



Staff Report

PLANNING DIVISION
DEPARTMENT OF COMMUNITY & NEIGHBORHOODS

To: Salt Lake City Planning Commission

From: Chris Lee, 801-535-7706

Date: February 22, 2017

Re: PLCCPM2016-00997 Pierpont Apartments

Conditional Building & Site Design Review

PROPERTY ADDRESS: 315 W Pierpont Avenue (approximately)

PARCEL ID: 15-01-252-007

MASTER PLAN: Downtown, Central Community

ZONING DISTRICT: D-3 (Downtown Warehouse/Residential)

REQUEST: Gardiner Properties Pierpont, LLC, is requesting approval from the City to increase the height of a proposed residential building located on the corner of Pierpont Avenue and 300 W from 75 feet to 85 feet (7 stories to 8 stories). The proposed structure is a multi-family apartment building with 87 units. Currently the land is utilized as a parking lot for the Firestone Building located to the south with no existing structures on the site. It is located within the D-3 (Downtown Warehouse/Residential) zoning district. This type of project must be reviewed as a Conditional Building and Site Design Review. The Planning Commission has final decision making authority for Conditional Building and Site Design Review.

RECOMMENDATION: Based on the information in this staff report, Planning Staff recommends that the Planning Commission approve the development as proposed. A motion that supports this recommendation is below:

Based on the plans presented, information in the staff report, and public testimony, I move that the Planning Commission approve the requested Conditional Building and Site Design Review PLNPCM2016-00997 to allow for 10 feet of additional height subject to the following condition:

- 1. The glass surfaces on the ground floor will be clear and unglazed.**

ATTACHMENTS:

- A. Vicinity Map
- B. Site Plan
- C. Building Elevations
- D. Landscape and Lighting Plans
- E. Building Details
- F. Existing Conditions
- G. Analysis of Standards
- H. Public Process and Comments
- I. Department Comments
- J. Motions

PROJECT DESCRIPTION:

This proposal seeks to increase the height allowance for a proposed apartment building on the corner of Pierpont Avenue and 300 W. The building would have 8 floors above ground level with a request for the total height to be 85 feet. Buildings constructed in the D-3 zone are typically limited to 75 feet, but are allowed to go as high as 90 feet if they comply with the standards for Conditional Building and Site Design Review.

The rectangular lot is 17,263 square feet in size and measures approximately 150 feet (north and south sides) by 115 feet (east and west sides). The proposed building would fill most of the parcel with a footprint of 14,932 square feet (123,524 gross square feet). It effectively goes right up to the property line on the northern (Pierpont Avenue) and eastern (300 W) sides of the parcel with a minimal 2 foot setback on the western side and a 13 foot setback on the southern side which will be used for pedestrian access. As proposed, the building faces Pierpont Avenue and 300 West and is a steel and concrete building on the first three levels with wood frame construction and brick exterior from levels four through eight. Other exterior materials include glass, corten steel, and cement stucco. All parking will be within the structure. The entire basement level accommodates parking while the ground floor is a mix of parking along with a leasing office in the northeast corner, lobby, fitness room, storage room, maintenance room, and transformer room. The second and third levels above ground are a mix of parking, storage rooms, and 3 residential units on each floor. The fourth level has 15 units as well as tenant open space in the center of the building which extends north to an overlook on Pierpont Avenue. The open space area is open to the sky all the way to the top of the building except the portion on the north side which is utilized for apartments on the seventh and eighth floors. This effectively creates an open three story "window" on the Pierpont Avenue façade of the building. The fifth and sixth floors each have 16 residential units while the seventh and eighth floors each have 17 units. Each of the 87 units in the building will have a balcony.

The applicant is utilizing transportation demand management strategies (21A.44.050) to obtain a total of 124 parking stalls located on the basement through the third floor levels. All parking will be accessed from Pierpont Avenue via three two-way driveways which will be shielded by glass covered garage doors. Two of the access driveways will be located on the western end of the Pierpont Avenue façade with one providing access to the basement level and the other to the second and third floor. The other access point is at the eastern end of the Pierpont Avenue façade directly behind the leasing office. It will access the parking stalls on the ground floor. As part of the purchase agreement for this parcel, 28 parking stalls in the proposed structure are dedicated to replace those being lost from the current parking lot, which are utilized by the Firestone building directly to the south. Those 28 stalls will be located on the ground floor level and are accessible to occupants and visitors to the Firestone building via doors on the south wall that open onto the pedestrian space in that area.

KEY ISSUES:

The key issues listed below have been identified through the analysis of the project, neighbor and community input and department review comments.

1. Building Mass, Scale, and Height
2. Roofline Architecture
3. Ground Floor Use
4. Compliance with the Downtown Community Plan and Urban Design Element

Issue 1: Building Mass, Scale, and Height

21A.59.060 Standards for Design Review, section K.1. states that "large building masses shall be divided into heights and sizes that relate to human scale by incorporating changes in building mass or direction, sheltering roofs, a distinct pattern of divisions on surfaces, windows, trees, and small scale lighting." Building massing of the proposed structure meets the property line on two sides of the parcel (north and east), nearly meets it on another (west), and leaves only enough space for a pedestrian walkway on the fourth (south) side. Consequently, the resulting structure is prominently massed on the site and will also rise up to 85 feet in height if the additional 10 feet is approved through this process. It will be a large structure that, nonetheless, is inviting to pedestrians and fits well within the neighborhood. The ability to relate to the human scale is accomplished in various way including the

overall design of the architectural elements of the building, attention to architectural details, the exterior finish materials, and lighting placement and form.

The building massing is divided into two main vertical sections: a 3 story concrete section rising approximately 32 feet in elevation which literally and visually acts as the base of the building and a 5 story brick section rising approximately an additional 53 feet. Levels 1-3 are characterized by steel and concrete construction accentuated with glass, corten steel planters, and balconies on all levels above the ground floor. Levels 4-8 are wood frame construction with a brick exterior similar to older, existing brick structures in the vicinity. The vertical articulation of the structure is divided up and made more interesting through the use of prominent recesses in the façade of three sides of the building where windows and balconies are located. Those areas are recessed 8 inches on the lower concrete levels and increase up to 20 inches in the higher brick sections with balconies. The balconies themselves serve to add visual interest along the horizontal axis of the building.

Additionally, in the north side of the building above the main entrance on levels 4-6, there is a total opening in the façade which measures approximately 30 feet by 13 feet and accommodates air flow and views from the common tenant space on the fourth floor outward to the north and downward to Pierpont Avenue. The tenant plaza is completely open to the sky with the exception of floors 7 and 8 above the opening in the northern façade where two units are located. They serve to break up the mass of the structure even more by being stepped in even further than the other 20 inch recesses on those levels to accentuate the opening directly below them.

Taken together, the recessed elements of the building, along with the open section of the common plaza, create interesting vertical breaks in the massing. Similarly, the placement of the balconies (of two different widths), serves to add texture and interest to accomplish the same objective along the horizontal axis. These design strategies serve to reduce the overall feeling bulkiness of the structure and makes it more open and inviting than would be possible otherwise. The requested additional height fits comfortably into the vertical scale of the building as articulated by the lower base section with the rest of the building above. The heights the sections (32 feet for the “base” and 53 for the “body”) work well. The scale would be off and the structure would likely feel out of proportion if the additional height was not granted without also reducing the height of the base section.

A comment (see Attachment H) was received suggesting that the proposed structure should not be higher than the Crane Building which is located north of the subject parcel at the corner of 200 S and 300 W. The email also stated that the Broadway Park Lofts which are southwest of the subject parcel (midblock on 300 S between 300 W and 400 W) only extends up to 85 feet for structures in the middle of the roofs that house stairways up to rooftop balconies and that this building should be similar in that regard. The crane building is only 5 stories tall and likely around 55 feet in height. With the base zoning allowing buildings to be up to 75 feet in height by right, and up to 90 feet through the conditional building and site design process, such a parity is simply impossible. Moving into the future structures will be much taller than the crane building as Salt Lake becomes a more fully developed and dense city. Similarly, while the Broadway Park Lofts building is 85 feet in only certain sections of the building, it does reach the same height as proposed for this project. The proposed building will interface well with it and serve as a visual balance to the existing structure.

Issue 2: Roofline Architecture

One of the standards for Design Review for Height in section 21a.59.065 directly focuses on verifying that roofline design “contains architectural features that give it a distinctive form or skyline”. The roofline is designed with a cornice and string line that is reminiscent of classic brick buildings. Cornice detailing appropriate to the style of the building is part of the design. The cornice is established by utilizing bricks that are oriented vertically with a small band accenting it directly below. It is a design element that harkens back to older brick buildings and works well within the context of the neighborhood where there are several large brick buildings that were generally used for warehouses when originally constructed. It is appropriate to the architectural style of the building. Additionally, the two units above the opening on the 7th and 8th floors are recessed which causes a dramatic break in the roofline and gives it a distinctive form.

Issue 3: Ground Floor Use

An area of concern throughout the review process was the ground floor use, particularly on 300 W. Most of the space on the Pierpont Avenue side is taken up by the main entrance and the driveways to access parking. There will be a small leasing office at the corner of the structure at Pierpont and 300 W which will provide an active use in that area. Along the rest of the eastern side of the structure fronting on 300 W there are no other active uses due to the ground floor parking located in that section of the building. However, while it would be preferred to see active uses in that space, it is not required. The underlying D-3 district zoning doesn't require active uses nor does it prohibit parking. Therefore, the focus and standard of review is on making the ground floor visually appealing and interesting to pedestrians.

As touched upon previously in this report and illustrated by the detailed images provided in Addendum E, there are various design elements on the ground floor that serve to enliven the area and make it engaging and interesting to those on the sidewalk. As previously mentioned, the recessing of the sections of the building containing windows and balconies break up the mass of the structure. The recessed niches contain glass going all the way down to street level to create much more visual interest than a solid concrete wall. The glass that is utilized should be non-glazed, clear glass to facilitate views both in and out of the structure to enhance the feeling that it is an active and safe building of interest to pedestrians. Corten steel planters will be located on the ground within the niches and extend out beyond the building wall to create visual interest and tie in with the planters on the second level which are designed as balconies. Additionally, awnings above the main entrance on Pierpont Avenue, as well as the leasing office, utilize the same corten steel as the planters and serve to clearly signal the pedestrian entrances. Finally, brick, which mirrors that used on higher levels of the structure and on other buildings in the neighborhood, is incorporated into the sidewalk in an interesting pattern which will enhance the pedestrian experience.

Issue 4: Compliance with the Urban Design Element and Downtown Community Plan

The proposed building meets the intent of the Urban Design Element (1990), which provides guidance to the Planning Commission to promote more sculptural building lines and compatibility with historic buildings. The building is primarily compatible with the downtown development character (scale, intensity, rhythm, little to no setback from property line, style, etc.). Its height, massing, roofline, and compatibility with neighboring brick buildings, positively contribute to overall district character.

Many of the objectives of the Downtown Community Plan (2016) are also met through this project. Increasing the amount of urban housing within the downtown area goes towards accomplishing many of the goals mentioned in the plan including: increased density, vibrancy, and access to outdoor recreation and public transit.

DISCUSSION:

Overall, the proposal satisfies the design standards for approval. The building incorporates ground level design elements that make it pedestrian friendly and respect the human scale. An active use, in the form of a rental office, will be located at the corner of Pierpont Avenue and 300 W and visually engaging glass and architectural features including corten steel planters, building stepbacks, and brick sidewalk designs will extend along both street frontages. The proposal satisfies the standard for dividing large building masses into heights and sizes that relate to human scale (K) using setbacks, balcony and window placement, and architectural details. It meets the intent of the Urban Design Element and conclusively satisfies the specific design standards for extra height – in particular the roofline architecture (21a.59.065 item B). Consequently, staff recommends approval of the additional building height as requested.

NEXT STEPS:

If conditional building and site design review is approved, the applicant may proceed with the project after meeting any all conditions that may be imposed through this process and obtaining all necessary permits. If denied, the applicant would still be able to construct a building but it would be limited to 75 feet in height, per the D-3 zoning regulations.

ATTACHMENT A: VICINITY MAP



 Subject Parcel

ATTACHMENT B: SITE PLAN

GENERAL NOTES

1. SEE SURVEY FOR REFERENCE.
2. SEE CIVIL DRAWINGS

PIERPONT APARTMENTS
 315 W PIERPONT AVE. SALT LAKE CITY, UTAH 84101

SEAL

12/08/16

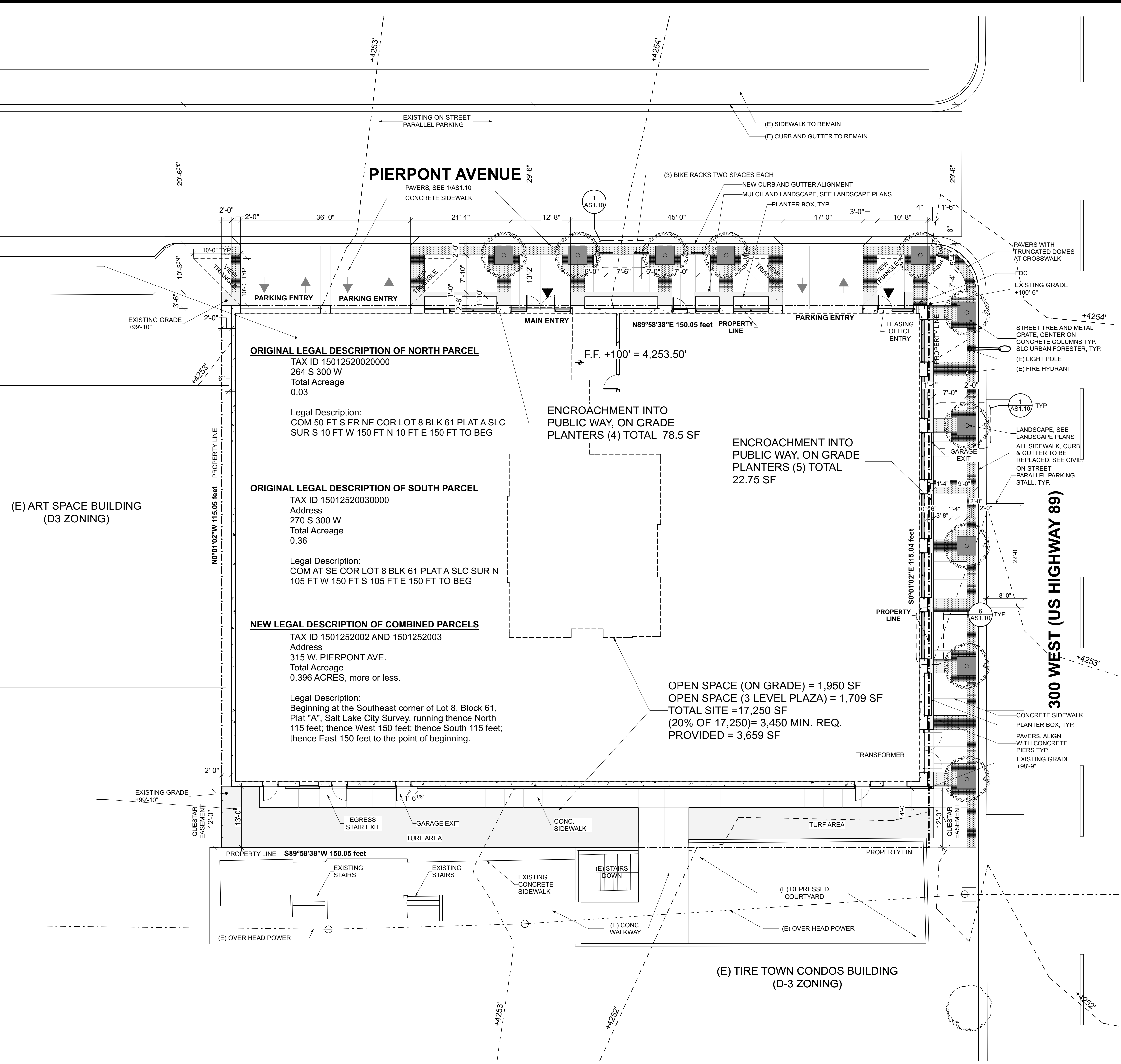
PROJECT PHASE
 CB&SDR APPLICATION 12/08/16

DRAWING REVISIONS

SHEET TITLE
SITE PLAN

SHEET NUMBER

AS1.00



ORIGINAL LEGAL DESCRIPTION OF NORTH PARCEL
 TAX ID 15012520020000
 264 S 300 W
 Total Acreage
 0.03
 Legal Description:
 COM 50 FT S FR NE COR LOT 8 BLK 61 PLAT A SLC
 SUR S 10 FT W 150 FT N 10 FT E 150 FT TO BEG

ORIGINAL LEGAL DESCRIPTION OF SOUTH PARCEL
 TAX ID 15012520030000
 Address
 270 S 300 W
 Total Acreage
 0.36
 Legal Description:
 COM AT SE COR LOT 8 BLK 61 PLAT A SLC SUR N
 105 FT W 150 FT S 105 FT E 150 FT TO BEG

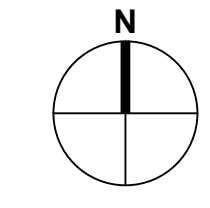
NEW LEGAL DESCRIPTION OF COMBINED PARCELS
 TAX ID 1501252002 AND 1501252003
 Address
 315 W. PIERPONT AVE.
 Total Acreage
 0.396 ACRES, more or less.
 Legal Description:
 Beginning at the Southeast corner of Lot 8, Block 61,
 Plat "A", Salt Lake City Survey, running thence North
 115 feet; thence West 150 feet; thence South 115 feet;
 thence East 150 feet to the point of beginning.

ENCROACHMENT INTO
 PUBLIC WAY, ON GRADE
 PLANTERS (4) TOTAL 78.5 SF

ENCROACHMENT INTO
 PUBLIC WAY, ON GRADE
 PLANTERS (5) TOTAL
 22.75 SF

OPEN SPACE (ON GRADE) = 1,950 SF
 OPEN SPACE (3 LEVEL PLAZA) = 1,709 SF
 TOTAL SITE = 17,250 SF
 (20% OF 17,250) = 3,450 MIN. REQ.
 PROVIDED = 3,659 SF

1 SITE PLAN
 SCALE: 1" = 10'



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ATTACHMENT C: BUILDING ELEVATIONS



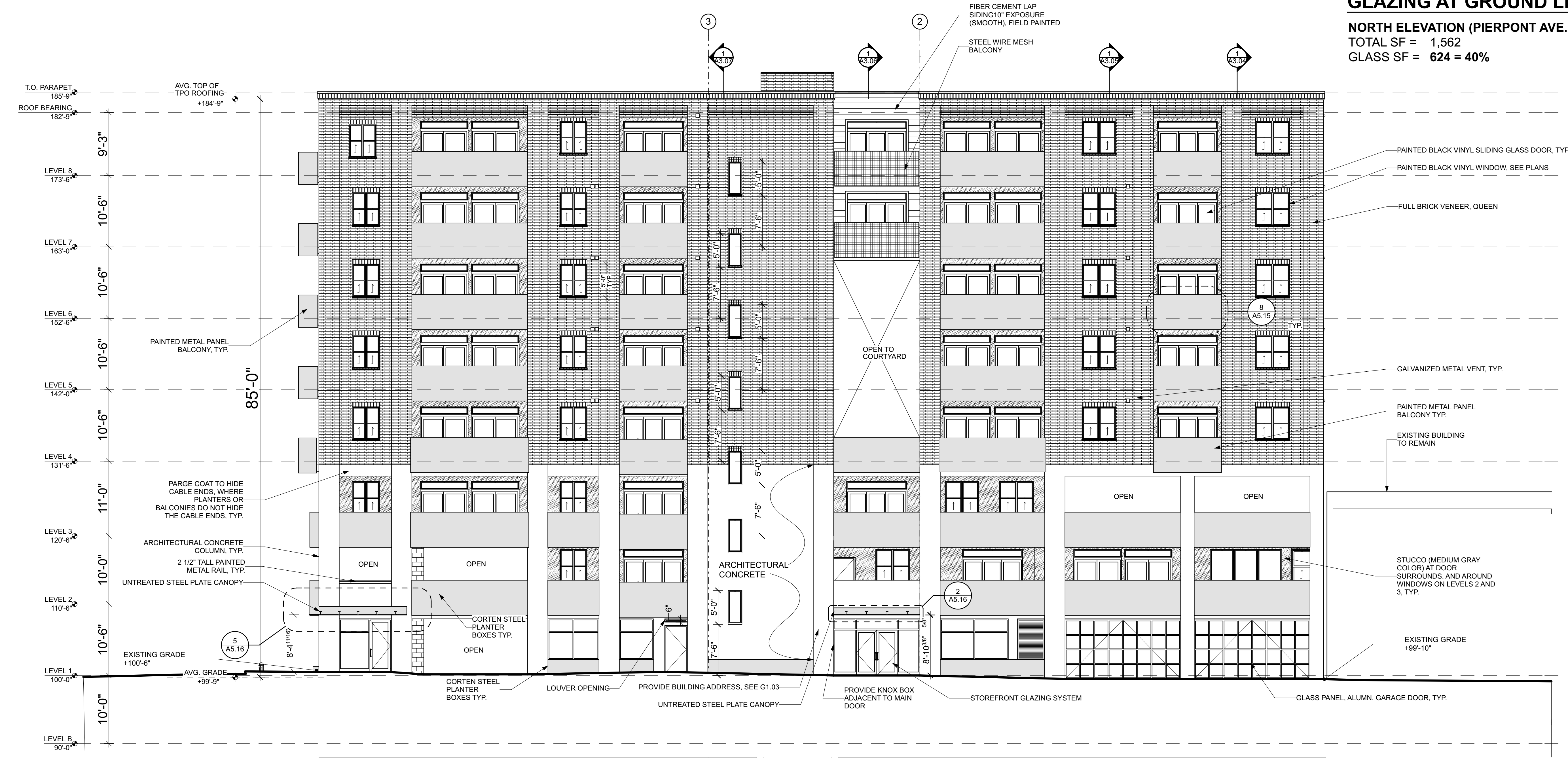
BUILDING ELEVATION GENERAL NOTES
 1. FLOOR BENCHMARK ELEVATIONS MEASURED TO T.O. CONCRETE OR 1 1/2" GYPCRETE
 2. SEE DETAILS 9, 10, 11, & 12 SHEET A5.10 FOR PARTY WALL, FIRE SHAFT, AND FIRE PARTITION WALL DETAILS

**MATERIALS BREAKDOWN
 - ENTIRE BUILDING**

	GLASS AND BRICK	STANDARD CONC., CEMENT LAP SIDING, OR STUCCO	
NORTH (SF)	11,192	1,099	
EAST (SF)	7,760	568	
SOUTH (SF)	7,213	5,473	
WEST (SF)	4,093	5,960	
TOTAL (SF)	30,258	13,100	43,358 = TOTAL BUILDING ELEVATIONS (SF)
TOTAL (%)	70%	30%	

GLAZING AT GROUND LEVEL

NORTH ELEVATION (PIERPONT AVE.)
 TOTAL SF = 1,562
 GLASS SF = 624 = 40%



1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

PIERPONT APARTMENTS
 315 W PIERPONT AVE. SALT LAKE CITY, UTAH 84101

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12/08/16

PROJECT PHASE
 CB&SDR APPLICATION 12/08/16

DRAWING REVISIONS

SHEET TITLE
ELEVATIONS

SHEET NUMBER

A2.01

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BUILDING ELEVATION GENERAL NOTES

- FLOOR BENCHMARK ELEVATIONS MEASURED TO T.O. CONCRETE OR 1 1/2" GYPCRETE
- SEE DETAILS 9, 10, 11, & 12 SHEET A5.10 FOR PARTY WALL, FIRE SHAFT, AND FIRE PARTITION WALL DETAILS

LloydArchitects
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**MATERIALS BREAKDOWN
- ENTIRE BUILDING**

	GLASS AND BRICK	STANDARD CONC., CEMENT LAP SIDING, OR STUCCO	
NORTH (SF)	11,192	1,099	
EAST (SF)	7,760	568	
SOUTH (SF)	7,213	5,473	
WEST (SF)	4,093	5,960	
TOTAL (SF)	30,258	13,100	43,358 = TOTAL BUILDING ELEVATIONS (SF)
TOTAL (%)	70%	30%	

GLAZING AT GROUND LEVEL

EAST ELEVATION (300 WEST)
TOTAL SF: 1,083
GLASS SF: 433 = 40%



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

PIERPONT APARTMENTS
315 W PIERPONT AVE. SALT LAKE CITY, UTAH 84101

SEAL

12/08/16

PROJECT PHASE
CB&SDR APPLICATION 12/08/16

DRAWING REVISIONS

SHEET TITLE
ELEVATIONS

SHEET NUMBER

A2.02

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BUILDING ELEVATION GENERAL NOTES

- FLOOR BENCHMARK ELEVATIONS MEASURED TO T.O. CONCRETE OR 1 1/2" GYPCRETE
- SEE DETAILS 9, 10, 11, & 12 SHEET A5.10 FOR PARTY WALL, FIRE SHAFT, AND FIRE PARTITION WALL DETAILS

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**MATERIALS BREAKDOWN
- ENTIRE BUILDING**

	GLASS AND BRICK	STANDARD CONC., CEMENT LAP SIDING, OR STUCCO	
NORTH (SF)	11,192	1,099	
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TOTAL (SF)	30,258	13,100	43,358 = TOTAL BUILDING EI
TOTAL (%)	70%	30%	

PIERPONT APARTMENTS
315 W PIERPONT AVE. SALT LAKE CITY, UTAH 84101

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12/08/16

PROJECT PHASE
CB&SDR APPLICATION 12/08/16

DRAWING REVISIONS
ADDENDUM #2 11/07/16

SHEET TITLE
ELEVATIONS

SHEET NUMBER

A2.03



1 SOUTH ELEVATION
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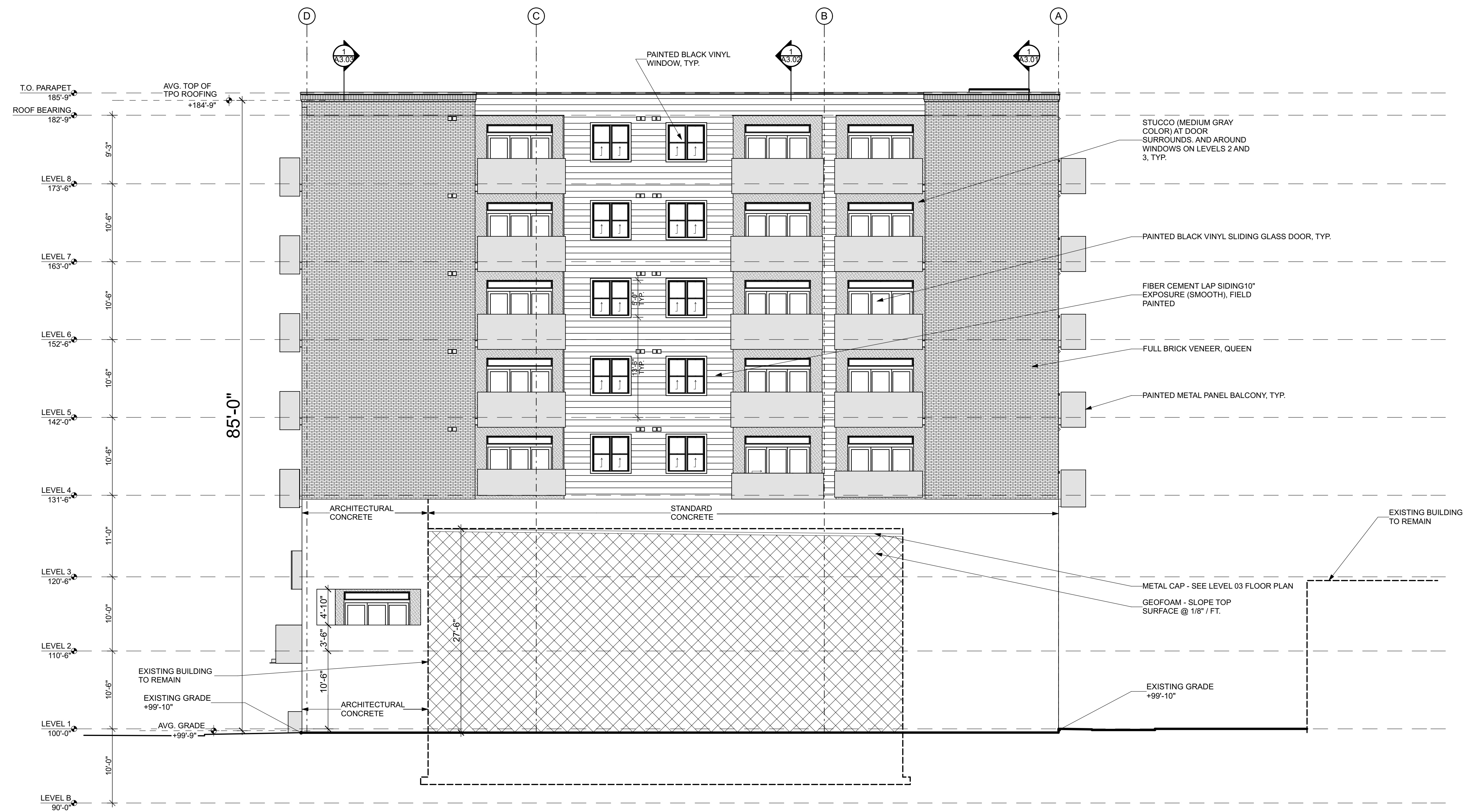
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BUILDING ELEVATION GENERAL NOTES
 1. FLOOR BENCHMARK ELEVATIONS MEASURED TO T.O. CONCRETE OR 1 1/2" GYPCRETE
 2. SEE DETAILS 9, 10, 11, & 12 SHEET A5.10 FOR PARTY WALL, FIRE SHAFT, AND FIRE PARTITION WALL DETAILS

**MATERIALS BREAKDOWN
 - ENTIRE BUILDING**

	GLASS AND BRICK	STANDARD CONC., CEMENT LAP SIDING, OR STUCCO	
NORTH (SF)	11,192	1,099	
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TOTAL (%)	70%	30%	



1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

PIERPONT APARTMENTS
 315 W PIERPONT AVE. SALT LAKE CITY, UTAH 84101

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12/08/16

PROJECT PHASE
 CB&SDR APPLICATION 12/08/16

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SHEET TITLE
ELEVATIONS

SHEET NUMBER

A2.04

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ATTACHMENT D: LANDSCAPE AND LIGHTING PLANS



ATTACHMENT E: BUILDING DETAILS







ATTACHMENT F: EXISTING CONDITIONS

SITE CONDITIONS:

The site consists of one parcel that fronts on the corner of Pierpont Avenue and 300 W. It is currently being utilized as a surface parking lot.

ADJACENT LAND USE AND ZONING:

The adjacent uses include:

- North: Surface parking lot across Pierpont Avenue
- East: Greek Orthodox Church across 300 West
- South: Tony Caputo's Deli and Market, Carlucci Bakery, Mixed use Residential and Restaurant in the Firestone Building
- West: Art Space mixed use building

BASE ZONING:

D-3 Downtown Warehouse/Residential (21A.30.040)

APPLICABLE MASTER PLANS:

Downtown Plan (adopted 2016)

Plan Salt Lake (adopted 2015)

Central City Master Plan (adopted 2005)

Urban Design Element (adopted 1990)

ATTACHMENT G: ANALYSIS OF STANDARDS

21A.59.060: Standards for Design Review: In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

Standard	Finding	Rationale
A. Development shall be primarily oriented to the street, not an interior courtyard or parking lot.	Complies	The building is primarily oriented to Pierpont Avenue and 300 W.
B. Primary access shall be oriented to the pedestrian and mass transit.	Complies	The primary entrance is on Pierpont Avenue approximately in the center of the structure. Additional exits are located on the south side of the building from a parking area. The rental office is at the corner of 300 W and Pierpont and has an entrance from the sidewalk. They all provide excellent access to multiple bus routes on 400 W, 200 S, 400 S, and north of 200 S on 300 W.
C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.	Complies	The ground level is predominately composed of concrete, framing glass windows that are set back from the edge of the structure to effectively create small niches. The glass should be clear and not glazed to facilitate views in and out of the building to create a feeling of interaction and safety. Planters sit within those window areas and extend out beyond the building wall to create more visual interest and tie in with larger planters on the second level which are designed as balconies. This is discussed in more detail on pages 2-4 in the Issues section of this report.
D. Architectural detailing shall be included on the ground floor to emphasize the pedestrian level of the building.	Complies	Architectural detailing is effective to emphasize the pedestrian level of the building. The aforementioned variations in the façade of the structure, along with the planters which tie into the planters on the second level and patios above that, breakup the mass of the building and create an inviting space. Additionally, awnings above the main entrance on Pierpont Avenue, as well as the leasing office, utilize the same corten steel material as the planters and serve to clearly signal the pedestrian entrances. Finally, brick, which mirrors that used on higher levels of the structure and on other buildings in the neighborhood, is incorporated into the sidewalk in an interesting pattern which will enhance the pedestrian experience. This is discussed in more detail on page 4 in the Issues section of this report.
E. Parking lots shall be appropriately screened and landscaped to minimize their impact on adjacent neighborhoods. Parking lot lighting shall be shielded to eliminate excessive glare or light into adjacent neighborhoods.	Complies	No surface parking is proposed.
F. Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the street or other pedestrian facilities.	Complies	All parking is located within the structure and accessed from Pierpont Avenue via three distinct driveway entrances located on the west and east ends of the north façade. UDOT does not allow parking access from 300 W which serves to improve pedestrian safety in that typically fewer pedestrians would be on Pierpont than on 300 W. Also, traffic speeds are much lower on Pierpont Avenue. A condition of the purchase of this parcel stipulated that 28 stalls be provided in the structure to compensate for those being lost which are utilized by the building to the south. Consequently,

		those stalls will be located on the main floor and be accessed from the northeast driveway situated directly behind the leasing office. People parking in those spots can access the Firestone Building via doors on the south side which open on a pedestrian walkway which allows easy and safe access to their building. Parking access on the west end is via two doors: one which goes down to one level of subterranean parking and the other which goes up to two additional levels above ground that are mostly parking. All three of the access points are covered by garage doors. The process of opening and closing the doors will provide warning to pedestrians and require cars to slow down to appropriate speeds.
G. Dumpsters and loading docks shall be appropriately screened or located within the structure.	Complies	Dumpsters are located within the structure with access from Pierpont Avenue.
H. Signage shall emphasize the pedestrian/mass transit orientation.	Complies	The only signs in the application are a flat sign high on the north side of the structure and another flat sign which is vertically oriented at the prominent corner of Pierpont Ave and 300 W. They are small and respectful of the design and the pedestrian space at ground level.
I. Lighting shall meet the lighting levels and design requirements set forth in chapter 4 of the Salt Lake City lighting master plan dated May 2006.	Complies	Required pedestrian lighting on Pierpont Avenue and 300 W will be provided by sconces that are placed on each one of the concrete pillars that will cast light both up and down (see Addendum D). Each unit will have balcony lights meant primarily to light that area. There will also be lighting via sconces in the tenant open air plaza on the fourth floor but it will be minimal enough and focused downward to not negatively impact those units that look out on the space. On site lighting shall be designed, located, and directed so as to not cast glare on adjacent properties.
J. Streetscape improvements shall be provided as follows: 1. One street tree chosen from the street tree list consistent with the city's urban forestry guidelines and with the approval of the city's urban forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the city's urban forester. 2. Landscaping material shall be selected that will assure eighty percent (80%) ground coverage occurs within three (3) years. 3. Hardscape (paving material) shall be utilized to designate public spaces. Permitted materials include unit masonry, scored and colored concrete, grasscrete, or combinations of the above. 4. Outdoor storage areas shall be screened from view from adjacent public rights of way. Loading facilities shall be screened and buffered when adjacent to residentially zoned land and any public street. 5. Landscaping design shall include a variety of deciduous and/or evergreen trees, and shrubs and flowering plant species well adapted to the local climate.	Complies	<ol style="list-style-type: none"> 1. The proposed number of trees meets the standard for both Pierpont Avenue and 300 W. 2. The only "ground coverage" on this site will be the tree plantings and the grasses located in the corten planter boxes. The 80% ground coverage in those areas should be easily achieved within the three year time frame. 3. Hardscape paving will be accomplished in the sidewalk areas on both Pierpont Avenue, 300 W, and the pedestrian walkway at the south of the building, by utilizing concrete and inlaid brick. 4. The loading area is interior to the building, accessed via the northeast drive access. Trash dumpsters will also be located in that area. 5. The landscape design for the site consists largely of the selection of street trees and grasses in the street and second level corten steel planters. They are species that are well adapted to the local climate. <p>(See Addendum D for landscape plans)</p>

K. The following additional standards shall apply to any large scale developments with a gross floor area exceeding sixty thousand (60,000) square feet:

<p>1. The orientation and scale of the development shall conform to the following requirements:</p> <p>a. Large building masses shall be divided into heights and sizes that relate to human scale by incorporating changes in building mass or direction, sheltering roofs, a distinct pattern of divisions on surfaces, windows, trees, and small scale lighting.</p> <p>b. No new buildings or contiguous groups of buildings shall exceed a combined contiguous building length of three hundred feet (300').</p>	<p>Complies</p>	<p>a. The building massing is divided into two sections: a 3 story concrete section rising approximately 32 feet in elevation which literally and visually acts as the base of the building, and a 5 story brick section rising approximately an additional 53 feet. Building massing, particularly shaping or sculpting of the upper portions of the building, meets or nearly meets the property line on the north and east sides, is within 2 feet on the west side, and 13 feet on the south side. The building is “broken up” by recessed areas which run from the ground floor almost to the cornice. The recesses are 8 inches on the lower concrete levels and increase up to 20 inches in the brick sections. Additionally, on the north side which abuts Pierpont Avenue there is a total opening on the fourth-sixth floors, above the main entrance, which accommodates air flow and views from the common tenant space. Above that opening, two units are located on the top two floors which serve to further divide the mass of the structure by being stepped in even further than the other 20 inch recessed areas on those levels. Overall, the recesses and the open section create interesting vertical breaks in the massing while the balconies serve to accomplish the same on the horizontal axis. Awnings and patios provide human scale elements at or near ground level and street lighting is pedestrian-oriented. This is discussed in more detail on pages 2-3 in the Issues section of this report.</p> <p>b. The proposed building will not exceed 300 feet in length.</p>
<p>2. Public spaces shall be provided as follows:</p> <p>a. One square foot of plaza, park, or public space shall be required for every ten (10) square feet of gross building floor area.</p> <p>b. Plazas or public spaces shall incorporate at least three (3) of the five (5) following elements:</p> <p>(1) Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");</p> <p>(2) A mixture of areas that provide shade;</p> <p>(3) Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted;</p> <p>(4) Water features or public art; and/or</p> <p>(5) Outdoor eating areas.</p>	<p>Complies/ Not Applicable</p>	<p>Design review criteria apply to multiple zoning districts city wide. This particular criterion is largely meant for big-box retail in a shopping center format. The D-3 zoning district allows for buildings to occupy the entire site, property line to property line. The D-3 zoning takes precedence. The building generally meets the intent of this standard by providing a pedestrian walkway that will serve to improve pedestrian circulation in the area. Both the lobby as well as a rental office directly on the corner of Pierpont Avenue and 300 W will be generally public areas as well.</p> <p>Additionally, this parcel is less than half a block from Pioneer Park. More public space is simply not needed at this location and would be detrimental to the purpose of the D-3 district being within such close proximity to quality open space.</p> <p>Landscaping is consistent with downtown public way landscaping requirements.</p>

<p>L. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as adopted master plan policies, the city's adopted "urban design element" and design guidelines governing the specific area of the proposed development. Where there is a conflict between the standards found in this section and other adopted plans and regulations, the more restrictive regulations shall control.</p>	<p>Complies</p>	<p>The purpose statement of the D-3 zoning district: <i>...is to provide for the reuse of existing warehouse buildings for multi-family and mixed use while also allowing for continued retail, office and warehouse use within the district. The reuse of existing buildings and the construction of new buildings are to be done as multi-family residential or mixed use developments containing retail or office uses on the lower floors and residential on the upper floors."</i></p> <p>The proposed building directly responds to the D-3 purpose statement by providing 87 units of new multi-family residential housing.</p> <p>The Downtown Community Plan (2016) classifies this site as being within the Broadway District. That section of the plan states that: <i>Mid-block streets are activated by a new model of dense housing that steps back above three stories, allowing sunlight to penetrate to the smaller streets and walkways. Some streets, like Pierpont are more commercial in nature and host to bars, restaurants, and shops.</i></p> <p>Both mid-block streets and walkways are highly valued elements of the character and vibrancy of the district and need to be considered in design decisions.</p> <p>The proposed development is honoring this objective by incorporating a midblock walkway on the south side of the building. While it doesn't transect the entire block it will allow for access to various commercial and residential buildings to the south of the proposed project.</p> <p>The Urban Design Element (1990) encourages buildings designs that both fit well within the context of existing neighborhoods and enhance the existing built environment. Height, scale, and character are significant building features of the downtown district and the proposed structure would make a significant contribution to the area by incorporating engaging design elements that are welcoming to the pedestrian on the ground floor and break up the mass of the structure. Specifically, the Urban Design Element directs the Planning Commission to "allow buildings to exceed the height limit when the developer shows that the building(s) can effectively address the district development character issues." The proposed building is compatible with the style and character of other buildings in the neighborhood through the choice of materials and design elements. The selection of brick as a primary building material references both historic and more recent buildings in the area. The design of the roofline hearkens back to classic brick design buildings while incorporating contemporary elements such as the break on the Pierpont side. The height, massing, and roofline all positively contribute to overall district character. This is discussed in more detail on page 4 in the Issues section of this report.</p>

(Ord. 15-13, 2013)

21A.59.065: Standards for Design Review for Height: In addition to standards provided in 21A.59.060 (above), the following standards shall be applied to all applications to all applications for conditional building and site design review regarding height:

Standard	Finding	Rationale
<p>A. The roofline contains architectural features that give it a distinctive form or skyline, or the rooftop is designed for purposes such as rooftop gardens, common space for building occupants or the public, viewing platforms, shading or daylighting structures, renewable energy systems, heliports, and other similar uses, and provided that such uses are not otherwise prohibited.</p>	<p>Complies</p>	<p>The roofline is designed with a cornice and string line that is reminiscent of classic brick buildings. However, it does have other architectural features that stand out such as the deep recess of the units above the open space on the north side and the way that the recessed areas gradually slant toward the building face as they approach the cornice. Together, they provide a distinctive form. This is discussed in more detail on pages 3-4 in the Issues section of this report.</p>
<p>B. There is architectural detailing at the cornice level, when appropriate to the architectural style of the building.</p>	<p>Complies</p>	<p>Cornice detailing appropriate to the style of the building is part of the design. The cornice is established utilizing bricks that are oriented vertically with a small band accenting it directly below. It is a design element that harkens back to older brick buildings and works well in this context. It is appropriate to the architectural style of the building. This is discussed in more detail on pages 3-4 in the Issues section of this report.</p>
<p>C. Lighting highlights the architectural detailing of the entire building but shall not exceed the maximum lighting standards as further described elsewhere in this title.</p>	<p>Complies</p>	<p>On the ground floor, sconces will be placed on each of the concrete columns to provide illumination of first level architecture details and provide a safe environment for accessing the building. The patio of each unit will also have lights meant to primarily illuminate that space.</p>

ATTACHMENT H: PUBLIC PROCESS AND COMMENTS

PUBLIC NOTICE, MEETINGS, COMMENTS:

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project:

NOTICE OF APPLICATION:

A notice of application was mailed to all abutting property owners On December 28, 2016. The notice sought a reply from anyone who wanted a public hearing with the planning commission regarding this petition. Staff received one response regarding concerns with the increased height, mid-block walkways, the placement of the building on the site and other issues but it was not within the 12 day notice period. The Downtown Community Council, Downtown Alliance, and Salt Lake Community Network were also notified. The applicant and I were invited to the Downtown Community Council on January 18, 2017 where some concerns were also voiced. Due to the prominence of the project in the neighborhood, the requested additional height, and stated concerns, it has been scheduled for a public hearing before the planning commission on February 22, 2017.

Notice of the public hearing for the proposal included:

Public hearing notice mailed on February 10, 2017.

Public hearing notice posted on February 10, 2017.

Public notice posted on City and State websites and Planning Division list serve: February 10, 2017.

Public Comments

One email was received prior to the completion of this report (see below). No other feedback was received besides comments at the Downtown Community Council meeting.

Hi Christopher,

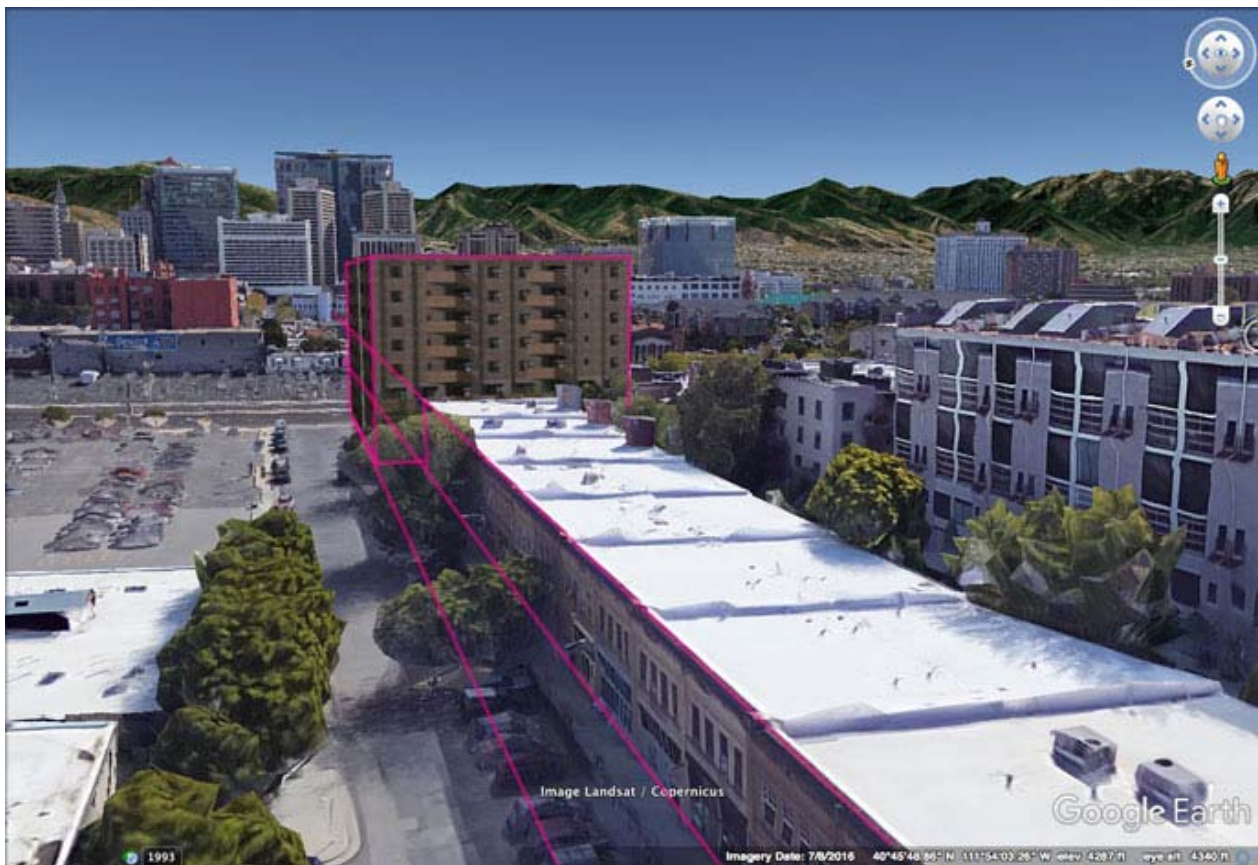
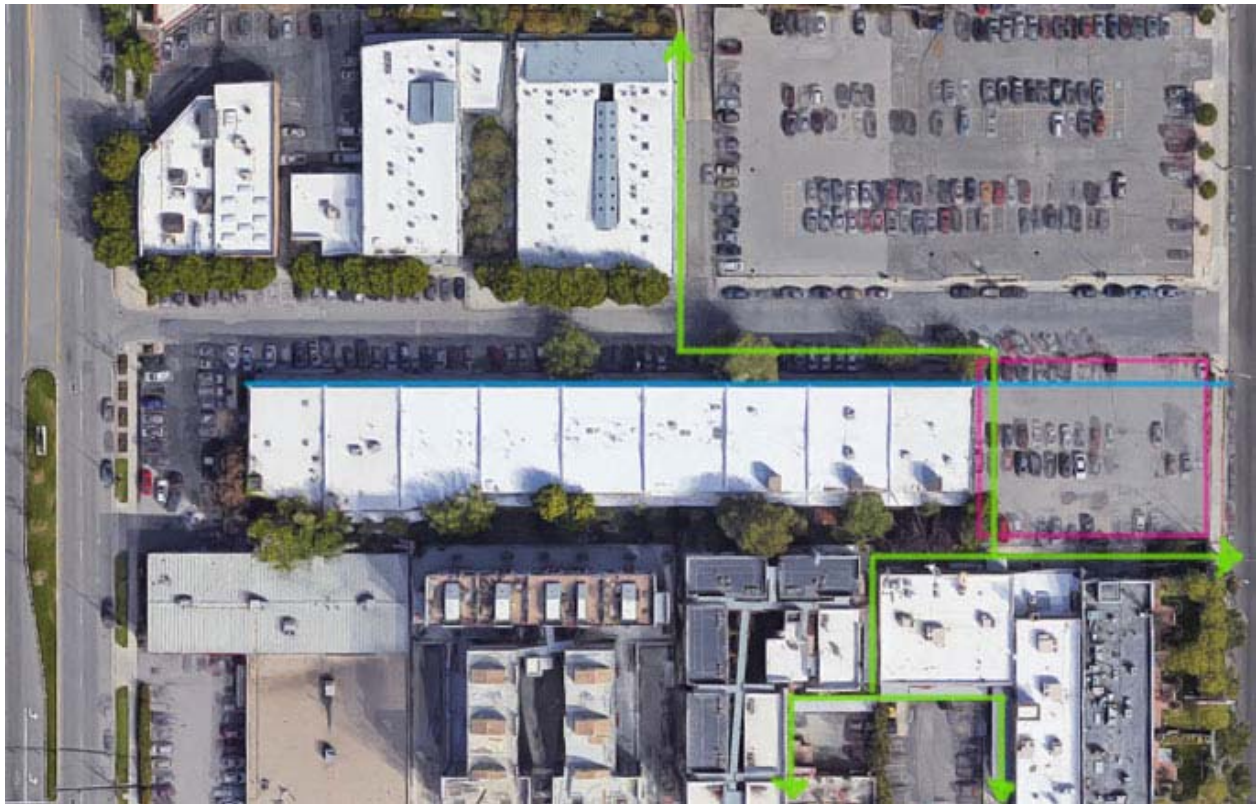
Unfortunately I have a prior engagement so I won't be able to attend [tomorrow night's](#) meeting. Here's a brief letter outlining my comments and concerns:

First, I want to applaud the architect for using what appears to be brick and other materials that are complimentary to the historic buildings on the block. Since the site is within a national historic district, I'm glad they're choosing a design that is in keeping with the neighborhood's character.

On that note, I have two comments/concerns:

1- Building footprint (sight lines and easement): This part of Pierpont Avenue is walkable and charming. There is an existing walkway that connects 300 South to Pierpont via Uffens/Caputo's. The developer should be encouraged to preserve, possibly enhance this pedestrian connection.

Additionally, the north end of the proposed Pierpont Apartments appears to come out 10 to 15 feet past the face of the 107-year-old Artspace building. The Artspace (Free Farmer's Market) building is a beautifully preserved treasure and was part of the original spark that ignited the area's urban revival. I would love to see the Pierpont Apartments compliment and celebrate Artspace. If it proves viable, it might be worth adjusting the new building's footprint so it's even with the Artspace building.



2- Height: I don't believe the Pierpont Apartments should be noticeably taller than the Crane Building. The historic Crane building is the tallest original structure on the block. It commands a strong presence due to its height. Like Artspace, Crane is a significant character-defining landmark, lending great authenticity to the Warehouse national historic district. Even at the originally proposed 75 feet, the Pierpont Apartments would dwarf the Tire Town building and the Artspace building. If the additional height is to allow for above-grade parking, extreme scrutiny should be used when determining if the height is appropriate.

Example: Broadway Park Lofts (BPL) on the same block at 360 west Broadway was granted additional height only for the small structures that house staircases leading to roof patios. While the total height is around 85 feet, the *perceived* height is 75' because the penthouse roof structures are minimal and set back:





I believe the Pierpont Apartments can be a wonderful addition to the neighborhood, with some minor adjustments. As an owner of a neighboring loft, I'm thrilled to see development at that parking lot.

I thank the City Planning Division for being good stewards in protecting the character of historic neighborhoods. What you allow in height and design for this project will set the standard for future projects in adjacent parking lots within this historic district.

Thank you for your consideration.

Sincerely,
Mike Hatch

SALT LAKE CITY NATIONAL HISTORIC DISTRICTS



ATTACHMENT I: DEPARTMENT REVIEW COMMENTS

ZONING (Greg Mikolash):

No zoning related issues associated with the increased height. Please refer to previous comments associated with the building permit.

TRANSPORTATION (Michael Barry):

This project came through DRT several months ago. I reviewed this project closely with my supervisor, Scott Vaterlaus, in regard to the driveway widths and spacing and we determined that the design was satisfactory. The reason for this determination was that access from 300 W was not granted by UDOT and due to site constraints (limited footprint, required number of parking spaces, access only from Pierpont) multiple driveways were needed. We went back and forth with the developer multiple times to explore different options and this design appeared to be the most practical solution.

ENGINEERING (Scott Weiler):

No comment on the proposed additional height of the building.

FIRE:

No comments received.

PUBLIC UTILITIES:

No comments received.

ATTACHMENT J: MOTIONS

Based on the findings listed in the staff report, it is the Planning Staff's opinion that the project meets the applicable standards for a Conditional Building and Site Design Review and therefore recommends the Planning Commission approve the application as proposed.

POTENTIAL MOTIONS

Consistent with Staff Recommendation:

Based on the plans presented, information in the staff report, and public testimony, I move that the Planning Commission approve the requested Conditional Building and Site Design Review PLNPCM2016-00997 to allow for 10 feet of additional height subject to the following condition:

1. The glass surfaces on the ground floor will be clear and unglazed.

Not Consistent with Staff Recommendation:

OPTION 1 (deny):

Based on the plans presented, information in the staff report, and public testimony, I move that the Planning Commission deny the requested Conditional Building and Site Design Review PLNPCM2016-00997 to allow for 10 feet of additional height because the proposal does not comply with the following standards:

- 1.
- 2.
- 3.

OPTION 2 (approved with conditions):

Based on the plans presented, information in the staff report, and public testimony, I move that the Planning Commission deny the requested Conditional Building and Site Design Review PLNPCM2016-00997 to allow for 10 feet of additional height subject to the following conditions:

- 1.
- 2.
- 3.