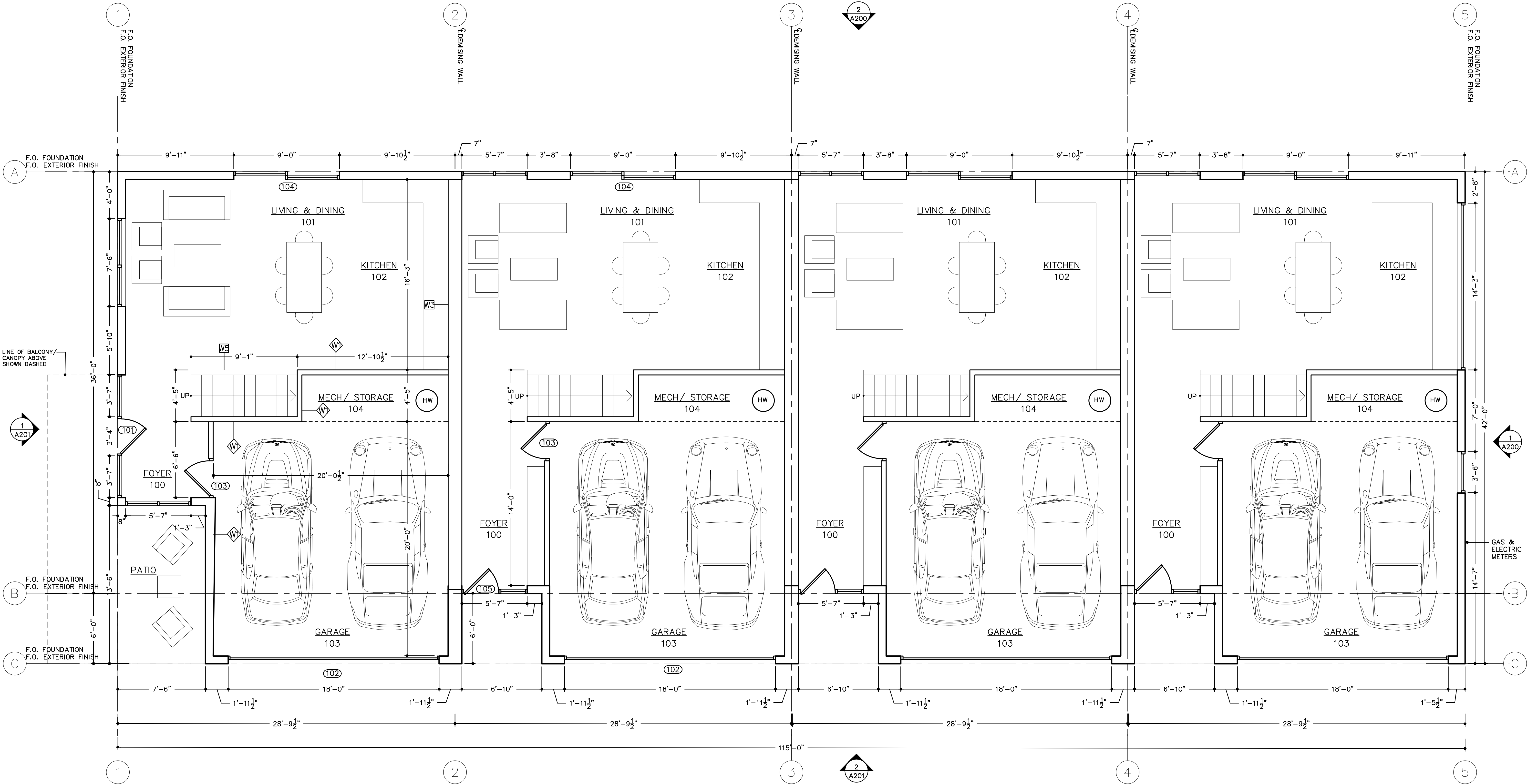
SD

SITE
PLAN

A001

GROSS	
TYP. UNIT FIRST FLOOR:	1,165 SF
TYP. UNIT SECOND FLOOR:	1,102 SF
TYP. TERRACE:	100 SF
TYP. COVERED AREA:	41 SF
TYP. TOTAL UNIT SF W/O TERRACE:	2,267 SF
TYP. TOTAL UNIT SF:	2,408 SF
FIRST FLOOR:	
SECOND FLOOR:	4,605 SF
TERRACE:	4,394 SF
COVERED AREA:	580 SF
TOTAL BUILDING SF:	225 SF
NET	
UNIT FIRST FLOOR:	1,075 SF
UNIT SECOND FLOOR:	1,016 SF
TERRACE:	100 SF
TOTAL UNIT SF W/ TERRACE:	2,191 SF

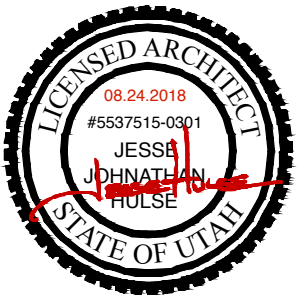
GENERAL NOTES		WALL SCHEDULE		MAXIMUM FLOW RATES AND CONSUMPTION OF FIXTURES PER IRC TABLE P2903.2	PLUMBING NOTES					
		WALL TAG	CONSTRUCTION TYPE							
CONTRACTOR TO VERIFY WITH ARCHITECT ANY DISCREPANCIES PRIOR TO BID.	THE COMMON WALL SHARED BY TWO TOWNHOUSES SHALL BE CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS, OR VENTS IN THE CAVITY OF THE COMMON WALL PER R302.2	W1	2 X 4 WOOD STUD INTERIOR WALL	LAVATORY FAUCET – 2.2 GPM AT 60 PSI	WATER HEATER TO BE SEISMICALLY BRACED PER IRC P2801.8	BACKWATER VALVES SHALL BE INSTALLED SO HAT THE WORKING PARTS ARE ACCESSIBLE FOR SERVICE AND REPAIR PER IRC P3008.5	ALL TUBS & SHOWERS ARE REQUIRED TO BE EQUIPPED WITH WATER TEMPERATURE LIMITING DEVICE THAT IS SET TO 120°F MAXIMUM PER IRC P2708.4 & P2713.3	SHOWER ACCESS OPENINGS SHALL HAVE A CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF NOT LESS THAN 22 INCHES PER IRC P2708.1.1		
		W2	2 X 4 WOOD STUD INTERIOR WALL WITH SOUND-BATT INSULATION	SHOWER HEAD – 2.5 GPM AT 80 PSI						
SUBSTRATE FOR TILED WET AREAS SHALL CONFORM TO IRC R702.4.2	IF APPLICABLE PROVIDE MAKE-UP AIR FOR RANGE HOODS EXHAUSTING IN EXCESS OF 400CFM PER IRC M1503.4	W3	(2) 2 X 6 WOOD STUD FIREWALL	SINK – 2.2 GPM AT 60 PSI	FLOOR DRAIN TO HAVE A MINIMUM THICKNESS 24 GAGE PER IRC P2801.6	FROSTPROOF HOSE BIB TO COMPLY PER IRC P2903.10	SHOWER PAN IS TO BE PROVIDED PER IRC P2709	WATER HEATER IN EACH UNIT WILL BE ELEVATED PER IRC M1307.3		
		W4	(2) 2 X 4 WOOD STUD WALL	TOILET – 1.6 GALLONS PER FLUSH						
NONABSORBENT SURFACE SHALL EXTEND TO A MINIMUM 6" ABOVE THE FLOOR AT SHOWER LOCATIONS PER IRC R307.2		W5	2 X 4 PARTIAL HEIGHT WOOD STUD INTERIOR WALL		WATER HEATER SOURCE OF IGNITION MUST BE AT A MINIMUM 18" ABOVE THE FLOOR PER IRC M1307.3 & PROTECTED FROM IMPACT PER IRC M1307.3.1	PLUMBING FIXTURES & CLEARANCES TO COMPLY PER IRC R307 & P2705.1	WATER HAMMER ARRESTORS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS PER IRC P2903.5			



FLOOR PLAN L.1
SCALE: 1/4" = 1'-0"

GROSS	
TYP. UNIT FIRST FLOOR:	1,165 SF
TYP. UNIT SECOND FLOOR:	1,102 SF
TYP. TERRACE:	100 SF
TYP. COVERED AREA:	41 SF
TYP. TOTAL UNIT SF W/O TERRACE:	2,267 SF
TYP. TOTAL UNIT SF:	2,408 SF
FIRST FLOOR:	
SECOND FLOOR:	4,605 SF
TERRACE:	4,394 SF
COVERED AREA:	580 SF
TOTAL BUILDING SF:	225 SF
NET	
UNIT FIRST FLOOR:	1,075 SF
UNIT SECOND FLOOR:	1,016 SF
TERRACE:	100 SF
TOTAL UNIT SF W/ TERRACE:	2,191 SF

GENERAL NOTES		WALL SCHEDULE		MAXIMUM FLOW RATES AND CONSUMPTION OF FIXTURES PER IRC TABLE P2903.2	PLUMBING NOTES													
CONTRACTOR TO VERIFY WITH ARCHITECT ANY DISCREPANCIES PRIOR TO BID.	THE COMMON WALL SHARED BY TWO TOWNHOUSES SHALL BE CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS, OR VENTS IN THE CAVITY OF THE COMMON WALL PER R302.2	WALL TAG	CONSTRUCTION TYPE		LAVATORY FAUCET – 2.2 GPM AT 60 PSI	WATER HEATER TO BE SEISMICALLY BRACED PER IRC P2801.8	BACKWATER VALVES SHALL BE INSTALLED SO HAT THE WORKING PARTS ARE ACCESSIBLE FOR SERVICE AND REPAIR PER IRC P3008.5	ALL TUBS & SHOWERS ARE REQUIRED TO BE EQUIPPED WITH WATER TEMPERATURE LIMITING DEVICE THAT IS SET TO 120°F MAXIMUM PER IRC P2708.4 & P2713.3	SHOWER ACCESS OPENINGS SHALL HAVE A CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF NOT LESS THAN 22 INCHES PER IRC P2708.1.1									
		W1	2 X 4 WOOD STUD INTERIOR WALL							SHOWER HEAD – 2.5 GPM AT 80 PSI								
		W2	2 X 4 WOOD STUD INTERIOR WALL WITH SOUND-BATT INSULATION								SINK – 2.2 GPM AT 60 PSI							
		W3	2 X 6 WOOD STUD INTERIOR WALL									TOILET – 1.6 GALLONS PER FLUSH						
W4		(2) 2 X 6 WOOD STUD FIREWALL	FLOOR DRAIN TO HAVE A MINIMUM THICKNESS 24 GAGE PER IRC P2801.6										FROSTPROOF HOSE BIB TO COMPLY PER IRC P2903.10	PLUMBING FIXTURES & CLEARANCES TO COMPLY PER IRC R307 & P2705.1	SHOWER PAN IS TO BE PROVIDED PER IRC P2709			
W5		(2) 2 X 4 WOOD STUD WALL														WATER HEATER SOURCE OF IGNITION MUST BE AT A MINIMUM 18" ABOVE THE FLOOR PER IRC M1307.3 & PROTECTED FROM IMPACT PER IRC M1307.3.1	WATER HAMMER ARRESTORS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS PER IRC P2903.5	WATER HEATER IN EACH UNIT WILL BE ELEVATED PER IRC M1307.3
W6		2 X 4 PARTIAL HEIGHT WOOD STUD INTERIOR WALL																



NOT FOR CONSTRUCTION

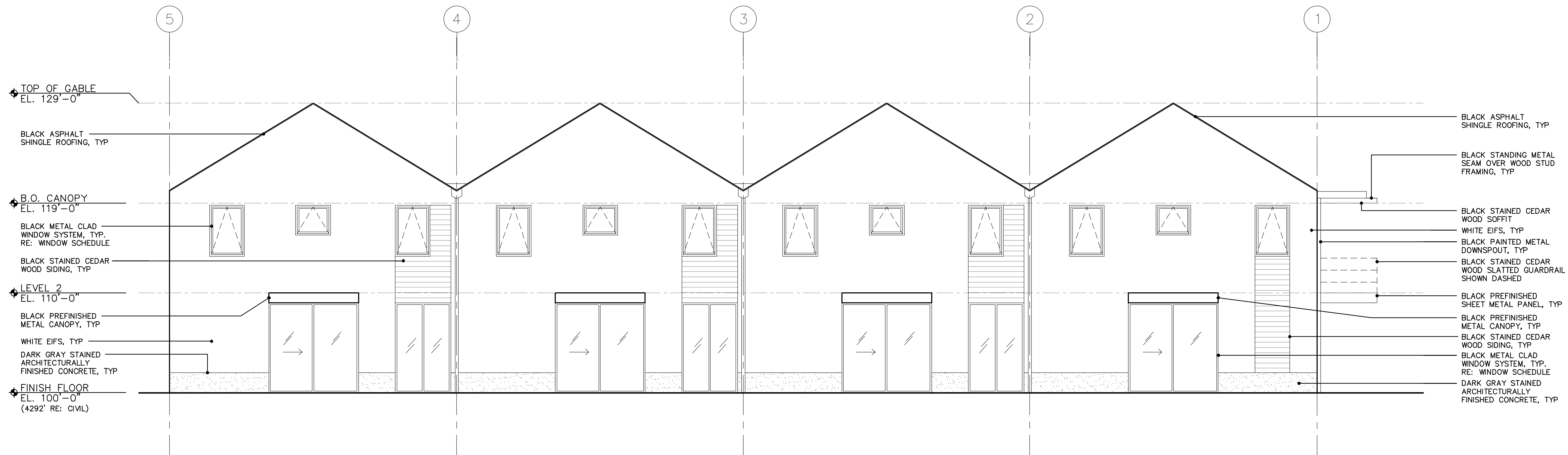
TAG 700
2593 SOUTH 700 EAST
TAG SLC 84106

08.24.18

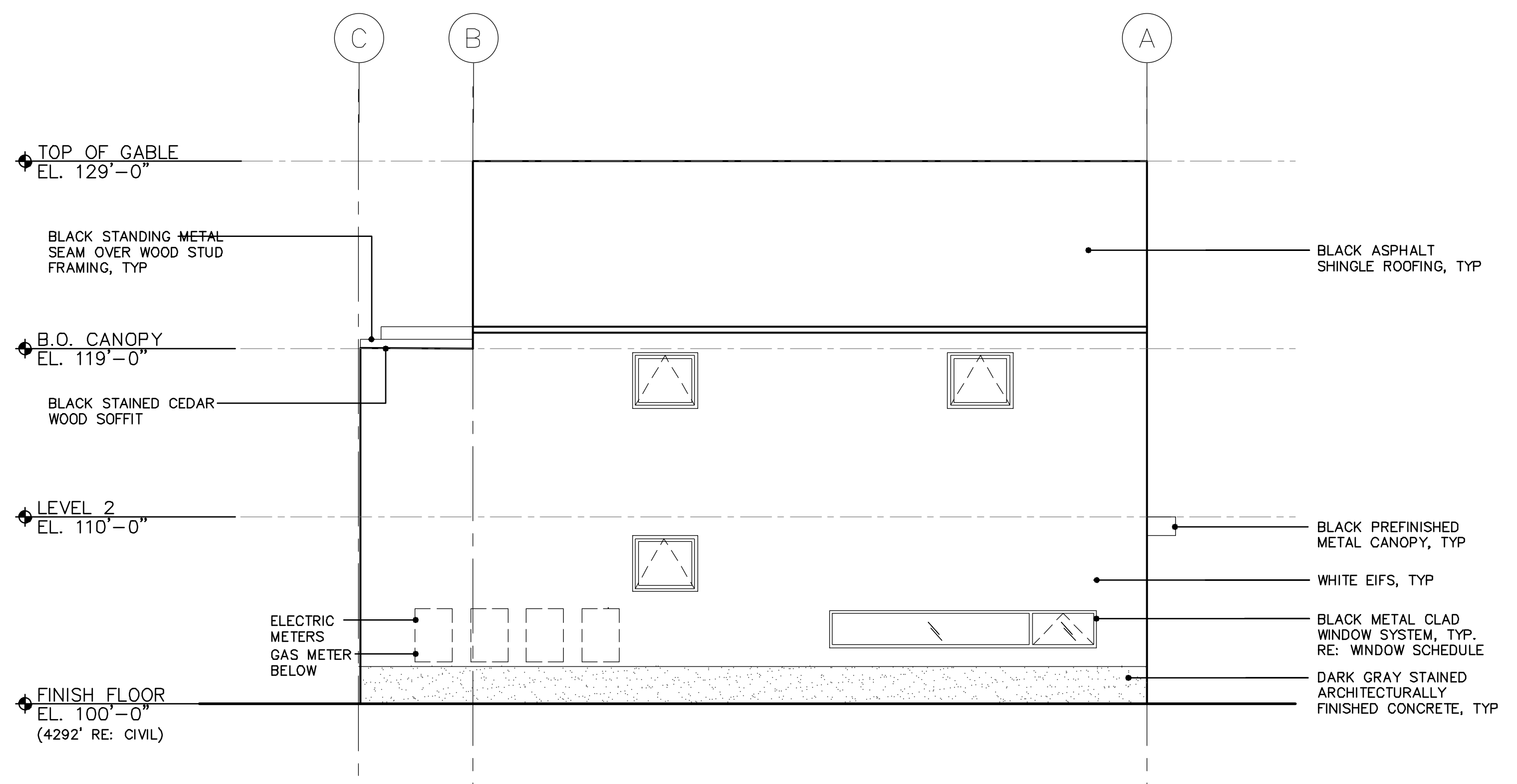
SD

EXTERIOR
ELEVATIONS

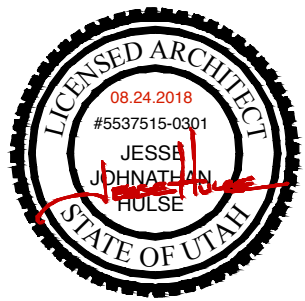
A200



NORTH ELEVATION 2
SCALE: 3/16" = 1'-0" A200



EAST ELEVATION 1
SCALE: 1/8" = 1'-0" A200



NOT FOR CONSTRUCTION

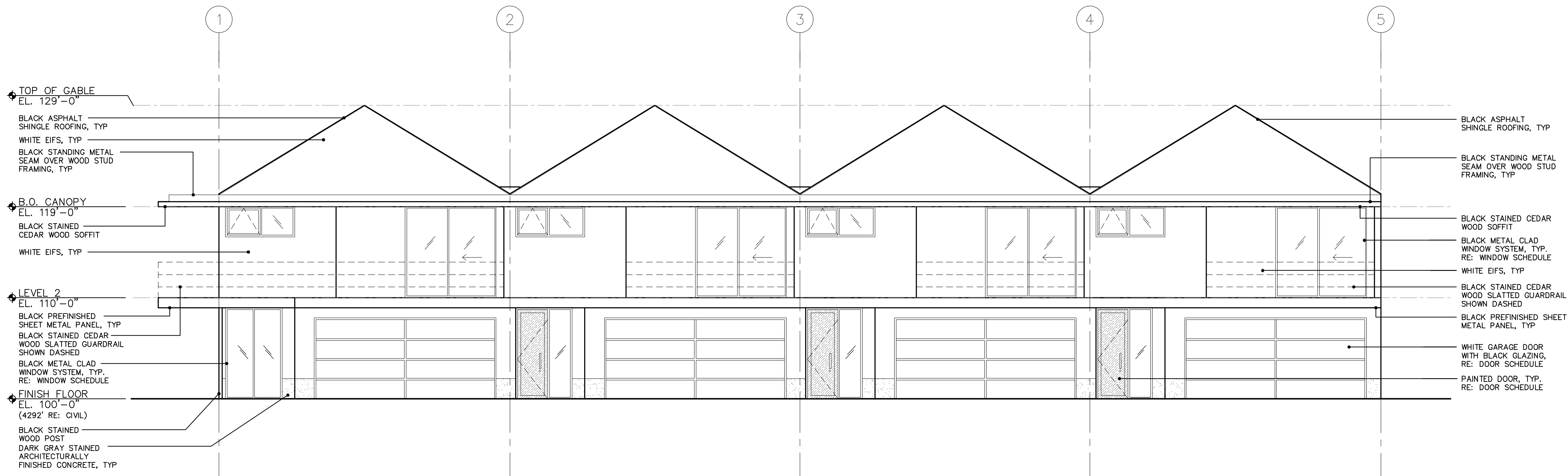
TAG 700
2593 SOUTH 700 EAST
TAG SLC 84106

08.24.18

SD

EXTERIOR
ELEVATIONS

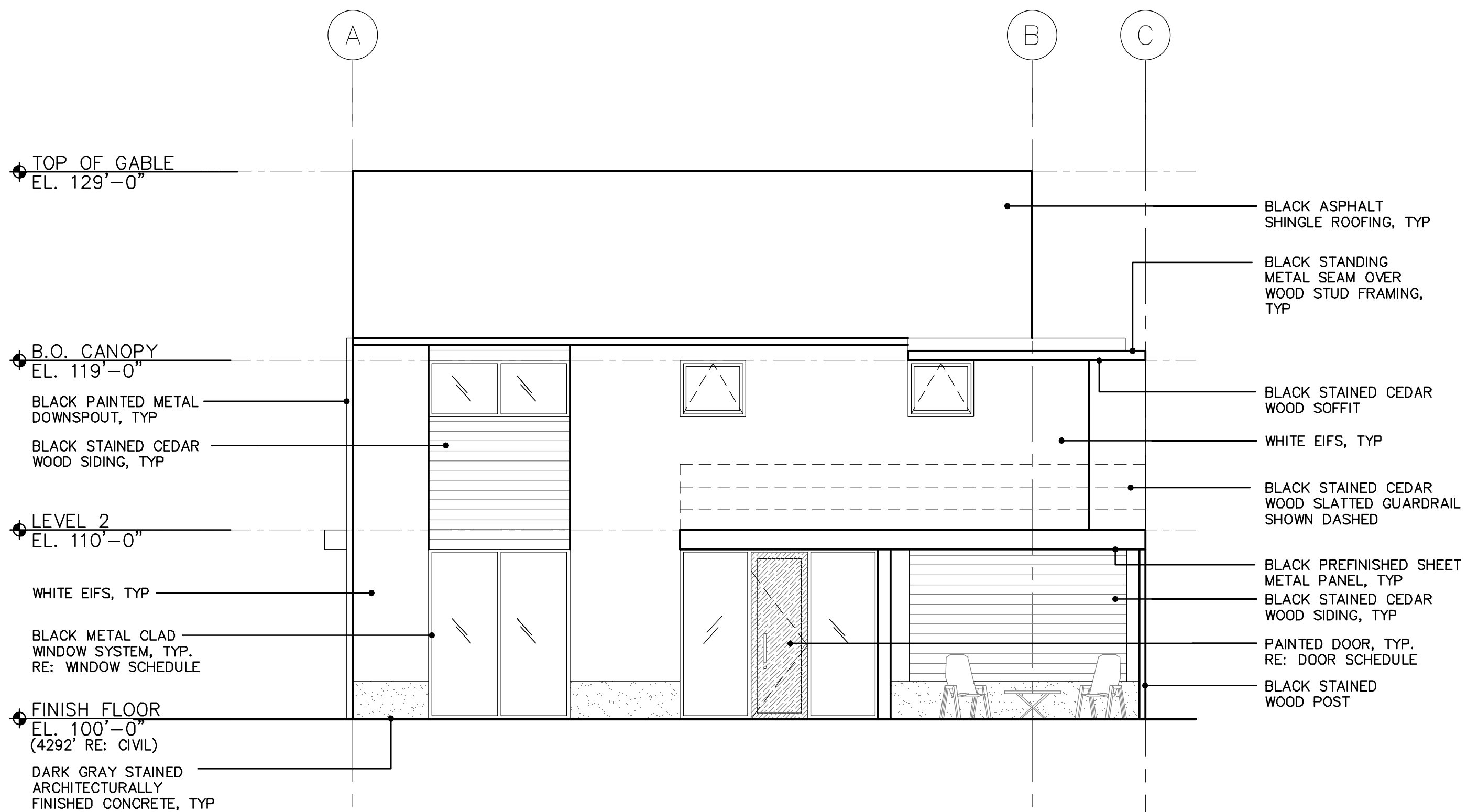
A201



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

1
A201



WEST ELEVATION

SCALE: 1/8" = 1'-0"

2
A201

The proposed row-homes to be built on 2593 S 700 E will be compatible with the surrounding neighborhood in regards to density and design.

The nearby structures along 700 E are a mix of single family, duplex, and multiplex units, making the neighborhood a denser part of the city compared to other nearby neighborhoods consisting of only single family homes. This precedent allows for continued density such as the 4 proposed row-homes on the identified site.

Not only will the row-homes be compatible in regards to density, but with their design as well. The new units will include similar architectural features such as being two stories high with a hipped roof-which features can be found in the several two-story, multi-family structures on this block face.

Covered entryways and porches are also common in the area.

Although this project is not identical to its surrounding, it offers a new housing type to be brought into this area.

08.24.18

Ms. Parisi,

The following provides you with a written statement providing you with the design revisions and compatibility statement.

1. Design Revisions - Refer to Elevations and 3D perspectives.

1.1. North Elevation

- 1.1.1. Canopies are added over the sliding doors to provide coverage while breaking the wall plane. These canopies will be finished with black metal.
- 1.1.2. Black stained wood siding is added to each unit creating a vertical accent band. This accent band visually connects the first and second floor windows while providing relief to white EIFs field material.
- 1.1.3. Black finished downspouts are added at each roof valley visually dividing the horizontal span into the (4) individual units.

1.2. South Elevation

- 1.2.1. The garage is revised to be white metal framing with black privacy glass infill. This provides a garage that does not appear to be a traditional garage.

1.3. West Elevation

- 1.3.1. Black stained wood siding is added creating a vertical accent band. This accent band visually connects the first and second floor windows while providing relief to white EIFs field material.
- 1.3.2. The main entry way is now centered on the main facade indicating a strong point of entry facing 700 East. Entry to the building can be accessed directly by a concrete walk which intersects the 700 East pedestrian sidewalk. The second level balcony extends over the entry acting as both a canopy and an occupiable terrace for the second level. Adjacent to the entry is a small outdoor porch covered by the overhead balcony.



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2. Compatibility Statement:

2.1. The proposed design is compatible with the surrounding area for the following reasons:

- 2.1.1. Scale, Mass and Intensity: Major architectural features in the surrounding neighborhood include enclosed porches, gabled forms and a centered entry with direct access to the 700 East sidewalk. The proposed design embodies these elements in a subtle non traditional way. The form of the building is a series of traditional gabled roofs. The repetition of gables along the length of the building break the single building visually into (4) smaller units. The eaves, which are the lowest point of the building, are set at 20'. The building is oriented such that the lowest point of the roof is the closest point to the main street minimizing the scale of the front facade. Several design elements are implemented to divide the mass of the building. A horizontal balcony wraps the majority of the South and West facades separating the facade into (2) horizontal areas. The balcony provides an interaction between the second level and the surrounding area as a viewing area. A small outdoor porch subtracted from the building's mass is sheltered by the balcony overhang. Additionally, canopies, wood accent materials and downspouts provide relief and visual interest to the massing on the north and west facade. The main entry of the building is centered on the main facade with a sidewalk access point to 700 East. Buffering these elements from the heavily traveled 700 East and adjacent neighbors is the landscaping comprised of trees, grass, shrubs, fencing and crushed rock.

Thank you,

Cynthia Bithell



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09.18.18

Ms. Parisi,

The following provides you with our response to City Review Comments received 08.07.18.

1. Zoning:

- 1.1. Must comply with the requirements of 21A.24.120 and the Side Entry Buildings requirements of 21A.24.010.H. Lot is 75 feet wide. The zone requires 80 feet.
 - 1.1.1. We are seeking an exception to this requirement via the Plan Development process.
- 1.2. Ground mounted A/C condensers must be 4 feet from any property line or require special exception approval from Planning per table 21A.36.020B
 - 1.2.1. Please refer to the attached Site Plan. The HVAC units are located 5'-3 1/2" off the property line.
- 1.3. A completed Impact Fee Assessment worksheet will be required. A credit can be given for the one SFD being demolished. A demolition permit will be required.
 - 1.3.1. Items will be completed prior to construction.
- 1.4. A permanent recycling collection station may be required and waste management plans for the demolition and the new construction will be required per the requirements of 21A.36.250.
 - 1.4.1. The permanent recycle and trash enclosure are located on the Site Plan.
 - 1.4.2. A waste management plan will be issued prior to construction.

2. Transportation

- 2.1. NA

3. Fire:

- 3.1. An Alternate Means and Method request will be submitted. Per the IFC Section 503.1.1 the building will be fire sprinkled in lieu of the required 150' hose access and rear ladder access. The drive is revised to have a 'pinch point' entry to indicate the drive is not a fire access drive.



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4. Public Utilities:
 - 4.1. Refer to the revised Civil Drawings.
5. Engineering:
 - 5.1. Refer to the revised Civil Drawings.
 - 5.2. Civil benchmark elevations are indicated on the architectural Elevations and Site Plan.
6. Police:
 - 6.1. NA
7. Utah Department of Transportation
 - 7.1. NA
8. Planning:
 - 8.1. All required documents will be provided prior to construction and permitting.
 - 8.2. Refer to revised Civil Drawings and Plat.

Thank you,

Cynthia Bithell



A T L A S
ARCHITECTS, INC.

TAG 700 Improvements

Date: August 21, 2018

Description	Total
700 East ROW Roadway Improvements	
700 East ROW Improvements	\$10,400.00
700 East Utility Connections	\$12,000.00
Utility (W/I Prop Boundary)	\$25,550.00
TAG 700 Infrastructure (W/I Prop Boundary)	\$12,380.00
Total Cost =	\$60,330.00

700 East ROW Improvements	Qty.	Unit	Price/Unit	Total
Existing Drive Approach Removal	1	LS	\$1,500.00	\$1,500.00
Saw Cut and Pavement Removal	1	LS	\$1,700.00	\$1,700.00
Curb and Gutter Removal	1	LS	\$800.00	\$800.00
Install Curb and Gutter (APWA 205A)	20	LF	\$30.00	\$600.00
Install Pavement Tie-In (APWA 251)	1	LS	\$1,500.00	\$1,500.00
Install Open Drive Approach (APWA 225)	1	LS	\$2,500.00	\$2,500.00
Sidewalk Improvements (APWA 231)	1	LS	\$1,800.00	\$1,800.00
Total=				\$10,400.00

700 East Utility Connections	Qty.	Unit	Price/Unit	Total
*Sewer Line Connection	1	LS	\$8,000.00	\$8,000.00
*Water Line Connection	1	LS	\$4,000.00	\$4,000.00
Total=				\$12,000.00

* Asphalt Saw cutting and replacement costs included in 700 East ROW Improvements.

Utility (W/I Prop Boundary)	Qty.	Unit	Price/Unit	Total
6" Sewer Line	200	LF	\$18.50	\$3,700.00
2" Water Line	200	LF	\$14.00	\$2,800.00
Water Line 1.5" Vault and Setter	1	LS	\$5,000.00	\$5,000.00
Water Line Connection W/ Valve	3	EA	\$1,200.00	\$3,600.00
Sewer Line Connection	3	EA	\$1,000.00	\$3,000.00
Total=				\$18,100.00

TAG 700 Infrastructure (W/I Prop Boundary)	Qty.	Unit	Price/Unit	Total
Asphalt Paving	1	LS	\$5,000.00	\$5,000.00
Concrete Drive	1	LS	\$3,360.00	\$3,360.00
Sidewalk	1	LS	\$2,370.00	\$2,370.00
Total=				\$10,730.00

Future Costs (60 Year Lifespan)	Qty.	Unit	Price/Unit	Total
Assume Paving every 15 Years	4	LS	\$5,000.00	\$20,000.00
Surface Utility Adjustments	1	LS	\$1,200.00	\$1,200.00
Concrete Maintenance (Settling)	1	LS	\$1,500.00	\$1,500.00
Total=				\$22,700.00

Legal Description: Lot 1, 2 & 3 of TAG 800 Subdivision

16-05-126-023; 065; 066

DECLARANT:

TAG SLC, a Utah limited liability company

Signature: _____

By: Jordan Atkin, its Manager

STATE OF UTAH)

: ss.

COUNTY OF SALT LAKE)

On the ____ day of _____ in the year 20__ before me, the undersigned, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he executed the same in his/her/their capacity, and that by his signature on the instrument, the individual, or the persons upon behalf of which the individual acted, executed the instrument.

(SEAL)

Notary Public

My commission expires: _____

ATTACHMENT D: MASTER PLAN POLICIES

Master Plan Policies

Sugar House Master Plan Discussion

The subject property is located within the Sugar House Master Plan (Adopted December, 2005) and is designated on the future land use map as "Medium Density Residential (8-20 dwelling units/acre)." The current zoning of RMF-30 (Low-Density Residential) allows for a density of 14.52 dwelling units an acre and complies with this designation.

The abutting properties to the north and south are similarly designated for "Medium Density Residential" and the abutting properties to the east are designated as "Low Density Residential." The properties across the street to the west are designated "Medium Density Residential." The below section is an excerpt from the master plan about Medium Density Residential areas and development:

Medium-Density Residential areas are designed to accommodate a mix of low-rise housing types. These include single-family through four-plex units, garden apartments, townhouses and mixed use or live/work units. This land use classification allows net densities between ten and twenty (10-20) dwelling units per acre.

Examples of zoning districts consistent with these recommended densities are the R-1-5,000, R-2, SR-1, and RMF-30.

Variations in densities and housing types are encouraged. Design features should include: usable landscaped open space, screened off-street parking areas, and units oriented in a way to be compatible to existing surrounding residential structures. New medium-density housing opportunities are encouraged in certain locations in Sugar House, including some areas presently used for commercial, warehouse, and industrial uses.

Location criteria for Medium-Density Residential land uses include:

- *Proximity to arterial or collector streets;*
- *Proximity to higher density residential areas, mixed-use areas, neighborhood commercial nodes or the urban town center of the Business District;*
- *Proximity to existing and proposed parks and open space;*
- *Prohibit the expansion of non-residential land uses into areas of medium-density residential.*

Many of the original subdivision layouts consisting of narrow, deep lots combined with inadequate development guidelines have resulted in typical "box car" four-plex and apartment development. Typical characteristics of these "box car" four-plexes and apartments include side-yard entry, large ratio of pavement to landscaped areas on the side-yard, a front building elevation devoid of windows, doors and architectural fenestration, flat roofs, concrete block construction and bulky size and mass. "Box car" fourplexes and apartments are not allowed under current zoning regulations.

Policies

- *Encourage new Medium-Density housing opportunities in appropriate locations in Sugar House.*

- *Encourage a variety of densities in the Medium- Density range while ensuring the design of these projects is compatible with surrounding residential structures.*
- *Continue to prohibit the development of the “box car” design of multi-family dwellings.*
- *Encourage street patterns that connect with other streets.*
- *Discourage gated developments.*

Staff Discussion: The proposed development is a townhome development, which is encouraged by the master plan. Although three of the units are oriented to the side of the property, the front unit includes windows, doors, and architectural fenestration and acts as the front façade for the unit. The master plan references “box car” development and discourages such developments. “Box car” development refers to a style that was common for multi-family developments built in the City in the 60s, 70s and 80s, which were not designed with any regard for the street facing façade and often simply had blank walls on these facades. These developments had entrances to units only along the side of the building, and architectural detailing, if any, was reserved for the side of the building. They also were generally built nearly completely out of brick or concrete block. While this development includes rear units that face the side driveway, the front of the building is designed to look and act as the front façade of a building and is different than the historical “box car” design.

The master plan also speaks to Planned Developments:

Planned Developments

Another common approach to infill housing is the use of Planned Developments. If the applicant desires some flexibility on zoning code standards in exchange for a higher level of design, the Planned Development/Conditional Use process is a useful alternative.

However, the community has expressed concern over the site plan and building design of many of these residential projects. Planned Developments have typically been oriented toward the interior of the development with only one access point so that the homes are isolated from the surrounding neighborhood.

Planned Developments have also limited access to nearby schools and churches. Additionally, features such as sidewalks, street trees, and park strips that are standard for a subdivision development oftentimes are not required. Consideration should be given to compatible building materials and design, which are integral aspects of maintaining the community character.

Policies

- *Ensure the site and building design of residential Planned Developments are compatible and integrated with the surrounding neighborhood.*
- *Discourage the development of “gated communities”.*
- *Review all proposed residential planned developments using the following guidelines:*
 - *Support new projects of a similar scale that incorporate the desirable architectural design features common throughout the neighborhood;*
 - *Maintain an appropriate setback around the perimeter of the development;*
 - *Position houses so that front doors and front yards face the street;*
 - *Require front yards to be left open wherever possible. When front yard fences are provided, they should be low and open;*

- *Design houses so that the garage doors do not predominate the front façade. Detached garages are preferred with access from an alley wherever possible;*
- *Design streets to be multi-purpose public spaces — comfortable for the pedestrian and bicyclist, not just as roads for cars;*
- *Provide at least two access points wherever possible in order to connect the street system to the larger street network to maintain an integrated network of streets; and*
- *Incorporate a pedestrian orientation into the site design of each project with sidewalks, park-strips and street trees as well as trail ways wherever possible.*

Staff Discussion:

While the building is of a modern design rather than traditional design, it still maintains compatibility with the neighborhood by incorporating architectural detailing that would be expected on the front face of a home despite being located along a major busy arterial. The pitched roofs area also more characteristic of this neighborhood. The garages are accessed from the side and do not face the street. Although the park strip on 700 East is too narrow for street trees, new landscaping is being installed in the front yard near the sidewalk to provide a similar effect.

The master plan also discusses the need to incorporate a variety of housing types in the community. In this case the developer is proposing townhomes, and the master plan identifies that townhomes are a way to provide increased housing and home ownership options, while still maintaining compatibility with traditional residential neighborhoods. The master plan discussion on new housing options is below:

New Housing Options

A variety of housing types are needed to meet the range of housing alternatives people prefer. Given the cost of a detached single-family home, many people, particularly young people, singles, and seniors can benefit from alternatives to detached housing and the typical apartment complex. New hybrid housing types, which utilize some characteristics of single-family housing, with the advantage of increased convenience and affordability, should be encouraged. These housing options include construction of mixed-use housing above retail, co-housing developments, courtyard apartments, “Big-House” apartments (styled like single-family detached structures with two to four units provided), live/work units, garden courts (single-family homes surrounding a garden court with rear loading), and alley-fed town-homes and cottages.

Policy

- *Provide a diversity of housing types, sizes, and prices within the community.*

Citywide Housing Master Plan

The City recently adopted a citywide housing master plan titled *Growing SLC: A Five Year Housing Plan 2018-2022* that focuses on ways the City can meet its housing needs in the next five years. The plan includes policies that relate to this development, including:

- *1.1.1 Develop flexible zoning tools and regulations, with a focus along significant transportation routes.*
- *1.1.2 Develop in-fill ordinances that promote a diverse housing stock, increase housing options, create redevelopment opportunities, and allow additional units within existing structures, while minimizing neighborhood impacts.*

The planned development process is a zoning tool that provides flexibility in the zoning standards and a way to provide in-fill development that would normally not be allowed through strict application of the zoning code. This process allows for an increase in housing stock and housing options and provides a way to minimize neighborhood impacts through its compatibility standards. The proposed development is utilizing this process to provide additional housing ownership options in the City to help meet overall housing needs.

Plan Salt Lake

The City has an adopted citywide master plan that includes policies related to providing additional housing options. The plan includes policies related to growth and housing in Salt Lake City:

Growth:

- *Locate new development in areas with existing infrastructure and amenities, such as transit and transportation corridors.*
- *Promote infill and redevelopment of underutilized land.*
- *Accommodate and promote an increase in the City's population.*

Housing:

- *Access to a wide variety of housing types for all income levels throughout the City, providing the basic human need for safety and responding to changing demographics.*
- *Increase diversity of housing types for all income levels throughout the city.*
- *Increase the number of medium density housing types and options.*
- *Enable moderate density increases within existing neighborhoods where appropriate.*

Staff Discussion: The proposed development provides in-fill housing on underutilized land. The property is located in an area zoned and intended for multi-family development in the City but is limited to single or two-family development due to lot frontage requirements. The limited modifications promote the redevelopment of this underutilized land to help meet City growth and housing goals. The project also provides an increase in a moderate density housing type (townhomes) that is not common with the City. Recent planning best practices have discussed the lack of a “missing middle” housing types in urban areas. The “missing middle” housing type is generally viewed as multi-family or clustered housing which is compatible in scale with single-family homes that help meet the growing demand for walkable, lower scale urban living. This proposed development helps to meet the goals of the master plan as well as providing needed housing.

ATTACHMENT E: ZONING STANDARDS

RMF-30 Zoning District Purpose Statement

The purpose of the RMF-30 low density multi-family residential district is to provide an environment suitable for a variety of housing types of a low density nature, including single-family, two-family, and multi-family dwellings, with a maximum height of thirty feet (30'). This district is appropriate in areas where the applicable master plan policies recommend multi-family housing with a density of less than fifteen (15) dwellings units per acre. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

Staff Discussion: The proposed development is allowed in the zone and will meet the intent of the zone with the requested modifications, as it still maintains conformance with the density and scale/intensity of the neighborhood.

RMF-30 Zoning District Development Standards

The following table includes applicable general development standards and notes where standards are being modified through the Planned Development process. The major modification to the zoning regulations requested by this development is for lots without public street frontage, as three of the lots will be accessed by way of a private driveway. The development is also seeking relief from particular yard setbacks. Viewed as one overall building, the proposal generally meets the setback/yard requirements for the use in this zone. However, each individual lot does not strictly meet the setback/yard standards due to the internal property line configuration and orientation of the building. The zoning ordinance is written to regulate properties with public street frontage. Because three of these properties do not have public street frontage, the yards do not strictly line up with the normal zoning yard/setback requirements. Because of this, the Planned Development process is required for the particular property line configuration.

Zoning Standards for Single-Family Attached	Development Compliance Status	Development Details
Minimum Lot Size Per Dwelling: 3,000 Square Feet.	Complies with Planned Development approval. Although two lots are below the minimum size, the overall development has an average lot size exceeding the minimum requirement.	Total square footage of the development site is approximately 12,079 square feet and so has enough square footage for 4 dwelling units (average lot size of 3,020 sq ft). The applicant is requesting a modification to the minimum lot size for the two middle lots. Lot 1: ~3,670 sq ft (complies) Lot 2: ~2,153 sq ft (undersize) Lot 3: ~2,155 sq ft (undersize) Lot 4: ~4,102 sq ft (complies)
Minimum Lot Width: Interior: 25 Feet Corner: 35 Feet	Complies	The overall development lot is approximately 75' in width. Lot 1: 75' (on 700 East) Lot 2 (Middle): 28.71' (West-East) Lot 3 (Middle): 28.71' (West-East) Lot 4: 54.85' (West-East)
Maximum Building Height: The maximum building height permitted in this district is thirty feet (30').	Complies	29' maximum height

Front Yard: Twenty feet (20')	Complies with Planned Development Approval	The overall development has a 20' front (west) yard measured to the front building wall and complies with this setback requirement; however, the front balcony encroaches approximately 6' into the front yard.
Interior Side Yard: Single-family attached: no yard is required, however if one is provided it shall not be less than four feet (4').	Complies	North Yard (Overall development): 5' South Yard (Overall development): 27' 11 ¾ " No setback is provided internally between lots as the units are attached.
Rear Yard: Twenty five percent (25%) of the lot depth, but not less than twenty feet (20') and need not exceed twenty five feet (25').	Complies with Planned Development approval. The proposed individual lots do not strictly meet this zoning requirement, however, when viewed as an overall site, the proposal meets this standard.	The overall development has a ~25' rear yard setback, which meets this standard. However, due to the way the development is configured each individual townhome lot does not have a rear yard setback of 25% of the lot depth and instead have a 5' north yard.
Maximum Building Coverage: Single-Family Attached Dwellings: The surface coverage of all principal and accessory buildings shall not exceed fifty percent (50%) of the lot area.	Complies with Planned Development approval. Although two lots slightly exceed the coverage limit due to their smaller size, the overall development meets this standard.	Overall development: 4,830 square feet of the overall site is covered in building for approximately 40% building coverage. Lot 1 (Front): ~1,108/3,670 sq ft, ~30% coverage Lots 2/3 (Middle): ~1,165/2,155 sq ft, ~54% coverage Lot 4 (Back): ~1,143/4,102 sq ft, ~28% coverage
Required Landscape Yards: The front and corner side yards shall be maintained as landscape yards.	Complies with Planned Development approval. The proposal still meets the intent of this standard as the public facing west yard is landscaped.	The front (west) yard of the overall development will be maintained as a landscape yard as shown on the landscaping plan. Sidewalks and driveways are allowed through landscaped yards. However, due to the way the development is configured three of the individual townhome lots do not have landscaped front yards.
Landscape Buffer: Lots in the RMF-30 zoning district which abut a lot in a single-family or two-family residential district, shall provide a ten foot (10') wide landscape buffer.	Complies	The rear (east yard) does abut a lot in the R-1-7,000 Single-Family Residential zoning district and has a rear landscape buffer of 10 feet with fencing along the perimeter.
Side Entry Buildings (Setback): To provide for adequate air, light and separation between buildings, greater yard requirements are necessary for buildings whose principal means of entry is located along an interior side yard. For all such buildings, the side yard shall not be less than twelve feet (12'), eight feet (8') of which shall be devoted to landscape area.	Complies with Planned Development approval. The development still meets the intent of this standard as it relates to air, light and separation of buildings.	The development is proposing a 27' 11 ¾ " wide setback along the south yard that includes the townhome entrances. This exceeds the minimum 12' setback required by the side entry building standard; however, approximately 4' 5 ¾"- 6' have been landscaped instead of the required 8 feet. The intent of the side entry building requirement is to preserve light and air and separate buildings so as not to create an uncomfortable and unsafe environment for those accessing their homes. The proposed larger setback with some landscaping still

		meets the intent of the code and allows for vehicle access to each lot that would otherwise not be possible through strict application of this requirement.
21A.36.010.C Frontage of Lot on Public Street: All lots shall front on a public street unless specifically exempted from this requirement by other provisions of this title.	Complies with Planned Development approval.	3 lots do not have public street frontage. See discussion under issue 2 regarding the proposed modification through the Planned Development process.
21A.55.060 Minimum (Net Lot) Area: A planned development proposed for any parcel or tract of land under single ownership or control in certain zoning districts shall have a minimum net lot area as set forth in table 21A.55.060 of this section. RMF-30 Minimum: 9,000 square feet	Complies	Net lot area: 12,079 square feet

ATTACHMENT F: ANALYSIS OF STANDARDS – PLANNED DEVELOPMENT

21a.55.050: Standards for Planned Developments: The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

Standard	Finding	Rationale
<p>Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section:</p> <p>A. Open Space And Natural Lands: Preserving, protecting or creating open space and natural lands:</p> <ol style="list-style-type: none"> 1. Inclusion of community gathering places or public recreational opportunities, such as new trails or trails that connect to existing or planned trail systems, playgrounds or other similar types of facilities. 2. Preservation of critical lands, watershed areas, riparian corridors and/or the urban forest. 3. Development of connected greenways and/or wildlife corridors. 4. Daylighting of creeks/water bodies. 5. Inclusion of local food production areas, such as community gardens. 6. Clustering of development to preserve open spaces. <p>B. Historic Preservation:</p> <ol style="list-style-type: none"> 1. Preservation, restoration, or adaptive reuse of buildings or structures that contribute to the character of the City either architecturally and/or historically, and that contribute to the general welfare of the residents of the City. 2. Preservation of, or enhancement to, historically significant landscapes that contribute to the character of the City and contribute to the general welfare of the City's residents. 	<p>Complies</p>	<p>The purpose statement for Planned Developments is below:</p> <p><i>A planned development is intended to encourage the efficient use of land and resources, promoting greater efficiency in public and utility services and encouraging innovation in the planning and building of all types of development. Further, a planned development implements the purpose statement of the zoning district in which the project is located, utilizing an alternative approach to the design of the property and related physical facilities. A planned development will result in a more enhanced product than would be achievable through strict application of land use regulations, while enabling the development to be compatible and congruous with adjacent and nearby land developments.</i></p> <p>The proposed planned development would result in four new townhomes. Townhomes are a low to medium density type of development that is called for on this property by the associated zoning district's purpose statement and the number of units is allowed by the zone's density limitations. However, without this process and associated zoning modifications, the property would be limited to a duplex, due to the minimum lot width and public street frontage requirements. The resulting development is a more efficient and enhanced use of land and resources, providing additional home ownership opportunities in the City than would otherwise not be possible through strict application of the standards, while remaining relatively compatible with adjacent property and maintaining compliance with the zoning district purposes.</p> <p>The applicant has stated that the project meets objective C2. (The applicant's narrative regarding these objectives is located in Attachment C). Staff also finds that the project generally meets this objective. Only one objective must be met to go through the Planned Development process.</p>

<p>C. Housing: Providing affordable housing or types of housing that helps achieve the City's housing goals and policies:</p> <ol style="list-style-type: none"> 1. At least twenty percent (20%) of the housing must be for those with incomes that are at or below eighty percent (80%) of the area median income. 2. The proposal includes housing types that are not commonly found in the existing neighborhood but are of a scale that is typical to the neighborhood. <p>D. Mobility: Enhances accessibility and mobility:</p> <ol style="list-style-type: none"> 1. Creating new interior block walkway connections that connect through a block or improve connectivity to transit or the bicycle network. 2. Improvements that encourage transportation options other than just the automobile. <p>E. Sustainability: Creation of a project that achieves exceptional performance with regards to resource consumption and impact on natural systems:</p> <ol style="list-style-type: none"> 1. Energy Use And Generation: Design of the building, its systems, and/or site that allow for a significant reduction in energy usage as compared with other buildings of similar type and/or the generation of energy from an on-site renewable resource. 2. Reuse Of Priority Site: Locate on a brownfield where soil or groundwater contamination has been identified, and where the local, State, or national authority (whichever has jurisdiction) requires its remediation. Perform remediation to the satisfaction of that authority. <p>F. Master Plan Implementation: A project that helps implement portions of an adopted Master Plan in instances where the Master Plan provides specific guidance on the character of</p>		<p>While duplexes, triplexes and other multi-family buildings are found in this neighborhood, not many take the form of townhomes that tend to be a desirable housing type in Salt Lake City and provide opportunity for home ownership. The Sugar House Master Plan also specifically encourages “a diversity of housing types, sizes, and prices in the community as a whole,” which this development generally offers. Though the proposed townhomes are taller than many of the existing cottages on this block face in particular, the pitched roofs do help to reduce the massing of the building and feel more characteristic of the neighborhood. The height to the top of the wall plate where the building wall meets the roof measures about 19 feet, similar to other larger multi-family buildings in the general vicinity. What’s more, the subject property is located off of a busier thoroughfare in the city that’s capable of accommodating slightly larger development.</p>
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<p>the immediate vicinity of the proposal:</p> <ol style="list-style-type: none"> 1. A project that is consistent with the guidance of the Master Plan related to building scale, building orientation, site layout, or other similar character defining features. 		
<p>B. Master Plan Compatibility: The proposed planned development is generally consistent with adopted policies set forth in the Citywide, community, and/or small area Master Plan that is applicable to the site where the planned development will be located.</p>	<p>Complies, with Planned Development approval.</p>	<p>B. As discussed in Attachment D, Staff finds that the proposal is generally consistent with a number of different adopted overall City policies related to housing and more specific community master plan policies related to housing and compatibility. The proposal is also consistent with the future land use map applicable to the property, which designates this property for future development of moderate density multi-family uses.</p>
<p>C. Design And Compatibility: The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the Planning Commission should consider:</p> <ol style="list-style-type: none"> 1. Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design; 2. Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design; 3. Whether building setbacks along the perimeter of the development: <ol style="list-style-type: none"> a. Maintain the visual character of the neighborhood or the character described in the applicable Master Plan. b. Provide sufficient space for private amenities. c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise. 	<p>Complies</p>	<ol style="list-style-type: none"> 1. Again, the proposed townhomes are taller than the existing homes on this particular block face; however, the pitched roofs, recessed building walls and use of different building materials/architectural details do help to break up the structure's larger massing and overall footprint. There are taller multi-family buildings in the vicinity and no additional height is being requested than what is permitted in the RMF-30 zoning district (30 feet). Townhomes also tend to be more compatible and visually interesting than a "box-car" 4-plex or apartment complex, which the Sugar House Master Plan specifically states should be avoided. 2. Most all of the existing homes on the block are oriented to the street or 700 East and have front porches. The front townhouse unit will be oriented completely towards the street with its entrance centered on the front façade. It will also feature usable patio space and a front balcony. The Sugar House Master Plan states that planned developments should, "position houses so that front doors and front yards face the street," which this development achieves. In terms of building materials, most of the existing homes on the block are brick or brick veneer, but there are some stucco structures in the neighborhood. The townhomes also feature a differentiated concrete foundation, which is seen on many houses in the area. 3. The townhomes will be situated in a similar location as the existing duplex on the lot; however, it will be pulled slightly closer to the street and the interior property line to the north. Still, the proposed development is meeting all of the required setbacks in the RMF-30 zoning

<p>d. Provide adequate sight lines to streets, driveways and sidewalks.</p> <p>e. Provide sufficient space for maintenance.</p> <p>4. Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;</p> <p>5. Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;</p> <p>6. Whether dumpsters, loading docks and/or service areas are appropriately screened; and</p> <p>7. Whether parking areas are appropriately buffered from adjacent uses.</p>		<p>district measured to the façades of the building – the front balcony will encroach in the required 20-foot setback. Because the north side of the building now could be used as “backyards” instead of “side yards” additional landscaping and fencing will be installed along the north property line to increase privacy. The north driveway will be removed and south driveway will be enlarged to accommodate fire requirements and the turning radius of cars backing in and out the side-loaded garages. It also provides sufficient space for access and general maintenance of the building. The building itself be setback far enough to meet Transportation’s site-distance-triangle requirements so drivers have enough room to see around the corner as they pull out of the lot.</p> <p>4. The applicant did work to redesign the building to create more visual interest on the front façade. In particular, the number and size of the windows were increased significantly. Two vertical panes of glass now frame the front door to better emphasize the front entryway. The recessed side building plane and mix of building materials including EIFS, wood siding and metal also adds a lot of visual interest to the front façade and around the entirety of the building.</p> <p>5. The applicant has stated the recessed lighting will be installed above the front entryway and above each side entry to ensure safety, while minimizing the impact on the neighboring properties.</p> <p>6. Two dumpsters within a concrete enclosure will be located on the southeast corner of the lot. The enclosure will be buffered by some additional landscaping to the south and east.</p> <p>7. The four attached garages will be setback over 20 feet from the neighboring property to the south. The garage doors will be black glass infill in an effort to be more discrete than the originally proposed white aluminum doors.</p>
<p>D. Landscaping: The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the Planning Commission should consider:</p> <p>1. Whether mature native trees located along the periphery of the property and along the street are preserved and maintained;</p>	<p>Complies</p>	<p>D. There are no mature trees on the lot that would need to be preserved. The proposal does include the installation of landscaping on all four sides of the building to increase privacy between lots and activate the streetscape off of 700 East.</p>

<p>2. Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved;</p> <p>3. Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development; and</p> <p>4. Whether proposed landscaping is appropriate for the scale of the development.</p>		
<p>E. Mobility: The proposed planned development supports Citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the Planning Commission should consider:</p> <p>1. Whether drive access to local streets will negatively impact the safety, purpose and character of the street;</p> <p>2. Whether the site design considers safe circulation for a range of transportation options including:</p> <ul style="list-style-type: none"> a. Safe and accommodating pedestrian environment and pedestrian oriented design; b. Bicycle facilities and connections where appropriate, and orientation to transit where available; and c. Minimizing conflicts between different transportation modes; <p>3. Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities;</p> <p>4. Whether the proposed design provides adequate emergency vehicle access; and</p> <p>5. Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.</p>	Complies	<p>E. The property will be accessed from 700 East which is a major state managed arterial road. The road has 8 lanes (4 each direction) and is expected to carry a high level of traffic. The proposed density increase of three additional dwelling units to the property is not expected to materially degrade the service level on such a major arterial street, given the low amount of traffic generated by such residential uses.</p> <p>Each dwelling includes a two-car garage, which meets the zoning requirement minimums. Visitors to this development may also potentially park up the street on Stratford Avenue. However, the residences on the portion of the street near to 700 East all have driveways with enough on-site parking to accommodate at least 2 vehicles and 1-2 visiting vehicles. Because of this, they are unlikely to be significantly adversely impacted by some additional visitor parking on the street.</p>
<p>F. Existing Site Features: The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.</p>	Complies	<p>F. The existing mid-century brick duplex and the two accessory structures on the site will be removed to accommodate the new development; however, multi-family housing (four units) is appropriate to put in its place and a better utilization of the lot.</p>
<p>G. Utilities: Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area.</p>	Complies	<p>G. The development will be required to comply with all requirements specified from the Public Utilities department. Public Utilities may require upgrades to the public utilities in order to adequately service the property without degrading services to adjacent properties. Any such upgrades would be required to be installed as part of the building permit and final subdivision process.</p>

ATTACHMENT G: ANALYSIS OF STANDARDS – PRELIMINARY SUBDIVISION PLAT

20.16.100: STANDARDS OF APPROVAL FOR PRELIMINARY PLATS: All preliminary plats for subdivisions and subdivision amendments shall meet the following standards:

Standard	Finding	Rationale
A. The subdivision complies with the general design standards and requirements for subdivisions as established in Chapter 20.12 of the Subdivision Title	Complies – pending Planned Development approval.	The applicant is requesting to modify subdivision and zoning standards through the Planned Development process. The following subdivision modification is proposed for this development: <ul style="list-style-type: none"> Section 20.12.E. Access to Public Streets, which requires that all lots have access to a public street. This section allows for modification of the required public street access (lot frontage) through the Planned Development process. In this case, the lots will have access to 700 East through a private driveway on the development property.
B. All buildable lots comply with all applicable zoning standards	Complies – pending Planned Development approval	The overall proposal complies with lot area standards when calculated together as noted in the RMF-30 development standards table in Attachment E . However, two of the lots are under the minimum size requirement and three lots will not have the required public street frontage.
C. All necessary and required dedications are made;	Complies – pending compliance with Department Comments	The proposed preliminary plat does not include any right-of-way dedications. Utility and drainage easements across the development property to serve individual townhomes may be required and determined during the final subdivision process. Compliance with Public Utilities requirements is a condition of approval.
D. Water supply and sewage disposal shall be satisfactory to the public utilities department director;	Complies – pending compliance with Department Comments	Water supply and sewage disposal will be evaluated and any upgrades or changes needed to serve the development will be required by Public Utilities prior to building permit or final subdivision approval.
E. Provisions for the construction of any required public improvements, per Section 20.40.010, are included.	Complies	No public improvements are required for this development. Any alterations to elements in the public way, including curb, gutter, or sidewalk as part of the construction of this development will be reviewed by Engineering. Any alterations to the roadway and driveway access point on 700 East will be subject to UDOT approval.
F. The subdivision otherwise complies with all applicable laws and regulations.	Complies – pending compliance with Department Comments	Prior to final approval, staff will ensure the proposed subdivision complies with all other applicable laws and regulations. The project will need to apply for Final Subdivision approval. The plat will need to comply with the conditions for the subdivision plat noted in Attachment I . This includes providing the necessary “declaration” documentation that establishes a Home Owners Association or other entity that will share financial responsibility for the

		shared private infrastructure and services (utility lines, driveway, sidewalk, waste pickup) for the subdivision.
G. If the proposal is an amendment to an existing subdivision and involves vacating a street, right-of-way, or easement, the amendment does not materially injure the public or any person who owns land within the subdivision or immediately adjacent to it and there is good cause for the amendment.	Complies	The proposed subdivision does not alter any street or right-of-way.

ATTACHMENT H: PUBLIC PROCESS AND COMMENTS

Notice to the Recognized Community Council:

A notice was emailed to the Sugar House Community Council on July 25, 2018. The Community Council was given 45 days to respond with any concerns and to request that the applicant attend a meeting. A preliminary notice was also mailed to the property owners and tenants within 300 feet of the proposed development.

The Sugar House Council had the applicant attend their August 20, 2018 Land Use Committee Meeting. This was a small meeting with a couple members of their Land Use Committee and the applicant's development team. At this meeting, council members expressed concern that the front façade of the first unit looked like the side of the unit instead of the front. They offered some design suggestions to better orient this unit to the street, which the applicant took into consideration when updating their plans. Members of the public also brought up concerns regarding the number of unit being proposed; however, this lot does have sufficient area (3,000 square feet per unit) to accommodate four units total. Finally, a neighbor to the east inquired about trash collection. Two garbage bins will be screened on the southeast side of the property for all four units to use.

The Sugar House Community Council also had the applicant attend and present their development at their general community council meeting on September 5, 2018. At this meeting, a member of the public inquired about fire access. The development will have to meet all fire requirements in order to receive a building permit. Additionally, another neighbor asked if the HOA would prohibit the units from being rented, to which the developer stated is probably not likely.

Notice of Public Hearing for Planning Commission

Public hearing notice mailed on September 14, 2018

Public hearing notice posted on September 14, 2018

Public notice posted on City and State Websites and Planning Division list serve: September 14, 2018

Public hearing sign posted on September 17, 2018

September 12, 2018

TO: Salt Lake City Planning Commission

FROM: Judi Short, First Vice Chair and Land Use Chair
Sugar House Community Council



RE: Petition PLNSUB2018-00555 TAG 700 Planned Development

We received a request from Salt Lake City to review a Planned Development at 2593 South 700 East. This request is for four single-family attached townhomes at this address. The units are facing south, instead of to the street. The applicant is asking for a reduced interior yard setback, reduced landscaping buffers and to create lots without direct public street frontage.

We distributed flyers to the neighbors along 700 East from the freeway to 2700 South, and around the block along Lake Street. The petitioner came to the SHCC Land Use and Zoning Committee meeting on August 20, and then to the SHCC General Meeting on September 5. There were a few neighbors at each meeting. Comments received via email or verbally are attached.

The neighbors are requesting that these be for sale units occupied by the owner, and the CCRs so stipulate. They are looking for some stability, and for neighbors who care about the area. They fear short-term renters might not have a vested interest in the upkeep of the area.

This comment came from the neighbor to the east, concerned about their privacy. They want a 30-foot setback on the east side of the project, with no reduction. They are concerned that removing the two structures on the property now will increase the 700 East road noise, and are asking for buffers such as a 7' fence, trees, and shrubbery that dampens the road noise, limits their view of the street and provides privacy for ourselves and the inhabitants of the east facing unit.

The neighbors were concerned about height, and the developer indicated that this building would be 30' tall, which is what the zoning would allow. They also worry about windows on the east side. The developer drawings show no windows, patios or decks facing east. They also assured the neighbors that a full asbestos abatement prior to demolition would happen, so there should be no risk of airborne particles. And they assured neighbors that all water generated on the property from rain or other events would be contained and redirected into a drain or out to 700 East.

After each of our meetings, the applicant changed the plans a bit. Unfortunately, because of the very large size of the plans, and our inability to post them on our website, neighbors only had a link to the original drawings. The front unit along 700 East has now been re-oriented to face the street, and the landscaping shown make it appear more palatable. We know access will primarily be through the garage, but future guests will have to park on a side street, and they can use the street access.

- Does this project meet the Planned Development Criteria? Does this meet the purpose statement of getting a better project, using a higher level of design than if the strict ordinance requirements were applied? Maybe, see below.

Planned Development Objectives.

- It meets Sugar House Master Plan compatibility by building low density residential, although it does not preserve the predominant land pattern of single family homes. It does meet the SLC goal of adding more housing units. This will add a net two units. However, if this were applied to an acre, this project is more dense than 5-10 units per acre. They will not be affordable, the developer states a price point of \$400-500k for each unit. Three of these units are isolated from the rest of the neighborhood, not facing the street. There is no pedestrian sidewalk on the interior on the project.

- Landscaping. It appears that mature trees on the property will be removed.
- It doesn't provide sufficient space for private amenities. Lots 2 and 3 will have a 5'x27' back yard, and an upstairs porch. Lot 4's exterior space seems to be mostly a retention pond or swale.
- We don't know much about exterior landscaping and lighting, except for the drawing showing the front unit.
- We cannot tell where the trash receptacles will be located, but want to be sure it is not close to other nearby dwellings.

To summarize, I don't think we are very pleased with this project. The price point is high for a townhome on 700 East. I have attached the sales for the recent Sego townhome project in Millcreek at 4100 S Kiera Hill Lane, there is still one unit to be sold. These units are smaller, and have a roof deck. They sold between \$299 and \$399k. Two of the TAG units have some extra green space as an amenity, but the middle two have none. This almost looks like putting three units in instead of four and providing more back yard space for the middle unit might result in a better project. The design isn't very compatible with the existing development pattern, the gabled roofs face the neighbors houses instead of the street. I cannot tell what the setback of the building is from the street, compared to the rest of the block face. The TAG units appear larger according to the plans, but probably include the garage footprint in the total square footage.

We think that it is possible, down the road, because of the city's big push to add new housing, most or all of this block face could be turned into 4 plex developments, mostly not facing the street. That could quickly change the character of this neighborhood, reminiscent of the 1960's when so many cinderblock 4 plex buildings were built along other sections of 700 East. We ask that you are careful about what you approve, to keep these developments at a high standard, so the Sugar House of tomorrow is as wonderful to live in as it has been for many decades. We have concerns that the buffers for this project are not enough, thinking about whether a similarly situated project might go on either side of this one. This really needs a wider lot to make it feel comfortable.

We ask:

- A minimum rear yard (east) setback of 25', with no windows or doors to protect the privacy of the neighbors. Current drawings say this will be the case.
- That the CCRs state that the units will be owner occupied. This will help ensure that the units are well kept.
- That you explore the idea that a bigger buffer can be added to the north side of the project, at a minimum.

Thank you for your thoughtful attention to reviewing this project. Ask yourself if we are getting a better project by making these concessions.

Attachments:

- Neighborhood Flyer
- Comments Received
- New Townhome Sales on 700 East

COMMENTS 700 TAB PROJECT 2593 SOUTH 700 EAST

Good afternoon Landon

I am the property owner of 2594 S. Lake Street (pleased to meet you!). This afternoon we received a notice that Jordan Atkin, owner of the property adjacent to our west border, is requesting permission to build “4 single-family attached unit townhomes” on his property. According to the notice, a public hearing has not yet been scheduled; however, we would be very interested in getting any additional information your office may have available regarding the proposal and whether this will be reviewed by the community council. The notice included your office contact information - I’d be happy to give you a call or stop by your office, depending on what would be preferable. Just curious, based on your email, are you from Minnesota originally? I was born in Duluth and grew up/lived in the Twin Cities until a few years ago.

We look forward to hearing from you. Kind regards,

David Hiti, MA MPH

From: Mary Thompson <marcheech@hotmail.com>
To: minnesotaute@yahoo.com <minnesotaute@yahoo.com>
Sent: Sunday, July 29, 2018, 6:55:12 PM MDT
Subject: Proposed Planned Development No. PLNSUB2018-00555

Hi,
I was wondering if the Community Council will be addressing this proposed development. I live behind the proposed development and I do not want it to go through.
Thank you,
Mary Thompson

Dave Hiti – resident and property owner of 2594 S Lake Street, adjacent (east) of proposed 2593 South 700 East development project.

Below is a summary of all comments and questions that we presented to Jordan Atkins during the SHCC Land Use and Zoning Committee meeting August 20. Following general **responses** regarding each of these comments or concerns, our primary hope at this time, in addition to Jordan Atkins’ honoring his comments below, is that developers would include in the CC&R an enforceable rental restriction that would ensure that future home owners of the 2593 South 700 East 4 single unit properties are not able to subsequently rent the properties. This is intended to serve the interests of both the current adjacent neighbors, as well as the future property owners, as we feel that permanent residents will contribute greatly to the overall investment and value of the property and existing character of the neighborhood, whereas short-term rentals may risk variable or decreased upkeep and investment in the proposed project.

Summary of Dave Hiti comments and **responses by Jordan Atkins**

- Questions/Concerns

Buffer/separation from structure and 700 East

1. Developer is requesting reduced interior yard setback; we would like assurances that the buffer between our east-adjacent rear property and this project will not be reduced (current plans indicate a 25-30 foot buffer/setback). **In both the 8/20 and 9/5 meeting Jordan made reference to a 30 foot east-facing buffer setback, with no plans to reduce.**
2. The removal of any existing structures poses the risk of increased road noise/visibility from 700 East. We would like to request that the developer’s plans include buffers such as 7+ foot fence, trees, and/or foliage that both dampens increased 700 East road noise, limits the view of this street, and also provides privacy for both ourselves and the inhabitants of the east-facing unit. **8/20 Jordan indicated plans to build a cedar fence along the adjacent property edge, including foliage and trees.**

3. We have concerns that the height of the structure will block sunlight and impact the overall value of our property. I believe current plans are 2.5 stories (?30 feet?) . We would like assurances from the developer that this project will not exceed this height. Jordan indicated in both 8/20 and 9/5 meetings that the planned project would not exceed 30 feet.

Privacy

4. Current plans do not indicate there will be significant windows/patios/decks facing eastward toward our property; we would like to request that these plans are maintained, so that any outward facing vantage points provide sufficient privacy for both ourselves and the incoming residents. Through both the 8/20 and 9/5 meeting, plans did not include any patios or decks that would face eastward; currently face northward and southward.

Sanitation/Safety

5. We have reviewed other similar multi-unit designs and noted that in some, plans included placement of a garbage dumpster in the rear of the property. We are happy that we don't see this in the current design – both due to increased risk of odor, insect/rodent, as well as noise from garbage collection, we would strongly object to a garbage receptacle placed proximally to our property line. 8/20 Updated plans indicate use of a garbage area on east-facing rear property; unclear whether these will be single-family garbage receptacles, vs a larger garbage receptacle. I do have continued concerns about increase in odor, noise, and insect/rodent based on garbage storage and pickup.

6. We assume any demolition/construction would include assurances to prevent risk of asbestos dust/exposure toward our property, as we have a newborn daughter whose room faces the rear of our property. 8/20 Jordan provided assurances that project would include full asbestos abatement prior to demolition.

Changes in water flow/topography

7. We are currently planning significant investment in the backyard landscape of our property. We understand engineers will be part of this project to ensure minimal impact on water flow/topography changes that lead to, e.g., water flow into our property. We would like to express concerns that every assurance is made to prevent negative impact such as this from occurring. 8/20 Jordan provided assurances that project would not result in any changes of water flow toward our property, ie, all water flow would be contained and redirected within the 2593 S 700 E property.

It is very hard to see any of these as improvements. Realistically, I don't think anything will help this project as the lot is really too small for a good project. To make these units attractive to buyers they have to cover so much of the lot it makes true buffering with truly usable outdoor space impossible. Any outdoor facilitates are owned and maintained by the HOA. Whether this will be done properly is another matter as especially if these turn into rentals, there will be a great temptation to skimp. As for the design - what can one say but ugly,ugly,ugly. You are correct that the street facing unit looks like they are just slapping stuff on to mollify us and the planner. Three units would be ideal and allow for a really quality product, but the fourth unit is where is profit probably is. I think this is the wrong project for this lot.

MLS# 1439605 Presented By: Erika Wiggins 801-893-2519

Sold Price: \$338,200

List Price: \$319,900

Address: 4186 S Kiera Hill Ln #MC05

City: Millcreek, UT 84107

Property Tour: None

Sold Date: 11/10/2017

Status: Sold

Project: MILLCREEK TOWNS

Type: Townhouse (PUD)

NS / EW: 4186 S / 700 E

Total Sq Ft: 1435

Total Beds: 2

Total Baths: 3.00

Family Rooms: 1

Fireplace: 0

Garage | Car Port: 2 | 0

Exterior: Clapboard/Masonite; Stucco

Lot Facts: Curb & Gutter; Fenced: Part; Sidewalks; Sprinkler: Auto-Full

Inclusions: Microwave

Features & Info: Bath: Master; Closet: Walk-In; Dishwasher, Built-In; Disposal; Great Room;

Range/Oven: Free Stdng.; Low VOC Finishes

Concessions: \$4,300

Remarks: Beautiful open floorplan with huge picture windows and 3 decks!! Huge roof deck on top with amazing views of mountains. Double vanities in master bathroom and spacious walk in closet. Covered patio off of living room and another patio off of dining room

Style: Townhouse; Row-mid

Year Built: 2017

Taxes: \$1

Acres: 0.03

HOA?: Yes, \$145/Month

Construction Status: Und. Const.

Finished Basement: 100%



Under Construction

Driving Dir:

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MLS# 1498396 Presented By: Erika Wiggins 801-893-2519

Sold Price: \$355,080

List Price: \$345,900

Address: 4173 S Kiera Hill Ln #13

City: Millcreek, UT 84107

Property Tour: None

Sold Date: 07/11/2018

Status: Sold

Project: MILLCREEK TOWNHOMES

Type: Townhouse

NS / EW: 4173 S / 719 E

Total Sq Ft: 1525

Total Beds: 3

Total Baths: 3.00

Family Rooms: 1

Fireplace: 0

Garage | Car Port: 2 | 0

Exterior: Stucco; Cement Board

Lot Facts: Curb & Gutter; Fenced: Full; Road: Paved; Sidewalks; Sprinkler: Auto-Full

Inclusions: Microwave; Range

Features & Info: Bath: Master; Closet: Walk-In; Dishwasher, Built-In; Disposal; Range/Oven:

Free Stdng.; Low VOC Finishes; Granite Countertops

Concessions: \$0

Remarks: BRAND NEW town home in very popular location. Open floorplan, tall ceilings, large windows and 2 decks from living room and dining room. Can still pick your own colors and finishes to make this your own style. Great location close to everything!! Pictures are of model

Style: Townhouse; Row-mid

Year Built: 2018

Taxes: \$1

Acres: 0.04

HOA?: Yes, \$150/Month

Construction Status: Und. Const.

Finished Basement: 0%



Under Construction

home in Daybreak

Driving Dir:

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MLS# 1509286 Presented By: Erika Wiggins 801-893-2519

Sold Price: \$372,900
List Price: \$372,900
Address: 4171 S Kiera Hill Ln #12
City: Millcreek, UT 84107
Property Tour: None

Sold Date: 07/05/2018
Status: Sold
Project: MILLCREEK TOWNHOMES
Type: Townhouse
NS / EW: 4171 S / 700 E

Style: Townhouse; Row-end

Total Sq Ft: 1525
Total Beds: 3
Total Baths: 3.00
Family Rooms: 1
Fireplace: 0

Year Built: 2018
Taxes: \$1
Acres: 0.03
HOA?: Yes, \$150/Month
Construction Status: Blt./Standing
Finished Basement: 0%

Garage | Car Port: 2 | 0

Exterior: Clapboard/Masonite; Stucco; Metal

Lot Facts: Corner Lot; Curb & Gutter; Fenced: Full; Road: Paved; Sidewalks; Sprinkler: Auto-Full

Inclusions: Microwave; Range

Features & Info: Bath: Master; Closet: Walk-In; Dishwasher, Built-In; Disposal; Range/Oven: Free Stdng.; Low VOC Finishes

Concessions: \$2,000

Remarks: Gorgeous Brand New townhome with upgraded finishes throughout. Hard to find New Construction built to Energy Star 3.0 certified. 2 balconies, walk in closet in master with double vanities in master bath. Huge windows and 9 ft ceilings throughout. Only a couple of opportunities remaining in this popular community. Don't miss out!! Pictures are of model, home is under construction and will be completed in June

Driving Dir:

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MLS# 1463347 Presented By: Erika Wiggins 801-893-2519

Sold Price: \$395,000
List Price: \$400,000
Address: 4196 S Kiera Hill Lane St #01
City: Millcreek, UT 84107
Property Tour: Tour

Sold Date: 12/19/2017
Status: Sold
Project: MILLCREEK SEGO
Type: Townhouse
NS / EW: 4192 S / 700 E

Style: Townhouse; Row-end

Total Sq Ft: 1750
Total Beds: 3
Total Baths: 3.00
Family Rooms: 1
Fireplace: 1

Year Built: 2017
Taxes: \$1
Acres: 0.05
HOA?: Yes, \$150/Month
Construction Status: Blt./Standing
Finished Basement: 0%

Garage | Car Port: 2 | 0

Exterior: Cedar/Redwood; Clapboard/Masonite; Stucco; Metal

Lot Facts: Sidewalks; Sprinkler: Auto-Full; View: Mountain

Inclusions: Microwave; Range

Features & Info: Bath: Master; Closet: Walk-In; Dishwasher, Built-In; Disposal; Range/Oven: Free Stdng.; Low VOC Finishes

Concessions: \$0

Remarks: PRICE REDUCED !!READY NOW!!! Model released for sale. Gorgeous BRAND NEW with spacious Sky Deck patio views. Open floorplan with huge picture windows, Spacious kitchen with island and butler pantry. Loaded with gorgeous finishes. Finished to be model

home

Driving Dir:

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ATTACHMENT I: DEPARTMENT REVIEW COMMENTS

Zoning (Building Services Department)

RMF-30 zone. Proposed 4-unit single family attached project that will be individually owned. Project may require a condominium plat. Must comply with the requirements of 21A.24.120 and the Side Entry Buildings requirements of 21A.24.010.H. Lot is 75 feet wide. The zone requires 80 feet. The applicants should talk to the Planning desk about the condominium plat and the lot width issue, as well as the side entry requirement. Any modifications may require Planned Development approval. Ground mounted A/C condensers must be 4 feet from any property line or require special exception approval from Planning per table 21A.36.020B. A completed Impact Fee Assessment worksheet will be required. A credit can be given for the one SFD being demolished. A demolition permit will be required. A permanent recycling collection station may be required and waste management plans for the demolition and the new construction will be required per the requirements of 21A.36.250.

Transportation (Mike Barry)

The plans attached appear to meet the parking requirements for quantity and dimensions. The parking requirements for dimensions are found at 21A.44.020.E.

Fire (Kenney Christensen)

Fire has NO objections, with the following noted stipulations to the proposed Planned Development and Subdivision applications (PLNSUB2018-00555, PLNSUB2018-00665) to accommodate the development of 4 single-family attached units side oriented on the lot at 2593 South 700 East. The proposed attached four unit, two story structures, less than 30 feet in height, with no rooftop occupancy, with one common private driveway leading to each structure from 700 East; will be subject to all the fire access and fire flow requirements in 2015 IFC and the appendices. Fire department access and fire flow apply to all R occupancy types regardless if they are constructed under the provisions of IBC or IRC.

The development will require an approved AM&M, in accordance with IFC Sections 104.8, 104.9 and 503; prior to the final approval of any plat map and/or building permit.

Fire access roads; and means of fire department access for both apparatus; and fire personnel shall be by an “approved” means, in accordance with the State adopted code set, or by an approved Alternative Means and Methods (AM&M), accepted by the State adopted code set as an alternative; and/or by both the building and fire officials approved means. Compliance with the information in this review does not guarantee compliance with the International Fire and Building Codes; and it does not guarantee the issuance of any building permit, or the approval of any AM&M application.

Public Utilities (Jason Draper)

- Preliminary Plat approval does not provide building or utility permits.
- Utilities cannot cross property lines without appropriate easements and agreements.
- Public Utility permit, connection, survey and inspection fees will apply.
- Please submit site utility and grading plans for review. Other plans such as erosion control plans and plumbing plans may also be required depending on the scope of work. Submit supporting documents and calculations along with the plans.
- Covered parking area drains and work shop area drains are required to be treated to remove solids and oils prior to discharge to the sanitary sewer. These drains cannot

be discharged to the storm drain. Use a sand/oil separator or similar device. A 4ft diameter sampling manhole must be located downstream of the device and upstream of any other connections.

- All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.
- Storm water treatment is required prior to discharge to the public storm drain. Utilize storm water Best Management Practices (BMPs) to remove solids and oils. Green infrastructure should be used whenever possible. Sand/oil separators are commonly used to treat storm water runoff from uncovered parking areas.
- Contact SLCPU Street Light Program Manager, Dave Pearson (801-483-6738), for information regarding street lights.
- Projects larger than one acre require that a Storm Water Pollution Prevention Plan (SWPPP) and Technical Drainage Study are submitted for review.
- All utilities must be separated by a minimum of 3ft horizontally and 18" vertically. Water and sewer lines require 10ft minimum horizontal separation.
- One culinary water meter and one fire line are permitted per parcel. If the parcel is larger than 0.5 acres, a separate irrigation meter is also permitted. Each service must have a separate tap to the main.
- The existing water main is a 6" main in 700 East.
- There is an existing 10" sewer main in 700 East.
- The proposed development water main may require a watermain replacement to provide adequate fire flow.

Engineering (Scott Weiler)

(Redlines on subdivision plat were sent to the applicant to update)

Police (Review for Crime Prevention Through Environmental Design concerns)

I looked over the plan for this plot located around 2500 S 700 E. From a police perspective, I have no concerns. We love lighting, so the more the better as long as they have cut off to avoid light pollution etc. However, you already know we like that on every project, so that suggestion likely goes without saying.

Utah Department of Transportation

There are no additional design requirements beyond the UDOT 2017 Standards. Please let the applicant know that they will need to obtain an access permit from UDOT in accordance to with administrative code R930-6 for any access points onto State routes.

With their proposed access on 700 E the applicant will need to contact UDOT Region 2 to apply for this access. A meeting can be scheduled through Alicia Stinson at 801.975.4808.

Planning (Subdivision Plat Requirements)

1. Planned Developments are required to develop a cost estimate (i.e. "reserve study") that covers the maintenance and replacement of any infrastructure within the development for a 60 year period. The specific requirements are located in code section [21A.55.170](#). The cost estimate will need to be provided with the final plat application and will need to be recorded with the final plat.
2. Documentation (typically CC&Rs/Declarations) that establishes a home owner's association and covers how maintenance of the commons areas will be managed will need to be developed and included with the final plat application.
3. A note will need to be on the plat that refers to the declarations.

4. A note will need to be added to the plat to cover 21A.55.170.B.2: "The recorded plat shall also contain a statement entitled "notice to purchasers" disclosing that the infrastructure is privately owned and that the maintenance, repair, replacement and operation of the infrastructure is the responsibility of the property owners and will not be assumed by the city."
5. A note will need to be added to the plat that references the cost-estimate required to be recorded with the plat referenced in 21A.55.170.
6. The access easement needs to also cover the shared sidewalk along the north edge of the driveway.