



Staff Report

PLANNING DIVISION
COMMUNITY & NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Lauren Parisi, Principal Planner
801-535-7226, lauren.parisi@slcgov.com

Date: November 28, 2018

Re: PLNPCM2018-00524– Ross Modern Additional Height Request

Special Exception

PROPERTY ADDRESS: 780 E. 900 South
PARCEL ID: 16-08-156-006
MASTER PLAN: Central Community
ZONING DISTRICT: R-2: Single- and Two-Family Residential

REQUEST: Brett Ross, the property owner, is requesting special exception approval for additional building and wall height for a new single-family home to be constructed at 780 E. 900 South. Buildings with flat roofs in the R-2: Single and Two-Family Residential zoning districts are allowed up to 20 feet tall. Three (3) additional feet of height is being requested to accommodate a 3-foot guardrail on top of the roof, which is required by building code for the proposed roof deck space. Planning Commission has final decision making authority for Special Exceptions.

RECOMMENDATION: Based on the findings listed in the staff report, it is the Planning Staff's recommendation that the Planning Commission approve the additional height request with the condition that:

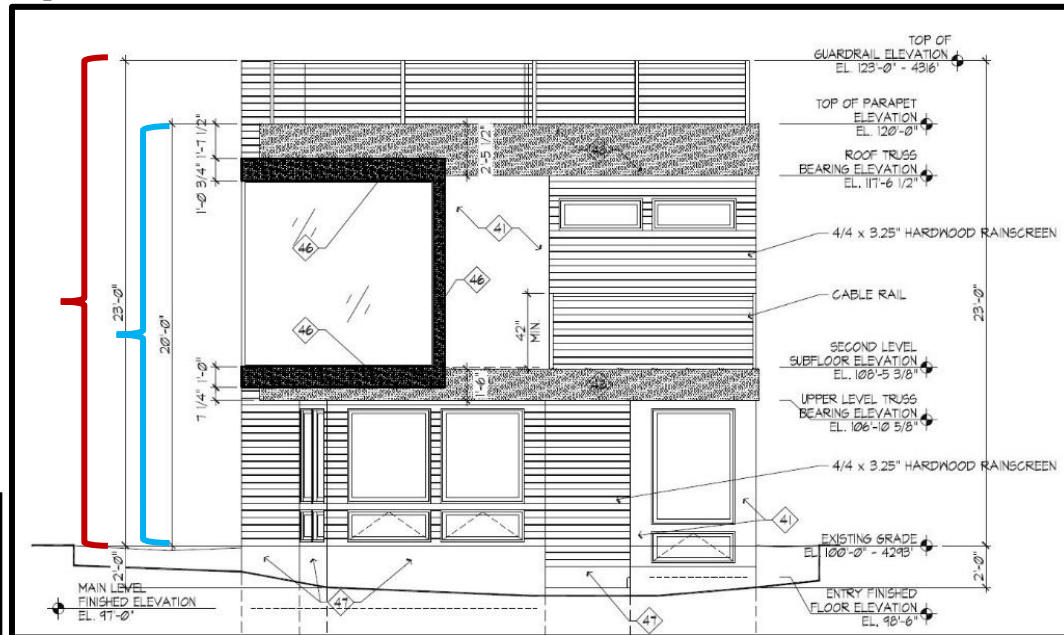
1. The guardrail must be installed at least two (2) feet back from the roof's edge around its perimeter.

ATTACHMENTS:

- A. Vicinity/Zoning Maps
- B. Application Materials
- C. Site Photographs
- D. Zoning Standards
- E. Analysis of Special Exception Standards
- F. Public Process and Comments



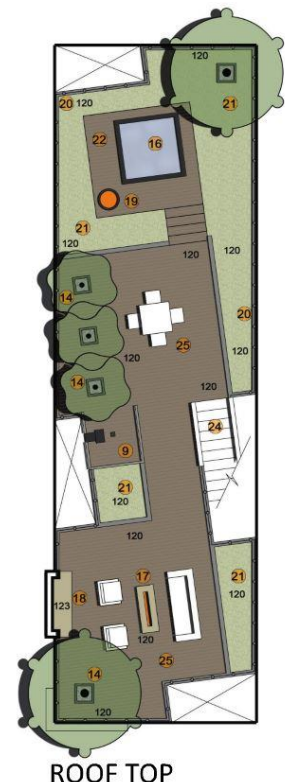
PROJECT DESCRIPTION: This is a special exception request to allow three (3) additional feet of building and wall height for a new home to be constructed at 780 E. 900 South. Specifically, the three feet of height will accommodate a 3-foot guardrail on top of the flat roof of the home, which is required by International Building Code in order to have a habitable roof deck. As seen on the front building elevation below, the overall building height will be 23 feet measured from established grade to the top of the guardrail. Height in the R-2: Single and Two-Family Residential zoning district is measured from established (or existing) grade as opposed to finished grade. Buildings with flat roofs are allowed up to 20 feet tall while buildings with pitched roofs are allowed up to 28 feet tall.



Front Building Elevation

The height of the house measured from existing grade to the top of the roof or wall plate does comply with the 20-foot height limitation, but the 3-foot guardrail brings the overall building and wall height up to 23 feet. There is no exception for guardrails to encroach above building height. For reference, solid parapet walls can encroach up to five feet over building height for the purposes of shielding mechanical equipment. The guardrail is necessary for the applicant to use the roof as habitable space as shown on the proposed roof deck plan. Other than building height, the proposal does comply with all other zoning standards in the R-2 zoning district as documented in Attachment D.

A public notice for this special exception request was initially mailed to surrounding property owners on August 7th, 2018. The City received some concerns from the public regarding incompatible scale and massing of the proposed structure in comparison to the existing homes on the block face, along with decreased privacy associated with the roof deck. Since then, no other public comments have been formally submitted for the Planning Commission's review. This petition has been elevated to the Planning Commission for decision because of these initial public comments and the fact that Staff cannot concretely say the project meets all of the general special exception standards as proposed.



KEY CONSIDERATIONS

The key considerations listed below have been identified through feedback from the public and analysis of the project in relation to the special exception standards.

Consideration #1: Compatibility with Surrounding Development

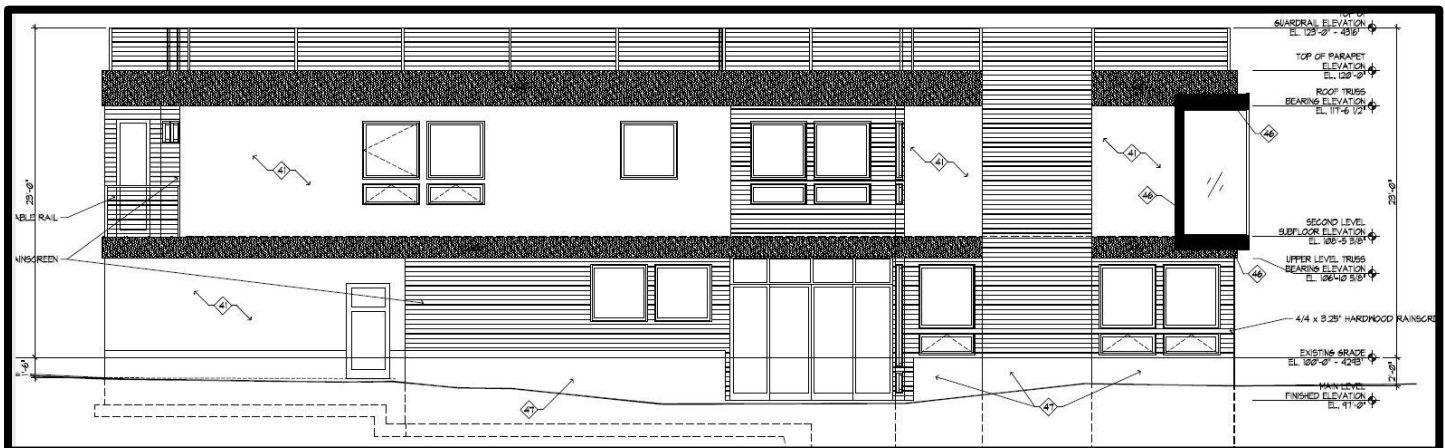
Per Section 21A.24.110.D.6.a of Salt Lake City's Zoning Code, additional building and wall height may be requested through the special exception process subject to the general special exception standards *and* if the proposed height is in keeping with the development pattern on the block face. The applicant has submitted a survey with the heights of the other homes on the block face, and four of the seven homes are over 23 feet tall – averaging 23.97 feet. By definition, a development pattern is established with three or more houses and, thus, the proposal soundly meets this standard. However, general special exception standard "D" hones in on compatibility stating:

D. Compatible With Surrounding Development: The proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.

House #	Height
786	23.68'
780	24.32'
778	25.34'
768	35.74'
762	19.10'
758	19.81'
752	19.85'
AVE =	23.97'

It should be noted that all of the other homes on the block face have pitched roofs as opposed to a flat roof like the one being proposed. With pitched roofs, the massing of the building tapers or is broken up towards its top. Although the proposed structure's height is in keeping with the average building height on the block, it is not necessarily in keeping with the existing roof forms on the block nor the general massing.

Therefore, as a condition of this approval, Staff is recommending stepping back the guardrail at least two feet from the roof's edge around its perimeter in order to reduce the massing on the top of the building from the perspective below. The R-2 zone allows exterior wall height to increase by one foot (1') (or fraction thereof) in height for each foot (or fraction thereof) of increased setback beyond the minimum required interior side yard. The proposed condition follows this same idea, though Staff is recommending stepping the guardrail in two feet as opposed to three because the guardrail is relatively transparent.



East Building Elevation

Additionally, the subject site is located in the R-2 zoning district, which allows single-family homes and duplexes; however, the site is surrounded by different zoning districts including single-family districts, multi-family districts and a community commercial district a block east of the site at the 9th and 9th node (see Attachment B for zoning map). A larger multi-family building approximately 35.74 feet in height is also located on this same block face approximately two houses west of the subject property. Though there are many single-family units in the area, 900 South is a larger thoroughfare in the City that's lined with different housing forms as well as low-intensity commercial uses.



Tallest Building on the Block – 35.74'

Consideration #2: Impact of Habitable Upper Space

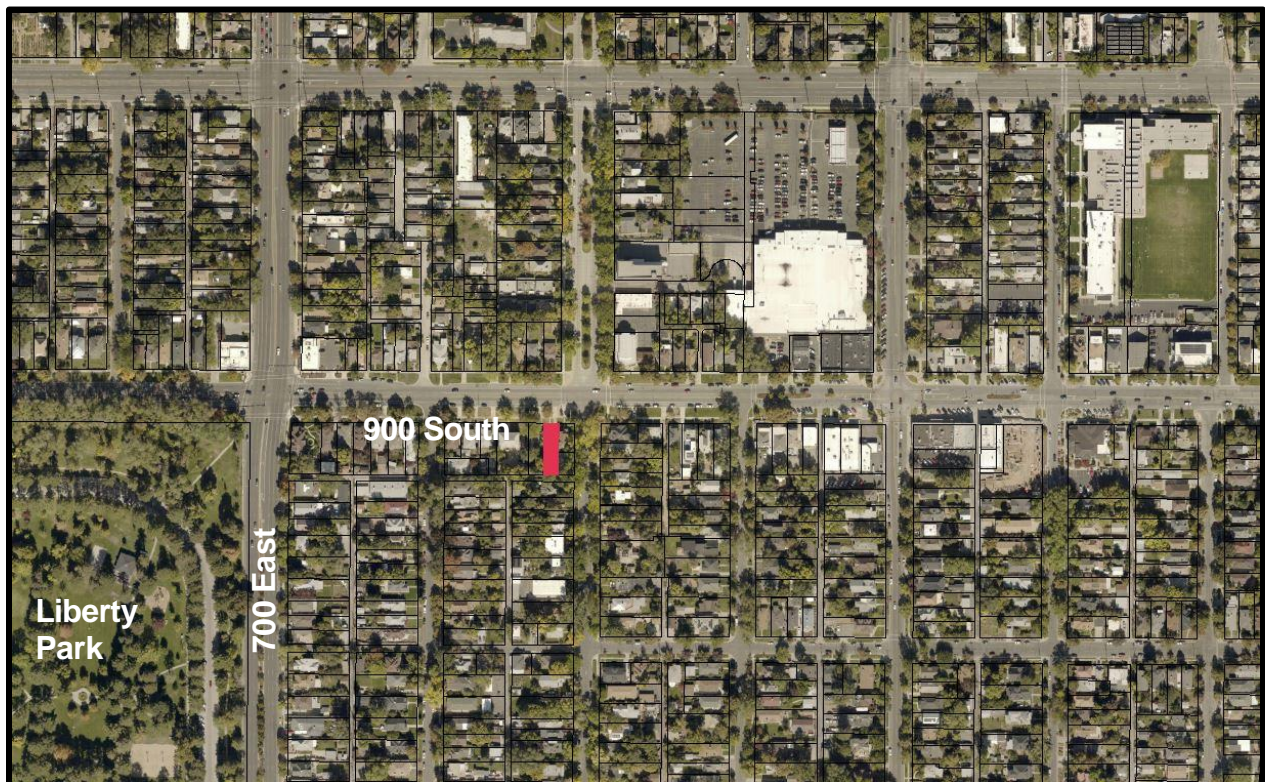
There was some other concern raised regarding the impact of the habitable rooftop space in terms of privacy. In general, privacy is not something that the general special exception standards consider. The standards do consider whether an “undue adverse impact” is created in terms public health, safety and general welfare. In this case, it cannot be determined that an adverse impact will be created due to the proposed height or roof deck. The habitable roof space may be comparable to the use of a balcony or backyard, which are to be expected in residential neighborhoods.

Stepping the guardrail back at least two feet from the roof's edge should also push most roof activity towards the center of the roof. The applicant has explained that they feel their current roof deck design already centralizes the roof activity with livable space towards the middle and greenery around the outer edges. They've also explained that their intent is to create a livable rooftop garden area with as much green space as there will be habitable space.

NEXT STEPS:

If approved, the applicant may proceed with the project as proposed and will be required to obtain all necessary building permits to construct the house. If denied, the applicant must revise their proposal and keep the height of the house at 20 feet or under.

ATTACHMENT A: VICINITY/ZONING MAPS



ATTACHMENT B: APPLICANT MATERIALS

Additional Information from the Applicant, Brett Ross:

1. **Livable green space.** The intent for the roof is to create a livable rooftop garden area. The landscape plans call for significant green space—more than 50 percent of the entire roof area. The impact from street level will be an extension of the front landscaping to a lush green garden on the roof. The front facade will be lined with landscaped bushes, plants and trees.

2. **Enhanced valuation of surrounding homes.** Based on real estate studies conducted in other cities, when similar modern type homes—with innovative use of space (roof/landscaping)—are added to established neighborhoods, the value of all homes increase.

As I visited with neighbors showing the plans to the home and roof they agreed it would be a valuable addition to the neighborhood. No one raised objections and were vocally supportive. Based on construction costs and then the type of landscaping that will be done, the value of the home should be near \$1 million. This in turn should raise the valuations of existing surrounding structures.

3. **Similar height impact with surrounding structures.** Based on the height survey submitted, my home **with** the three foot guard rail will still be lower than the home to left and the two homes to the right—significantly less than the middle-of-the-block multi-family dwelling structure. Existing surrounding trees on neighboring lots are much higher than the trees, plants and bushes designed for the roof. So the overall impact from street level will be harmonious with surrounding structures.

Again, my home height meets the flat roof restrictions for the zone. This guard rail exception will enable me to build a modern home that creates more green space in a previously underutilized and limited lot. Green space and progressive ways to create green space aligns well with the stated goals of Salt Lake City.

[Additionally]

Harvey Milk Blvd (900 South) is transitioning to a vibrant, innovative street within the city. New development is changing the street from 3rd west to 1300 east. This proposed home design supports the evolving trends of the street/neighborhood while increasing green space in areas traditionally underutilized (rooftops). Approximately 40 percent of the roof will be covered in plants, bushes and trees.

Just five homes eastward on 900 south is a flat-roofed home with livable space. Several modern homes are being built within blocks of the proposed home.

ROSS MODERN NEW HOME CONSTRUCTION

780 E 900 S
SALT LAKE CITY, UTAH 84105



SQUARE FOOTAGE

UPPER LEVEL:	1,763 sq. ft.	TOTAL FINISHED 2,990 sq. ft.
MAIN LEVEL:	1,227 sq. ft.	
BASEMENT (FIN.):	--- sq. ft.	

CRAWL SPACE (UNFIN.)	622 sq. ft.	GARAGE:	487 sq. ft.
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NOTE: CRAWL SPACE CEILING IS ±5'-0" A.F.F. AND IS FOR MECHANICAL EQUIPMENT AND STORAGE ONLY.

PROJECT INFORMATION

GOVERNING CODE:	2015 IRC, 2015 IECC, 2015 IEBC, 2014 NEC, 2009 ANSI A117.1, SLC TITLE 21 - ZONING
SEISMIC ZONE:	SEE STRUCTURAL GENERAL NOTES
WIND LOAD:	SEE STRUCTURAL GENERAL NOTES
WIND EXPOSURE:	SEE STRUCTURAL GENERAL NOTES
SNOW LOAD:	SEE STRUCTURAL GENERAL NOTES

TITLE SHEET GENERAL NOTES:

- WHERE CODE AND MANUFACTURER'S SPECS. DIFFER, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- PROVIDE PLASTER FINISH AT ALL EXPOSED FOUNDATIONS.
- GARAGE INTERIORS SHALL BE FULLY FINISHED.
- PROVIDE 5/8" TYPE 'X' GYPSUM BOARD AT GARAGE SIDE OF HOUSE-GARAGE COMMON WALLS AND CEILING. FIRE TAPE ALL JOINTS (REMAINING GARAGE WALL SURFACES MAY BE 1/2" GYPSUM BOARD).
- SEPARATE RIM JOISTS AND SILL PLATES FROM CONCRETE WITH A WATERPROOF BARRIER.
- ATTIC TO BE FILLED WITH SPRAY FOAM.
- ALL WALL-TO-ROOF AND CHIMNEY-TO-ROOF INTERSECTIONS SHALL BE STEP-FLASHED AND COUNTERFLASHED.
- PROVIDE 30" MINIMUM VERTICAL CLEARANCE BETWEEN RANGE TOP AND COMBUSTIBLE MATERIALS ABOVE.
- ALL HANDRAILS SHALL BE MOUNTED NOT LESS THAN 34" AND NOT MORE THAN 38" ABOVE STAIR TREAD NOSINGS.
- ALL GUARDRAILS SHALL BE AT LEAST 36 INCHES IN HEIGHT. RAILING PATTERN SHALL NOT PASS A 4" SPHERE.
- FINISH GRADING SHALL SLOPE AWAY FROM ALL BUILDINGS AT 1/4" PER FOOT, MINIMUM. GRADE SITE TO PREVENT WATER FROM ROOFS OR LANDSCAPING FROM FLOWING ONTO ADJACENT PROPERTIES.
- FLASHING INSPECTION REQUIRED PRIOR TO INSTALLATION OF SIDING, STUCCO, BRICK, ETC.
- STUCCO CERTIFICATE REQUIRED.

CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL SITE CONDITIONS BEFORE CONSTRUCTION, INCLUDING SEWER LATERAL LEVELS.

DEFERRED PLAN: SITE UTILITY PLAN SHOWING SEWER LATERAL ELEVATIONS SHOWING ADEQUATE SLOPE.

ZONE: R-2

- NEAREST STREET LIGHTS:
- AT THE CORNER TO THE EAST
 - ACROSS THE STREET DIRECTLY ACROSS FROM WEST PROPERTY LINE

- NEAREST FIRE HYDRANTS:
- AROUND CORNER TO THE EAST -- ABOUT 60' FROM EAST PROPERTY LINE
 - ACROSS THE STREET FROM WEST PROPERTY LINE AND WEST 20'-0"

SHEET INDEX

A0.0 - TITLE SHEET
BNDY - BOUNDARY SURVEY
STBK - SETBACK PLAN
ZONE - ZONING PLAN
DEM - DEMOLITION PLAN
BASE - LANDSCAPING ORIGINAL BASE SURVEY
SITE - LANDSCAPING CONCEPTUAL SITE PLAN
A1.0 - FOOTING & FOUNDATION PLAN
A1.1 - CRAWL SPACE FLOOR PLAN
A1.2 - MAIN LEVEL FLOOR PLAN
A1.3 - UPPER LEVEL FLOOR PLAN
A1.4 - ROOF PLAN
A2.0 - ELEVATIONS
A2.1 - ELEVATIONS
A3.0 - BUILDING SECTIONS
A3.1 - BUILDING & WALL SECTIONS
A3.2 - FIRE ASSEMBLY
A4.0 - STAIR SECTIONS & DETAILS
A6.0 - ARCHITECTURAL DETAILS
EM1.0 - ELECTRICAL & MECHANICAL PLAN - BASEMENT & MAIN
EM1.1 - ELECTRICAL & MECHANICAL PLAN - UPPER & ROOF
S1.0 - MAIN LEVEL FRAMING PLAN
S1.1 - UPPER LEVEL FRAMING PLAN
S2.0 - ROOF FRAMING PLAN
SNI - STRUCTURAL NOTES
SD1 - STRUCTURAL DETAILS
SD2 - STRUCTURAL DETAILS

SYMBOLS

---	- PROPERTY LINE
	- BLDG. SECTION
	- PARTIAL SECTION
	- DETAIL
	- INTERIOR ELEV.
	- DATUM ELEV.

MATERIALS

	- CONCRETE BLOCK
	- STUD WALL
	- CONCRETE
	- EARTH, SOIL
	- GRANULATED GRAVEL FILL
	- INSULATION BOARD
	- BATT INSULATION
	- GYPSUM BOARD
	- WOOD, FRAMING (CONTINUOUS)
	- WOOD, FRAMING (INTERRUPTED)
	- PLYWOOD
	- WOOD, FINISH

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ROSS MODERN
780 E 900 S, SLC UT 84105
Title Sheet

16-001-RV00

Job #	
Dr. By	JAP
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Rev. By	
Revisions	
	JAN 27, 2018
Date:	JUNE 20, 2017

Sheet:	
A0.0	
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ROSS PROPERTY

780 EAST 900 SOUTH
SALT LAKE CITY, UT

10
11

SETBACK PLAN

CLIENT: BRENT ROSS



DRAWING INFO	DATE	29 SEP 2017
DESIGNED	TD	
DRAWN	TD	
CHECKED	DM	
PROJECT	PG-068-1705-069	

WARNING







IF THIS BAR DOES NOT
MEASURE 2" THEN



SCALE: 1" = 20'



LEGEND

- | | |
|---|--------------------------------|
|  | BOUNDARY LINE |
|  | DEED AND ADJACENT SUBDIVISIONS |
|  | SECTION LINE |
|  | BUILDING |
|  | STREET MONUMENT |
|  | SET REBAR & CAP |

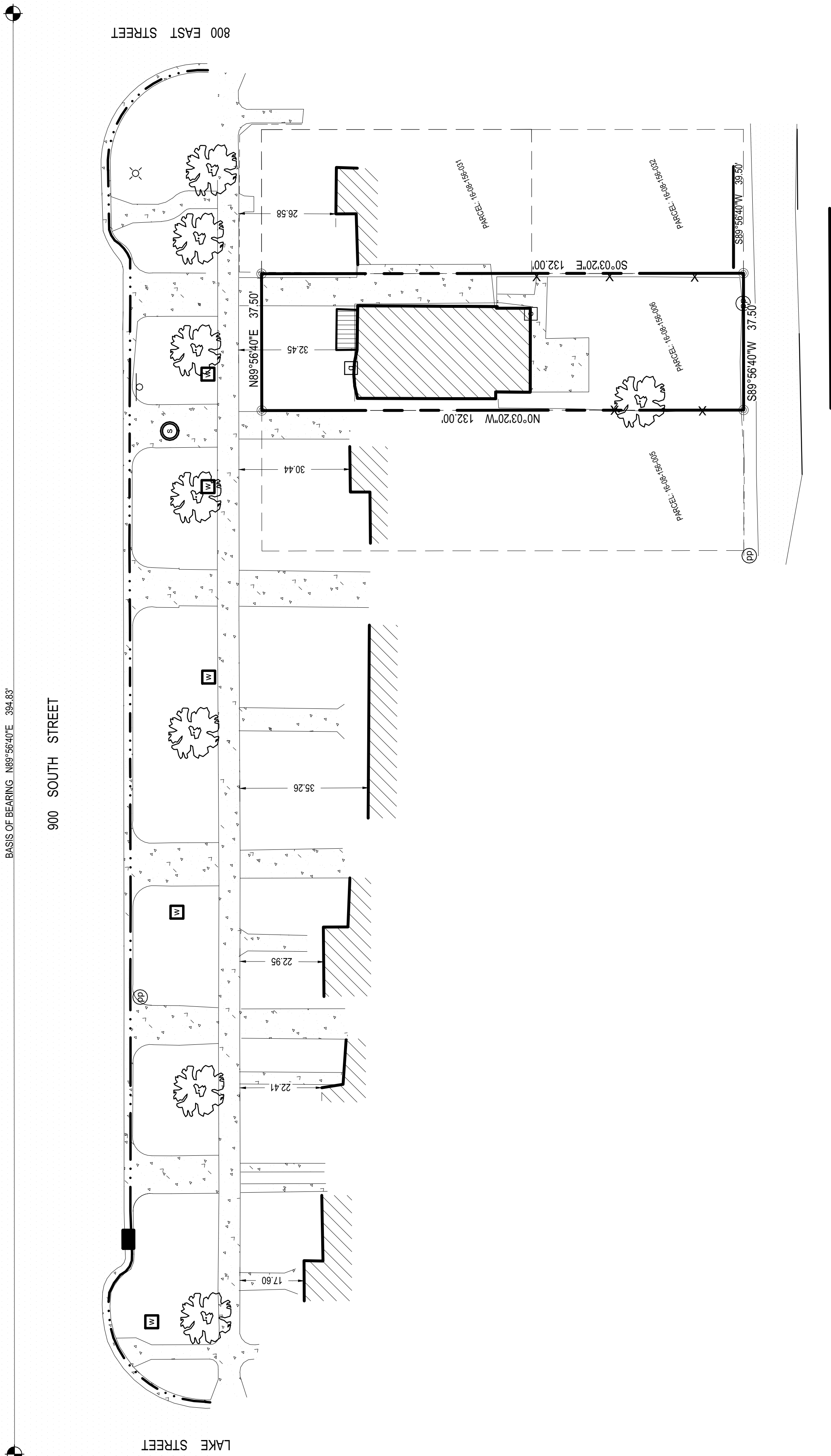
NOTES

1. AVERAGE FRONT SETBACK = 26.81'
(TAKEN FROM BACK OF PUBLIC SIDEWALK)

PARCEL DESCRIPTION

PARCEL: 16-08-156-006
COMMENCING SOUTH 89°56'40" WEST 39.50 FEET OF SOUTHEAST
CORNER OF LOT 17, BLOCK 1, HAMPTONS SUBDIVISION; SOUTH
89°56'40" WEST 37.50 FEET; NORTH 00°03'20" WEST 132.00 FEET;
NORTH 89°58'40" EAST 37.50 FEET; SOUTH 00°03'20" EAST 132.00
FEET TO BEGINNING

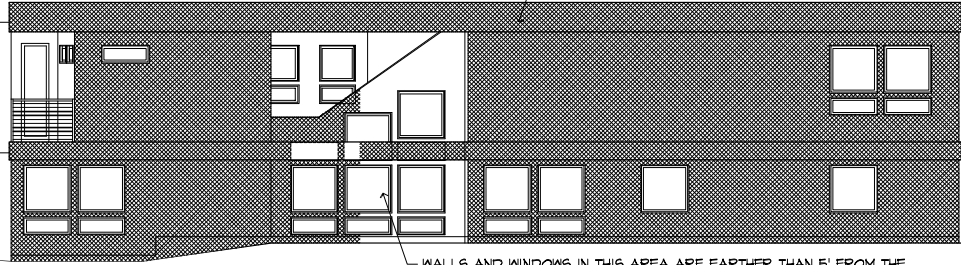
CONTAINS 0.114 ACRES.



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LEVEL:	WALL AREA:	WINDOW AREA:	PERCENTAGE:
MAIN LEVEL	631 SF	157.25 SF	24.9%
UPPER LEVEL	740 SF	53 SF	7.2%

SHADED AREA IS CLOSER THAN 5' TO PROPERTY LINE
-WALL TO BE 1 HOUR FIRE RATED FROM THE EXTERIOR
-USE UL ASSEMBLY V311



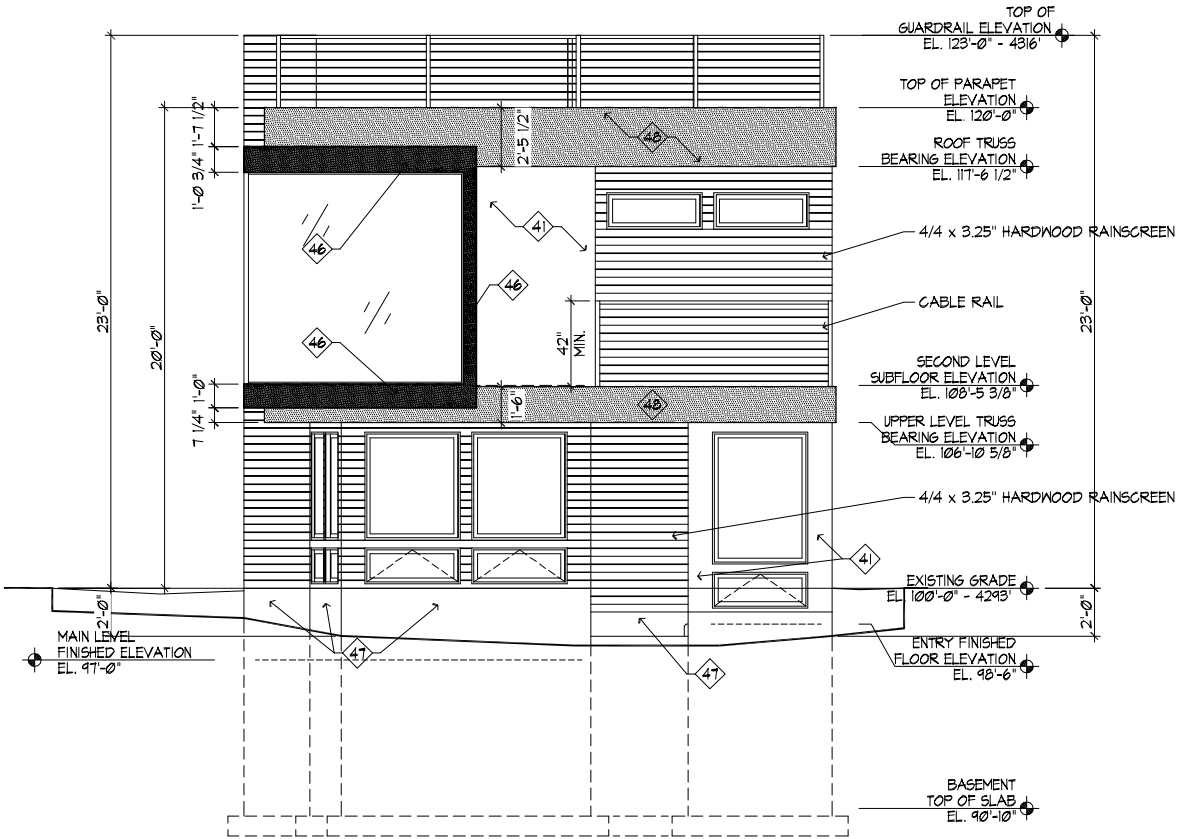
WALLS AND WINDOWS IN THIS AREA ARE FARTHER THAN 5' FROM THE PROPERTY LINE AND ARE NOT INCLUDED IN THE CALCULATIONS
-CONTINUE UL ASSEMBLY V311 IN THIS AREA

FIRE WALL AND PERCENT OPENINGS

1/4" = 1'-0"
(1/8" = 1'-0" ON 11x17 PAPER)

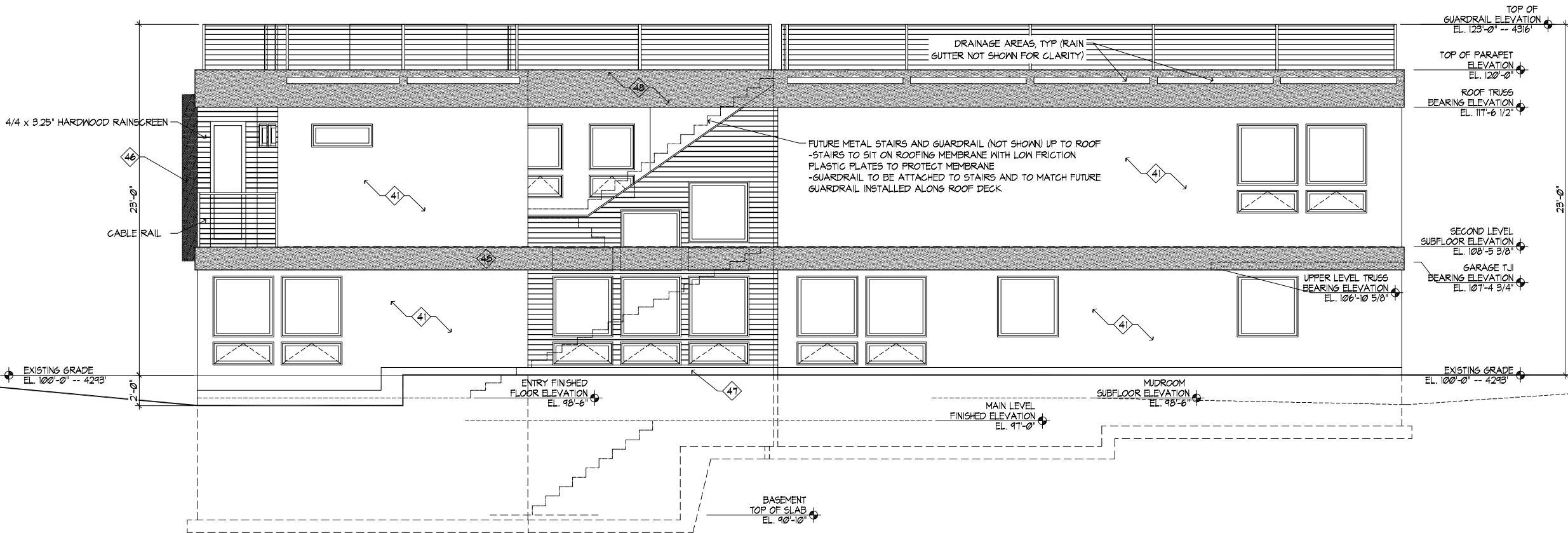
B FRONT ELEVATION

1/4" = 1'-0"
(1/8" = 1'-0" ON 11x17 PAPER)



KEYED NOTES

- 41 STUCCO WITH ACRYLIC FINISH COAT
- 46 PRE-FIN. ALUM. OVER 2x8 FASCIA, TYP. (OR SIZE AS NOTED)
- 47 PLASTERED CONCRETE FDN. WALL (COORDINATE WITH WALL COLOR ABOVE)
- 48 STUCCO OVER STYROFOAM TRIM (SIZES NOTED, TYP.)



A RIGHT ELEVATION

1/4" = 1'-0"
(1/8" = 1'-0" ON 11x17 PAPER)

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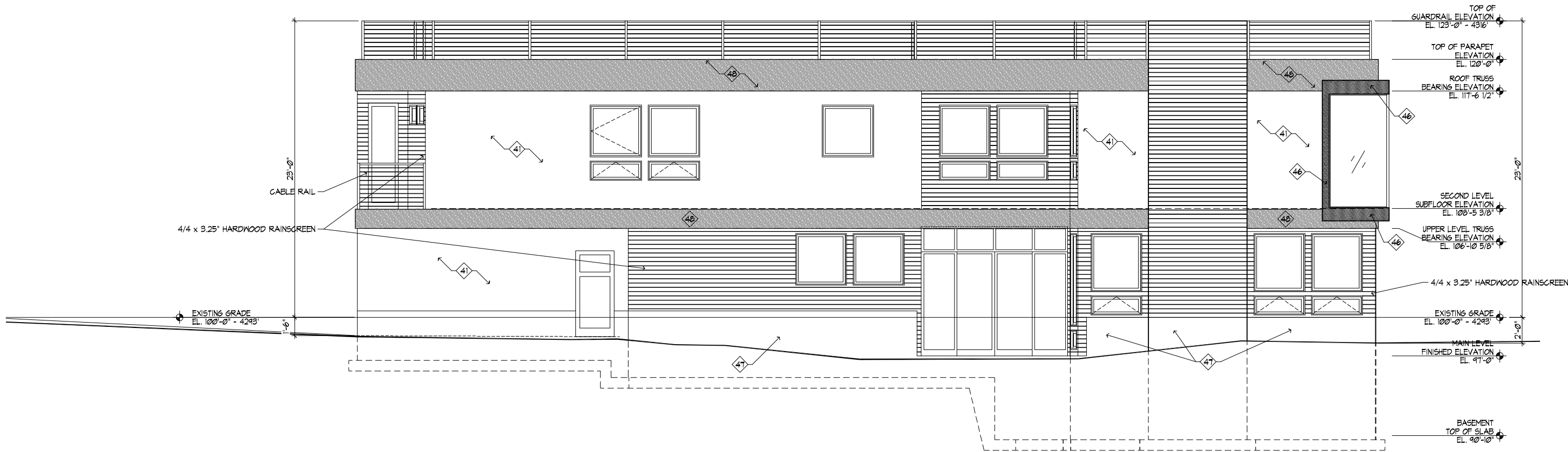
ROSS MODERN
780 E 900 S, SLC UT 84105
Elevations
16-001-RMOD

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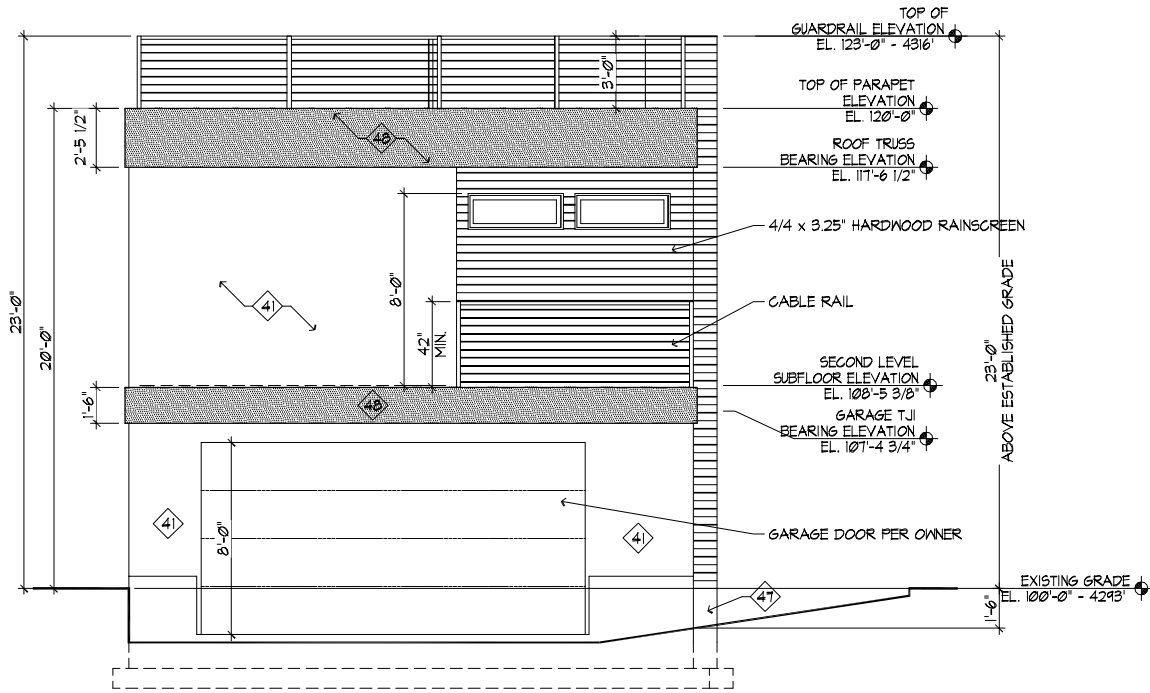
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C LEFT ELEVATION
1/4" = 1'-0"
(1/8" = 1'-0" ON 11x17 PAPER)



D REAR ELEVATION
1/4" = 1'-0"
(1/8" = 1'-0" ON 11x17 PAPER)



KEYED NOTES	
41	STUCCO WITH ACRYLIC FINISH COAT
46	PRE-FIN. ALUM. OVER 2x8 FASCIA, TYP. (OR SIZE AS NOTED)
47	PLASTERED CONCRETE FDN. WALL (COORDINATE WITH WALL COLOR ABOVE)
48	STUCCO OVER STYROFOAM TRIM (SIZES NOTED, TYP.)

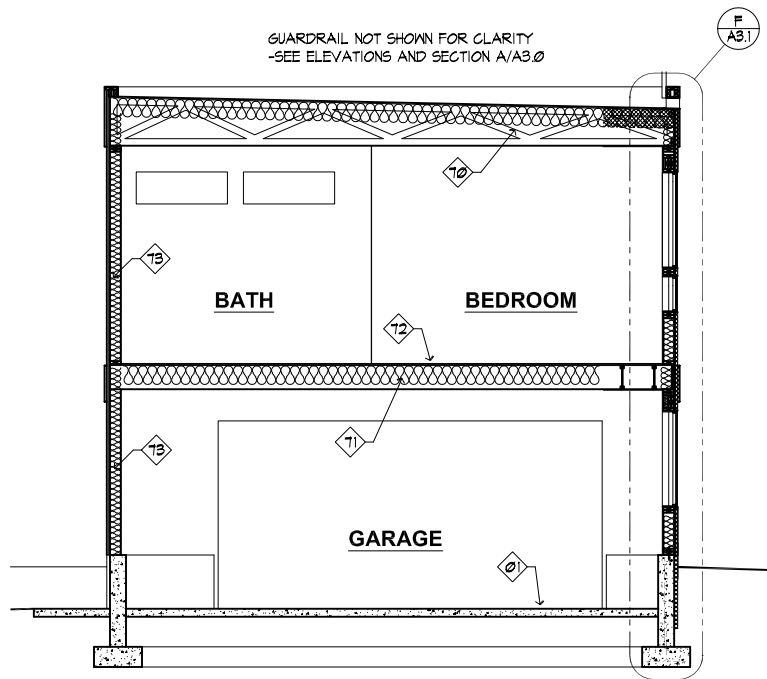
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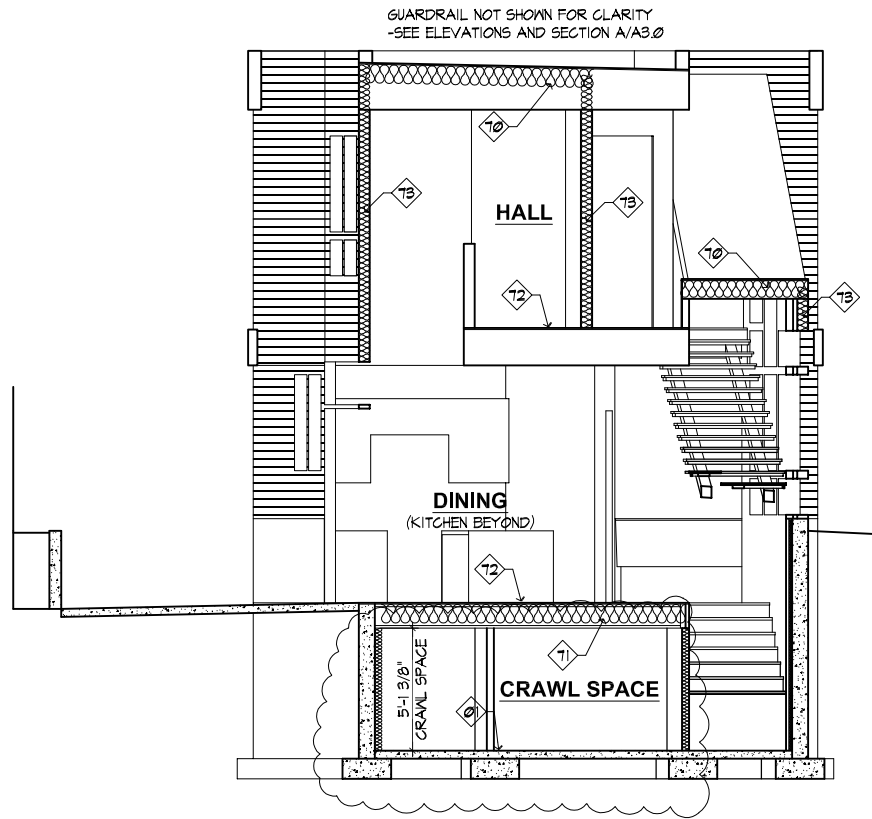
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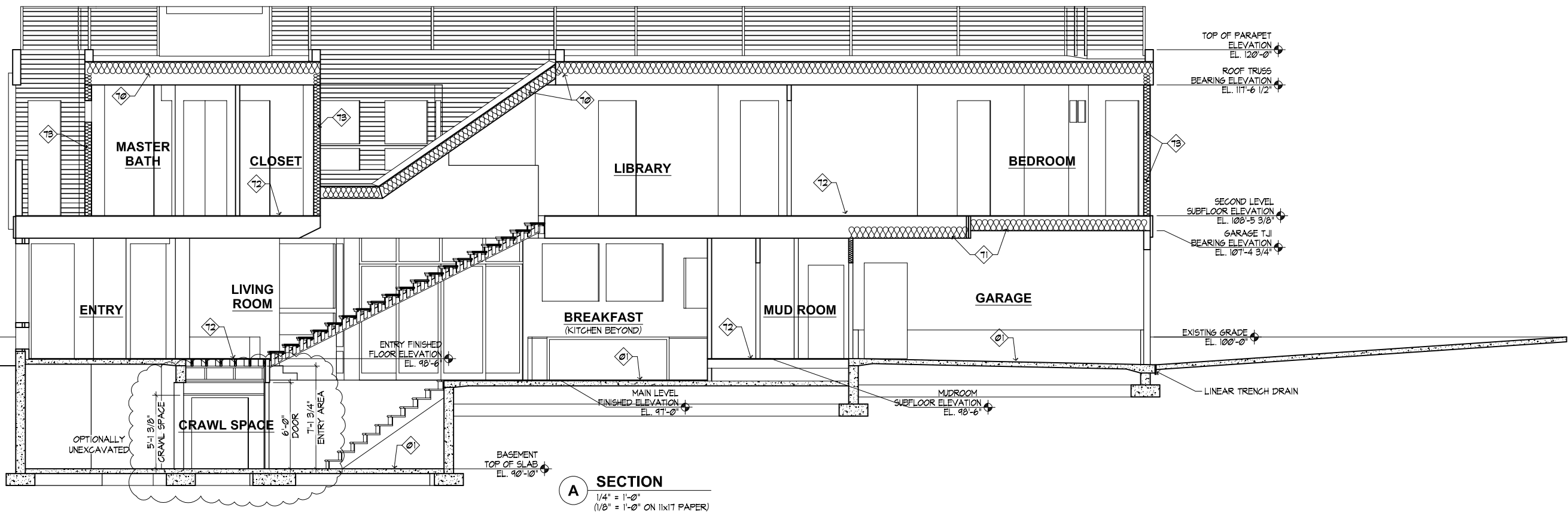


C SECTION
1/4" = 1'-0"
(1/8" = 1'-0" ON 11x17 PAPER)



B SECTION
1/4" = 1'-0"
(1/8" = 1'-0" ON 11x17 PAPER)

- KEYED NOTES**
- 10 CONG. FLOOR SLAB
 - 10 R-38 MIN. CEILING INSULATION, POLY-ISO SPRAYED AGAINST THE UNDERSIDE OF ROOF SHEATHING.
 - 11 R-19 MIN. FLOOR BATT. MAY BE OMITTED OVER HEATED BASEMENT IF FDN. WALLS FURRED & INSULATED.
 - 12 FLOOR SHEATHING ON FLOOR FRAMING (SEE ENGINEERING NOTES & DETAILS)
 - 13 R-13 MIN. WALL BATTS



A SECTION
1/4" = 1'-0"
(1/8" = 1'-0" ON 11x17 PAPER)

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Building Sections
16-001-RMOD

Job #	
Dr. By	JAP
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FLOOR PLAN GENERAL NOTES:

- DO NOT SCALE DRAWINGS.
- ALL PLAN DIMENSIONS ARE TO FACE OF NOMINAL STUD, DOORS & WINDOWS ARE DIMENSIONED TO CENTERLINE.
- ALL EXTERIOR WALLS TO BE 2x6 FRAMING @ 16" o.c., U.N.O.
- ALL INTERIOR WALLS ARE 2x4 FRAMING @ 16" o.c., UNLESS NOTED OTHERWISE.
- ANGLED WALLS ARE 45° U.N.O.
- FRAMING CONTRACT SHALL INCLUDE ALL BLOCKING, BACKING, AND FURRING REQUIRE TO COMPLETE THIS JOB.

HOLD-DOWN SCHEDULE				
MARK	HOLD-DOWN	MINIMUM FASTENERS	ANCHOR	POST
A	LSTD8	10d X 2-1/2 (.148" X 2-1/2")	STRAP 8" EMBED.	(2) 2X POST
B	STHD10	10d X 2-1/2 (.148" X 2-1/2")	STRAP 10" EMBED.	(2) 2X POST
C	STHD14	10d X 2-1/2 (.148" X 2-1/2")	STRAP 14" EMBED.	(2) 2X POST
D	CS16 (11" END LENGTH)	10d X 2-1/2 (.148" X 2-1/2")	(FLOOR STRAP)	(2) 2X POST
F	MST48	10d X 2-1/2 (.148" X 2-1/2")	(FLOOR STRAP)	(2) 2X POST
G	MST60	16d X 2-1/2 (.162" X 2-1/2")	(FLOOR STRAP)	(2) 2X POST
M	HDU8-SDS2.5	SDS 1/4 X 2-1/2"	FOUNDATION WALL: SSTB28	(3) 2X POST
N	HDU11-SDS2.5	SDS 1/4 X 2-1/2"	FOUNDATION WALL: SB1X30	6X6 POST

1. SIMPSON STRONG-TIE OR EQUIVALENT. STHD STRAPS USE "RJ" TYPE AT RIM JOIST LOCATIONS.

2. SHEAR WALL EDGE NAILING SHALL BE TO POST.

3. MISPLACED STHD HOLD-DOWNS MAY BE RETROFITTED USING HTTS HOLD-DOWNS WITH 5/8" ALL-THREAD BOLTS. EPOXY INTO FOUNDATION WALL WITH 5 INCHES EMBEDMENT. WHERE FRAMED WALL IS FLUSH WITH FOUNDATION WALL USE MST48 WITH TWO 1/2" DIA. WEDGE ANCHORS AS OPTION. FASTEN WITH 16-16d COMMON NAILS TO POST ABOVE.

SHEAR WALL SCHEDULE				
MARK	PANEL SHEATHING	EDGE NAILING	ABUTTING PANEL EDGE FRAMING	ANCHORAGE SOLE PLATE SILL PLATE
SW1	7/16"	8d @ 6"	2" NOMINAL	10d @ 12" 5/8" A.B. @ 32"
SW2	7/16"	8d @ 4"	2" NOMINAL	10d @ 6" 5/8" A.B. @ 32"
SW3	7/16"	8d @ 3"	3" NOMINAL	SDS25412 @ 6" 5/8" A.B. @ 24"
SW4	7/16"	8d @ 2"	3" NOMINAL	10d @ 12" 5/8" A.B. @ 16"
SW7	7/16" BOTH SIDES	8d @ 3"	3" NOMINAL	10d @ 12" 5/8" A.B. @ 16"

1. SHEATHING SHALL CONSIST OF WOOD STRUCTURAL PANELS (SEE GSN).

2. SHEATHING NAILS SHALL BE COMMON OR GALVANIZED BOX NAILS. - FIELD NAIL SPACING SHALL BE 12" FOR STUDS SPACED 16" O.C. OR LESS AND 6" O.C. FOR STUDS SPACED AT 24" O.C.

3. FOR SW1 ONLY, EDGE NAILS MAY BE SUBSTITUTED WITH 16 GAGE STAPLES SPACED AT 3" O.C. AND FIELD NAILS MAY BE SUBSTITUTED WITH 16 GAGE STAPLES AT 12" O.C.

4. ANCHORAGE NAILS SHALL BE COMMON NAILS.

5. ANCHOR BOLTS SHALL HAVE A 3X3X0.229" WASHER AND 7" MIN EMBEDMENT. THE WASHER SHALL EXTEND TO WITHIN 1/2" FROM THE SHEATHING.

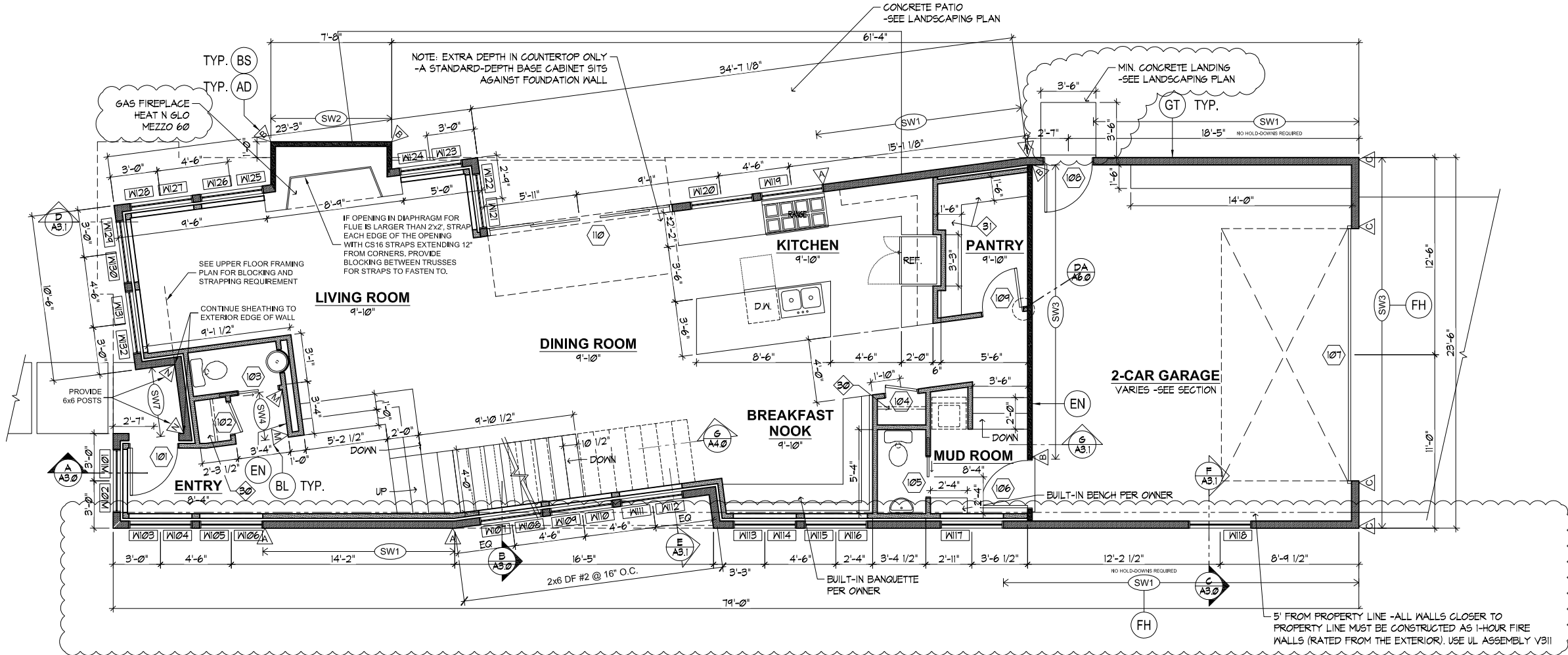
6. FOR SW3, SW4, SW7, AND SW8, (2) 2" NOMINAL FRAMING STITCH-NAILED TOGETHER WITH (2) 10d NAILS @ 6" MAY BE USED AT ABUTTING PANEL EDGES IN PLACE OF 3" NOMINAL FRAMING.

THESE STRUCTURAL DRAWINGS ARE BASED ON ARCHITECTURAL DRAWINGS. SEE CURRENT ISSUE OR REVISION DATE.

DIMENSIONS AND ELEVATIONS ARE SUPPLIED BY THE ARCHITECT. THEY MAY BE PROVIDED ON THE STRUCTURAL PLANS AND DETAILS FOR THE CONVENIENCE OF THE CONTRACTOR. VERIFY DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS.



1429 South State St.
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Info@acuteengineering.com



MAIN LEVEL FLOOR PLAN

1/4" = 1'-0"
1/8" = 1'-0" ON 11x17 PAPER

KEYED NOTES

- 30 (1) ROD & (1) 14" DEEP PARTICLE BOARD SHELF AT +5'-10" A.F.F., AS MEASURED TO TOP OF SHELF CLEAT (TYP. INSTALLATION AT ALL CLOTHES CLOSETS U.N.O.)
- 31 (5) PARTICLE BOARD SHELVES AT 14" O.C., W/ TOP SHELF AT +12" A.F.F. -- SHELF DEPTH AS NOTED (TYP. INSTALLATION AT ALL LINEN, BROOM, AND PANTRY CLOSETS, U.N.O.)

LEGEND

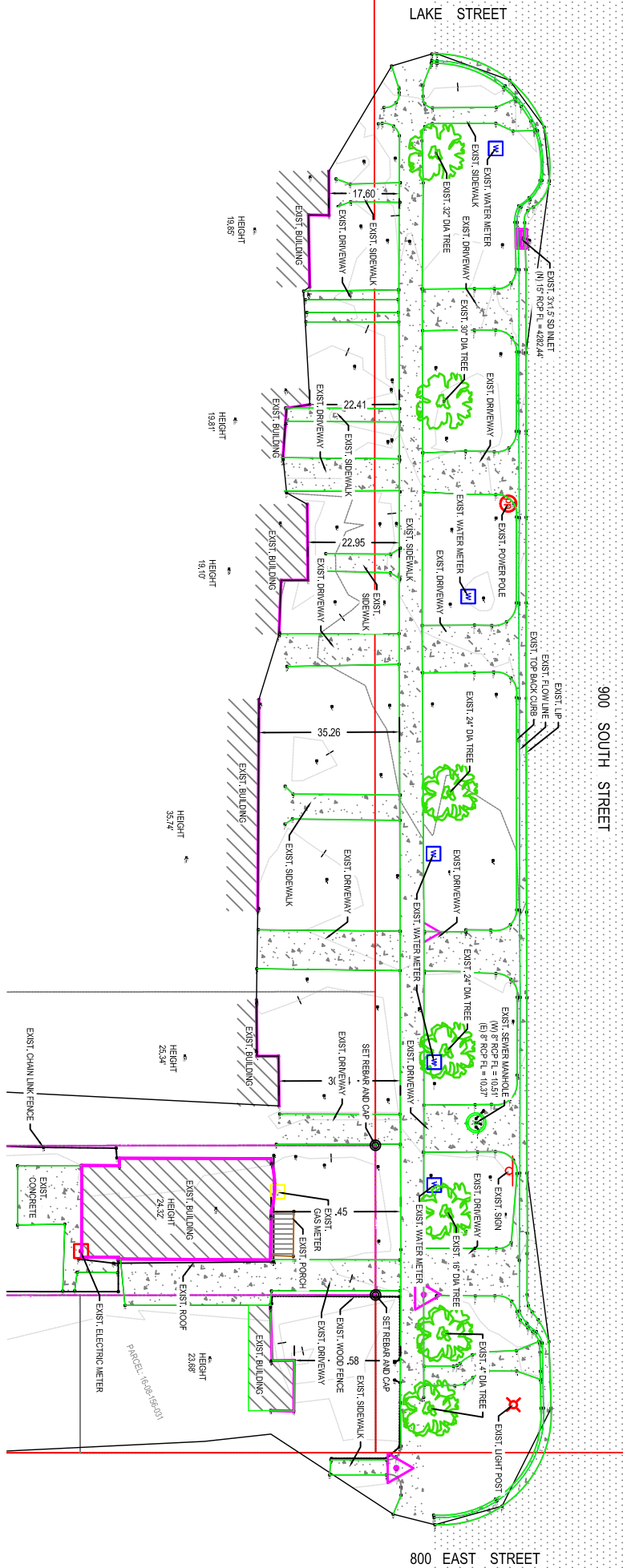


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ROSS MODERN
780 E 900 S, SLC UT 84105
Main Level Floor Plan
16-001-RYOD

Job #	
Dr. By	JAP
Ch. By	
Rev. By	
Revisions	
	JAN 27, 2018
Date:	JUNE 20, 2017

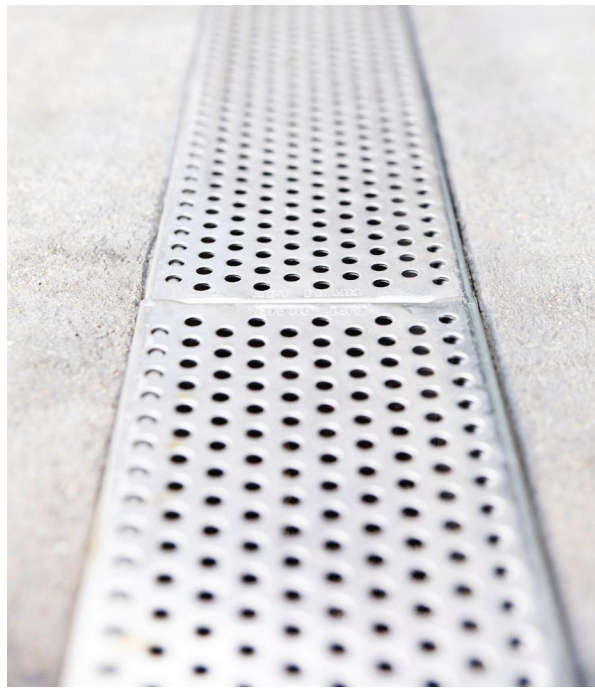
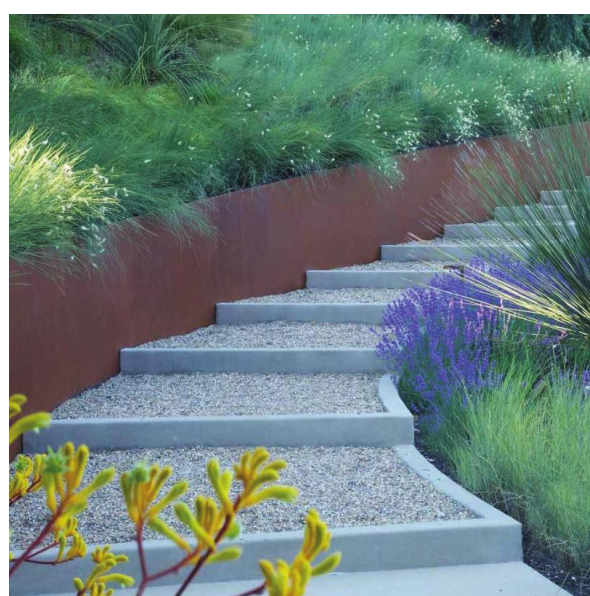
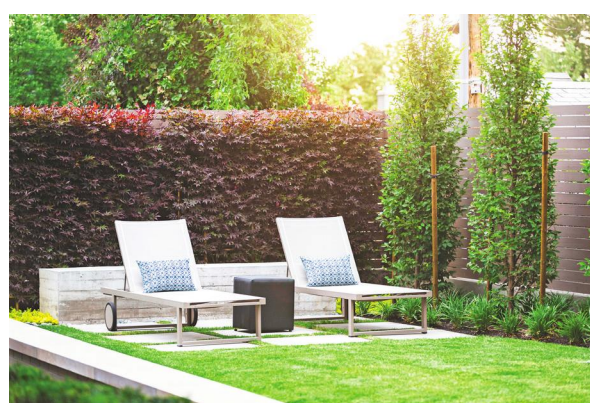
Sheet:
A1.2
5 of 21



LAKE STREET

900 SOUTH STREET

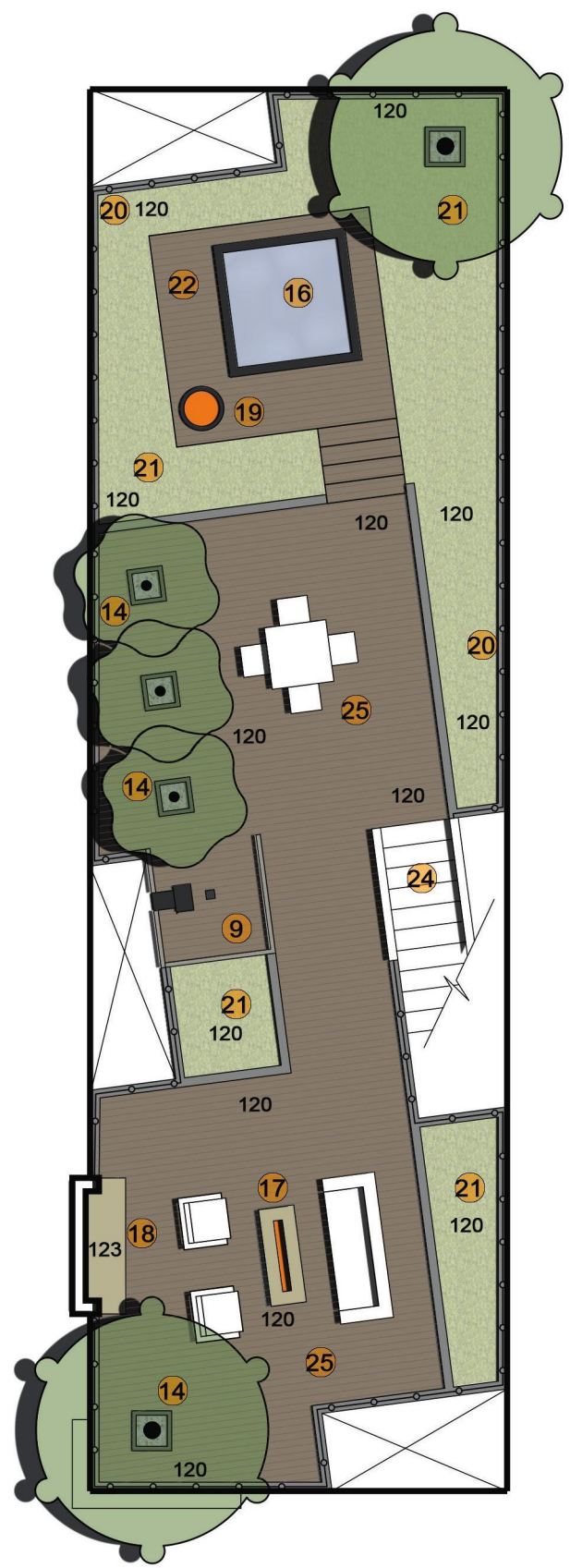
800 EAST STREET



INSPIRATIONAL IMAGES



CONCEPT DESIGN



ROOF TOP

- DESIGN ELEMENTS
- 1 TURF
 - 2 MANICURED PLANTING AREA
 - 3 CONCRETE
 - 4 4" CHANEL DRAIN- MODERN
 - 5 MEXICAN PEBBLE
 - 6 PROPOSED AC UNIT LOCATION
 - 7 FIRE ELEMENT INCORPORATED INTO WALL
 - 8 EXISING STREET SIGNGE
 - 9 OUTDOOR SHOWER
 - 10 HORIZONTAL WOOD FENCE
 - 11 HORIZONTAL BAR FENCE/GATE
 - 12 OUTDOOR BBQ- BUILT IN
 - 13 UTILITIES
 - 14 FOCAL POT
 - 15 GARBAGE CAN STORAGE AREA
 - 16 HOT TUB- PREFABRICATED
 - 17 FIRE PIT- PER OWNER
 - 18 COUNTER/BAR AREA
 - 19 FIRE BOWL
 - 20 ARCHITECTURAL CURBING WITH RAILING
 - 21 SUCCULANT PAN PLANTING AREA
 - 22 HOT TUB DECK
 - 23 NEIGHBORING PICKET FENCE
 - 24 ARCHITECTURAL STAIRS AND WALLS TO LOWER LEVEL
 - 25 ROOFTOP DECKING
 - 26 EXISTING TELEPHONE POLE
- WALL ELEMENTS
- 1 28" WIDE BOARDFORM WALL -TW: 93.5
 - 2 4" CAP STEEL WALL -TW: 93
 - 3 28" WIDE BOARDFORM WALL -TW: 93.5
 - 4 18" WIDE BOARDFORM WALL-TW: 91.25
 - 5 4" CAP STEEL WALL -TW: 93.25
 - 6 STUCCO WALL -TW: 96.5
 - 7 4" CAP STEEL WALL -TW: 93.25
 - 8 4" CAP STEEL WALL -TW: 93
 - 9 4" CAP STEEL WALL -TW: 93

PLANT ELEMENTS			
TREE	BOTANICAL/COMMON NAME	CONT	QTY
	ACER PALMATUM 'BLOODGOOD'/ BLOODGOOD RECTANGLE SCREEN <small>European collection form Bountiful Farms Nursery</small>	BOXED	3
	CARPINUS BETULUS/ HORNBEAM RECTANGLE SCREEN <small>European collection form Bountiful Farms Nursery</small>	BOXED	7
	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'/ SLENDER SILHOUETTE SWEETGUM	2"-2.5" CAL	11
	CARPINUS BETULUS 'FRANZ FONTAINE'/ FRANZ FONTAINE HORNBEAM	2"-2.5" CAL	9
	MALUS SARGENTII 'TINA'/ SARGENT TINA CRABAPPLE	2"-2.5" CAL	3
	ACER PALMATUM 'BLOODGOOD'/ BLOODGOOD JAPANESE MAPLE	50 GAL	1
	MALUS SARGENTII 'SELECT A'/ FIRE BIRD CRABAPPLE	2"-2.5" CAL	3
	CERCIS CANADENSIS 'OKLAHOMA'/ OKLAHOMA REDBUD	2"-2.5" CAL	2

ATTACHMENT C: SITE PHOTOGRAPHS



Subject property with home to be replaced at 780 E. 900 South.



View of the subject property with homes to the north and south



Alternate view of the block face from the corner of 900 South and 800 East.



Directly across 900 South – north and northeast of the site



Alley behind the subject property to the south



Rear of the subject property looking on from the alley

ATTACHMENT D: Zoning Standards

21A.24.110: R-2 SINGLE- AND TWO-FAMILY RESIDENTIAL DISTRICT

The purpose of the R-2 Single- and Two-Family Residential District is to preserve and protect for single-family dwellings the character of existing neighborhoods which exhibit a mix of single- and two-family dwellings by controlling the concentration of two-family dwelling units. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play and to promote sustainable and compatible development patterns.

Standard	Proposal	Compliance
Minimum Lot Area – 5,000 square feet for single-family detached dwellings	The existing lot is approximately 4,950 square feet.	Complies – A lot that is noncomplying as to lot <u>area</u> or lot frontage that was in legal existence on the effective date of any amendment to [the Zoning Code] that makes the existing lot noncomplying shall be considered a legal complying lot and is subject to the regulations of this title.
Minimum Lot Width – 50 feet for single-family detached dwellings	The existing lot is approximately 37.5 feet wide.	Complies – A lot that is noncomplying as to lot area or lot <u>frontage</u> that was in legal existence on the effective date of any amendment to [the Zoning Code] that makes the existing lot noncomplying shall be considered a legal complying lot and is subject to the regulations of this title.
Maximum Building Height – The maximum height of a flat roof building shall be twenty feet (20').	23 feet measured from existing grade.	Does not Comply – Requesting special exception for three (3) additional feet.
Maximum Exterior Wall Height – Maximum exterior wall height adjacent to interior side yards shall be twenty feet (20') for exterior walls placed at the building setback established by the minimum required yard.	23 feet measured from existing grade. (In this case because the home has a flat roof, wall height and building height are one in the same.)	Does not Comply – Requesting special exception for three (3) additional feet.
Front Yard Setback – The minimum depth of the front yard for all principal buildings shall be equal to the average of the front yards of existing buildings within the block face.	30.31 feet	Complies – Average setback on the block face is 26.81 feet.
Interior Yard Setback – Four feet (4'); provided, that on interior lots one yard must be at least ten feet (10').	4 feet on the west side and 10 feet on the east side	Complies
Rear Yard Setback – Twenty five percent (25%) of the lot depth, but not less than fifteen feet (15') and need not exceed twenty five feet (25').	29 feet	Complies – Lot depth is 132 feet and; therefore, rear setback does not have to exceed 25 feet.

<p>Maximum Building Coverage – The surface coverage of all principal and accessory buildings shall not exceed forty five percent (45%) of the lot for two-family dwellings and forty percent (40%) for single-family dwellings. For lots with buildings legally existing on April 12, 1995, the coverage of existing buildings shall be considered legal conforming.</p>	<p>The proposed footprint of the home is 1,714 square feet on a 4,950 square-foot lot for a coverage of 34%.</p>	<p>Complies</p>
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ATTACHMENT E: ANALYSIS OF STANDARDS

21a.52.060: General Standards and Considerations for Special Exceptions:

No application for a special exception shall be approved unless the planning commission or the planning director determines that the proposed special exception is appropriate in the location proposed based upon its consideration of the general standards set forth below and, where applicable, the specific conditions for certain special exceptions.

Standard	Finding	Rationale
A. Compliance with Zoning Ordinance and District Purposes: The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.	Generally Complies	<p>The purpose of the R-2 Single- and Two-Family Residential District is to preserve and protect for single-family dwellings the character of existing neighborhoods which exhibit a mix of single- and two-family dwellings by controlling the concentration of two-family dwelling units. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play and to promote sustainable and compatible development patterns.</p> <p>The use being proposed is a single-family dwelling, which is compatible with surrounding uses in the area. "Higher intensity/density" zoning districts <i>and</i> uses are found down the street and also abut this particular property. While the proposed structure does appear to have a larger mass than some of the other houses on this block face due to its flat roof, the actual height meets the height development pattern and falls under the average height on the block of approximately 24 feet.</p>
B. No Substantial Impairment of Property Value: The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.	Generally Complies	<p>Single-family homes are permitted in this zoning district and a single-family home currently exists on the subject property. While the proposed house's footprint will be slightly longer than the existing house, it does comply with setbacks and lot coverage. And while additional height is being requested, the existing house is slightly taller than what's being proposed at 24.32 feet. There is no evidence that the construction of this house with three feet of additional height will have a negative impact on its property value or neighboring property values.</p>
C. No Undue Adverse Impact: The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.	Generally Complies	<p>This additional height request will accommodate a 3-foot guardrail that allows for the new house to have a roof deck. There may be some concern that this roof deck or habitable upper space could have an adverse impact on the character privacy; however, privacy is not examined as a part of this standard. The occupancy of the roof deck is similar to that of a backyard, which does not tend to have a negative impact on residential areas. There is also an existing house with a roof deck up the street to the east of this property.</p>
D. Compatible with Surrounding Development: The proposed Special Exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring	Complies Per Condition	<p>Looking at this block face in particular, there are no other flat-roofed structures with roof decks. While there are taller homes on the block face, the flat roof on the proposed home makes its overall massing feel larger and slightly incompatible with the surrounding structures. Therefore, by pushing the guardrail in from</p>

property in accordance with the applicable district regulations.		the roof's edge, the length of the building walls and overall massing may be reduced from the ground level.
E. No Destruction of Significant Features: The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.	Complies	A 1906 Victorian will be removed to accommodate the construction of the new home; however, this house is not located in a local or national historic district and its removal is permitted. Therefore, the proposal will not result in the destruction of significant features.
F. No Material Pollution of Environment: The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.	Complies	The proposal will not create any pollution.
G. Compliance with Standards: The proposed use and development complies with all additional standards imposed on it pursuant to this chapter. 21A.24.110.D.6.a For properties outside of the H Historic Preservation Overlay District, additional building height may be granted as a special exception by the Planning Commission subject to the special exception standards in chapter 21A.52 of this title and <i>if the proposed building height is in keeping with the development pattern on the block face.</i>	Complies	The proposal complies with all other zoning standards and, as documented within the applicant's materials, there are four houses on this block face of seven houses that are over 23 feet tall. A development pattern is constituted by three or more houses on a block face.

ATTACHMENT F: PUBLIC PROCESS AND COMMENTS

Public Process:

- Initial special exception notice was mailed on August 7, 2018
- Public hearing notice mailed on November 15, 2017
- Public hearing sign posted on property on November 16, 2017.
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on November 21, 2018

Public Comments:

A public comment was received after sending out that initial special exception notice, which expressed concern regarding the height and massing of the building. They also noted the lack of windows on the building make the walls feel taller. In general, they objected to the additional height request.